



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1008656

TO: Application No. 17drb70355

x ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

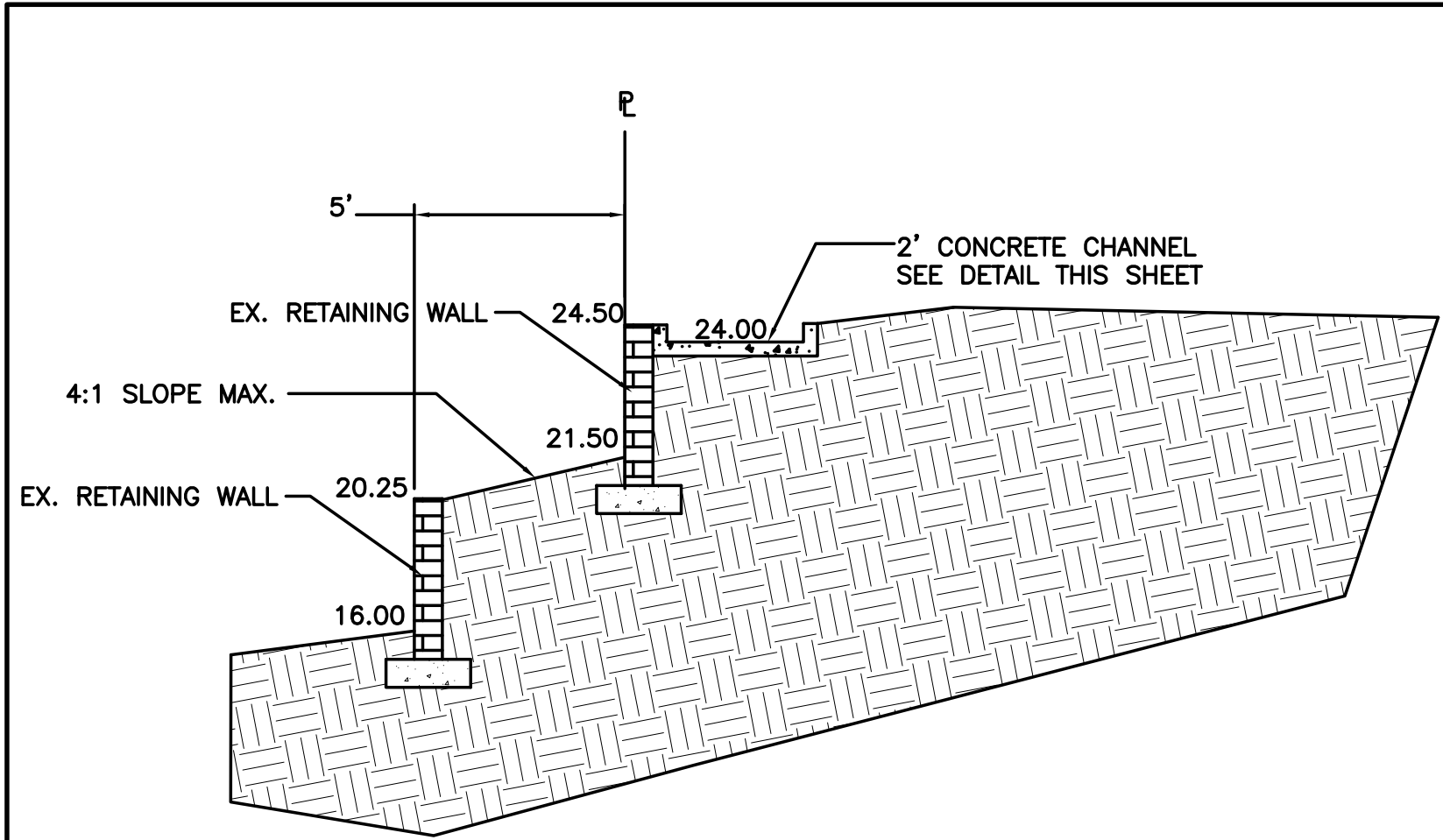
NEXT HEARING DATE: 2/7/18

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

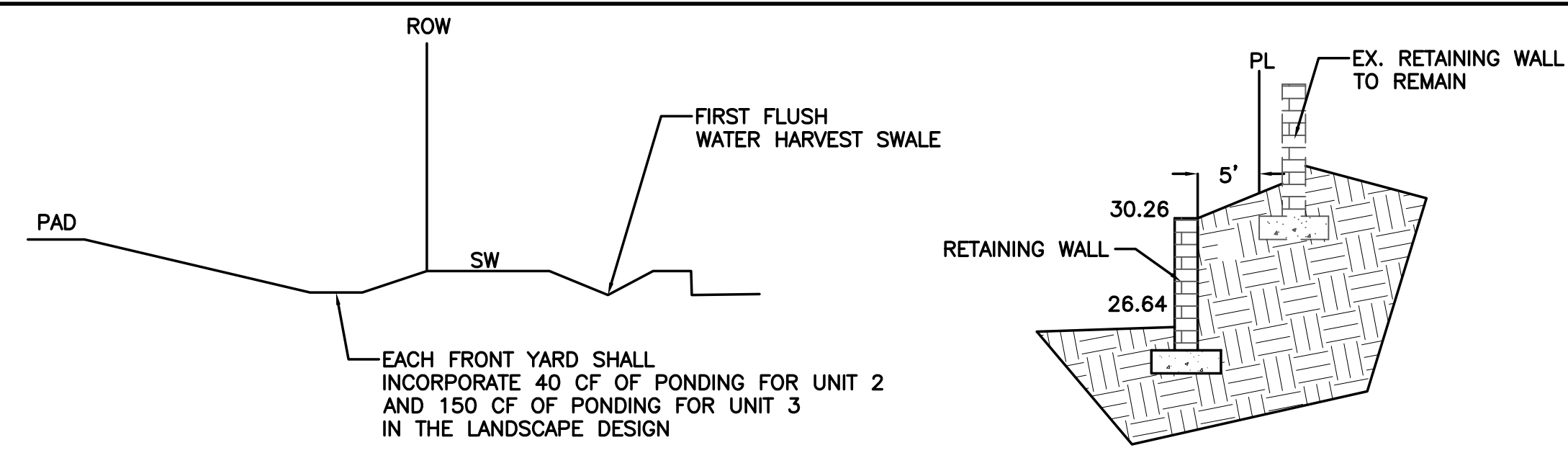
SUBMITTAL DESCRIPTION: updated prelim plat, proof of availability request
updated grading plan, openspace calculations, sidewalk
defferal exhibit, cross section of proposed roadways
updated infrastructure list.

CONTACT NAME:

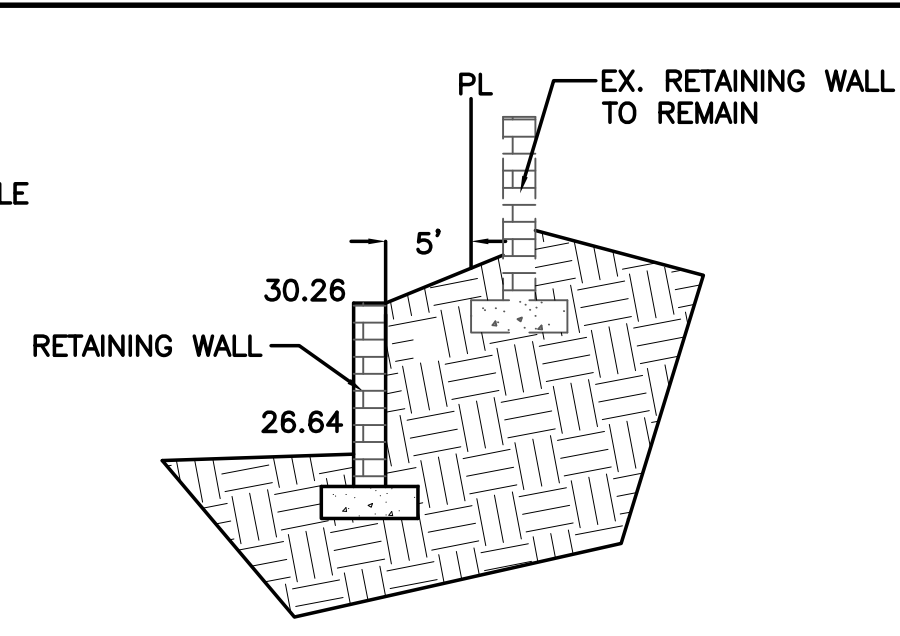
TELEPHONE: EMAIL:



