



DRB CASE ACTION LOG

REVISED 10/08/07

(SITE PLAN - BUILD P.)

Complete 2/16/11

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 10DRB-70316 Project # 1008575
 Project Name: WASHINGTON BUSINESS PARK
 Agent: DWL ARCHITECTS Phone No.: 242-6202 (Peter Siebert)

Your request was approved on 12-8-10 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Zoning Enforcement comments

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Created On:

8

1525



DRB CASE ACTION LOG

REVISED 10/08/07

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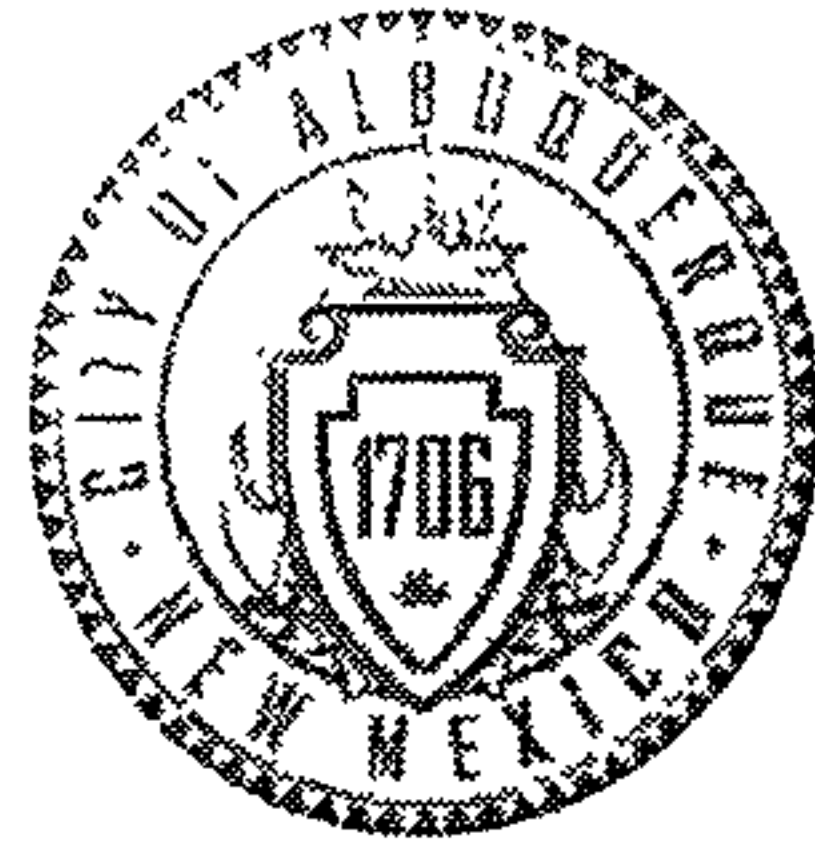
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 - Copy of recorded plat for Planning.

Created On: _____



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

December 8, 2010 9:00 AM
MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development **Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA**
Brad Bingham, P.E., Hydrology/ Alternate City Engineer **Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1008575**
10DRB-70316 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DWL ARCHITECTS agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) B-2-C-1A, **WASHINGTON BUSINESS PARK**, zoned SU-2/ M-1, located on WASHINGTON PL NE west of WASHINGTON ST NE between ALAMEDA BLVD NE and PASEO DEL NORTE NE containing approximately .8398 acre. (C-17) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR ENFORCEMENT COMMENTS.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 2. Project# 1002934**
10DRB-70338 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL
ISAACSON AND ARFMAN PA agent(s) for FOURTH ST AND MENAUL, INC request(s) the above action(s) for all or a portion of Lot(s) 1A, **WALGREEN ADDITION (TBKA LOTS 1A1 &1A2, WASGREEN ADDITION)** , zoned C-2, located on MENAUL BLVD NW BETWEEN 2ND ST NW AND 4TH ST NW containing approximately 10.7027 acre(s). (H-14)



PROJECT # 1008575

1

Date: 12-8-10

DRB PUBLIC HEARING SIGN IN SHEET

Please provide your name and address for an opportunity to speak and/or
receive an *official notice of decision*

- 1. Name: _____ Address: _____ zip: _____
- 2. Name: _____ Address: _____ zip: _____
- 3. Name: _____ Address: _____ zip: _____
- 4. Name: _____ Address: _____ zip: _____
- 5. Name: _____ Address: _____ zip: _____
- 6. Name: _____ Address: _____ zip: _____
- 7. Name: _____ Address: _____ zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 1, 2010

Project# 1008575

10DRB-70316 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DWL ARCHITECTS agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) B-2-C-1A, **WASHINGTON BUSINESS PARK**, zoned SU-2/ M-1, located on WASHINGTON PL NE west of WASHINGTON ST NE between ALAMEDA BLVD NE and PASEO DEL NORTE NE containing approximately .8398 acre. (C-17)

AMAFCA No comments.
COG No comments.
TRANSIT No comments.
ZONING ENFORCEMENT No comments.
NEIGHBORHOOD COORDINATION Letters sent to: Alameda North Valley Association (R)
APS No comments.
POLICE DEPARTMENT No comments.
FIRE DEPARTMENT No comments.
PNM ELECTRIC & GAS PNM has existing Transmission Facility and Easement at this location, Site plan is not consistent in depicting "Fire turn around," encroachment into the easement will require approval from PNM.
COMCAST No comments.
QWEST Concerning the subject case number(s), Qwest has no adverse comments at this time provided all utility easement rights are maintained. Qwest has a buried cable and closure in the vicinity of the proposed warehouse as indicated on the attached plat copy. Prior to any final plat approval, we will need a copy for review.
ENVIRONMENTAL HEALTH The referenced project site is within the landfill gas buffer zone of the former Los Angeles Landfill (directly east of the landfill). The agent, DWL Architects has provided a Landfill Gas Mitigation Report which Suzanne Busch has reviewed. Several comments were developed and transmitted to DWL Architects.



These specific comments must be addressed prior to EHD approval of the Site Development Plan for Building Permit:

1. Add the Landfill Gas Disclosure Statement to the cover sheet
2. Provide the Letter of Commitment
3. Add a Preliminary Plan documenting the mitigation measures
4. Revise the Landfill Gas mitigation report with provided comments

M.R.G.C.D

No comments.

OPEN SPACE DIVISION

No comments.

CITY ENGINEER

No adverse comments.

TRANSPORTATION DEVELOPMENT

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.
Two different plans are labeled "Site Plan." Please clarify.
The plan is difficult to read with the overlapping hatching.
A 6-foot wide, ADA accessible, pedestrian pathway is required from the street to the building.
Provide a ramp detail. Define the maximum slope.
Is Washington Place a private roadway? Please clarify.
Clarify existing versus proposed conditions.
A 25-foot wide private access is shown adjacent to the lot. Provide a copy of this easement. Who are the beneficiaries of this easement?
Define all hatching shown on the plan.
Is the concrete valley gutter existing?
Show the nearest drive on the adjacent lot.

PARKS AND RECREATION

No comments.

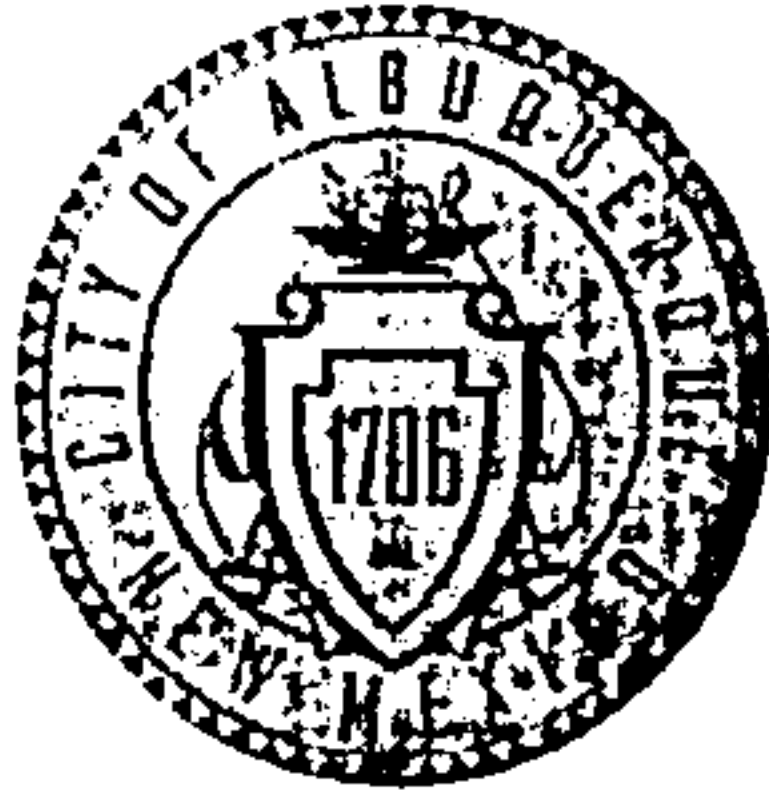
ABCWUA

No comments.

PLANNING DEPARTMENT

Please provide a Zome Map Atlas page reference on site plan.
Additional information is needed on main access and adjacent 25' Private Access; please provide a copy of the latest plat for the DRB file and refer to comments from Transportation Development, particularly regarding proximity of driveways.
Overlay of hatch patterns is not readable – PNM and DRAINAGE EASEMENTS need to be shown with different line patterns instead. The Landscape Plan has a hatch pattern that does not appear in the legend.
Chain link fence is not acceptable (Keyed Note 13). Refer to comments from Zoning Enforcement regarding compliance with Zoning Code and North I-25 Sector Plan.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, DECEMBER 1, 2010, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1002202

**10DRB-70315 VACATION OF PUBLIC
EASEMENTS**

CONSENSUS PLANNING INC agent(s) for WINROCK PARTNERS LLC request(s) the referenced/ above action(s) for all or a portion of Parcel A1A, **WINROCK CENTER ADDITION**, zoned SU-3/ MU-UPT (Mixed Use - Uptown), located between LOUISIANA BLVD NE and PENNSYLVANIA ST NE, BETWEEN I-40 and INDIAN SCHOOL NE containing approximately 50.2296 acre(s). (J-19)

Project# 1008492

**10DRB-70313 VACATION OF PUBLIC
EASEMENT
10DRB-70314 VACATION OF PUBLIC
RIGHT-OF-WAY**

JOSHUA SKARSGARD agent(s) for NORM ATKINS request(s) the referenced/ above action(s) for all or a portion of Lot(s) 26, **ALVARADO GARDENS Unit(s) 1** and MEADOW ROAD, zoned RA-2, located on the north side of MATTHEW AVE NW between RIO GRANDE BLVD NW and SAN ISIDRO ST NW containing approximately 2.8790 acre(s). (G-13)

Project# 1008575

**10DRB-70316 MAJOR – SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT**

DWL ARCHITECTS agent(s) for HB CONSTRUCTION request(s) the referenced/ above action(s) for all or a portion of Lot(s) B-2-C-1A, **WASHINGTON BUSINESS PARK**, zoned SU-2/ M-1, located on WASHINGTON PL NE west of WASHINGTON ST NE between ALAMEDA BLVD NE and PASEO DEL NORTE NE containing approximately .8398 acre. (C-17)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361. TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 22, 2010.

HEARING DATE: 12-1-10 (SBF)

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST

Meeting Date: December 1, 2010

Project# 1008575

Zone Atlas Page: C-17

App# 10 DRB 70316

Notification Radius: 100'

Cross Reference and Location: Washington Pl NE Between
Alameda Blvd NE and Jefferson NE

