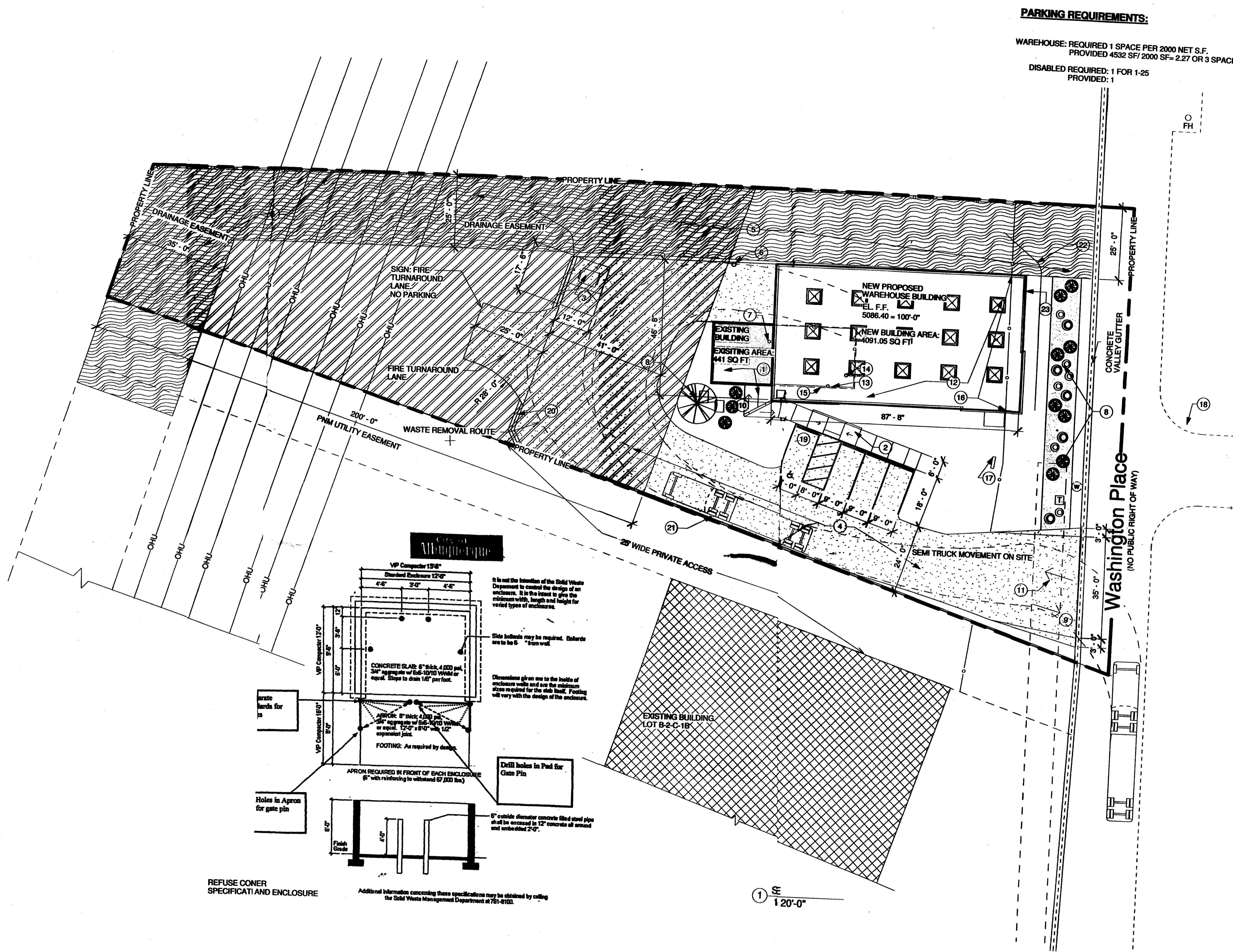


1 2 3 4 5



PARKING REQUIREMENTS:
 WAREHOUSE: REQUIRED 1 SPACE PER 2000 NET S.F.
 PROVIDED 4532 SF/ 2000 SF= 2.27 OR 3 SPACES ACCORDINGLY.
 DISABLED REQUIRED: 1 FOR 1-25 PROVIDED: 1

GENERAL NOTES:
 A. IF THIS SHEET IS NOT 24" X 36" IN SIZE THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
 B. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND.
 C. DIMENSIONS ARE TO FACE OF STUDS

- KEYED NOTES AS 101**
- EXISTING BUILDING AND SIDEWALK; USE OF BUILDING IS AN IRRADIATION FACILITY FOR CANBERRA AQUILA INC. ONE STORY BUILDING ABOVE GRADE
 - NEW 4" THICK CONCRETE SIDEWALK ADDITION
 - NEW TRASH DISPERSAL PAD 4" DIAMETER CONCRETE FILLED FOLLARDE AS INDICATED
 - NEW ASPHALT PAVING SP-IV; WITH DESIGNATED PARKING SPACES
 - EXISTING DRAINAGE EASEMENT
 - EXISTING GAS VAPOR WELL
 - EXISTING MECHANICAL DUCT
 - EXISTING LANDSCAPING
 - VEHICULAR CIRCULATION
 - PEDESTRIAN CIRCULATION
 - 10' PNM EASEMENT
 - PROPOSED WAREHOUSE; TO BE USED FOR STORAGE, UNOCCUPIED STRUCTURE. LOCATED ABOVE BELOW-GRADE LEVEL OF ORIGINAL BUILDING
 - EXISTING CHAIN LINK FENCE, 4' IN HEIGHT, TO BE REMOVED
 - EXHAUST PIPE
 - BELOW-GRADE LEVEL OF EXISTING IRRADIATION FACILITY.
 - EXISTING CHAIN LINK FENCE, HEIGHT RANGES FROM 4'-5', SELECTED PORTION TO BE REMOVED
 - ELECTRIC METER
 - STOP SIGN ON DRIVE COMING OUT ON OPPOSITE SIDE OF WASHINGTON PLACE
 - HANDICAP SIGN LOCATION
 - NEW CONCRETE VALLEY GUTTER
 - NEW CONCRETE BARRIER CURB AND GUTTER
 - NEW EARTHENED SWALE
 - ADDRESS SIGN ATTACHED TO EAST TOP FACADE

See whole submittal 10-14-10

APD PLANS CHECKING OFFICE
 24-8011
 APPROVED
 [Signature]
 SPECIAL AGENT
 For Dept Appeal RD
 w/ turnaround 10-14-10