SECTION A-A
NTS



SECTION B-B
NTS

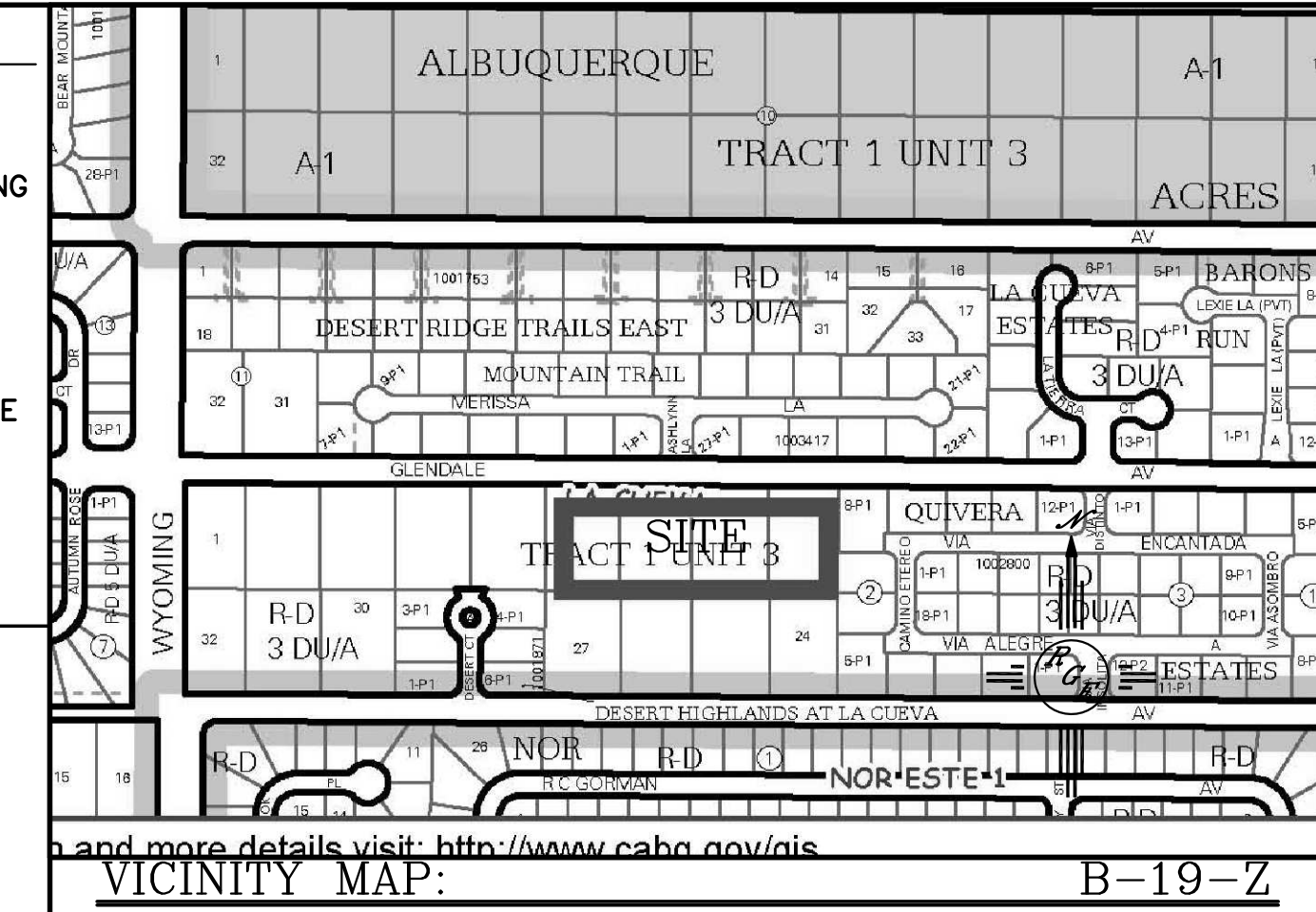


SECTION C-C
NTS

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

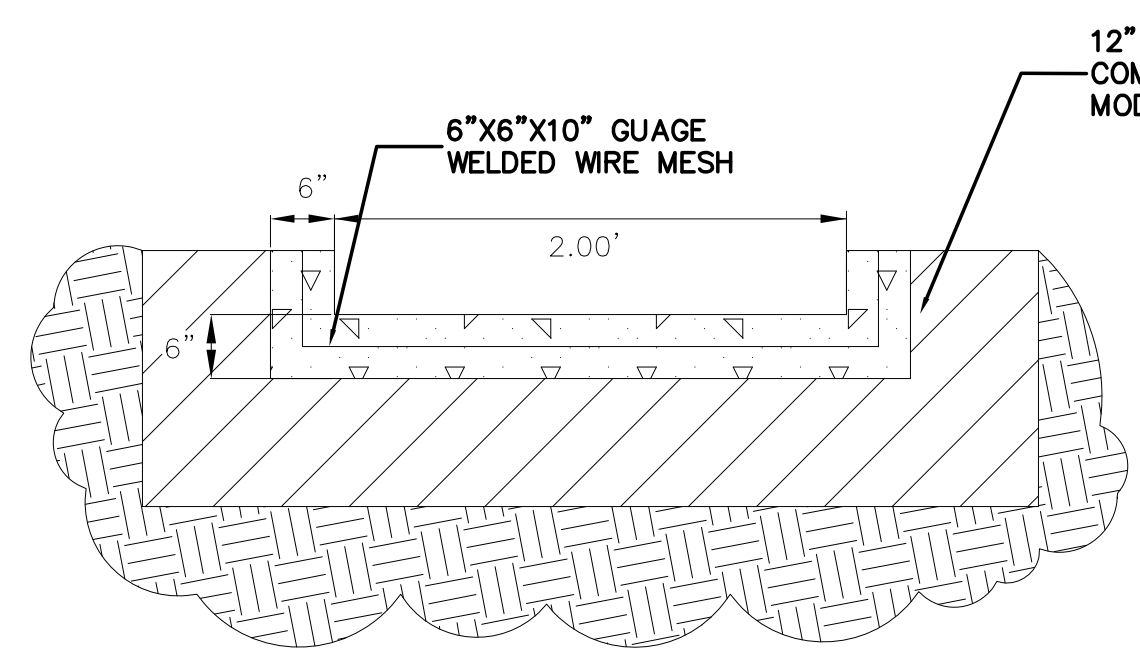
LEGAL DESCRIPTION:
TR. A AND B, THE ESTATES AT GLENDALE



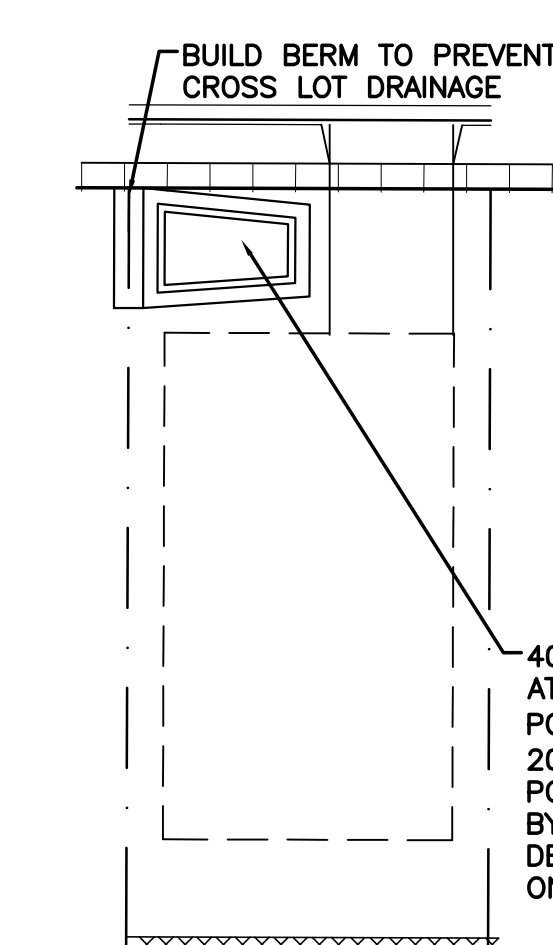
and more details visit: <http://www.cabo.gov/nis>
VICINITY MAP: B-19-Z



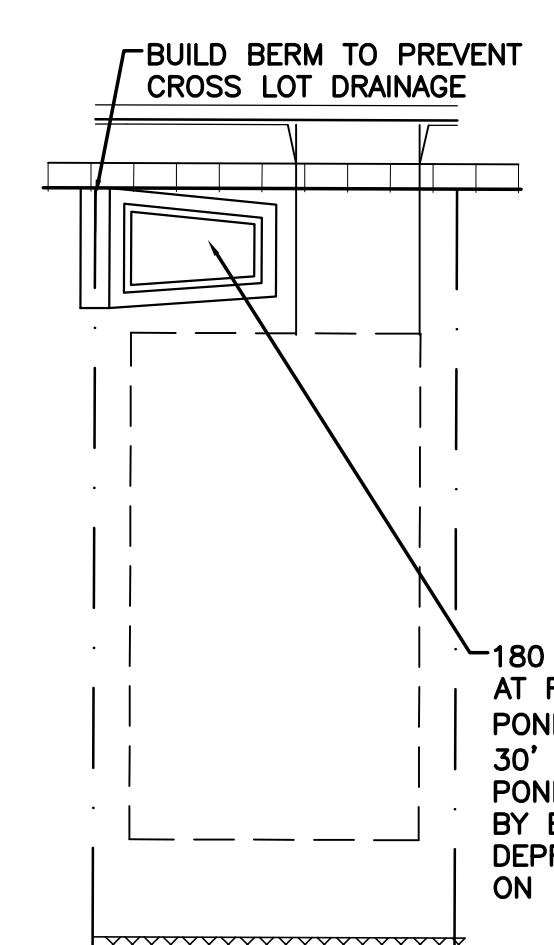
FIRM MAP: 35001C0133H (1)