Applicant: HB Construction

5301 Beverly Hills NE

Alb NM 87113

Agent: DWL Architects & Planners Inc of NM

202 Central Ave SE, West Courtyard

Alb. NM, 87102

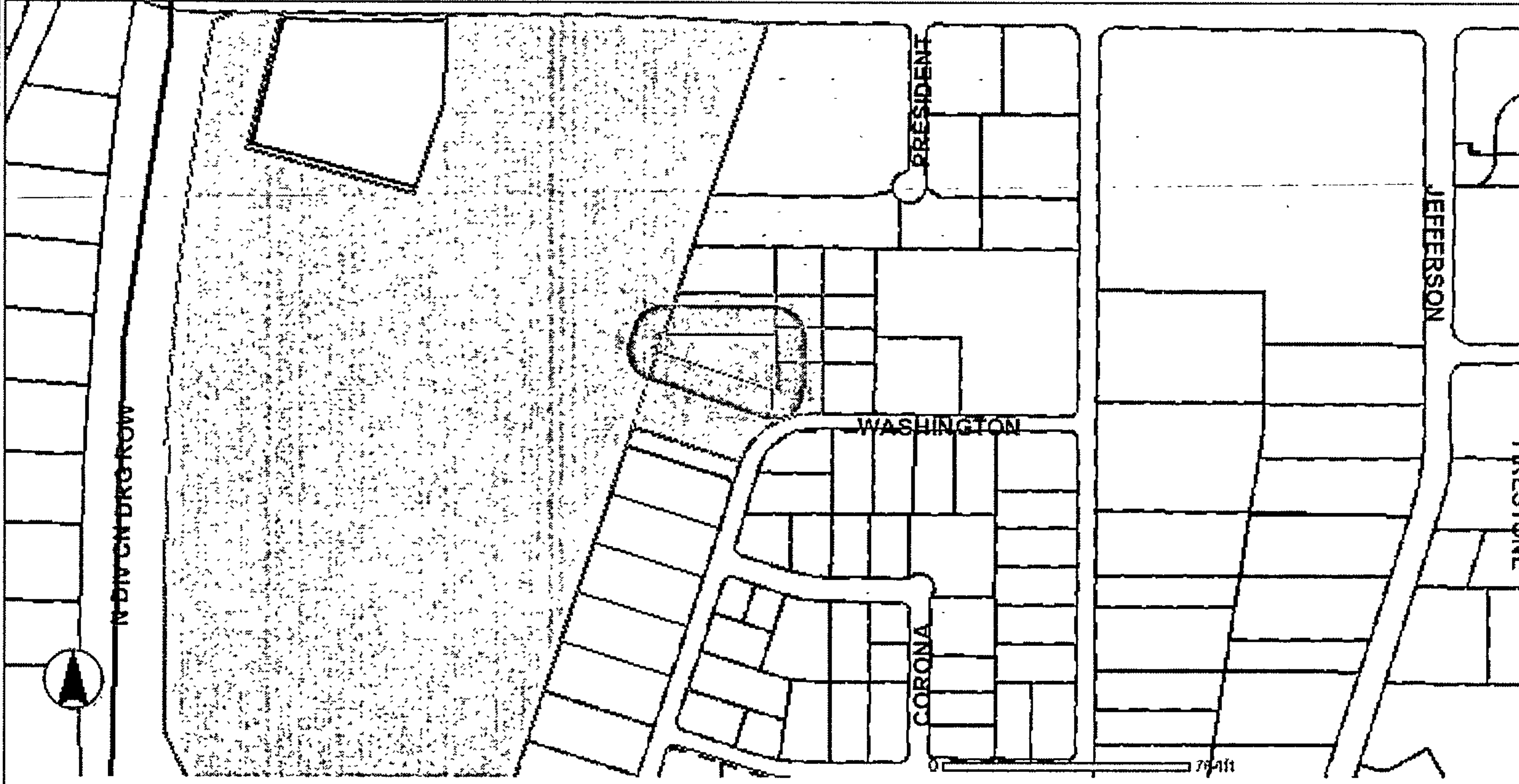
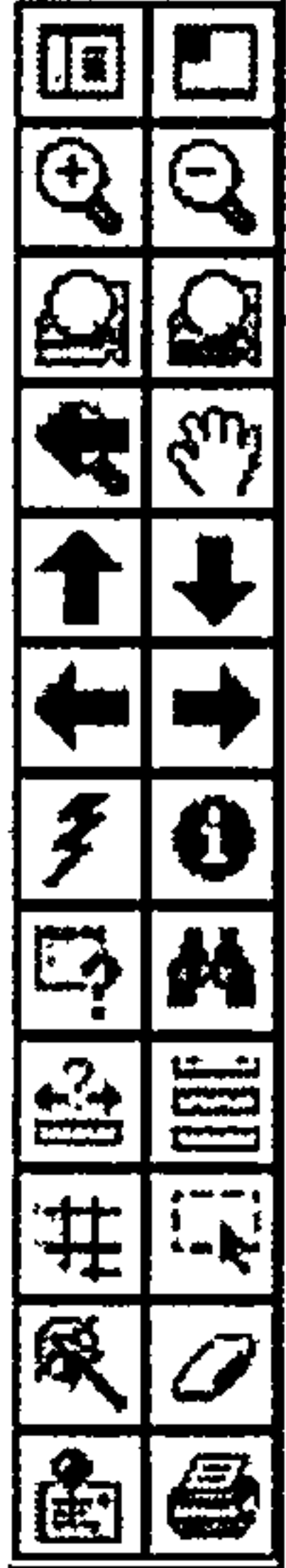
Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: 11-12-10

Signature: 

ALBUQUERQUE GIS DATA WEBSITE



- ### LAYERS
- STREETS
 - BASEMAP
 - PARCELS
 - LOT NUMBERS
 - METRO ADDRESS
 - ZONING
 - OWNERSHIP
 - 2FT CONTOUR
 - ADDRESS POINTS
 - LANDUSE
 - EASEMENTS
 - INFRASTRUCTURE
 - TRANSIT/SUNTRAN
 - BOUNDARIES
 - SITES
 - ENVIRONMENT
 - APS
 - TRAFFIC ENG.
 - AIR PHOTO
 - 2010 AIR PHOTO
 - 2008 AIR PHOTO
 - 2006 AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

[Refresh Map](#)

Auto Refresh

Help:

- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.
- Layer not visible at this scale.
- Partially visible group, click for visible

OWNERSHIP

Rec	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWN ZIP
1	101706417226430223	HINES FRANK L & DOLORES H RVT C/O SUNVISTA ENTERPRISES INC	PO BOX 91868	ALBUQUERQUE	NM	87191
2	101706417227630225	AMREY LLC	10800 CARMEL AVE NE	ALBUQUERQUE	NM	87122

OR CURRENT OWNER
AMREY LLC
10800 CARMEL AVE NE
ALBUQUERQUE, NM 87122

OR CURRENT OWNFR
BECKES JEROME F
8401 WASHINGTON PL NE
ALBUQUERQUE, NM 87113

OR CURRENT OWNER
CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE, NM 87103

OR CURRENT OWNER
HINES FRANK L & DOLORES H RVT C/O
SUNVISTA ENTERPRISES INC
PO BOX 91868
ALBUQUERQUE, NM 87199

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

11/05/2010 Issued By: E08375 92711

STANDARD APPLICATION, Paper Plans Required

Permit Number: 2010 070 316 **Category Code 910**

Application Number: 10DRB-70316, Major - Sdp For Building Permit

Address:

Location Description: WASHINGTON PL NE BETWEEN ALAMEDA BLVD NE AND JEFFERSON NE

Project Number: 1008575

Applicant / Owner
HB CONSTRUCTION

Agent / Contact
Dwl Architects

5301 BEVERLY HILLS NE
ALBUQUERQUE NM 87113
858-0404

202 Central Ave Se
Albuquerque NM 87102

Application Fees

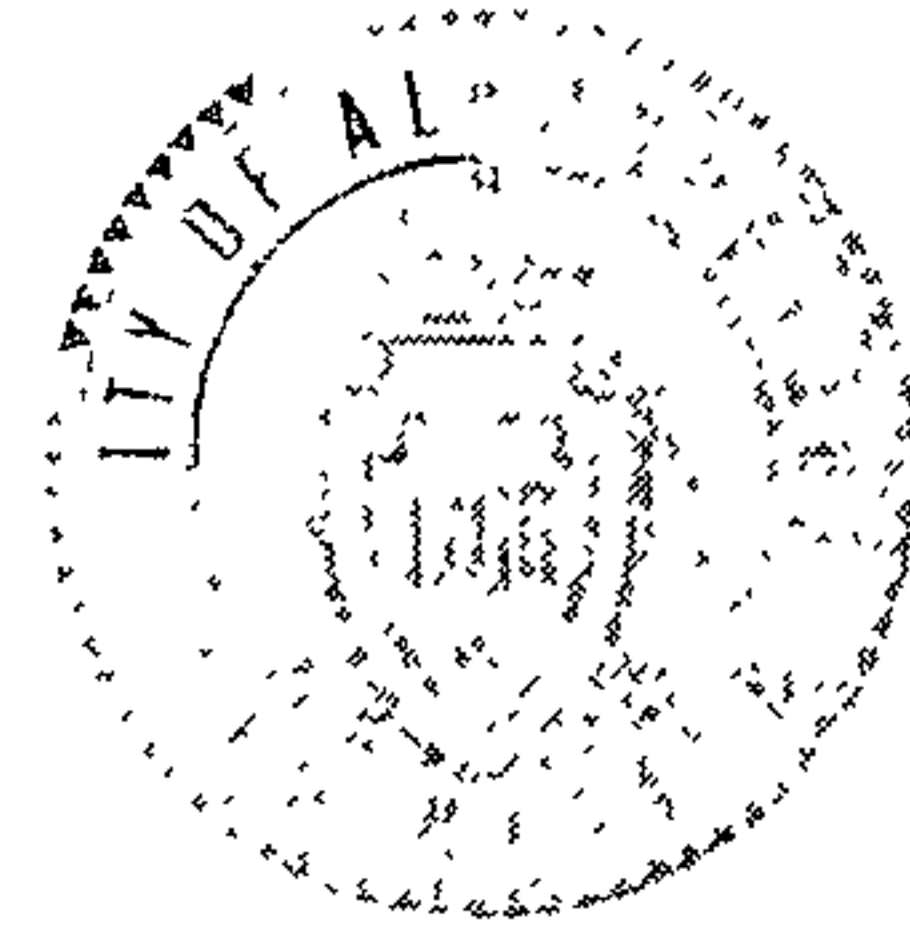
441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$385.00
TOTAL:		\$480.00

City Of Albuquerque
Treasury Division

11/5/2010 2:03PM LOC: ANNX
WSH 007 TRANSH 0015
RECEIPT# 00138187-00138187
PERMIT# 2010070316 TRSASR
Trans Amt \$480.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$385.00
VI \$480.00
CHANGE \$0.00

Thank You

CITY OF ALBUQUERQUE



Environmental Health Department

November 22, 2010

Mr. Ron Burton
DWL Architects & Planners, Inc. of New Mexico
2020 Central Ave., SE West Courtyard
Albuquerque, NM 87102-3460

Re: Landfill Gas Mitigation Report for H.B. Warehouse
8405 Washington Place, NE

Dear Mr. Burton,

I have reviewed the referenced report and have the following comments:

1. The provided Site Development Plan for DRB does not include any of the recommended mitigation measures.
2. The provided Site Development Plan does not contain the Landfill Gas Disclosure Statement on the cover sheet.
3. A Letter of Commitment to construct, operate and maintain the landfill gas mitigation measures is required prior to approval of the Site Development Plan.

PO Box 1293

Albuquerque

Specific comments regarding the report:

NM 87103

www.cabq.gov

1. Change the first paragraph in section 1.1 to read: It is presently maintained as a closed landfill except during the Albuquerque International Balloon Fiesta when it is used for RV parking.
2. Please delete all references in section 1.1 to the microturbine as it is a pilot project which does not operate on a continuous basis.
3. Section 3.0, Item 3: Determine if a detail is needed between the existing slab and the new slab at the interface to prevent landfill gases from entering at those locations.
4. Ensure the existing underground chamber retains the mitigation measures as originally designed.

Required for DRB Approval:

1. Add the Landfill Gas Disclosure Statement
2. Provide the Letter of Commitment
3. Add a Preliminary Plan documenting the mitigation measures
4. Revise the Landfill Gas mitigation report with provided comments

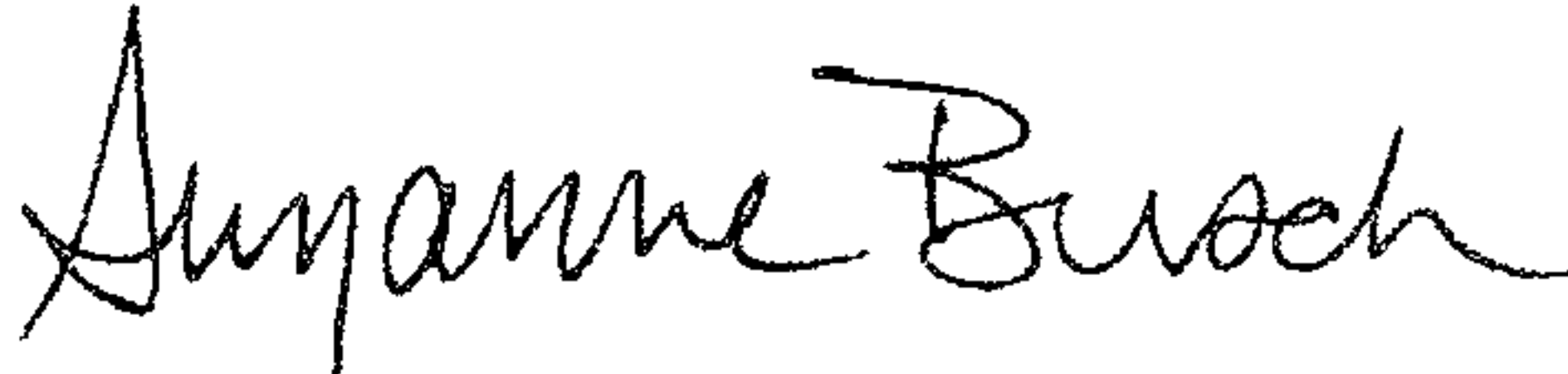
Mr. Ron Burton
Page 2

Comments regarding the construction plans:

1. Section 2.0 Impermeable Barrier on the Underground Calibration Chamber: Please insure that the recommended detail regarding the Polyguard 18H is included in the construction plans.
2. Section 2.0 Chamber Venting system and Sample Port: Please insure if the new building is located within 15 feet of the existing vent pipe, it is extended above the roof of the new addition.
3. Ensure all mitigation measures identified in Section 3.0 are included in the construction plan set.

Please provide a full set of construction plans prior to building permit submittal for my review. It is better if you provide me the plans prior to Building Permit approval since my approval is required prior to planning distribution for review. I will endeavor to review the plans quickly and not delay your process. The landfill gas mitigation measures must be stamped by the New Mexico PE with landfill gas experience.