PNM EASEMENT
DRAINAGE EASEMENT

DWL ARCHITECTS
 DWL ARCHITECTS & PLANNERS, INC. OF NM
 202 CENTRAL AVE. S.E.
 WEST COURTYARD
 ALBUQUERQUE,
 NEW MEXICO, 87102
 PH (505) 242-6202
 FAX (505) 242-4159

**Site Plan
 HB Construction
 Project Status**

8405 Washington Pl NE Albuquerque, NM 87113

ISSUE/REVISION	No.	Description	Date
	1	DRB SUBMITTAL	09.27.10
	2	DRB SUBMITTAL EDITED: ZONING CODE	10.12.10

PROJECT NUMBER:
20_1015

CAD DWG FILE:
DWL_HB_WAREHOUSE

DRAWN BY:
ANNA MATEJCZUK

CHECKED BY:
RON BURTON

SHEET TITLE:
Site Plan

AS 101

10/18/2010 2:55:54 PM

HB WAREHOUSE

8405 WASHINGTON PLACE N.E.
ALBUQUERQUE, NEW MEXICO

LEGAL SITE DESCRIPTION:
B-2-C-1A WASHINGTON BUSINESS PARK

INDEX OF DRAWINGS

GENERAL DRAWINGS

G000 COVER SHEET

ARCHITECTURAL DRAWINGS

AS-101 SITE PLAN
AS-101 SITE PLAN WITH APPROVED SIGNATURES
L1 LANDSCAPING PLAN
C-101 PRELIMINARY GRADING AND DRAINAGE PLAN
A-201 BUILDING ELEVATIONS
AS-102 UTILITY PLAN

PROJECT NUMBER: 1008575

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

_____ Traffic Engineering, Transportation Division	_____ Date
_____ ABCWUA	_____ Date
_____ Parks and Recreation Department	_____ Date
_____ City Engineer	_____ Date
_____ * Environmental Health Department (conditional)	_____ Date
_____ Solid Waste Management	_____ Date
_____ DRB Chairperson, Planning Department	_____ Date

*Environmental Health, if necessary

6-25-07



DESIGN TEAM:

ARCHITECTURAL:



DWL ARCHITECTS & PLANNERS INC. OF NM
202 CENTRAL AVE SE
WEST COURTYARD
ALBUQUERQUE, NM 87102

VOICE: 505.242.6202
FAX: 505.242.4159
E-MAIL: DWLNM@ZIANET.COM

CIVIL:



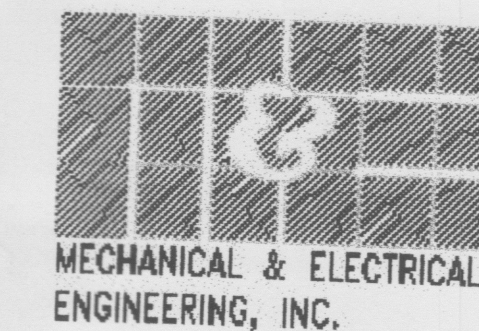
MILLER ENGINEERING CONSULTANTS
Engineers • Planners

STRUCTURAL:



RMEABQ, LLC
2835-C Pan American Freeway NE
Albuquerque, NM 87107 - 1652
phone: 505-889-3004 fax: 505-889-2797

MECHANICAL AND ELECTRICAL:



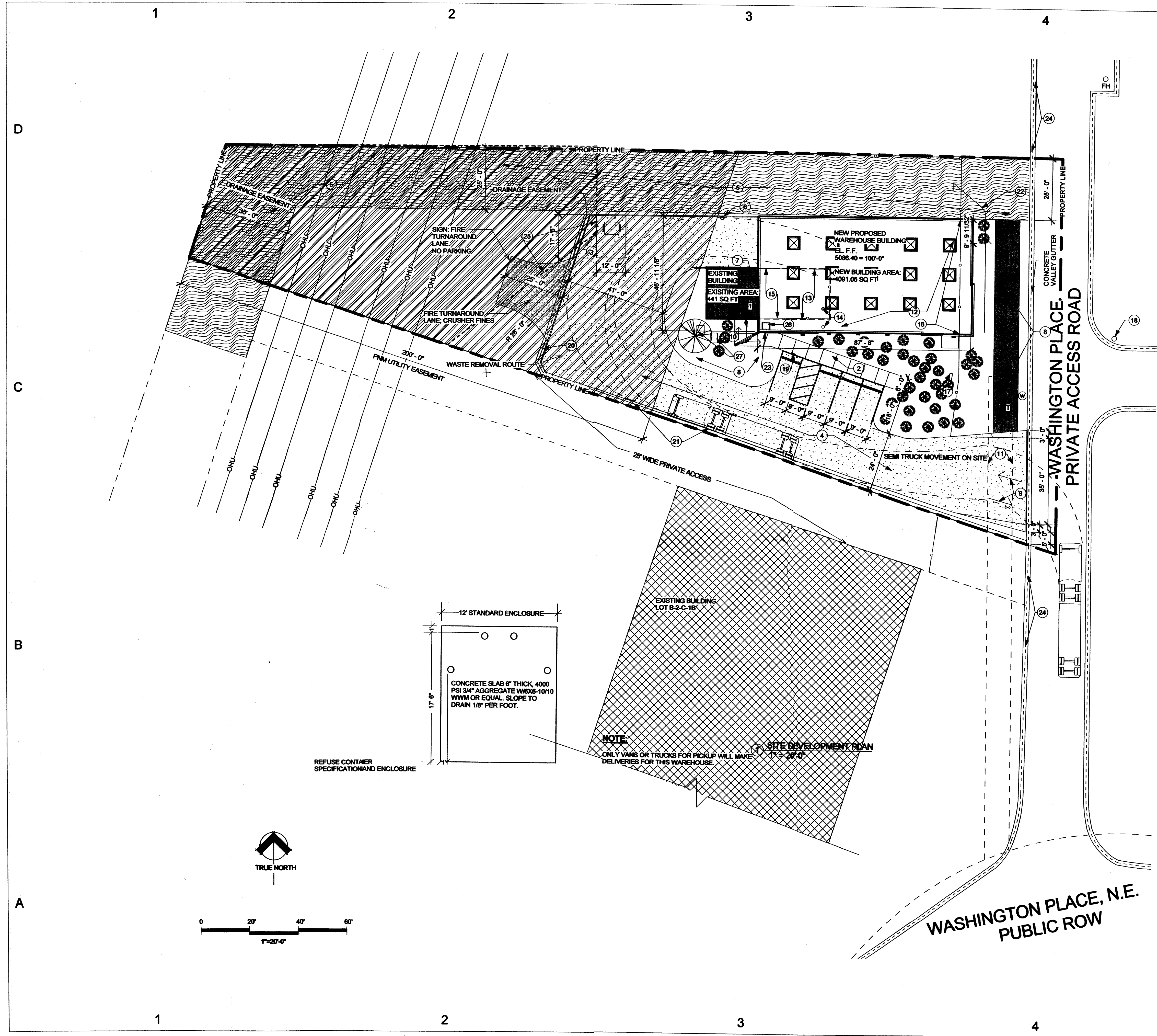
SANTA FE:
1222 Luisa St. Suite B
Santa Fe, New Mexico 87505
505/983-2389