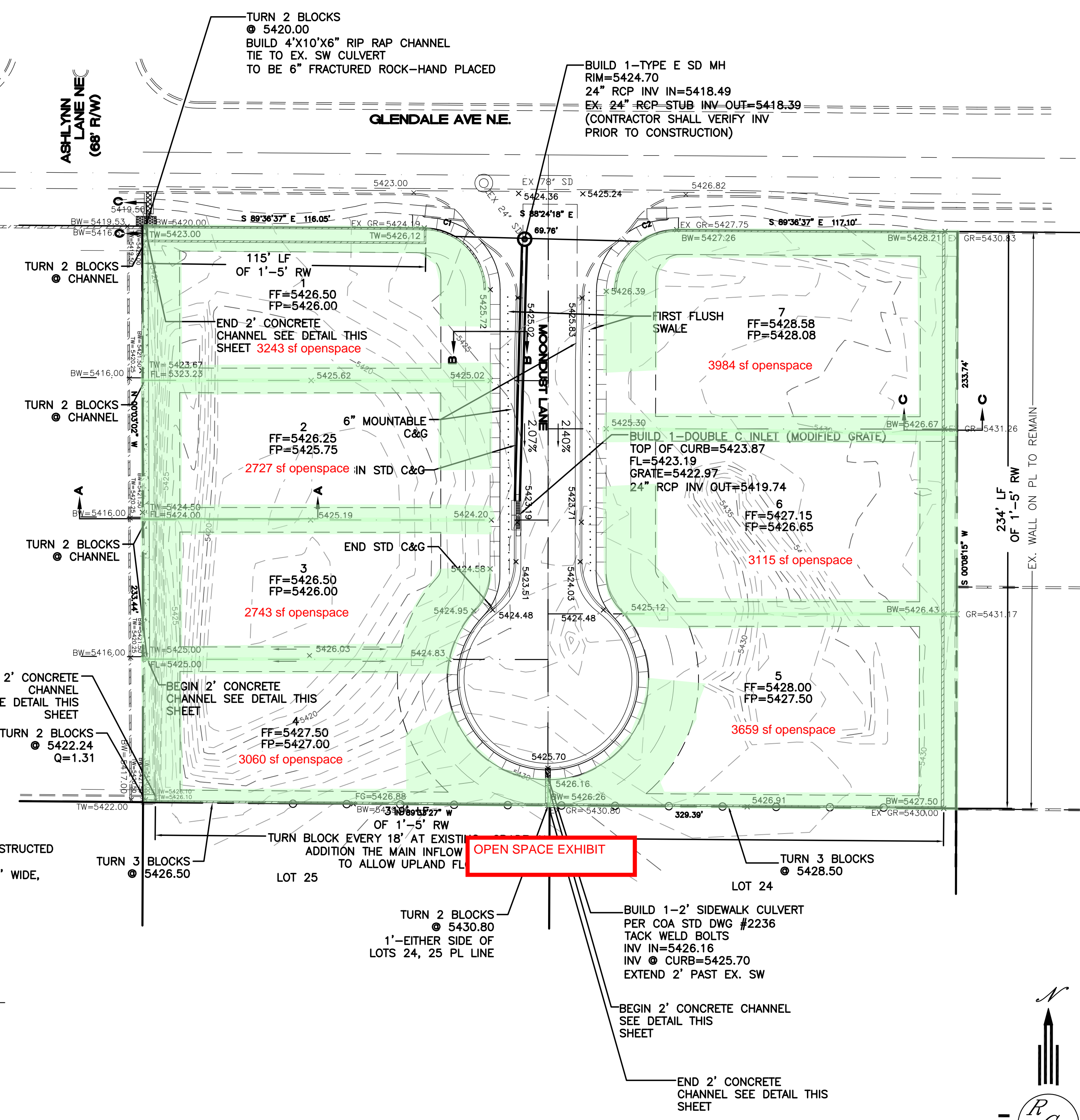
CONCRETE CHANNEL DETAIL
NTS



TYPICAL WATER HARVESTING AREAS-UNIT 2
NTS



TYPICAL WATER HARVESTING AREAS-UNIT 3
NTS



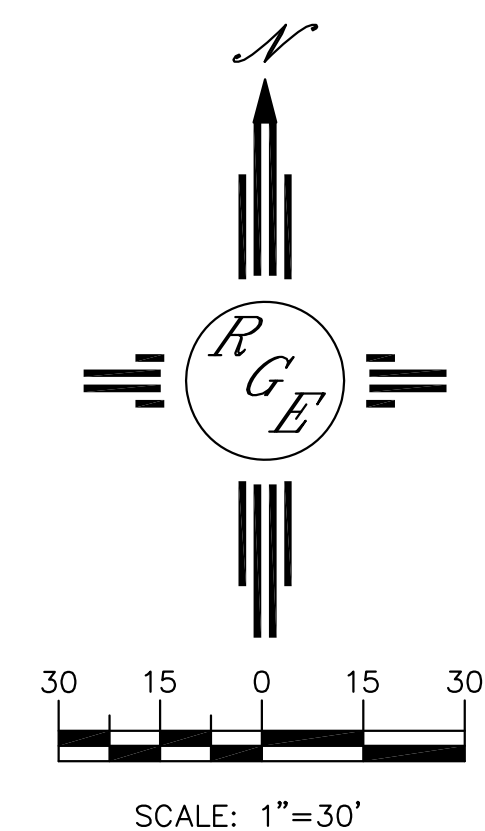
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
3. ALL CURB AND GUTTER SHALL BE 4" MOUNTABLE UNLESS OTHERWISE NOTED.

LEGEND

- - - - - 5414 - - - - - EXISTING CONTOUR
- - - - - 5415 - - - - - EXISTING INDEX CONTOUR
- - - - - 5414 - - - - - PROPOSED CONTOUR
- - - - - 5415 - - - - - PROPOSED INDEX CONTOUR
- - - - - SLOPE TIE
- ⊗ 4048.25 - - - - - EXISTING SPOT ELEVATION
- ⊗ 4048.25 - - - - - PROPOSED SPOT ELEVATION
- - - - - BOUNDARY
- - - - - CENTERLINE
- - - - - RIGHT-OF-WAY
- - - - - PROPOSED DRAINAGE EASEMENT
- ===== PROPOSED STANDARD CURB AND GUTTER
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED SCREEN WALL (18" MAX RETAINAGE)
- ===== PROPOSED RETAINING WALL (HEIGHT VARIES-DESIGN BY OTHERS)
- ===== EXISTING SCREEN WALL

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



	ESTATES AT GLENDALE UNIT 3	DRAWN BY WCVJ
	GRADING AND DRAINAGE PLAN	DATE 1-18-17
1/29/18		21425-LAYOUT-1-25-18
DAVID SOULE P.E. #14522		SHEET # 4
	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0999	JOB # 21425

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

GLENDALE ESTATES- PHASE-3

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LotB ESTATES AT GLENDALE PHASE 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PHASE 1									
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>	26' F-F	Residential Road with Curb and Gutter including 4' wide Sidewalk (bothsides)	Moondust lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sewerline	Moondust lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	6"	waterline with one hydrant	Moondust lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	TBD	Storm drain with inlets and appurtances with rundowns	Moondust lane	existing 24" rcp	low point	/	/	/
<input type="text"/>	<input type="text"/>	1-2'	sidewalk culvert/CHANNEL	Moondust lane	SWALES ON LOTS 4,5	roadway	/	/	/
<input type="text"/>	<input type="text"/>	2-2'	sidewalk culvert	GLENDALE ADJACENT TO LOT 1	PROPERTY LINE	CURB FLOW LINE	/	/	/
<input type="text"/>	<input type="text"/>	2'	channel	LOTS1-3	south property line	north property line	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- 1 Engineers Certification of Grading required prior to release of SIA and Financial Guarantee

- 2 Internal sidewalks to be temporarily deferred per approved exhibit

- 3 drainage covenant required for private storm drain

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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NAME (print)	DRB CHAIR - date	PARKS & RECREATION DEPARTMENT - date
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	_____ - date
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE 9.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
11. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
12. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
13. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
14. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TONM EXCAVATION LAW, CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.-INCLUDING 2001 AMENDMENT
15. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #9.
16. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/water_shut_off_and_turn_on_procedures
17. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
18. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
19. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
20. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2368, 2366.
21. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET, X, Y, AND Z.
22. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.
23. ALL NEW WATERLINES SHALL HAVE TRACER WIRE INSTALLED PER SUPPLEMENTAL SECTION 33 05 26.23

