

HB WAREHOUSE

8405 WASHINGTON PLACE N.E.
ALBUQUERQUE, NEW MEXICO

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PROJECT NUMBER: 1008575

Application Number: 10 DRB-70316

Is an infrastructure List required? () Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

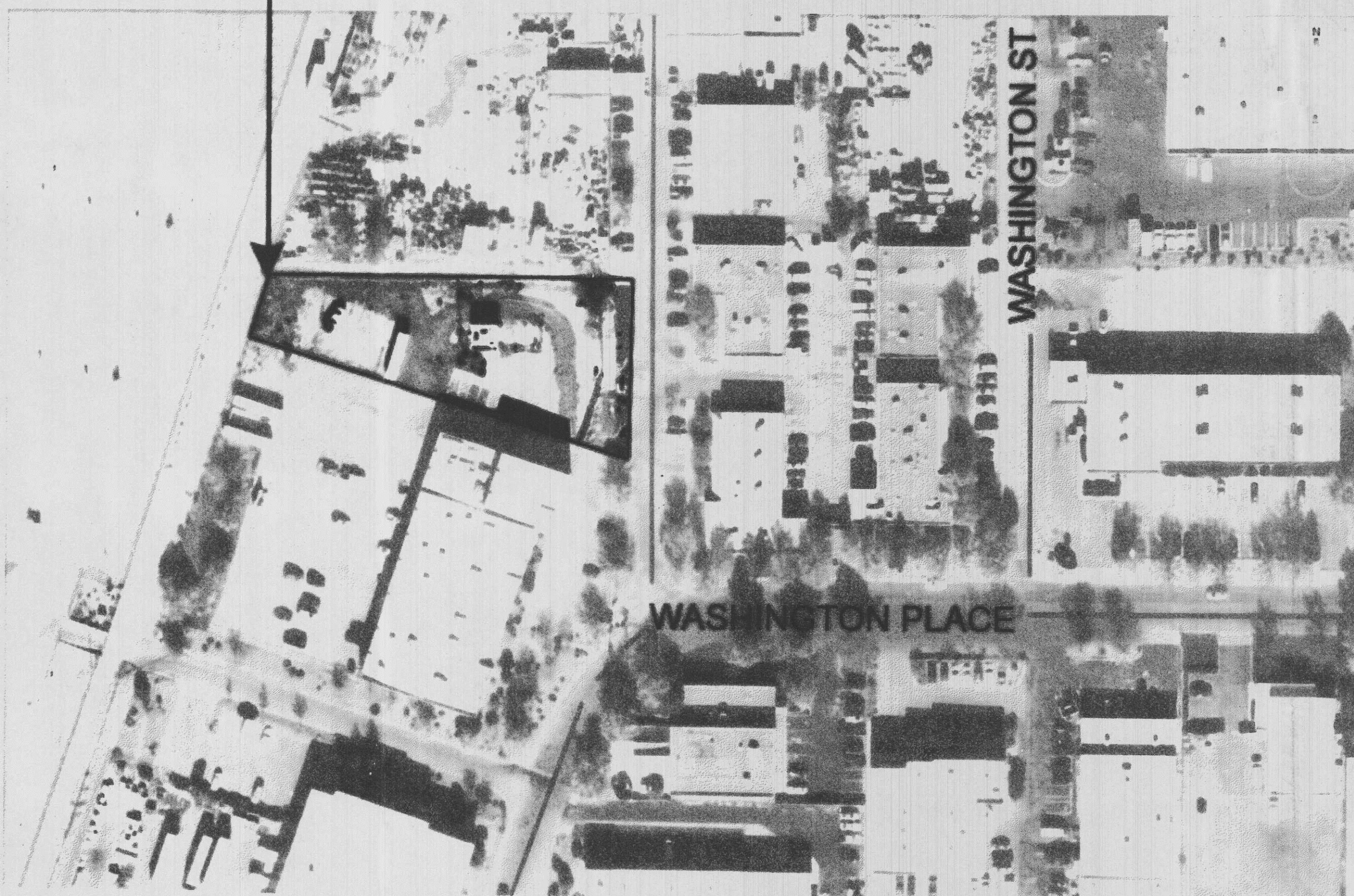
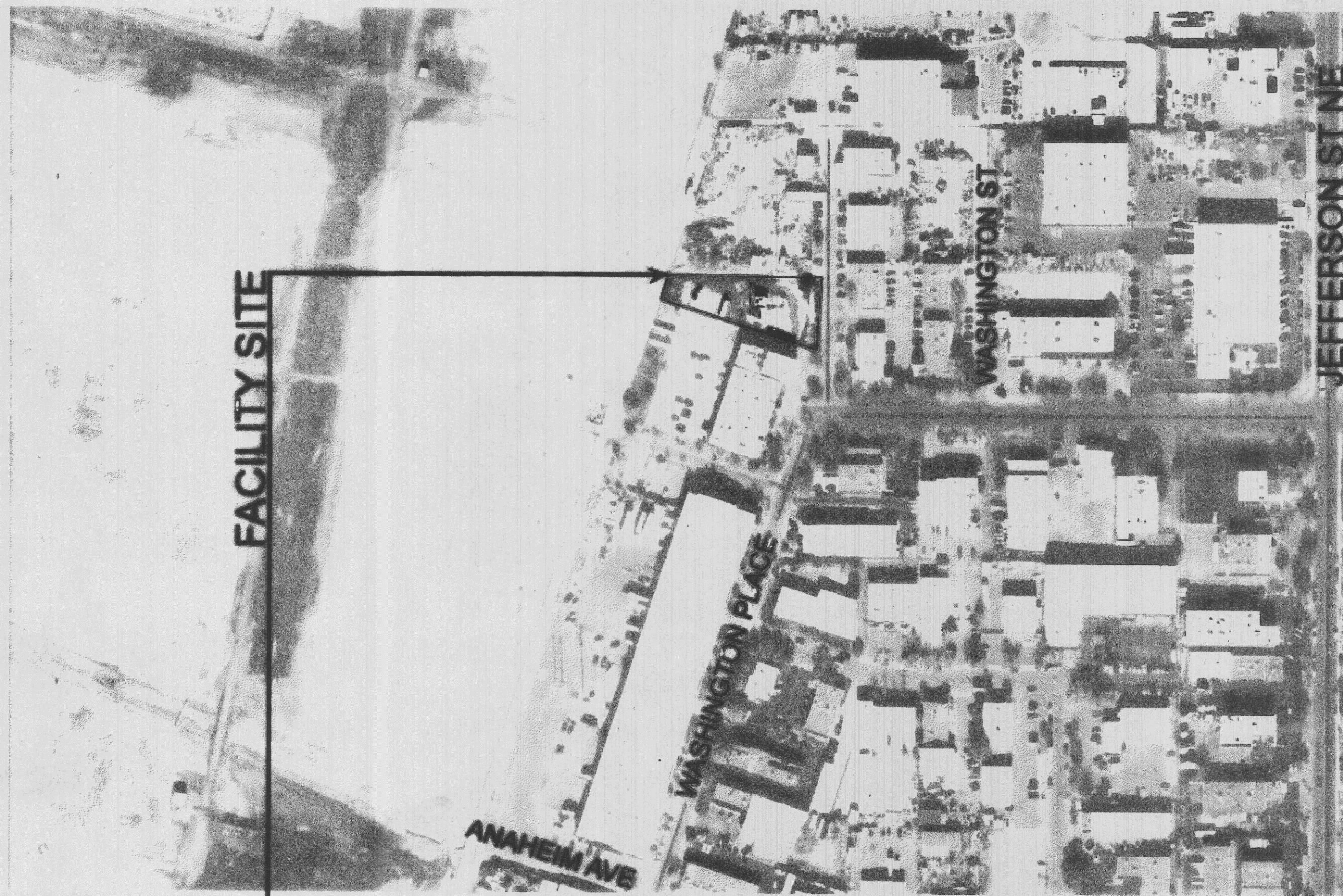
<u>NSD</u> Traffic Engineering, Transportation Division	<u>12-08-10</u> Date
<u>Allan Pinter</u> ABCWUA	<u>12/08/10</u> Date
<u>Sambora</u> Parks and Recreation Department	<u>12/8/10</u> Date
<u>Bradley D. Bingham</u> City Engineer	<u>12/8/10</u> Date
<u>Annamie Busch</u> * Environmental Health Department (conditional)	<u>12-8-10</u> Date
<u>ok</u> Solid Waste Management	 Date
<u>Jack Cleavel</u> DRB Chairperson, Planning Department	<u>12-22-10</u> Date

*Environmental Health, if necessary

6-25-07

DISCLOSURE STATEMENT

"The subject property is located (near) a (former) landfill. Due to the subject property being (near) a (former) landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site."



DESIGN TEAM:

ARCHITECTURAL:



DWL ARCHITECTS & PLANNERS INC. OF NM
202 CENTRAL AVE SE
WEST COURTYARD
ALBUQUERQUE, NM 87102

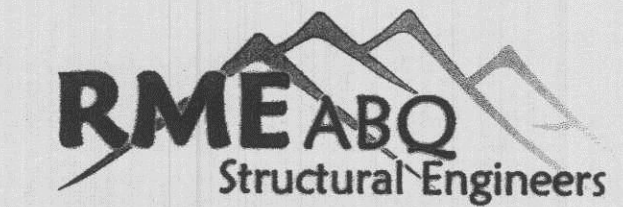
VOICE: 505.242.6202
FAX: 505.242.4159
E-MAIL: DWLNM@ZIANET.COM

CIVIL:



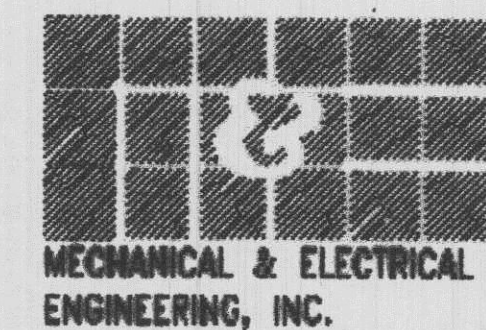
MILLER ENGINEERING CONSULTANTS
Engineers • Planners

STRUCTURAL:



RMEABQ, LLC
2835-C Pan American Freeway NE
Albuquerque, NM 87107 - 1652
phone: 505-889-3004 fax: 505-889-2797

MECHANICAL AND ELECTRICAL:



SANTA FE:
1222 Luisa St. Suite B
Santa Fe, New Mexico 87505
505/983-2389

ALBUQUERQUE:
8417 Washington Pl., NE
Albuquerque, NM 87113
505/856-1688

ZONE ATLAS PAGE: C-17-Z

1008575 DRB



DWL ARCHITECTS & PLANNERS, INC. OF NM
 202 CENTRAL AVE. S.E.
 WEST COURTYARD
 ALBUQUERQUE,
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 PH (505) 242-6202
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GENERAL NOTES:

- A. IF THIS SHEET IS NOT 24" X 36" IN SIZE THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- B. WASHINGTON PLACE IS A PRIVATE ROAD. THERE ARE NO SIDEWALKS ALONG THE STREET OR ADA ACCESSIBLE PATHWAY TO THE BUILDING. ACCESSIBLE PATHWAY IS PROVIDED FROM FACILITY PARKING TO THE BUILDING ENTRANCE.
- C. DIMENSIONS ARE TO FACE OF STUDS

