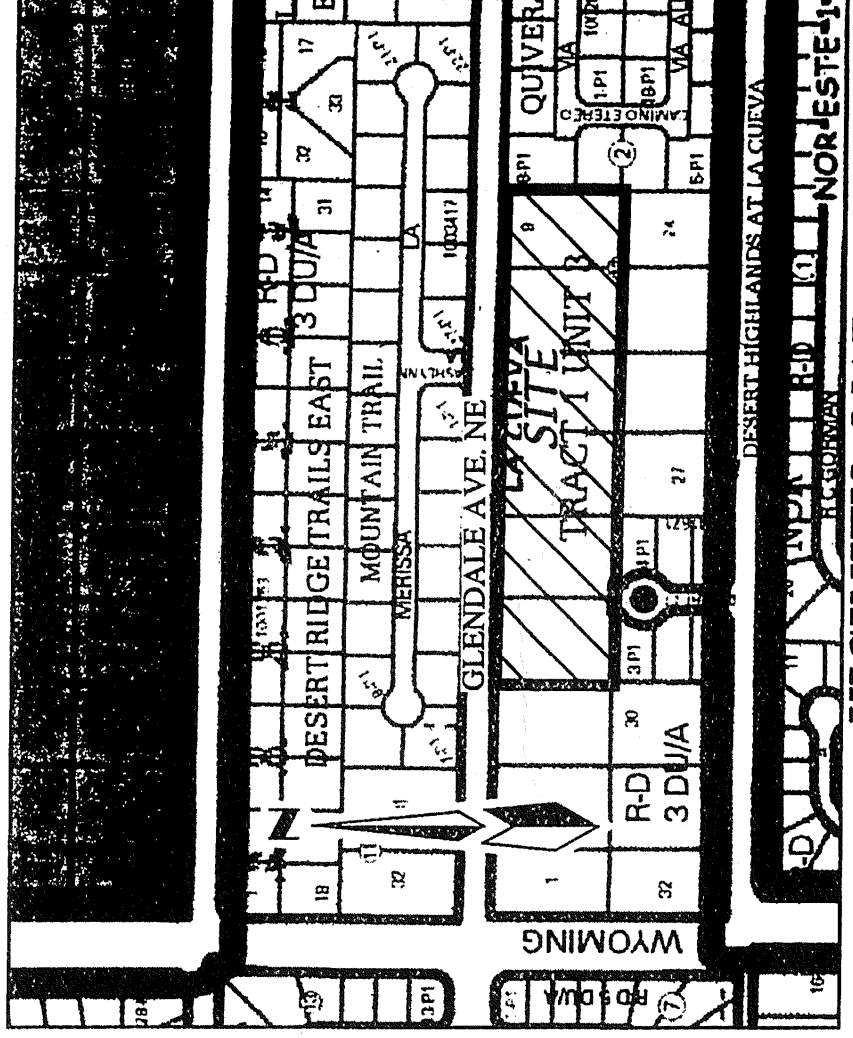


EPC 1008656



VICINITY MAP
SCALE: 1" = 750'
ZONE ATLAS PAGE: B-19-Z

LEGAL DESCRIPTION
A tract of land situated, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1981 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

THE SITE: The site area is presently vacant, zoned RD - 3 DUJAC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE: The property is to be changed to SU-1 for RD - 5 DUJAC. Allowed uses shall be as permitted in the R-1 zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.

Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from Glendale is also gated.

Transit Access: Routes 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS: Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-STREET PARKING: Minimum number of off-street parking spaces shall be provided according to the Intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS: Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-1 zone (see detail this sheet).

MAXIMUM TOTAL DWELLING UNITS: Maximum total number of residential units shall be 23.

LANDSCAPE STANDARDS: For Landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation, Landscaping Ordinance and the Street Tree Ordinance.

OPEN SPACE: Minimum open space provided per dwelling shall be in accordance with the R-D zone.

