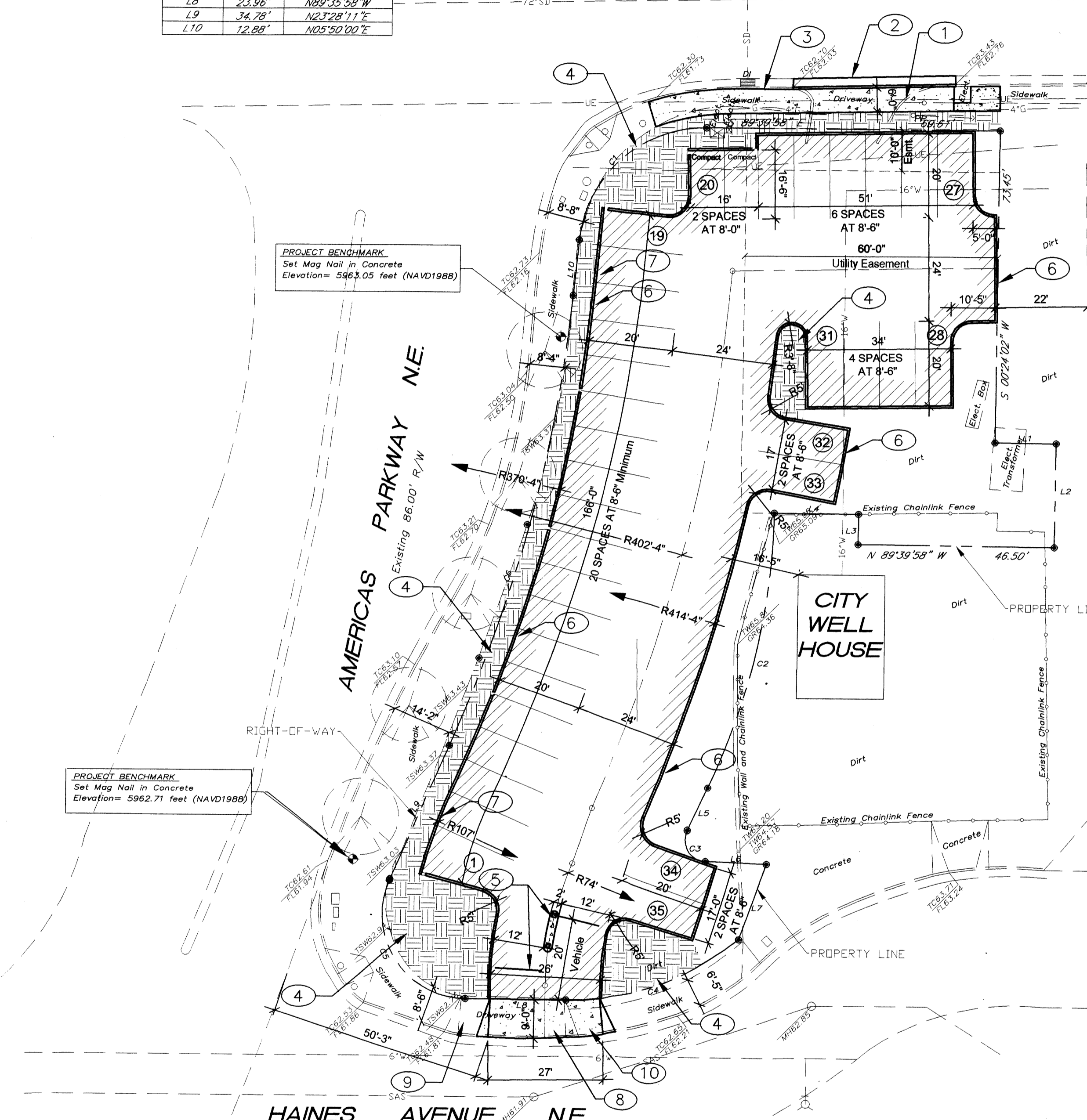


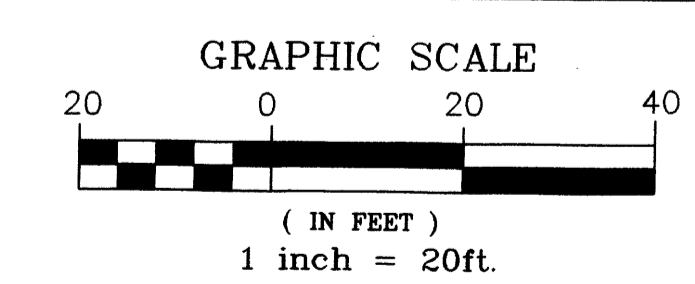
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	44.74'	30.00'	27.25'	84°30'03"
C2	68.91'	30.00'	27.25'	84°30'03"
C3	9.83'	5.00'	7.51'	112°41'56"
C4	44.45'	63.66'	23.18'	40°00'30"
C5	39.47'	20.00'	30.26'	113°04'05"
C6	172.45'	365.30'	56.67'	17°38'11"