MECHANICAL & ELECTRICAL
ENGINEERING, INC.

ALBUQUERQUE:
8417 Washington Pl., NE
Albuquerque, NM 87113
505/856-1699



G 000



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- 14 EXISTING EXHAUST PIPE; TO BE RE-ROUTED AS INDICATED
- 15 BELOW-GRADE LEVEL OF EXISTING CAST-IN-PLACE CONCRETE FACILITY.
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- 17 EXISTING ELECTRIC METER
- 18 EXISTING STOP SIGN ON DRIVE COMING OUT ON OPPOSITE SIDE OF WASHINGTON PLACE
- 19 NEW HANDICAP SIGN LOCATION
- 20 NEW CONCRETE VALLEY GUTTER
- 21 NEW CONCRETE BARRIER CURB AND GUTTER
- 22 NEW EARTHEN SWALE
- 23 ADDRESS SIGN ATTACHED TO SOUTH TOP FACADE
- 24 EXISTING CONCRETE VALLEY GUTTER
- 25 FLOOD OVERFLOW EASEMENT
- 26 ROOF HATCH
- 27 METHANE TRENCH VENT

- PNM EASEMENT
- DRAINAGE EASEMENT

DWL ARCHITECTS
 DWL ARCHITECTS & PLANNERS, INC. OF NM
 302 CENTRAL AVE. S.E.
 WEST COUNTRYARD
 ALBUQUERQUE,
 NEW MEXICO, 87102
 PH (505) 242-6202
 FAX (505) 242-4159

SITE DEVELOPMENT PLAN
HB Construction
Project Status

8405 Washington PI NE Albuquerque, NM 87113

ISSUE/REVISION	No.	Description	Date
1	DRB SUBMITTAL DRAFT ONE		09.27.10
2	DRB SUBMITTAL EDITED: ZONING CODE		10.12.10
3	DRB SUBMITTAL FINAL PHASE		10.29.10

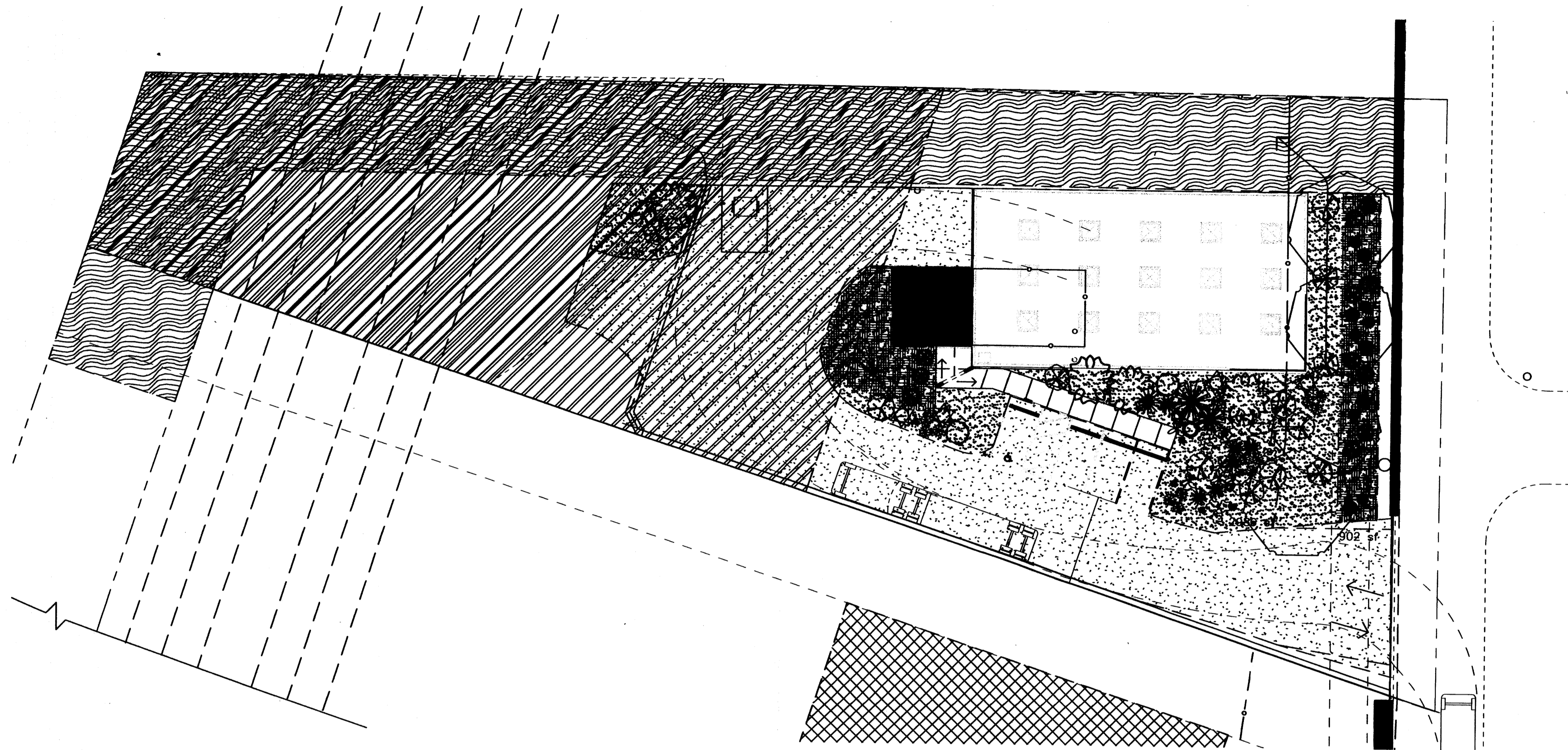
PROJECT NUMBER:
20_1015
 CAD DWG FILE:
DWL_HB WAREHOUSE

DRAWN BY:
ANNA MATEJCZUK
 CHECKED BY:
RON BURTON

SHEET TITLE:
SITE DEVELOPMENT PLAN

AS 101
 OF SHEET

11/20/2010 11:38:30 AM



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed. Existing landscape beds, shall be weeded and receive new gravel and filter fabric.