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM
 SAFETY FACTOR: 1.5 TO 1
 PIPE MATERIAL: PVC
 SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO 1/8 PIPE DIAMETER, 4" MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR TEES*					
SIZE	LENGTH ALONG RUN**				
	5'	4'	3'	2'	1'
12x12x12	75	80	86	91	102
12x12x10	54	61	67	74	87
12x12x8	32	40	48	56	72
12x12x6	2	12	23	34	45
12x12x4	1	1	1	8	24
10x10x10	60	65	74	76	81
10x10x8	39	45	52	59	66
10x10x6	11	20	29	38	46
10x10x4	1	1	1	14	26
8x8x8	46	51	57	62	72
8x8x6	21	28	34	41	48
8x8x4	1	1	9	19	29
6x6x6	29	34	40	45	55
6x6x4	1	9	16	24	32

*RESTRAINTS ONLY PLACED ON THE BRANCH
 **LENGTH ALONG RUN REFERS TO THE LENGTH OF PIPE ON EITHER SIDE OF THE TEE BEFORE THE NEXT JOINT.

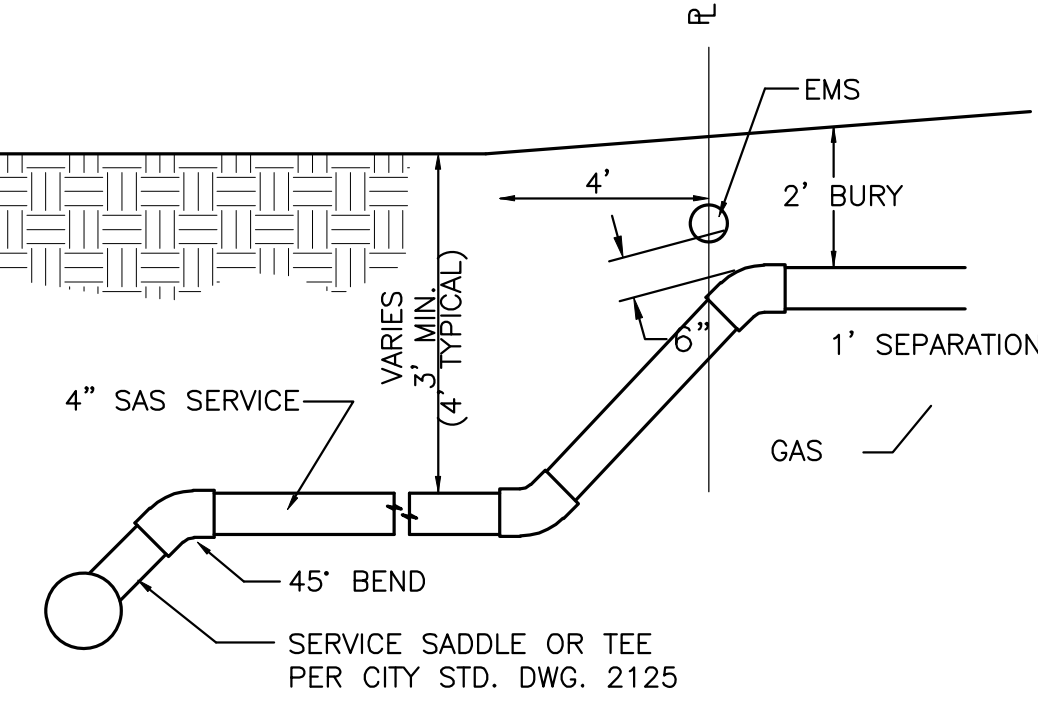
RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)					
SIZE	HORIZONTAL BENDS				VALVES DEAD END
	90°	45°	22-1/2°	11-1/4°	
12	37	15	8	4	102
10	31	13	7	4	87
8	27	11	6	3	72
6	20	9	4	2	55
4	15	6	3	2	39

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

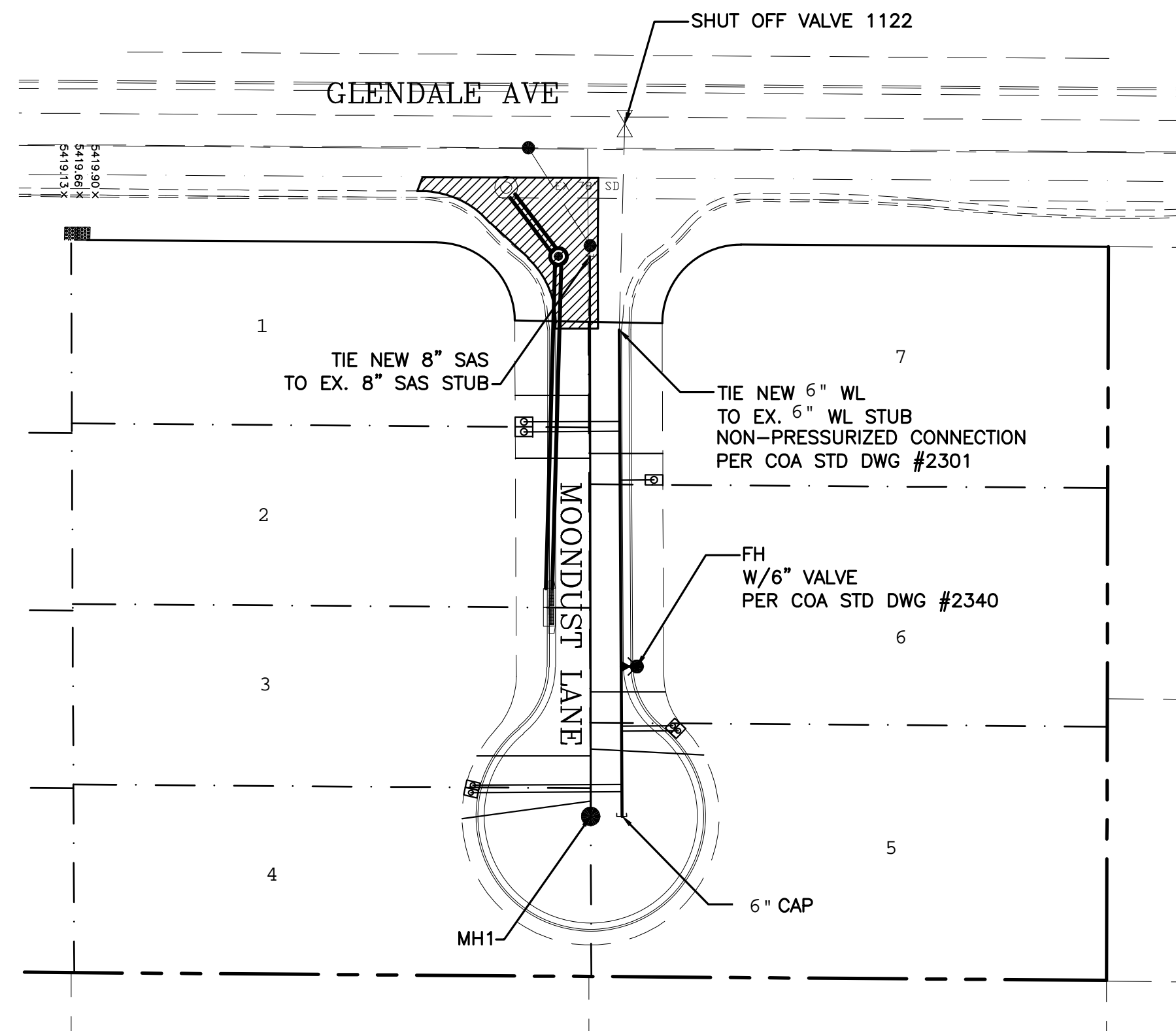
DEPTH OF BURY: 3.0' MINIMUM
 SAFETY FACTOR: 1.5 TO 1
 PIPE MATERIAL: PVC
 SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
 TEST PRESSURE: 150 PSI
 TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL OR CRUSHED STONE TO 1/8 PIPE DIAMETER, 4" MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR VERTICAL OFFSETS/BENDS (EACH SIDE)					
SIZE	HORIZONTAL BENDS				
	90°	45°	22-1/2°	11-1/4°	
12 UPPER	DON'T USE	42	21	11	
12 LOWER		10	5	3	
10 UPPER	DON'T USE	36	14	9	
10 LOWER		9	8	2	
8 UPPER	DON'T USE	30	15	8	
8 LOWER		7	4	2	
6 UPPER	DON'T USE	23	11	6	
6 LOWER		6	3	2	
4 UPPER	DON'T USE	17	8	4	
4 LOWER		4	2	1	