LINE	LENGTH	BEARING
L1	14.50'	S89°35'58"W
L2	25.00'	S00°24'02"W
L3	7.50'	N00°24'02"E
L4	20.00'	N89°35'58"W
L5	11.00'	S25°04'43"W
L6	14.49'	S87°32'11"E
L7	19.00'	S18°23'14"W
L8	23.96'	N89°35'58"W
L9	34.78'	N27°28'11"E
L10	12.88'	N05°50'00"E



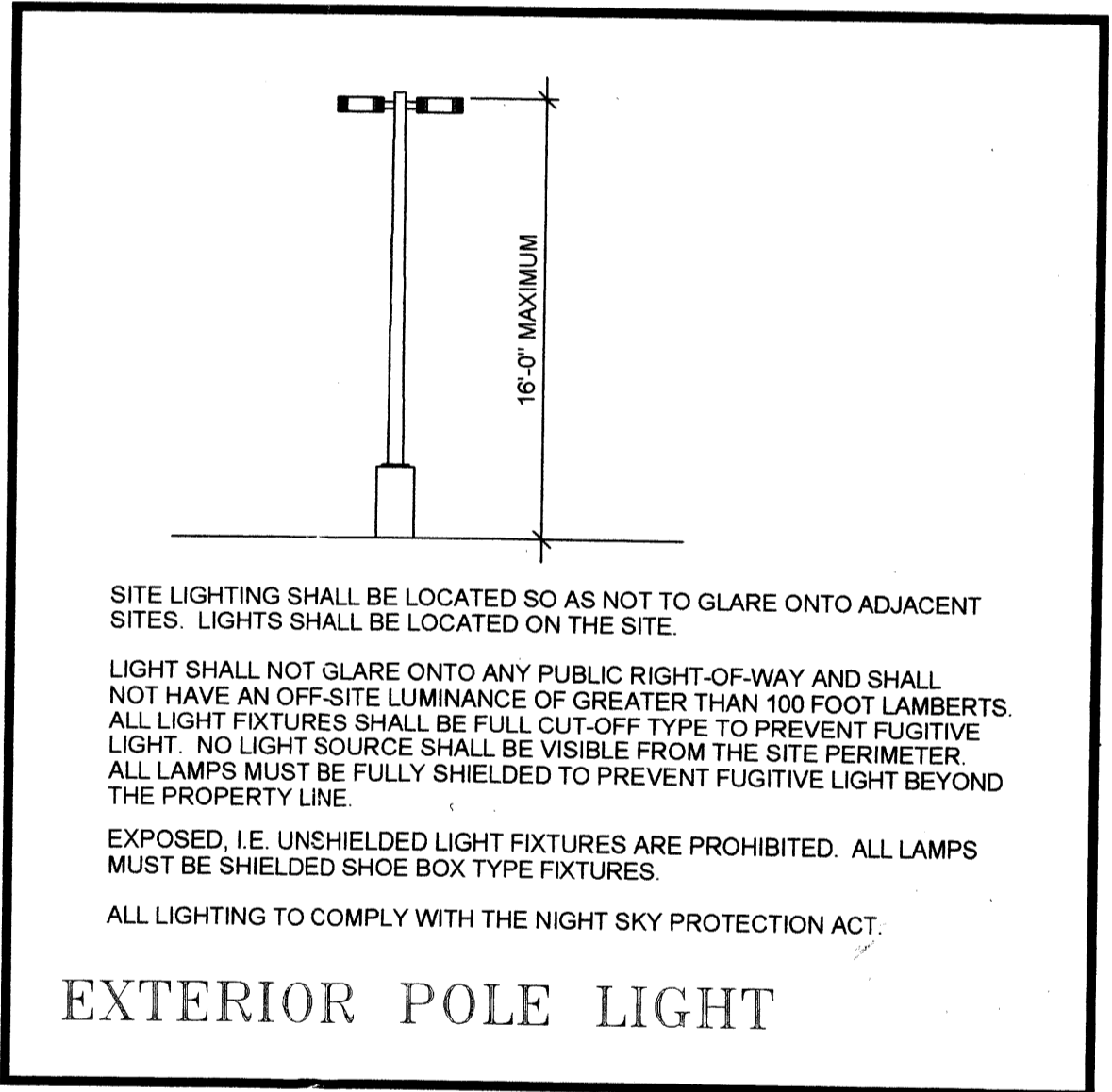
PARKING LOT LAYOUT SITE PLAN
SCALE: 1" = 20'

