



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 4, 2015

Project# 1008656

15DRB-70005 VACATION OF PUBLIC RIGHT-OF-WAY

14DRB-70407 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

14DRB-70408 SIDEWALK VARIANCE

14DRB-70409 SIDEWALK WAIVER

14DRB-70410 AMENDED SDP FOR SUBDIVISION

RIO GRANDE ENGINEERING agents for ASHTON HOMES LLC request the referenced/ above action for a portion of GLENDALE ROAD NE adjacent to Tracts A & B, Unit 1, **ESTATES AT GLENDALE** zoned SU-1 FOR RD-5DU/AC, located on the south side of GLENDALE RD NE between WYOMING BLVD NE and BARSTOW ST NE. (B-19)

At the February 4, 2015, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance. The preliminary/ final plat approval, sidewalk variance, sidewalk waiver, and amended sdp for subdivision were indefinitely deferred.

FINDINGS:

(A)(1) The public easement vacation request was filed by the owners of a all of the footage of land abutting the proposed vacation.

(B)(1) Based the proposed development, the public welfare is in no way served by retaining the minimal amount of public right of way.

(B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on the replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by February 19, 2015 in the manner described below.

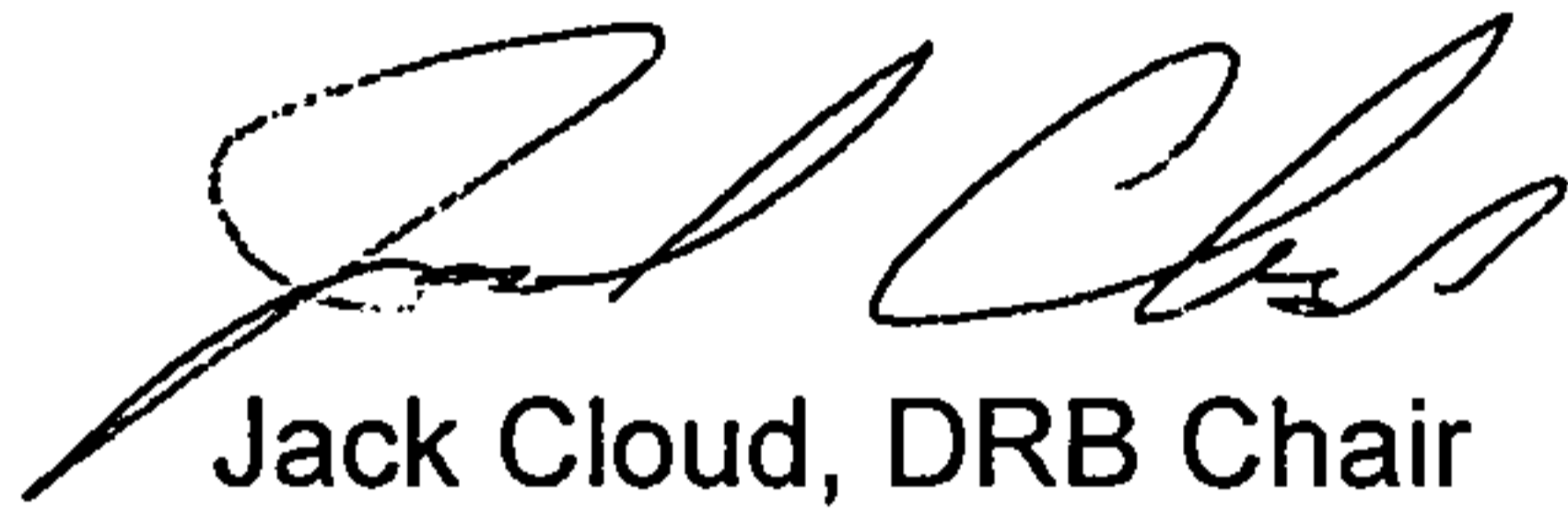
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 16, 2014
DRB Comments**

ITEM # 16

PROJECT # 1008656

APPLICATION # 14-700233

RE: Tracts A & B, Estates at Glendale

This was an EPC approved Site Development Plan for Subdivision, therefore the Current Planning Section of the Urban Design Division must be contacted RE: whether the approved site plan can be Administratively Amended.

A DPM standard hammerhead is needed at the east end of proposed main street, and a sidewalk is needed on west side of proposed stub street.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

10. **Project# 1009369**
12DRB-70245 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL
- COMMUNITY SCIENCES CORP agent(s) for DR HORTON, INC request(s) the above action(s) for all or a portion of Lot(s) 61 AND 63, **STORMCLOUD Unit(s) 1**, zoned SU-2/R-LT, located on STORMCLOUD AND SUMMER BREEZE containing approximately .3648 acre(s). (J-8) **THE PRELIMINARY/FINAL PLAT WAS APPROVED.**
11. **Project# 1008589**
12DRB-70212 MAJOR - FINAL PLAT
APPROVAL
- CARTESIAN SURVEYS INC agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Lot(s) 15, 16 & PORTIONS OF LOT 18, Block(s) 1, **NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 Unit(s) 3**, zoned R-D YDU/A, located on PINON VISTA BETWEEN MODESTO AND EAGLE CREST containing approximately 2.3961 acre(s). (C-19) [*Deferred from 8/1/12*]**INDEFINITELY DEFERRED.**
12. **Project# 1008656**
12DRB-70242 MAJOR - FINAL PLAT
APPROVAL
- MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for GLENDALE LLC request(s) the above action(s) for all or a portion of Lot(s) LOT 4-9, Block(s) 12, Tract(s) TRACT 1, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned R-D 3, located on GLENDALE AVENUE BETWEEN WYOMING BLVD AND BARSTOW STREET containing approximately 5.993 acre(s). (B-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**
13. **Project# 1007139**
12DRB-70052 AMENDMENT TO
PRELIMINARY PLAT
- MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for JUAN TABO HILLS, LLC request(s) the above action(s) for all or a portion of Lot(s) 3A, **JUAN TABO HILLS** zoned RD SU-1, located on JUAN TABO BLVD SE GULFSTREAM DR SE AND TIJERAS ARROYO containing approximately 71.5424 acre(s). (M-22) [*Deferred from 2/29/12*] **DEFERRED TO 8/29/12 AT THE AGENT'S REQUEST.**
14. **Project# 1007140**
12DRB-70051 AMENDMENT TO
PRELIMINARY PLAT
- MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for JUAN TABO HILLS LLC request(s) the above action(s) for all or a portion of Lot(s) 2A, **JUAN TABO HILLS UNIT 1** zoned RD/SU-1, located on JUAN TABO BETWEEN MONACHOS AND TIJERAS ARROYO containing approximately 9.54 acre(s). (M-22) [*Deferred from 2/29/12*] **DEFERRED TO 8/29/12 AT THE AGENT'S REQUEST.**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet ***must*** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project# 1008656

14DRB-70407 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

14DRB-70410 AMENDED SDP FOR SUBDIVISION

PROJECT NAME: ESTATES AT GLENDALE

AGENT: RIO GRANDE ENGINEERING

Your request was approved on _____ by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

City Engineer:

Parks and Recreation :

Planning:

PLATS:

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG – BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

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Project# 1008656

14DRB-70407 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL

14DRB-70410 AMENDED SDP FOR SUBDIVISION

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Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

GLENDALE ESTATES- PHASE-2

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots A AND B ESTATES AT GLENDALE PHASE 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PHASE 1									
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>	24' F-E	Residential Road with Curb and Gutter including 4' wide Sidewalk (southside)	Northstar lane	Northstar Place	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sewerline	Northstar lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	8"	waterline	Northstar lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	24"	Storm drain with inlets and appurtances with rundowns	northstar lane	existing 24" rcp	low point	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

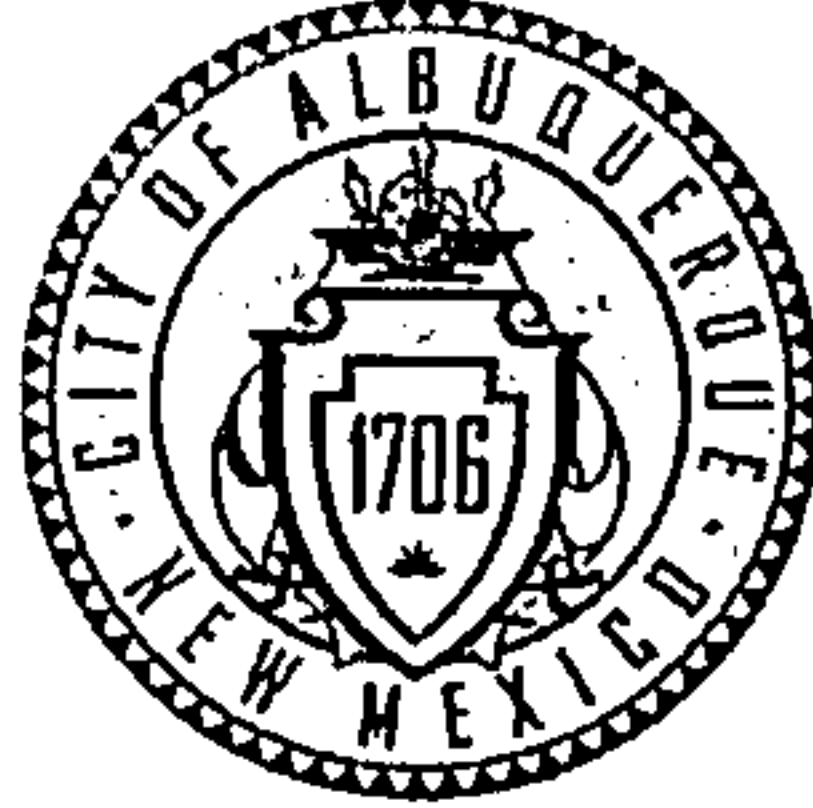
- 1 Engineers Certification of Grading required prior to release of SIA and Financial Guarantee
- 2 Internal sidewalks to be temporarily deferred per approved exhibit
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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NAME (print)	DRB CHAIR - date	PARKS & RECREATION DEPARTMENT - date
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	_____ - date
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



INTER-OFFICE MEMORANDUM
COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1008656

Board hearing date:

WEDNESDAY, January 13, 2016



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input checked="" type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input checked="" type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: ASHTON HOMES LLC PHONE: _____
 ADDRESS: 3519 CAMPBELL FARM LANE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: VACATION OF RIGHT OF WAY, PRELIMINARY PLAT, DEFERRED INTERNAL SIDEWALKS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A & B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: ESTATES AT GLENDALE
 Existing Zoning: SU1 FOR RD-5DU/AC Proposed zoning: SU1 FOR RD-5DU/AC MRGCD Map No _____
 Zone Atlas page(s): B19 UPC Code: 101906535803440125, 101906539103440124

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
1008656

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 9 Total site area (acres): 3.5
 LOCATION OF PROPERTY BY STREETS: On or Near: GLENDALE ROAD NE
 Between: WYOMING and BARSTOW

Check if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE DS DATE 12/11/15
 (Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

ISDRB - 70468
ISDRB - 70469
ISDRB - 70470

Action

VROW
IP
IDS
ADV
CMF

S.F.

Fees

\$300.00

\$75.00
\$20.00
 Total

Hearing date January 13, 2016

[Signature]
 Staff signature & Date 12-18-15

Project # 1008656

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum) *(on stipem for sb)*
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Souk
 Applicant name (print)
DM 12/18/15
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 15DRB - 70469

[Signature] 12-18-15
 Planner signature / date
 Project # 1008656

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies
 ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)** *This was vacated 2/4/15. we would like*
 VACATION OF PUBLIC RIGHT-OF-WAY (DRB28) *to renew. No change, Records in DRB file.*
 ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for City owned public right-of-way.)
 ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

extension of Approved Vacation from 2/4/15

- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21)
 ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance or waiver
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
 Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
 Zone Atlas map with the entire property(ies) clearly outlined
 Letter briefly describing, explaining, and justifying the deferral or extension
 List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies
 ___ Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
 ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Souk
 Applicant name (print)
[Signature] 12/18/15
 Applicant signature / date



- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 1 SDRB - 20468
 1 SDRB - 20470

Form revised 4/07
[Signature] 12-18-15
 Planner signature / date
 Project # 1008656

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from December 29, 2015 to January 13, 2016

5. REMOVAL

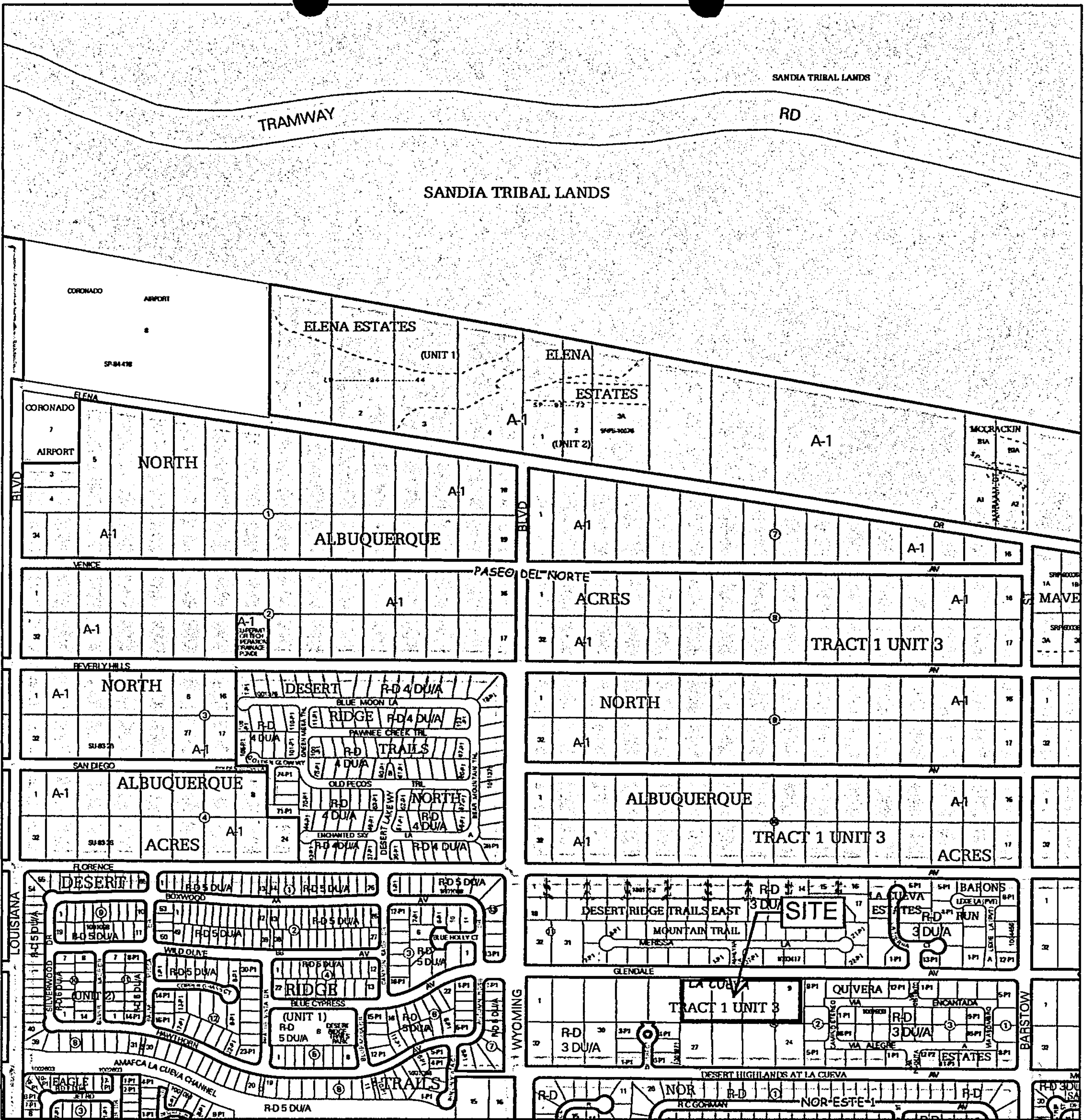
- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

MM
(Applicant or Agent) _____ (Date)

I issued 1 signs for this application, 12-18-15 _____
(Date) (Staff Member)

PROJECT NUMBER: 1008656



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-19-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

December 18, 2015

Jack Cloud
Chairman
Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Preliminary Plat, Vacation of Public Right of Way
Temporary Deferral of internal sidewalks
Glendale Estates Unit 2
Project #1008656
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests DRB approval of the enclosed preliminary plat as well as a renewal of the vacation approval for previously vacated public right-of way, as well as temporary deferral of internal sidewalk. This subdivision is governed by the attached site plan for subdivision which was amended to allow for the vacation of right of way. The full width Glendale roadway has been constructed, as has the entrances and all utility and storm drain stubs into the property. The proposed preliminary plat is consistent with the approved site plan and the relevant city of Albuquerque design regulations.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

CC: Jeff Peterson
7800 Eagle Rock Ave
Albuquerque, NM 87122

Joe Yardumian
7801 RC Gorman Ave
Albuquerque NM 87122

Charles Wong
8401 Via Encantada NE
Albuquerque, NM 87122

Kevin Hudenko
8109 Via Encantada NW
Albuquerque, NM 87122

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

GLENDALE ESTATES- PHASE-2

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots A AND B ESTATES AT GLENDALE PHASE 1

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PHASE 1									
<input type="text"/>	<input type="text"/>	26' F-F	Residential Road with Curb and Gutter including 4' wide Sidewalk (both sides)	Northstar lane	Glendale	North star place	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sewerline	Northstar lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	8"	waterline	Northstar lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	8"	waterline	Northstar lane	Glendale	southern terminous	/	/	/
<input type="text"/>	<input type="text"/>	na	24" RCP Storm drain with inlets	northstar lane	existing 24" rcp	low point	/	/	/
<input type="text"/>	<input type="text"/>	4'	sidewwalk	Glendale	west property line	east property line	/	/	/
<input type="text"/>	<input type="text"/>	2'	concrete channle including sidewalk culverts	lot 13	west property line	cui-de sac	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crist Engineer
							/	/	/

NOTES

- 1 Engineers Certification of Grading required prior to release of SIA and Financial Guarantee
- 2 Internal sidewalks to be temporarily deferred per approved exhibit
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
----------------------	--

Dan Sody
NAME (print)

Rio Grande Engineering
FIRM

MM 12/18/11
SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION DEPARTMENT - date

AMAFCA - date

- date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

SUBDIVISION PLAT OF
LOTS 1-8 AND TRACT B-2
THE ESTATES AT GLENDALE, UNIT 2
 BEING A RE-PLAT OF TRACTS A AND B
 PROJECTED SECTION 7, T 11 N, R 4 E, N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2015

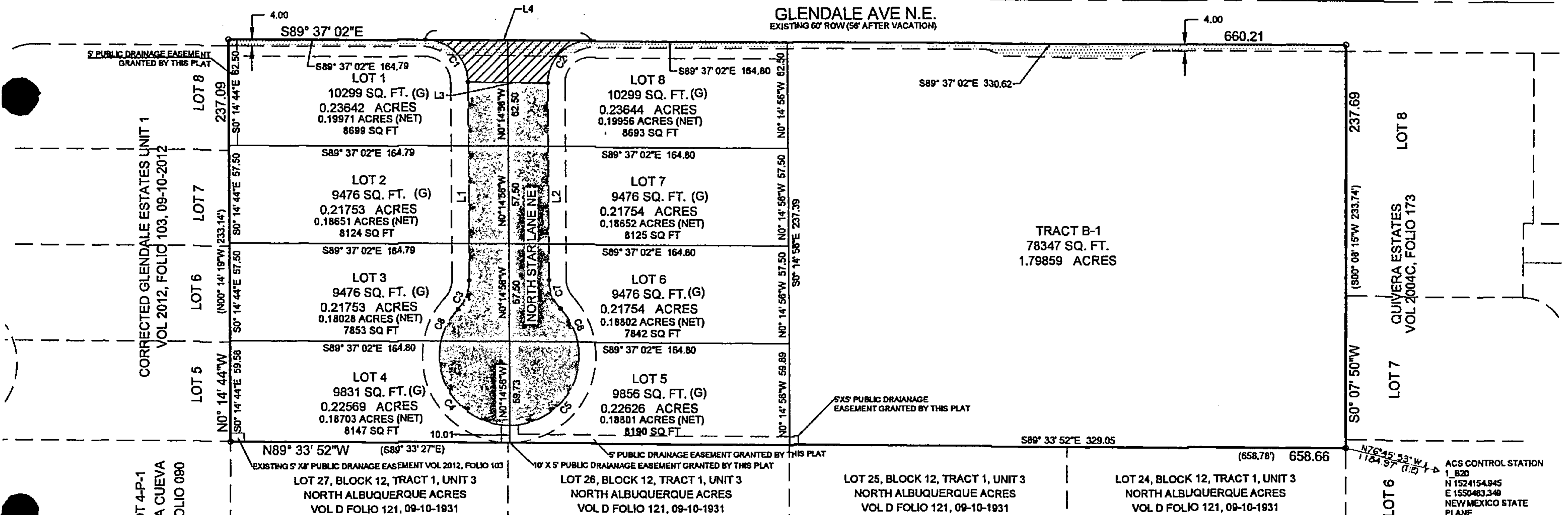
LEGEND OF SYMBOLS

- FOUND MONUMENT AS NOTED
- SET 5/8" REBAR WITH 1" MORASSE CAP "LS 21082 OR PK NAIL WITH SHINER "21082"

1. RIGHT OF WAY VACATED
 VACS
 3412 SQUARE FT
 0.07833 ACRES
 (DOTTED AREA)

2. 47' WIDE PRIVATE ACCESS, PRIVATE
 DRAINAGE, PUBLIC WATER AND SANITARY
 EASEMENT GRANTED BY THIS PLAT
 (SHADED AREA)

3. RIGHT OF WAY DEDICATED TO THE
 CITY OF ALBUQUERQUE IN FEE
 SIMPLE TITLE WITH WARRANTY
 COVENANTS BY THIS PLAT (0.03314
 ACRES, 1443 SQ. FT.)

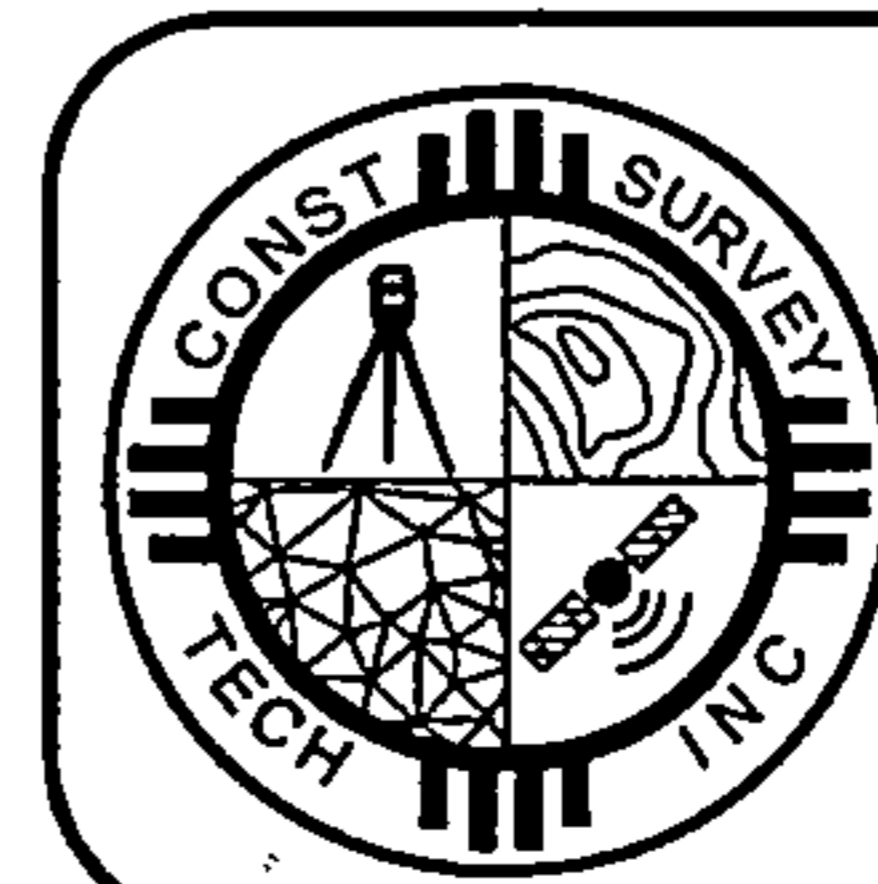
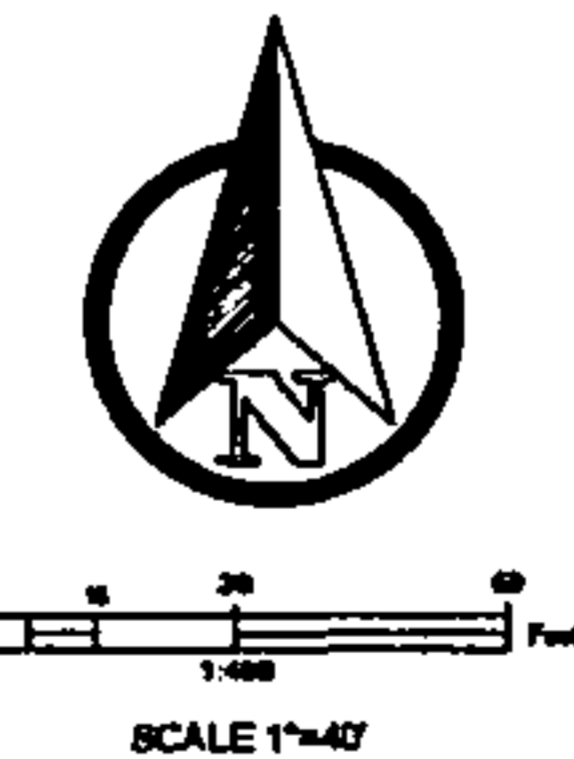


CORRECTED GLENDALE ESTATES UNIT 1
 VOL 2012, FOLIO 103, 09-10-2012

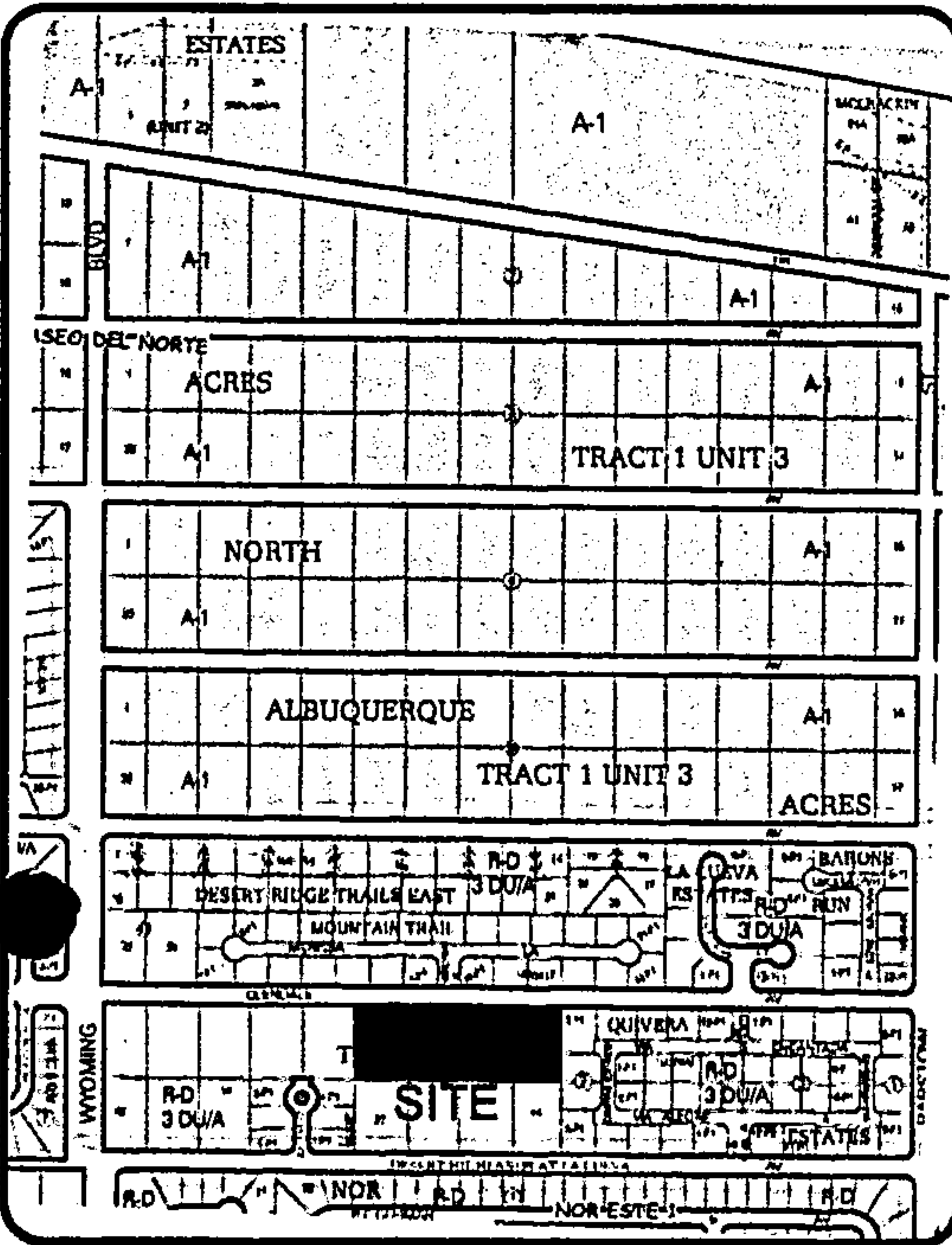
LOT 4-P-1
 DESERT HIGHLANDS @ LA CUEVA
 VOL 2003, FOLIO 090

LINE TABLE		
Line #	Length	Direction
L1	117.00	N0° 14' 56"W
L2	115.93	N0° 14' 56"W
L3	47.01	N88° 56' 43"W
L4	97.01	S89° 37' 02"E

CURVE TABLE					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	38.99	25.00	89.37	N44° 55' 58"W	35.16
C2	39.55	25.00	90.63	S45° 04' 01"W	35.55
C3	18.63	25.00	42.71	N21° 06' 14"E	18.21
C4	73.64	41.00	102.91	S38° 47' 36"E	64.13
C5	72.74	41.00	101.65	N38° 55' 38"E	63.57
C6	22.22	41.00	31.06	N27° 25' 32"W	21.95
C7	18.63	25.00	42.71	S21° 36' 06"E	18.21
C8	21.32	41.00	29.79	S27° 33' 34"W	21.08



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 MAILING: PO BOX 85395, ALBUQUERQUE, NM 87193 505-817-8921
 OFFICE: 1808 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM



ZONE ATLAS B-19-Z NO SCALE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE 8 LOTS FROM 2 LOTS, GRANT PRIVATE ACCESS EASEMENTS, PRIVATE DRAINAGE EASEMENTS, PUBLIC WATER AND SANITARY EASEMENTS, VACATE EXISTING RIGHT OF WAY AND GRANT PUBLIC UTILITY EASEMENTS.