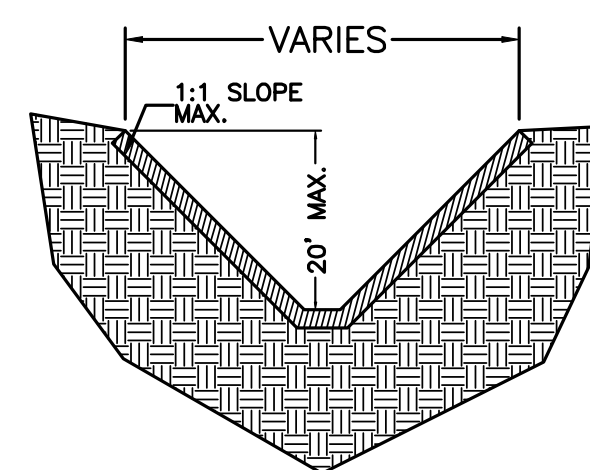
TYP. SANITARY SYSTEM SERVICE CONNECTION
 NTS



LEGEND

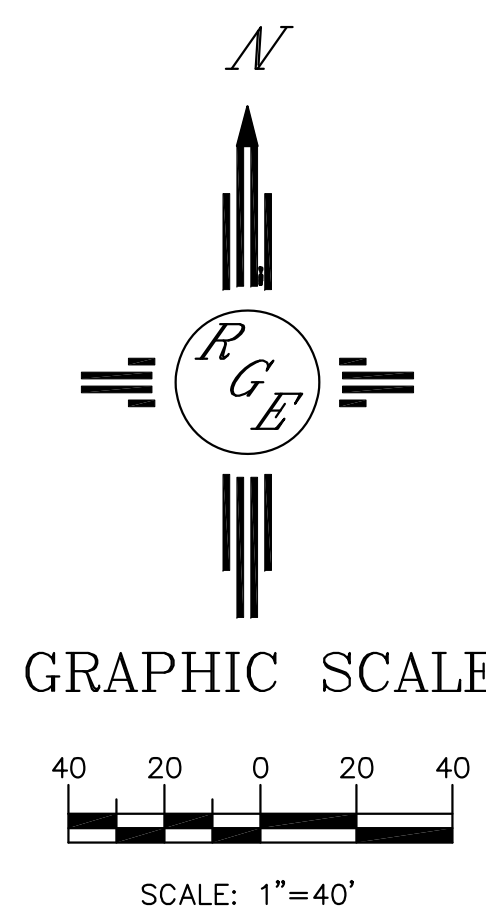
- - - EX. 12" SD - - - EXISTING STORM SEWER LINE
- EXISTING SAS MANHOLE
- - - EX. 8" SAS - - - EXISTING SAS
- ⊗ EXISTING VALVE W/BOX
- - - EX. 6" WL - - - EXISTING WATER LINE
- ▭ PROPOSED SD
- ⊙ PROPOSED METER
- ⊙ PROPOSED FIRE HYDRANT
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- EASEMENT
- ⊙ STREET LIGHTS

CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR). CONTRACTOR SHALL REMOVE AND REPLACE STD C&G PER COA STD DWG 2415A. CONTRACTOR SHALL REMOVE AND REPLACE SW PER COA STD DWG 2430.-REMOVE TO NEAREST JOINT, MATCH FL ELEVATIONS



SUPPLEMENTAL TRENCH DETAIL

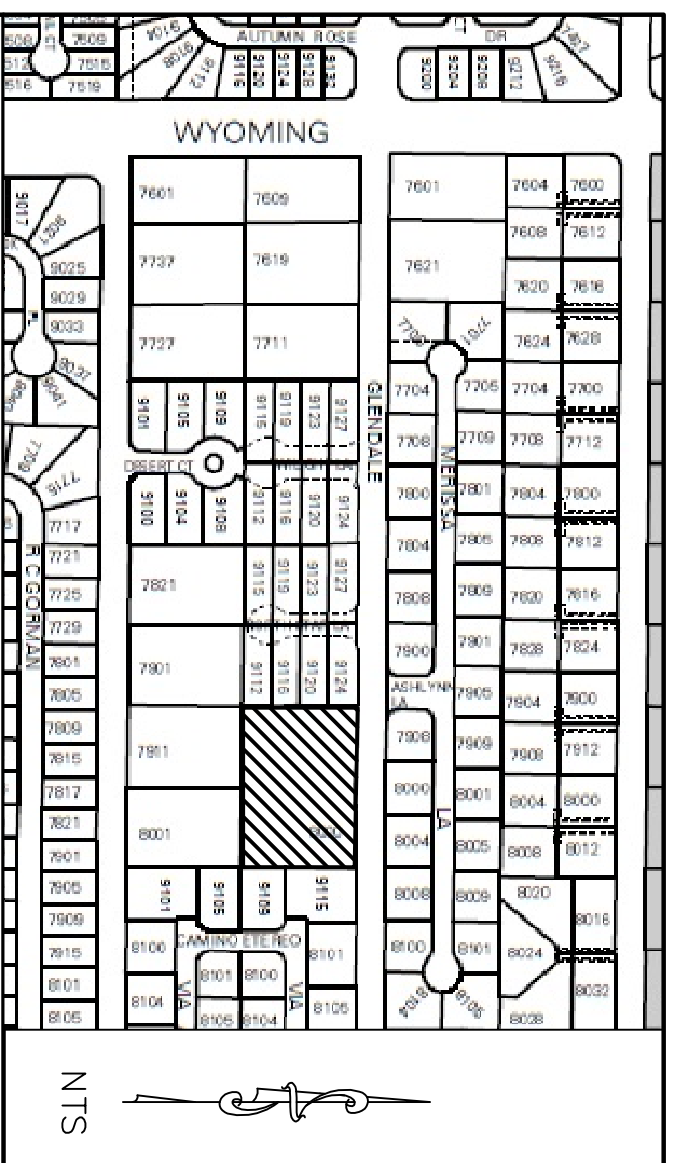
NTS-PER FIGURE V-2-13 OSHA STANDARD SPECIFICATIONS
 NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



WATER SHUTOFF NOTES—SHUT OFF VALVE 1122

The contractor shall coordinate with the Water Authority seven (7) days in advance of performing work that will affect the public water or sanitary sewer infrastructure. Work requiring shutoff of facilities designated as Master Plan facilities must be coordinated with the Water Authority 14 days in advance of performing such work. Only Water Authority crews are authorized to operate public valves. Shutoff requests must be made online at <http://abcwua.org/content/view/full/463/729/>

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
DATE		NO.	BY	NO.	BY	NO.	BY
		1	BCW				
		2	WCU				
		3	WCU				
		4	WCU				
		5	WCU				
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		7	WCU				
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		128	W				



DESCRIPTION
 A tract of land situated within the Elena Callejos Court, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT B-2, THE ESTATES AT GLENDALE, UNIT 2, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 16, 2017, in Plat Book 2017C, Page 21, as Document No. 2017014802, and containing 1,7609 acres (76,708 SF) more or less.

SOLAR NOTE
 No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of this plat.