	INDICATES EXTENT OF NEW CONCRETE PAVING AND CONCRETE SIDEWALKS
	INDICATES EXTENT OF OPEN SPACE AREA - SEE LANDSCAPE PLAN
	INDICATES EXTENT OF NEW ASPHALT PAVING - SEE SPECIFICATIONS



CONSTRUCTION NOTES:

- ① REMOVE 25 FEET OF AN EXISTING CONCRETE DRIVEWAY, CONCRETE VALLEY GUTTER, CURB AND GUTTER, SIDEWALK AND EXISTING ASPHALT PAVING.
- ② CONSTRUCT STANDARD CURB AND GUTTER PER CITY STD. DWG. 2415A.
- ③ CONSTRUCT A 6' WIDE CONCRETE SIDEWALK PER CITY STD. DWG. 2430.
- ④ SEE LANDSCAPING PLAN FOR TREATMENT BETWEEN CURB AND SIDEWALK.
- ⑤ PARKING LOT BADGE ENTRY SYSTEM WITH GATE AT ENTRY AND AN EXIT CONTROL SYSTEM WITH SPIKES AT EXIT.
- ⑥ CONSTRUCT A 1'-6" HEADER CURB PER CITY STD. DWG. 2415B WITH 6" OF THE CURB ABOVE THE ASPHALT GRADE AND 12" BELOW THE ASPHALT GRADE.
- ⑦ PROVIDE 1' WIDE CURB OPENING AT 20' ON CENTER TO ALLOW DRAINAGE FROM PARKING LOT INTO LANDSCAPE WATER HARVESTING AREA, SEE DRAINAGE PLAN.
- ⑧ CONSTRUCT A 27' WIDE CONCRETE DRIVEPAD PER CITY STD. DWG. 2425.
- ⑨ SAWCUT AND REMOVE +/-10' OF EXISTING CONCRETE DRIVEWAY AND REPLACE WITH 9' OF CONCRETE SIDEWALK PER CITY STD. 2430.
- ⑩ SAWCUT AND REMOVE +/-12' OF EXISTING DRIVEWAY AND SIDEWALK.