NOTES:

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "P 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD

SUBDIVISION DATA:

ZONE ATLAS INDEX NO. B-19-Z
 DATE OF FIELD SURVEY: JULY, 2014
 TOTAL NO. OF TRACTS EXISTING 2
 TOTAL NO. OF LOTS CREATED 8
 GROSS SUBDIVISION ACREAGE 3.5163

DOCUMENTS USED:

THE ESTATES @ GLENDALE UNIT 1 VOL 2012C FOLIO 103

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4.7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

LEGAL DESCRIPTION:

TRACTS LETTERED A AND B OF THE CORRECTED GLENDALE ESTATES UNIT 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN PLAT BOOK 2012C, FOLIO 103.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGED OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT AND VACATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS LETTERED A AND B OF THE CORRECTED GLENDALE ESTATES UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND VACATE ALL RIGHT OF WAY SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: _____
 OWNER/DATE

ACKNOWLEDGMENT

STATE OF)
) SS.
 COUNTY OF)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS ____ DAY OF _____, 2015, BY _____

NOTARY PUBLIC: _____
 MY COMMISSION EXPIRES: _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UNIFORM PROPERTY CODE #:
 BERNALILLO COUNTY TREASURER'S OFFICE: _____

SHEET INDEX
 PAGE 1. COVER
 PAGE 2 SUBDIVISION PLAT

**SUBDIVISION PLAT OF
 LOTS 1-8 AND TRACT B-2
 THE ESTATES AT GLENDALE, UNIT 2
 BEING A RE-PLAT OF TRACTS A AND B
 PROJECTED SECTION 7, T 11 N, R 4 E, N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2015**

PROJECT NUMBER: _____	
CITY APPROVALS:	
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
ABCWUA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
REAL PROPERTY DIVISION	DATE
UTILITY APPROVALS:	
PNM ELECTRIC SERVICES	DATE
NEW MEXICO GAS	DATE
QWEST CORPORATION D.B.A. CENTURY LINK QC	DATE
COMCAST	DATE

SURVEYOR'S CERTIFICATE:

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

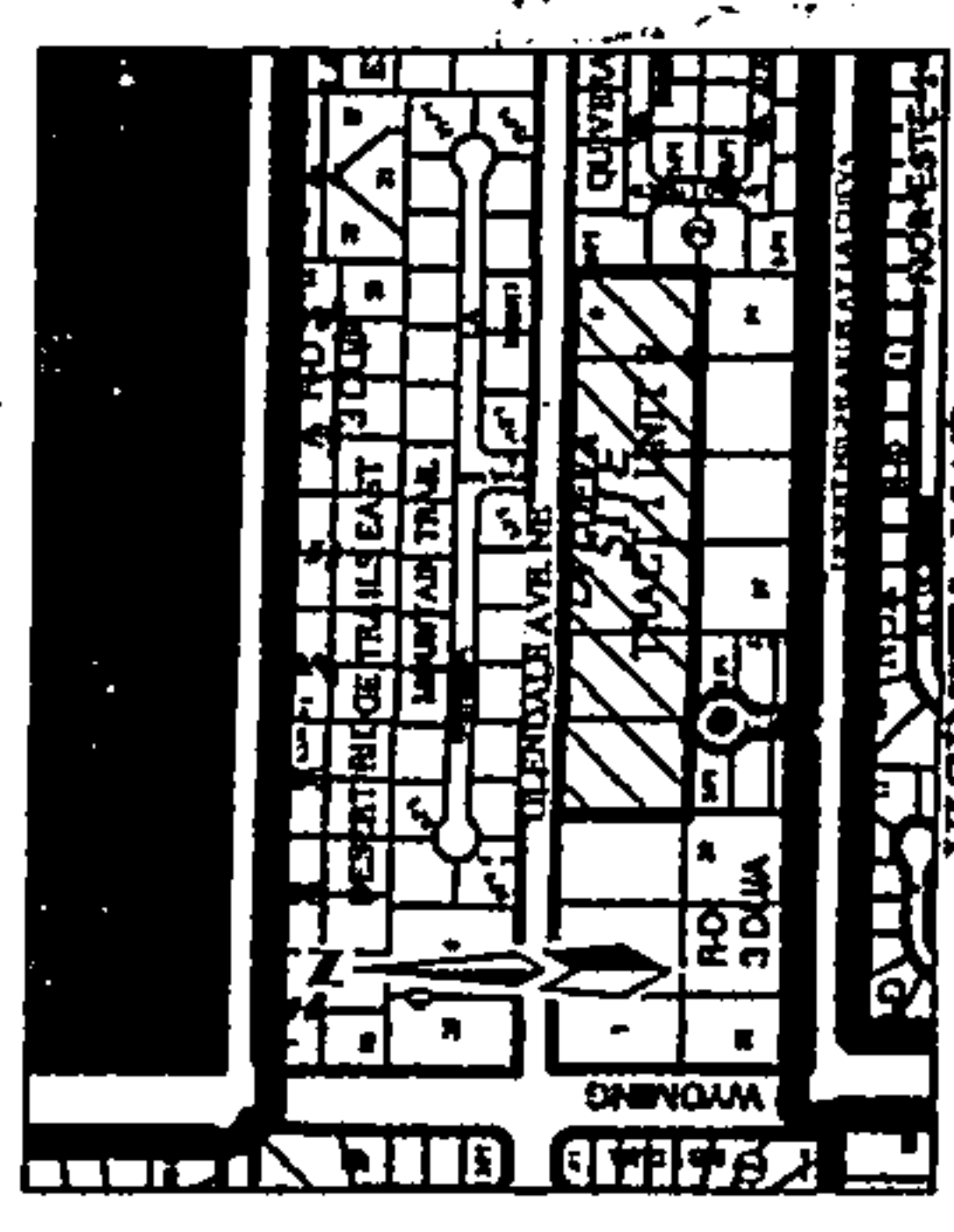
DAVID P. ACOSTA, NMPLS NO. 21082

DATE



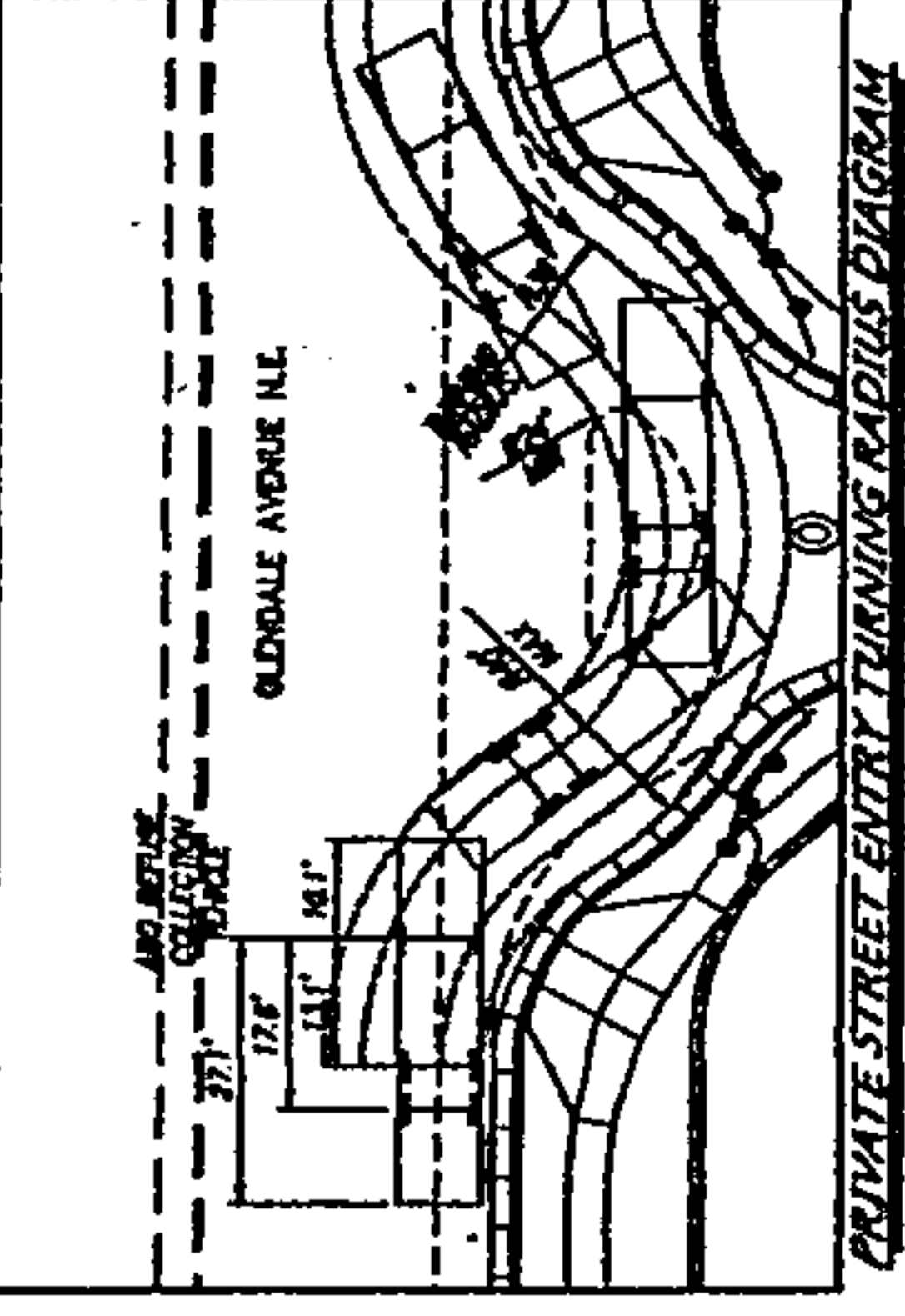
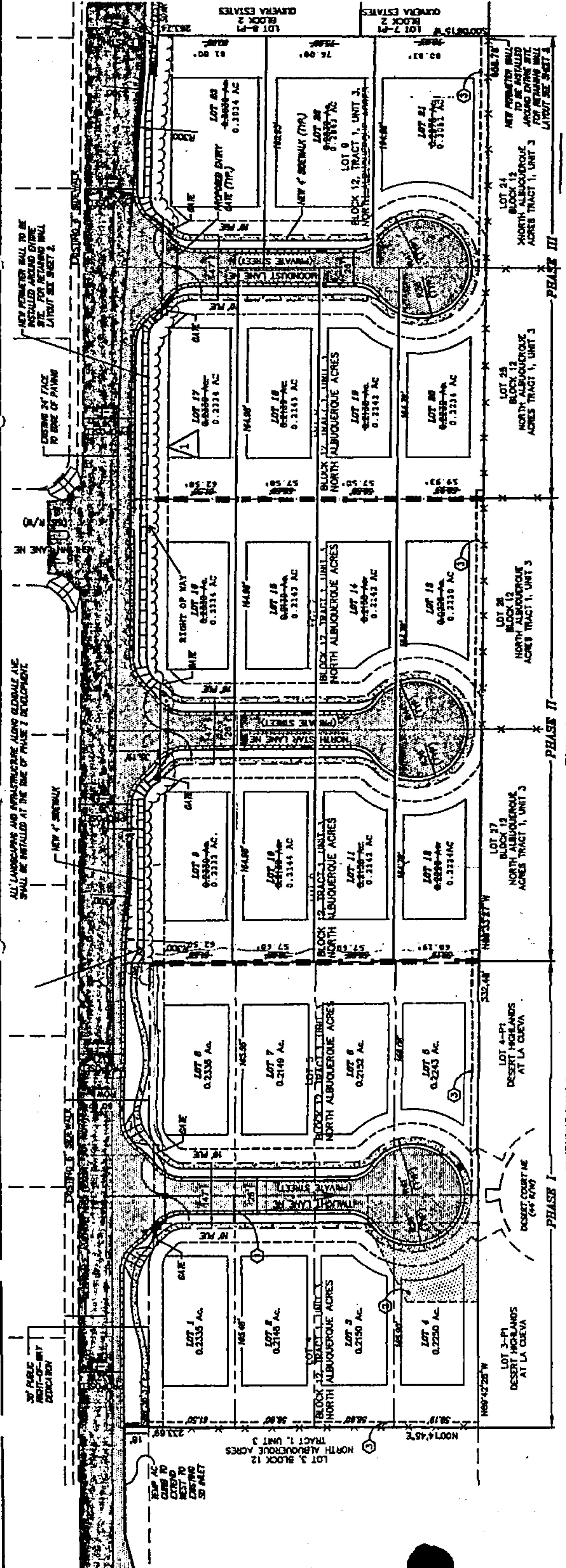
CONSTRUCTION SURVEY TECHNOLOGIES, INC

MAILING: PO BOX 86385, ALBUQUERQUE, NM 87183 505-817-8921
 OFFICE: 1808 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM



SCALE: 1"=750'
 ZONE ATLAS PAGE: B-19-2

LEGAL DESCRIPTION:
 A certain portion of the Elva College Grant, Tract 7, Township 11 North, Range 1 East, New Mexico County, City of Albuquerque, Bernalillo County, New Mexico, being all of LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



MIN LOT WIDTH AS SHOWN ABOVE
 MAX BUILDING HEIGHT = 20'
 PRIVATE STREET ENTRY TURNING RADIUS DIAGRAM
 SCALE 1" = 40'

ADMINISTRATIVE AGREEMENT OF SITE PLAN TO INCORPORATE 4' OF VACATED RIGHT OF WAY (LINDER 1988-2/4/11) INTO SUBDIVISION. LOT WIDTH HERE PROPOSED THE ADDITIONAL AREA. CHANGES TO APPROVED PLAN BY GRADE ENGINEERING.

LAST REVISED: 04-23-12
 SHEET 1 OF 4

ESTATES AT GLENDALE
 SITE PLAN FOR SUBDIVISION
 GULI RD 5DU1AC

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87189
 (505)828-2200, FAX (505)787-9539

PROJECT NUMBER: 1008656
 APPLICATION NUMBER: 1008656
 CITY APPROVAL: 04/23/12
 TRAFFIC APPROVAL: 04/23/12
 PLANNING DEPARTMENT: 04/23/12
 CIVIL ENGINEER: 04/23/12
 DATE: 04/23/12

PREPARED FOR:
 GLENDALE, LLC
 700 AVILA LAKE LAKE DR SE
 ALBUQUERQUE, NM 87109
 PH: (505) 385-0322
 (505) 888-2580

PREPARED BY:
 MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
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 ALBUQUERQUE, NEW MEXICO 87189
 (505) 828-2200

PLAN INDEX SHEETS
 1 CONCEPTUAL GRADING & DRAINAGE PLAN
 2 CONCEPTUAL UTILITY PLAN
 3 LANDSCAPE PLAN
 4 PREPARED FOR:

LEGEND
 NEW EASEMENT
 PROPERTY LINE
 EXISTING CURB
 EXISTING FENCE
 EXISTING WALK
 NEW SIDEWALK
 NEW STORM DRAIN
 NEW HILL
 EXISTING PAVING
 AREA OF EXISTING EASEMENT VARIATION
 NEW PAVEMENT
 PHASE BOUNDARY
 WOODRUFF IRON FENCE & GATE

EASEMENTS
 1 EXISTING C.O.A. PUBLIC DRAINAGE EASEMENT (04-25-2003, DOC # 200308673)
 2 EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-25-2003, DOC # 200308673)
 3 NEW PRIVATE DRAINAGE EASEMENT

ILLUSTRATING STANDARDS
 A. Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City DPL.
 B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize light spillage onto adjacent property lines and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS
 A. Front Yard Landscaping
 1. Planting (minimum 5 gal.)
 2. Shrubs (minimum 1 gallon)
 3. Landscape boulders (17" x 33" minimum)
 4. Shade tree in R/W of lot at 1-1/2" caliper or 10 feet high at the time of planting.
 B. Accentuating "tree rock" and bark mulch or peaco shells are also permitted in front yard landscaping.
 C. A minimum of front yard landscaping shall be required to contain public uses, Santa Fe brown, liver rock, or similar type rock over their fabric for all yard areas that are not covered with living vegetative groundcover.
 D. Automatic underground irrigation systems are required to support of landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
 E. Within individual lot landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including the water between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
 F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
 G. Aesthetic principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
 H. The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width which would change on a foot by foot basis depending on the road width.

IV LIGHTING STANDARDS
 A. Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City DPL.
 B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize light spillage onto adjacent property lines and not projecting upward so that dark skies can be preserved.

V UTILITIES
 A. All new electric distributors, telecommunications, and cable TV lines associated with the project shall be placed underground.
 B. Primary cable boxes, transformers, switch gear, and multi-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are all compliant with the standards of all city utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING
 A. Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

VII OPEN SPACE
 A. Open space shall be provided on each lot in accordance with Section 14-16-3-3 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE
 A. Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the City of Albuquerque Sign Regulations, §14-16-3-5, and the City of Albuquerque Sign Regulations, §14-16-3-5, through 138-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face oblique residential zones.

IX ARCHITECTURAL STANDARDS
 A. The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
 B. Typical building styles within this development shall be Contemporary Pueblo, Southwestern Pueblo, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
 C. Roofs may be flat, pitched, or combination of both, and they may consist of painted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.
 D. Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be finished in white or earth-toned shades of brown, tan or sage green.
 E. Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and window trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
 F. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

X TV WALLS
 A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
 B. Perimeter walls shall be colored or coated in a color scheme and constructed of split-face concrete masonry topped with a continuous cap.
 C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
 D. Maximum wall heights shall be 8 feet, unless they are retaining walls.
 E. Walls shall not be allowed within the clear-right-of-way.

XI FENCES
 A. All new electric distributors, telecommunications, and cable TV lines associated with the project shall be placed underground.
 B. Primary cable boxes, transformers, switch gear, and multi-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are all compliant with the standards of all city utility companies and PNM's Electric Service Guide.

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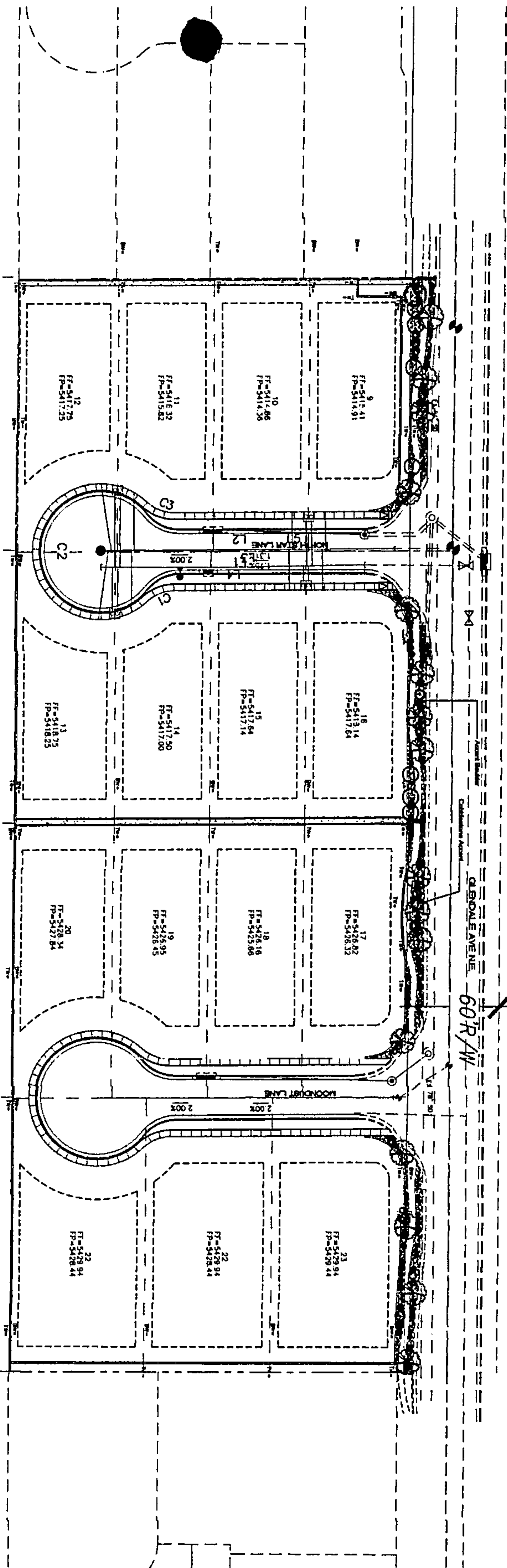
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XVII UTILITIES
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 B. Primary cable boxes, transformers, switch gear, and multi-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are all compliant with the standards of all city utility companies and PNM's Electric Service Guide.

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XX SIGNAGE
 A. Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the City of Albuquerque Sign Regulations, §14-16-3-5, through 138-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face oblique residential zones.



PLANT LEGEND

Qty	Symbol	Scientific Name	Size	Height	Water Use	DBH	Standard Conditions	Size	Height	Water Use	DBH
16		Male Baldi	7' 0-8.5'	18719	140	4.2 gph	34	1-4d	22'	Medium	2.2 gph
7		Female Baldi	7' 0-8.5'	20787	140	4.2 gph	6	1-4d	1.50L	Medium	2.2 gph
5		Potted Plant	5' 4"	13787	Medium	4.2 gph	14	1-4d	5' 4"	Low	2.1 gph
1		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	6' 2"	Low	2.2 gph
14		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
7		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
19		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
0		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
11		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
14		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
0		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
13		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph
0		Potted Plant	5' 4"	47029	Medium	4.2 gph	7	1-4d	5' 7"	Medium	2.2 gph

SITE DATA

REQUIRED STREET TREES
1 PER 20 L.F. STREET FRONTAGE
PROVIDED STREET TREES

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTING TO BE WATERED BY AUTO DRAIN IRRIGATION
SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER
PER CITY OF ALBUQUERQUE
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
OF THE PROPERTY OWNER
THIS PLAN IS TO BE PAID BY THE CITY OF ALBUQUERQUE
AND WATER WASTE ORDINANCE 6-1-1
PLANTING RESTRICTIONS APPROACH
LANDSCAPE AREAS TO BE MALCHED WITH GRAVEL
MACHINE AT 2" DEPTH OVER FILTER FABRIC
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
A GUARANTEE OF THE QUALITY OF THE PLANTS OR THE
CITY OF ALBUQUERQUE AND WATER WASTE ORDINANCE 6-1-1
THESE ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
AND/OR LOCATED IN FRONT EASEMENTS
STREET TREES TO CONFORM TO STREET TREE ORDINANCE
6-4-2
LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE
14-16-5-10

PLANTING RESTRICTIONS APPROACH

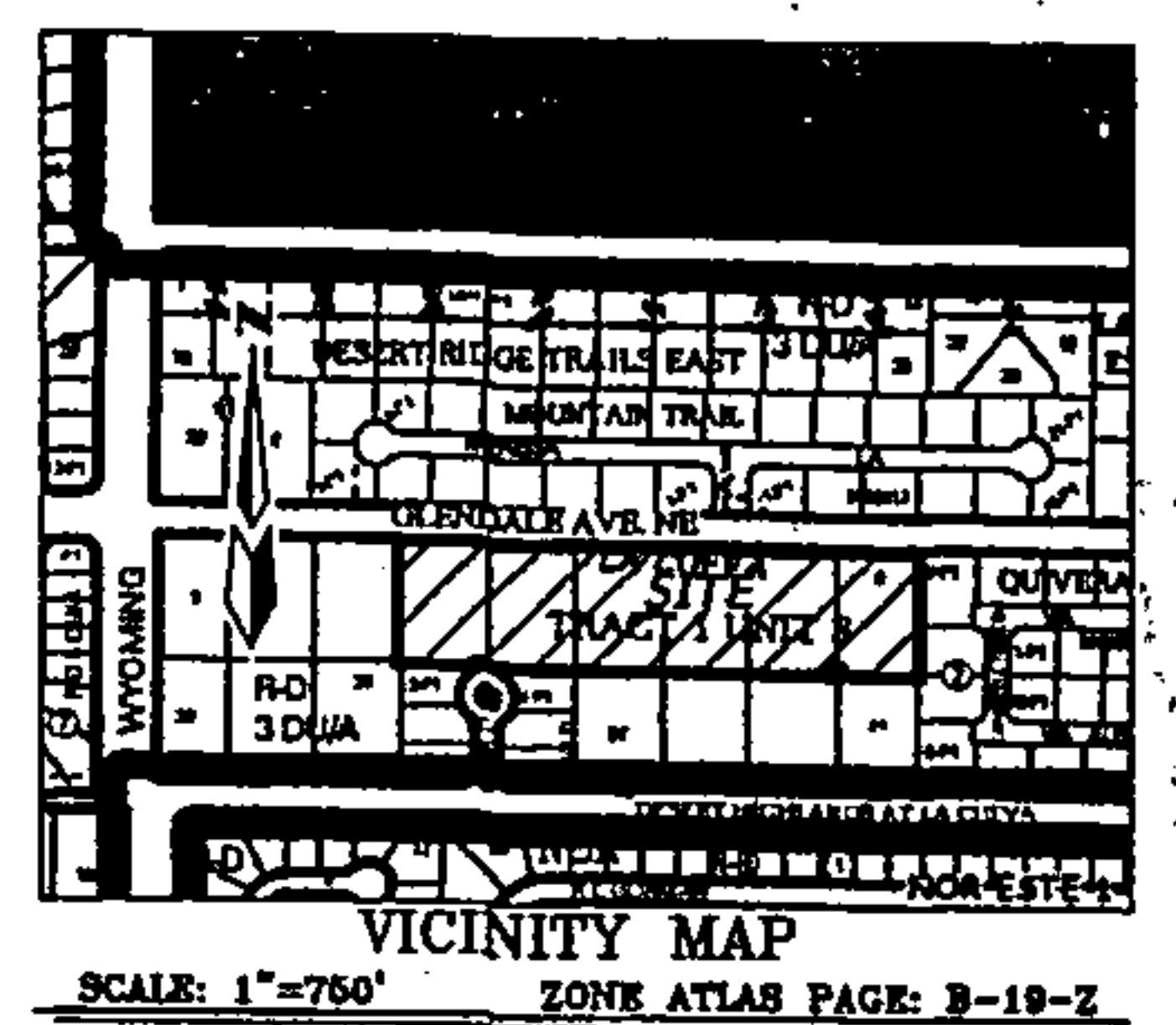
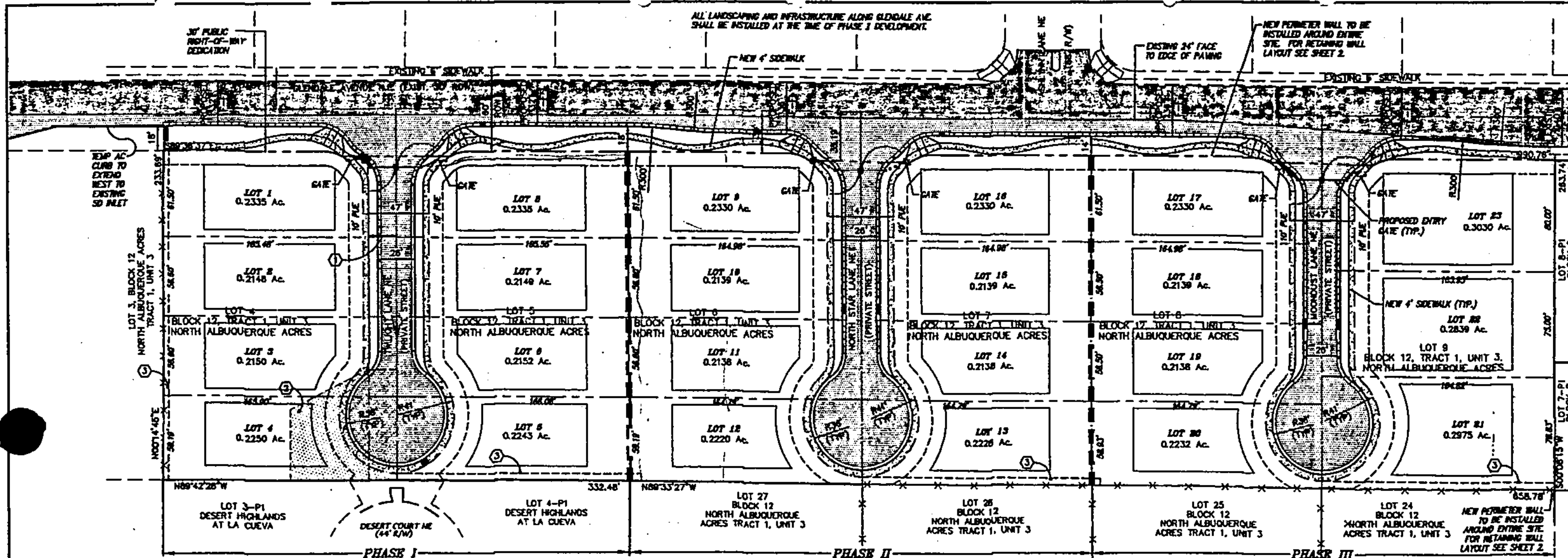
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growing better **Up**
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Albuquerque, NM 87184
505.889.9819
505.889.2108 (fax)
headsup@uius.com

Date: 8/2/15
Revisions:
Drawn by: JB
Reviewed by: JB

The Estates at Glendale
Albuquerque, New Mexico

Scale: 1" = 30'
NORTH
Sheet Title:
Landscape Plan
Sheet Number:
LS-01



VICINITY MAP
SCALE: 1"=750'
ZONE ATLAS PAGE: B-19-2

LEGAL DESCRIPTION
A tract of land situated within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THROUGH 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1991 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9000 acres more or less.