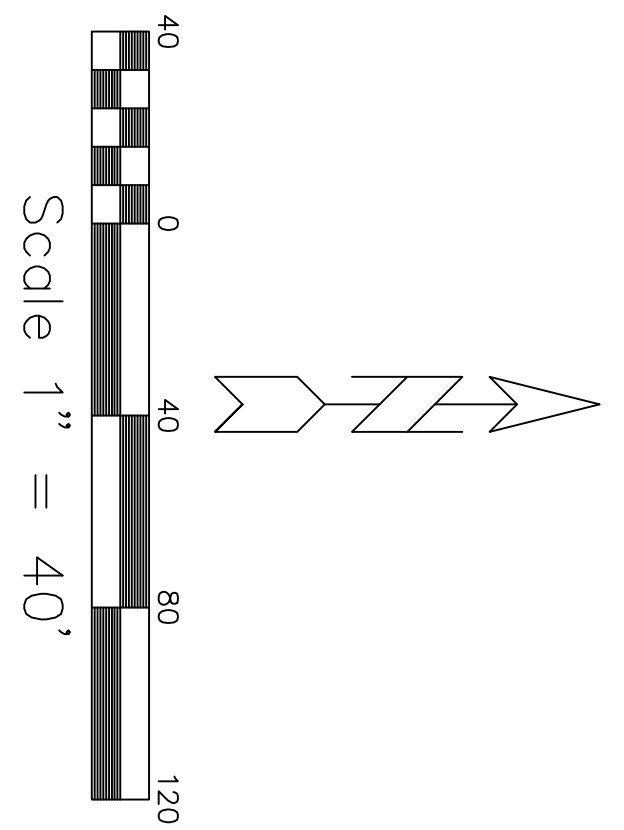
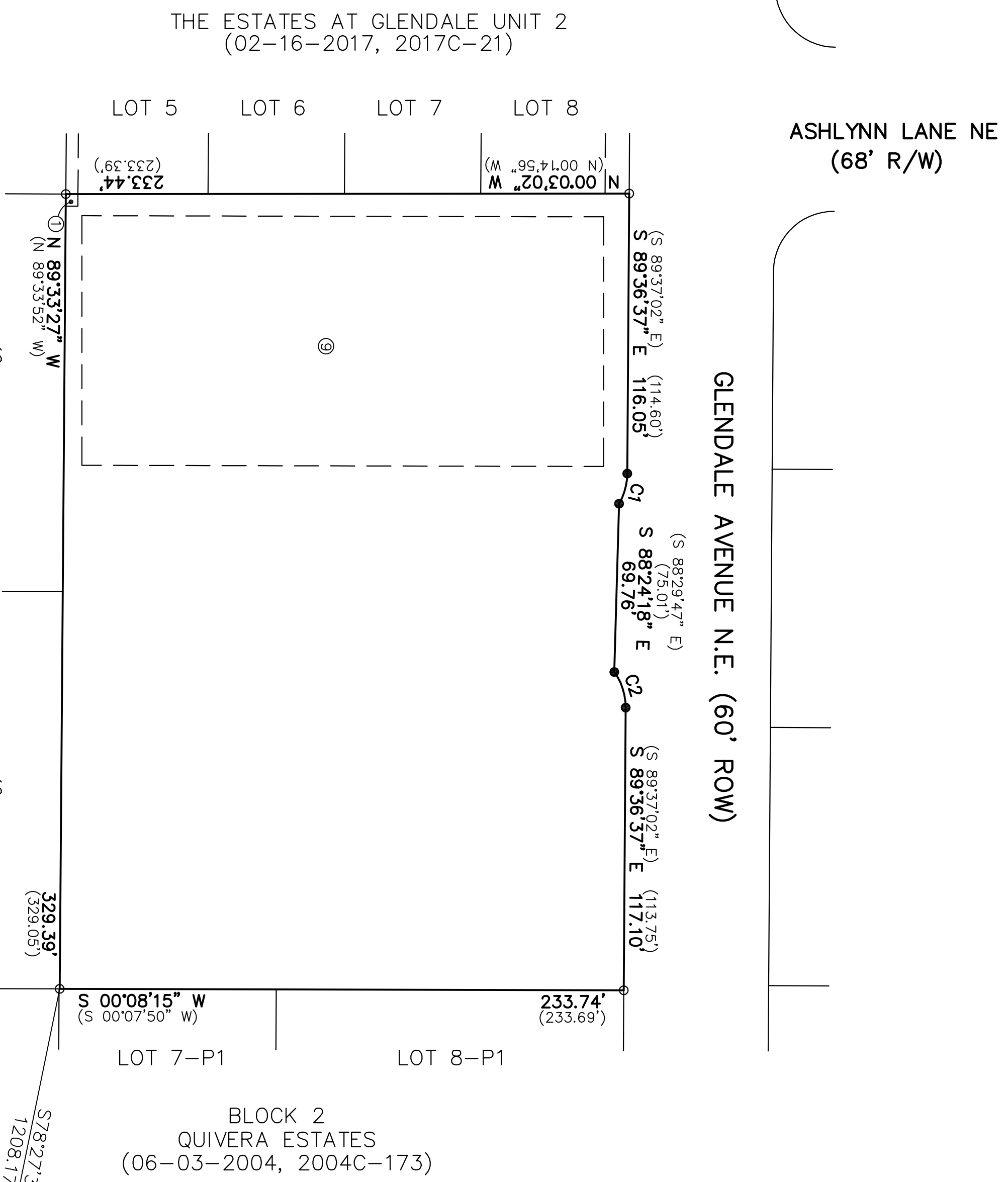
PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE
 UNIT 3
 WITHIN THE
 ELENA CALLEJOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2017

PURPOSE OF PLAT
 1. To subdivide Tract B-2 into 7 lots and 1 tract as shown hereon.
 2. To grant easements as shown hereon.

SUBDIVISION DATA
 1. Zone Atlas Index No.: B-19-Z
 2. Total Number of Lots created: 7
 3. Total Number of Tracts created: 0
 4. Total Number of existing Tracts: 1
 5. Gross Subdivision Acreage: 1.7609 Acres

NOTES
 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
 2. Distances are ground distances.
 3. Bearings and distances in parenthesis are record.
 4. Basis of boundary is from the plat of record entitled:
 "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3",
 (09-10-1931, D-121)
 "THE ESTATES AT GLENDALE, UNIT 1",
 (09-10-2012, 2012C-103)
 "THE ESTATES AT GLENDALE, UNIT 2",
 (02-16-2017, 2017C-21)
 all being records of Bernalillo County, New Mexico.

5. Field Survey: June, 2017.
 6. Title Report(s): None provided.
 7. Address of Property: Glendale Avenue NE.
 8. City of Albuquerque, New Mexico Zone: SU-1, RD-5 DU/A
 9. 100 Year Flood Zone Designation: ZONE X, Panel 133 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated August 16, 2012.
 10. Unless shown otherwise all points are set 1/2" rebar with cap or PK nail with tag LS 7719.
 11. Monholes will be offset of all points of curvature, points of tangency, street intersections and all other angle points to allow use of centerline monumentation.
 12. City of Albuquerque Standard Centerline Monuments will be installed at all points indicated thus "X", PS # 7719.



EASEMENTS
 ① 5' x 5' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT B-2 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 2 H.O.A." (02-16-2017, 2017C-21)
 ② PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT B-2 TO BE MAINTAINED BY THE OWNER OF TRACT B-2 (02-16-2017, 2017C-21) (TO BE VACATED BY THIS PLAT)
 ③ PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT B-2 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 2 H.O.A." (02-16-2017, 2017C-21)

ACS MONUMENT
 "1-B20"
 N=1524154.945
 E=1550483.349
 G-G=0.99651137
 Δα=-00°10'24.45"
 ELEVATION=5477.179
 CENTRAL ZONE
 (NAD83/NAVD88)
 (US SURVEY FOOT)

APPROVED

Owner: Ashton Homes, LLC, a New Mexico limited liability company

Randall Schmilke, Managing Member

City Surveyor, City of Albuquerque, NM

Date

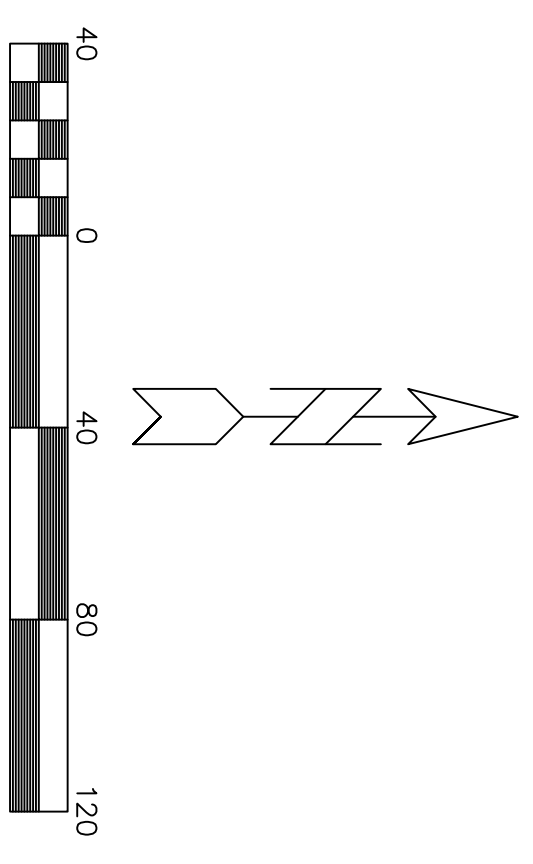
Date

Drawn By:	TA	Date:	11-22-17
Checked By:	TA	Drawing Name:	11006PRELDWG
Job No.:	11-006	Sheet:	1 of 2