Sincerely,



Suzanne Busch, P.E.
Principal Engineer
Environmental Services Division

Cc: Jack Cloud, DRB Chairman
Martin Vinyard, P.E., Vinyard and Assoc.
Kenneth Hunter, Vinyard and Assoc.

WRITTEN PROJECT SUMMARY HB WAREHOUSE PROJECT

The proposed project is located at 8405 Washington Place NE. The site is a zoned SU-2/M-1. The proposed new warehouse building addition will not require rezoning. A search has been undertaken at the Planning Department to determine if a previous master plan had been approved for the area and none could be located. At a later date a search in Zoning also indicated that there was not documentation related to this specific site. There were Covenants that were dated aa983 but the design criteria is outdated and no longer seems to be applicable. The project will, therefore, need to meet the requirements of the North I-25 Sector Plan. The site has an existing building that has a small above ground building of approximately 305 square feet entry/restroom and a below ground building of 888 square feet the housed medical radiation calibration equipment. The equipment has been removed and the building and property sold to the new owner, HB Construction.

The new building will be a warehouse addition that will be attached to the existing above ground building and span over the existing below ground building. The access to the site is on a private access road, Washington Place. There are several easements on the site including: a 200 foot wide PNM utility easement on the west side, a 25 foot wide drainage easement on the north side, a 35 foot wide drainage easement on the west side, an electrical easement on the east side and one-half of a 25 foot site access road easement on the east side.

The building warehouse function will not have occupants. Lighting will only include exterior wall mounted fixtures above building personal entry/exits to provide lighted access should the building need to be accessed at night. There will be no light overspill onto adjacent property and no up-lighting. Signage will only include a building address number, 8405. The building will have one overhead steel door to load and unload construction related materials. The existing building and entry into it will serve as the entry to the existing plus the new warehouse facility. Landscape shall cover at least 15% of the net lot area including existing landscaping at the building entry and adjacent to Washington place.

Building design shall include the smaller tan color mass of the existing building and the larger primarily tan color mass of the new warehouse. The larger new tan colored mass is further broken down with projected layered on planes that are different finishes and sage green color. The design intent is to follow the North I-25 Sector Plan design guidelines with a southwest style including colors, massing breakdown and finishes to blend with adjacent buildings in the areas.

The existing building shall not be modified and it will remain as is without changes. The new building will match in stucco exterior treatment and style. The building will have a low slope roof with perimeter parapets. There will be no roof or ground mounted mechanical equipment. The building will have minimal heating with base board electrical units and no cooling. The building height to top of parapet will be 21 feet that is well below the height limitation of 35 feet.



Ron R. Burton, AIA
Wilard L. Eastman, AIA

November 3, 2010

Jack Cloud
DRB Chair
600 2nd St. 3rd Floor
Albuquerque, NM 87103

Re: Site Development Plan for Building Permit
8405 Washington Place, NE

Dear Mr. Cloud,

This letter is to describe, explain and justify the request for DRB approval of the Site Development Plan for Building Permit for the property located at 8405 Washington Place NE (a private access road). The written project summary of the HB Warehouse project follows:

The proposed project is located at 8405 Washington Place NE. The site is a zoned SU-2/M-1. The proposed new warehouse building addition will not require rezoning. A search has been undertaken at the Planning Department to determine if a previous master plan had been approved for the area and none could be located. A later search in Zoning located no Master Plan but did locate Covenants dated in 1983. The Covenants and more recent development in the area seem to be disconnected with no records of later development. We have determined that the criteria in the North I-25 Sector is more applicable. The site has an existing building that has a small above ground building of approximately 305 square feet entry/restroom and a below ground building of 888 square feet that housed medical radiation calibration equipment. The equipment has been removed and the building and property sold to the new owner, HB Construction.

The new building will be a warehouse addition that will be attached to the existing above ground building and span over the existing below ground building. The access to the site is on a private access road, Washington Place that provides access to the public right of way, also named Washington Place. There are several easements on the site including: a 200 foot wide PNM utility easement on the west side, a 25 foot wide drainage easement on the north side, a 35 foot wide drainage easement on the west side, an electrical easement on the east side and one-half of a 25 foot site access road easement on the east side.

The building warehouse function will not have occupants. Lighting will only include exterior wall mounted fixtures above building personal entry/exits to provide lighted access should the building need to be accessed at night. There will be no light overspill onto adjacent property and no up-lighting. Signage will only include a building address number, 8405. The building will have one overhead steel door to load and unload construction related materials. The existing building and entry into it will serve as the entry to the existing plus the new warehouse



Ron R. Burton, AIA
Willard L. Eastman, AIA

facility. Landscape shall cover at least 15% of the net lot area including existing landscaping at the building entry and adjacent to private Washington Place.

Building design shall include a simple rectangular mass of stucco that blends with surrounding buildings in color and style (non stylistic, simple massing, tan colors with occasionally accent colors). The existing building shall not be modified and it will remain as is without changes. The new building will match in stucco exterior treatment and style. The building will have a low slope roof with perimeter parapets. There will be no roof or ground mounted mechanical equipment. The building will have minimal heating with base board electrical units and no cooling. The building height to top of parapet will be 21 feet that is well below the height limitation of 35 feet.

The building will include two rectangular masses, the smaller existing rectangular building on the west end of the site and the larger new mass on the east end of the site. The design addresses the design Regulations of the North I-25 Sector Plan in the following ways:

1. The views of the building from the public right-of-way have been considered. Since the street on the east side of the site is a private access road, the public right-of-way is to the southeast from Washington Place. This makes the most prominent view to be considered the south elevation.
2. Building Mass Break-down: The character of this elevation presents two different size masses including the existing smaller mass and the larger new mass. Each mass is less than 100 feet long. The mass of the new large mass is broken into slightly projected layers of different finishes, colors and cornice treatment. To further break up the masses of the new warehouse facades, an additional projected layer of the different finish and color will wrap around the southeast corner. Distinctively different colors associated with each of the building field and the projected layers also further visually enhance the layered effect. The field color is proposed to be tan and the projected layers sage green. These colors and layered areas on the building elevations make the building compatible with the contemporary simple massing of buildings in the surrounding area.
3. Building Entry identification: The projected layer of different finish and color on the west end will extend beyond the southwest end of the new building at a 45 degree angle to create an entry wall feature and to emphasis the location of the facility entry into the existing building at the west end.
4. Additional Façade Articulation: The building will also include further façade articulation with high glass block windows and roof skylights to provide additional natural light into the interior of the building.



Ron R. Burton, AIA
Willard L. Eastman, AIA

5. **Customer Access and Entry:** This warehouse will not be occupied and has no customers. Additionally there are no sidewalks along the private access road or adjacent properties. The entry into the building would occur from the provided handicapped and standard parking spaces. The entry is visually emphasized with the proposed creation of the angled wall that is an extension of the projected layered effect described above in item 2.
6. **Internal vehicle circulation** has been designed to accommodate emergency, fire and trash vehicles. Private vehicles will include standard passenger vehicles and delivery vehicles no larger than vans and pick-ups. The site layout will accommodate all these size vehicles.
7. **Landscape Design:** Existing landscape provides the required buffer along the private road and the new landscape provides the required 15% net site landscape area.
8. **Building Principles:** The building masses are appropriate to surrounding context with a contemporary interpretation of southwest style. Also see item 2 above for additional explanation.
9. **Signage:** The only signage for this building will be the street address to be attached over the entry feature wall.
10. **Building Height:** The taller building mass is 21 feet that is well below the maximum height requirement in the Sector Plan of 39 feet.

DWL Architects hopes the information supplied in this letter and the associated drawings clearly explains how the proposed Warehouse project meets the requirements of the North I-25 Sector Plan and other DRB requirements. We look forward to further discussion in the DRB Hearings.

Sincerely,

A handwritten signature in black ink, appearing to read "Ron Burton", written in a cursive style.

Ron Burton, AIA, LEED AP

Page 3 of 3

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- NA* 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB - *per page 3 of No. I-25 SDP*
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - NA* 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ron Burton Applicant name (print)
Ron Burton 11-5-10
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
10DRB - 70316

Valby 11-5-10
Planner signature / date
Project # 1008575

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from November 16, 2010 To December 1, 2010

5. REMOVAL

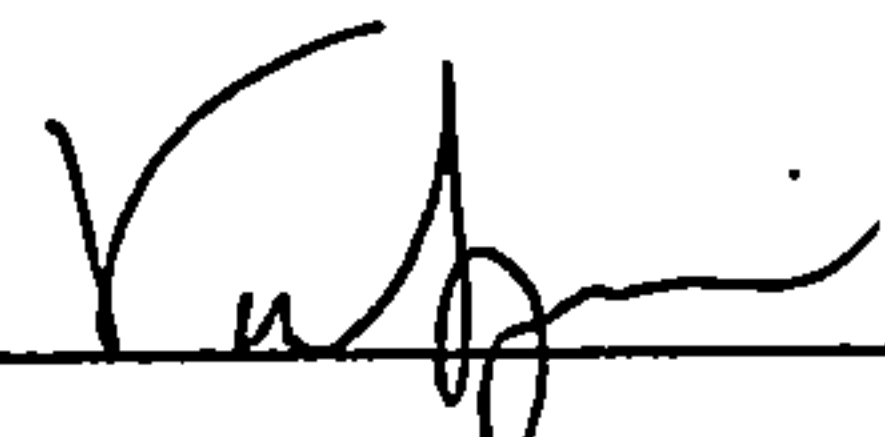
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


(Applicant or Agent)

11-5-10
(Date)

I issued 1 signs for this application, 11-5-10
(Date)


(Staff Member)

DRB PROJECT NUMBER: 1008575

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Certified Fee		\$2.80	
Return Receipt Fee (Endorsement Required)		\$2.30	
Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$5.54	



Sent to David Lindner
 Street, Apt. No.,
 or PO Box No.
 City, State, ZIP+4

PS Form 3800, August 2006

See Reverse for Instructions

2009 3420 0000 074E 6002

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

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Postage	\$	\$0.44	0101
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Total Postage & Fees	\$	\$5.54	



Sent to Steve Wentworth
 Street, Apt. No.,
 or PO Box No.
 City, State, ZIP+4

PS Form 3800, August 2006

See Reverse for Instructions

2009 3420 0000 074E 6002



Ron R. Burton, AIA
Willard L. Eastman, AIA

David Lindner
Alameda North Valley Assn.
10407 4th Street NW
Albuquerque NM 87114-2328

Re: DRB Submittal of Site Development Plan for Building Permit

Dear Mr. Wentworth,

This letter is to notify the Alameda North Valley Association that a submittal of a Warehouse Project is being made to DRB for approval of Site Development Plan for Building Permit. The site is located at 8405 Washington Place NE. The legal description of the site is: Lot 1, Tract, B-2-C-1A, Washington Business Park. The City Zoning Atlas Map is C-17. The site is located between Jefferson Street NE and the Balloon Park and Alameda Blvd. and Paseo del Norte. The proposed project for the site includes a Warehouse Addition to an existing small building on the site. DWL Architects is acting as the agent for the project owner.

Thanks so much.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ron Burton', written in a cursive style.

Ron Burton



Steve Wentworth
Alameda North Valley Assn.
8919 Boe Ln. NE
Albuquerque NM 87113-2328

Re: DRB Submittal of Site Development Plan for Building Permit

Dear Mr. Wentworth,

This letter is to notify the Alameda North Valley Association that a submittal of a Warehouse Project is being made to DRB for approval of Site Development Plan for Building Permit. The site is located at 8405 Washington Place NE. The legal description of the site is: Lot 1, Tract, B-2-C-1A, Washington Business Park. The City Zoning Atlas Map is C-17. The site is located between Jefferson Street NE and the Balloon Park and Alameda Blvd. and Paseo del Norte. The proposed project for the site includes a Warehouse Addition to an existing small building on the site. DWL Architects is acting as the agent for the project owner.

Thanks so much.