APPROVALS PROCESS: Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

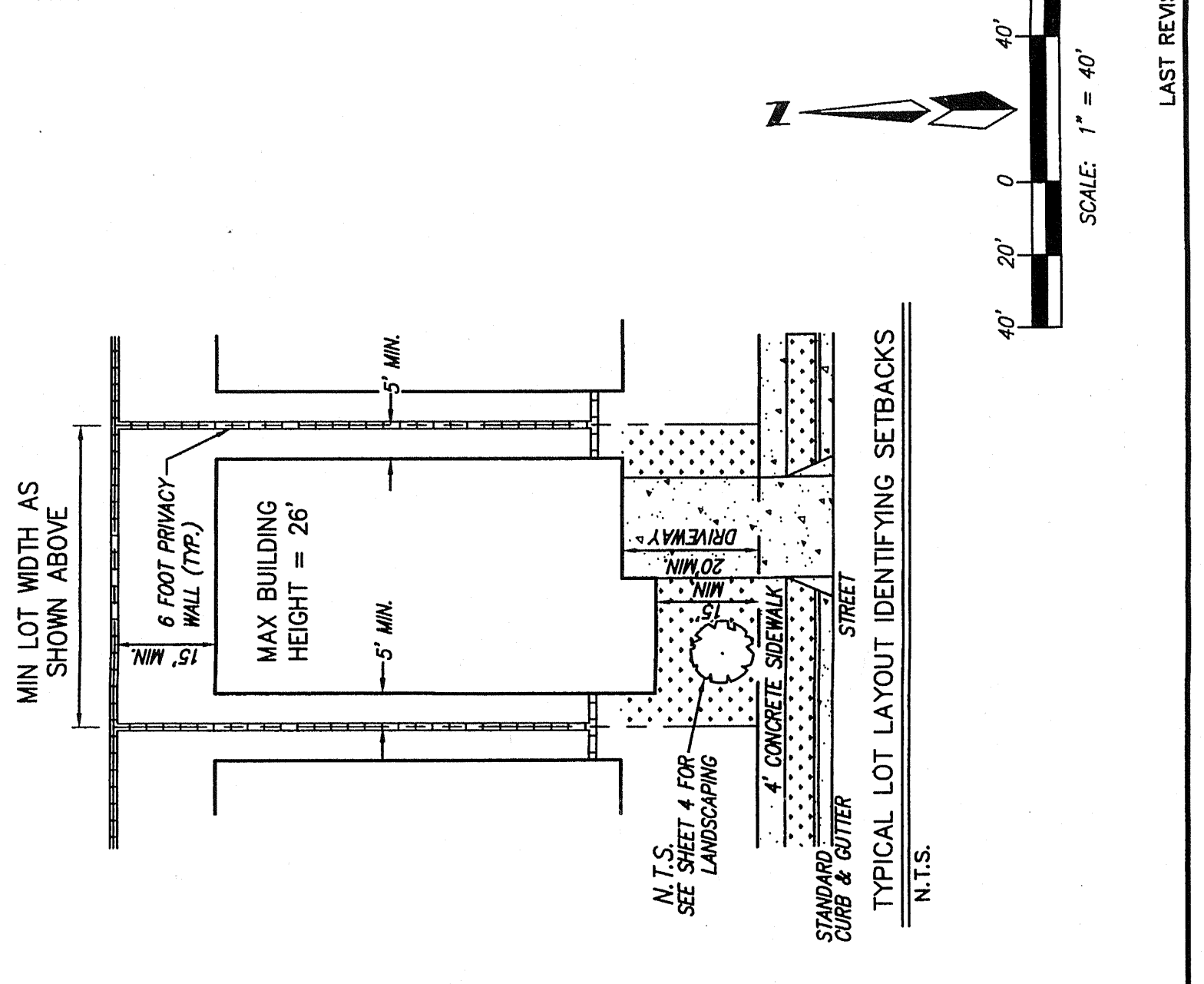
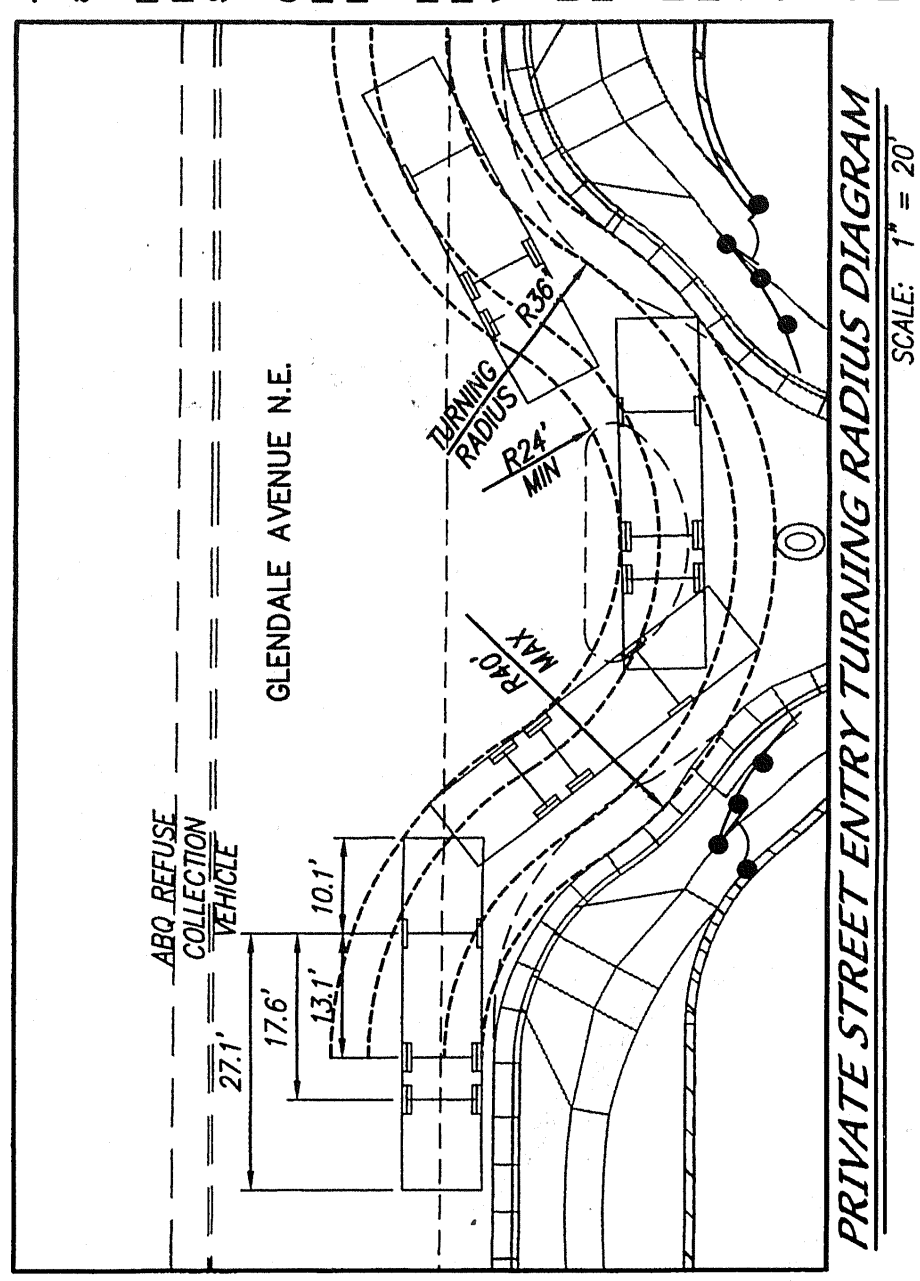
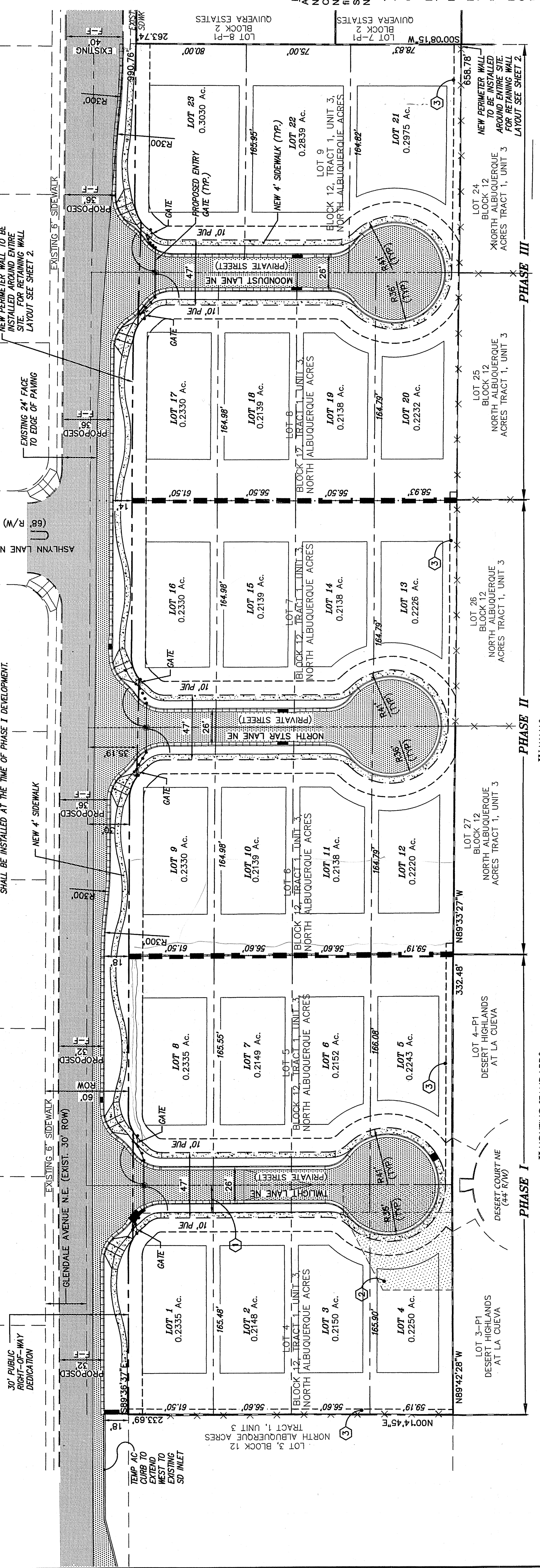
APPLICATION NUMBER: PROJECT NUMBER: 1008656