IRRIGATION NOTES:
New Irrigation shall be tied into existing system.

Large Shrubs to receive (5) 1.0 GPH Drip Emitters, smaller shrubs shall receive (2) 1.0 GPH Drip Emitters. Drip systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each shrub drip valve will be approximately 15 minutes per day. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation maintenance shall be the responsibility of the Property Owner.

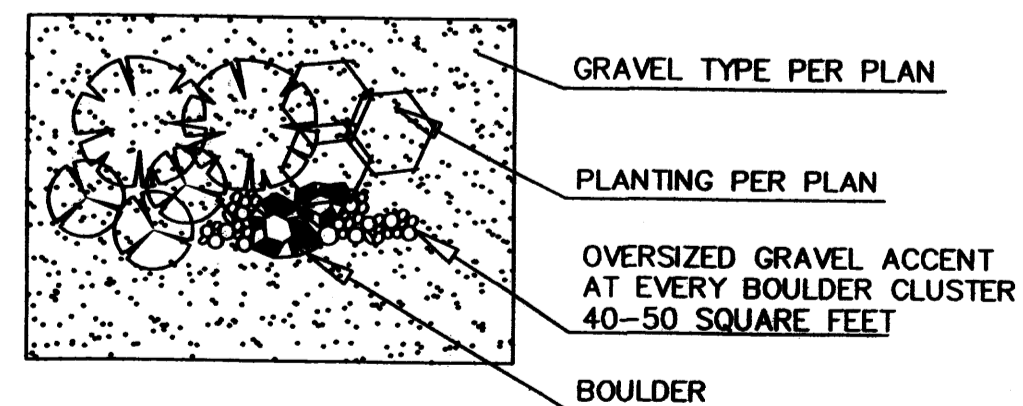
Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

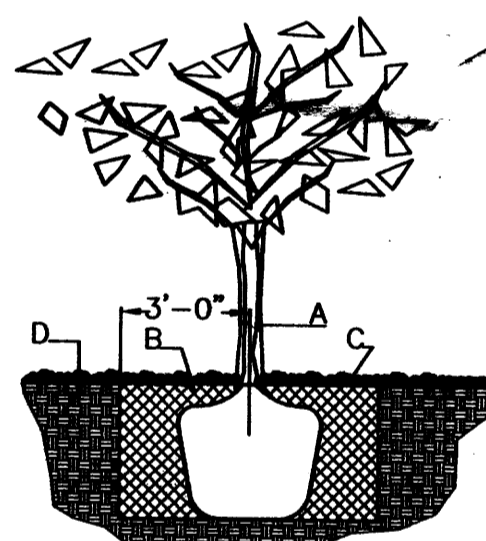
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	36583	square feet
TOTAL EXISTING BUILDINGS AREA	441	square feet
TOTAL NEW BUILDINGS AREA	4091	square feet
NET LOT AREA	32051	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4807	square feet
TOTAL BED PROVIDED	3441	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	2581	square feet
TOTAL GROUND COVER PROVIDED	0	square feet
TOTAL EXISTING BED AREA	1612	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	5053 (15%)	square feet

GRAVEL ACCENT DETAIL



TREE PLANTING DETAIL



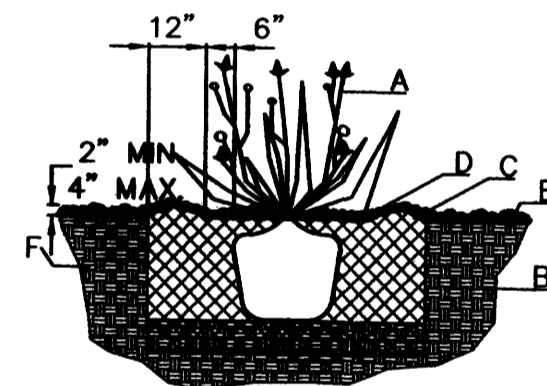
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Washington Place
Required 4 Provided 4

SHRUB PLANTING DETAIL



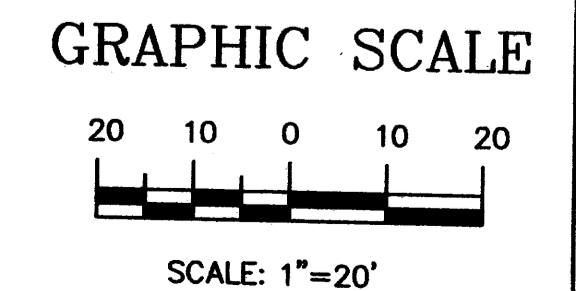
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required 1 Provided 1- Existing Ash