Sincerely,



Ron Burton

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **11/05/10** Time Entered: **9:25 a.m.** ONC Rep. Initials: **siw**



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

November 5, 2010

Ron Burton
DWL Architects
202 Central Avenue SE, West Courtyard
Phone: 505-242-6202/Fax: 505-242-4159

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Ron:

Thank you for your inquiry of November 5, 2010 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) LOT 1, TRACT B-2-C-1A, WASHINGTON BUSINESS PARK, 8405 WASHINGTON PLACE NE, LOCATED ON WASHINGTON PLACE NE BETWEEN JEFFERSON STREET NE AND BALLOON PARK AND ALAMEDA BOULEVARD NE AND PASEO DEL NORTE NE** Zone Map: **C-17**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

ALAMEDA NORTH VALLEY ASSN. "R"

Steve Wentworth

8919 Boe Ln. NE/87113-2328 897-3052 (h)

David Lindner

10407 4th St. NW/87114 898-4465 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck

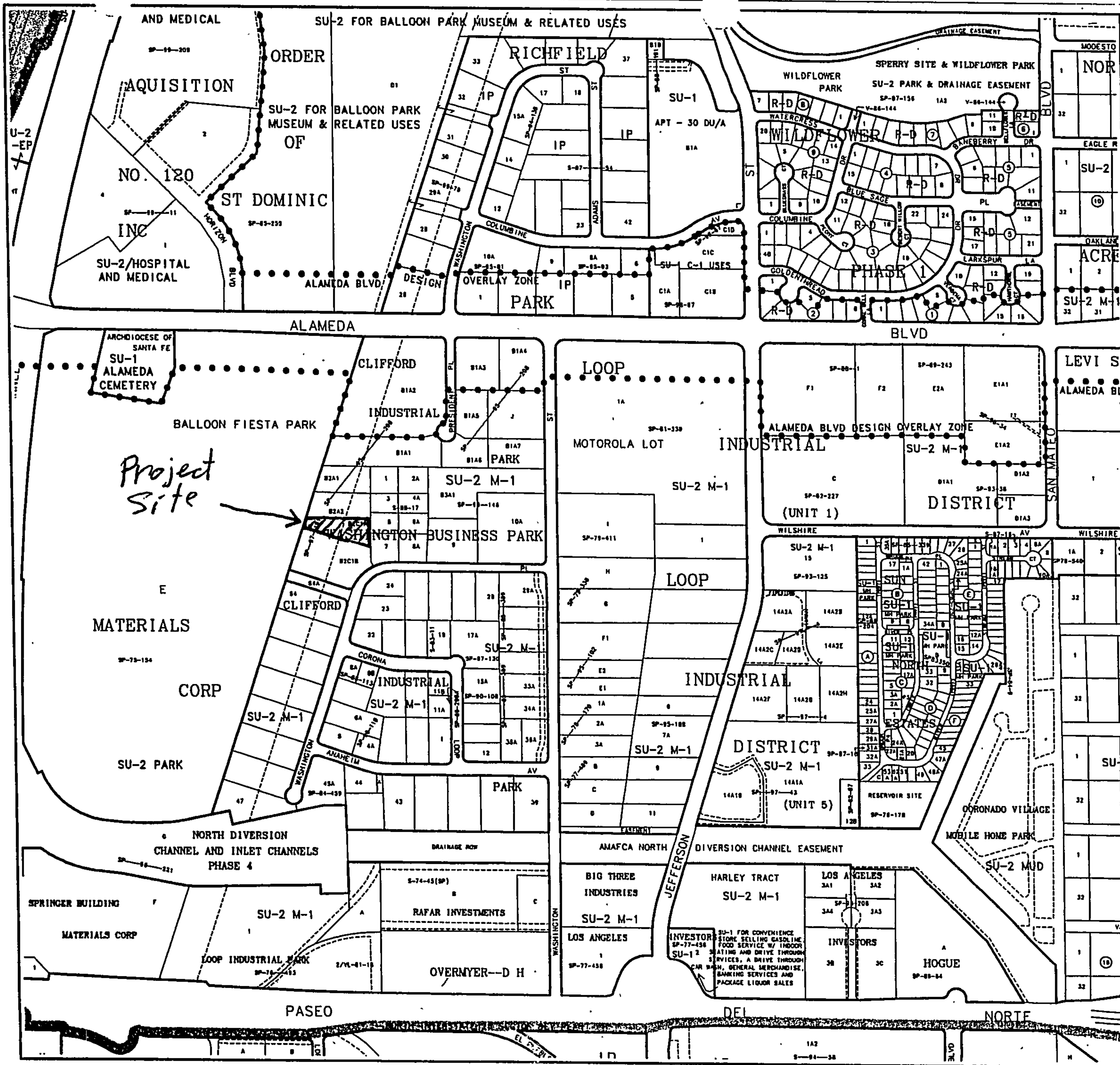
Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

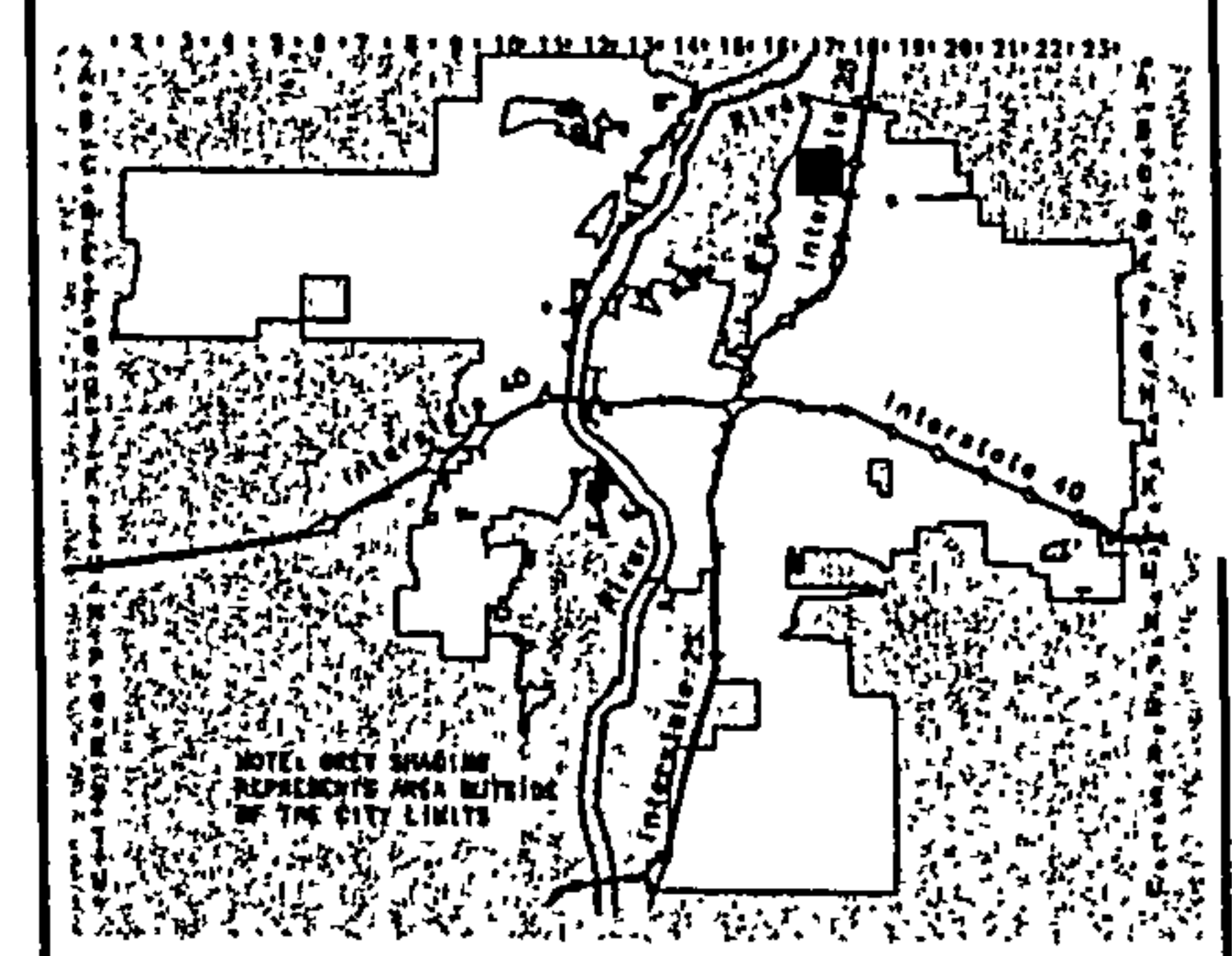
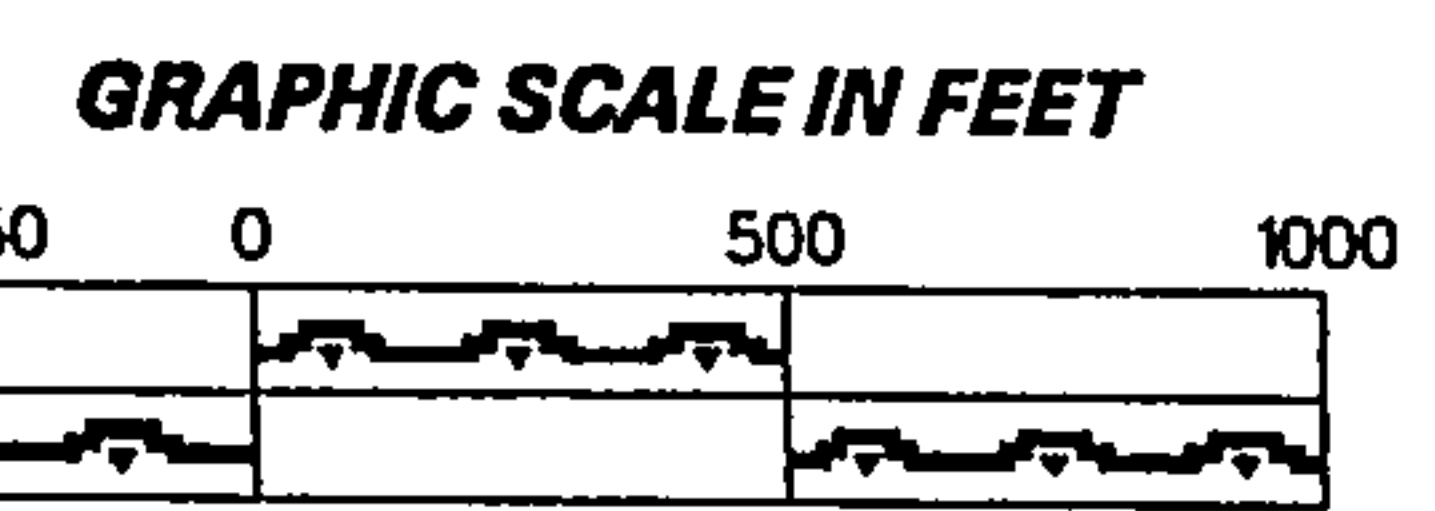
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningrnaform(05/22/08)



CITY OF
Albuquerque
Geographic Information System
PLANNING DEPARTMENT
© Copyright 1999



Zone Atlas Page C-17-Z

Map Amended through
December 20, 1999

SITE DEVELOPMENT PLAN FOR BUILDING RMIT CHECKLIST

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- NA G. Loading facilities *None required for this project*
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- NA K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).
This Warehouse has no occupants & amenities would serve no purpose

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 3 provided: 3

Handicapped spaces (included in required total) required: 1 provided: 1
 Motorcycle spaces (in addition to required total) required: 0 provided:

- NA B. Bicycle parking & facilities *Non provided because there are no occupants*
 - 1. Bicycle racks, spaces required: provided:
 - 2. Bikeways and other bicycle facilities, if applicable

- NA C. Public Transit *None serves this area.*
 - 1. Bus facilities, including routes, bays and shelters existing or required

- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment

- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - NA 3. End aisle locations, including width and curve radii dimensions *There are no end aisles on this site plan.*
 - 4. Location & orientation of refuse enclosure, with dimensions
 - NA 5. Curb cut locations and dimensions *There is no curb on the private road, only valley gutter.*
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - NA 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions *None on this site*
 - NA 8. Location of traffic signs and signals related to the functioning of the proposal *None on site*
 - NA 9. Identify existing and proposed medians and median cuts *None on this site*

Note: The street in front (East side of this site) is a private access drive. The Public Right of Way is further to the south also called Washington Place.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping. *No phasing for this site.*

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- ✓ 1. Scale - must be same as scale on sheet #1 - Site plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Identify nature of ground cover materials
 - ✓ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ✓ B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - NA C. Ponding areas either for drainage or landscaping/recreational use *none on this site*
- ✓ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ✓ A. Existing, indicating whether it is to be preserved or removed.
 - ✓ B. Proposed, to be established for general landscaping.
 - ✓ C. Proposed, to be established for screening/buffering.
- ✓ 8. Describe irrigation system - Phase I & II . . .
- ✓ 9. Backflow prevention detail *Existing*
- ✓ 10. Planting Beds, indicating square footage of each bed
- NA 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. *No turf to be installed*
- ✓ 12. Responsibility for Maintenance (statement)
- ✓ 13. Statement of compliance with Water Conservation Ordinance, see article 6-1-1-1.
- ✓ 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ✓ 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- ✓ 16. Planting or tree well detail
- ✓ 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls *No retaining walls on this site*

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas *No ponding on this site*
- 4. Cross Sections *No grade change greater than 4 feet on this site.*
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff. *This project is not related to residences*

B. Signage

- 1. Site location(s) *Building Address only*
- 2. Sign elevations to scale *Only signage is the street address shown on the Building elevation sheet*
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated - *See Building elevations for dimensions*
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

fruits, time 069 @ gmail. com

75% line vegetation
covered -
peary w/ tolerat

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: HB Construction DATE OF REQUEST: 9/29/10 ZONE ATLAS PAGE(S): C-17

CURRENT:

ZONING SU-2/M1

PARCEL SIZE (AC/SQ. FT.)

LEGAL DESCRIPTION:

LOT OR TRACT # B-2-C-1A BLOCK #

SUBDIVISION NAME Washington Business Park

REQUESTED CITY ACTION(S):

- ANNEXATION [] SECTOR PLAN SITE DEVELOPMENT PLAN:
COMP. PLAN [] ZONE CHANGE [] A) SUBDIVISION [] BUILDING PERMIT [X]
AMENDMENT [] CONDITIONAL USE [] B) BUILD'G PURPOSES [] ACCESS PERMIT []
C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

GENERAL DESCRIPTION OF ACTION: 1

- NO CONSTRUCTION/DEVELOPMENT [] # OF UNITS: 1
NEW CONSTRUCTION [X] BUILDING SIZE: 4000 (sq. ft.)
EXPANSION OF EXISTING DEVELOPMENT [X]

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE [Signature] DATE 9-29-10
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] DATE 9-29-10
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO [X]

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

[Signature] DATE 9-29-10
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /
TRAFFIC ENGINEER DATE



HB Construction of Alb., Inc.
5301 Beverly Hills Ave. NE
Albuquerque, NM 87113
505-856-0404 Fax 505-856-0480

9/29/2010

City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: Authorization

Dear Madam or Sir,

HB Construction authorizes Ron Burton of DWL Architects to act as our agent for matters relating to the building permit and any administrative amendments of the HB Warehouse located at 8405 Washington Place NE, Albuquerque New Mexico.