THE SITE:
The site area is presently vacant, zoned RD - 3 DUAC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
The property is to be changed to SU-1 for RD - 5 DUAC. Allowed uses shall be as permitted in the R-T zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.
Pedestrian Access: New sidewalks will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both sides of new streets within the site. Pedestrian access into the site from Glendale is also gated.

INTERNAL CIRCULATION REQUIREMENTS:
Internal circulation will be via private on-site streets, build to City of Albuquerque DPM standards.

OFF-SITE PARKING:
Minimum number of off-street parking spaces shall be provided according to the Interim Parking Design Standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail this sheet).

LANDSCAPE STANDARDS:
For Landscaping Information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

APPROVALS PROCEDURE:
Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

APPLICATION NUMBER: PROJECT NUMBER: 1008656

City Approvals:

Traffic Engineering, Transportation Division	04/25/12
Utilities Development	04/25/12
Parks and Recreation Department	4-25-12
City Engineer	4-25-12
DDP Chairperson, Planning Department	7-27-12

SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines and the DPM.

- I ARCHITECTURAL STANDARDS**
- The exterior building materials utilized in construction of the homes including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
 - Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
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 - Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.
 - Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
 - Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

II LIGHTING STANDARDS

- Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.
- The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

- Front Yard Minimum**
 - Accent Trees of at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
 - Shrubs (minimum 5 gallon)
 - Shrubs (minimum 1 gallon)
 - Landscape Boulders (3' x 3' minimum)
 - Shade tree in R/W of at least 1-1/2" caliper or 10 feet high at the time of planting
- Accentuating "river rock" and bark mulch or pecan shells are also permitted in front yard landscaping.
- At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.
- Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

IV WALLS

- Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
- Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.
- Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- Maximum wall heights shall be 4 feet, unless they are retaining walls.
- Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

- All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
- Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all city utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING

- Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

VII OPEN SPACE

- Open space shall be provided on each lot in accordance with Section 14-16-3-5 of the Zoning Code (Detached Open Space Regulations).

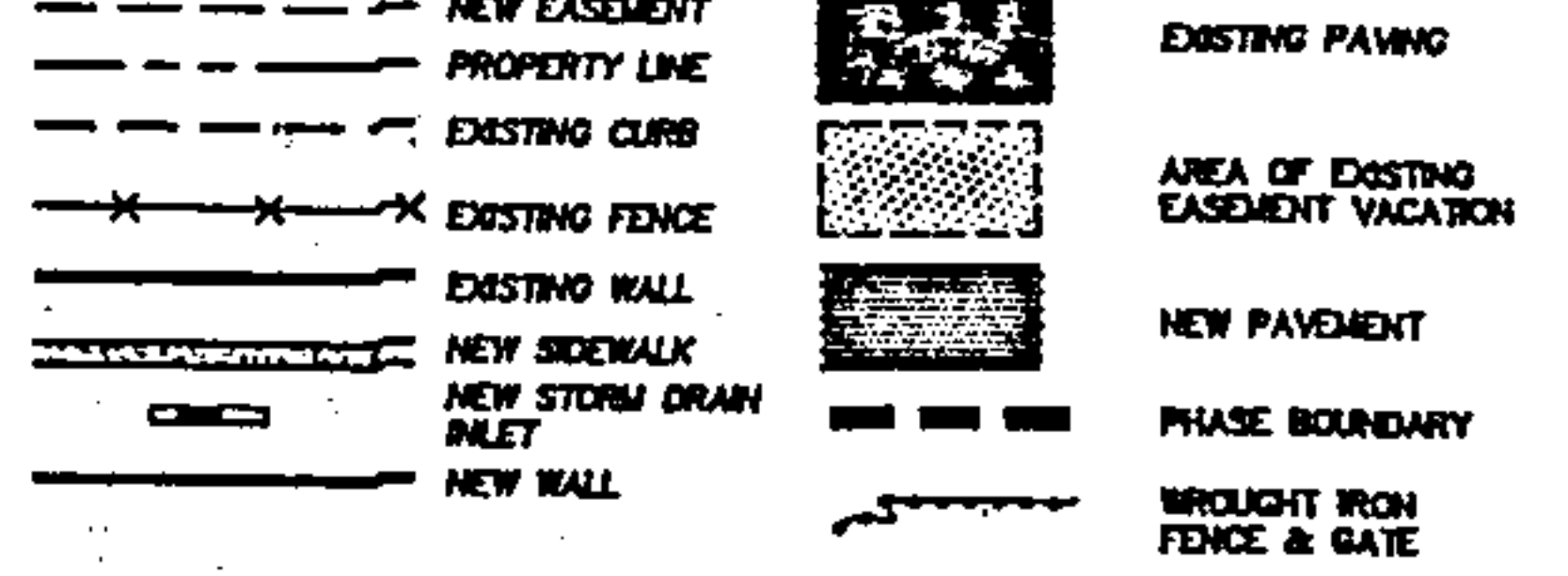
VIII SIGNAGE

- Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 (3R-1) through (3R-9). The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.

EASEMENTS

- EXISTING 30' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672)
- NEW PRIVATE DRAINAGE EASEMENT

LEGEND



PLAN INDEX

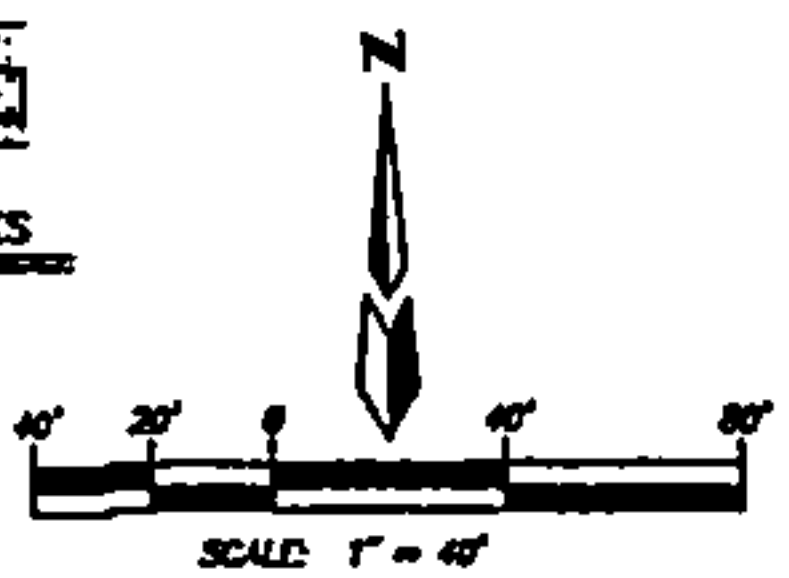
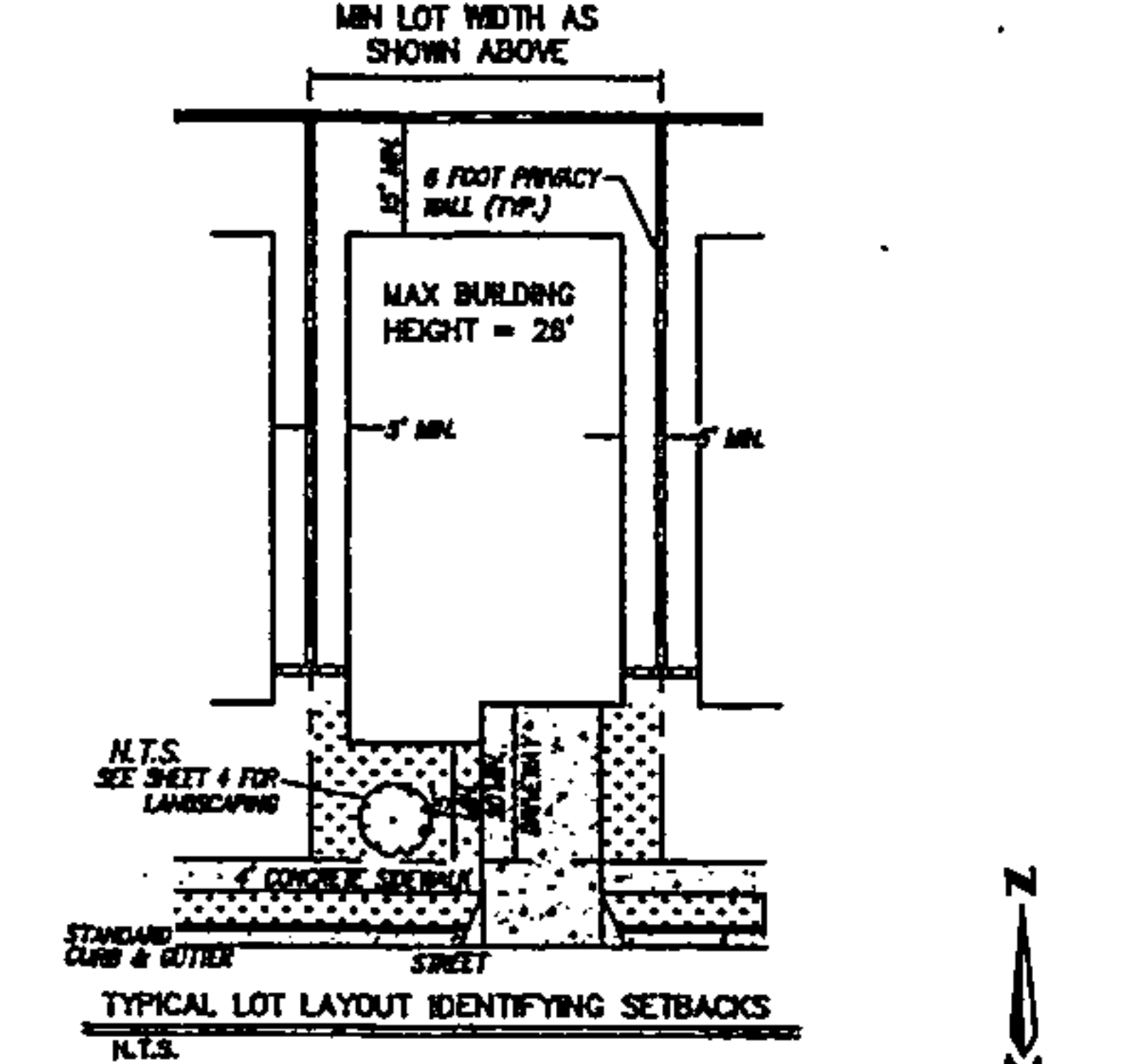
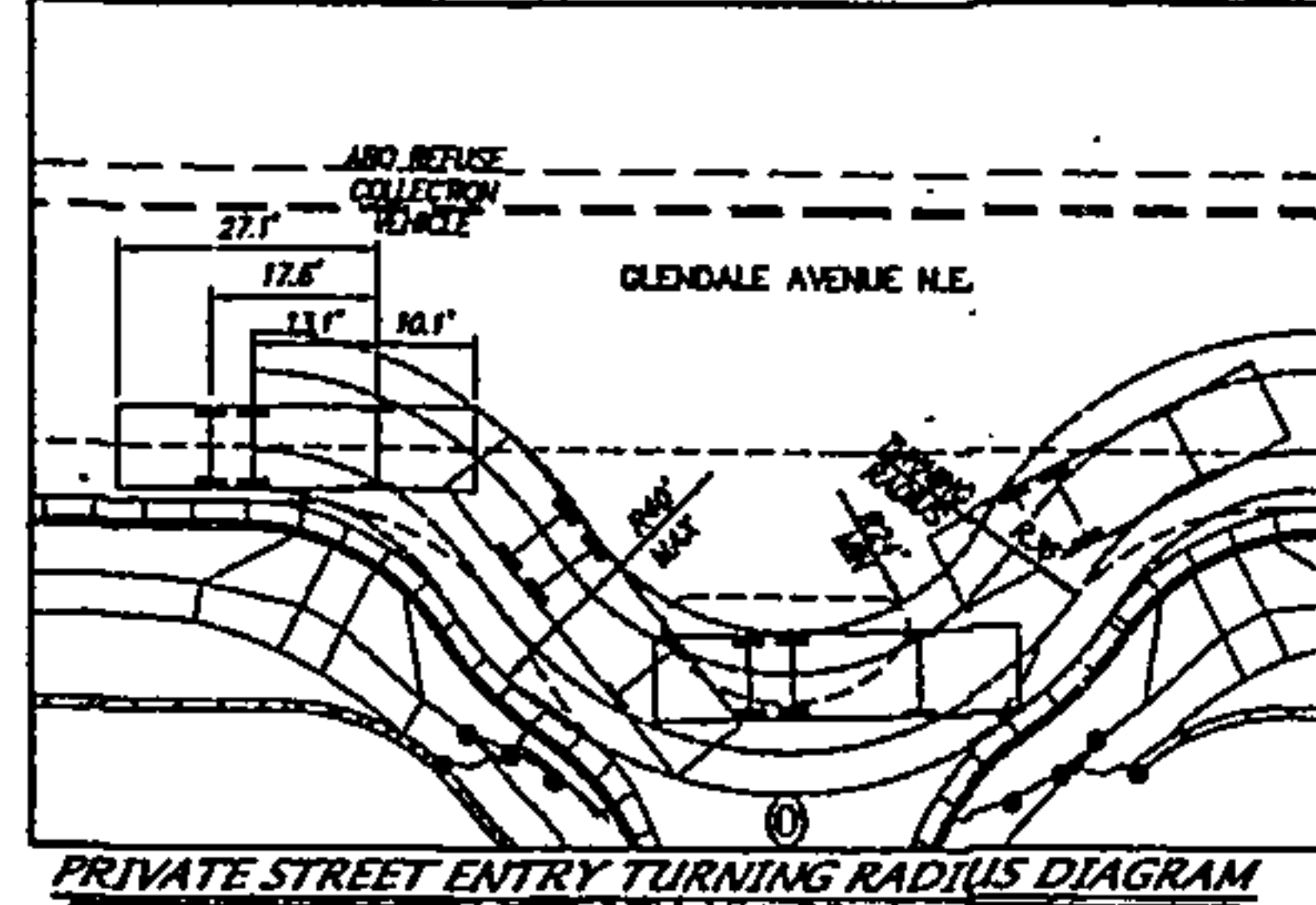
PLAN INDEX	SHEETS
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CONCEPTUAL UTILITY PLAN	3
LANDSCAPING PLAN	4

PREPARED BY:

B. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 80806
ALBUQUERQUE, NEW MEXICO 87199
(505) 528-1200

PREPARED FOR:

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700 NATALIE JINNAE LANE NE CT. NE
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PH: (505) 315-0332

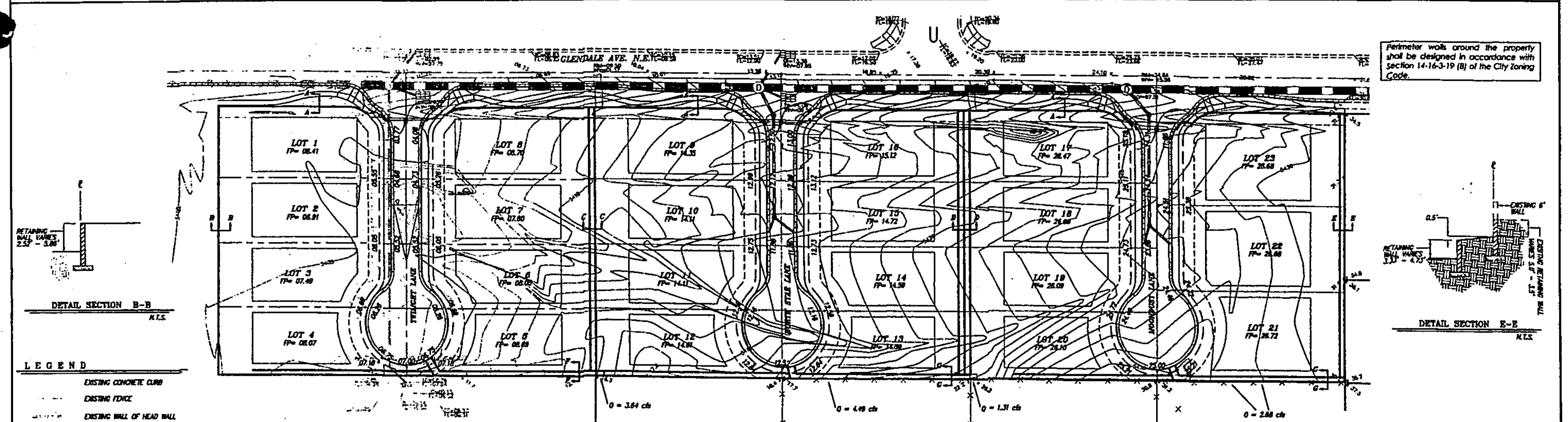
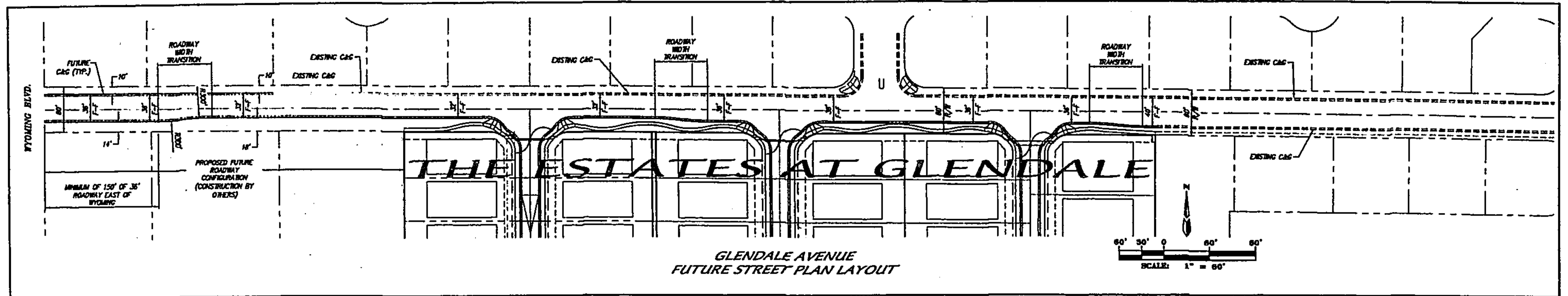


ESTATES AT GLENDALE
SITE PLAN FOR SUBDIVISION
(SU-1 RD 5DU/AC)

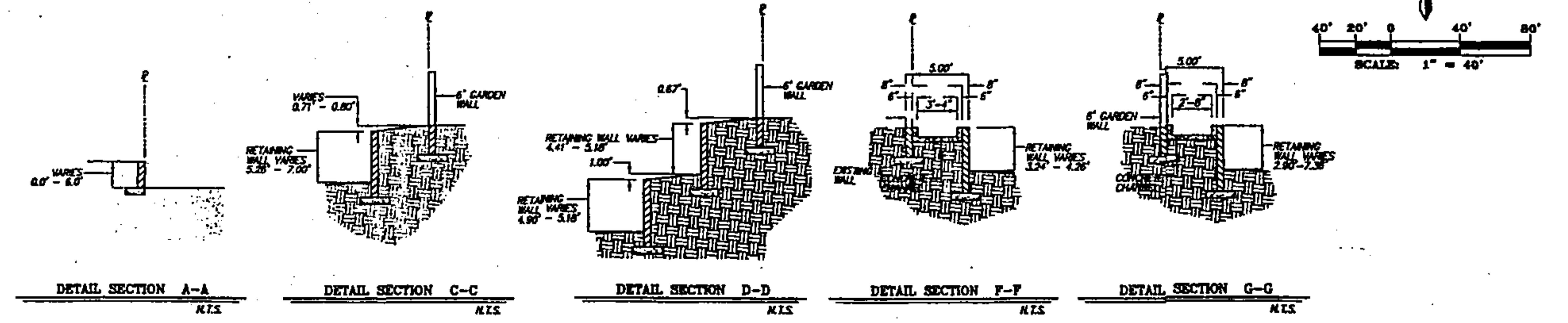
dmg MARK GOODWIN & ASSOCIATES, P.A.
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P.O. BOX 80806
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9530

Designed: DMG	Drawn: SPB	Checked: DMG	Sheet 2 of 4
Scale: 1"=40'	Date: 02/21/2012	Job: A11004	

EPC 1008656



- LEGEND**
- EXISTING CONCRETE CURB
 - EXISTING FENCE
 - EXISTING WALL OF HEAD WALL
 - EXISTING TOP CURB/FLOWLINE
 - EXISTING SPOT ELEVATION
 - EXISTING DROP INLET
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING WATER VALVE
 - 5415- EXISTING CONTOUR - MAJOR
 - EXISTING CONTOUR - MINOR
 - NEW LOT LINES
 - NEW SIDEWALK
 - NEW STANDARD CURB & CUTTER
 - NEW MEDIAN CURB & CUTTER
 - NEW RETAINING WALL
 - NEW GARDEN WALL
 - NEW STORMDRAIN
 - NEW STORMDRAIN MANHOLE
 - 12.12 NEW SPOT ELEVATION



UPON COMPLETION OF ONSITE GRADING OPERATIONS ALL DISTURBED SURFACES ON THE SITE SHALL BE STABILIZED WITH NATIVE SEED AND IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH THE NEW VEGETATION.

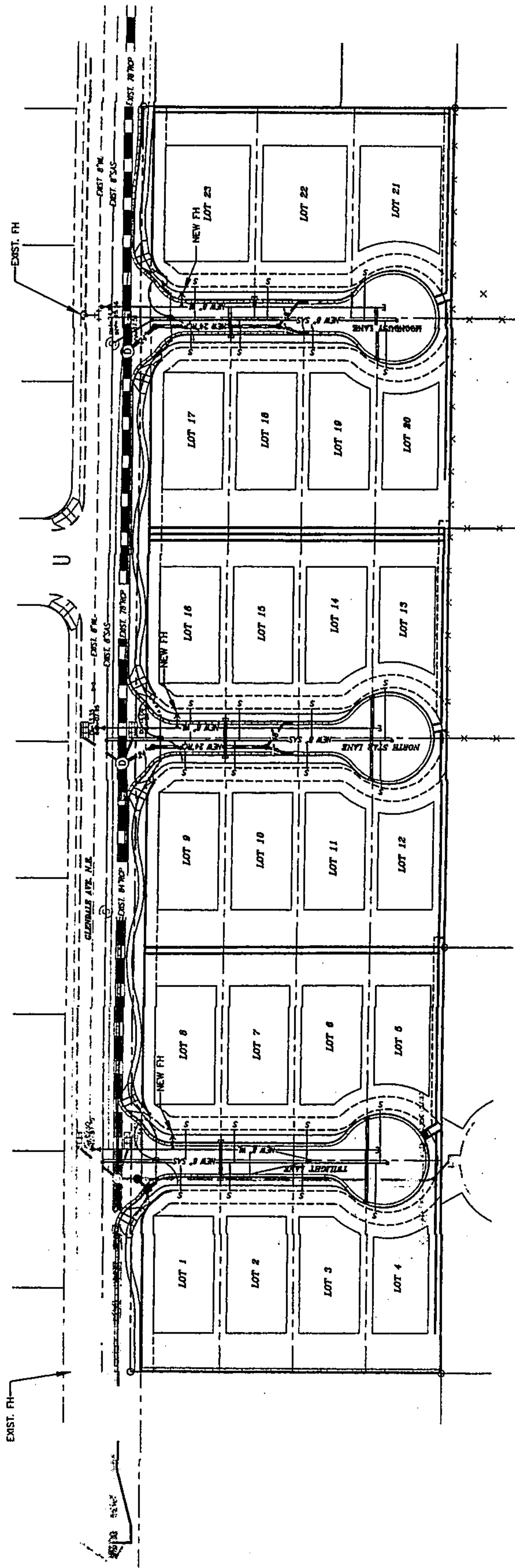
DRAINAGE MANAGEMENT PLAN

THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN CONCRETE-LINED SIDEYARD SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE NEW PRIVATE STREETS, WHICH WILL THEN DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. (A 7" NEW INLETS BEING CONSTRUCTED AT VARIOUS LOCATIONS WITHIN THIS PROJECT. THERE IS 30 FEET OF GRADE CHANGE ACROSS THIS SITE IN AN EAST - WEST DIRECTION.

**THE ESTATES AT GLENDALE
CONCEPTUAL GRADING &
DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK Drawn: ACH Checked: DMG Sheet 2 of 4
Scale: AS SHOWN Date: 01-04-12 Job: A11004



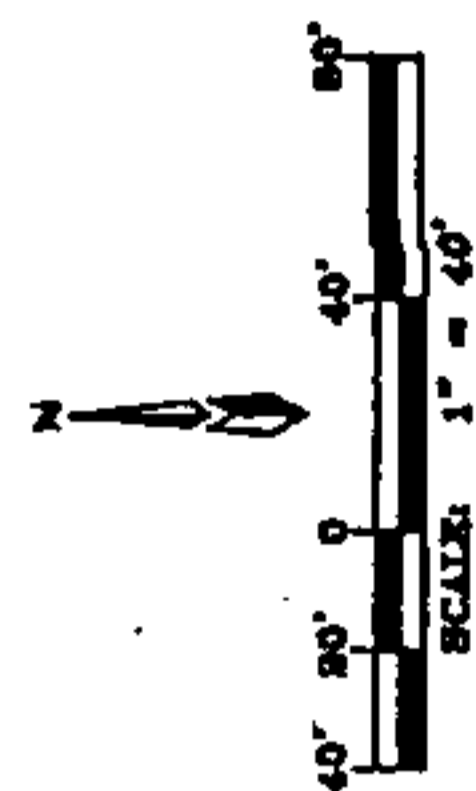
LEGEND

- EXISTING CONCRETE CURB
- EXISTING FENCE
- EXISTING WALL OF FIELD WALL
- EXISTING DRAIN INLET
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING WATER VALVE
- NEW LOT LINES
- NEW SIDEWALK
- NEW STANDARD CURB & GUTTER
- NEW ADJACENT CURB & GUTTER
- NEW RETURNING WALL
- NEW GARDEN WALL
- NEW STORMDRAIN
- NEW SAS
- NEW SAS MANHOLE
- NEW SAS SERVICE
- NEW WATERLINE
- NEW FIRE HYDRANT
- NEW FIRE
- NEW GAS VALVE
- NEW FIRE WATER METER

**THE ESTATES AT GLENDALE
CONCEPTUAL MASTER
UTILITY PLAN**

dmj MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90508
ALBUQUERQUE, NEW MEXICO 87189
(505)828-2200, FAX (505)797-9539

Designed: G.W. Drawn: A.G. Checked: DUG
Scale: AS SHOWN Date: 07-04-12 Job: 111004 Sheet 3 of 4



LAST SHEET 04-12-12



Date: 3/21/11
Revisions:
3/21/11
4/8/11
11/09/11
3/18/12
4/23/12
5/4/12
Drawn by: JC
Reviewed by: GM