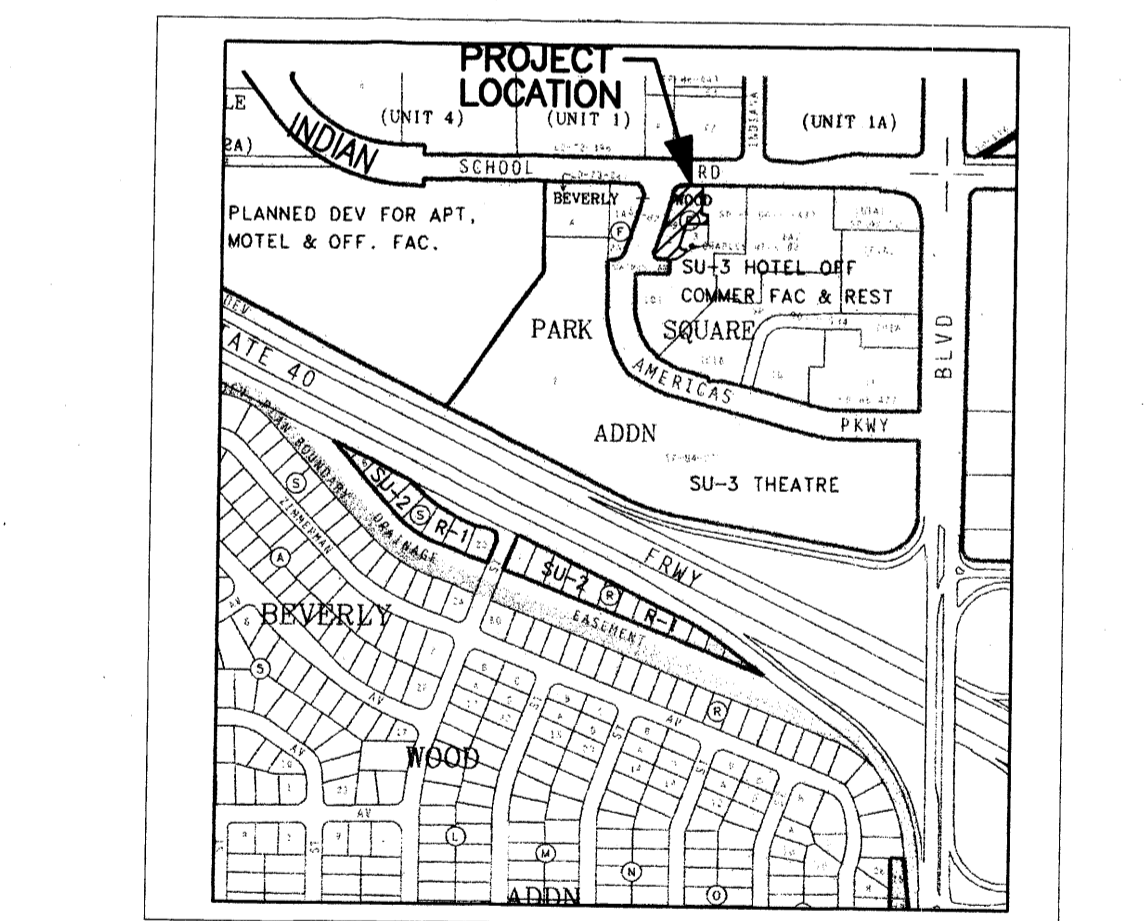


- GENERAL NOTES
NOTICE TO CONTRACTORS
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT No. 1.
 2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
 3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE OWNER SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
 4. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION BARRICADING UNTIL PROJECT HAS BEEN COMPLETED.
 5. ADJUST ALL VALVE CANS AND SEWER LINE CLEANOUTS TO FINAL GRADE.

PARKING CRITERIA

PROJECT: NEW MEXICO EDUCATORS FEDERAL CREDIT UNION EMPLOYEE PARKING LOT
OWNER: NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
ENGINEER: APPLIED ENGINEERING & SURVEYING, INC.
LEGAL DESCRIPTION: TRACT 2, BLOCK "E", BEVERLY WOOD ADDITION
ZONING CLASSIFICATION: SU-3 SPECIAL USE ZONE
UNIFORM PROPERTY CODE: 1-018-058-445-515-11609
PARKING SPACES SIZES: 33 - 20'x8'-6" SPACES & 2 - 16'-6" X 8'-0" SPACES
BICYCLE SPACES: NOT APPLICABLE
SITE LIGHTING: SEE DETAIL
TOTAL LOT AREA: 17,424SF
LANDSCAPE AREA REQUIRED: SEE LANDSCAPE PLAN
LANDSCAPE AREA PROVIDED: SEE LANDSCAPE PLAN

PROJECT NUMBER:	1008595
APPLICATION CASE NUMBER:	10DRB-10344-MATOR-SITE
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC-RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
<i>[Signature]</i>	01-12-11
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	01-12-11
WATER UTILITY DEVELOPMENT	DATE
<i>[Signature]</i>	11/21/11
PARKS & RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	1/12/11
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
N/A	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
N/A	DATE
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	2-8-11
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



VICINITY MAP J-18
SCALE: N.T.S.

APPROVED/DISAPPROVED
[Signature]
SIGNATURE & DATE

UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES IN PLANNING AND CONDUCTING EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

APPLIED ENGINEERING AND SURVEYING, INC.
CIVIL ENGINEERING, LAND PLANNING AND SURVEYING

1605 Blak Drive NE, Albuquerque, New Mexico 87112
Office: (505) 480-8125, Fax: (505) 237-8164, email: galdaz47@yahoo.com

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Applied Engineering Inc. as instruments of service shall remain the property of Applied Engineering Inc. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

PROFESSIONAL SEAL

NM EDUCATORS PARKING LOT
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 090800
DRAWING FILE:
DRAWN BY:
CHECK BY:
COPYRIGHT:
DATE: JULY 24, 2009