- than by the height of the plant.
- SHADE TREES**
- COMMON HACKBERRY
Celtis occidentalis
2" Cal., 12'-14' Inst./40' x 40' maturity
Water (M) Allergy (L) 0sf
- DESERT ACCENTS**
- * PALM YUCCA 2
Yucca faxonia
4'-8' Inst., 15' x 6' maturity
Water (L) Allergy (L) 0sf
 - * BEARGRASS 1
Nolina microcarpa
5 Gal., 18"-3' Inst./5' x 6' maturity
Water (L+) Allergy (L) 36sf
 - * RED YUCCA 6
Hesperaloe parviflora
5 Gal., 18"-3' Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - * PRICKLY PEAR 5
Opuntia macrocentra
5 Gal., 12"-3' Inst./3' x 3' maturity
Water (L) Allergy (L) 9sf
- SHRUBS/ORNAMENTAL TREES**
FIFTEEN GAL.
- VITEX 4
Vitex agnus-castus
15 Gal., 4'-10' Inst./20' x 20' maturity
Water (M) Allergy (L) 225sf
- SHRUBS/ORNAMENTAL GRASSES**
FIVE GAL.
- ROSE OF SHARON 1
Hibiscus syriacus
5 Gal., 2'-4' Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - TRUE MOUNTAIN MAHOGANY 4
Cercocarpus montanus
5 Gal., 18"-3' Inst./10' x 6' maturity
Water (L+) Allergy (L) 36sf
 - THREE-LEAF SUMAC 2
Rhus trilobata
5 Gal., 18"-3' Inst./6' x 6' maturity
Water (L+) Allergy (L) 36sf
 - * MUGO PINE 1
Pinus mugo
5 Gal., 12"-3' Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
 - BLUE MIST SPIREA 13
Corydalis clandonensis
5 Gal., 12"-3' Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- ONE GAL.**
- POTENTILLA 9
Potentilla fruticosa
1 Gal., 3"-15" Inst./3' x 3' maturity
Water (M+) Allergy (L) 9sf
 - THREADGRASS 7
Stipa tenuissima
1 Gal., 3"-15" Inst./2' x 2' maturity
Water (L+) Allergy (L) 4sf
- GROUNDCOVERS**
- * TAM JUNIPER 6
Juniperus sabinia 'tamariscifolia'
1 Gal., 6"-15" Inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
 - * LADY BANK'S ROSE 6
Rosa banksiae
5 Gal., 24"-4' Inst./3' x 20' maturity
Water (M) Allergy (L) 225sf
Unstaked Groundcover
- HARDSCAPES**
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - OVERSIZED GRAVEL & BOULDERS
 - * DENOTES EVERGREEN PLANT MATERIAL



↑

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

STATE OF NEW MEXICO
JAMES DE FLON
0007
REGISTERED LANDSCAPE ARCHITECT

JAMES DE FLON
#0007

HB CONSTRUCTION
8405 WASHINGTON PLACE
LANDSCAPE PLAN

All elements shown herein remain the property of The Hilltop Landscaping Contractors and are processed by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or otherwise stated.

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CMU
REVISION # 4/10-22-10
DATE 9-22-10

SHEET #
L1 OF L1

KEYED NOTES

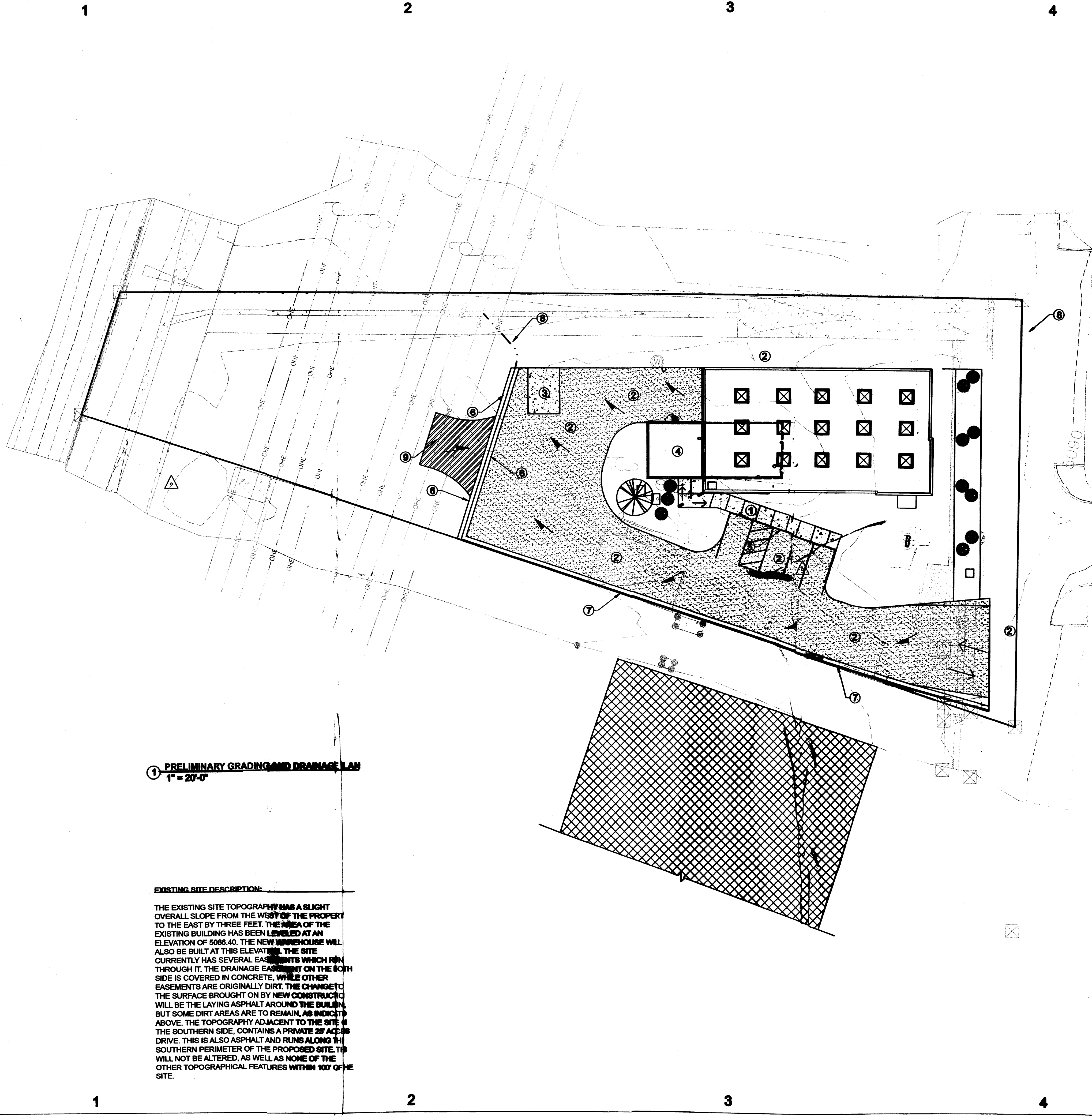
- 1 NEW CONCRETE SIDEWALK.
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- 3 NEW TRASH ENCLOSURE.
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- 5 EXISTING SIDEWALK TO REMAIN
- 6 NEW CONCRETE VALLEY GUTTER.
- 7 NEW CONCRETE BARRIER CURB AND GUTTER.
- 8 NEW EARTHENED SWALE.
- 9 NEW CRUSHER FINES FIRE TURNAROUND.