The Estates at Glendale

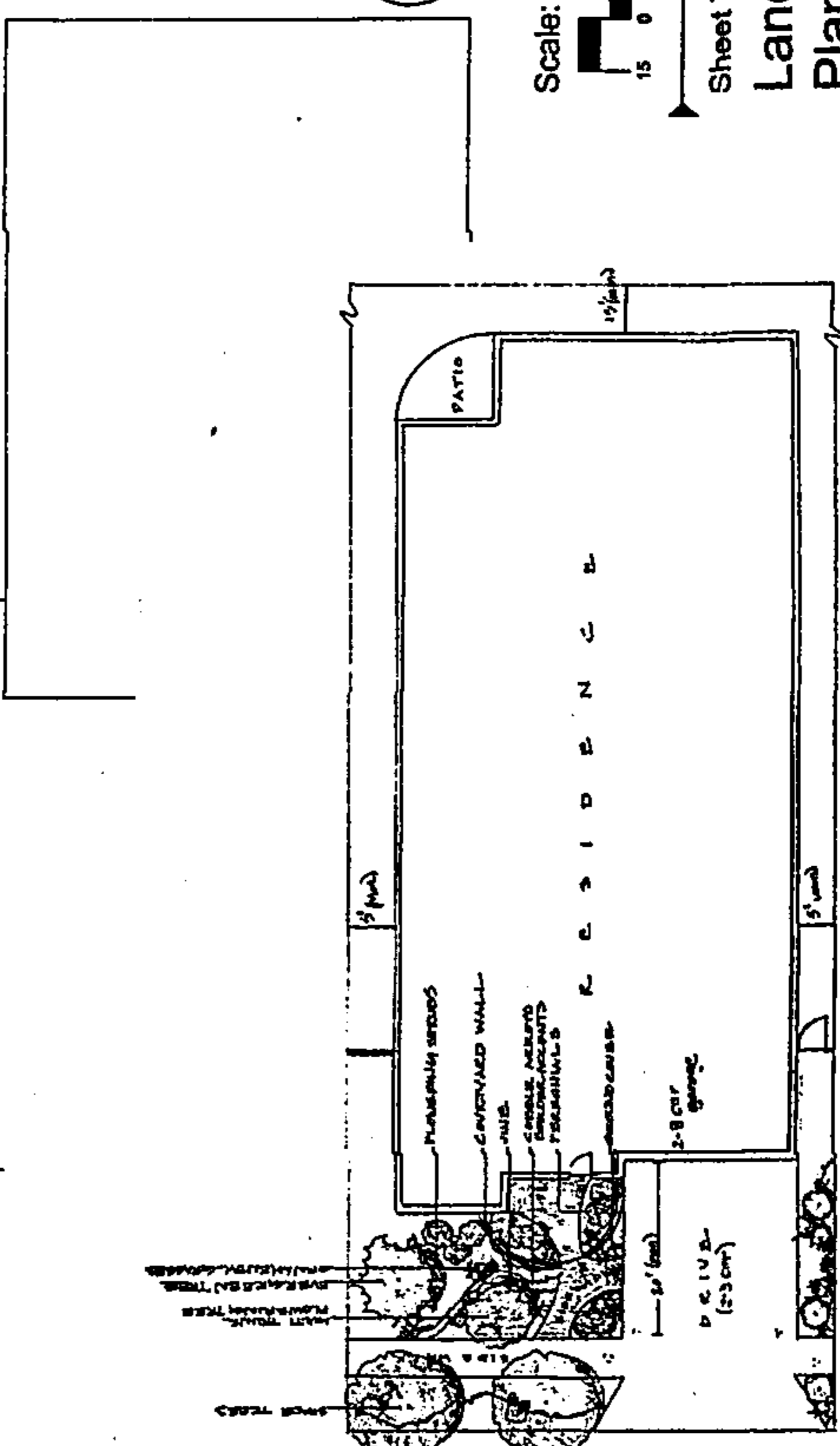
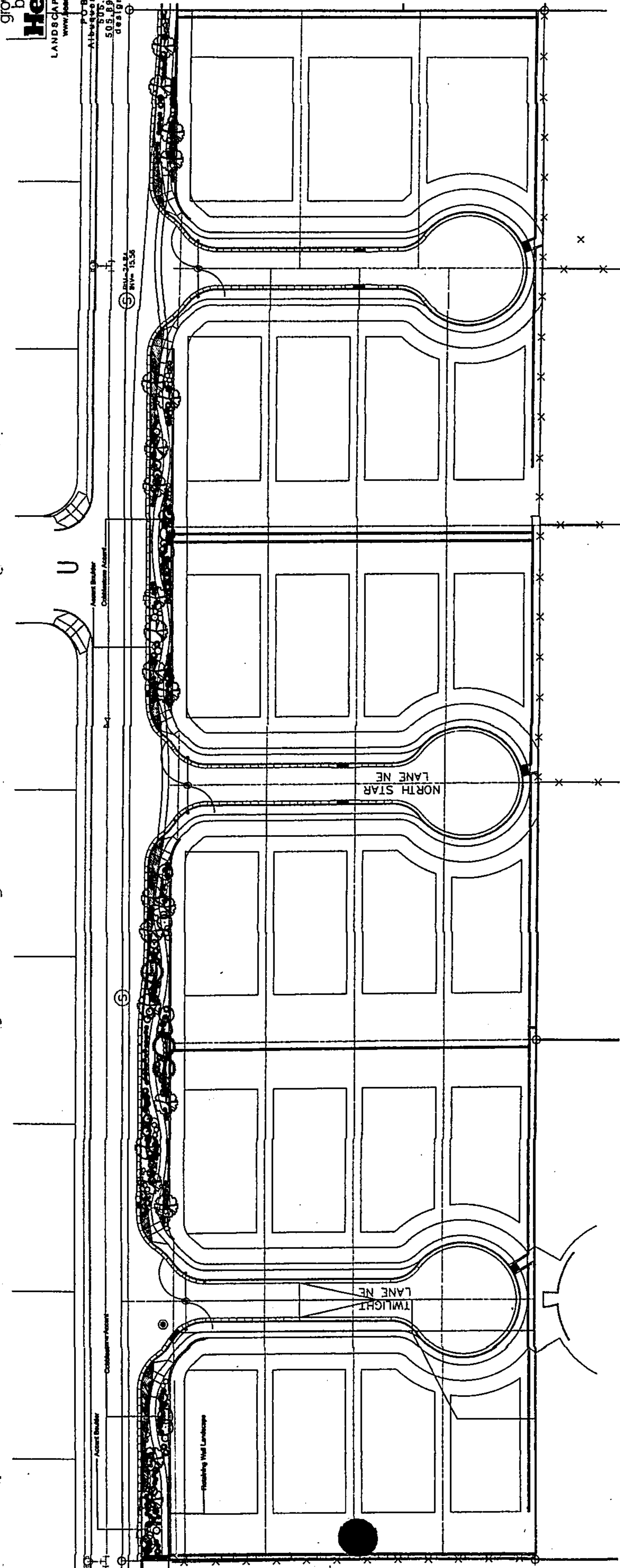
Albuquerque, New Mexico



Scale: 1" = 30'

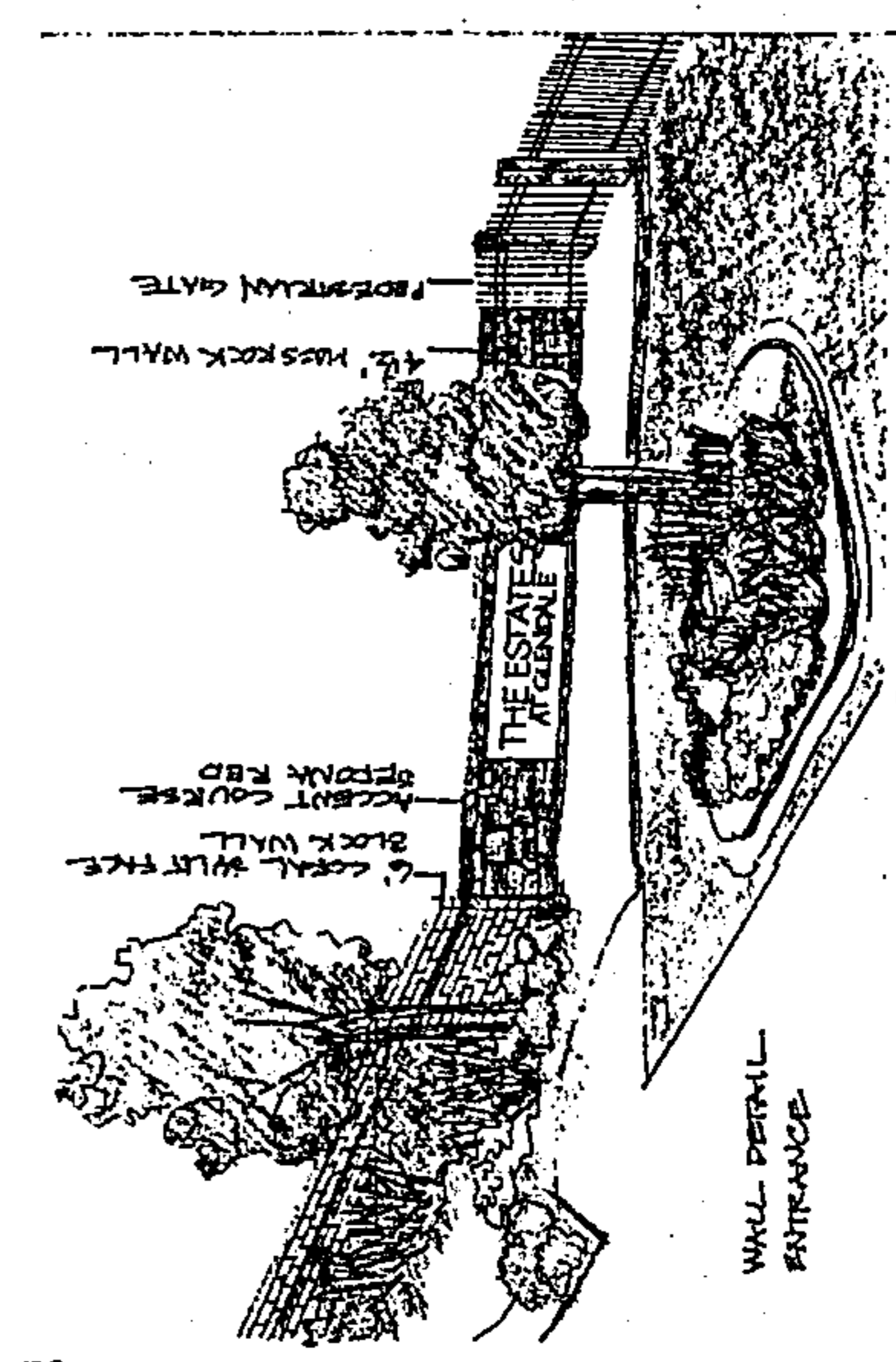
Sheet Title:
Landscape Plan

Sheet Number:
LS-01



PLANT LEGEND

Symbol	Scientific Name	Common Name	Size	Year Use	Plant Characteristics
22	Banksia	Banksia	2' x 3'	Medium	Arboreal Banksia, Mountain Yew
11	Parrotia	Parrotia	2' x 3'	Medium	Parrotia
9	Pinus	Pinus	8' x 5'	Medium	Pinus
3	Pinus	Pinus	8' x 5'	Medium	Pinus
28	Arbutus	Arbutus	1-0ft	Medium	Arbutus
6	Conocarpus	Conocarpus	1-0ft	Medium	Conocarpus
20	Eucalyptus	Eucalyptus	5-0ft	Low	Eucalyptus
25	Hesperis	Hesperis	1-0ft	Medium	Hesperis
14	Perovskia	Perovskia	1-0ft	Medium	Perovskia
11	Thuja	Thuja	5-0ft	Medium	Thuja
20	Perovskia	Perovskia	5-0ft	Medium	Perovskia
3	Rosa	Rosa	5-0ft	Low	Rosa
24	Lonicera	Lonicera	5-0ft	Low	Lonicera
17	Chamaecyparis	Chamaecyparis	5-0ft	Medium	Chamaecyparis
19	Muhlenbergia	Muhlenbergia	5-0ft	Medium	Muhlenbergia
19	Urtica	Urtica	1-0ft	Low	Urtica
1	Abutilon	Abutilon	5-0ft	Low	Abutilon



!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.**
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinkleleek@cabq.gov.

Thank you for your cooperation on this matter.

.....
(below this line for ONC use only)

Date of Inquiry: 11/14/14 Time Entered: 9:10 a.m. ONC Rep. Initials: siw



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

November 14, 2014

David Soule
Rio Grande Engineering
P.O. Box 93924
Phone: 505-321-9099/Fax: 505-872-0999
E-mail: david@riograndeengineering.com

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

Dear David:

Thank you for your inquiry of November 14, 2014 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACTS A& B, ESTATES AT GLENDALE, LOCATED ON GLENDALE AVENUE NE BETWEEN WYOMING BOULEVARD NE AND BARSTOW STREET NE** zone map **B-19**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

NOR ESTE N.A. "R"

Jeff Peterson, 7800 Eagle Rock Ave. NE/87122-2723 797-3477 (h)
Joe Yardumian, 7801 R.C. Gorman Ave. NE/87122-2748 797-1851 (h)

QUIVERA ESTATES H.O.A.

Charles Wong, 8104 Via Encantada NE/87122 235-7695 (c)
Kevin Hudenko, 8109 Via Encantada NE/87122 228-8082 (c)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

PS Form 3800, August 2006
See Reverse for Instructions

Sent to: **Charles Wong**
Street, Apt. No., or PO Box No.: **8401 Via Encinala NE**
City, State, ZIP+4: **Albuquerque NM 87122**

Postmark: **ALBUQUERQUE NM 87122**
DEC 18 2015

Postage	\$3.45
Certified Fee	\$0.00
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.74

U.S. Postal Service™ CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)
For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87122
OFFICIAL USE

7013 1090 0002 4289 3449

PS Form 3800, August 2006
See Reverse for Instructions

Sent to: **Karin Hudak**
Street, Apt. No., or PO Box No.: **8401 Via Encinala NE**
City, State, ZIP+4: **Albuquerque NM 87122**

Postmark: **ALBUQUERQUE NM 87122**
DEC 18 2015

Postage	\$3.45
Certified Fee	\$0.00
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.74

U.S. Postal Service™ CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)
For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87122
OFFICIAL USE

7013 1090 0002 4289 3319

PS Form 3800, August 2006
See Reverse for Instructions

Sent to: **Dr. F. Johnson**
Street, Apt. No., or PO Box No.: **7800 Fysh Rock NE**
City, State, ZIP+4: **Albuquerque NM 87122**

Postmark: **ALBUQUERQUE NM 87122**
DEC 18 2015

Postage	\$3.45
Certified Fee	\$0.00
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.74

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ALBUQUERQUE NM 87122
OFFICIAL USE

7013 1090 0002 4289 3456

PS Form 3800, August 2006
See Reverse for Instructions

Sent to: **Joe Yardenian**
Street, Apt. No., or PO Box No.: **7801 RL Gorman Ave NE**
City, State, ZIP+4: **Albuquerque NM 87122**

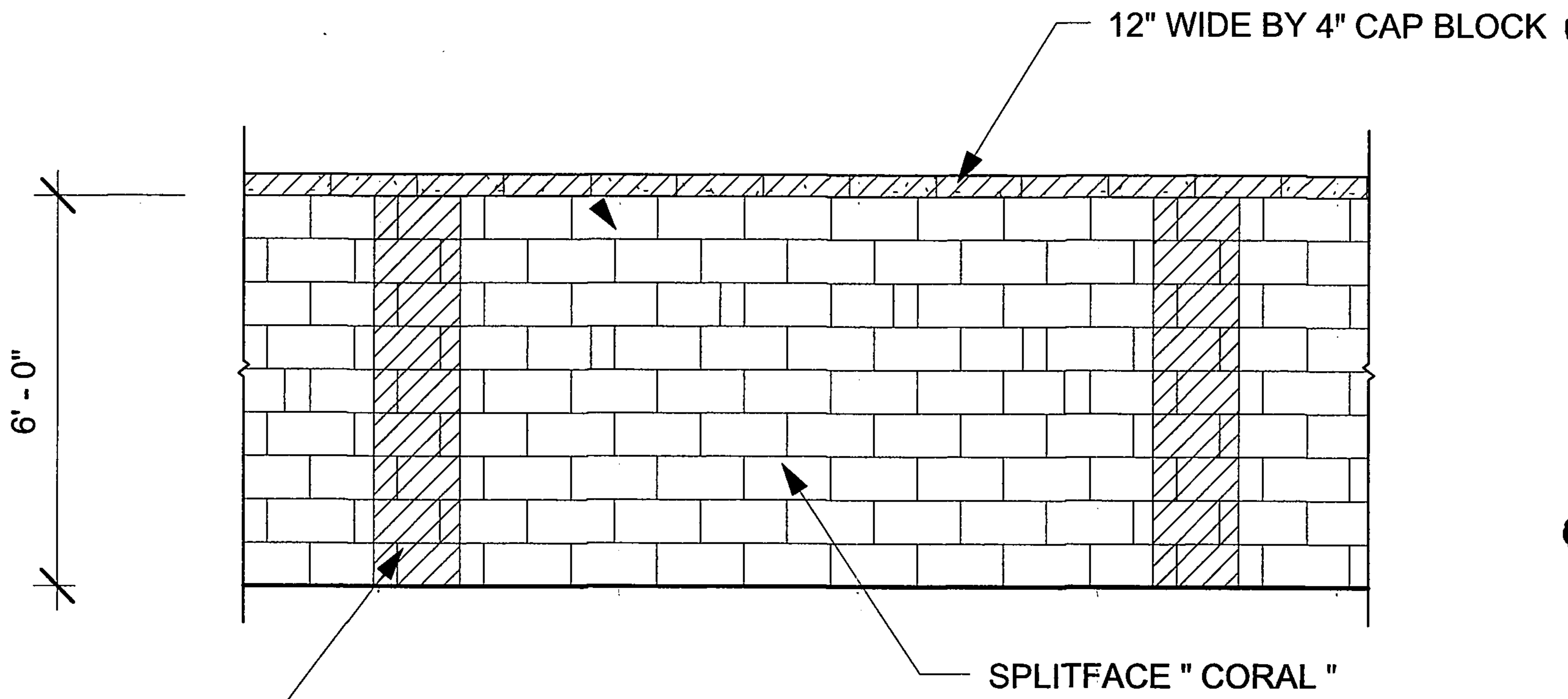
Postmark: **ALBUQUERQUE NM 87122**
DEC 18 2015

Postage	\$3.45
Certified Fee	\$0.00
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$6.74

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ALBUQUERQUE NM 87122
OFFICIAL USE

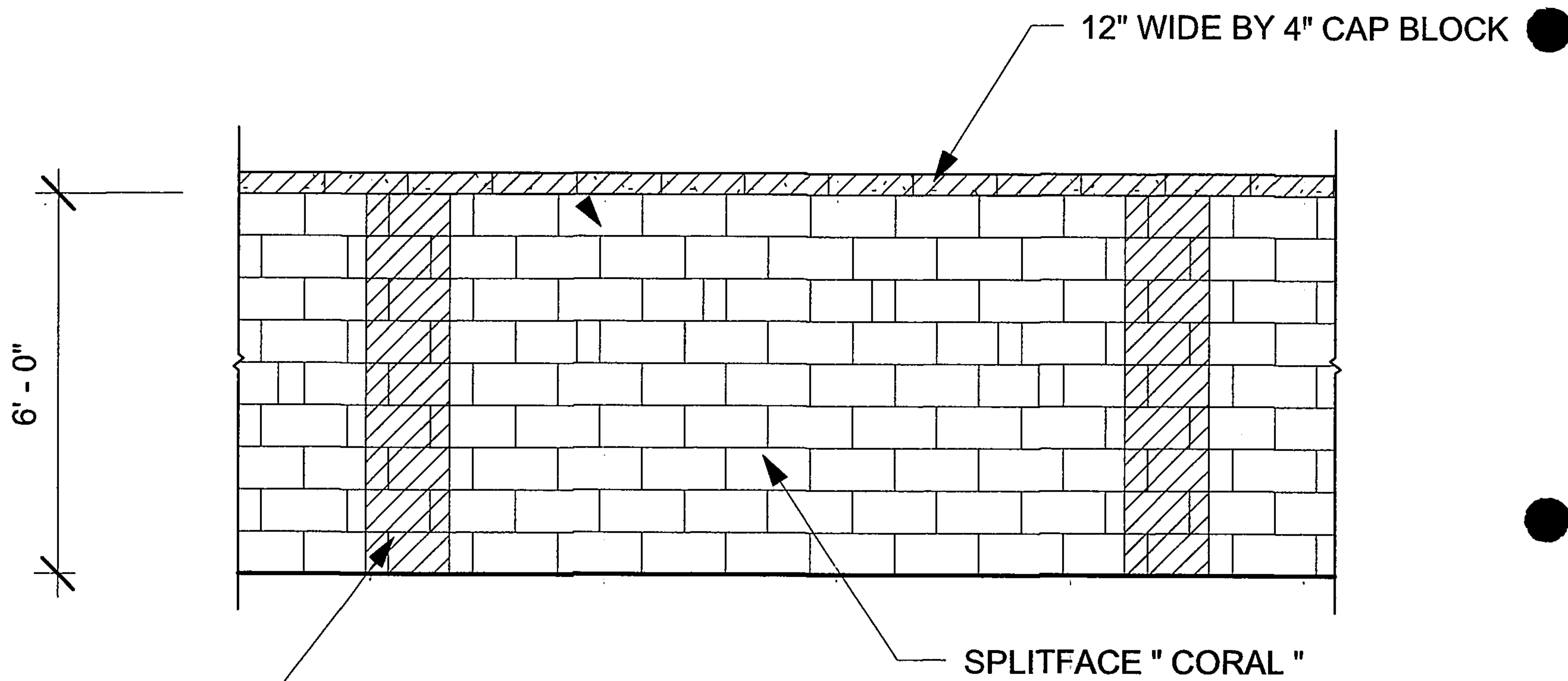
7013 1090 0002 4289 3456



2' WIDE COLUMNS FACED WITH
 MOSS ROCK, COLUMNS SPACED EVERY 24'

PERIMETER WALL DETAIL

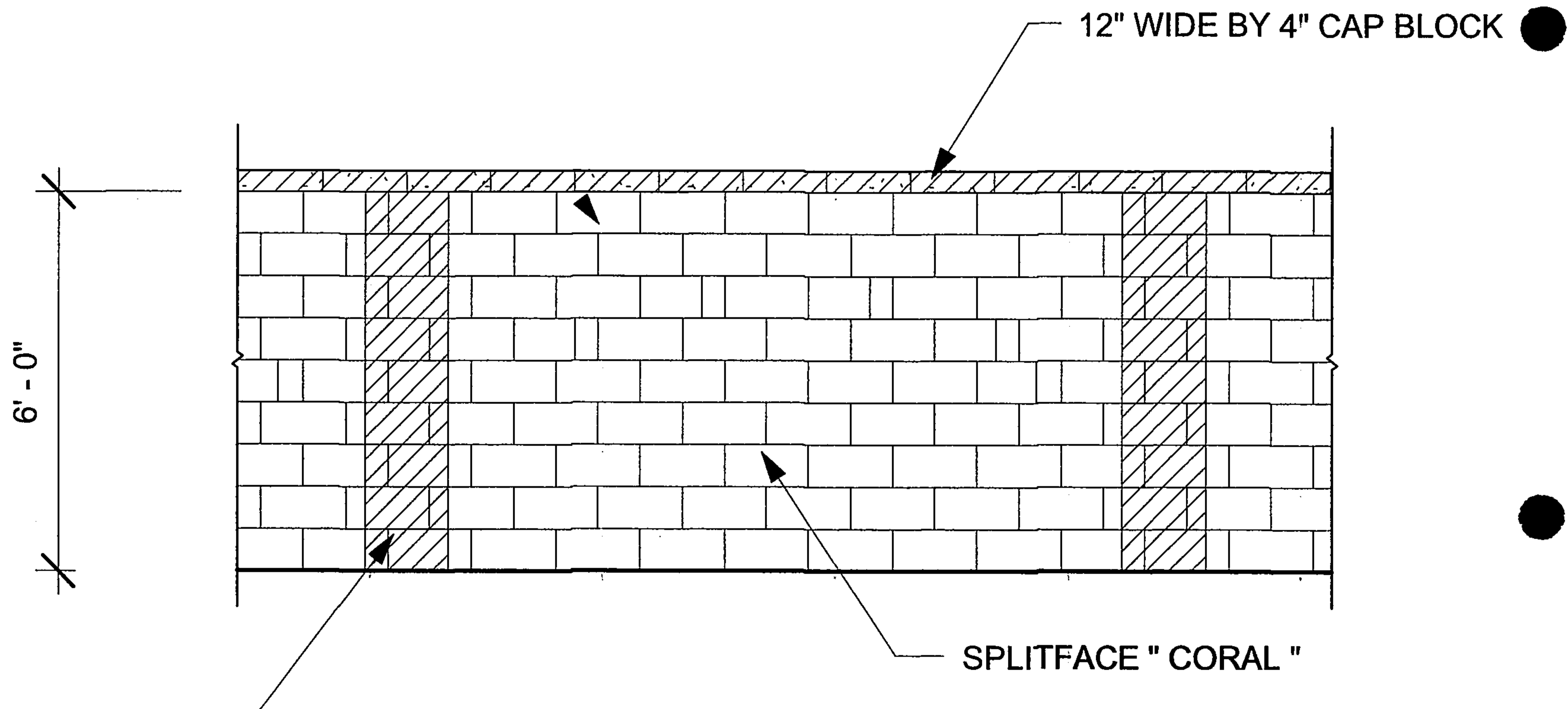
*WALL ALONG GLENDALE AND ENTRANCE



2' WIDE COLUMNS FACED WITH
MOSS ROCK, COLUMNS SPACED EVERY 24'

PERIMETER WALL DETAIL

*WALL ALONG GLENDALE AND ENTRANCE



2' WIDE COLUMNS FACED WITH
MOSS ROCK, COLUMNS SPACED EVERY 24'

PERIMETER WALL DETAIL

*WALL ALONG GLENDALE AND ENTRANCE

PROJECT #
1008656

VRU
PP
IDS



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*

FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 1008656

Board hearing date:

WEDNESDAY, February 4, 2014



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input checked="" type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: ASHTON HOMES LLC PHONE: _____
 ADDRESS: 3519 CAMPBELL FARM LANE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: VACATION OF RIGHT OF WAY

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A & B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: ESTATES AT GLENDALE
 Existing Zoning: SU1 FOR RD-5DU/AC Proposed zoning: SU1 FOR RD-5DU/AC MRGCD Map No _____
 Zone Atlas page(s): B19 UPC Code: 101906535803440125, 101906539103440124

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
1008656

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 14 Total site area (acres): 3.5
 LOCATION OF PROPERTY BY STREETS: On or Near: GLENDALE ROAD NE
 Between: WYOMING and BARSTOW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE DS DATE 1/9/14
 (Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>SDRB 70005</u>	<u>VROW</u>		<u>\$ 300.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADY</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>February 4, 2015</u>			Total <u>\$ 395.00</u>

VS
 Staff signature & Date 1-9-15

Project # 1008656

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 - ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.) **CITY OWNED PUBLIC RIGHT OF WAY**
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Soule
 Applicant name (print)
[Signature]
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 15DRB-70005

Form revised 4/07

[Signature]
 Planner signature / date
 Project # 1008656

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick-up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from January To February 4, 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

PM (Applicant or Agent) 1/9/15 (Date)

I issued 1 signs for this application, 1-9-15 (Date) [Signature] (Staff Member)

DRB PROJECT NUMBER: 1008656

January 8, 2015

Jack Cloud
Chairman
Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Vacation of Public Right of Way
Glendale Estates Unit 2
Project #1008656
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests DRB approval of public right-of way. The full width roadway has been constructed. The minimum dimension from back of sidewalk will be 10'. The vacation of the maximum 4 feet will not be detrimental to the public good.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

CC: Jeff Peterson
7800 Eagle Rock Ave
Albuquerque, NM 87122

Joe Yardumian
7801 RC Gorman Ave
Albuquerque NM 87122

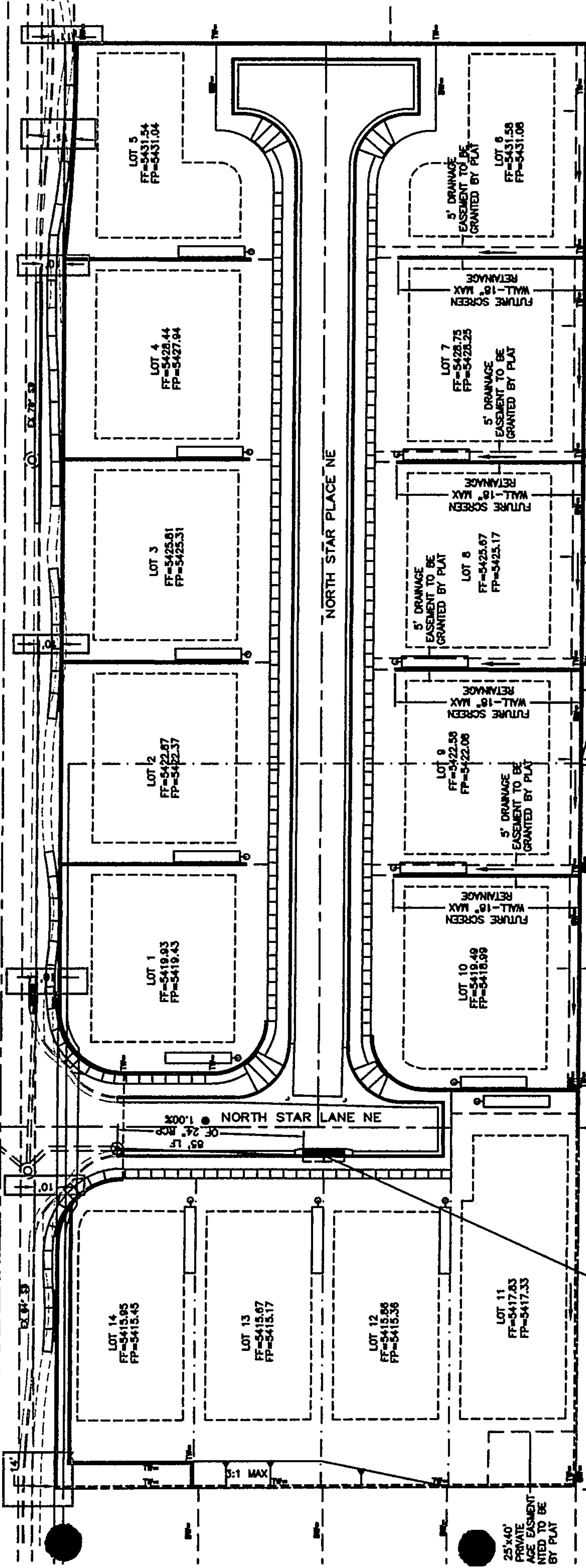
Charles Wong
8401 Via Encantada NE
Albuquerque, NM 87122

Kevin Hudenko
8109 Via Encantada NW
Albuquerque, NM 87122

GLENDALE AVE N.E.
EXISTING 60' ROW (56' ROW PROPOSED)