City Approvals:
 Traffic Engineering, Transportation Division: 04/25/12
 Utilities Development: 04/25/12
 Parks and Recreation Department: 4-25-12
 City Engineer: 4-25-12
 DPM Chairperson, Planning Department: 7-27-12

ESTATES AT GLENDALE
SITE PLAN FOR SUBDIVISION
(SU-1 RD 5DUJAC)

dmg MARK GOODWIN & ASSOCIATES, P.A.
 P.O. BOX 90806
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: SPS Checked: DMG Sheet: 1 of 4
 Date: 02/21/2012 Job: A11004



IV WALLS

A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-15 (B) of the City Zoning Code.

B. Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.

C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.

D. Maximum wall heights shall be 6 feet, unless they are retaining walls.

E. Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.

B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all city utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING

A. Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

VII OPEN SPACE

A. Open space shall be provided on each lot in accordance with Section 14-16-3-3-8 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE

A. Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.

II LIGHTING STANDARDS

A. Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.

B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

A. Front Yard Minimum
 2 Accent Trees of least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
 4 Shrubs (minimum 3 gallon)
 4 Landscaping Boulders (3' x 3' minimum)
 1 Shade Tree in R/W of least 1-1/2" caliper or 10 feet high at the time of planting

B. Accentuating "river rock" and bark mulch or peccan shells are also permitted in front yard landscaping.

C. At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe Brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.

D. Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.

E. Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.

F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.

G. Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.

H. The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

PREPARED BY: D. MARK GOODWIN & ASSOCIATES, P.A.
 7101 NATALE JAWA LANE NE CT. NE
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

PREPARED FOR: GLENDALE, LLC
 7101 NATALE JAWA LANE NE CT. NE
 ALBUQUERQUE, NM 87103
 PH: (505) 315-0312

PLAN INDEX

PLAN FOR SUBDIVISION	SHEETS
CONCEPTUAL GRADING & DRAINAGE PLAN	1
CONCEPTUAL UTILITY PLAN	2
LANDSCAPING PLAN	3
	4

LEGEND

EASEMENTS	EXISTING PAVING
1 EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065873)	EXISTING PAVING
2 EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065872)	AREA OF EXISTING EASEMENT VACATION
3 NEW PRIVATE DRAINAGE EASEMENT	NEW PAVEMENT
	PHASE BOUNDARY
	WROUGHT IRON FENCE & GATE
	NEW EASEMENT
	PROPERTY LINE
	EXISTING CURB
	EXISTING FENCE
	EXISTING WALL
	NEW SIDEWALK
	NEW STORM DRAIN INLET
	NEW WALL

THE PURPOSE OF THESE DESIGN STANDARDS IS TO ENHANCE THE DEVELOPED SURFACE APPEARANCE SO THAT NEW RESIDENTS AND THEIR VISITORS CAN EXPERIENCE A POSITIVE VISUAL FEEL WITHIN THEIR NEW HOME ENVIRONMENT. THESE STANDARDS ESTABLISH THE BASIS FROM WHICH THE NEW HOME BUILDER WILL USE TO CREATE AN INVITING AND VIBRANT COMMUNITY THAT, WHEN COMBINED WITH DISTINCTIVE IDENTIFIERS CAN BE UNIQUE TO THE ESTATES AT GLENDALE. THE LA CUEVA SECTOR DEVELOPMENT PLAN HAS BEEN UTILIZED AS THE FOUNDATION FROM WHICH KEY AESTHETIC ELEMENTS HAVE BEEN GENERATED, BUT THE ULTIMATE GOAL IS TO ENHANCE THE MINIMUMS SO THAT A RECOGNIZABLE DIFFERENCE CAN BE PERCEIVED BY ALL. ALL NEW CONSTRUCTION SHALL BE CONSISTENT WITH APPLICABLE LA CUEVA SECTOR PLAN DESIGN GUIDELINES AND THE DPM.

I ARCHITECTURAL STANDARDS

A. The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.

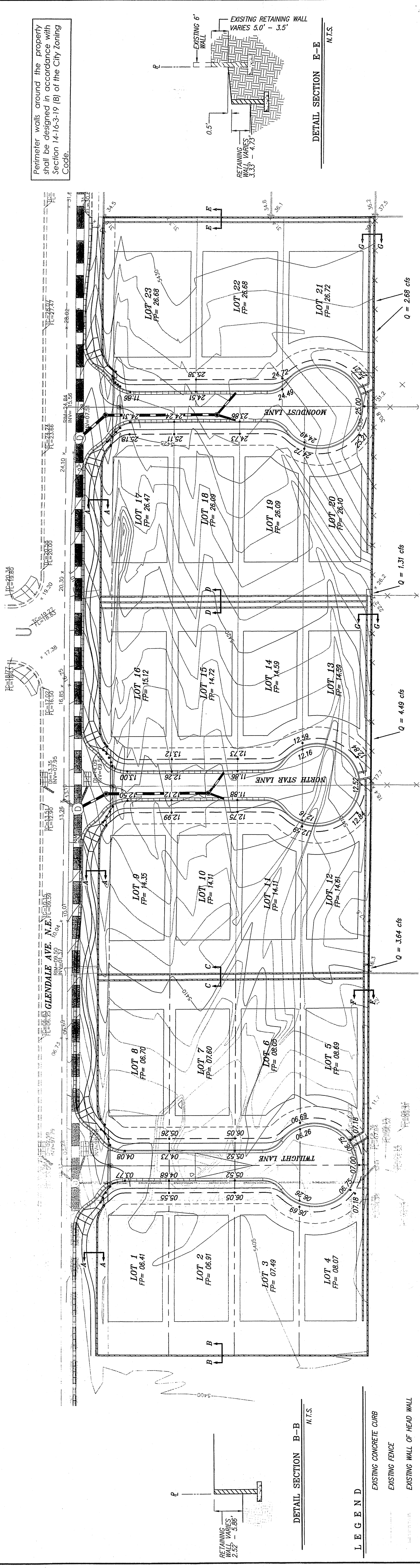
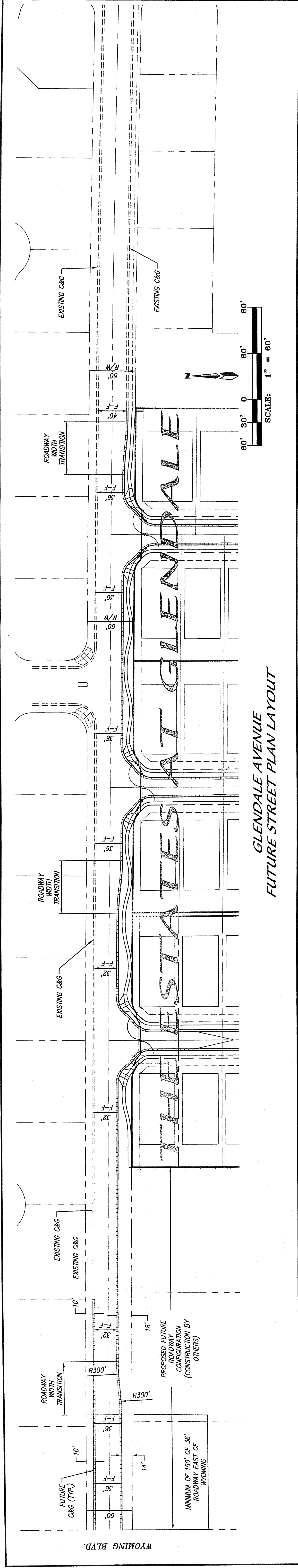
B. Typical building styles within this development shall be Contemporary Pueblo, Southwestern, Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.

C. Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.

D. Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.

E. Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.

F. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.



UPON COMPLETION OF ON-SITE GRADING OPERATIONS ALL DISTURBED SURFACES ON THE SITE SHALL BE STABILIZED WITH NATIVE SEED AND IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH THE NEW VEGETATION.

DRAINAGE MANAGEMENT PLAN

THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN CONCRETE-LINED SIDEWALKS WITH PRIVATE DRAINAGE EASEMENTS THAT WILL EXISTING 84" RCP AND 18" DIAMETER MANHOLE. MANHOLES SHALL BE CONSTRUCTED AT VARIOUS LOCATIONS WITHIN THIS PROJECT. THERE IS NO FEET OF GRADE CHANGE ACROSS THIS SITE IN AN EAST - WEST DIRECTION.

THE ESTATES AT GLENDALE

CONCEPTUAL GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
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(505)828-2200, FAX (505)797-9539

Designed: G/K Drawn: ACH Checked: DMG
Scale: AS SHOWN Date: 01-04-12 Job: A11004

Sheet 2 of 4

LEGEND

- EXISTING CONCRETE CURB
- EXISTING FENCE
- EXISTING WALL OF HEAD WALL
- EXISTING TOP CURB/FLOWLINE
- EXISTING SPOT ELEVATION
- EXISTING DROP INLET
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING WATER VALVE
- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- NEW LOT LINES
- NEW SIDEWALK
- NEW STANDARD CURB & GUTTER
- NEW MEDIAN CURB & GUTTER
- NEW RETAINING WALL
- NEW GARDEN WALL
- NEW STORMDRAIN
- NEW STORMDRAIN MANHOLE
- NEW SPOT ELEVATION

DETAIL SECTION A-A N.T.S.

DETAIL SECTION C-C N.T.S.

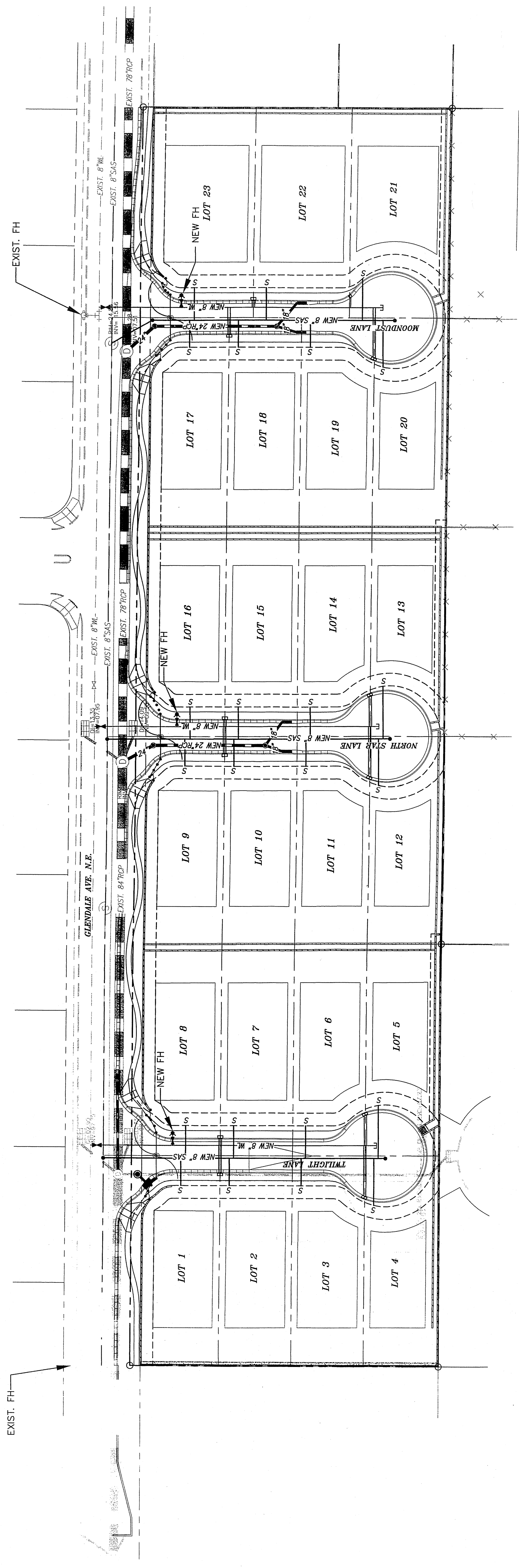
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DETAIL SECTION F-F N.T.S.