Respectfully,

A handwritten signature in black ink, appearing to be 'L. Michael Brown', written over a horizontal line.

L. Michael Brown
Chief Operations Officer

HB WAREHOUSE
8405 WASHINGTON PL.NE
ALBUQUERQUE, NM 87113



**RENDERING OF THE SOUTHEAST FACADE FACING
THE PUBLIC RIGHT OF WAY WASHINGTON PLACE**

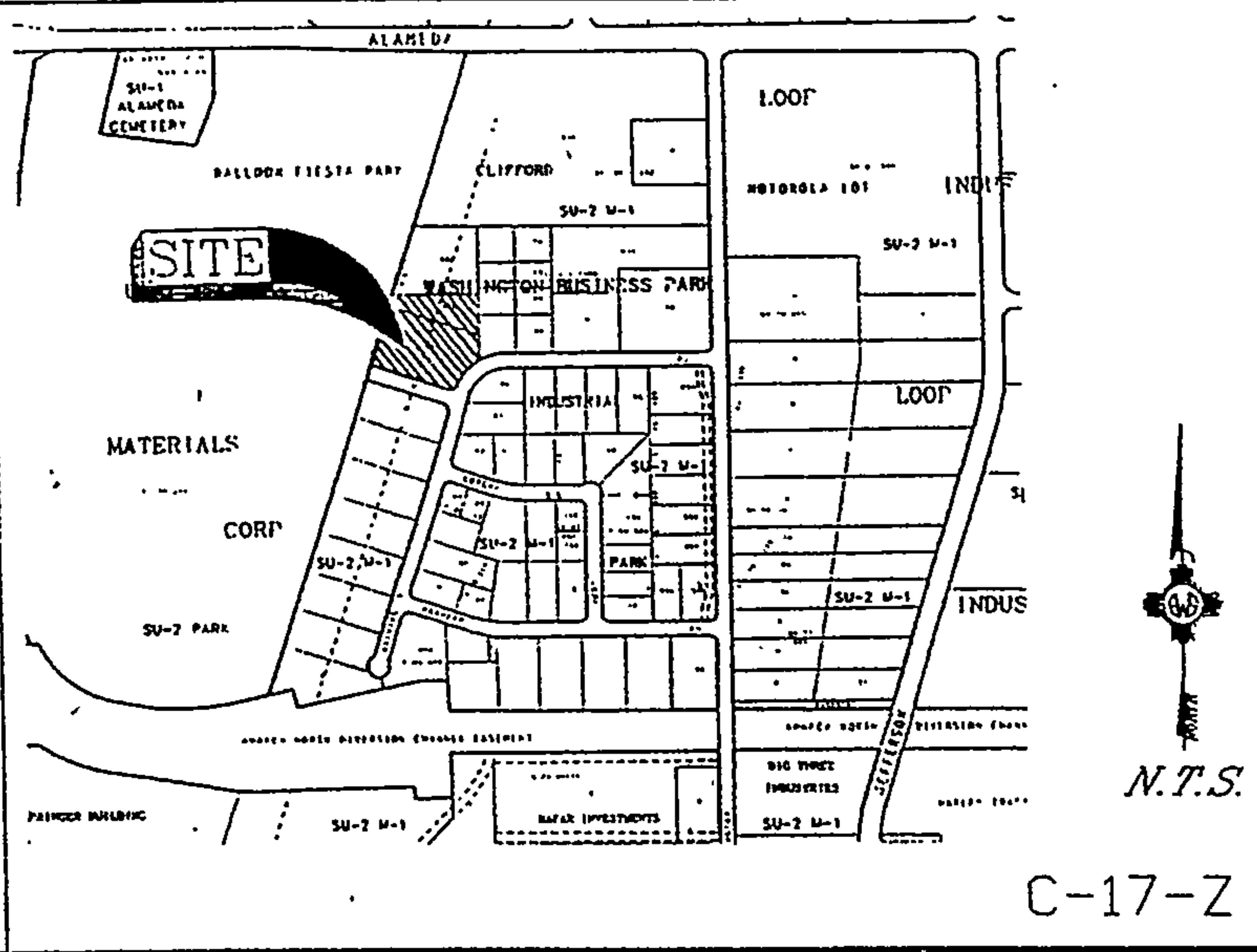
**HB WAREHOUSE
8405 WASHINGTON PL.NE
ALBUQUERQUE, NM 87113**



**RENDERING OF THE SOUTHEAST FACADE FACING
THE PUBLIC RIGHT OF WAY WASHINGTON PLACE**

97C-311

113-311
97C-226



FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT.

OWNER(S) SIGNATURE: Avila Technologies Group, Inc DATE: SEPT 15 1997
 OWNER(S) PRINT NAME: STEVEN P. KADAK, SECRETARY
 ADDRESS: 840 WASHINGTON R.N.E. ALBUQUERQUE, N.M. 87113 TRACT: B-2-C-1A

ACKNOWLEDGMENT
 STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15 DAY OF September 1997.
 BY: Steven P. Kadak
 MY COMMISSION EXPIRES: 5/26/00
 NOTARY PUBLIC

OWNER(S) SIGNATURE: WASHINGTON PLACE PARTNERSHIP DATE: SEPT 15, 1997
 OWNER(S) PRINT NAME: VERONIE F. BECKES, MANAGING PARTNER
 ADDRESS: 1063 BOADRUINEO N.E. ALBUQUERQUE, N.M. 87113 TRACT: B-2-C-1B

ACKNOWLEDGMENT
 STATE OF NEW MEXICO } SS
 COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15 DAY OF September 1997.
 BY: Veronie F. Beckes
 MY COMMISSION EXPIRES: 5/26/00
 NOTARY PUBLIC

PLAT OF
 TRACTS B-2-C-1A & B-2-C-1B
 WASHINGTON BUSINESS PARK
 SITUATE WITHIN PROJECTED SECTION 14
 T. 11 N., R. 3 E., N.M.P.M.
 ALBUQUERQUE, NEW MEXICO
 SEPTEMBER, 1997

LEGAL DESCRIPTION

Tract lettered B-2-C-1 of the WASHINGTON BUSINESS PARK situate within projected Section 14, T11N, R3E, N.M.P.M., Albuquerque, New Mexico as the same is shown and designated on said plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 8, 1994 in Volume 94C, folio 192.

97107315

State of New Mexico } SS
 County of Bernalillo }
 This instrument was filed for record on

306 OCT 13 1997 97C
 At o'clock on Recorded in Vol
 of records of said County Filed 311
 Clerk & Recorder
 Deputy Clerk

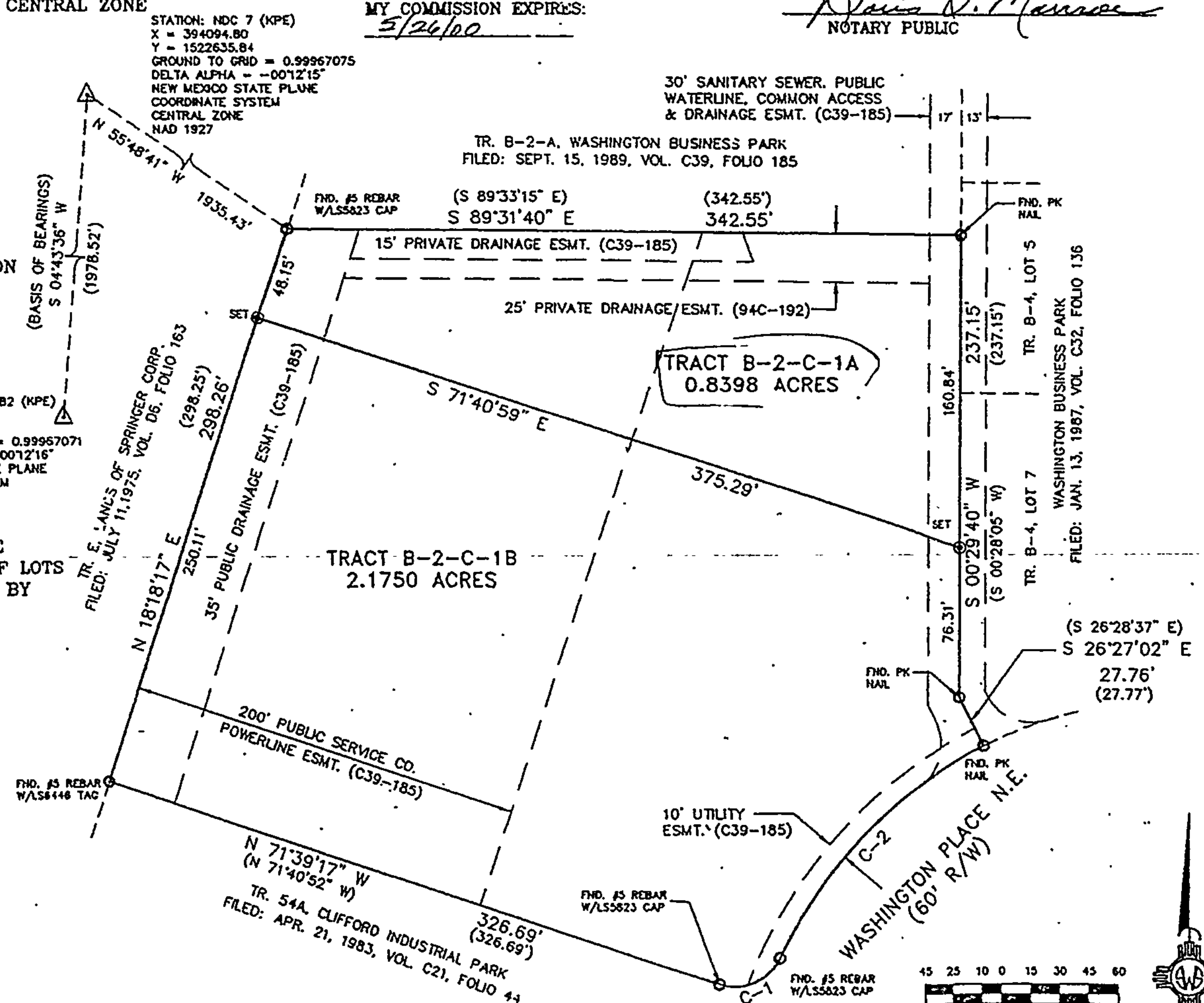
DISCLOSURE STATEMENT

THE PURPOSE OF THIS REPLAT IS TO CREATE TWO (2) NEW TRACTS FROM ONE (1) EXISTING TRACT OF LAND.

99-97-191

SUBDIVISION DATA / NOTES

- PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
- MONUMENTS IDENTIFIED AS "SET" ARE 1/2" REBAR WITH YELLOW PLASTIC CAPS STAMPED "PATRICK PS 12651". UNLESS OTHERWISE NOTED.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID, CENTRAL ZONE
- DISTANCES ARE GROUND DISTANCES.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- GROSS ACREAGE: 3.0148 ACRES
- NUMBER OF EXISTING TRACTS: 1
- NUMBER OF TRACTS/LOTS CREATED: 2
- BEARINGS AND DISTANCES IN PARENTHESES PER THE PLAT OF, TRACT B-2-C-1, WASHINGTON BUSINESS PARK, FILED JUNE 08, 1994, VOL. 94C FOLIO 192.
- THE PRIVATE DRAINAGE EASEMENT IS FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF LOTS 5, 6-A, 8-A AND 7 AND IS TO BE MAINTAINED BY THE OWNER OF TRACT B-2-C-1A.



CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C-1	25.00'	36.27' (36.36')	33.17'	S 66°46'53" W	83°07'40" (83°20'02")
C-2	230.00'	154.24' (154.33')	151.36'	S 44°25'42" W	38°25'19" (38°26'40")

SCALE: 1" = 60'
 PROJECT NO. 79A-07
 PLOT BY: RS
 ZONE ATLAS: C-17-Z

APPROVALS: DRB NO.: 97-418

<u>Neil C. ...</u>	09/16/97
CITY SURVEYOR	DATE
<u>Michael ...</u>	10-02-97
TRAFFIC ENGINEERING	DATE
<u>Robert ...</u>	9-22-97
PARK DESIGN & DEVELOPMENT, C.I.P.	DATE
<u>Roger ...</u>	10/2/97
UTILITY DEVELOPMENT DIVISION	DATE
<u>Karen ...</u>	10-6-97
REAL PROPERTY DIVISION	DATE
<u>Frank ...</u>	9-22-97
A.M.A.F.C.A.	DATE
<u>Frank ...</u>	9-22-97
CITY ENGINEER	DATE
<u>Kevin ...</u>	10-9-97
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE

SURVEYOR'S CERTIFICATION

I, THOMAS W. PATRICK, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Thomas W. Patrick
 THOMAS W. PATRICK, N.M.P.S. NO. 12651
 11 Sept. 1997
 DATE

SOUTHWEST SURVEYING & CONSULTING, INC.
 333 LOMAS BLVD., N.E. PHONE: (505) 247-4444
 ALBUQUERQUE, NEW MEXICO FAX: (505) 242-8069
 87102
 T11N R3E SEC. 14

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON
 UPCT: 1 017 Oct 144246 30735
 PROPERTY OWNER OF RECORD
Veronie Beckes
 BERNALILLO COUNTY TREASURER'S OFFICE:
Conchita ... 10/13/97

97C-311

113-311
97C-226

HB WAREHOUSE

8405 WASHINGTON PLACE N.E.
ALBUQUERQUE, NEW MEXICO

INDEX OF DRAWINGS

GENERAL DRAWINGS

G000 COVER SHEET

CIVIL DRAWINGS

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STRUCTURAL DRAWINGS

ARCHITECTURAL DRAWINGS

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AS-102	UTILITY PLAN
AS-105	PRELIMINARY GRADING PLAN
A-101	FLOOR/ROOF PLAN
A-103	REFLECTED CEILING PLAN
A-201	ELEVATIONS
A-301	BUILDING SECTIONS
A-302	WALL SECTION
A-501	WALL DETAILS
A-601	DOOR DETAILS

FIRE PROTECTION
SITE UTILITIES
PLUMBING SHEETS
MECHANICAL SHEETS
ELECTRICAL SHEETS



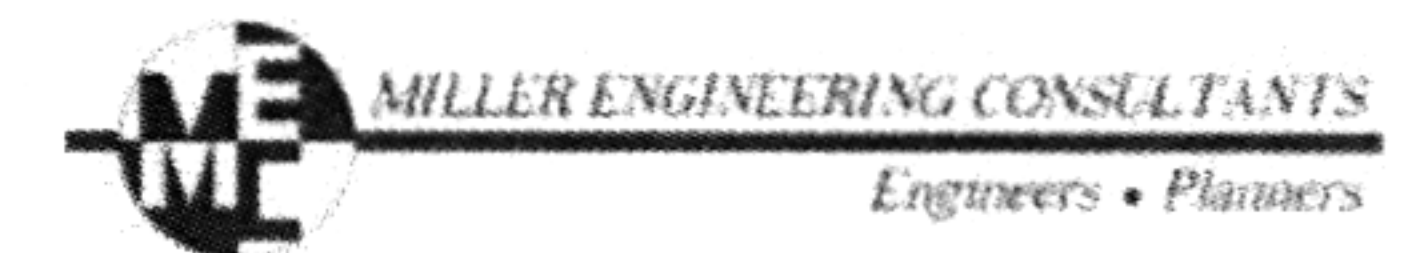
DESIGN TEAM:

ARCHITECTURAL:



DWL ARCHITECTS & PLANNERS INC. OF NM
202 CENTRAL AVE SE
WEST COURTYARD
ALBUQUERQUE, NM 87102
VOICE: 505.242.6202
FAX: 505.242.4159
E-MAIL: DWLNM@ZIANET.COM

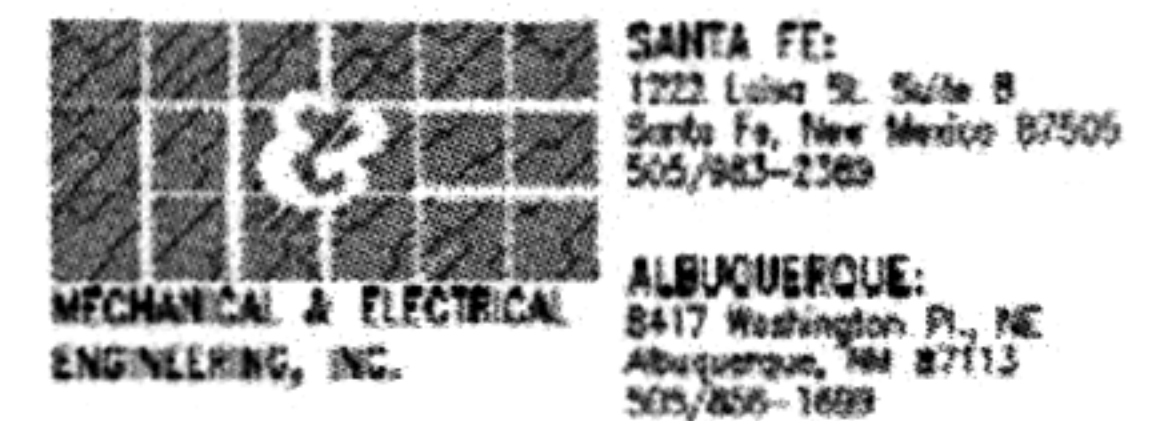
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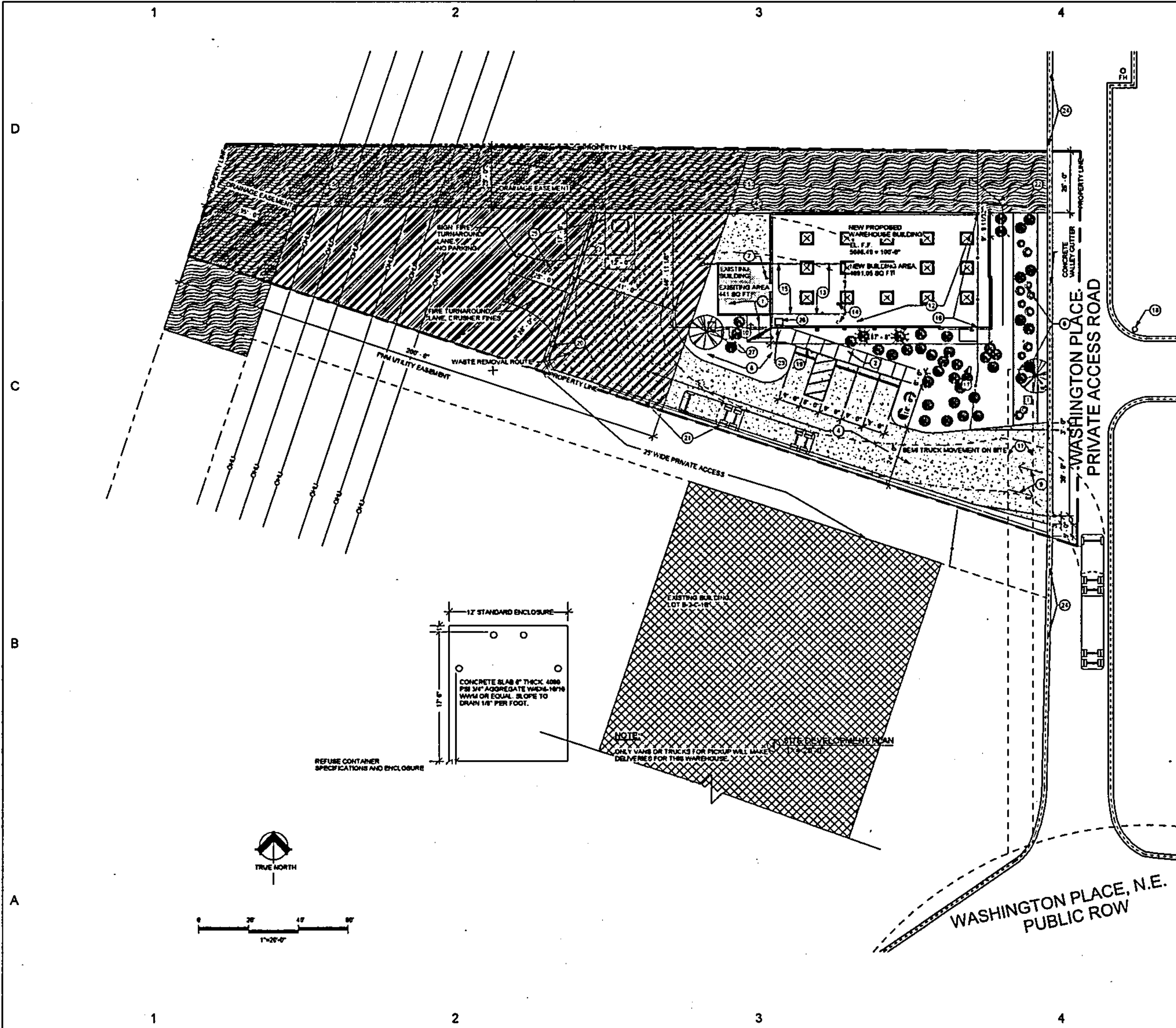
STRUCTURAL:



MECHANICAL AND ELECTRICAL:



G 000



GENERAL NOTES:

- A. IF THIS SHEET IS NOT 24" X 36" IN SIZE THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- B. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND.
- C. DIMENSIONS ARE TO FACE OF STUDS

PARKING REQUIREMENTS:

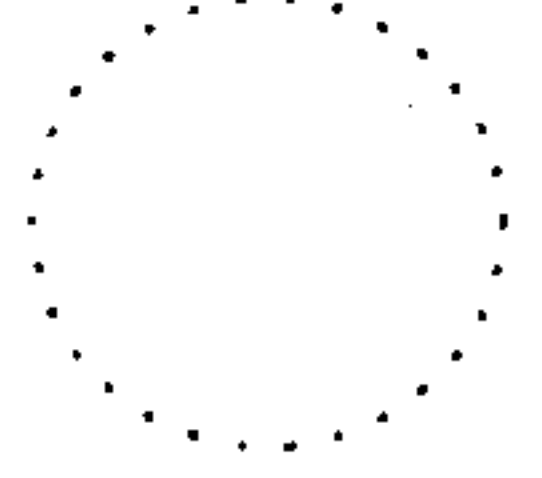
WAREHOUSE: REQUIRED 1 SPACE PER 2000 NET S.F. PROVIDED 4532 SF/2266 SF = 2.27 OR 3 SPACES
 DISABLED REQUIRED: 1 FOR 1-25 PROVIDED 1

KEYED NOTES . AS 101

- 1 EXISTING BUILDING AND SIDEWALK; USE OF BUILDING IS AN IRRADIATION FACILITY FOR CAMBERRA AQUILA INC. ONE STORY BUILDING ABOVE GRADE
- 2 NEW 4" THICK CONCRETE SIDEWALK
- 3 NEW TRASH DISPOSAL PAD 4" THICK CONCRETE FILLED BOLLARD AS INDICATED
- 4 NEW ASPHALT PAVING SP-IV WITH DESIGNATED PARKING SPACES
- 5 EXISTING DRAINAGE EASEMENT
- 6 EXISTING GAS VAPOR WELL
- 7 EXISTING MECHANICAL DUCT
- 8 EXISTING TREE AND LANDSCAPED AREA
- 9 VEHICULAR CIRCULATION
- 10 PEDESTRIAN CIRCULATION
- 11 EXISTING 10' PNM EASEMENT
- 12 PROPOSED WAREHOUSE: TO BE USED FOR STORAGE. LOCATED ABOVE BELOW-GRADE LEVEL OF ORIGINAL BUILDING
- 13 EXISTING CHAIN LINK FENCE, 4' IN HEIGHT, TO BE REMOVED
- 14 EXISTING EXHAUST PIPE: TO BE RE-ROUTED AS INDICATED
- 15 BELOW-GRADE LEVEL OF EXISTING CAST-IN-PLACE CONCRETE FACILITY.
- 16 EXISTING CHAIN LINK FENCE, HEIGHT RANGES FROM 4'-5', SELECTED PORTION TO BE REMOVED
- 17 EXISTING ELECTRIC METER
- 18 EXISTING STOP SIGN ON DRIVE COMING OUT ON OPPOSITE SIDE OF WASHINGTON PLACE
- 19 NEW HANDICAP SIGN LOCATION
- 20 NEW CONCRETE VALLEY GUTTER
- 21 NEW CONCRETE BARRIER CURB AND GUTTER
- 22 NEW EARTHEN SWALE
- 23 ADDRESS SIGN ATTACHED TO SOUTH TOP FACADE
- 24 EXISTING CONCRETE VALLEY GUTTER
- 25 FLOOD OVERFLOW EASEMENT
- 26 ROOF HATCH
- 27 METHANE TRENCH VENT