NORTH STAR PLACE NE

NORTH STAR LANE NE



LOT 5
FF=5431.54
FP=5431.04

LOT 4
FF=5428.44
FP=5427.84

LOT 3
FF=5425.81
FP=5425.31

LOT 2
FF=5422.87
FP=5422.37

LOT 1
FF=5419.93
FP=5419.43

LOT 14
FF=5415.95
FP=5415.45

LOT 13
FF=5415.07
FP=5415.17

LOT 12
FF=5415.86
FP=5415.36

LOT 11
FF=5417.83
FP=5417.33

LOT 6
FF=5431.58
FP=5431.08

LOT 7
FF=5428.75
FP=5428.25

LOT 8
FF=5425.87
FP=5425.17

LOT 9
FF=5422.58
FP=5422.08

LOT 10
FF=5419.48
FP=5418.98

25'x40'
PRIVATE
EASEMENT
TO BE
GRANTED TO BE
BY PLAT

5' DRAINAGE
EASEMENT TO BE
GRANTED BY PLAT

RETAINMENT
WALL - 10" MAX

5' DRAINAGE
EASEMENT TO BE
GRANTED BY PLAT

RETAINMENT
WALL - 10" MAX

5' DRAINAGE
EASEMENT TO BE
GRANTED BY PLAT

RETAINMENT
WALL - 10" MAX

5' DRAINAGE
EASEMENT TO BE
GRANTED BY PLAT

RETAINMENT
WALL - 10" MAX

5' DRAINAGE
EASEMENT TO BE
GRANTED BY PLAT

RETAINMENT
WALL - 10" MAX

5:1 MAX

85' LF
OF 24" RCP
1.00x

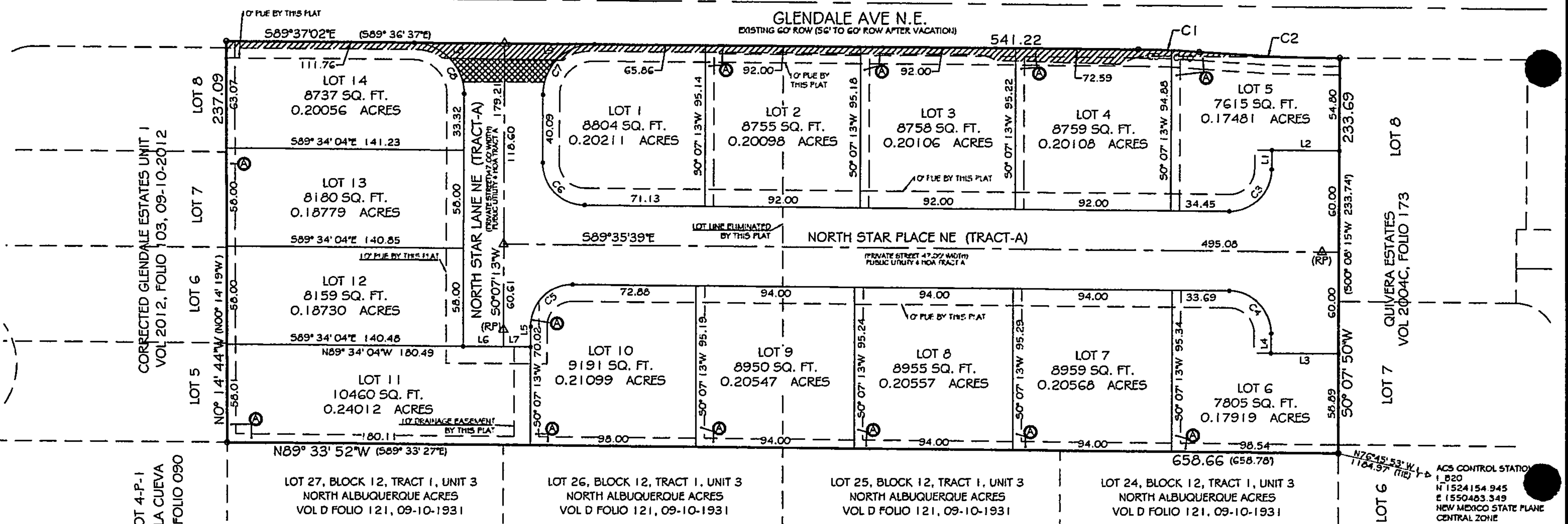
SUBDIVISION PLAT OF
LOTS 1-14
THE ESTATES AT GLENDALE, UNIT 2
 BEING A RE-PLAT OF TRACTS A AND B
 PROJECTED SECTION 7, T 11 N, R 4 E, N.M.P.M.
 ELENA GALLEGOS GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER 2014

LEGEND OF SYMBOLS
 ● FOUND MONUMENT AS NOTED
 ○ SET 5/8" REBAR WITH 1" MORASSE CAP 1.5 21082 OR
 PK NAIL WITH SHINER 21082"
 △ CITY OF ALBUQUERQUE CENTERLINE MONUMENT
 (RP) △ CITY OF ALBUQUERQUE CENTERLINE MONUMENT
 (10' OFFSET)

RIGHT OF WAY DEDICATED TO
 THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE WITH WARRANTY
 COVENANTS
 744 SQUARE FEET
 0.01706 ACRES
 [Cross-hatched symbol]

RIGHT OF WAY VACATED
 BY THIS PLAT
 VACA
 3133 SQUARE FT
 0.07193 ACRES
 CROSS HATCHED AREA
 [Diagonal hatched symbol]

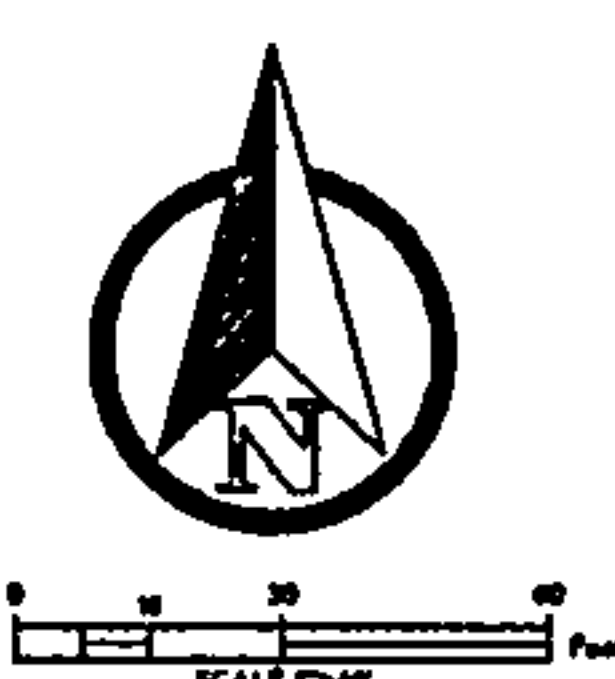
5' DRAINAGE EASEMENT
 GRANTED BY THIS PLAT
 [Circle with 'A' symbol]



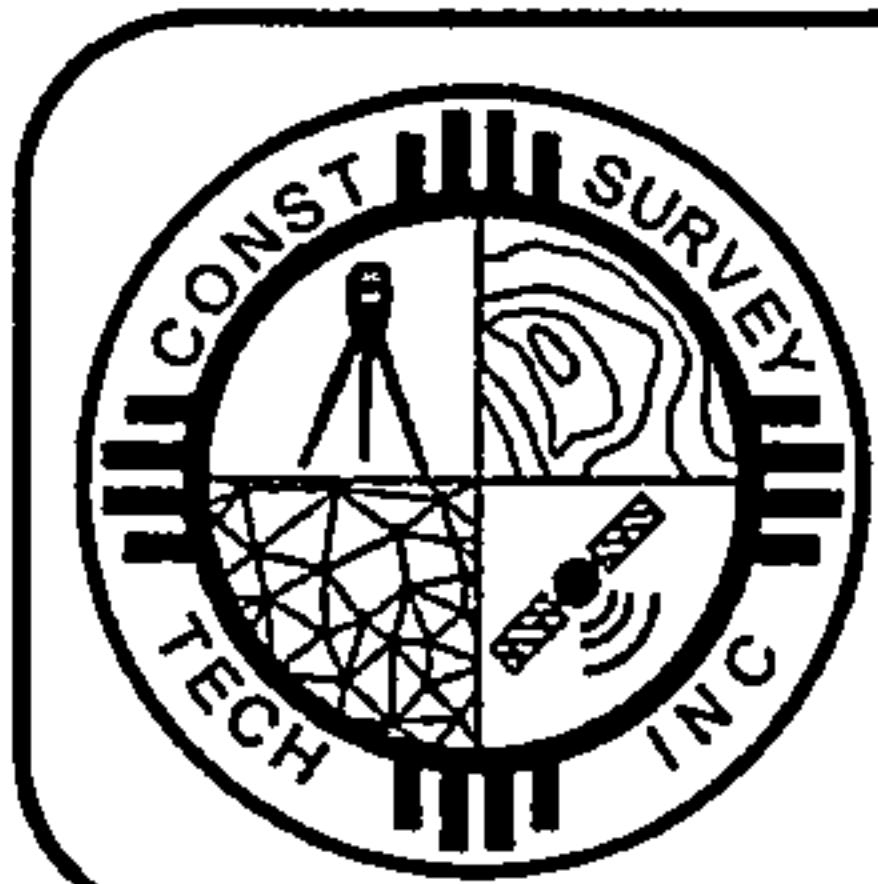
LOT 4-P-1
 DESERT HIGHLANDS @ LA CUEVA
 VOL 2003, FOLIO 090

Line #	Length	Direction
L1	11.38	N0° 07' 38"E
L2	39.99	S89° 35' 39"E
L3	39.98	N89° 35' 39"W
L4	11.62	N0° 07' 38"E
L5	12.00	S0° 07' 13"W
L6	23.50	S89° 34' 04"E
L7	16.50	S89° 34' 04"E
L8	53.36	S89° 37' 02"E
L9	53.64	S89° 37' 02"E

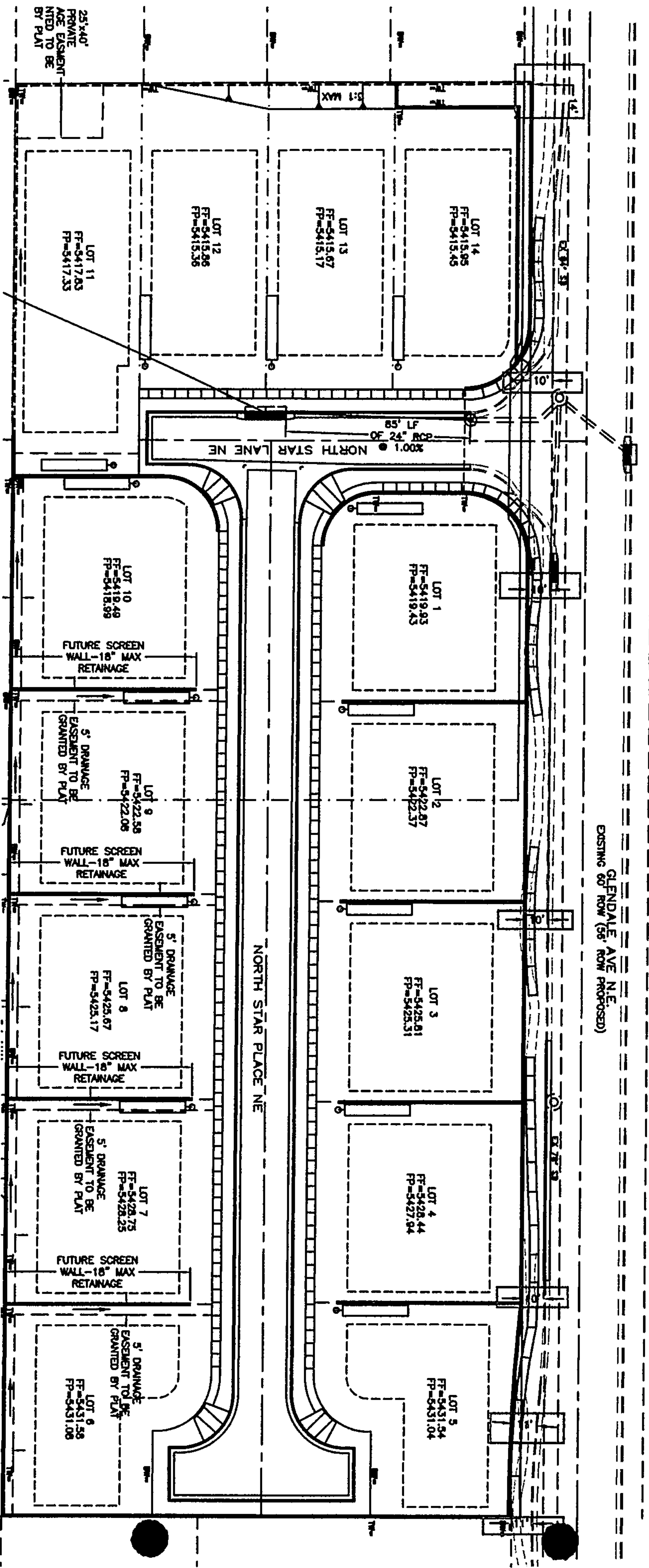
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	35.47	500.00	4.07	N87° 35' 04"W	35.47
C2	83.63	1094.20	4.38	S67° 44' 29"E	83.61
C3	39.39	25.00	90.28	S45° 16' 00"W	35.44
C4	39.15	25.00	89.72	N44° 44' 00"W	35.27
C5	39.39	25.00	90.29	N45° 15' 47"E	35.44
C6	39.15	25.00	89.71	N44° 44' 13"W	35.27
C7	47.26	30.00	90.26	N45° 15' 06"E	42.52
C8	46.99	30.00	89.74	S44° 44' 54"E	42.33
C9	19.42	500.00	2.23	N88° 30' 16"W	19.42
C10	16.06	500.00	1.84	N86° 28' 19"W	16.06



ACS CONTROL STATION
 I_B20
 N 1524154.945
 E 1550483.349
 NEW MEXICO STATE PLANE
 CENTRAL ZONE
 G G = 0.999651137
 DELTA ALPHA = -00°10'
 24.45"
 NAD 1983



CONSTRUCTION SURVEY TECHNOLOGIES, INC
 MAILING: PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921
 OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM



GLENDALE AVE N.E.
 EXISTING 60' ROW (5' ROW PROPOSED)

SUBDIVISION PLAT OF
LOTS 1-14
THE ESTATES AT GLENDALE, UNIT 2
 BEING A RE-PLAT OF TRACTS A AND B
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 ELENA GALLEGOS GRANT
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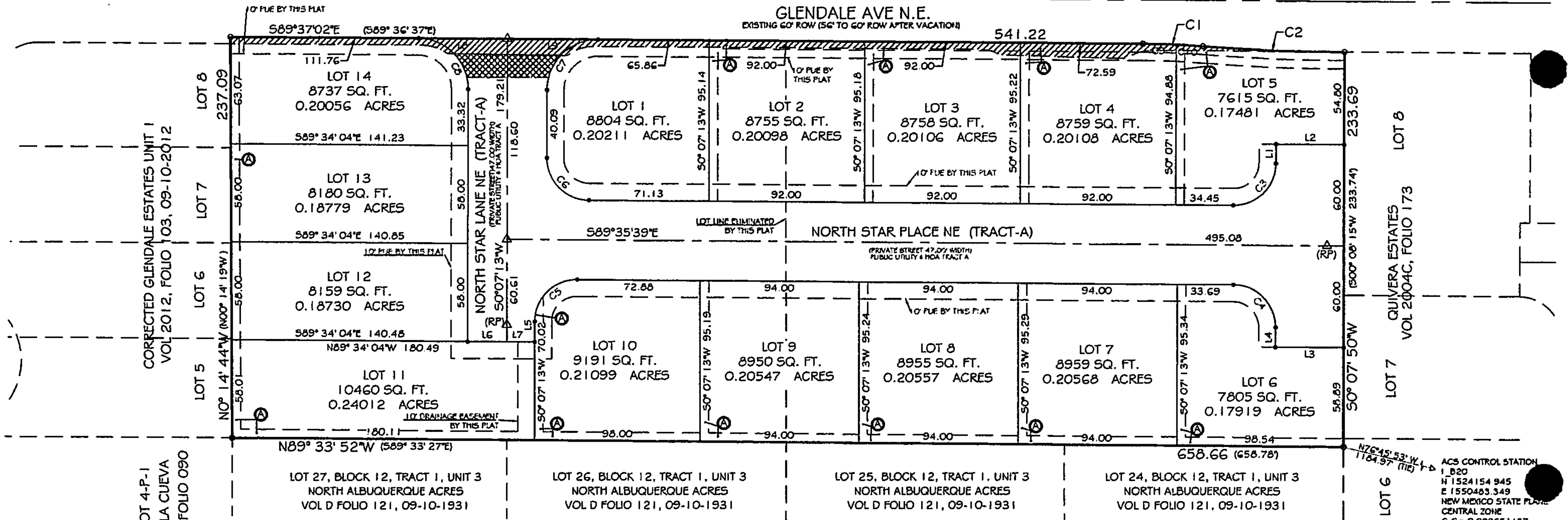
LEGEND OF SYMBOLS

- FOUND MONUMENT AS NOTED
- SET 5/8" REBAR WITH 1" MORASSE CAP "L5 21082 OR PK NAIL WITH SHINER "21082"
- △ CITY OF ALBUQUERQUE CENTERLINE MONUMENT
- (RP) △ CITY OF ALBUQUERQUE CENTERLINE MONUMENT (10' OFFSET)

RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS
 744 SQUARE FEET
 0.01706 ACRES

RIGHT OF WAY VACATED BY THIS PLAT
 VAC
 3133 SQUARE FT
 0.07193 ACRES
 CROSS HATCHED AREA

5' DRAINAGE EASEMENT GRANTED BY THIS PLAT

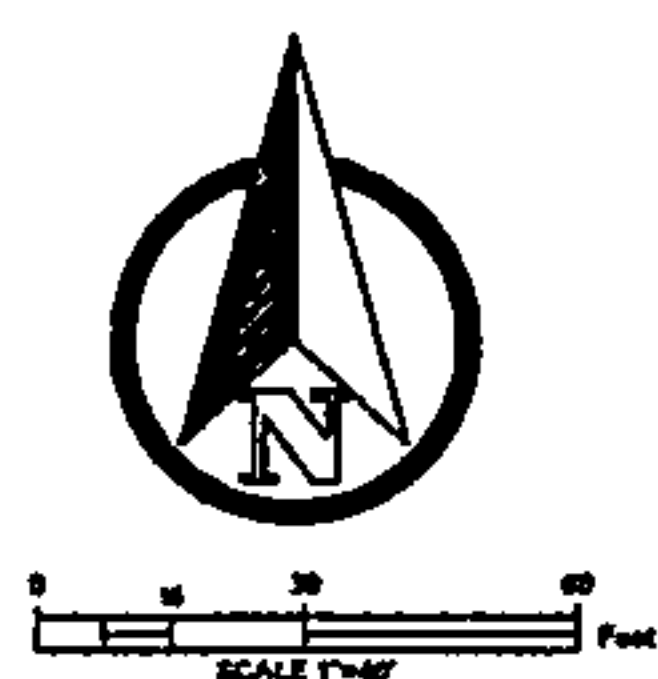


CORRECTED GLENDALE ESTATES UNIT 1
 VOL 2012, FOLIO 103, 09-10-2012
 DESERT HIGHLANDS @ LA CUEVA
 VOL 2003, FOLIO 090
 LOT 4-P-1

ACS CONTROL STATION
 I B20
 N 1524154.945
 E 1550483.349
 NEW MEXICO STATE PLATE
 CENTRAL ZONE
 G-G = 0.999651137
 DELTA-ALPHA = -00°10'
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 NAD 1983

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 NMSURVEYOR@GMAIL.COM

PROJECT#

10088056

February 4. 2015

VIRU



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input checked="" type="checkbox"/> for Subdivision			
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A		APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: ASHTON HOMES LLC PHONE: _____
 ADDRESS: 3519 CAMPBELL FARM LANE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: AMMENDMENT TO SITE PLAN
FOR SUBDIVISION AND PRELIMINARY PLAT / Minor

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A & B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: ESTATES AT GLENDALE
 Existing Zoning: SU1 FOR RD-5DU/AC Proposed zoning: SU1 FOR RD-5DU/AC MRGCD Map No _____
 Zone Atlas page(s): B19 UPC Code: 101906535803440125, 101906539103440124

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): _____
1008656

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 14 Total site area (acres): 3.5
 LOCATION OF PROPERTY BY STREETS: On or Near: GLENDALE ROAD NE
 Between: WYOMING and BARSTOW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE _____
 (Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>14DRB - 70407</u>	<u>P&E</u>		<u>\$1,125.00</u>
<input type="checkbox"/> All fees have been collected	<u>14DRB - 70408</u>	<u>SV</u>		<u>\$ 0</u>
<input type="checkbox"/> All case #s are assigned	<u>14DRB - 70409</u>	<u>SW</u>		<u>\$ 0</u>
<input type="checkbox"/> AGIS copy has been sent	<u>14DRB - 70410</u>	<u>AS/PS</u>		<u>\$ 50.00</u>
<input type="checkbox"/> Case history #s are listed		<u>CMF</u>		<u>\$ 20.00</u>
<input type="checkbox"/> Site is within 1000ft of a landfill				Total
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				

Hearing date December 31, 2014

[Signature]
 Staff signature & Date 12-12-14

Project # 1008656

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE) 24 copies
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements.
 ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
 VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)
 ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.
 (Not required for City owned public right-of-way.)
 ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21) 6 copies
 ___ X Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
 ___ X Zone Atlas map with the entire property(ies) clearly outlined
 ___ X Letter briefly describing, explaining, and justifying the variance or waiver
 ___ X List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
 ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the deferral or extension
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies
 ___ Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
 ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Sola
 Applicant name (print)
 Applicant signature / date



- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 14DRB - 70408
 14DRB - 70409

Form revised 4/07
 Planner signature / date
 Project # 1008656

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is**

required.

 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Salk

Applicant name (print)
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 14DRB - 70407

Form revised **October 2007**

Project # 1008656
 Planner signature / date 12-12-14

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) **Maximum Size: 24" x 36"**
 AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David Sault
 Applicant name (print)
[Signature]
 Applicant signature / date

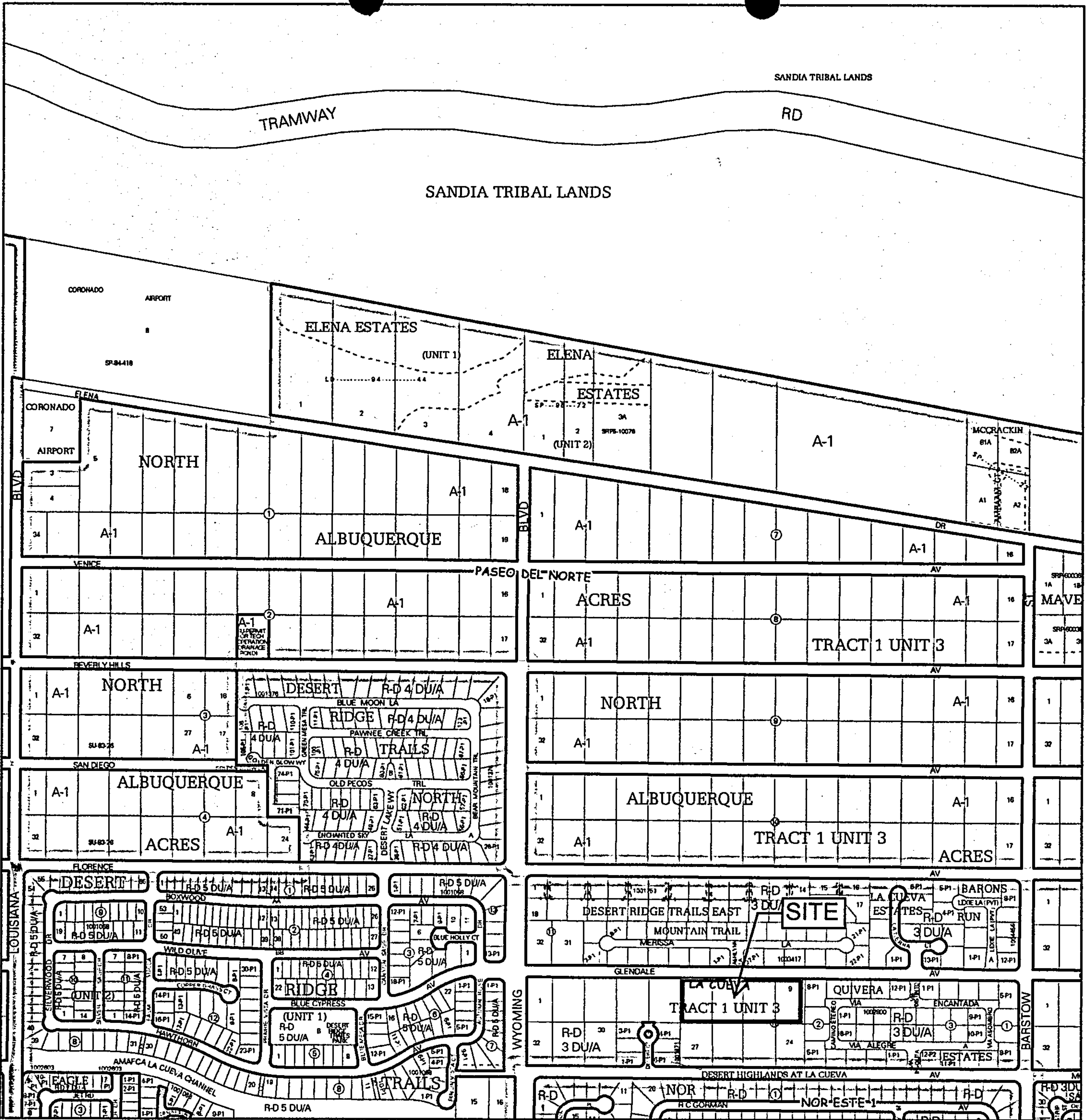


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
14DRB 70410

[Signature] 12-12-14
 Planner signature / date
 Project # 1008654



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-19-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

Map amended through: 2/4/2010

December 11, 2014

Jack Cloud
Chairman
Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Preliminary Plat/ Administrative Amendment
Glendale Estates Unit 2
Project #1008656
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests administrative approval of the attached amended site plan for subdivision. This project was initially heard by the DRB, discussion was had regarding Administrative Amendment Approval. The current planning manager deemed the changes to be within the guidelines set for administrative approval. The plans were submitted, and routed for department review. All of the department comments were incorporated. The City Engineer commented that the changes were such he requested we submit to DRB. Therefore we are submitting the attached Administrative Amendment for DRB review and approval. In addition we have included the preliminary plat for this development. Due to this being the second phase, we request the perimeter wall detail from phase one be utilized for this phase.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

CC: Jeff Peterson
7800 Eagle Rock Ave
Albuquerque, NM 87122

Joe Yardumian
7801 RC Gorman Ave
Albuquerque NM 87122

Charles Wong
8401 Via Encantada NE
Albuquerque, NM 87122

Kevin Hudenko
8109 Via Encantada NW
Albuquerque, NM 87122

Project 1008656 AA

Hydrology comments

This project came to DRB for Sketch Plat Review. Hydrology comments were "An approved drainage report, grading plan and infrastructure list will be required for Preliminary Plat approval." Comments are still appropriate for the Preliminary Plat and for the Site Plan for Subdivision.

An Administrative Amendment is not appropriate as this proposal changes 100% of the property. The Preliminary Plat will be heard at the DRB and this site plan should be heard at the same time.

Curtis Cherne, P.E.

Project #1008656

Water Authority Comments: Approved with conditions. A 30' public water and sewer line easement will be required for all the cul-de-sacs.

**Allan Porter, P.E.
Water Utility Authority
Utility Development**

10-06-14 Project # 1008656 Administrative Amendment Request

Transportation Development Comments:

1. Show curb radii for entrance into subdivision on North Star Lane NE.
2. Provide written approval from Fire Marshall and Solid Waste Management for the new hammerhead.

Contact: Kristal Metro, 924-3991, kmetro@cabq.gov

Letter of Authorization

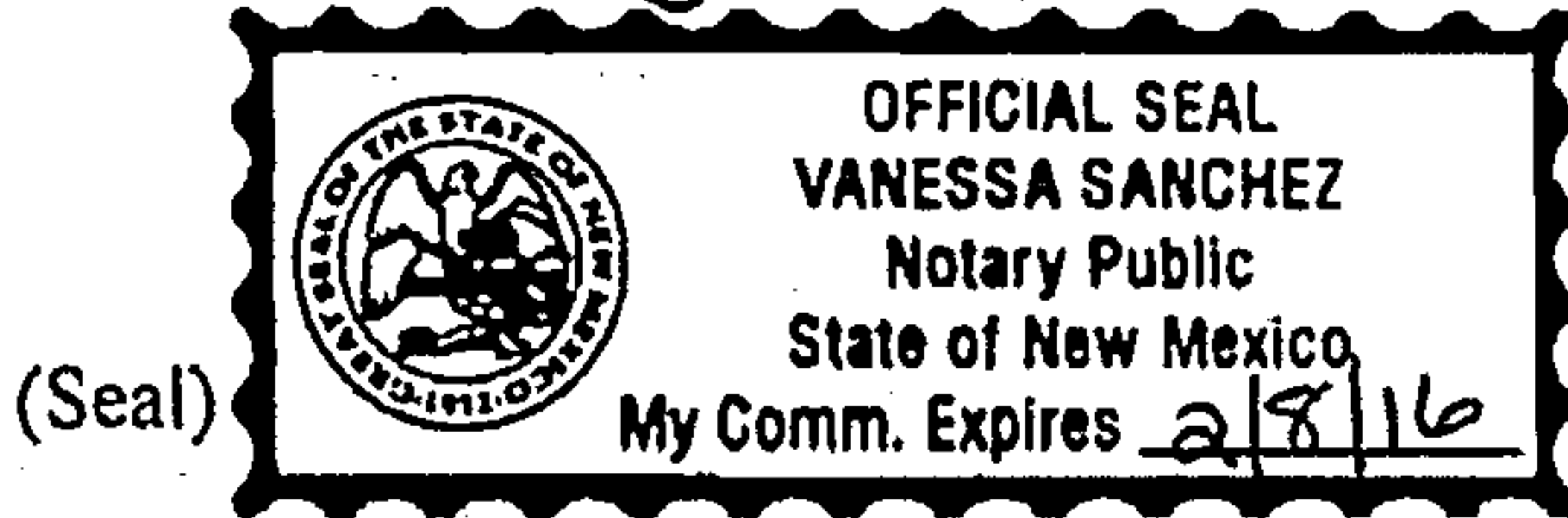
We, ASHTON HOMES, LLC, owner of TRACT A & B, THE ESTATES AT GLENDALE UNIT 1, UPC#101906535803440125, 109906539103440124, hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for site plan for subdivision, preliminary and final platting actions required within the City of Albuquerque, Bernalillo County New Mexico for the subject property

Randall J. Schmille, MM
Signature
Ashton Homes LLC
Randall J. Schmille, MM
Name (typed or printed) and title

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on NOV 24, 2014 by Randall Schmille as Managing Member of Ashton Homes LLC a corporation.