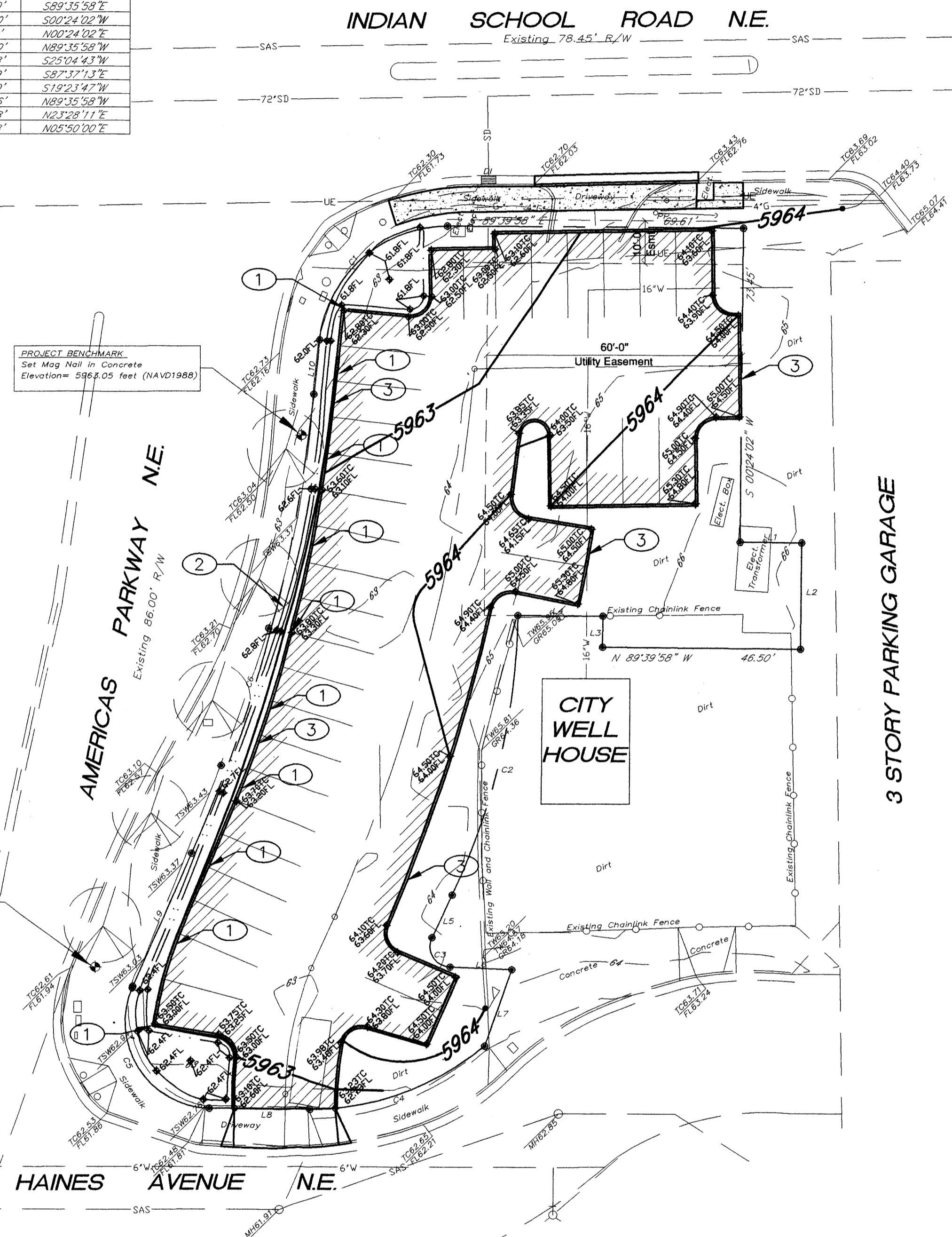
SHEET TITLE
PARKING LAYOUT SITE PLAN

SHEET NUMBER
SP-01

1008595 DRB

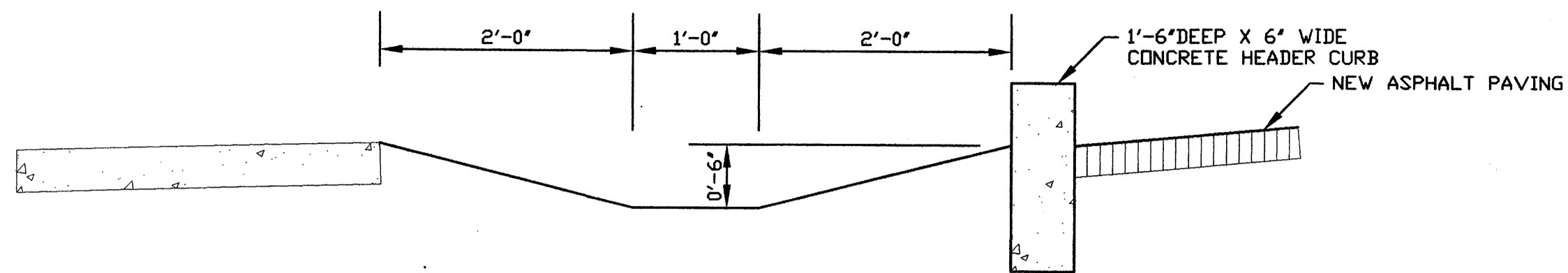
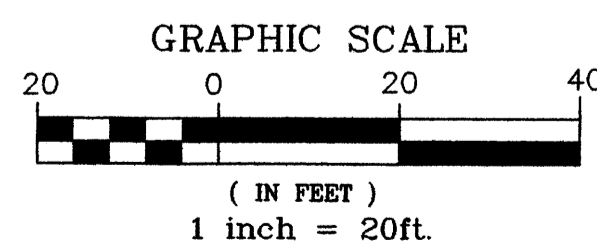
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	44.24'	30.00'	27.26'	84°30'03"
C2	68.91'	30.00'	27.26'	84°30'03"
C3	9.83'	5.00'	7.51'	172°41'56"
C4	44.45'	63.68'	23.18'	40°00'30"
C5	39.47'	20.00'	39.26'	173°04'02"
C6	112.45'	365.30'	56.67'	17°38'11"