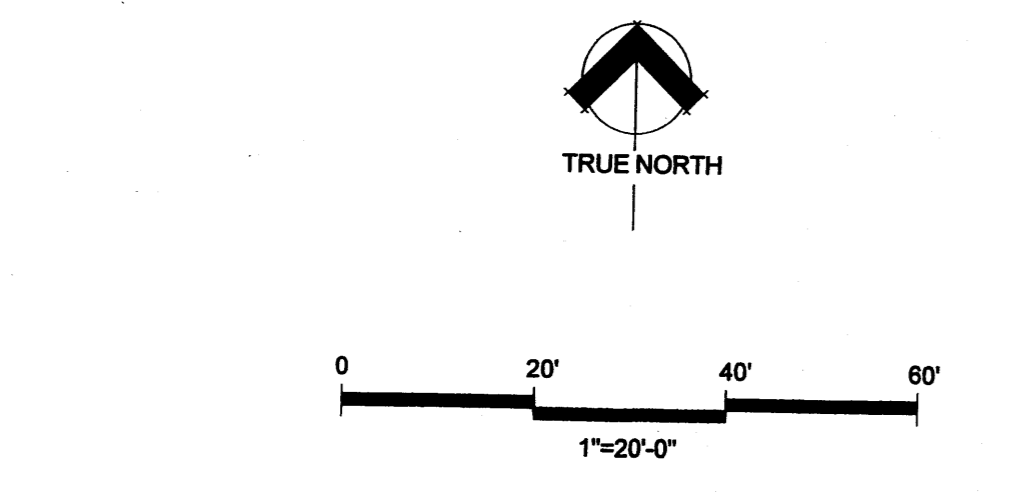
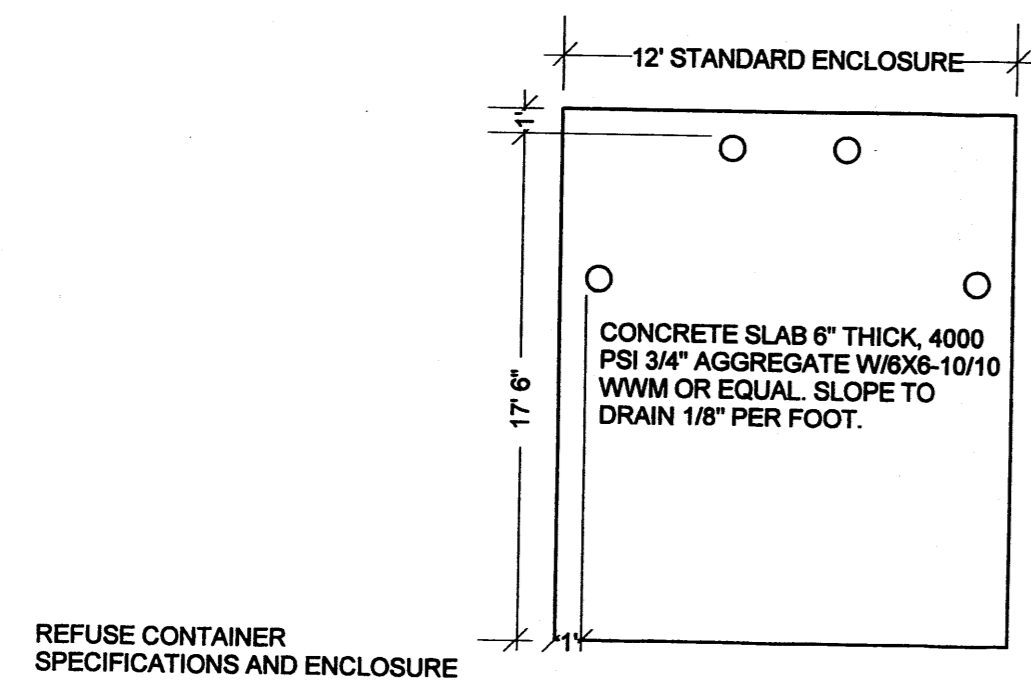
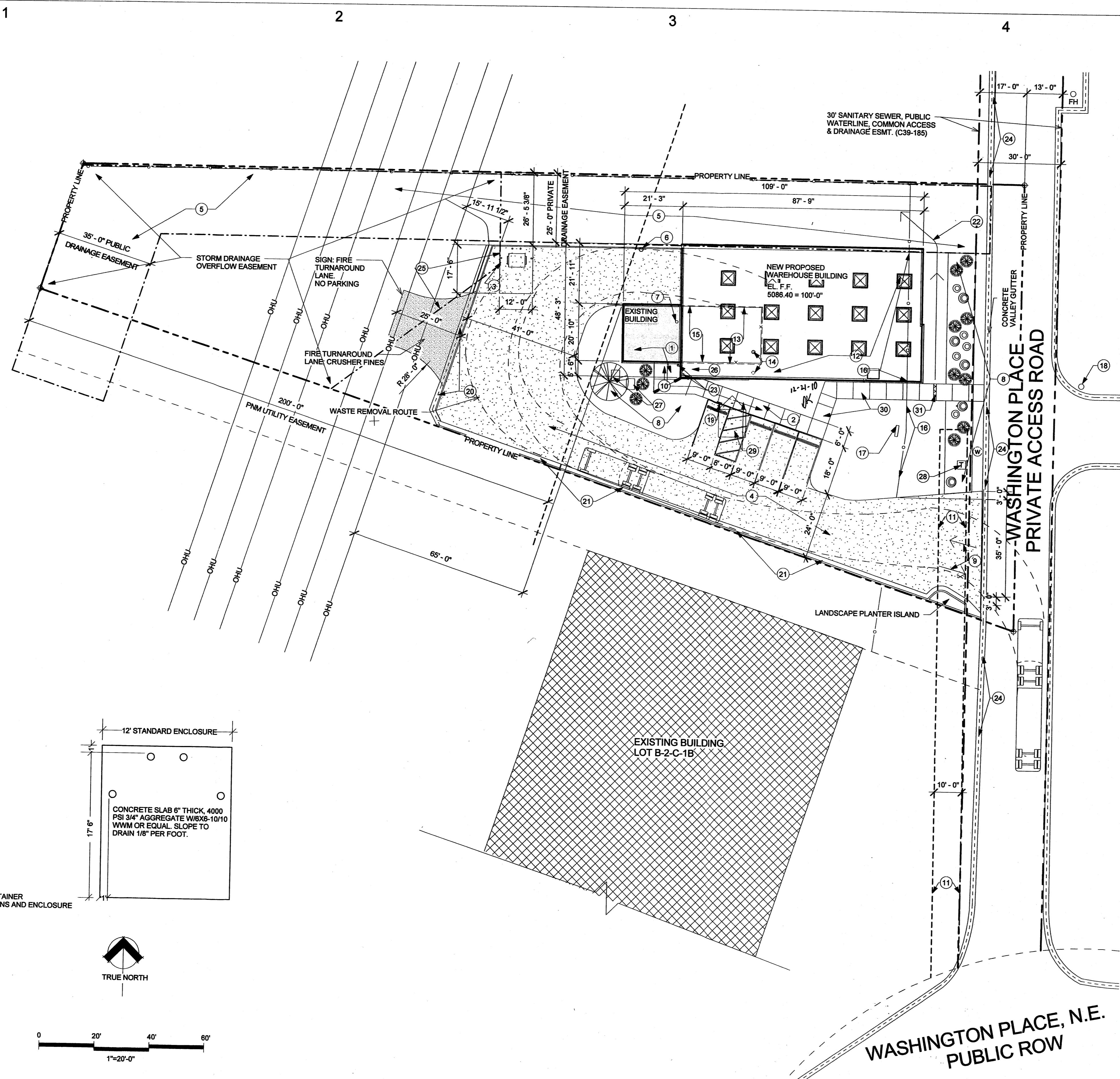
PARKING REQUIREMENTS:

- WAREHOUSE: REQUIRED 1 SPACE PER 2000 NET S.F.
 PROVIDED 4532 SF/ 2000 SF= 2.27 OR 3 SPACES
- DISABLED REQUIRED: 1 FOR 1-25
 PROVIDED: 1

○ KEYED NOTES AS 101

- 1 EXISTING BUILDING AND SIDEWALK; USE OF BUILDING IS AN IRRADIATION FACILITY FOR CANBERRA AQUILA INC. ONE STORY BUILDING ABOVE GRADE
- 2 NEW 4" THICK CONCRETE SIDEWALK
- 3 NEW TRASH DISPOSAL PAD 4" THICK CONCRETE FILLED BOLLARD AS INDICATED
- 4 NEW ASPHALT PAVING WITH DESIGNATED PARKING SPACES
- 5 EXISTING DRAINAGE EASEMENT (BK 97C- PAGE 311)
- 6 EXISTING GAS VAPOR WELL
- 7 EXISTING VENT THROUGH ROOF TO REMAIN
- 8 EXISTING TREE AND LANDSCAPED AREA
- 9 VEHICULAR CIRCULATION
- 10 PEDESTRIAN CIRCULATION
- 11 EXISTING 10' PNM EASEMENT
- 12 PROPOSED WAREHOUSE; TO BE USED FOR STORAGE, LOCATED ABOVE BELOW-GRADE LEVEL OF ORIGINAL BUILDING
- 13 EXISTING CHAIN LINK FENCE, 4' IN HEIGHT, TO BE REMOVED
- 14 EXISTING METHANE EXHAUST PIPE; TO BE RE-ROUTED AS INDICATED
- 15 BELOW-GRADE LEVEL OF EXISTING CAST-IN-PLACE CONCRETE FACILITY.
- 16 EXISTING CHAIN LINK FENCE, HEIGHT RANGES FROM 4'-5', TO BE REMOVED
- 17 EXISTING ELECTRIC METER
- 18 EXISTING STOP SIGN ON DRIVE COMING OUT ON OPPOSITE SIDE OF WASHINGTON PLACE
- 19 NEW HANDICAP SIGN LOCATION
- 20 NEW CONCRETE VALLEY GUTTER
- 21 NEW CONCRETE BARRIER CURB AND GUTTER
- 22 NEW EARTHEN SWALE
- 23 EXISTING UTVB WILL BE FILLED IN AND RECONSTRUCTED TO THE SOUTH, VENT ABOVE THE ROOF OF THE NEW BUILDING
- 24 EXISTING CONCRETE VALLEY GUTTER
- 25 FLOOD OVERFLOW EASEMENT
- 26 ROOF HATCH
- 27 EXISTING METHANE TRENCH VENT TO REMAIN
- 28 EXISTING TRANSFORMER TO REMAIN
- 29 ASPHALT PARKING PAVING AND ADA ACCESSIBLE SIDEWALK TO BE INSTALLED AT THE SAME ELEVATION, NO RAMP REQUIRED
- 30 6' - 0" WIDE x 4" THICK CONCRETE SIDEWALK
- 31 COA DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE # 2236

- 30' SANITARY SEWER, PUBLIC WATERLINE, COMMON ACCESS & DRAINAGE ESMT. (C39-185)
- PNM EASEMENT
- DRAINAGE EASEMENT
- PROPERTY LINE



NOTE:
 ONLY VANS OR TRUCKS FOR PICKUP WILL MAKE DELIVERIES FOR THIS WAREHOUSE.