Vanessa Sanchez
Notary Public

My commission expires: 02/08/2016



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

April 25, 2012

Project# 1008656

12DRB-70073 VACATION OF EASEMENT
12DRB-70074 SIDEWALK VARIANCE
12DRB-70075 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS
12DRB-70076 MINOR - TEMP DEFERRAL SIDEWALK CONSRUCTION
12DRB-70077 PRELIMINARY PLAT
12DRB-70102 EPC APPROVED SDP FOR SUBDIVISION

MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for GLENDALE, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 4-9, Block 12, **NORTH ALBUQUERQUE ACRES Tract 1 Unit 3**, zoned R-D, located on the south side of GLENDALE AVE NE between WYOMING BLVD NE and BARSTOW ST NE. containing approximately 5.993 acre(s). (B19)[*Deferred from 3/28/12, 4/18/12*]

At the April 25, 2012 Development Review Board meeting, the vacation was approved as shown on exhibit B in the planning file per section 14-14-7-2(a) (1) and (b) (1)(3) of the subdivision ordinance. A sidewalk variance for a meandering sidewalk and 4 foot sidewalk width on Glendale, and for temporary deferral of construction of sidewalks on the interior streets was approved as shown on the Sidewalk and Variance Exhibit in the planning file. A subdivision design variance from minimum DPM design standards was approved as shown on the Sidewalk and Variance Exhibit and the Site Development Plan for Subdivision in the planning file.

With the signing of the infrastructure list dated 4/25/12 and with an approved grading and drainage plan engineer stamp dated 4/23/12, the preliminary plat was approved with the addition of noting the separation distance of 5 ft in Section "E-E".

The Site Development Plan for Subdivision was approved and delegated to Planning for revisions to the Landscape Plan.

Findings

The public welfare is in no way served by retaining the easement; based on the proposed plat, the City of Albuquerque does not anticipate any need to utilize the existing easement for drainage purposes.

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If site development plan delegated to Planning for revisions to the Landscape Plan. to

If you wish to appeal this decision, you must do so by May 10, 2012 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



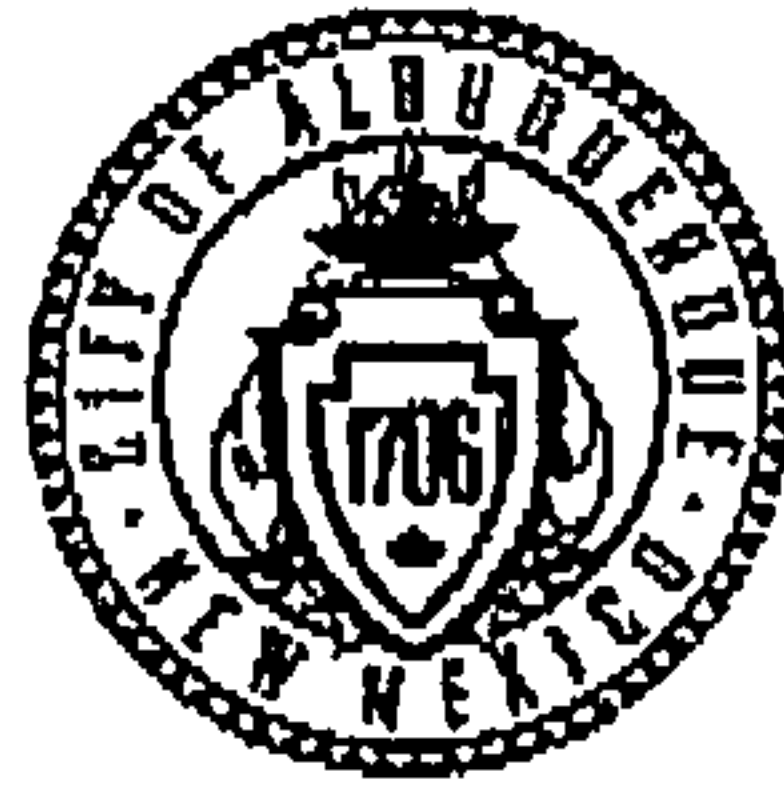
Jack Cloud, DRB Chair

Cc: Mark Goodwin & Associates P.A.

Cc: Glendale LLC

Marilyn Maldonado

File



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

November 14, 2014

David Soule
Rio Grande Engineering
P.O. Box 93924
Phone: 505-321-9099/Fax: 505-872-0999
E-mail: david@riograndeengineering.com

Dear David:

Thank you for your inquiry of November 14, 2014 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – TRACTS A& B, ESTATES AT GLENDALE, LOCATED ON GLENDALE AVENUE NE BETWEEN WYOMING BOULEVARD NE AND BARSTOW STREET NE** zone map **B-19**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

NOR ESTE N.A. "R"

Jeff Peterson, 7800 Eagle Rock Ave. NE/87122-2723 797-3477 (h)
Joe Yardumian, 7801 R.C. Gorman Ave. NE/87122-2748 797-1851 (h)

QUIVERA ESTATES H.O.A.

Charles Wong, 8104 Via Encantada NE/87122 235-7695 (c)
Kevin Hudenko, 8109 Via Encantada NE/87122 228-8082 (c)

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before the Planning Department will accept your application filing. IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

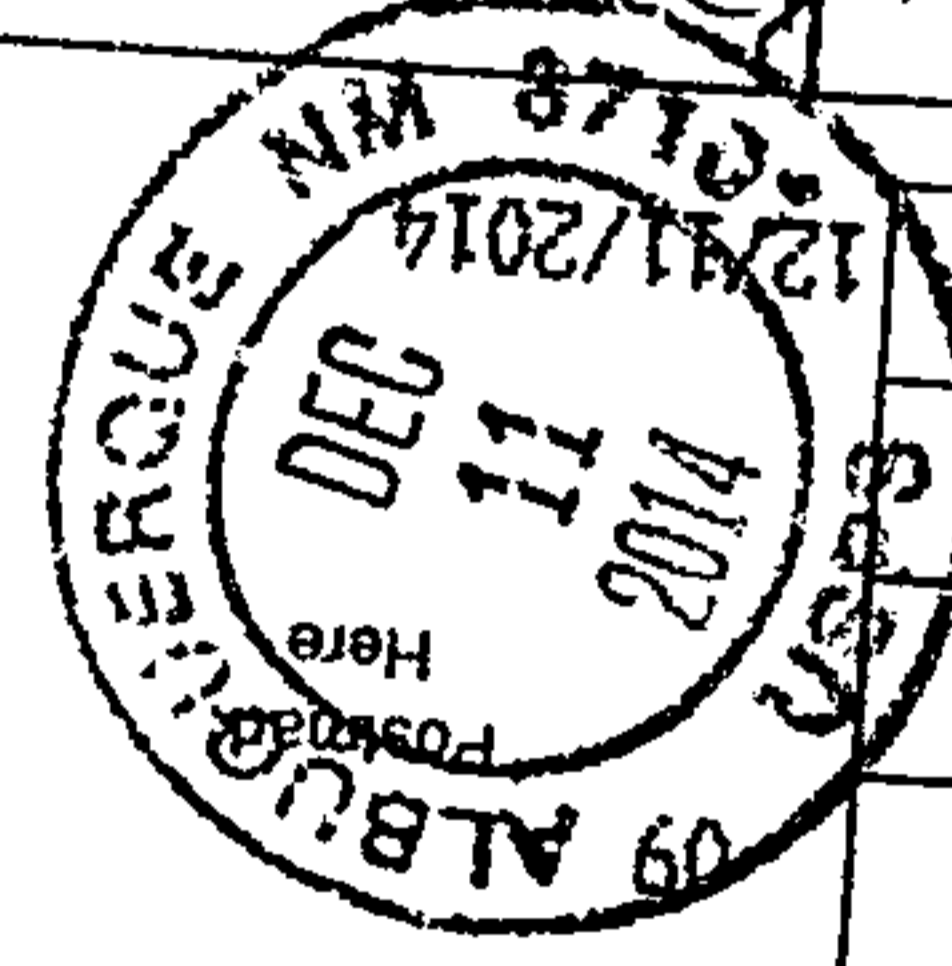
Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **11/14/14** Time Entered: **9:10 a.m.** ONC Rep. Initials: **siw**

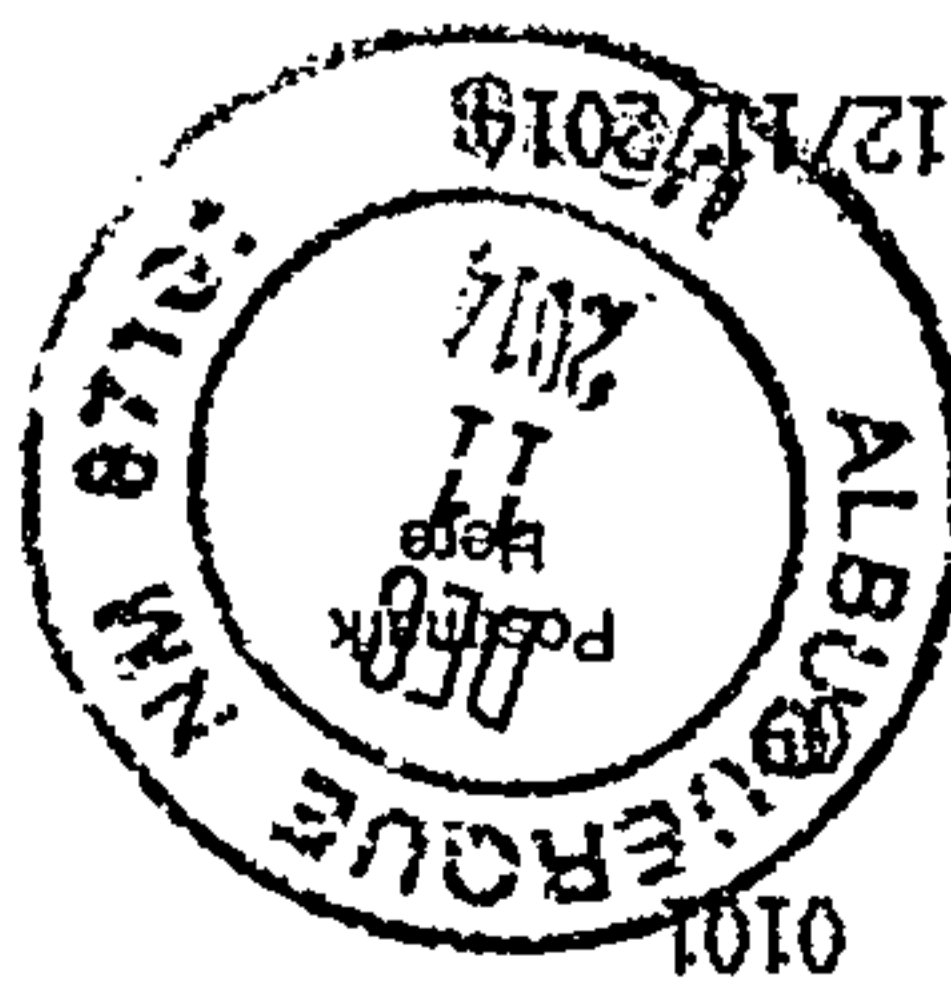
PS Form 3800, August 2006
 Sent To: Kevin Hudson
 Street, Apt. No.: 8109 Vin Encinas
 City, State, ZIP+4: Albuquerque, NM 87122



Postage	\$	\$0.70
Certified Fee	\$	\$3.30
Return Receipt Fee (Endorsement Required)	\$	\$2.70
Restricted Delivery Fee (Endorsement Required)	\$	\$0.00
Total Postage & Fees	\$	\$6.70

U.S. Postal Service™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)
 ALBUQUERQUE, NM 87122
 For delivery information visit our website at www.usps.com

PS Form 3800, August 2006
 Sent To: Jeff P-15th
 Street, Apt. No.: 3800 Esplanade
 City, State, ZIP+4: Albuquerque, NM 87122



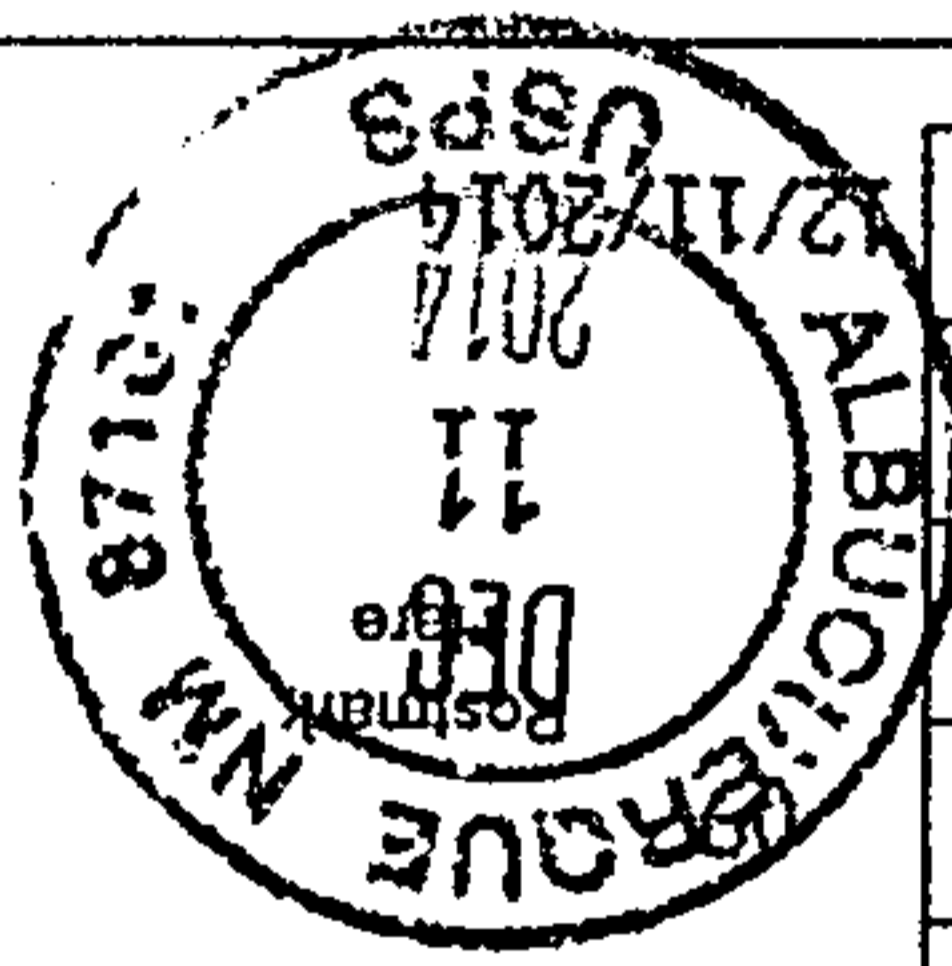
Postage	\$	\$0.70
Certified Fee	\$	\$3.30
Return Receipt Fee (Endorsement Required)	\$	\$2.70
Restricted Delivery Fee (Endorsement Required)	\$	\$0.00
Total Postage & Fees	\$	\$6.70

U.S. Postal Service™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)
 ALBUQUERQUE, NM 87122
 For delivery information visit our website at www.usps.com

7013 1090 0002 4289 3616

7013 1090 0002 4289 3609

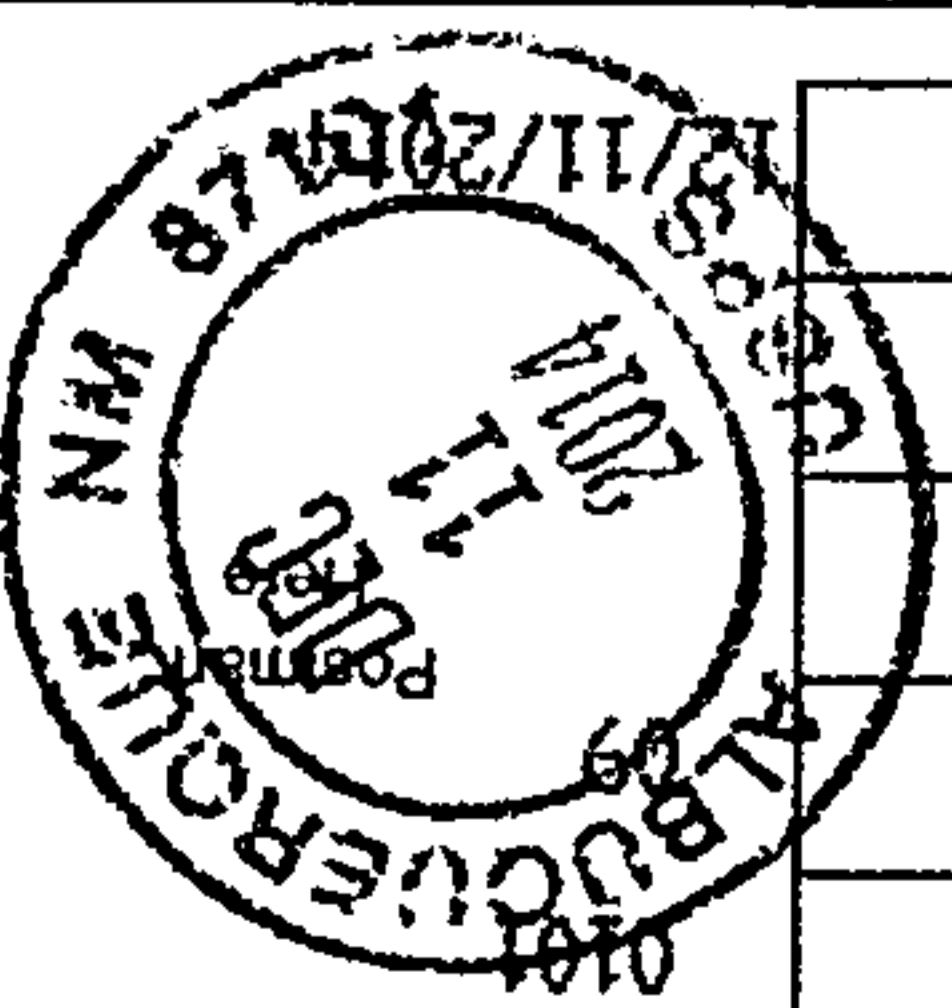
PS Form 3800, August 2006
 Sent To: Joe Yarbrough
 Street, Apt. No.: 3801 RC Gorman Ave
 City, State, ZIP+4: Albuquerque, NM 87122



Postage	\$	\$0.70
Certified Fee	\$	\$3.30
Return Receipt Fee (Endorsement Required)	\$	\$2.70
Restricted Delivery Fee (Endorsement Required)	\$	\$0.00
Total Postage & Fees	\$	\$6.70

U.S. Postal Service™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)
 ALBUQUERQUE, NM 87122
 For delivery information visit our website at www.usps.com

PS Form 3800, August 2006
 Sent To: Charles Wong
 Street, Apt. No.: 8401 Vin Encinas
 City, State, ZIP+4: Albuquerque, NM 87122



Postage	\$	\$0.70
Certified Fee	\$	\$3.30
Return Receipt Fee (Endorsement Required)	\$	\$2.70
Restricted Delivery Fee (Endorsement Required)	\$	\$0.00
Total Postage & Fees	\$	\$6.70

U.S. Postal Service™ RECEIPT
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 ALBUQUERQUE, NM 87122
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See Reverse for Instructions

See Reverse for Instructions

See Reverse for Instructions

See Reverse for Instructions

EXHIBIT A

PRELIMINARY

PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

ASHTON HOMES, LLC ("Developer") effective as of this ____ day of NOVEMBER, 2014 and pertains to the subdivision commonly known as ESTATES AT GLENDALE UNIT 2, and more particularly described as TRACTS A AND B, ESTATES AT GLENDALE UNIT 1

(the "Subdivision".)

WHEREAS, In order to provide for APS becoming more knowledgeable of development plans within the City so that APS may better plan for future growth, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, DEVELOPER is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance;

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees that a facilities fee will be paid to APS for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
 - If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.
 - If the permit is issued on or after August 1, 2011 the fee shall be \$1075 per dwelling

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60%) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.

4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the

transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.

5. This contract may be recorded in the office the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."

6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgement in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

DRB Project # 1008656

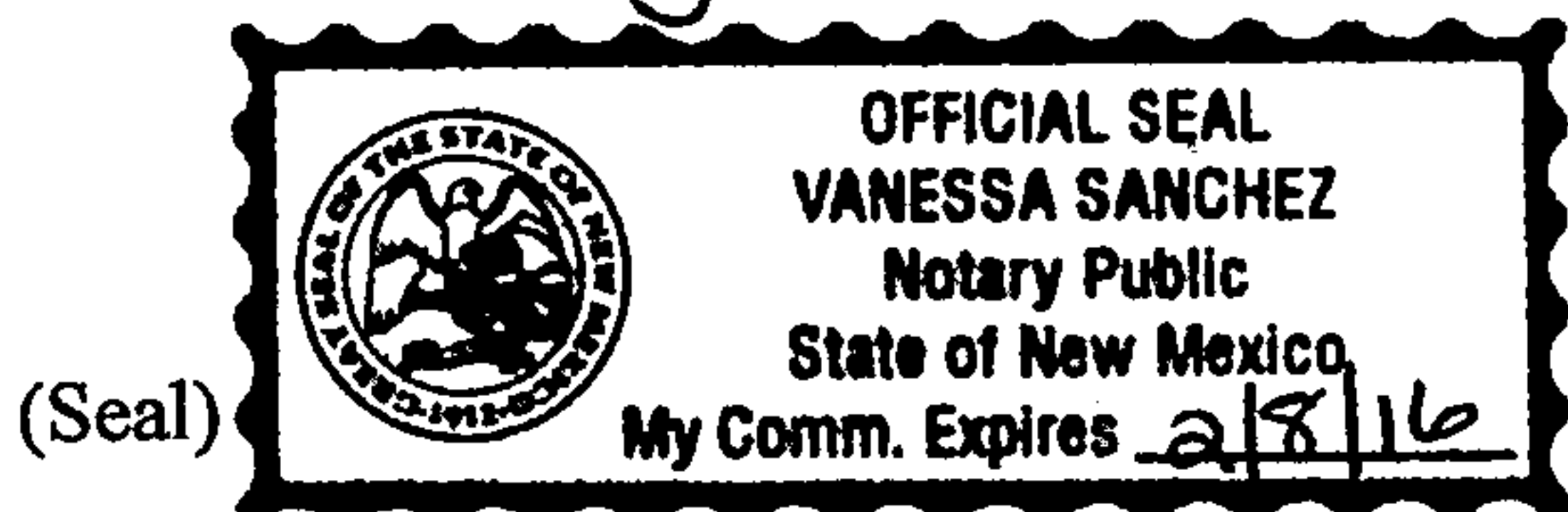
APS Cluster LA CUEVA

Randall J. Schmitte, MM
Signature
Ashton Homes LLC
Randall J. Schmitte MM
Name (typed or printed) and title

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on NOV 24, 2014 by Randall Schmitte as Managing Member of Ashton Homes LLC, a corporation.



Vanessa Sanchez
Notary Public

My commission expires: 02/08/2016

ALBUQUERQUE PUBLIC SCHOOLS

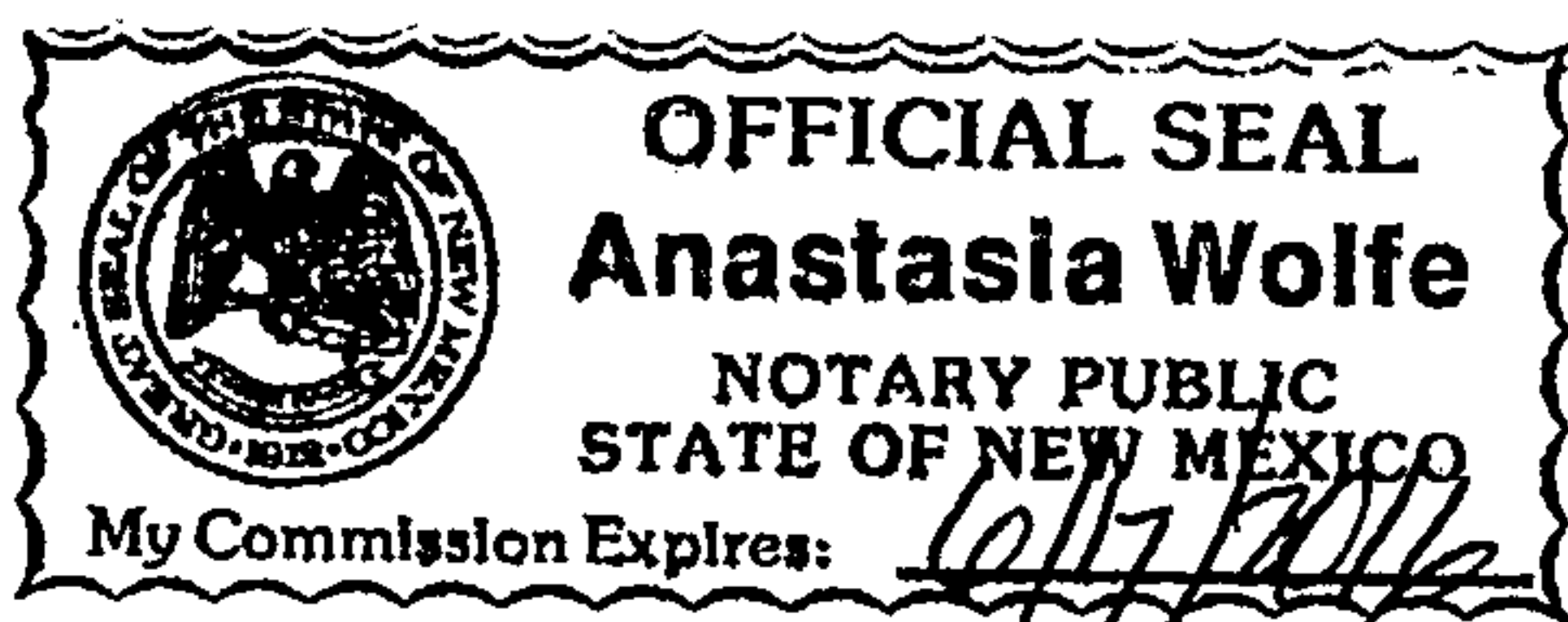
By: April L. Winters
Signature

April L. Winters, Facility Fee Planner
Name (typed or printed) and title

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Dec. 5, 2014, by April L. Winters as Facility Fee Planner of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, and school district organized and existing under the laws of the State of New Mexico.