- PNM EASEMENT
- DRAINAGE EASEMENT

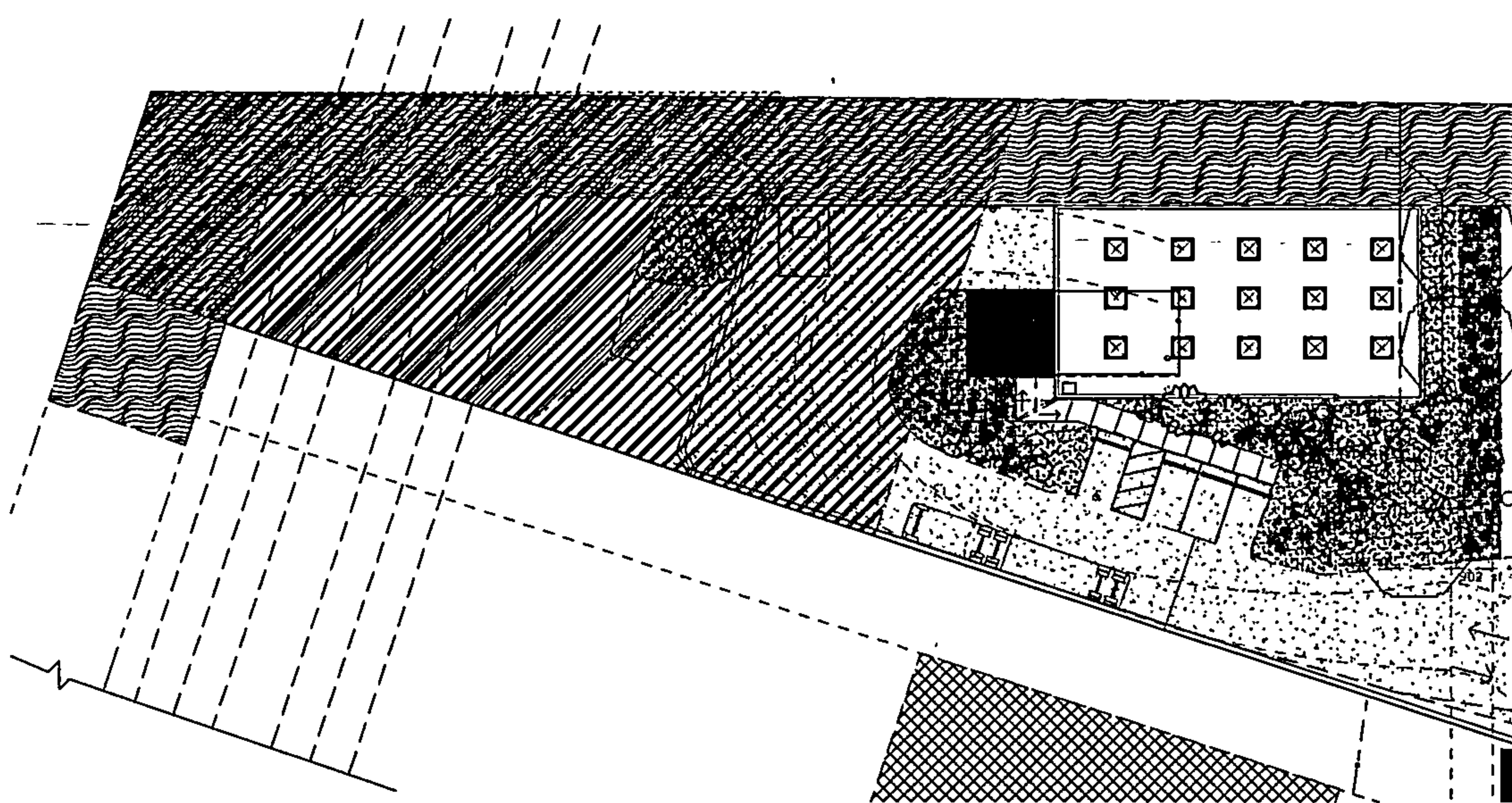
DWL ARCHITECTS
 DWL ARCHITECTS & PLANNERS, INC. OF NM
 303 CENTRAL AVE. S.E.
 NEW ALBUQUERQUE
 ALBUQUERQUE, NM 87103
 PH: (505) 242-6303
 FAX: (505) 242-4199



SITE DEVELOPMENT PLAN
HB Construction
Project Status
 8405 Washington Pl NE Albuquerque, NM 87113

NO.	DESCRIPTION	DATE
1	DRS SUBMITTAL DRAFT ONE	09.27.10
2	DRS SUBMITTAL EDITED ZONING CODE	10.12.10
3	DRS SUBMITTAL FINAL PHASE	10.14.10

PROJECT NUMBER: 20_1013
 ARCHITECT: DWL ARCHITECTS
 DRAWN BY: ANNA MATEJCIUK
 CHECKED BY: RON BURTON
 DATE PLOTTED: 11/22/10 1:31:37 PM
AS 101



LANDSCAPE NOTES.
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed. Existing landscape beds, shall be seeded and receive new gravel and filter fabric.

IRRIGATION NOTES.
New irrigation shall be tied into existing system.

Large shrubs to receive (3) 1.0 GPH Drip Emitters, smaller shrubs shall receive (2) 1.0 GPH Drip Emitters. Drip systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

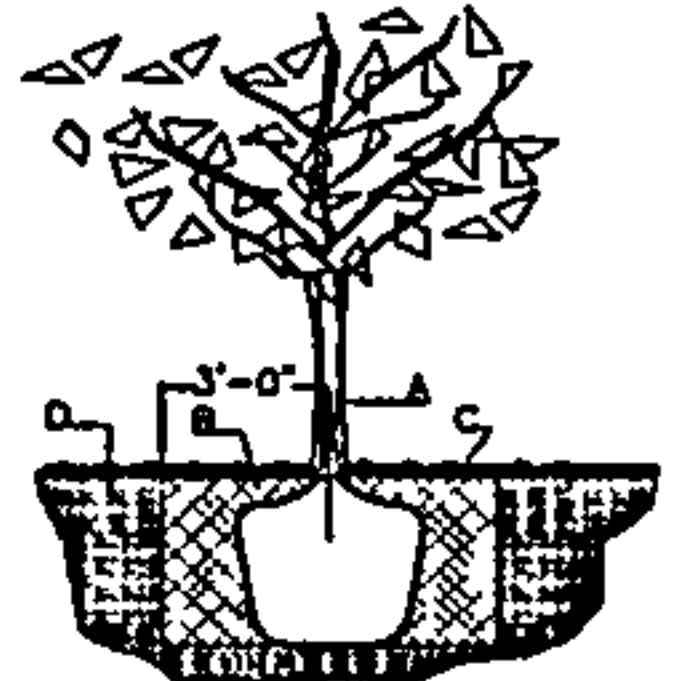
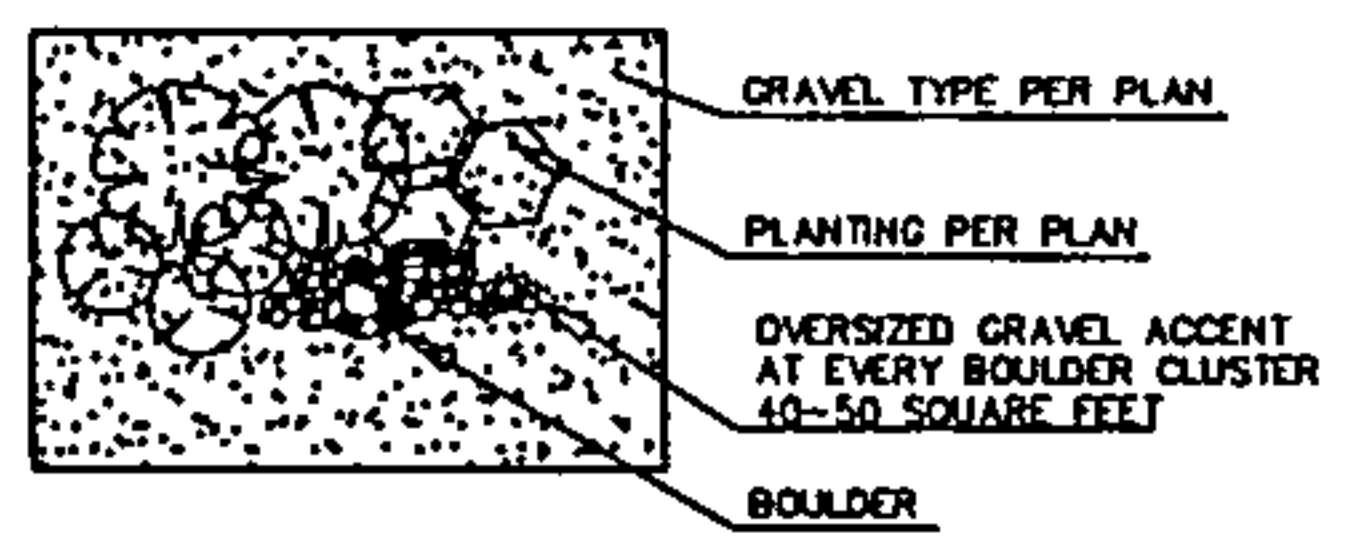
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	36583	square feet
TOTAL EXISTING BUILDINGS AREA	441	square feet
TOTAL NEW BUILDINGS AREA	4091	square feet
NET LOT AREA	32051	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4807	square feet
TOTAL BED PROVIDED	3441	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	2581	square feet
TOTAL GROUND COVER PROVIDED	0	square feet
TOTAL EXISTING BED AREA	1612	square feet
TOTAL SOG AREA	0	square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5053 (15%)	square feet

GRAVEL ACCENT DETAIL



TREE PLANTING DETAIL

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

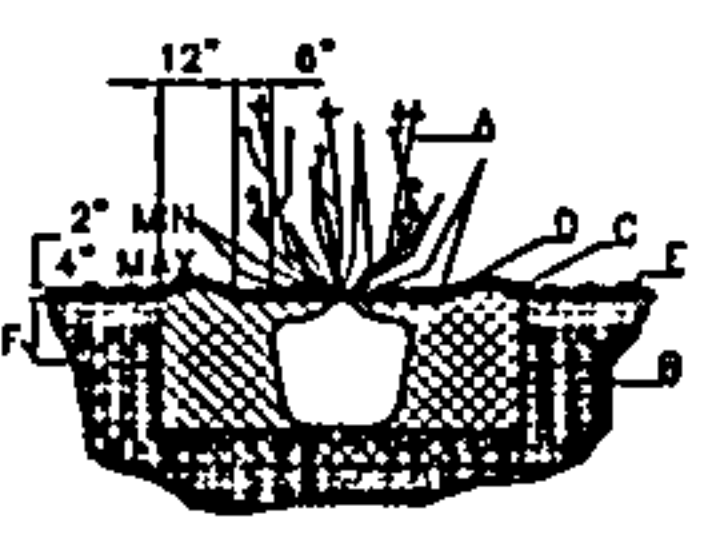
CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

STREET TREE REQUIREMENTS - Minimum 2" Caliber

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Washington Place
Required 4 Provided 4



SHRUB PLANTING DETAIL

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliber

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 1 Provided 1- Existing Ash

- then by the height of the plant.
- SHADE TREES**
- COMMON HACKBERRY
Callis occidentalis
2" Cal., 12"-14" inst./40' x 40' maturity
Water (M) Allergy (L) 0sf
- DESERT ACCENTS**
- * PALM YUCCA 2
Yucca taxonius
4"-8" inst., 15' x 6' maturity
Water (L) Allergy (L) 0sf
 - * BEARGRASS 1
Nolina microcarpa
3 Gal., 18"-3' inst./3' x 6' maturity
Water (L+) Allergy (L) 36sf
 - * RED YUCCA 6
Hesperaloe parviflora
5 Gal., 18"-3' inst./3' x 4' maturity
Water (L+) Allergy (L) 18sf
 - * PRICKLY PEAR 5
Opuntia macrocentra
5 Gal., 12"-3' inst./3' x 3' maturity
Water (L) Allergy (L) 9sf
- SHRUBS/ORNAMENTAL TREES**
FIFTEEN GAL.
- VITEX 4
Vitex agnus-castus
15 Gal., 4"-10" inst./20' x 20' maturity
Water (M) Allergy (L) 225sf
- SHRUBS/ORNAMENTAL GRASSES**
FIVE GAL.
- ROSE OF SHARON 1
Hibiscus syriacus
5 Gal., 2"-4" inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - TRUE MOUNTAIN MAHOGANY 4
Cercocarpus montanus
5 Gal., 18"-3' inst./10' x 6' maturity
Water (L+) Allergy (L) 36sf
 - THREE-LEAF SUMAC 2
Rhus trilobata
5 Gal., 18"-3' inst./6' x 6' maturity
Water (L+) Allergy (L) 36sf
 - * MUCCO PINE 1
Pinus mugo
5 Gal., 12"-3' inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
 - BLUE MIST SPIREA 13
Corylopsis glandonensis
5 Gal., 12"-3' inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- ONE GAL.**
- POTENTILLA 9
Potentilla fruticosa
1 Gal., 3"-15" inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf
 - THREADGRASS 7
Stipa tenuissima
1 Gal., 3"-15" inst./2' x 2' maturity
Water (L+) Allergy (L) 4sf
- GROUNDCOVERS**
- * TAM JUNIPER 6
Juniperus sabina 'Tamariscifolia'
1 Gal., 6"-15" inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
 - * LADY BANK'S ROSE 6
Rosa banksiae
5 Gal., 24"-4" inst./3' x 20' maturity
Water (M) Allergy (L) 225sf
Unstaked Groundcover
- HARDSCAPES**
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - OVERSIZED GRAVEL & BOULDERS
 - * DENOTES EVERGREEN PLANT MATERIAL

NOTE TO CLIENT.
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobbles will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobbles or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

GRAPHIC SCALE



Cont. Lic. #76458
7809 Edin N.E.
Albuquerque, NM 87184
Ph: (505) 898-9690
Fax: (505) 898-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLOE
F0007