① SITE DEVELOPMENT PLAN
 1" = 20'-0"

SITE DEVELOPMENT PLAN
HB Construction
Project Status

8405 Washington PI NE Albuquerque, NM 87113

ISSUE/REVISION No.	Description	Date
1	DRB SUBMITTAL DRAFT ONE	09.27.10
2	DRB SUBMITTAL EDITED: ZONING CODE	10.12.10
3	DRB SUBMITTAL FINAL PHASE	10.14.10
4	DRB REVISION	12.03.10

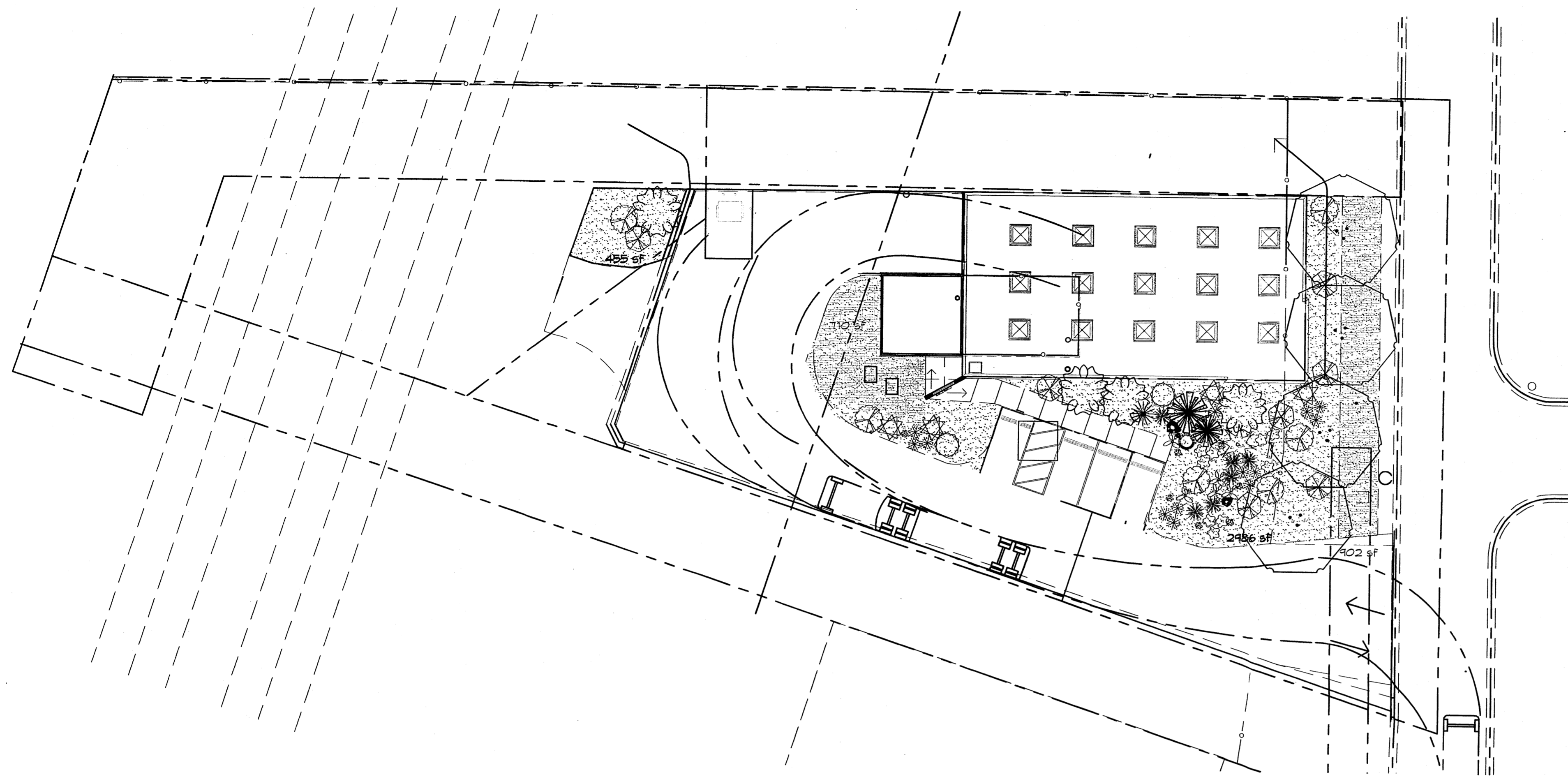
PROJECT NUMBER: 20_1015
 CAD DWS FILE: DWL_HB_WAREHOUSE

DRAWN BY: ANNA MATEJCZUK
 CHECKED BY: RON BURTON

SHEET TITLE: SITE DEVELOPMENT PLAN

AS 101
 OF SHEET

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- height of the plant.
- SHADE TREES**
- COMMON HACKBERRY
Celtis occidentalis
2" Cal., 12'-14' Inst./40' x 40' maturity
Water (M) Allergy (L) 0sf
- DESERT ACCENTS**
- * PALM YUCCA 2
Yucca faxonia
4'-8" Inst., 15' x 6' maturity
Water (L) Allergy (L) 0sf
 - * BEARGRASS 1
Nolina microcarpa
5 Gal., 18"-3' Inst./3' x 6' maturity
Water (L+) Allergy (L) 36sf
 - * RED YUCCA 6
Hesperaloe parviflora
5 Gal., 18"-3' Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - * FRICKLY FEAR 5
Opuntia macrocentra
5 Gal., 12"-3' Inst./3' x 3' maturity
Water (L) Allergy (L) 4sf

- SHRUBS/ORNAMENTAL TREES**
FIFTEEN GAL.
- VITEX 4
Vitex agnus-castus
15 Gal., 4'-10' Inst./20' x 20' maturity
Water (M) Allergy (L) 225sf

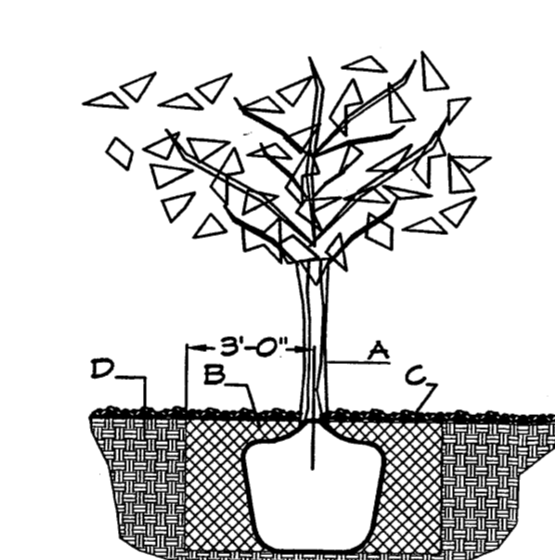
- SHRUBS/ORNAMENTAL GRASSES**
FIVE GAL.
- ROSE OF SHARON 1
Hibiscus syriacus
5 Gal., 2'-4' Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - TRUE MOUNTAIN MAHOGANY 4
Cercocarpus montanus
5 Gal., 18"-3' Inst./10' x 6' maturity
Water (L+) Allergy (L) 36sf
 - THREE-LEAF SUMAC 2
Rhus trilobata
5 Gal., 18"-3' Inst./6' x 6' maturity
Water (L+) Allergy (L) 36sf
 - * MUGO PINE 1
Pinus mugo
5 Gal., 12"-3' Inst./3' x 3' maturity
Water (M) Allergy (L) 4sf

- BLUE MIST SPIREA 13
Caryopteris clandonensis
5 Gal., 12"-3' Inst./3' x 3' maturity
Water (M) Allergy (L) 4sf

- POTENTILLA 4
Potentilla fruticosa
1 Gal., 3'-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 4sf
- THREADGRASS 7
Stipa tenuissima
1 Gal., 3'-15" Inst./2' x 2' maturity
Water (L+) Allergy (L) 4sf

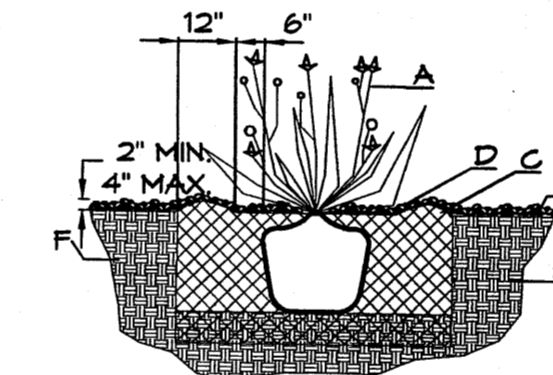
- GROUNDCOVERS**
- * TAM JUNIPER 6
Juniperus sabina 'Tamariscifolia'
1 Gal., 6'-15" Inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
 - * LADY BANK'S ROSE 6
Rosa banksiae
5 Gal., 24"-4' Inst./3' x 20' maturity
Water (M) Allergy (L) 225sf
Unstaked Groundcover

- HARDSCAPES**
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - OVERSIZED GRAVEL & BOULDERS
 - * DENOTES EVERGREEN PLANT MATERIAL



TREE PLANTING DETAIL

- NTS
- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
 - BACKFILL WITH EXISTING SOIL.
 - 3" DEPTH OF GRAVEL MULCH.
 - UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

- NTS
- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
 - BACKFILL WITH EXISTING SOIL.
 - EARTH BERM AROUND WATER RETENTION BASIN.
 - 3" DEPTH OF GRAVEL MULCH.
 - FINISH GRADE.
 - UNDISTURBED SOIL.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Washington Place
Required 4 Provided 4

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 1 Provided 1- Existing Ash

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed. Existing landscape beds, shall be weeded and receive new gravel and filter fabric.

IRRIGATION NOTES:
New Irrigation shall be tied into existing system.

Large Shrubs to receive (5) 1.0 GPH Drip Emitters, smaller shrubs shall receive (2) 1.0 GPH Drip Emitters. Drip systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field.

Irrigation maintenance shall be the responsibility of the Property Owner.