(Seal)



Anastasia Wolfe
Notary Public

My commission expires: 6/17/2016

PROJECT #
1008656

DECEMBER 31. 2014

P of
2V-
3W
ASFS



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
<input type="checkbox"/> for Subdivision			<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)			
STORM DRAINAGE (Form D)	L	A	APPEAL / PROTEST of...
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: ASHTON HOMES LLC PHONE: _____
 ADDRESS: 3519 CAMPBELL FARM LANE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: SKETCH PLAT COMMENTS FOR AMMENDMENT TO SITE PLAN FOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A & B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: ESTATES AT GLENDALE
 Existing Zoning: SU1 FOR RD-5DU/AC Proposed zoning: SU1 FOR RD-5DU/AC MRGCD Map No _____
 Zone Atlas page(s): B19 UPC Code: 101906535803440125, 101906539103440124

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
1008656

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 14 Total site area (acres): 3.5
 LOCATION OF PROPERTY BY STREETS: On or Near: GLENDALE ROAD NE
 Between: WYOMING and BARSTOW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 7/1/14
 (Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14DRB-70233</u>	<u>SK</u>		\$ <u>20</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>July 16, 2014</u>			Total \$ <u>20</u>

[Signature] 7-8-14 Staff signature & Date Project # 1008656

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
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- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
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- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
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AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David J. Sed

Applicant name (print)

[Signature]
Applicant signature / date

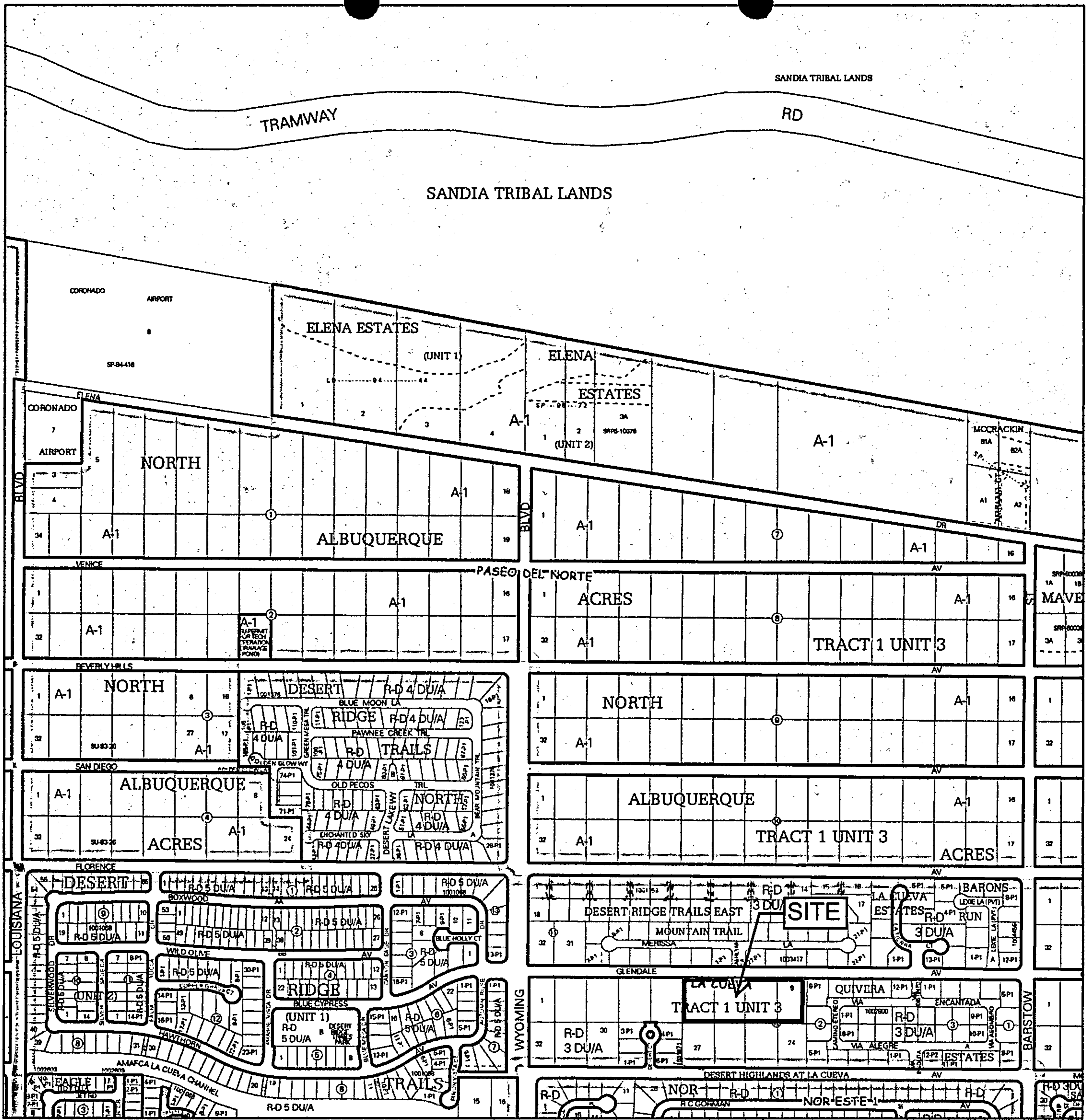


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 14DRB-70233

[Signature] 78-14
 Planner signature / date
 Project # 1008256



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-19-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

July 1, 2014

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Sketch Plat Comments
Glendale Estates Unit 2
Project #1008656
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests sketch plat comments on the enclosed site plan. The proposed development was initially approved with 3 phases. Each phase consisted of an 8-lot cul-de-sac. The offsite improvements including the entrance drives were constructed with phase 1. The developer has chosen to revise the plans based upon market conditions. The proposed development will reduce the number of lots by two. In addition the subdivision geometry has been revised such that a single access point is utilized. The purpose of this review is to determine whether the proposed changes can be accomplished with an administrative or DRB approval rather than and EPC review. In addition some of the internal private roadways are atypical and we would like to obtain transportation comments. Based upon the sketch plat comments we will proceed with the new site plan for subdivision procedure

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

40.07
38.9

PROJECT #

1008656

July 16. 2014

SK



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mark Goodman & Associates, PA PHONE: 828-2200
 ADDRESS: PO Box 90606 FAX: 797-9539
 CITY: Albuquerque STATE NM ZIP 87199 E-MAIL: Kbrashear@goodman-engineers.com

APPLICANT: Ashton Homes LLC PHONE: 315-0312
 ADDRESS: 3519 Campbell Farm Lane FAX: _____
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: Schmilleco@yahoo.com
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: Final Plat Approval for Ashton Estates at Glendale

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 4-9, Tract 1 Block: 12 Unit: 3
 Subdiv/Addn/TBKA: North Albuquerque Acres
 Existing Zoning: R-D 3 D/A Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): B-19 UPC Code: see attached

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
Project # 1008656 12 DRB 70073/74/75/76/77

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? no
 No. of existing lots: 6 No. of proposed lots: 8/2 Tracts Total site area (acres): 5.9936
 LOCATION OF PROPERTY BY STREETS: On or Near: Glendale Avenue
 Between: Wyoming Blvd and Barstow Street

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Kay Brashear DATE 8-6-12
 (Print Name) Kay Brashear Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>70242</u>	<u>FP</u>	<u>513</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMP</u>	_____	\$ <u>20,000</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
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<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>8/15/12</u>	_____	_____	\$ <u>20,000</u>

Project # 1008656

Staff signature & Date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
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MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

Review Dr. [unclear] Pending

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kay Brashear
Applicant name (print)
Kay Brashear 8/6/12
Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers
<input checked="" type="checkbox"/> Fees collected	2012 - 2020
<input checked="" type="checkbox"/> Case #s assigned	_____
<input checked="" type="checkbox"/> Related #s listed	_____

[Signature] 8/6/12
Planner signature / date
Project # 1008656



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

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- for Subdivision
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Revised: 6/2011

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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kay Broshear Applicant name (print)
Kay Broshear Applicant signature / date 8/16/12

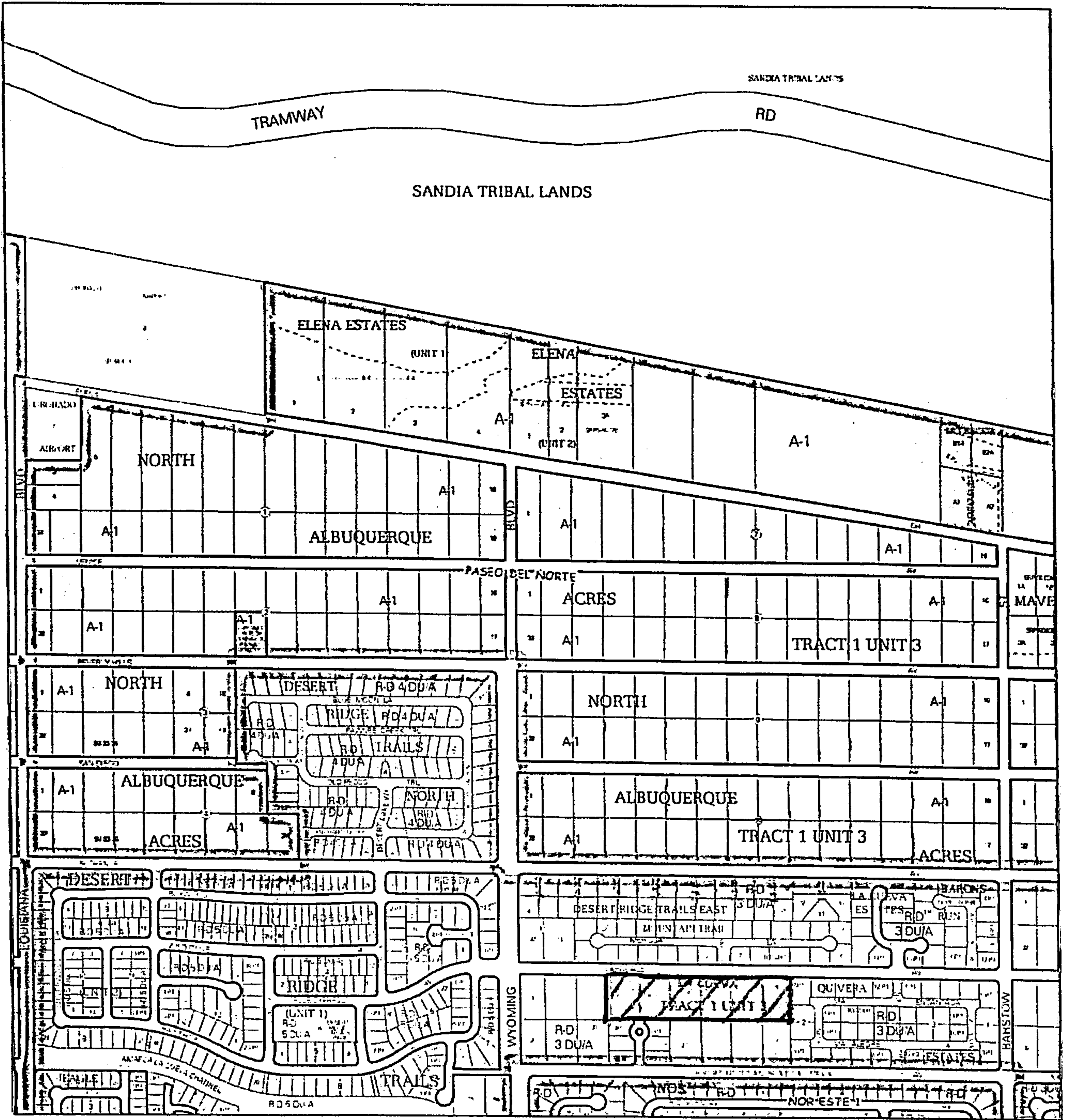


Form revised October 2007

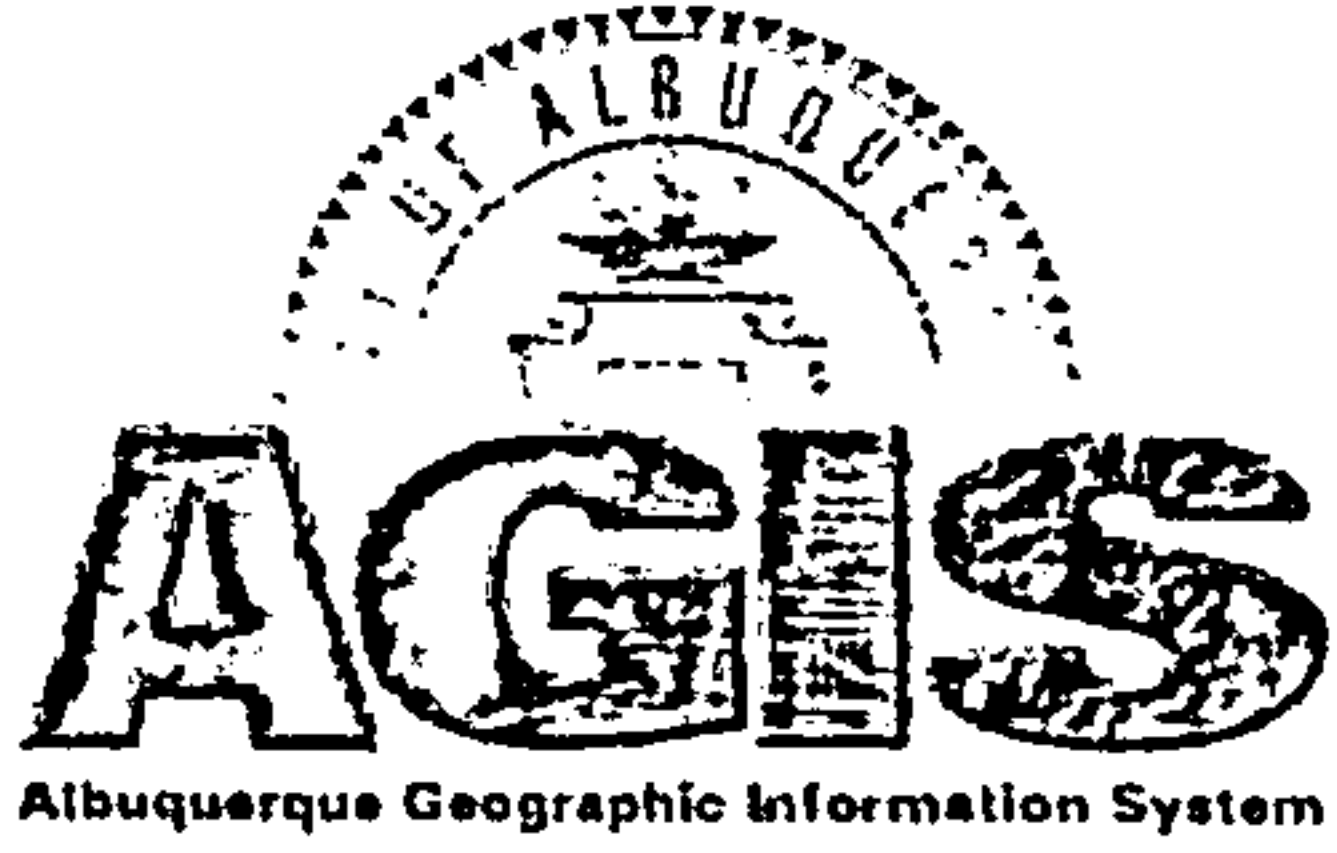
- Checklists complete
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- Case #s assigned
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Application case numbers
2012 - 20202

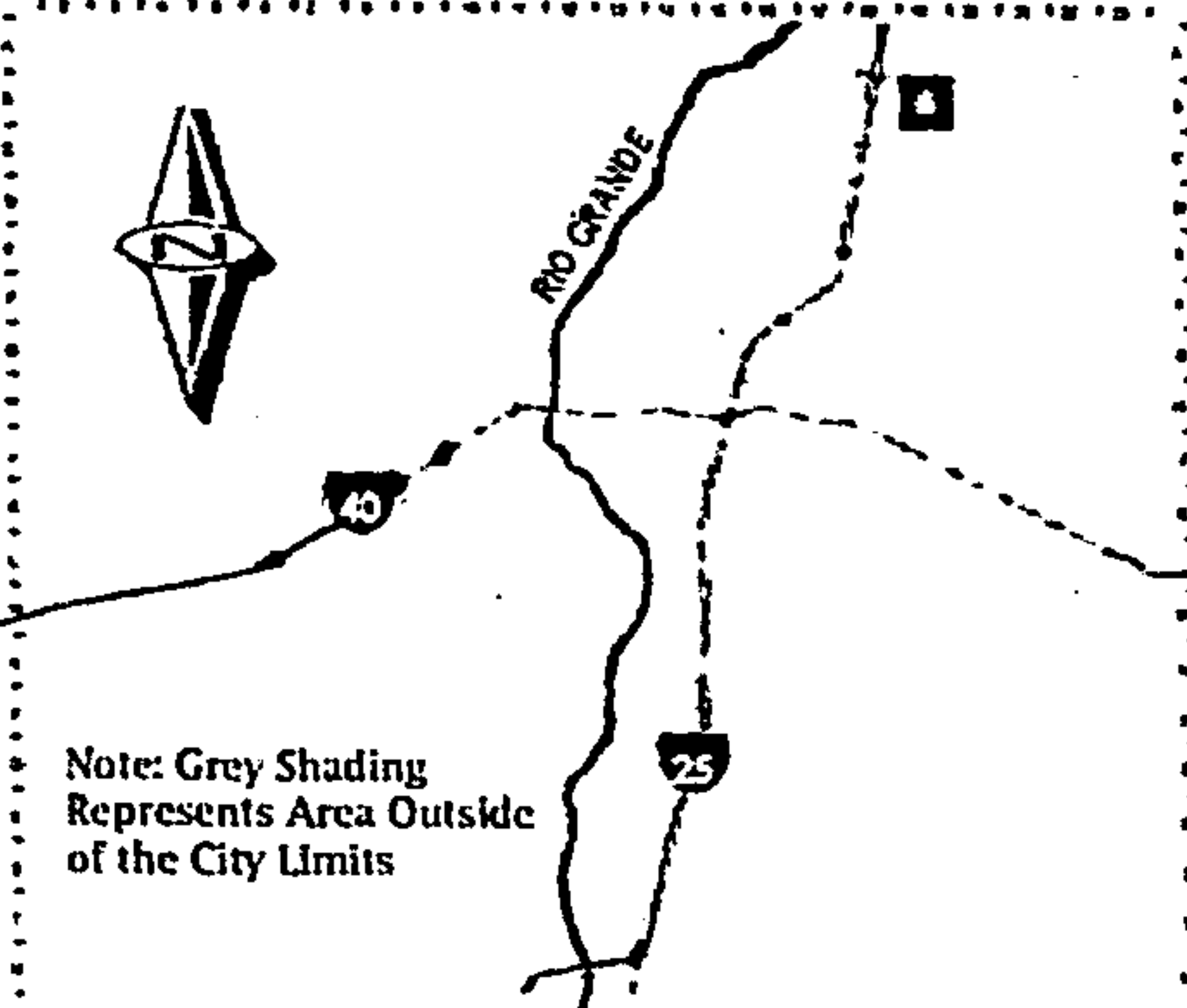
JLS 8/16/12
 Planner signature / date
 Project # 1008656



For more current information and more details visit <http://www.cabq.gov/gis>



Map amended through: 2/1/2010



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
B-19-Z

Selected Symbols

SECTOR FLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet

No. of Lots: 8
Nearest Major Streets: Barstow and Wyoming

FIGURE 12

SUBDIVISION IMPROVEMENTS AGREEMENT
PUBLIC AND/OR PRIVATE
(Procedure B)

Estates at Glendale

CPN 702783

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 31st day of July, 2012 by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Ashton Homes LLC ("Subdivider"), a New Mexico limited liability company, whose address is 3519 Campbell Farm Lane NW, Albuquerque, NM 87104 and whose telephone number is 315-0312, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as A tract of land situate, within the Elena Gallegos Grant, Projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Lots 4 thru 9, Block 12, Tract 1, Unit 3, North Albuquerque Acres as the same is shown and designated on said Plat filed for Record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume 3, Folio 121, Together with a portion of Glendale Avenue NE and containing 5.9930 Acres more or less recorded on 6/8/2006 in the records of the Bernalillo County Clerk, Document No. 2006083764 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by Ashton Homes LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Estates at Glendale describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat, building permit or the Site Development Plan for the Subdivision.

Doc# 2012076442

07/31/2012 10:54 AM Page 1 of 11
AGRE R: \$25.00 M. Toulouse Oliver, Bernalillo County



2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 10th day of May 2013, ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 702783.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and Figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured, or has caused to be procured, public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements, or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail thirty (30) days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
Engineering Fee	3.25 % of Actual Construction Cost
Excavation Permit Fees, Sidewalk Ordinance Fees, and Street Restoration Fees as required by City (Figure 7)	Approved Estimate

Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by ALS, Inc., and construction surveying of the private Improvements shall be performed by N/A. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Mark Goodwin & Associates, PA and inspection of the private Improvements shall be performed by N/A, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Geo-Test of Albuquerque, Inc., and field testing of the private Improvements shall be performed by N/A both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefore.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit, or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired, or is able to acquire, the following Financial Guaranty:

Type of Financial Guaranty: Letter of Credit #39
Amount: \$ 334,573.09
Name of Financial Institution or Surety providing Guaranty:
Union Savings Bank
Date City first able to call Guaranty: May 10, 2013
[Construction Completion Deadline]: July 10, 2013
If Guaranty other than a Bond, last day City able to call Guaranty is:
July 10, 2013
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange for a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon, or in which, the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed, and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the Subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of, or the failure to give, directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.

11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to, engineering, legal, and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six (6) days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER: ASHTON HOMES LLC

CITY OF ALBUQUERQUE

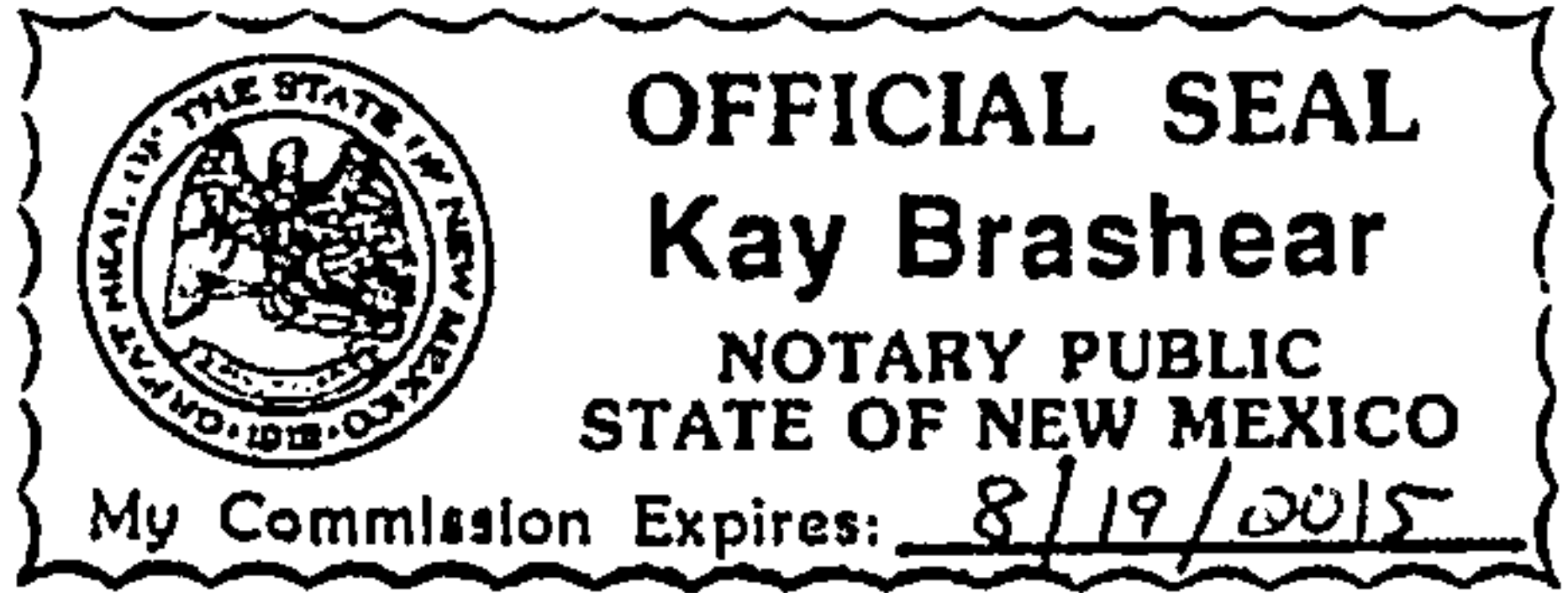
By [Signature]: [Signature]
Name [Print]: Randall Schmile
Title: Managing Member
Dated: July 26, 2012

By: [Signature]
Richard Dourte, City Engineer
Dated: 7-31-12

7-30-12

7-27-2012

SUBDIVIDER'S NOTARY



STATE OF New Mexico)
) ss.
COUNTY OF Bernalillo)

This instrument was acknowledged before me on this 26 day of July, 2012, by Randall Schmile, Managing Member of Ashton Homes LLC.

Kay Brashear
Notary Public

My Commission Expires:
Aug 19, 2015

CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 31 day of July, 2012, by Richard Dourte, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Lisa Cornejo
Notary Public

My Commission Expires:



Estates at Glendale UPC Codes

Lot 4	101906532403840000
Lot 5	101906534003840000
Lot 6	101906535603940000
Lot 7	101906537303940000
Lot 8	101906538903940000
Lot 9	101906540703940000



ALBUQUERQUE PUBLIC SCHOOLS

Capital Master Plan

Expect Great Things!

M. Elizabeth Everitt, Ph.D.
SUPERINTENDENT

Pre-Development Facilities Fee (PDFF) Cover Sheet

PDFF agreements received by 5PM Thursday will be ready for pick up by 8AM on the following Tuesday.

Please drop off and pick up all Pre-Development Facilities Fee agreements at APS' Capital Master Plan office. The office is located in Suite 9, 2nd floor, of the Lincoln Building at 915 Locust St SE. A map to our offices is located at: <http://construction.voteaps.com/LincolnMap.html>

Project # (if already assigned by DRB/EPC) 1008656

Please check one:

Preliminary PDFF
(Preliminary PDFF are required for preliminary plat submittals.)

Final PDFF
(Final PDFF are required for final plat submittals and **must be recorded** prior to DRB hearing)

Waiver/Deferral
(Must provide reason for waiver/deferral)

Project Information

Subdivision Name THE ESTATES AT GLENDALE

Location of Project (address or major cross streets) Glendale NE, between Wyoming and Barstow

Proposed Number of Units: X Single-Family Multi-Family - 6 Single Family

Note: A single-family unit is a single-family, detached dwelling unit.

Waiver Information

Property Owner _____ Legal Description _____ Zoning _____

Reason for Waiver/Deferral _____

Contact Information

Name Kay Brashear

Company Mark Goodwin & Associates, PA

Phone (505) 828-2200

E-mail kbrashear@goodwinengineers.com

Please include with your submittal:

- Zone Atlas map with the entire property(ies) precisely and clearly outlined
- Copy of a plat or plan for the proposed project
- List of legal description (e.g. lot, block) and street address for each lot (for final plat only)
- Please include project number on the top right corner of all documents
- Please paper clip all submitted documents (for ease of making copies)

FOR OFFICE USE ONLY

APS Cluster LaCueva

Date Submitted 3/27/2012

Date Completed 7/30/2012

EXHIBIT AFINAL
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and Ashton Homes LLC ("Developer") effective as of this ~~20th~~ day of July, 2012, and pertains to the subdivision commonly known as THE ESTATES AT GLENDALE, and more particularly described as Lots 4-9, Block 12, Tract 1, Unit 3, North Albuquerque Acres, recorded in the office of the County Clerk of Bernalillo County, 9/10/1931, Volume D, Folio 121 (the "Subdivision").

WHEREAS, In order to provide for APS becoming more knowledgeable of development plans within the City so that APS may better plan for future growth, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new residential subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance; and

WHEREAS, APS has determined that the amount of the facilities fee is reasonably related to the impact the subdivision will have on the operation of the area schools:

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees that a facilities fee will be paid to APS for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
 - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
 - If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.

- If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

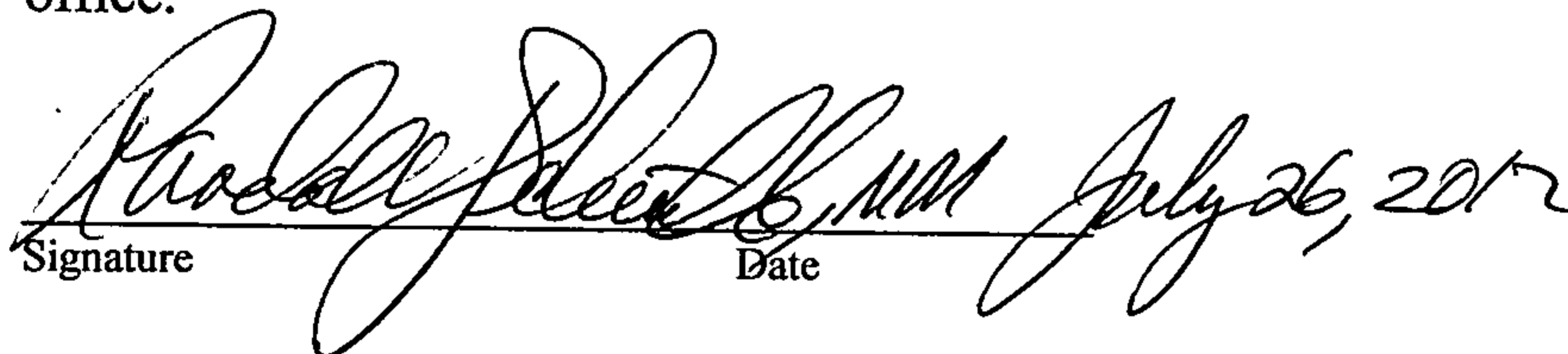
The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this Agreement.

4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.

5. This contract may be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."

6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

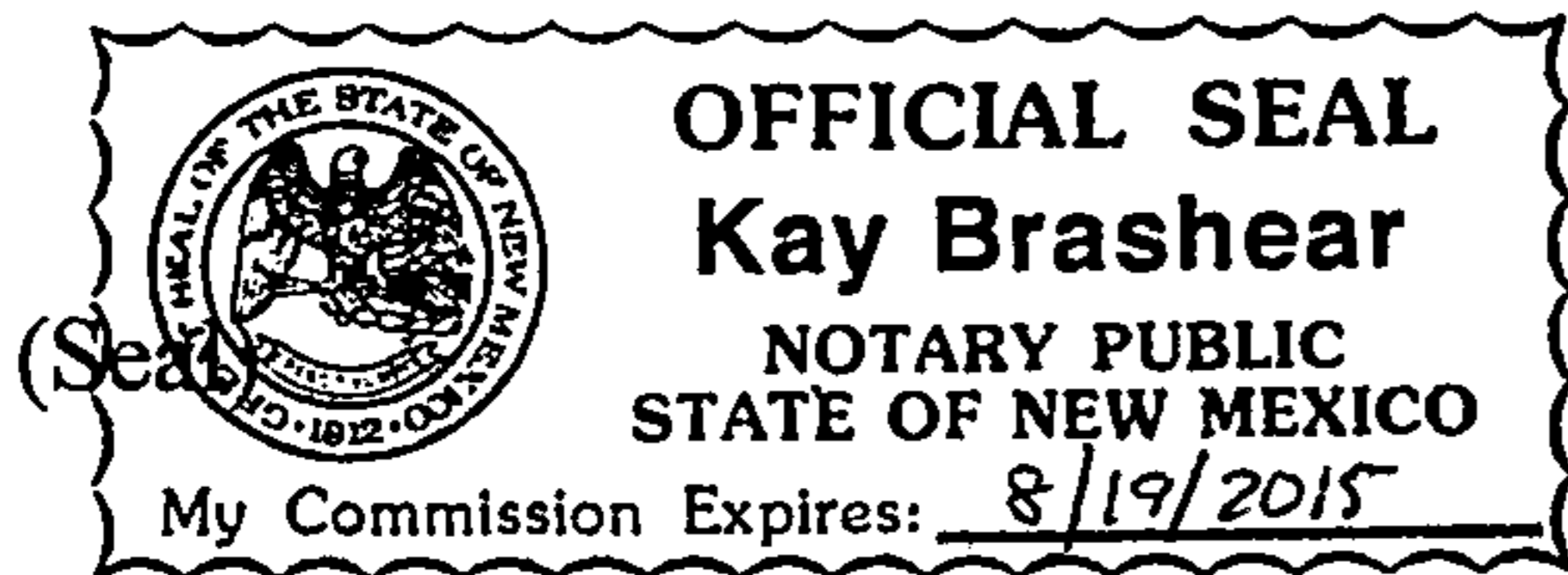
 Signature Date July 26, 2012

Randall Schmille
Name (typed or printed) and title

Ashton Homes, LLC
Developer

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on the 26 day of July, 2012, by Randall Schmille as Managing Member of Ashton Homes LLC, a New Mexico Limited Liability Company.