**Preliminary Grading and Drainage Plan
HB Construction
Schematic Design
8405 Washington PI NE Albuquerque, NM 87113**

No.	Description	Date
1	Site Plan Change	10-28-2010

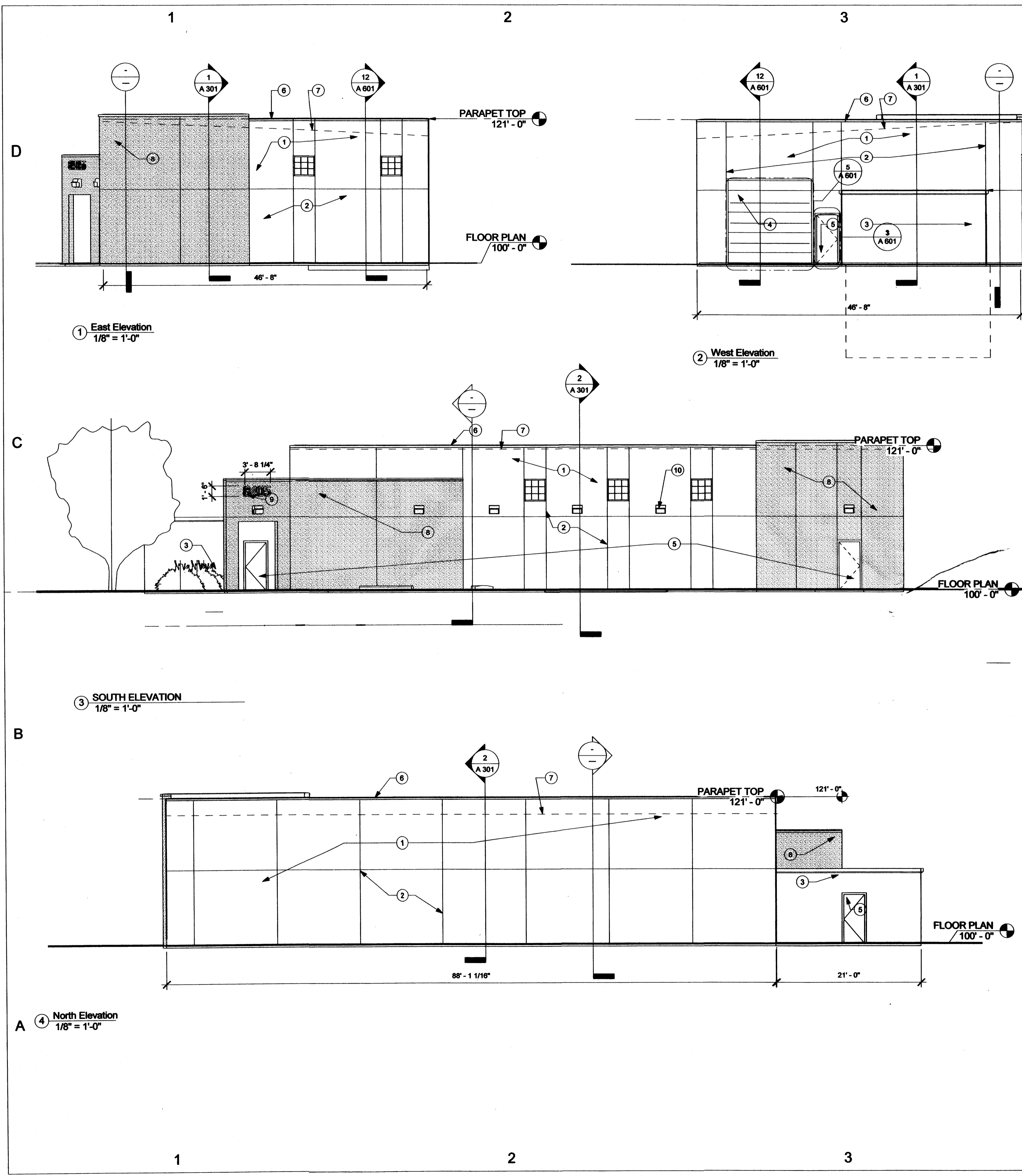
PROJECT NUMBER:
20_1015
JOB SHEET FILE:
MILLER
DESIGNED BY:
JMJ
CHECKED BY:
VAM
DATE PLOTTED:
PRELIMINARY GRADING AND DRAINAGE PLAN

C-101



① **PRELIMINARY GRADING AND DRAINAGE PLAN**
1" = 20'-0"

EXISTING SITE DESCRIPTION:
THE EXISTING SITE TOPOGRAPHY HAS A SLIGHT OVERALL SLOPE FROM THE WEST OF THE PROPERTY TO THE EAST BY THREE FEET. THE AREA OF THE EXISTING BUILDING HAS BEEN LEVELED AT AN ELEVATION OF 5086.40. THE NEW WAREHOUSE WILL ALSO BE BUILT AT THIS ELEVATION. THE SITE CURRENTLY HAS SEVERAL EASEMENTS WHICH RUN THROUGH IT. THE DRAINAGE EASEMENT ON THE SOUTH SIDE IS COVERED IN CONCRETE, WHILE OTHER EASEMENTS ARE ORIGINALLY DIRT. THE CHANGE TO THE SURFACE BROUGHT ON BY NEW CONSTRUCTION WILL BE THE LAYING ASPHALT AROUND THE BUILDING, BUT SOME DIRT AREAS ARE TO REMAIN, AS INDICATED ABOVE. THE TOPOGRAPHY ADJACENT TO THE SITE ON THE SOUTHERN SIDE, CONTAINS A PRIVATE ACCESS DRIVE. THIS IS ALSO ASPHALT AND RUNS ALONG THE SOUTHERN PERIMETER OF THE PROPOSED SITE. THIS WILL NOT BE ALTERED, AS WELL AS NONE OF THE OTHER TOPOGRAPHICAL FEATURES WITHIN 100' OF THE SITE.