LINE	LENGTH	BEARING
L1	14.50'	S89°15'58"W
L2	25.00'	S00°24'02"W
L3	7.32'	N00°24'02"E
L4	20.00'	N89°15'58"W
L5	11.00'	S25°04'37"E
L6	14.49'	S87°17'13"E
L7	19.00'	S18°13'47"W
L8	23.86'	N89°15'58"W
L9	34.78'	N03°28'11"E
L10	12.69'	N05°50'00"E



DRAINAGE AND GRADING PLAN

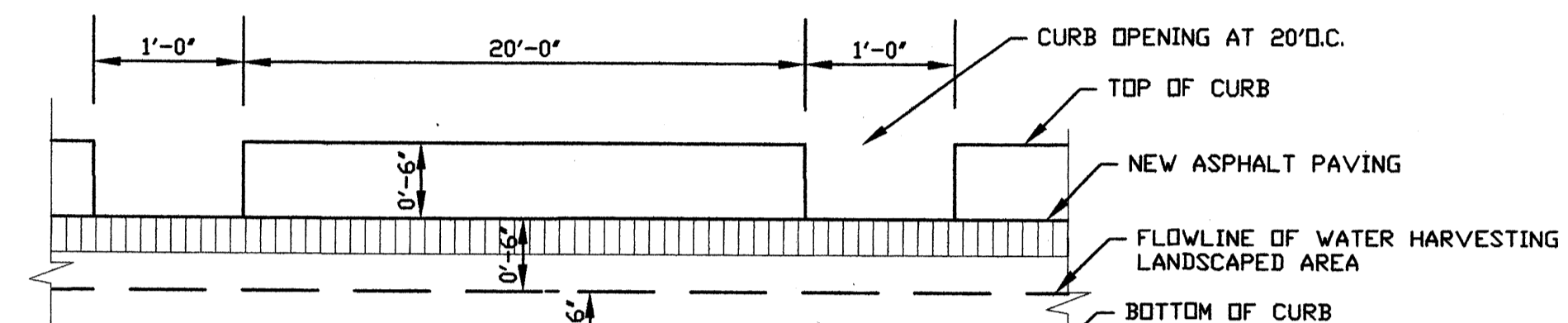
SCALE: 1" = 20'



TYPICAL WATER HARVESTING LANDSCAPE AREA

CROSS SECTION VIEW

SCALE: 1" = 1'-0"



TYPICAL WATER HARVESTING LANDSCAPE AREA

LONGITUDINAL VIEW ALONG WEST CURB

SCALE: 1" = 1'-0"

CONSTRUCTION NOTES:

- 1 PROVIDE 1' WIDE CURB OPENING AT 20' ON CENTER.
- 2 PROPOSED PONDING AREA FOR WATER HARVESTING DRAINAGE FLOWS FROM PARKING LOT TO SUPPLEMENT LANDSCAPING.
- 3 CONSTRUCT 1'-6" HEADER CURB, 6" ABOVE ASPHALT AND 12" BELOW ASPHALT GRADE PER CITY STD. DWG. 2415B.

**GENERAL NOTES
NOTICE TO CONTRACTORS**

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT No. 1.
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTION. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE OWNER SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION BARRICADING UNTIL PROJECT HAS BEEN COMPLETED.
5. ADJUST ALL VALVE CANS AND SEWER LINE CLEANOUTS TO FINAL GRADE.