DETAIL SECTION G-G N.T.S.

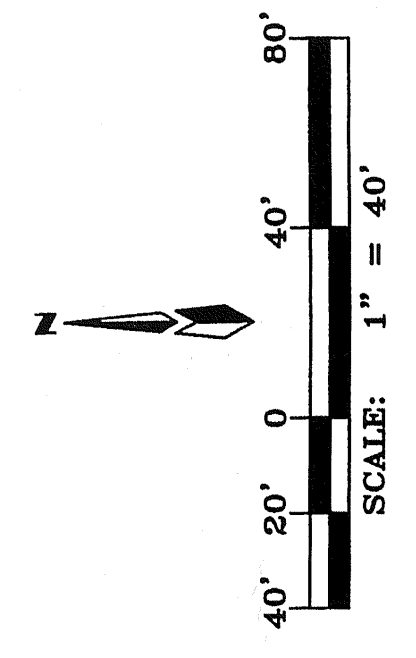
DETAIL SECTION B-B N.T.S.

DETAIL SECTION E-E N.T.S.



L. E. G. E. N. D.

- | | | |
|---------------------------------|----------------------------|---------------------|
| EXISTING CONCRETE CURB | NEW LOT LINES | NEW SAS MANHOLE |
| EXISTING FENCE | NEW SIDEWALK | NEW SAS SERVICE |
| EXISTING WALL OF HEAD WALL | NEW STANDARD CURB & GUTTER | NEW WATERLINE |
| EXISTING DROP INLET | NEW MEDIAN CURB & GUTTER | NEW FIRE HYDRANT |
| EXISTING FIRE HYDRANT | NEW RETAINING WALL | NEW BEND |
| EXISTING SANITARY SEWER MANHOLE | NEW GARDEN WALL | NEW GATE VALVE |
| EXISTING STORM DRAIN MANHOLE | NEW STORMDRAIN | NEW DEL WATER METER |
| EXISTING WATER VALVE | NEW STORMDRAIN MANHOLE | |
| | NEW SAS | |

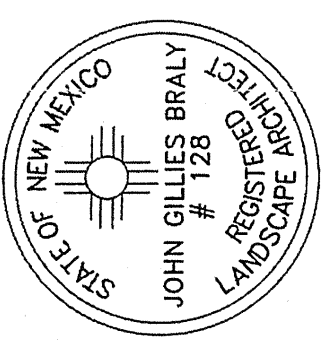


THE ESTATES AT GLENDALE
CONCEPTUAL MASTER
UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
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Designed: CJK Drawn: ACH Checked: DMG
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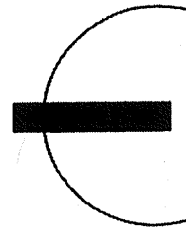
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Date: 3/9/11
Revisions:
3/21/11
4/8/11
11/09/11
3/16/12
4/23/12
5/4/12
Drawn by: JC
Reviewed by: GM