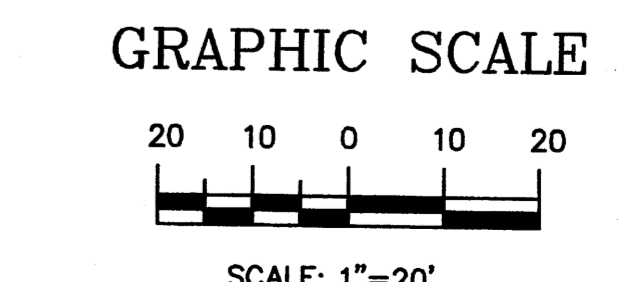
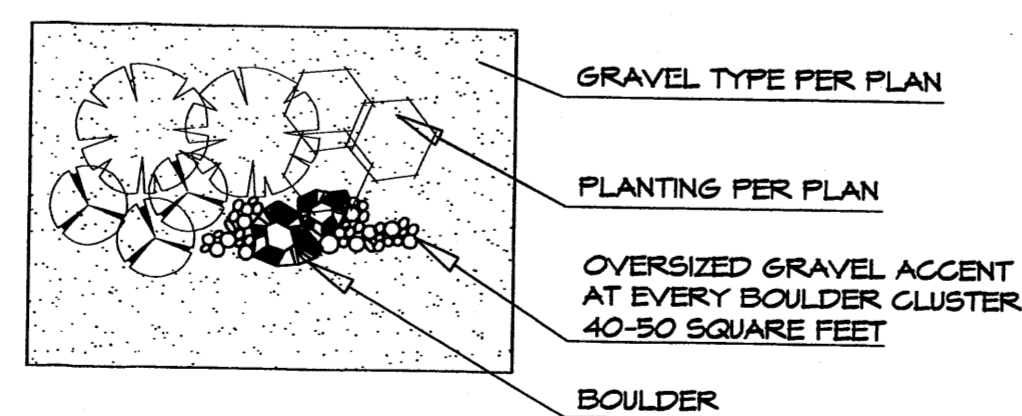
Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	36583	square feet
TOTAL EXISTING BUILDINGS AREA	441	square feet
TOTAL NEW BUILDINGS AREA	4091	square feet
NET LOT AREA	32051	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4807	square feet
TOTAL BED PROVIDED	3441	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	2581	square feet
TOTAL GROUNDCOVER PROVIDED	0	square feet
TOTAL EXISTING BED AREA	1612	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5053 (15%)	square feet

GRAVEL ACCENT DETAIL



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

12/2/10
JAMES DE FLON #0007

HB CONSTRUCTION PLACE
8405 WASHINGTON PLACE
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This drawing and any other documents or materials created hereunder shall remain the property of The Hilltop Landscape Architects and Contractors unless otherwise stated in writing.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CAU
REVISION # 5/12-2-10
DATE 9-22-10
SHEET # 11 of 11



DWL ARCHITECTS & PLANNERS, INC. OF NM
 303 CENTRAL AVE. S.E.
 WEST COURTYARD
 ALBUQUERQUE,
 NEW MEXICO, 87103
 PH (505) 243-8303
 FAX (505) 243-4189

**Preliminary Grading and Drainage Plan
 HB Construction
 Schematic Design
 8405 Washington Pl NE Albuquerque, NM 87113**

No.	Description	Date
1	Site Plan Change	10-28-2010

PROJECT NUMBER:
20_1015

CAD DWG FILE:
DWL_HB_WAREHOUSE

DRAWN BY:
JAJ

CHECKED BY:
VAM

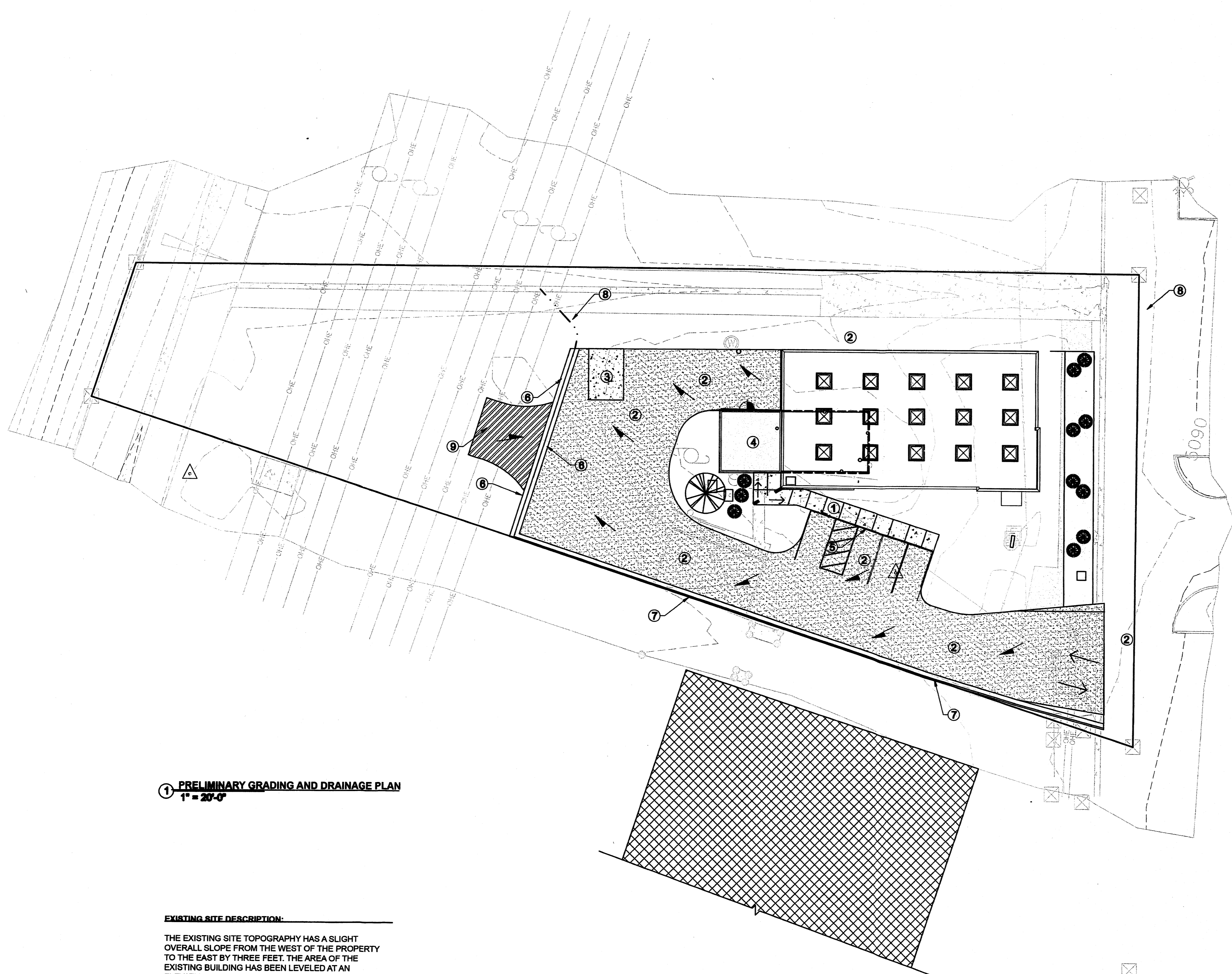
SHEET TITLE:
PRELIMINARY GRADING AND DRAINAGE PLAN

C-101

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KEYED NOTES

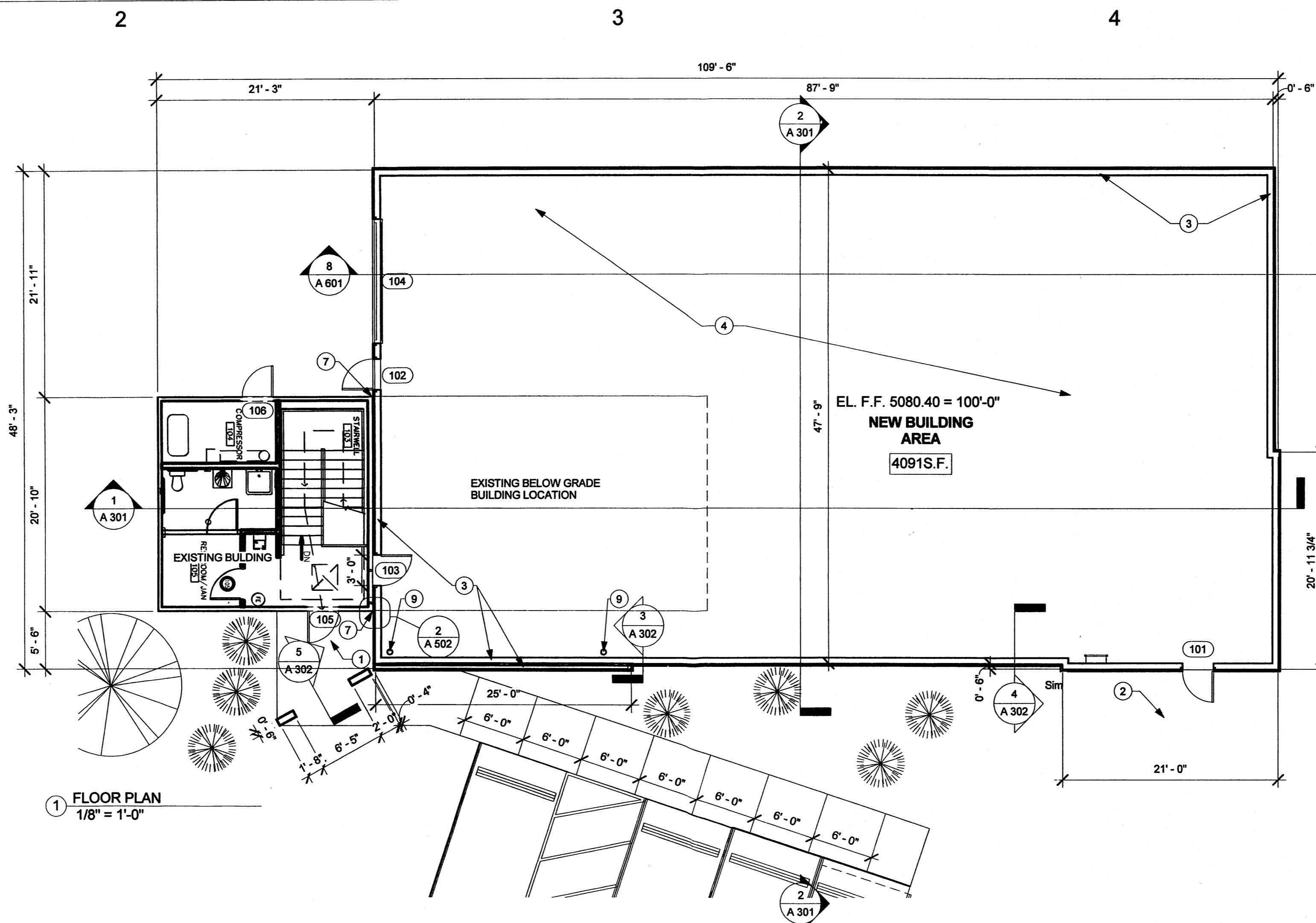
- 1 NEW CONCRETE SIDEWALK.
- 2 NEW ASPHALT PAVING - SP IV
- 3 NEW TRASH ENCLOSURE.
- 4 EXISTING BUILDING TO REMAIN.
- 5 EXISTING SIDEWALK TO REMAIN
- 6 NEW CONCRETE VALLEY GUTTER.
- 7 NEW CONCRETE BARRIER CURB AND GUTTER.
- 8 NEW EARTHENED SWALE.
- 9 NEW CRUSHER FINES FIRE TURNAROUND.