01-29-18 REV

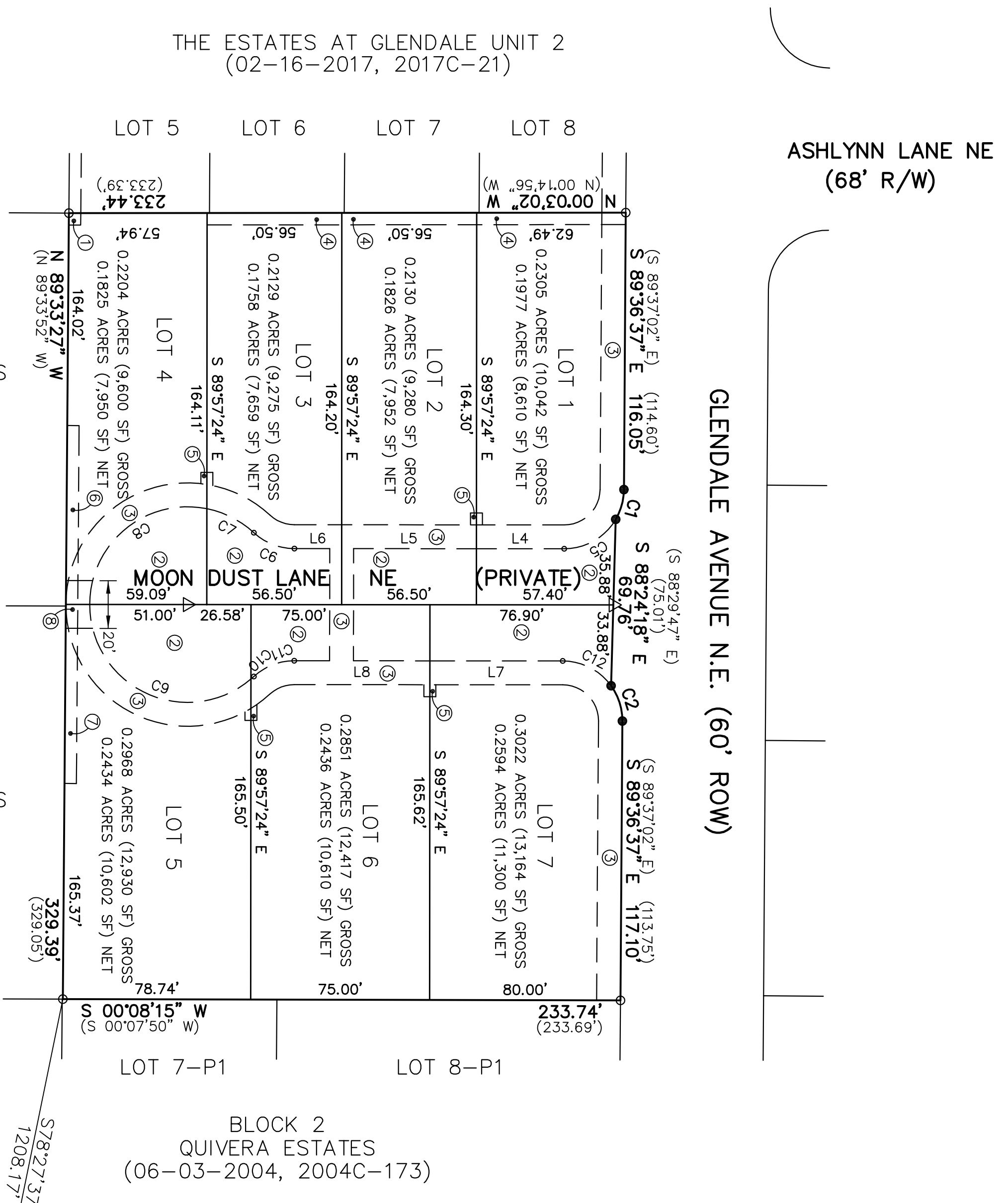
ALDRICH LAND SURVEYING
 N 88°26'06" W
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-9999

PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE
 WITHIN THE
UNIT 3
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2017



DRAINAGE NOTE
 EACH LOT OWNER SHALL CONSTRUCT AND MAINTAIN
 A PRIVATE STORM WATER QUALITY POND PER
 THE APPROVED GRADING PLAN (B190027)

BOUNDARY					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	13.09'	25.00'	30°00'00"	S 74°36'37" E (S 74°37'01" E)	12.94'
C2	15.78'	25.00'	36°09'54"	N 72°18'26" E (N 72°18'01" E)	15.52'



CS	26.03'	25.00'	59°39'13"	S 29°47'01" E	24.87'
C6	18.63'	25.00'	42°42'20"	S 21°23'46" W	18.21'
C7	22.42'	41.00'	31°19'52"	N 27°05'00" E	22.14'
C8	62.44'	41.00'	87°15'27"	N 32°12'40" W	56.58'
C9	83.23'	41.00'	116°16'13"	S 17°46'28" W	69.65'
C10	1.64'	41.00'	02°17'06"	S 41°31'11" E	1.63'
C11	18.63'	25.00'	42°42'20"	N 21°18'54" W	18.21'
C12	23.64'	25.00'	54°10'53"	N 27°08'02" E	22.77'

EASEMENT		
L4	S 00°02'36" W	36.79'
L5	S 00°02'36" W	56.50'
L6	S 00°02'36" W	19.82'
L7	S 00°02'36" W	55.71'
L8	S 00°02'36" W	56.82'

- EASEMENTS**
- 5' X 5' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF TRACT B-2 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 2 H.O.A." (02-16-2017, 2017C-21)
 - 47' PRIVATE ACCESS, PRIVATE DRAINAGE AND PUBLIC WATER AND SANITARY SEWER EASEMENT FOR THE BENEFIT OF LOTS 1 THRU 7 AND TRACT 1 AND TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)
 - 10' PUE (GRANTED BY THIS PLAT)
 - 5' PRIVATE DRAINAGE EASEMENT FOR THE MUTUAL BENEFIT OF LOTS 1-4 TO BE MAINTAINED (GRANTED BY THIS PLAT)
 - 5' X 5' PUE (GRANTED BY THIS PLAT)
 - 5' X 75' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 25, BLOCK 12, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)
 - 5' X 75' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOT 24, BLOCK 12, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)
 - 10' X 20' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 24 & 25, BLOCK 12, NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3 TO BE MAINTAINED BY "THE ESTATES AT GLENDALE UNIT 3 H.O.A." (GRANTED BY THIS PLAT)

LOT 25
 BLOCK 12
 NORTH ALBUQUERQUE ACRES
 TRACT 1, UNIT 3
 (09-10-1931, D-121)

LOT 24
 BLOCK 12
 NORTH ALBUQUERQUE ACRES
 TRACT 1, UNIT 3
 (09-10-1931, D-121)

BLOCK 2
 QUIVERA ESTATES
 (06-03-2004, 2004C-173)

ACS MONUMENT
 "1-B20"
 N=1524154.945
 E=1550483.349
 G-C=0.999651137
 Δ= -00°10'24.45"
 ELEVATION=5477.179
 CENTRAL ZONE
 (NAD83/NAVD88)
 (US SURVEY FOOT)

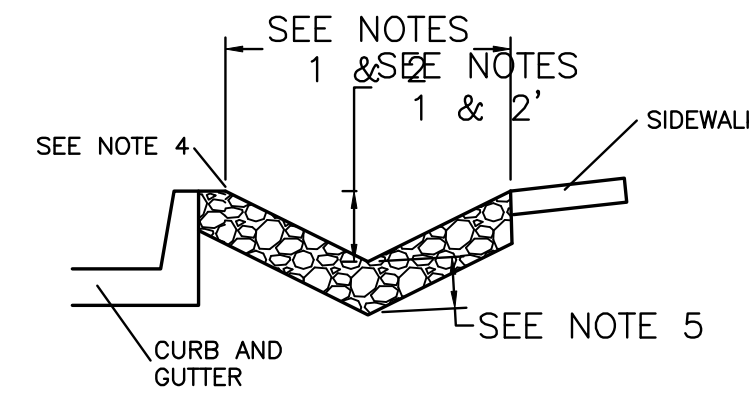
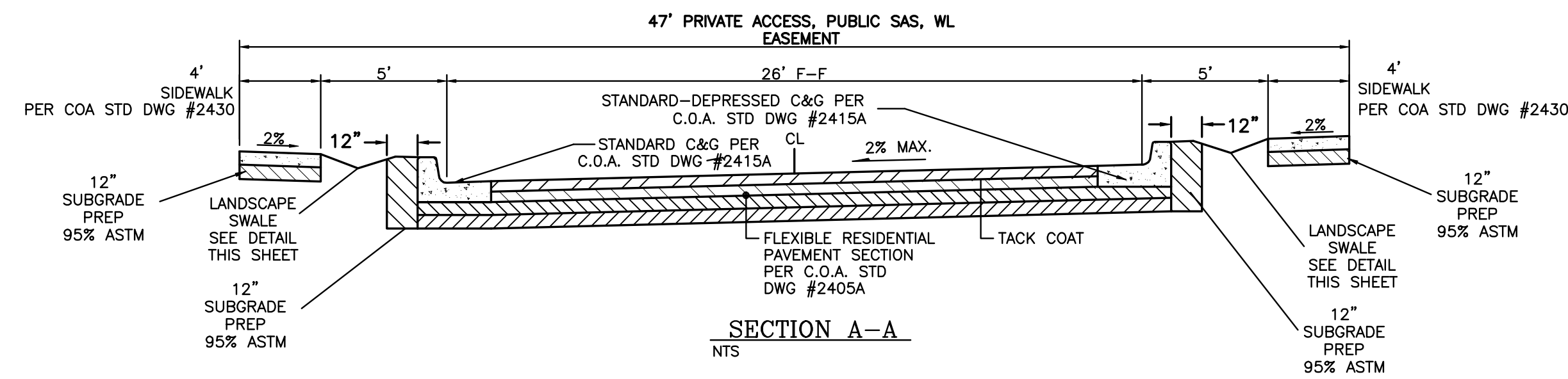
PROPERTY CORNERS

- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TYP)
- FOUND 5/8" REBAR WITH CAP "LS 21082" (TYPICAL)
- △ SET COA. CENTERLINE MONUMENT "LS 7719" (TYPICAL)

Drawn By:	TA	Date:	11-22-17
Checked By:	TA	Drawing Name:	11006PRFLDWG
Job No.:	11-006	Sheet:	2 of 2

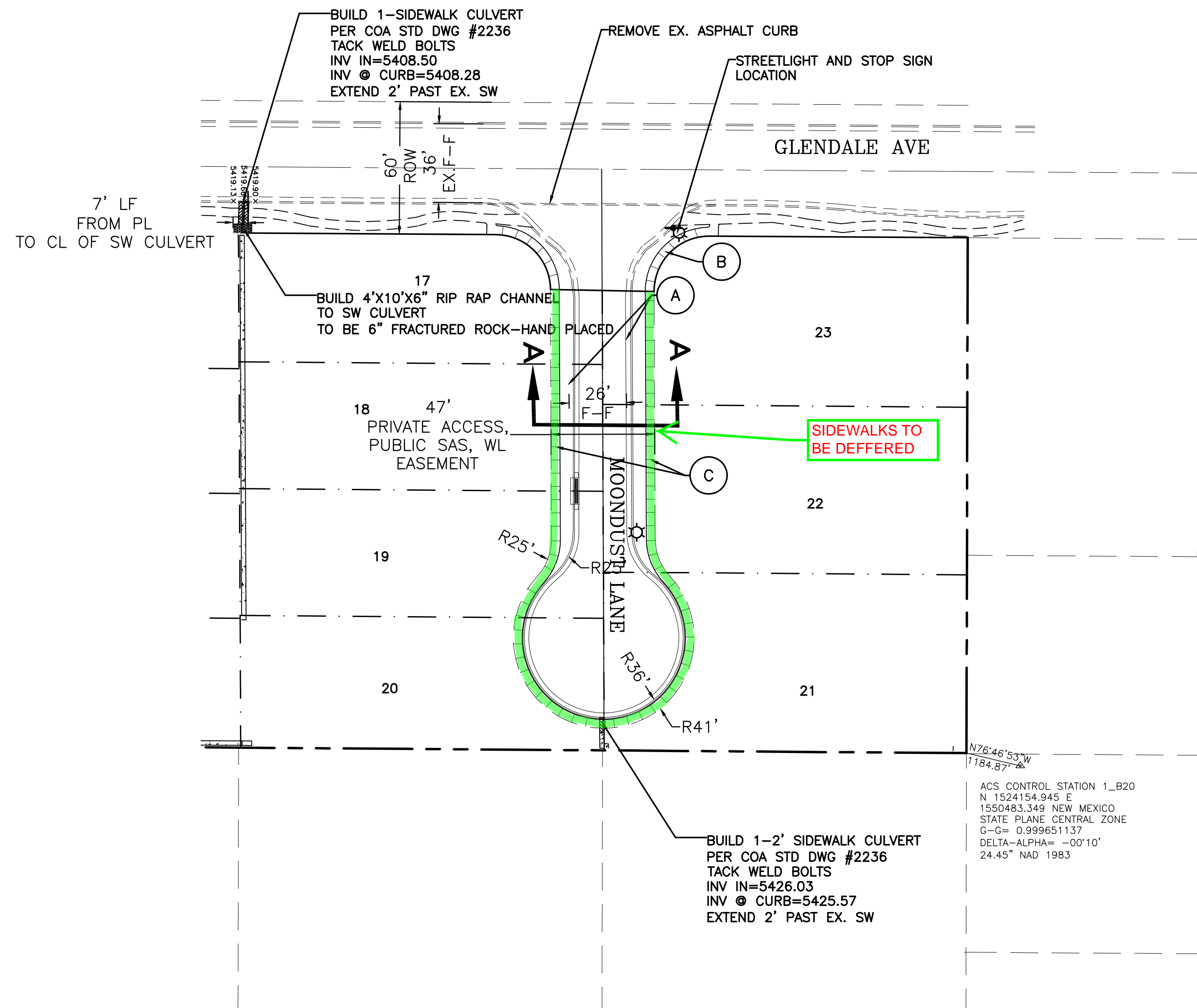
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 P.O. BOX 30701, ALBU, N.M. 87190
 505-884-1999



LANDSCAPE BUFFER SWALE DETAIL
NTS

- SWALE TO BE 6" DEEP WHEN THE DISTANCE BETWEEN BACK OF CURB AND THE SIDEWALK IS 5 FEET.
- SWALE TO BE 1" DEEPER THAN THE DISTANCE IN FEET BETWEEN THE BACK OF CURB AND THE SIDEWALK FOR LANDSCAPE BUFFERS DIFFERENT THAN 5 FEET WIDE.
- FOR WIDE LANDSCAPE BUFFERS, GREATER THAN 10 FEET, THE MAXIMUM DEPTH IS 10 INCHES.
- FINAL GRADE OF DIRT TO BE 1 TO 2 INCHES BELOW TOP OF CURB AND TOP OF SIDEWALK GRADE.
- SURFACE BETWEEN BACK OF CURB AND SIDEWALK TO BE COVERED WITH GRAVEL MULCH (MINIMUM ¾"), COBBLES OR RIP-RAP. DO NOT FILL ENTIRE SWALE.
- A CHECK DAM WILL BE REQUIRED FOR SWALES ON STEEPER LONGITUDINAL SLOPES AND LONGER SECTIONS. THE ENGINEER WILL DETERMINE THE LOCATION.
- LANDSCAPE FABRIC IS RECOMMENDED, BUT NOT REQUIRED, BETWEEN THE DIRT AND THE STONE. IF LANDSCAPE FABRIC IS TO BE USED IT IS TO BE PERMEABLE.
- DETAIL IS TO BE BUILT FOR ALL NEW CONSTRUCTION. IN THE CASE WHERE THE SIDEWALK IS EXISTING AND THE LANDSCAPE BUFFER IS IMPROVED WITH LANDSCAPING AND/OR SOME FORM OF EROSION PROTECTION, THIS REQUIREMENT DOES NOT APPLY.



LEGEND

- PROPOSED DBL. "C" INLET
- EXISTING CURB & GUTTER
- PHASE I PROPOSED CURB & GUTTER
- PHASE II PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED 4' SIDEWALK TO BE BUILT W/THIS PROJECT
- EXISTING 4' SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- STOP SIGN (R1-1-30) W/STREET NAME
- STREET LIGHTS

PAVING NOTE

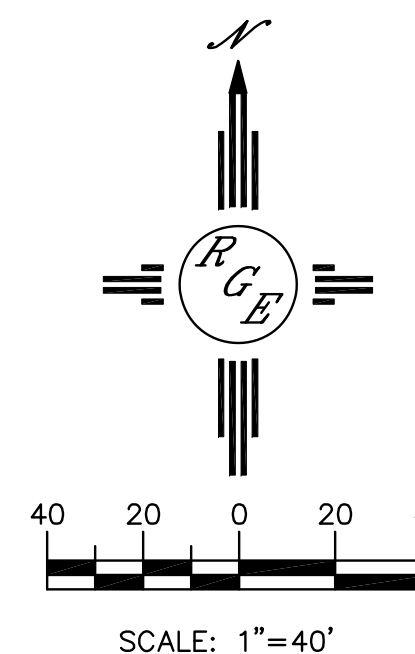
1' SUBGRADE SOIL, R-VALUE>50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557; OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

KEYED NOTE:

- (A) STANDARD C&G PER COA STD DWG #2415A
- (B) 4' SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430
- (C) 4' SIDEWALK TO BE DEFERRED PER COA STD DWG #2430

GENERAL NOTES:

- ALL WALL FOUNDATIONS/TOE MUST BE OUTSIDE COA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL ROADWAY SIGNS UNTIL FINAL ACCEPTANCE.



Rio Grande Engineering
1608 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

CITY OF ALBUQUERQUE
PUBLIC WORKS DIVISION
ENGINEERING GROUP

TITLE: **GLENDALE ESTATES PHASE III
MASTER PAVING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **702785** ZONE MAP NO. **B-19-Z** SHEET **4** OF **9**

AS BUILT INFORMATION	
DATE	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
FIELD NO.	DATE

ENGINEER'S SEAL	
NO.	DATE

REVISIONS	DATE

DESIGNED BY:	DATE:
WCUJ	8-01-16
DRAWN BY:	DATE:
WCUJ	8-01-16
DRAWN NAME:	DATE:
21425-LAYOUT-6-23-15	21425
CHECKED BY:	DATE:
DS	8-04-16