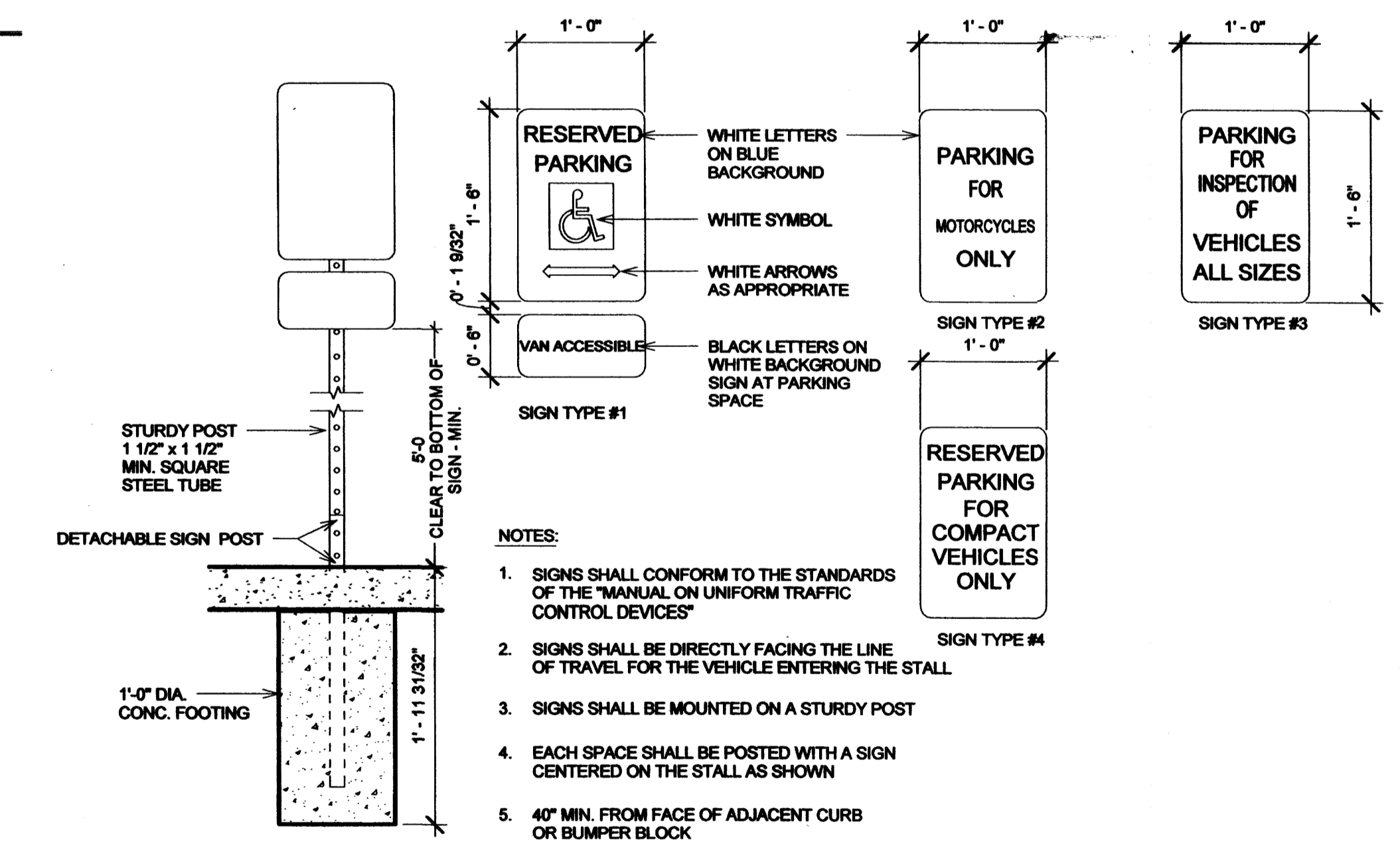


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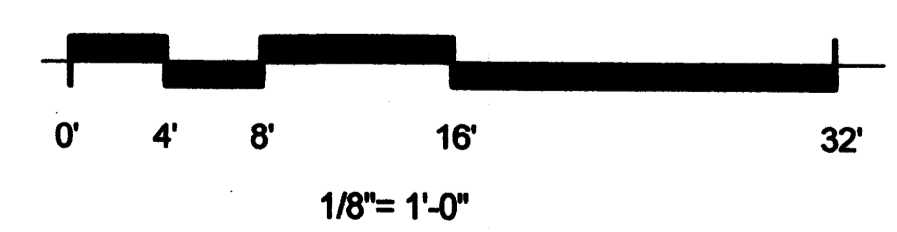
KEYED NOTES . A 201

- 1 STUCCO, TYPICAL, SMOOTH SMALL AGGREGATE FINISH, TAN COLOR
- 2 STUCCO CONTROL JOINTS, TYPICAL
- 3 EXISTING BUILDING
- 4 OVERHEAD STEEL SECTIONAL DOOR
- 5 DOOR, 3' x 7' HOLLOW METAL DOOR AND FRAME
- 6 SHEET METAL PARAPET CAP
- 7 ROOF LINE
- 8 STUCCO TYPICAL, COARSE AGGREGATE FINISH, SAGE GREEN COLOR
- 8 STUCCO TYPICAL, COARSE AGGREGATE FINISH, SAGE GREEN COLOR
- 9 ADDRESS SIGN LOCATION; PLASTIC SIGN
- 10 LIGHTING FIXTURES ON BUILDING FACADE



5 SITE SIGNAGE
1" = 1'-0"

- NOTES:**
- 1. SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
 - 2. SIGNS SHALL BE DIRECTLY FACING THE LINE OF TRAVEL FOR THE VEHICLE ENTERING THE STALL
 - 3. SIGNS SHALL BE MOUNTED ON A STURDY POST
 - 4. EACH SPACE SHALL BE POSTED WITH A SIGN CENTERED ON THE STALL AS SHOWN
 - 5. 40" MIN. FROM FACE OF ADJACENT CURB OR BUMPER BLOCK



DWL ARCHITECTS
 DWL ARCHITECTS & PLANNERS, INC. OF NM
 202 CENTRAL AVE. S.E.
 WEST COURTYARD
 ALBUQUERQUE,
 NEW MEXICO, 87102
 PH (505) 242-6202
 FAX (505) 242-4159

**Building Elevations
 HB Construction
 Project Status**
 8405 Washington Pl NE Albuquerque, NM 87113

ISSUE/REVISION	No.	Description	Date
	1	DRS SUBMITTAL DRAFT ONE	09.27.10
	2	DRS SUBMITTAL EDITED: ZONING CODE	10.12.10
	3	DRS SUBMITTAL FINAL PHASE	10.29.10