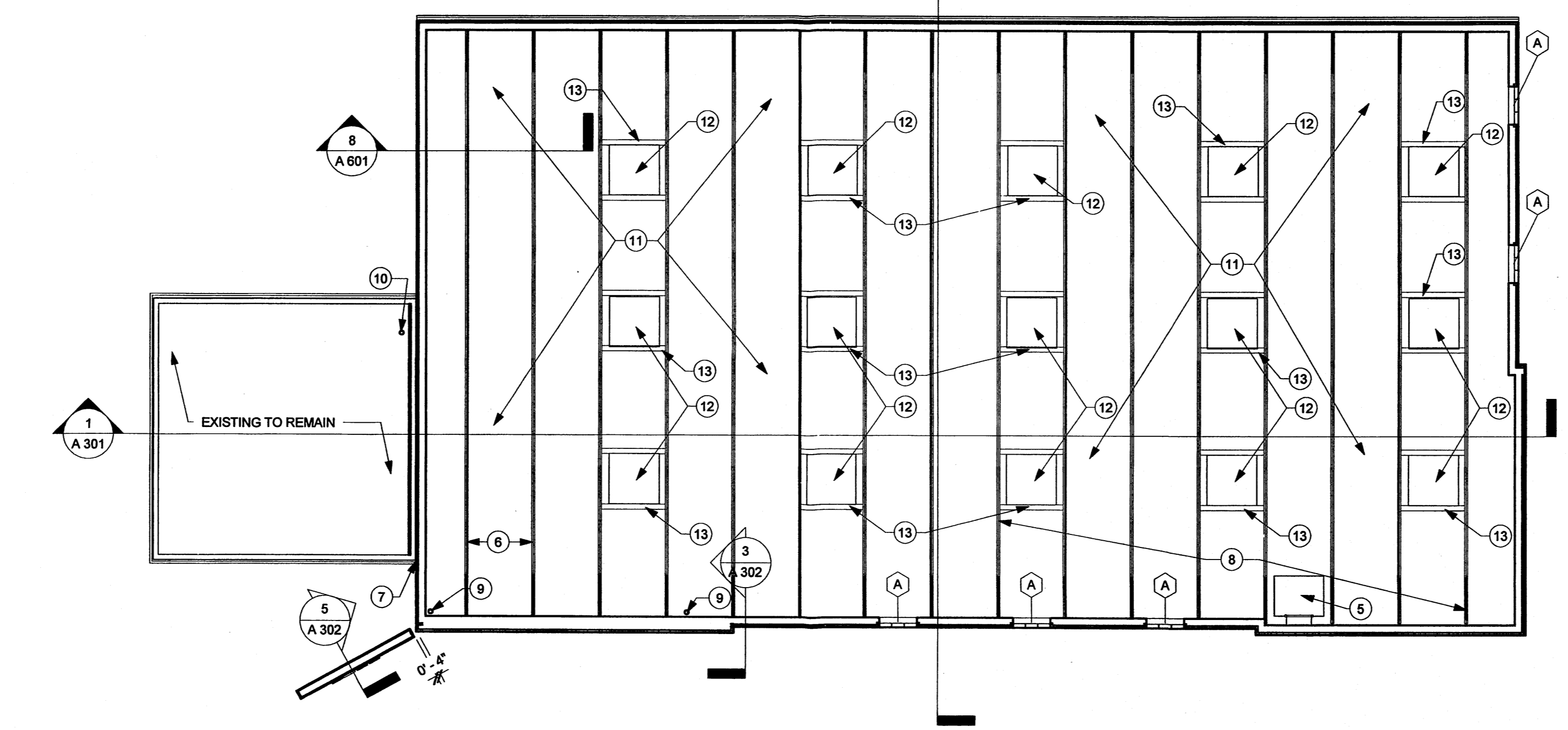
1 PRELIMINARY GRADING AND DRAINAGE PLAN
 1" = 20'-0"

EXISTING SITE DESCRIPTION:
 THE EXISTING SITE TOPOGRAPHY HAS A SLIGHT OVERALL SLOPE FROM THE WEST OF THE PROPERTY TO THE EAST BY THREE FEET. THE AREA OF THE EXISTING BUILDING HAS BEEN LEVELED AT AN ELEVATION OF 5086.40. THE NEW WAREHOUSE WILL ALSO BE BUILT AT THIS ELEVATION. THE SITE CURRENTLY HAS SEVERAL EASEMENTS WHICH RUN THROUGH IT. THE DRAINAGE EASEMENT ON THE NORTH SIDE IS COVERED IN CONCRETE, WHILE OTHER EASEMENTS ARE ORIGINALLY DIRT. THE CHANGE TO THE SURFACE BROUGHT ON BY NEW CONSTRUCTION WILL BE THE LAYING ASPHALT AROUND THE BUILDING, BUT SOME DIRT AREAS ARE TO REMAIN, AS INDICATED ABOVE. THE TOPOGRAPHY ADJACENT TO THE SITE ON THE SOUTHERN SIDE, CONTAINS A PRIVATE 25' ACCESS DRIVE. THIS IS ALSO ASPHALT AND RUNS ALONG THE SOUTHERN PERIMETER OF THE PROPOSED SITE. THIS WILL NOT BE ALTERED, AS WELL AS NONE OF THE OTHER TOPOGRAPHICAL FEATURES WITHIN 100' OF THE SITE.





1 FLOOR PLAN
1/8" = 1'-0"



2 REFLECTED CEILING PLAN
1/8" = 1'-0"

GENERAL NOTES:

- A. WALL CONSTRUCTION SHALL INCLUDE FROM INTERIOR TO EXTERIOR SURFACE:
 5/8" GYP BOARD
 6" STRUCTURAL METAL STUDS
 5/8" GYP SHEATHING
 1" POLYISOCYANURATE INSULATION BOARD (R-5)
 MOISTURE BARRIER
 7/8" STUCCO SYSTEM
- B. IF THIS SHEET IS NOT 24" X 36" IN SIZE THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- C. WASHINGTON PLACE IS A PRIVATE ROAD. THERE ARE NO SIDEWALKS ALONG THE STREET OR ADA ACCESSIBLE PATHWAY TO THE BUILDING. ACCESSIBLE PATHWAY IS PROVIDED FROM FACILITY PARKING TO THE BUILDING ENTRANCE.

○ KEYED NOTES . . . A 101

- 1 EXISTING CONCRETE ENTRY PAD
- 2 NEW 4" THICK CONCRETE PAD
- 3 6" STRUCTURAL METAL STUDS-SEE STRUC., TYPICAL
- 4 REINFORCED CONCRETE SLAB-SEE STRUCTURE AND SHEET A808 FOR METHANE MITIGATION REQUIREMENT UNDER THE FLOOR SLAB
- 5 ROOF ACCESS LADDER AND HATCH
- 6 STEEL JOIST 5'4" O.C.; SEE STRUC.
- 7 1 1/2" A 09 WALL/CORNER EXPANSION JOINT COVER SYSTEM BY FPC OR EQUAL
- 8 STEEL JOIST: SEE STRUCTURE
- 9 METHANE VENT THRU ROOF
- 10 EXISTING VENT THROUGH ROOF TO REMAIN
- 11 FOIL FACED R-38 BATT INSULATION, TYP.
- 12 4'X4' DOUBLE FROSTED LENS SKYLIGHT TYP. MUST MEET COA ENERGY CONSERVATION CODE U-FACTOR.
- 13 STEEL ANGLE SKYLITE FRAMING-SEE STRUC., TYP.



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FLOOR PLAN AND REFLECTED CEILING PLAN
HB Construction
Project Status
8405 Washington P I NE Albuquerque, NM 87113

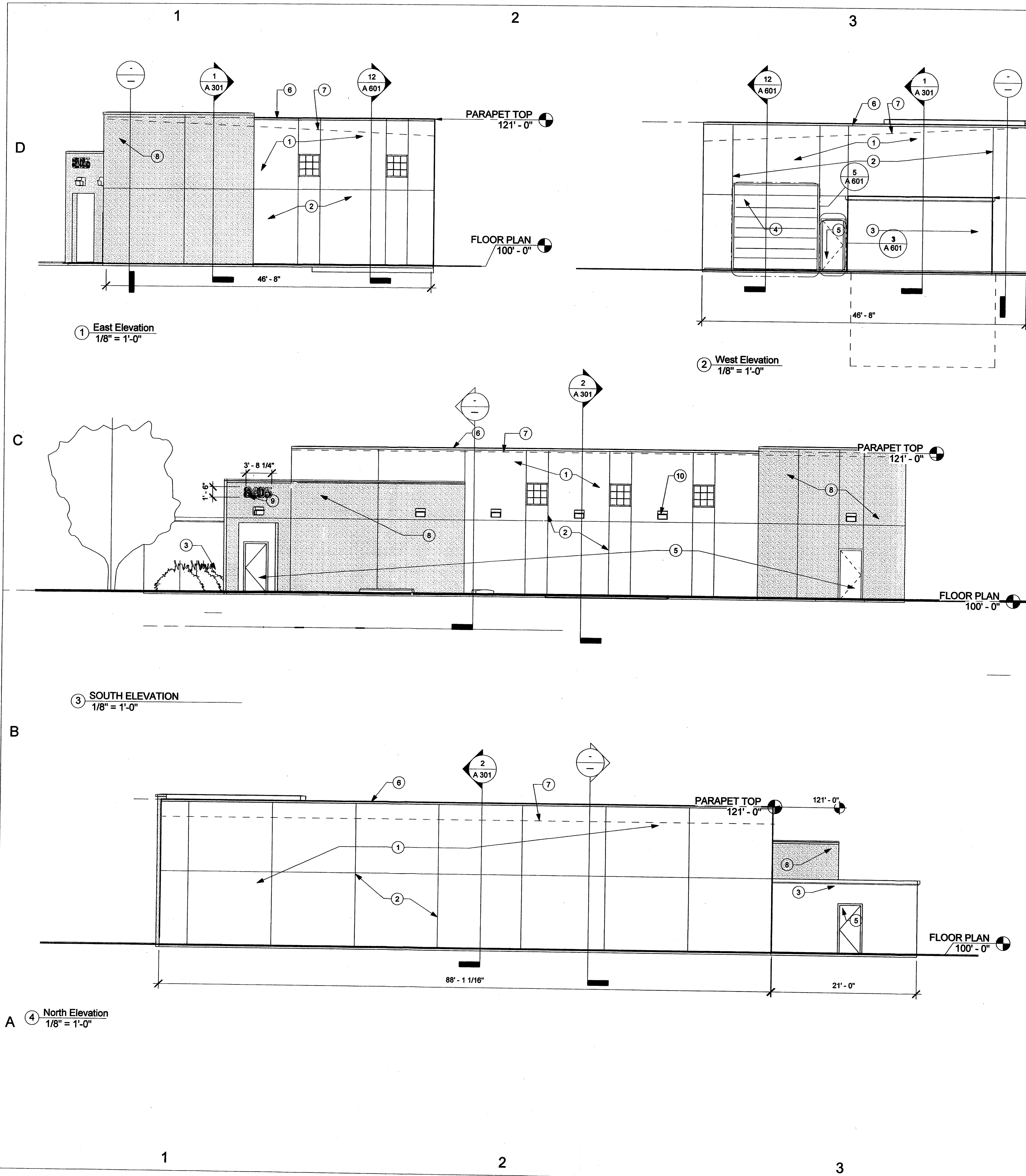
ISSUE/REVISION	No.	Description	Date

PROJECT NUMBER: 20_1015
 CAD DWG FILE: DWL.HB.WAREHOUSE

DRAWN BY: ANNA MATEJCZUK
 CHECKED BY: RON BURTON

SHEET TITLE:
FLOOR PLAN AND REFLECTED CEILING PLAN
A 101
 OF SHEET

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GENERAL NOTES:

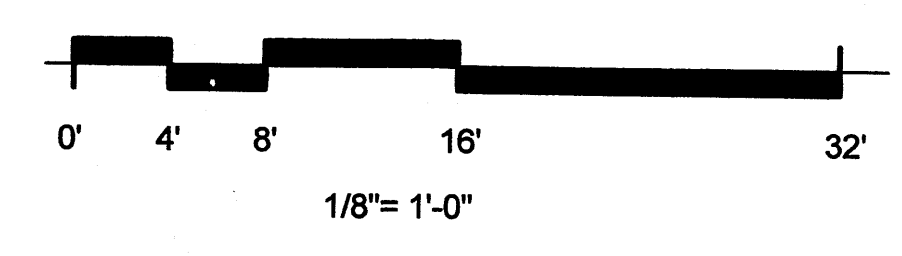
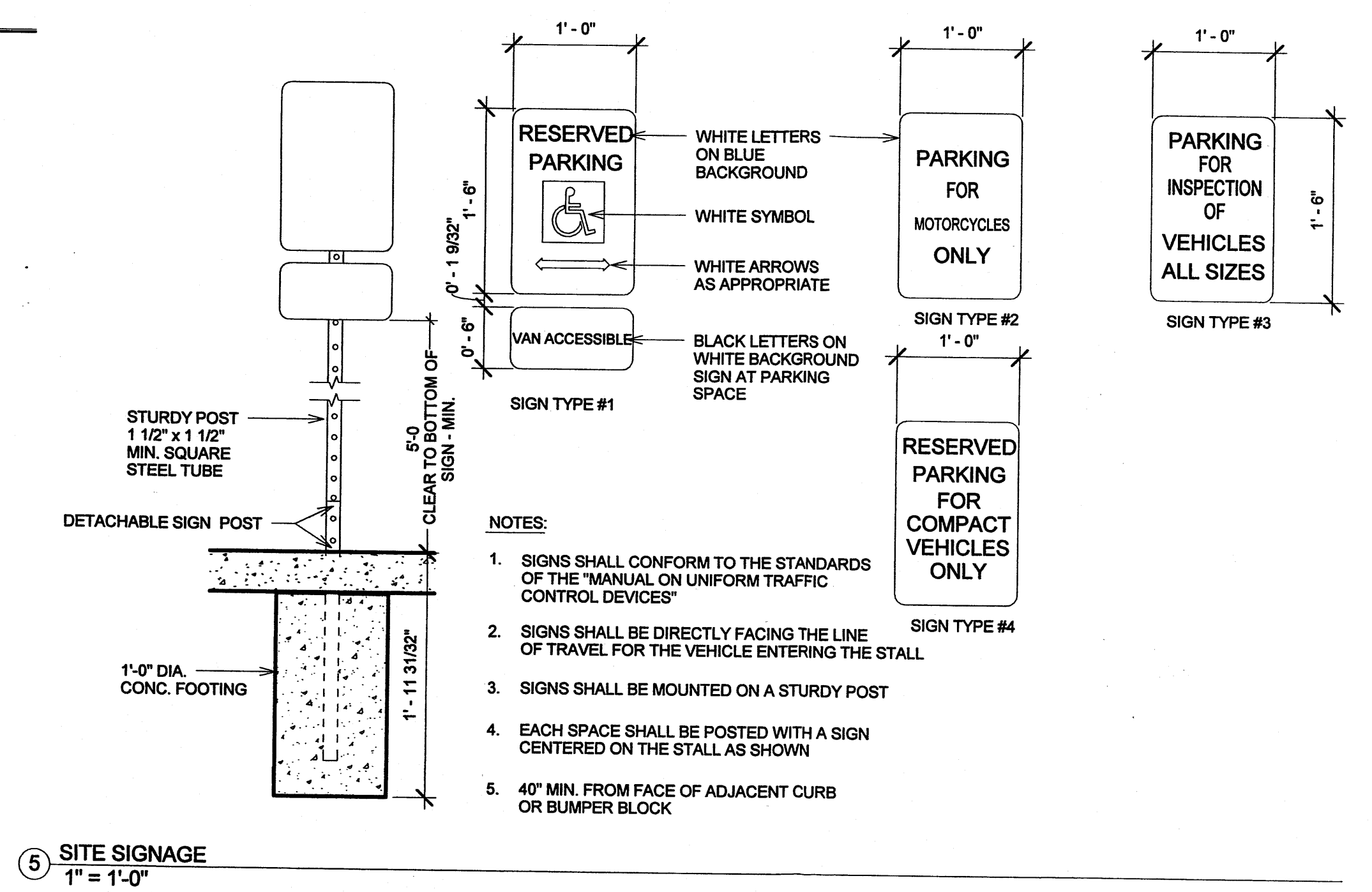
A. IF THIS SHEET IS NOT 24" X 36" IN SIZE THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.

B. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND.

C. DIMENSIONS ARE TO FACE OF STUDS

KEYED NOTES . A 201

- 1 STUCCO, TYPICAL, SMOOTH SMALL AGGREGATE FINISH, TAN COLOR
- 2 STUCCO CONTROL JOINTS, TYPICAL EXISTING BUILDING
- 3 OVERHEAD STEEL SECTIONAL DOOR
- 4 DOOR, 3' x 7' HOLLOW METAL DOOR AND FRAME
- 5 SHEET METAL PARAPET CAP
- 6 ROOF LINE
- 7 STUCCO TYPICAL, COARSE AGGREGATE FINISH, SAGE GREEN COLOR
- 8 STUCCO TYPICAL, COARSE AGGREGATE FINISH, SAGE GREEN COLOR
- 9 ADDRESS SIGN LOCATION; PLASTIC SIGN
- 10 LIGHTING FIXTURES ON BUILDING FACADE



DWL ARCHITECTS

DWL ARCHITECTS & PLANNERS, INC. OF NM
 3032 CENTRAL AVE. S.E.
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 NEW MEXICO, 871102
 PH (505) 242-6202
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**Building Elevations
 HB Construction
 Project Status**

8405 Washington Pl NE Albuquerque, NM 87113

No.	Description	Date
1	DRB SUBMITTAL DRAFT ONE	09.27.10
2	DRB SUBMITTAL EDITED - ZONING CODE	10.12.10
3	DRB SUBMITTAL FINAL PHASE	10.29.10

PROJECT NUMBER:
20_1015

CAD DWG FILE:
DWL_HB_WAREHOUSE

DRAWN BY:
ANNA MATEJCZUK

CHECKED BY:
RON BURTON

SHEET TITLE:
Building Elevations

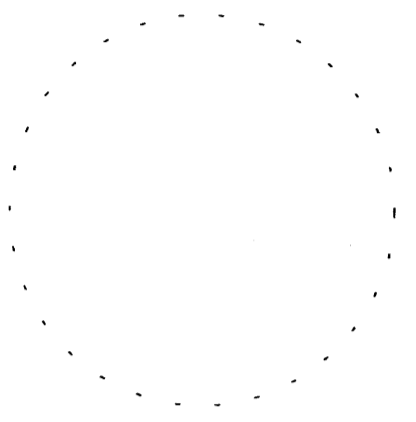
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OF SHEET

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DWL ARCHITECTS & PLANNERS, INC. OF NM
 303 CENTRAL AVE. S.E.
 WEST COURTYARD
 ALBUQUERQUE,
 NEW MEXICO, 87102
 PH (505) 242-6202
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8405 Washington PI NE Albuquerque, NM 87113

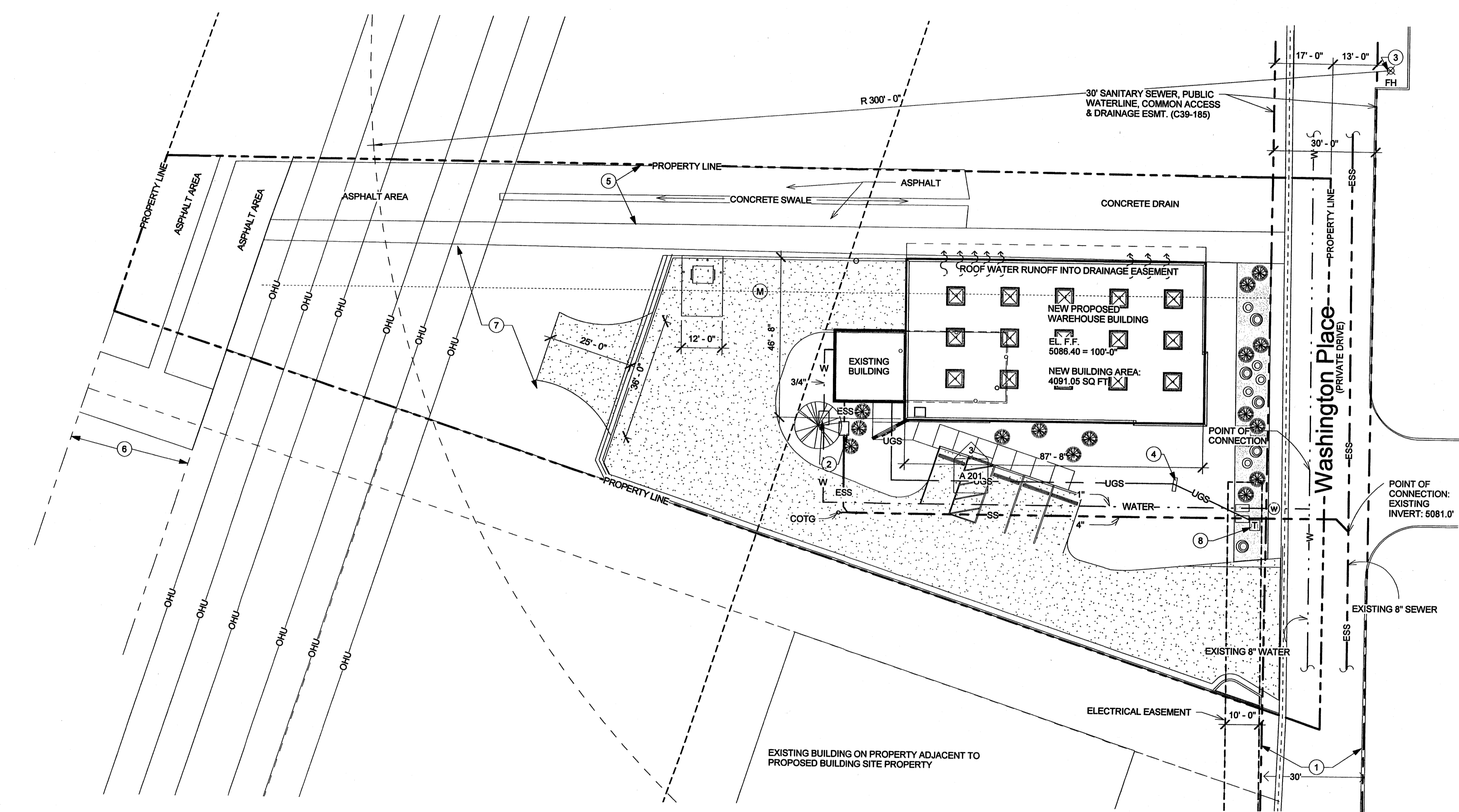
**UTILITY PLAN
 HB Construction
 Project Status**