LEGEND

- LIMITS OF ASPHALT PAVING REMOVAL AND REPLACEMENT, SEE PAVING SECTION.
- LIMITS OF CONCRETE PAVING, SEE PAVING SECTION.
- EXISTING GRADE ELEVATION
- PROPOSED FLOWLINE GRADE
- PROPOSED TOP OF CURB

UTILITY PRECAUTIONS

THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

APPLIED ENGINEERING AND SURVEYING, INC.
CIVIL ENGINEERING, LAND PLANNING AND SURVEYING

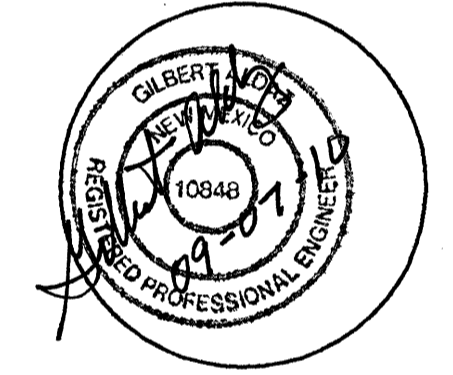
1605 Blair Drive NE, Albuquerque, New Mexico 87112
Office: (505) 480-8125 Fax: (505) 537-8164
email: goldoz47@yahoo.com

OWNERSHIP OF INSTRUMENTS OF SERVICE
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Applied Engineering Inc. as instruments of service shall remain the property of Applied Engineering Inc. shall retain all common law, statutory and other reserved rights, including the copyright thereto.

CONSULTANTS

Blank area for listing consultants.

PROFESSIONAL SEAL



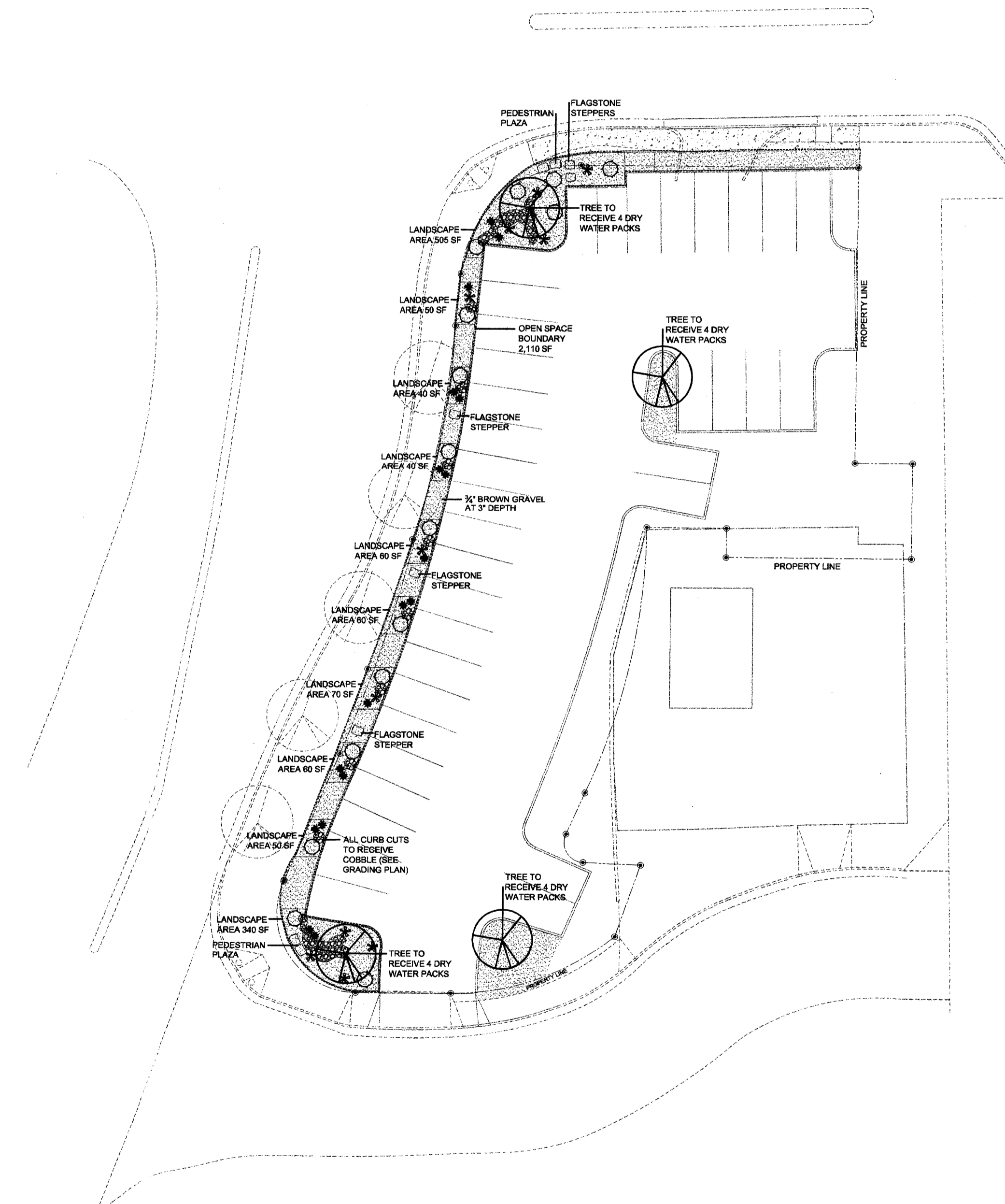
NM EDUCATORS PARKING LOT
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 090800
DRAWING FILE:
DRAWN BY:
CHECK BY:
COPYRIGHT:
DATE: JULY 24, 2009