PROJECT NUMBER:
20_1015
 CAD DWG FILE:
DWL_HB_WAREHOUSE

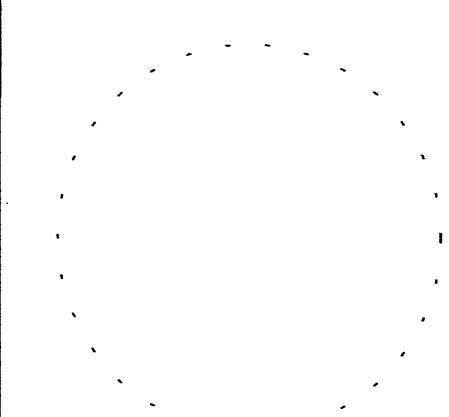
DRAWN BY:
ANNA MATEJCZUK
 CHECKED BY:
RON BURTON

SHEET TITLE:
Building Elevations

A 201
OF SHEET



DWL ARCHITECTS & PLANNERS, INC. OF NM
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8405 Washington PI NE Albuquerque, NM 87113

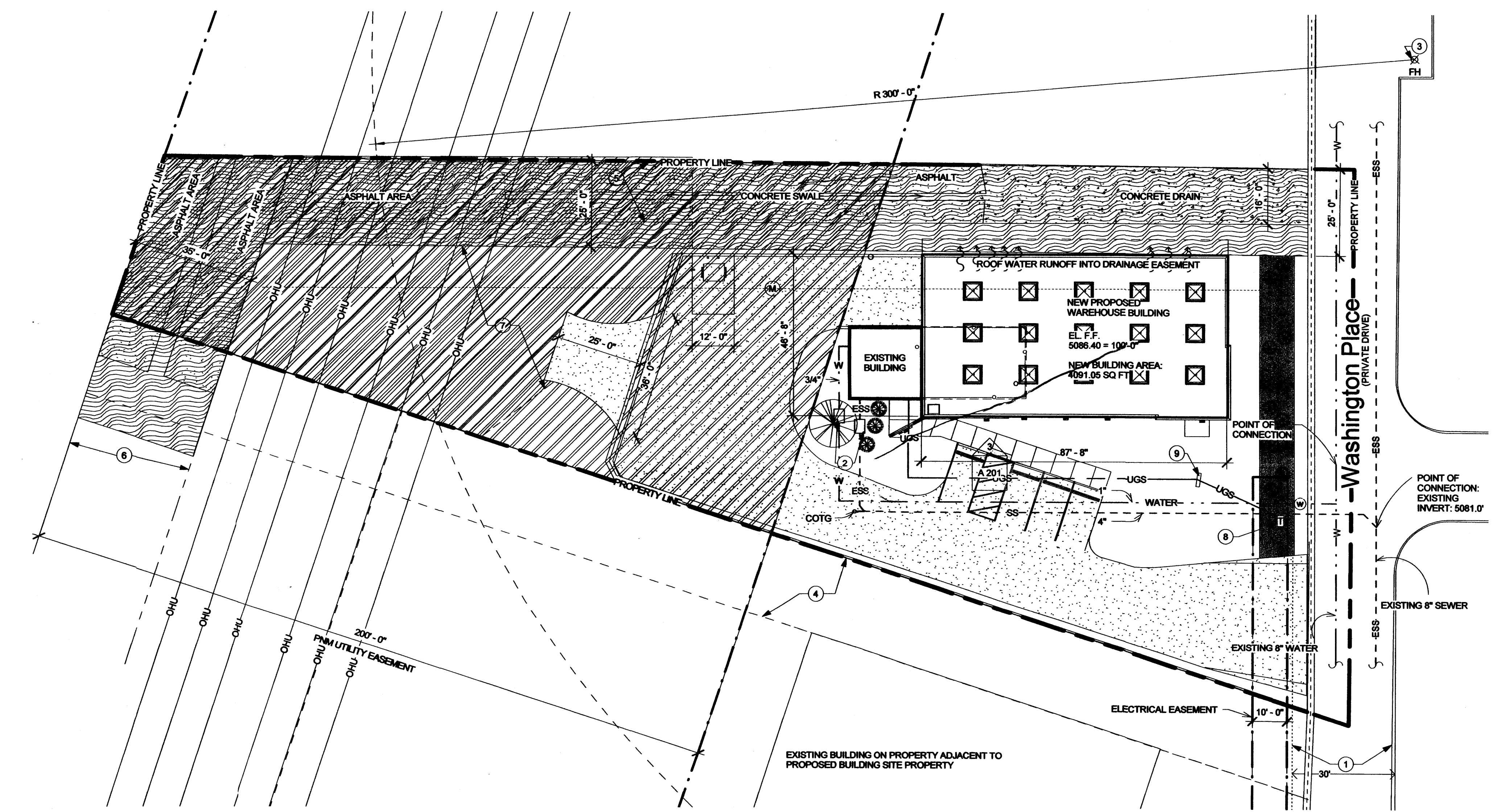
UTILITY PLAN
HB Construction
Project Status

KEYED NOTES . AS 102

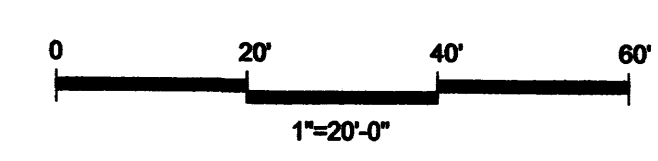
- 1 30' EXISTING SEWER, WATER, COMMON ACCESS, AND DRAINAGE EASEMENT
- 2 METHANE TRENCH VENTS
- 3 FIRE HYDRANT AND ASSOCIATED 300' RADIUS NEEDED TO COVER AREA FOR NEW CONSTRUCTION
- 4 25' WIDE PRIVATE ACCESS EASEMENT - EXISTING ASPHALT PAVING
- 5 PRIVATE DRAINAGE EASEMENT
- 6 PUBLIC DRAINAGE EASEMENT
- 7 STORM DRAINAGE OVERFLOW EASEMENT
- 8 EXISTING TRANSFORMER
- 9 EXISTING ELECTRIC METER

UTILITY LEGEND:

- W EXISTING POTABLE WATER
- UGS EXISTING UNDERGROUND ELECTRICAL SERVICE
- SS EXISTING SANITARY SEWER
- COTG SEWER CLEAN-OUT



1 UTILITY PLAN
 1" = 20'-0"



No.	Description	Date
1	DRB SUBMITTAL DRAFT ONE	09.27.10
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 CAD DWG FILE:
 DWL_HB WAREHOUSE

DRAWN BY:
 ANNA MATEJCZUK
 CHECKED BY:
 RON BURTON

SHEET TITLE:
 UTILITY PLAN

AS 102

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