KEYED NOTES . AS 102

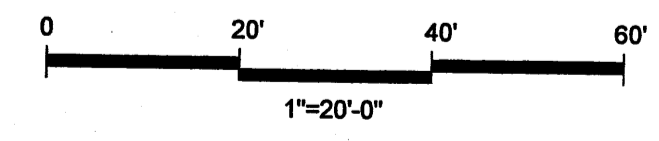
- 1 30' EXISTING SEWER, WATER, COMMON ACCESS, AND DRAINAGE EASEMENT
- 2 METHANE TRENCH VENTS
- 3 FIRE HYDRANT AND ASSOCIATED 300' RADIUS NEEDED TO COVER AREA FOR NEW CONSTRUCTION
- 4 EXISTING ELECTRIC METER
- 5 PRIVATE DRAINAGE EASEMENT
- 6 PUBLIC DRAINAGE EASEMENT
- 7 STORM DRAINAGE OVERFLOW EASEMENT
- 8 EXISTING TRANSFORMER

UTILITY LEGEND:

- W EXISTING POTABLE WATER
- UGS EXISTING UNDERGROUND ELECTRICAL SERVICE
- SS EXISTING SANITARY SEWER
- COTG SEWER CLEAN-OUT



1 UTILITY PLAN
 1" = 20'-0"



- 30' SANITARY SEWER, PUBLIC WATERLINE, COMMON ACCESS & DRAINAGE ESMT. (C39-185)
- PNM EASEMENT
- DRAINAGE EASEMENT
- PROPERTY LINE

ISSUE/REVISION No.	Description	Date
1	DRB SUBMITTAL DRAFT ONE	09.27.10
2	DRB SUBMITTAL EDITED ZONING CODE	10.12.10
3	DRB SUBMITTAL FINAL PHASE	10.29.10
4	DRB REVISION	12.03.10