SHEET TITLE
PROPOSED GRADING/DRAINAGE IMPROVEMENTS

SHEET NUMBER
C - 01



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height	Landscape Spread	Water Use
4		<i>Chilopsis linearis</i> Deseret Willow	2-Cal	20/25'	NA	Low+
5		Existing Street Tree	2-Cal	30/30'	NA	Medium
Shrubs/Groundcovers						
15		<i>Ericameria nauseosus</i> Chamisa	1-Gal	5/5'	32 sf=480 sf	Low+
17		<i>Gaillardia x grandiflora</i> Blanketflower	1-Gal	3/3'	8 sf=136 sf	Medium
11		<i>Hesperaloe parviflora</i> Red Yucca	1-Gal	3/4'	15 sf=165 sf	Low+

Total landscape coverage = 781 sf

LANDSCAPE DATA

GROSS LOT AREA/PHASE 1	17,637 SF
LESS BUILDING(S)	0 SF
NET LOT AREA	17,637 SF
REQUIRED LANDSCAPE	
10% OPEN SPACE	2,110 SF
40% OF OPEN SPACE LANDSCAPE	844 SF
LANDSCAPE PROVIDED (80%)	1,275 SF

HIGH WATER USE TURF

NONE PROPOSED

REQUIRED PARKING LOT TREES

PROVIDED AT 1 PER 8 SPACES (37 SPACES/8) 4

REQUIRED LANDSCAPE COVERAGE

60% LIVE VEGETATIVE MATERIAL (1,275 SF x 60%) 765 SF MIN.
PROVIDED LANDSCAPE COVERAGE 781 SF (61%)

GRAVEL USE

5% OF OPEN SPACE (2,110 SF x 5%) 105 SF MIN.
105 SF (5%)

NOTE

MAINTENANCE OF LANDSCAPE AND IS THE RESPONSIBILITY OF THE OWNER

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH UPTOWN SECTOR DEVELOPMENT PLAN

THIS PLAN SHALL PROVIDE AT MINIMUM 60% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY.

LANDSCAPE AREAS TO BE MULCHED WITH 3/4" BROWN GRAVEL AT 3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE ONCE INSTALLED AND RESPONSIBILITY IS TURNED OVER TO THE OWNER

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
PROVIDE CURB CUTS INTO LANDSCAPE AREAS TO ALLOW FOR PASSIVE WATER HARVESTING

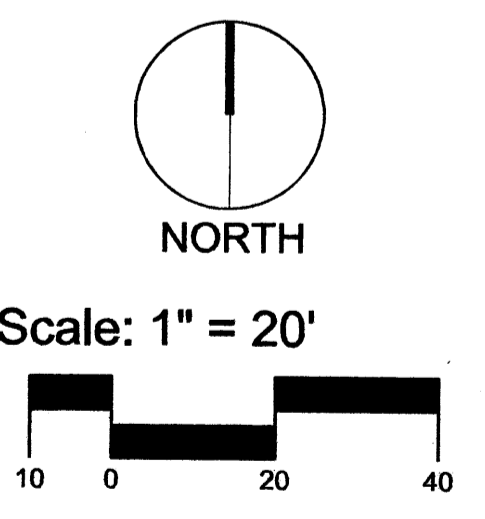
growing better
Up
Heads
LANDSCAPE CONTRACTORS
www.headsuplandscape.com
PO Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com



Date: 8/5/2010
Revisions:
▲ 9/29/10
▲ 10/04/10
▲
▲
▲
▲
Drawn by: MSW
Reviewed by: Hulc

NMEFCU Parking Lot

Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LS-01