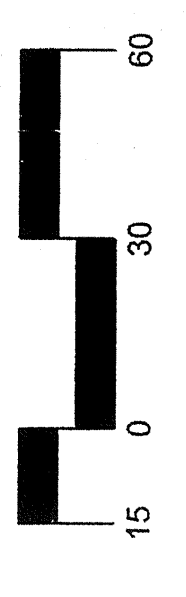
The Estates at Glendale

Albuquerque, New Mexico



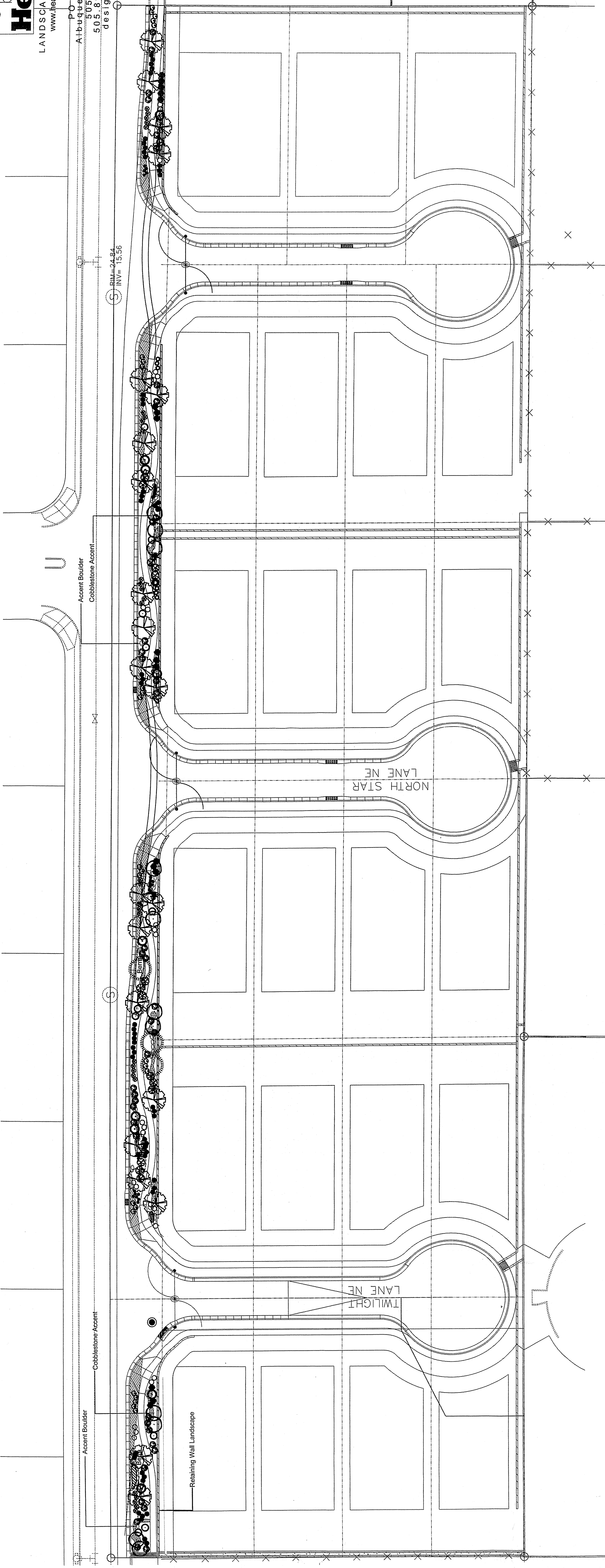
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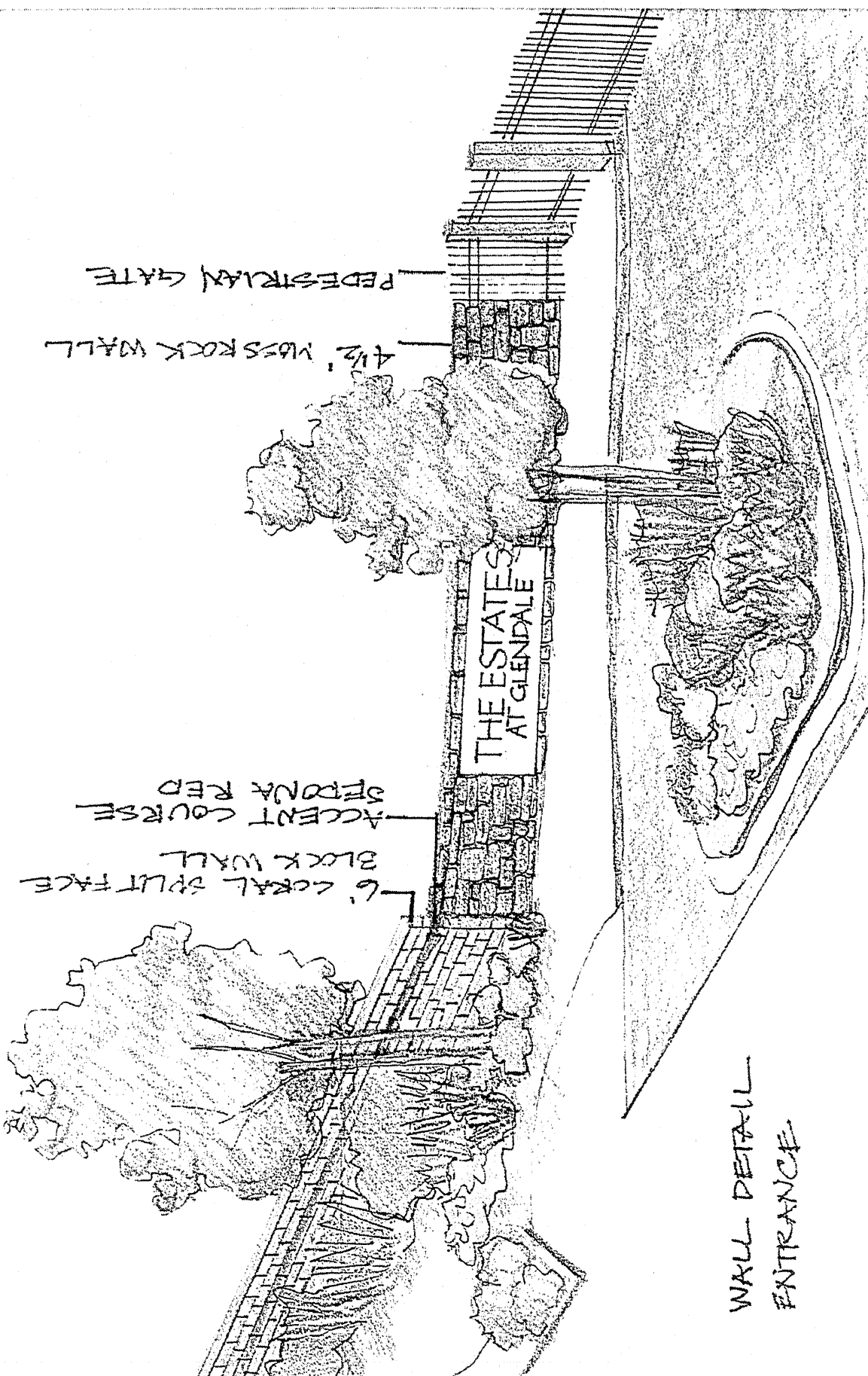
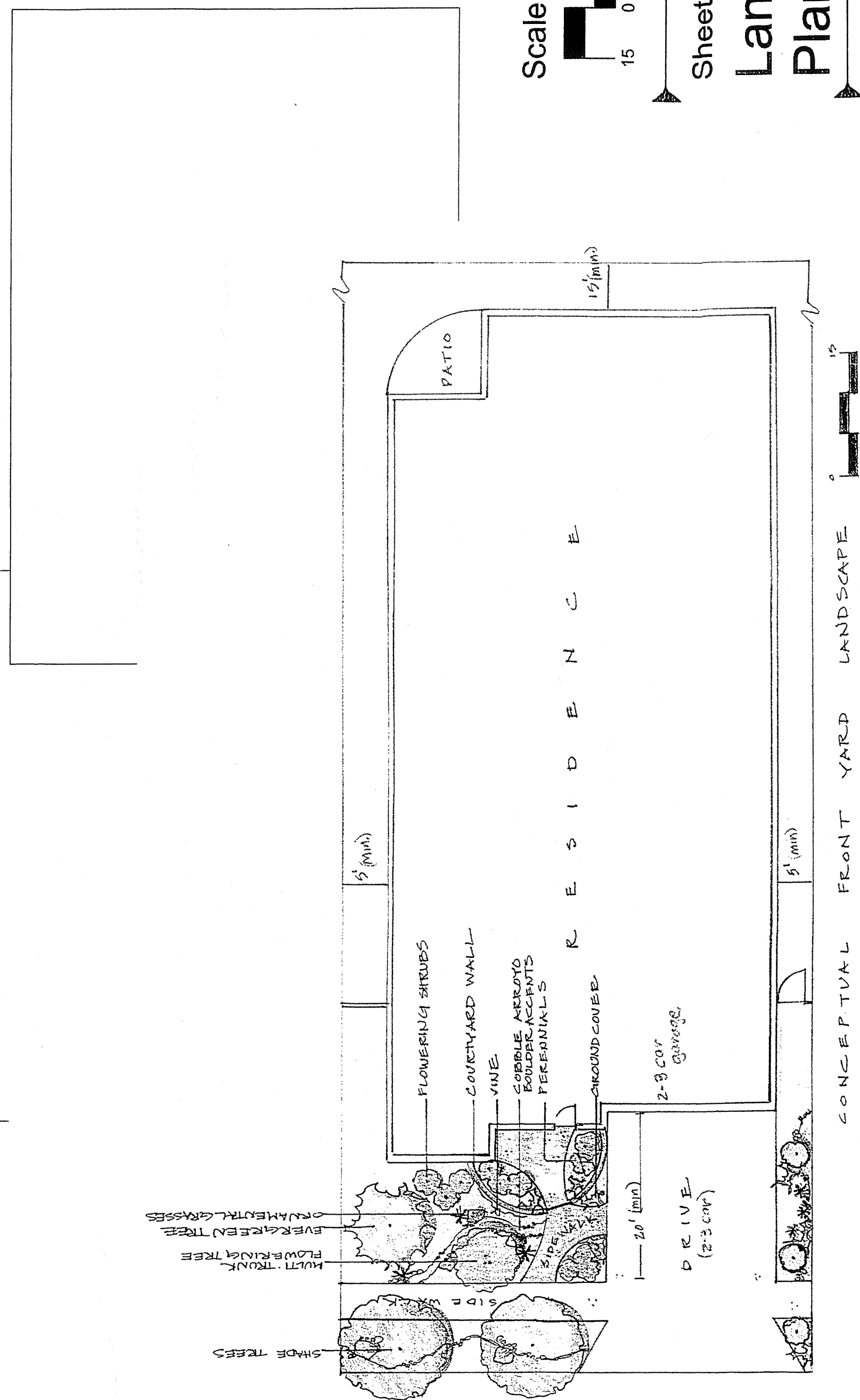
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**Landscape
Plan**

Sheet Number:
LS-01



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Shrub/Grasscovers
22		Betula Birch	2" B&B	Medium	Achillea filipendula Moonshine Yarrow Centranthus Jupiter's Beard
11		Populus Aspen/Multi Trunk	2" B&B	Medium	Eriogonum fasciculatum 'Aguirre' Turpentine Bush
9		Pinus Picea Bosnian Pine, Dwarf Spruce	5'-6"	Medium	Nepeta mussini Giant Catmint
3		Pinus Cedrus, Picea Ponderosa Pine, Blue Atlas Cedar, Blue Spruce	5'-6"	Medium	Perovskia atriplicifolia Russian Sage
		Pinus mugo Mugo Pine	5-Gal	Medium	
39		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+	
3		Rosmarinus Rosemary	5-Gal	Low+	
24		Lavandula Lavender	5-Gal	Low+	
Ornamental Grasses					
17		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium	
19		Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium	
19		Lilippe Mondo Grass	1-Gal	Low+	
1		Miscanthus Maiden Grass	5-Gal	Low+	
Perennials					
TBD		California Poppy/ Columbine			Flats/Seed* pots



WALL DETAIL
ENTRANCE