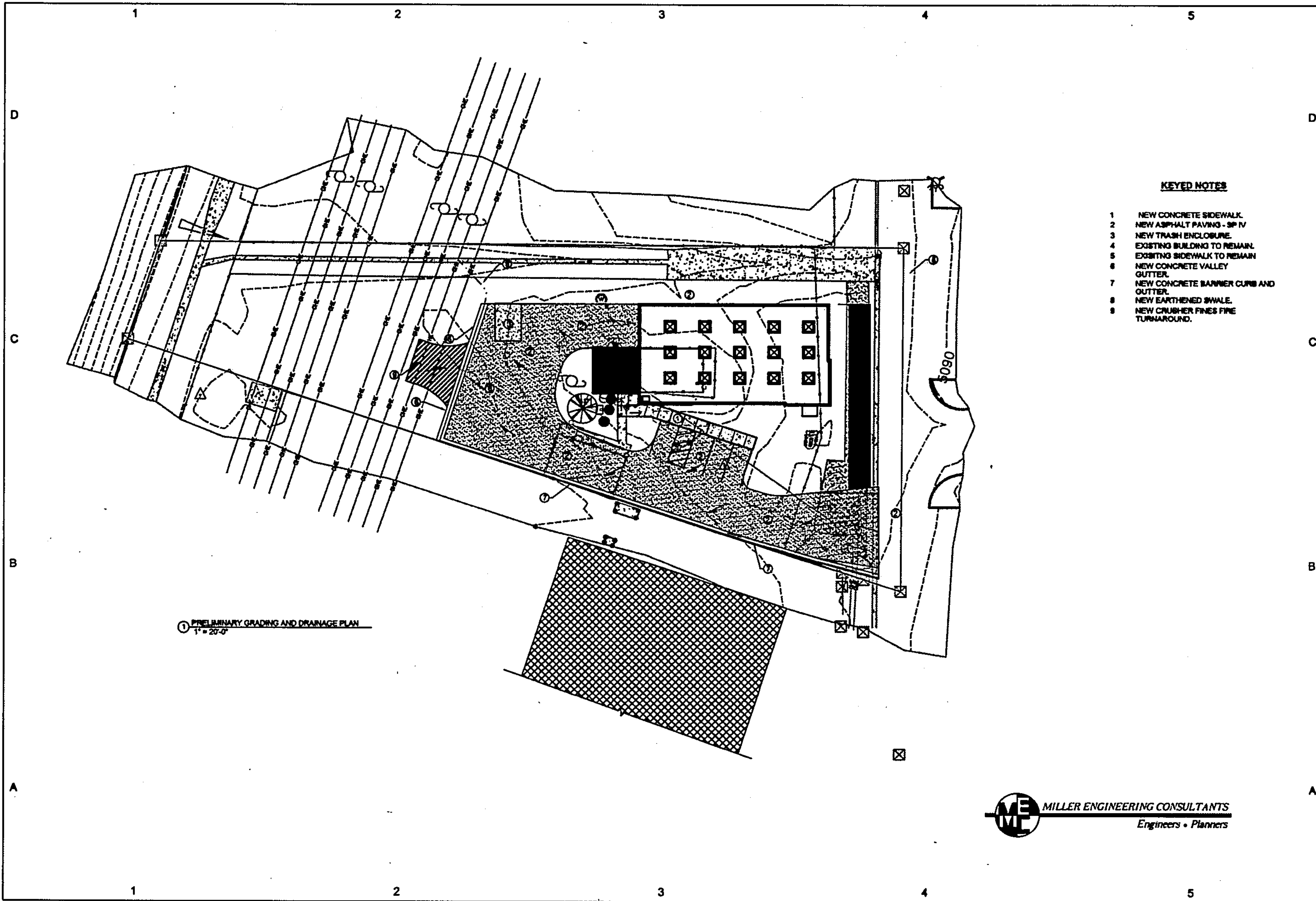
HB CONSTRUCTION
8405 WASHINGTON PLACE
LANDSCAPE PLAN

All work shall be completed in accordance with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. This is an integrated design and shall not be prepared or revised without the approval of the Designer.



DRAWN BY: CAU
REVISION: 4/10-22-10
DATE: 9-22-10

SHEET #
L1 of L1



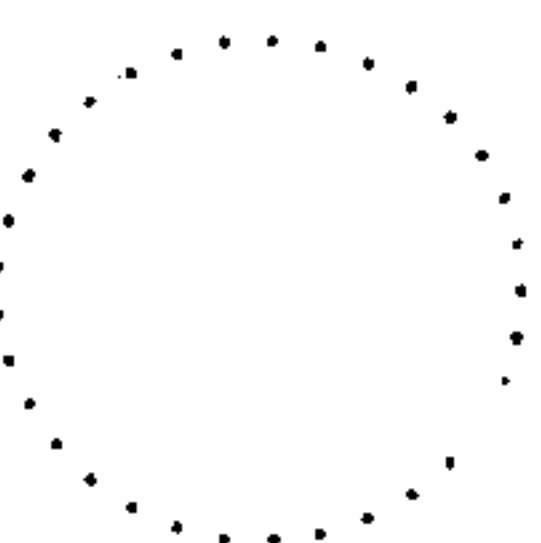
① PRELIMINARY GRADING AND DRAINAGE PLAN
1" = 20'-0"

KEYED NOTES

- 1 NEW CONCRETE SIDEWALK.
- 2 NEW ASPHALT PAVING - SP IV
- 3 NEW TRASH ENCLOSURE.
- 4 EXISTING BUILDING TO REMAIN.
- 5 EXISTING SIDEWALK TO REMAIN.
- 6 NEW CONCRETE VALLEY GUTTER.
- 7 NEW CONCRETE BANNER CURB AND GUTTER.
- 8 NEW EARTHENED SWALE.
- 9 NEW CRUSHER FINES FINE TURNAROUND.

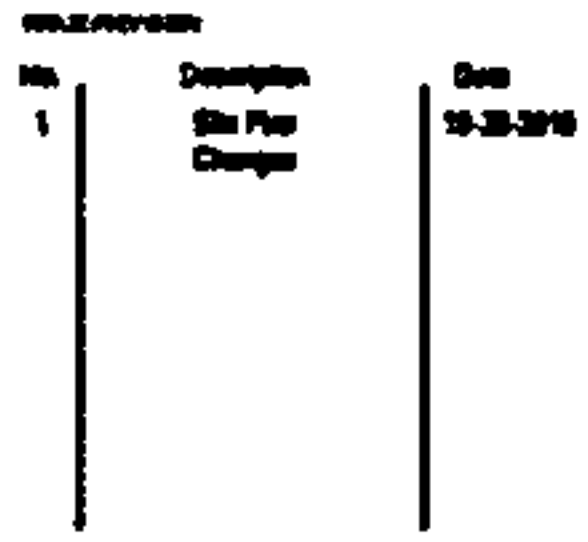


DW L
ARCHITECTS
DR. ANDREW D. PLANNING, INC. OF NM
808 SOUTH AVENUE, S.E.
WEST COUNTRY
ALBUQUERQUE,
NEW MEXICO, 87108
PH (505) 243-8308
FAX (505) 243-4199



Preliminary Grading and Drainage Plan
HB Construction
Schematic Design

8405 Washington PI NE Albuquerque, NM 87113



PROJECT NUMBER
20_1016
DATE
2/1/14
DRAWN BY
VAM

PROJECT
PRELIMINARY GRADING
AND DRAINAGE PLAN

C-101

8/20/14 11:44 AM

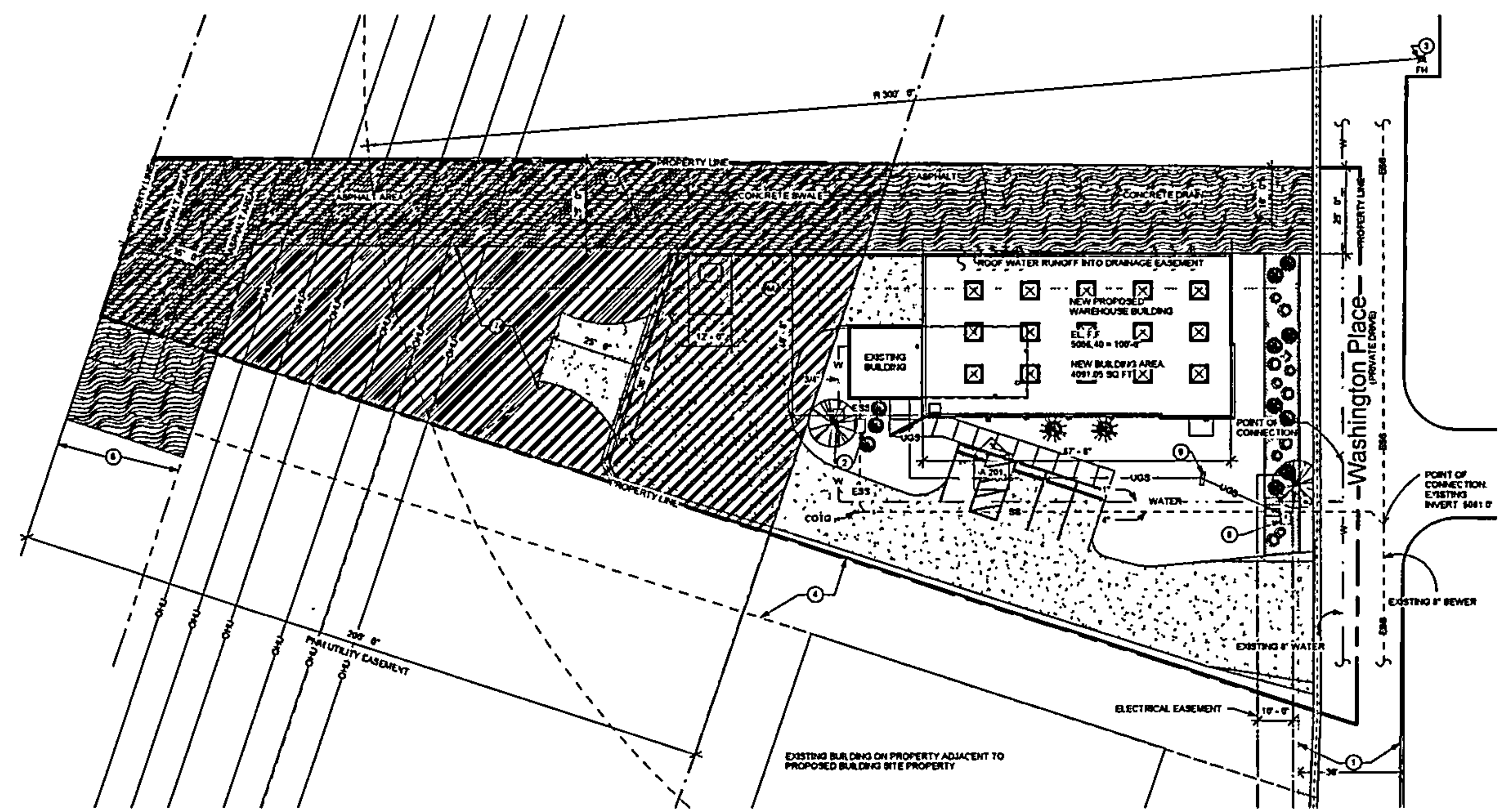
1 2 3 4 5

D

C

B

A



① UTILITY PLAN
1" = 20'-0"

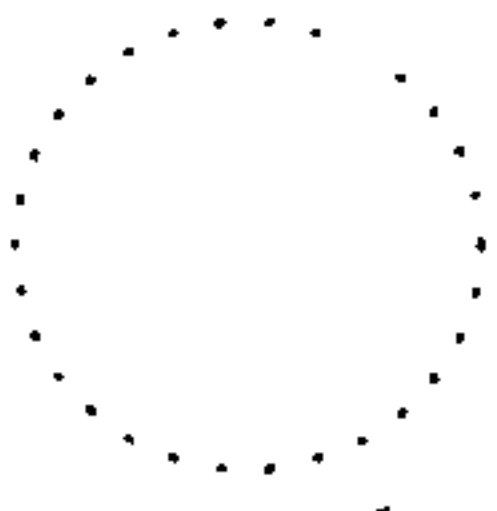
KEYED NOTES . AS 102

- 1 30' EXISTING SEWER WATER, COMMON ACCESS, AND DRAINAGE EASEMENT
- 2 METHANE TRENCH VENTS
- 3 FIRE HYDRANT AND ASSOCIATED 300' RADIUS NEEDED TO COVER AREA FOR NEW CONSTRUCTION
- 4 25' WIDE PRIVATE ACCESS EASEMENT - EXISTING ASPHALT PAVING
- 5 PRIVATE DRAINAGE EASEMENT
- 6 PUBLIC DRAINAGE EASEMENT
- 7 STORM DRAINAGE OVERFLOW EASEMENT
- 8 EXISTING TRANSFORMER
- 9 EXISTING ELECTRIC METER

UTILITY LEGEND:

- W EXISTING POTABLE WATER
- UGS EXISTING UNDERGROUND ELECTRICAL SERVICE
- SS EXISTING SANITARY SEWER
- COTO NEVER CLEAN-OUT

DWL ARCHITECTS
 DWL, ARCHITECTS & PLANNING, INC. 202
 202 Central Ave. S.C.
 Albuquerque, NM 87102
 PH (505) 249-6203
 FAX (505) 242-1199



**UTILITY PLAN
 HB Construction
 Project Status**

8405 Washington Pl NE Albuquerque, NM 87113

NO.	Description	Date
1	DRS SUBMITTAL DRAFT ONE	09.27.19
2	DRS SUBMITTAL EDITED ZONING CODE	10.12.19
3	DRS SUBMITTAL FINAL PHASE	10.29.19

PROJECT NAME: 20_1015
 PROJECT FILE: 20_1015_000000
 DRAWN BY: ANNA MATEJCZAK
 CHECKED BY: RON BURTON
 SHEET TITLE: UTILITY PLAN

AS 102

10/29/19 1:38:17 PM