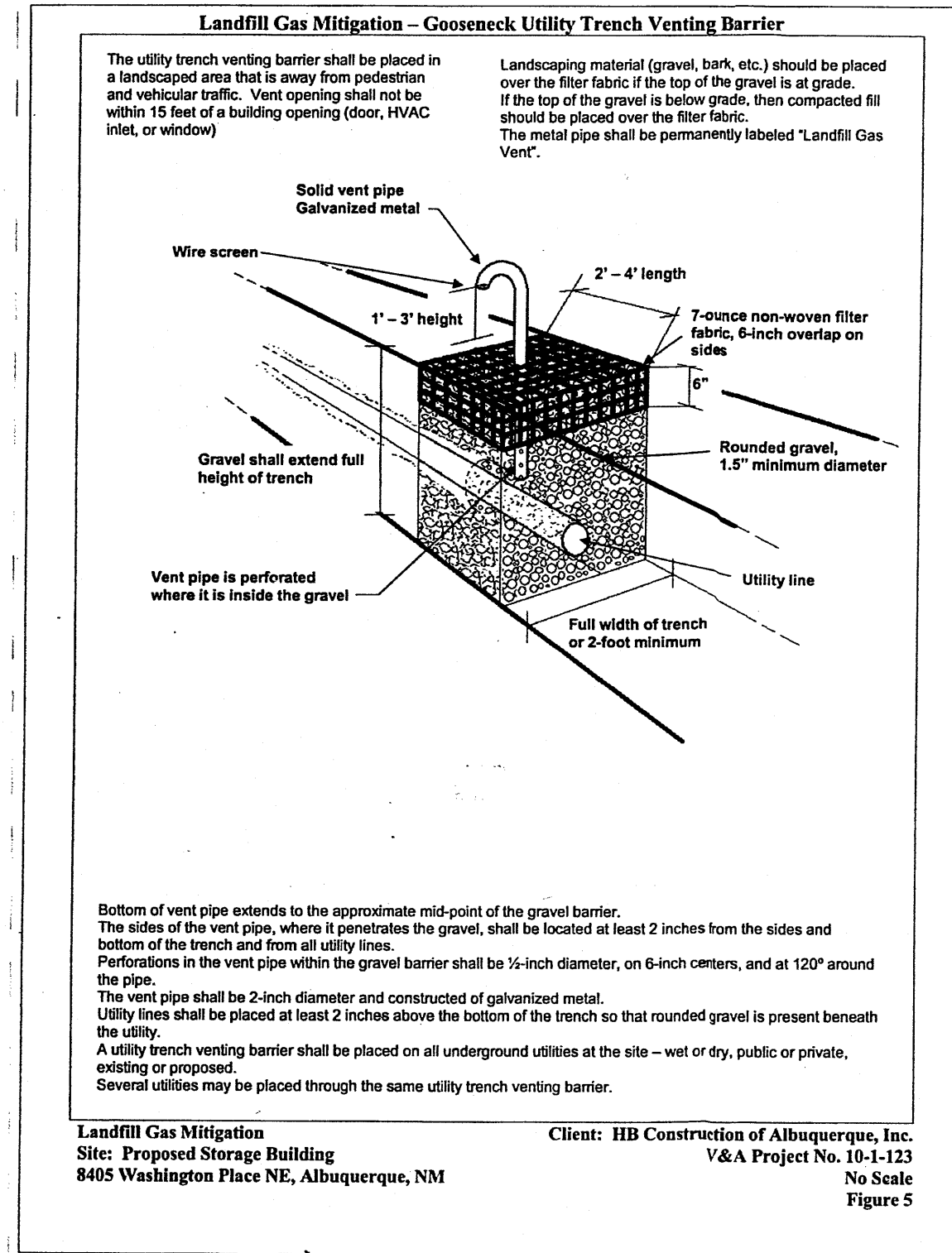
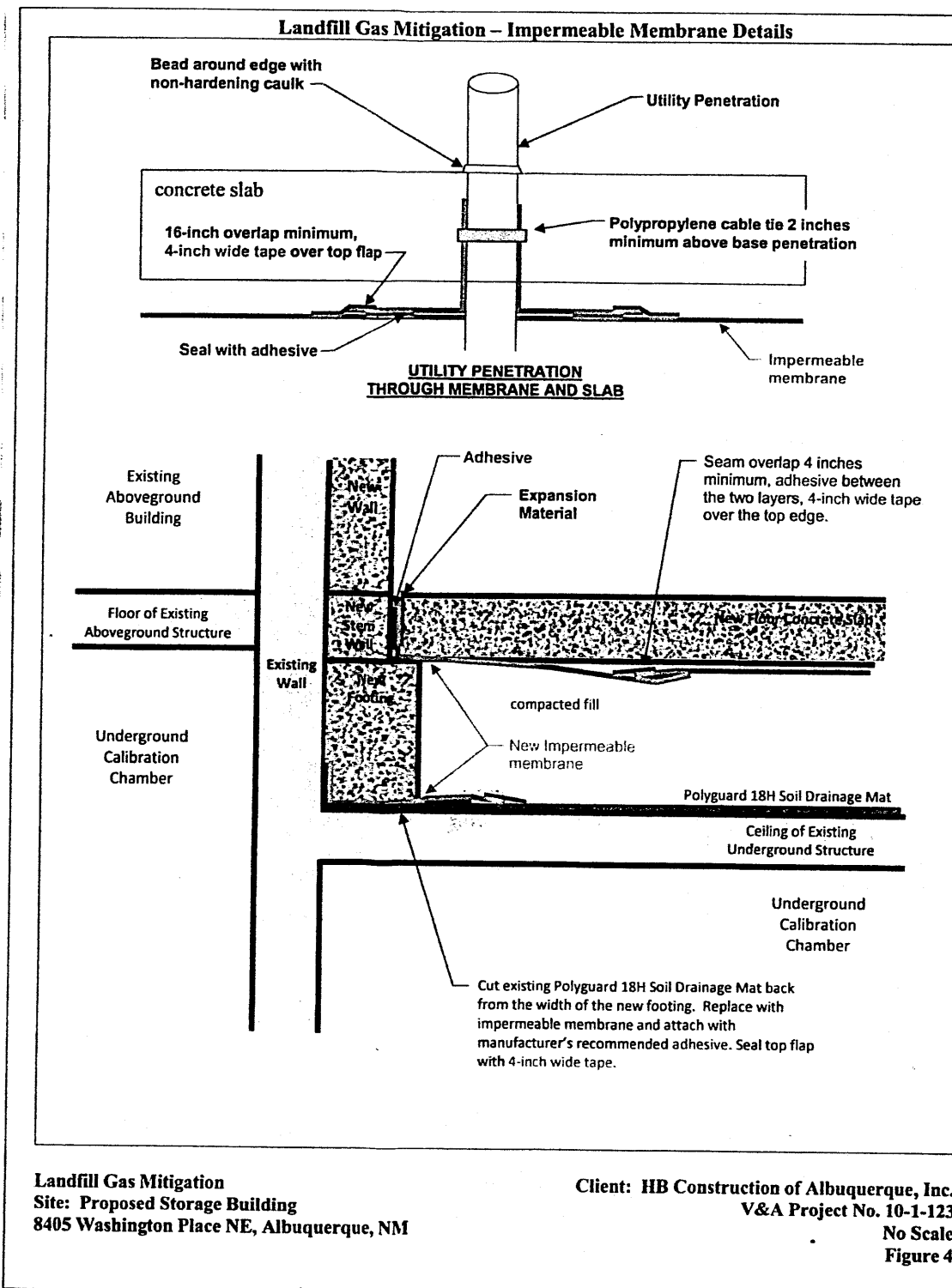
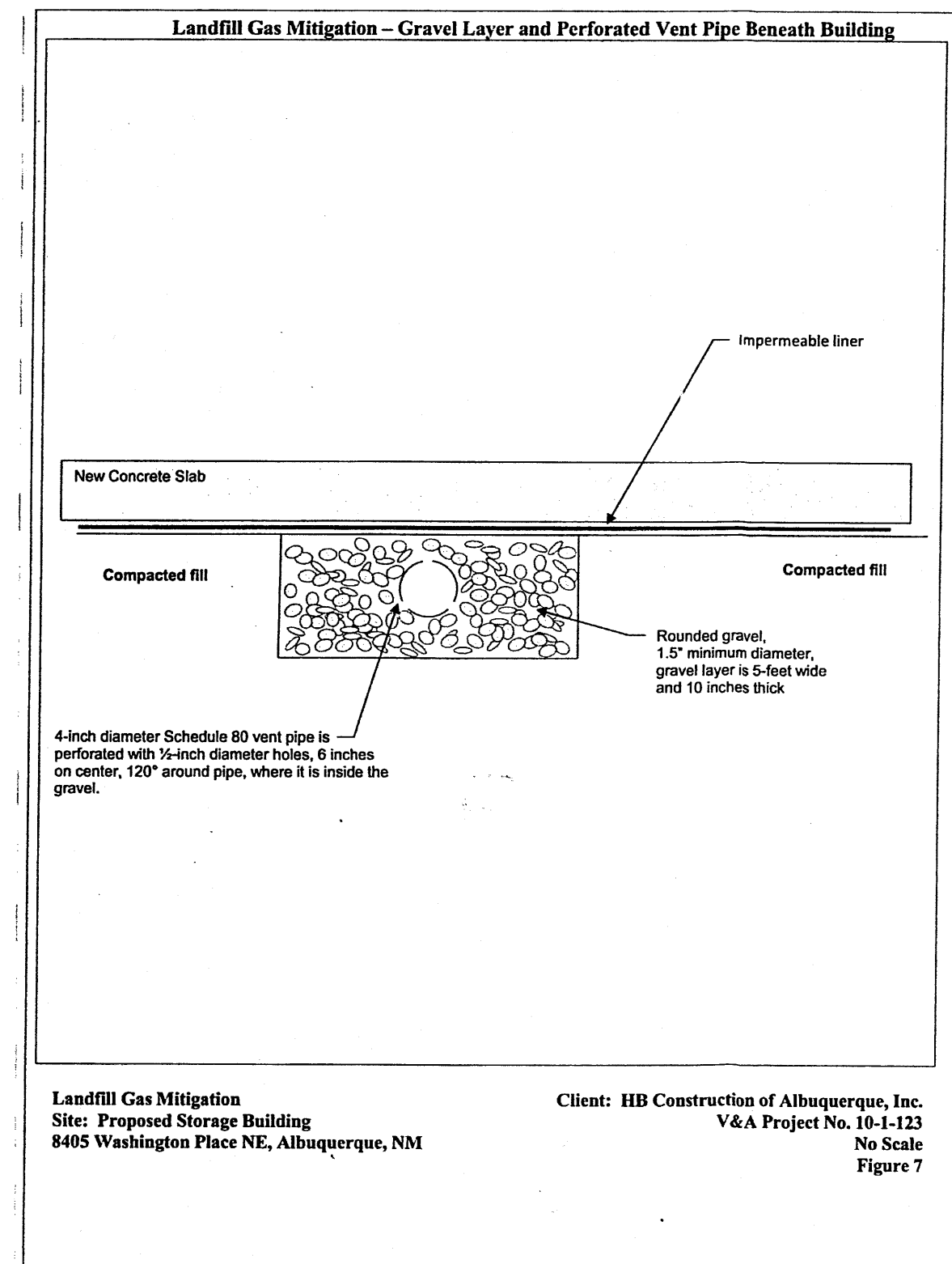
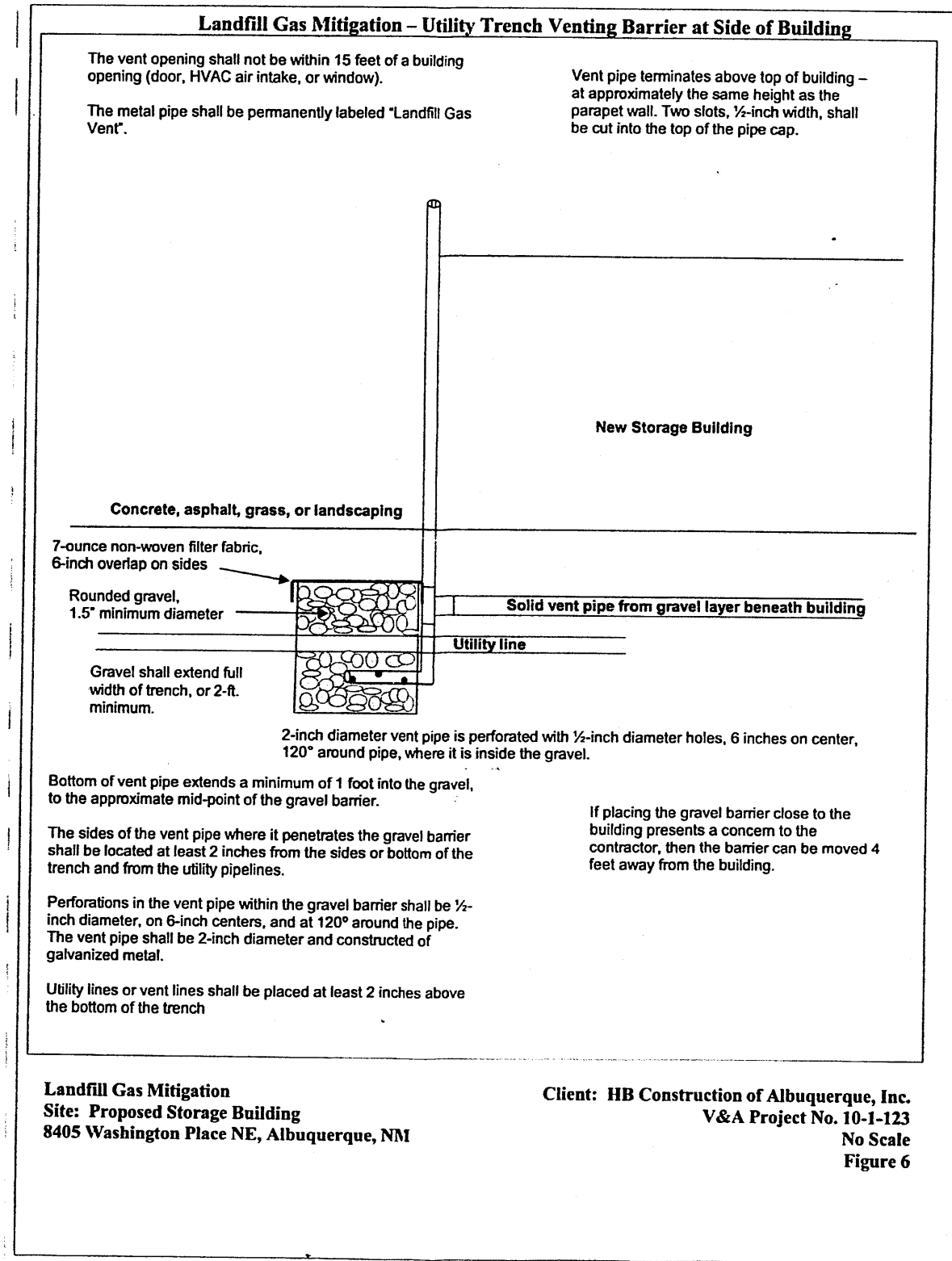
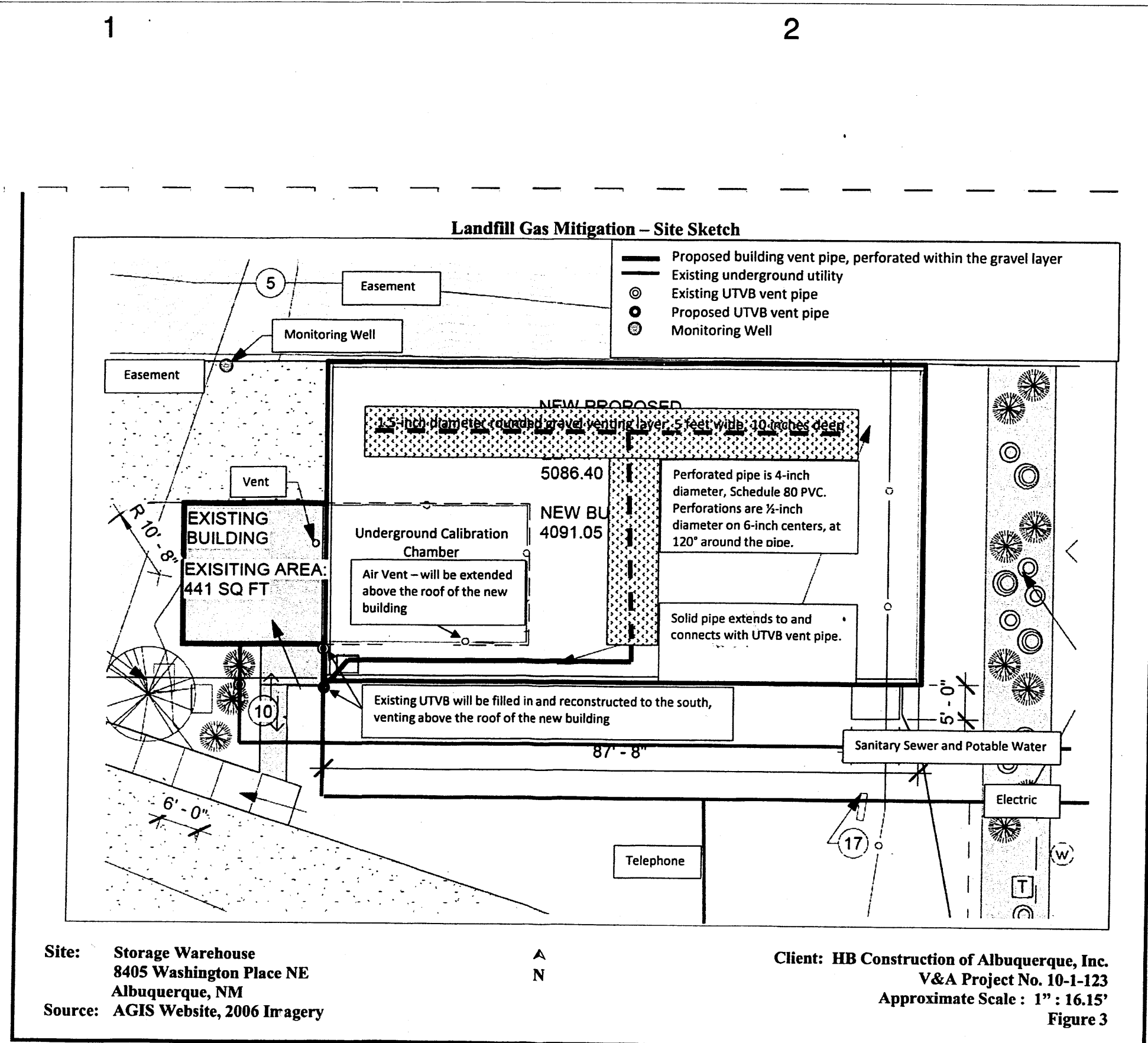
PROJECT NUMBER:
 20_1015
 CAD DWG FILE:
 DWL_HB_WAREHOUSE

DRAWN BY:
 ANNA MATEJCZUK
 CHECKED BY:
 RON BURTON

SHEET TITLE:
 UTILITY PLAN

AS 102

12/3/2010 11:02:40 AM



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Project Status
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ISSUE/REVISION		
No.	Description	Date

PROJECT NUMBER:
20_1015

CAD DWG FILE:
DWL_HB_WAREHOUSE

DRAWN BY:
Author

CHECKED BY:
Checker

SHEET TITLE:
AEHD SHEET

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