Kay Brashear
Notary Public

My commission expires: August 19, 2015

ALBUQUERQUE PUBLIC SCHOOLS

By: April L. Winters
Signature

April L. Winters, Facility Fee Planner
Name (typed or printed) and title

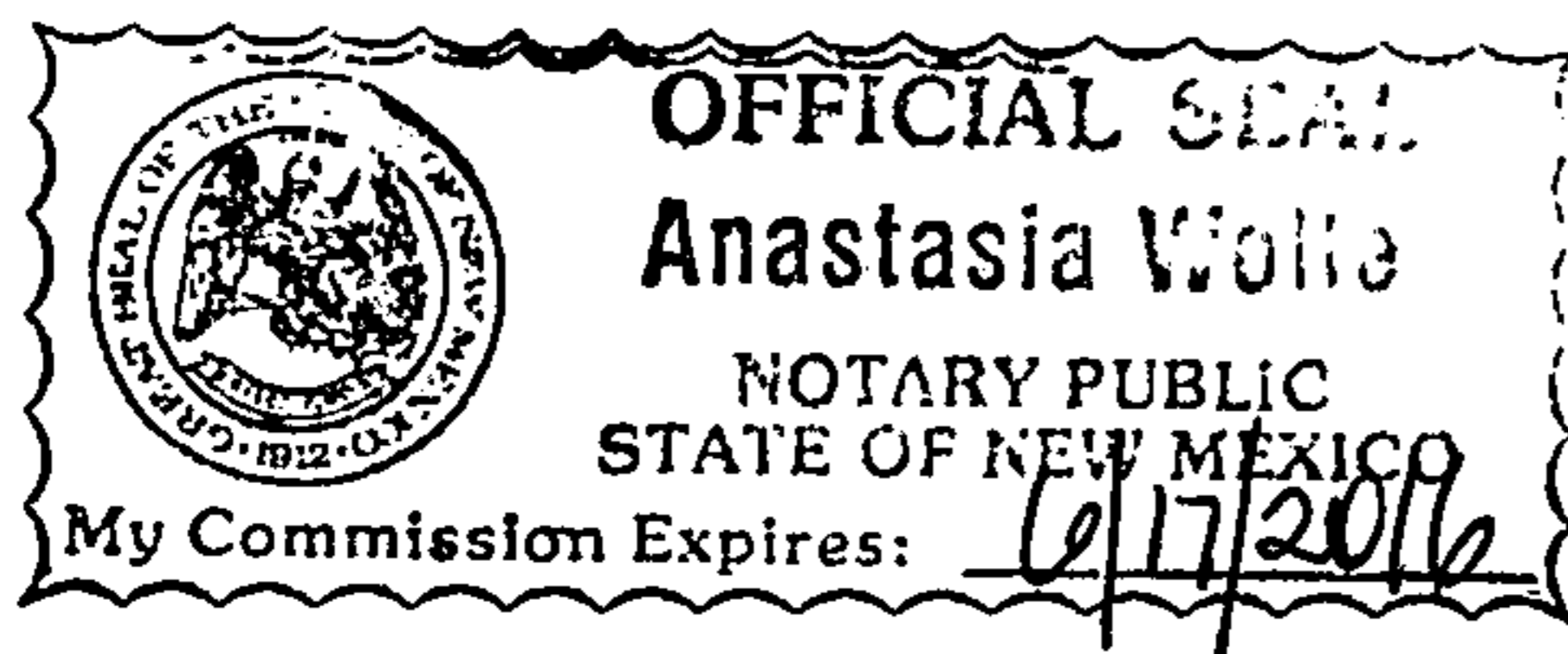
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on July 30, 2012, by April L. Winters as Facility Fee Planner of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

(Seal)

Anastasia Wolfe
Notary Public

My commission expires: 6/17/2016



Estates at Glendale - Legal Description/Address

NUMBER	STREET NAME	DESIGNATION	QUADRANT	LOT	BLOCK	SUBDIVISION
7720	GLENDALE	AV	NE	4	12	N ABQ ACRES TR 1 UNIT 3
7800	GLENDALE	AV	NE	5	12	N ABQ ACRES TR 1 UNIT 3
7820	GLENDALE	AV	NE	6	12	N ABQ ACRES TR 1 UNIT 3
7900	GLENDALE	AV	NE	7	12	N ABQ ACRES TR 1 UNIT 3
7920	GLENDALE	AV	NE	8	12	N ABQ ACRES TR 1 UNIT 3
8000	GLENDALE	AV	NE	9	12	N ABQ ACRES TR 1 UNIT 3

Legal Description:

A tract of land situate, within the Elena Gallegos Grant, Projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of Lots 4 thru 9, Block 12, Tract 1, Unit 3, North Albuquerque Acres as the same is shown and designated on said Plat filed for Record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume 3, Folio 121, Together with a portion of Glendale Avenue NE and containing 5.9930 Acres more or less



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 100745 8656

TO: Application No. 15DRB70469

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

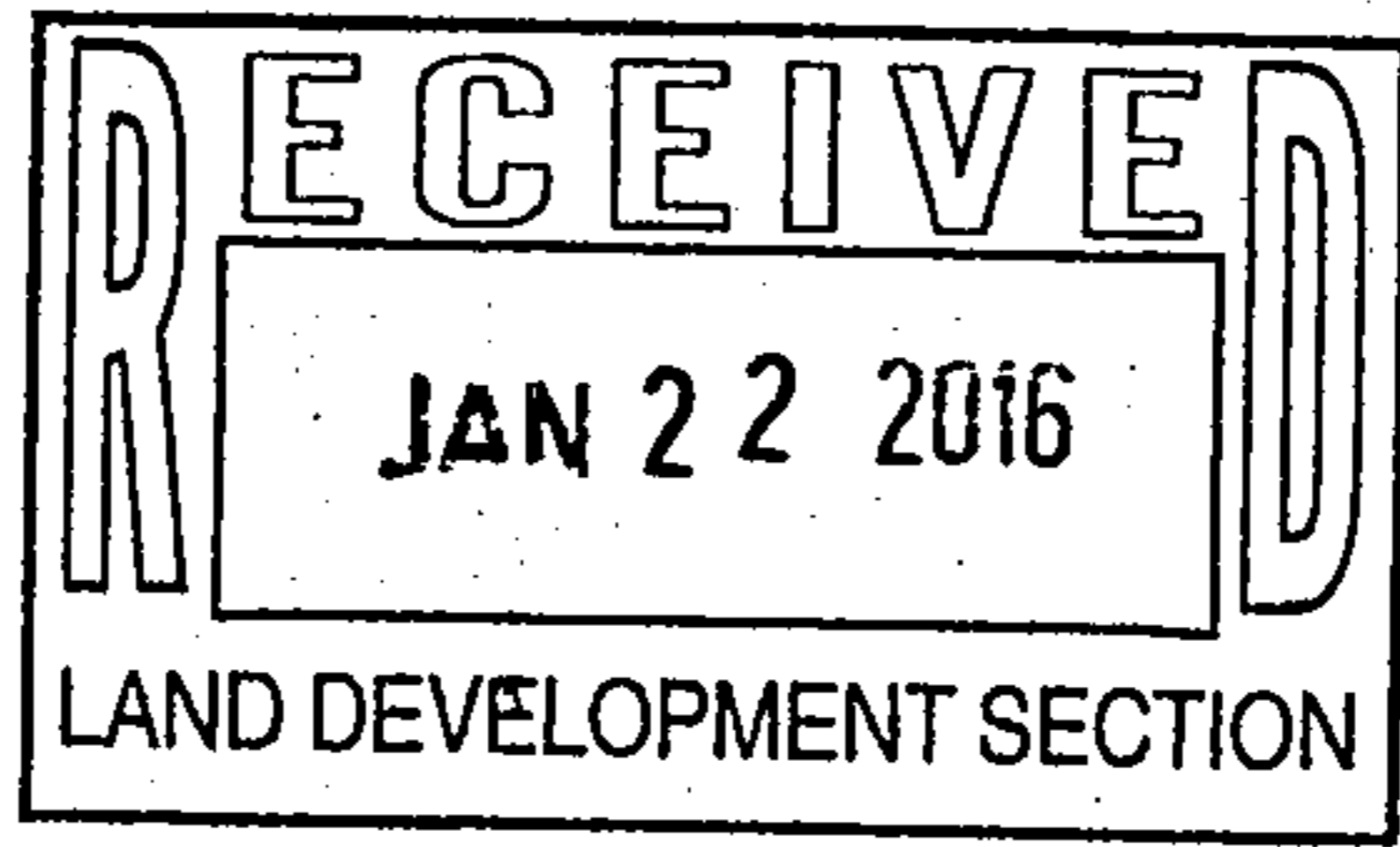
Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 1/27/16

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: RESUBMITTAL OF PLAT FROM DEFFERAL- REVISED TO MATCH ORIGINAL SITE PLAN, REMOVED VACATION, REVISED INF. LIST



CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____

April 14, 2011

Mr. Jack Cloud
DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Reference: Project #1008656

Dear Mr. Cloud:

I represent the Mountain Trails Homeowners Association which is directly north of the proposed Glendale LLC subdivision. I have reviewed the proposed drawings at your office and have no objections to the changes asked for by the developer regarding the drainage easements and sidewalk waiver/deferral.

The concern we have regarding the proposed work, which you were unable to answer, is whether or not the developer is going to install the sidewalks, screen walls and landscaping along the entire length of Glendale Ave during the development of Tract 1 as shown on their plan. We would very much be opposed to allowing the developer to install sidewalks, walls and landscaping in front of tract 1 only. The infrastructure needs to be installed along the entire length on Glendale during phase one.

If you feel that someone from our homeowner's association needs to attend the April 27th hearing, please let me know. If not, I will assume this letter will suffice in having our concerns heard by the DRB.

Sincerely,



Jeff Hawkins
Mountain Trails Homeowner's Association
7804 Merissa Lane NE
Albuquerque, New Mexico 87122

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

TO: Jack Cloud, DRB Chair
FROM: Carrie Barkhurst, Planner
SUBJECT: Project # 1008656
DATE: 03/23/2012

REPONSE BY: John MacKenzie,
Mark Goodwin & Assoc., 04-12-12,
following each comment below

JMM

On February 9, 2012, the Environmental Planning Commission approved Project #1008656 / 11EPC-40082, a zone map amendment and 11EPC-40083, a site development plan for subdivision, for Lots 4-9, Block 12, Tract 1, North Albuquerque Acres, zoned SU-2/R-D 3 DU/A to be changed to SU-2/SU-1 for R-D 5 DU/A, located on Glendale Ave between Wyoming and Barstow containing approximately 6 ac.

The applicant has generally satisfied the EPC conditions of approval for the site development plan for subdivision, except Condition 5.c and 5e. Staff notes several unauthorized changes that have been made to the Site Plan for Subdivision reviewed and approved by the EPC. Staff has the following comments:

Changes to Site Plan that are not related to the Conditions of Approval:

1. The H.O.A Tract A has been eliminated. It appears that the 8-foot wide parcel has now been designated as public right-of-way. Staff notes that the 3/19/12 DRB submittal shows a new wall within the area formerly dedicated as a 10-foot PUE. *RESPONSE: The 8' wide HOA Tract was originally designed to contain landscaping and a portion of the meandering sidewalk adjacent to an area proposed for additional Glendale Ave RW dedication. The sidewalk within the HOA Tract would also have to be within a sidewalk easement. Landscaping was also proposed within the area of the RW dedication, which would have required an encroachment agreement. It made more sense to just dedicate all of the south side of the street as RW, thus eliminating the need for another tract and sidewalk easement. An Encroachment Agreement for the landscaping in the RW will still be needed anyway.*

There is a new 5-foot Private Pedestrian Access Easement shown outside the subdivision privacy wall, and within the subdivision perimeter wall. It appears to be outside of the secure gated portion of the site, based on the location of the pedestrian access gates. It is unclear why a duplication of the adjacent meandering pedestrian sidewalk is provided. *RESPONSE: The new 5-foot pedestrian access easement has been removed from the plan.*

3. ~~The size and dimensions of the~~ "new median islands" have been ^{removed} modified. A new exhibit has been added to Sheet 1 ("Private Street Entry Turning Radius Diagram"). *RESPONSE: The new median islands are being removed. The turning radius diagram should be removed also.*

* The Landscape Plan, sheet LS-4 has been modified by removing the "Wall Detail Entrance" and "Conceptual Front Yard" landscaping details. The Landscape Plan has two new details added for a "Backflow/Master Valve Detail" and "Tree Planting Detail." *RESPONSE: On the Landscape Plan the two missing details have been added back onto the sheet and the two "new" details have been removed.*

5. The total number of plants has been reduced by 9 trees and 45 shrubs. *RESPONSE: The total number of plants shown on the revised landscape plan has been reduced from the original plan because the paved street width has been widened, resulting in a narrowed planting area.*

Conditions of Approval:

1. Compliance with City Engineer conditions should be verified with the City Engineer. Staff notes that Condition 5.c and 5.e have not been met. *RESPONSE: See individual responses to City Engineer*

J. Mackenzie

SUBJECT REQUEST: PRELIMINARY PLAT, TEMPORARY SIDEWALK DEFERRAL, SITE PLAN FOR SUBDIVISION, SUBDIVISION DESIGN VARIANCE, VACATION OF PUBLIC EASEMENTS.

HYDROLOGY DEVELOPMENT SECTION COMMENTS:

SUBJECT:

ENGINEERING COMMENTS:

Vacation of Public Easement

Hydrology has no objection since the storm drain is built.

Sidewalk Variance

Hydrology defers to Transportation and Planning on allowing a 4' meandering sidewalk.

Design Variance from DPM

There may be construction issues with the inlets in Glendale Ave being on top of the storm drain. There may also be Transportation comments on the road width.

RESPONSE: See grading and drainage plan response letter from Greg Krenik to Curtis Cherne, dated 04/12/12.

Sidewalk Deferral

Hydrology has no objection

Site Plan for Subdivision

Same comment as for the variance.

Preliminary Plat

Provide a 20' drainage easement for storm drain that enters into Twilight Place. Approved grading plan is required.

RESPONSE: 20' drainage easement for storm drain has been provided on preliminary plat. Grading plan has been resubmitted for approval.

TRANSPORTION ENGINEERING SECTION COMMENTS:

Design Variance requests:

4-foot sidewalk on Glendale:

Comment:

- No justification is provided for the 4-foot sidewalk along Glendale.

RESPONSE: Attached is a new exhibit called "EXISTING 4' SIDEWALKS" that identifies a predominance of existing 4' wide sidewalks on adjoining developments to the west, south, and east of the subject site. Quivera Estates, directly east of the site, installed 4' sidewalks on Glendale along its frontage and also on its south side where it fronts Modesto. Southeast of Quivera Estates and southeast of the Modesto/Barstow intersection is the Sandia Sunrise Subdivision which contains all 4' wide sidewalks. Sandia Sunrise's 4' sidewalk along Barstow is the meandering variety, the same of which is being proposed for the subject site along Glendale. Directly south of the site is the Desert Highlands Subdivision, which contains 4' sidewalks fronting on Modesto. Between Alameda and Modesto south of the site is the Nor Este Subdivision, which contains all 4' wide sidewalks. Furthermore, keeping a 4' wide sidewalk on the south side of Glendale in front of this development will match up with the 4' wide sidewalk that exists on Glendale directly to its east and on Glendale west of Wyoming as it enters the Desert Ridge Trails Subdivision.

The site development plan originally submitted to EPC several months ago and approved by EPC with its SU-1 for PRD zoning has always shown a 4' wide sidewalk being proposed at this site on the south side of Glendale. Staff and the EPC have never previously objected to a 4' wide sidewalk at this location through the entire EPC review and approval process, and there were no conditions imposed by EPC that required the sidewalk here to be more than 4' wide.

Pavement width to vary from 40' F-F at east end (existing) to 36' F-F for east half to 32' F-F for west half of Glendale frontage.

Comment:

- Justification for the variance request is not provided within the DRB application

RESPONSE: The existing Glendale Ave east of this site is 40 feet wide, although at times questions have arisen regarding the need for this width given that this and other similar streets in the vicinity may not receive a volume of traffic sufficient enough to justify 40' of width. There is evidence on the EPC record that high vehicle speeds are all too common on Glendale. Numerous residents of the neighborhood support street narrowing in front of this site (16 letters of support for the project were submitted to EPC and street narrowing was strongly supported within those letters.) An EPC commissioner who lives near the subject site testified that high vehicle speeds are a concern on Glendale and he believes car racing may be attracted to Glendale due to its 40-foot width.

After receiving this testimony from the neighbors living in the area around the site the EPC added Finding 9 to its official Notice of Decision indicating that it supports a narrowed pavement section on Glendale in front of this site because "1) a narrower road will calm traffic in accordance with the Transportation Goals of the LCSDP; 2) a narrower roadway will allow a wider landscape buffer and improved streetscape appearance; 3) and it will promote infiltration of runoff within the expanded landscape areas, consistent with the intent of the North Albuquerque Acres Master Drainage Plan."

On page 47 of the La Cueva Sector Plan, under the General Recommendations of Section 8.5, it states that "traffic calming can be accomplished on the non-classified streets of North Albuquerque Acres with narrower local streets widths."

In the Subdivision Ordinance, Under PART 6: VARIANCES FROM MINIMUM STANDARDS it states:

§ 14-14-6-1 GENERAL.

- (A) The Development Review Board may vary the provisions of Part 3 of this article, Minimum Standards for the Design of Subdivisions and the *Development Process Manual* in cases:
- (1) Where varying from the normal requirements will encourage flexibility, economy, effective use of open space, or ingenuity in design of a subdivision, in accordance with accepted principles of site planning.
- (B) In the case of subdivisions governed by an approved site development plan, the Development Review Board normally should grant a variance to assure conformance with that approved development plan.

RESPONSE (CONT.) Flexibility in design is being requested for the subject request due to the subdivider's desire to install a vibrant landscape in the open space adjacent to the Glendale R/W, which is in contrast to the typical area of just sparse landscaping, sidewalk, and then a wall along streets fronting many other developments in the neighborhood. The subdivider will also be entering into a STREETScape GIFT AND FREE WORK AGREEMENT with the City for maintenance of this proposed landscaping in the R/W. Also, the conventional street width is being reduced to promote a traffic calming measure that will reduce vehicle speeds in the neighborhood.

Within Subsection B of the Subdivision Ordinance there is apparent authority for the DRB to adhere to EPC's approval of the site development plan.

Pre-submittal Meeting held at Plaza del Sol

Subject to two conditions, the narrowed Glendale street section was agreed to by the City Engineer, Richard Dourte, and Transportation Engineer, Kristal Metro, during a meeting held at on February 24, 2012. One condition was to provide a traffic count of the peak-hour volume on Glendale at the site's frontage. This traffic count was conducted and then submitted to Transportation Development on March 5, 2012. There has not been any adverse comment received on those counts since. The second condition of this agreement was to provide a site plan demonstrating a narrowing of the street to 32 feet and 36 feet at several locations along Glendale. This site plan was subsequently submitted to DRB on March 14. Supplement comments on the site plan's street configuration were then received by Mr. Dourte on 03/28/12 after DRB's hearing of the case earlier that day. As a result of those comments the current site plan now identifies several 300'-radius reverse curves on Glendale's proposed curb to indicate a gradually transition between the various street widths over a length of approximately 1500 feet. All transitions take place on the south side of the street, as requested.

Comment:

- Right of way / pavement widths shall be increased within 150 feet of an arterial roadway to accommodate three vehicle lanes (see Table 23.2.1B, Note (8) of the Development Process Manual). Therefore, at the intersection of Glendale and Wyoming, a minimum pavement width of 36 feet must be provided.

RESPONSE: On Sheet 2 of the latest site plan there is an exhibit indicating now Glendale is to be constructed in the future from Wyoming east, up to and past the subject site, which is also in accordance with comments made in Mr. Dourte's email of 03/28/12. The plan is to have Glendale be 36 feet wide for the first 150 feet east of the intersection of Wyoming and then narrow down to 32 feet from there up to the site's North Star Lane, where it will widen out to 36'. From North Star east to Moondust Lane it will remain 36' wide, but then widen further approaching the east boundary of the site in order to match up with the existing 40-foot section east of the site.

Sidewalk Deferral request:

Comment:

- A legend must be provided on the sidewalk exhibit defining which sidewalk is to be deferred.

RESPONSE: A legend has been added to the Sidewalk Deferral Exhibit, as requested.

Preliminary Plat request:

Comment:

- The proposed 5-foot private pedestrian easement must be a public sidewalk easement (see EPC Condition 5e).

RESPONSE: EPC condition 5. e. refers to the plan when it contained an HOA Tract for landscaping along Glendale. The HOA Tract has been replaced by proposed R/W so there is no longer a need for the public sidewalk easement.

Comment:

- The proposed median islands must be relocated to be within private property (see EPC Condition 5c).

RESPONSE: The median islands formerly proposed at each private street entry have been removed.

Comment:

- The right of way dedication notes that the dedication is without warranty covenants. Please provide additional information.

RESPONSE: Right-of-way dedication in North Albuquerque Acres is typically without warranty covenants. The following statement is from City Surveyor Glen Haikin: "When the NAA plats were recorded, neither the City nor County had a provision for dedication. Therefore, these streets are considered to be easements. The dedication is made without warranties because the title issue is somewhat inconclusive, and a dedication without warranties amounts to a quitclaim. In other words, the owner quitclaims any interest in their half of the street. This satisfies the City requirements, and is how they have been doing these plats in the County as well, to my knowledge. Glen"

Comment:

- Provide a sight distance exhibit demonstration sight distance, noting all proposed walls and landscaping.

RESPONSE: A line of sight exhibit has been provided with the resubmittal materials. There are no walls proposed with the line of sight triangle.

Site Plan for Subdivision request:

Comment:

- Revise turning template information to clearly show the entire pathway of the passenger vehicle.

RESPONSE: The Turning Template for the private street entries has been revised to show the entire route pathway.

Comment:

- The proposed median islands must be relocated to be within private property (see EPC Condition 5c).

RESPONSE: The entry medians have been eliminated.

Comment:

- Provide a sight distance exhibit demonstrating sight distance, noting all proposed walls and landscaping.

RESPONSE: Site distance exhibit has been provided. There are no walls proposed with the line of sight triangle. The sight distance exclusionary area is also identified on the landscape plan.

PLANNING DEPARTMENT COMMENTS

Comment: Refer to comments from Hydrology plus any public hearing comments regarding proposed vacation.

RESPONSE: REFER TO HYDROLOGY RESPONSE LETTER FROM GREG KRECIK TO CURTIS CHERNE, DATED 04/12/12.

Comment: The wall exhibit needs to be revised to conform with approved site plan; clarification is needed regarding fence detail, which does not conform with the plan.

RESPONSE: WALL DETAIL IS PROVIDED ON SHEET 4 OF SITE PLAN FOR SUBDIVISION DRAWING

Revisions to Preliminary Plat submittal from 3/15/12 need to be identified and dated.

RESPONSE: PRELIMINARY PLAT HAS BEEN REVISED AND REDATED 4-11-12 WITH NEW SIGNATURES. REVISIONS THE PREVIOUS SUBMITTAL CONSIST OF 1) ADDING A 4' PRIVATE DRAINAGE ALONG THE WEST BOUNDARY OF SITE; 2) REMOVING THE 5' PRIVATE ACCESS EASEMENT JUST INSIDE THE SITE ALONG GLENDALE; 3) EXPANDING THE WIDTH OF THE PUE SOUTH OF THE TWILIGHT LANE CUL DE SAC; 4) ON THE SOUTH SIDE OF GLENDALE AVE RW DEDICATION HAS BEEN SLIGHTLY EXPANDED AT EACH NEW PRIVATE STREET ENTRY.

Comment: Revisions to the Grading Plan do not conform with the approved site plan, and the maximum single wall height from any side is 8 feet – Detail Sections A-A and C-C need to conform to this Code requirement.

RESPONSE: GRADING PLAN HAS BEEN REVISED TO CONFORM WITH CODE REQUIREMENT (SEE NOTE ON PLAN).

Comment: The sidewalk along Glendale requires a Public Sidewalk Easement.

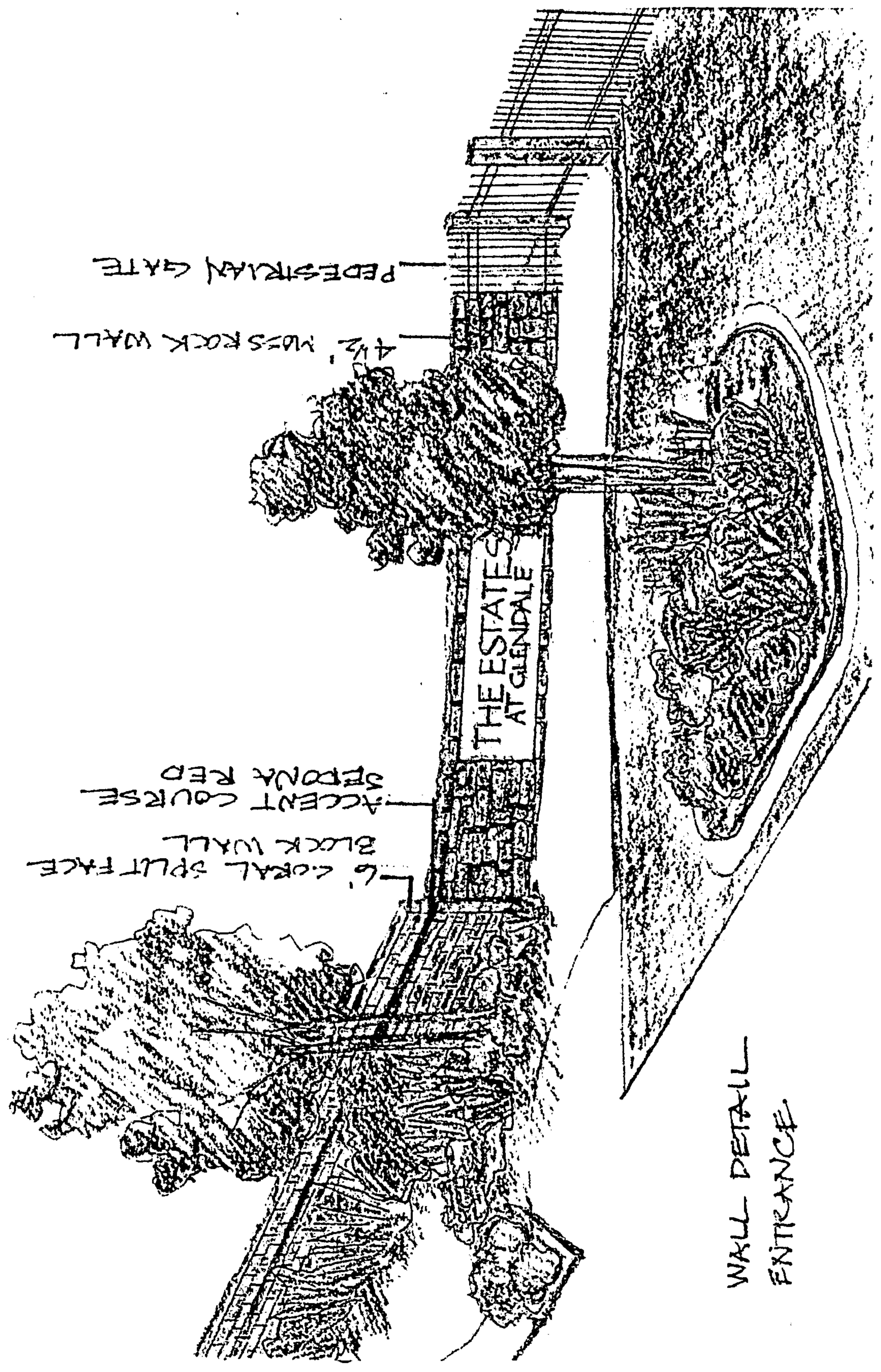
RESPONSE: HOA TRACT THAT REQUIRED A SIDEWALK EASEMENT IS NO LONGER ON THE PLAN AND PLAT.

Comment: It appears the reduced paving width of the design variance would place the existing 78" sewer directly under the proposed curb and gutter - refer to comments from Hydrology and Transportation Development regarding design variance.

RESPONSE: REFER TO HYDROLOGY RESPONSE LETTER FROM GREG KRECIK TO CURTIS CHERNE, DATED 04/12/12, AND RESPONSE TO TRANSPORTATION DEVELOPMENT.

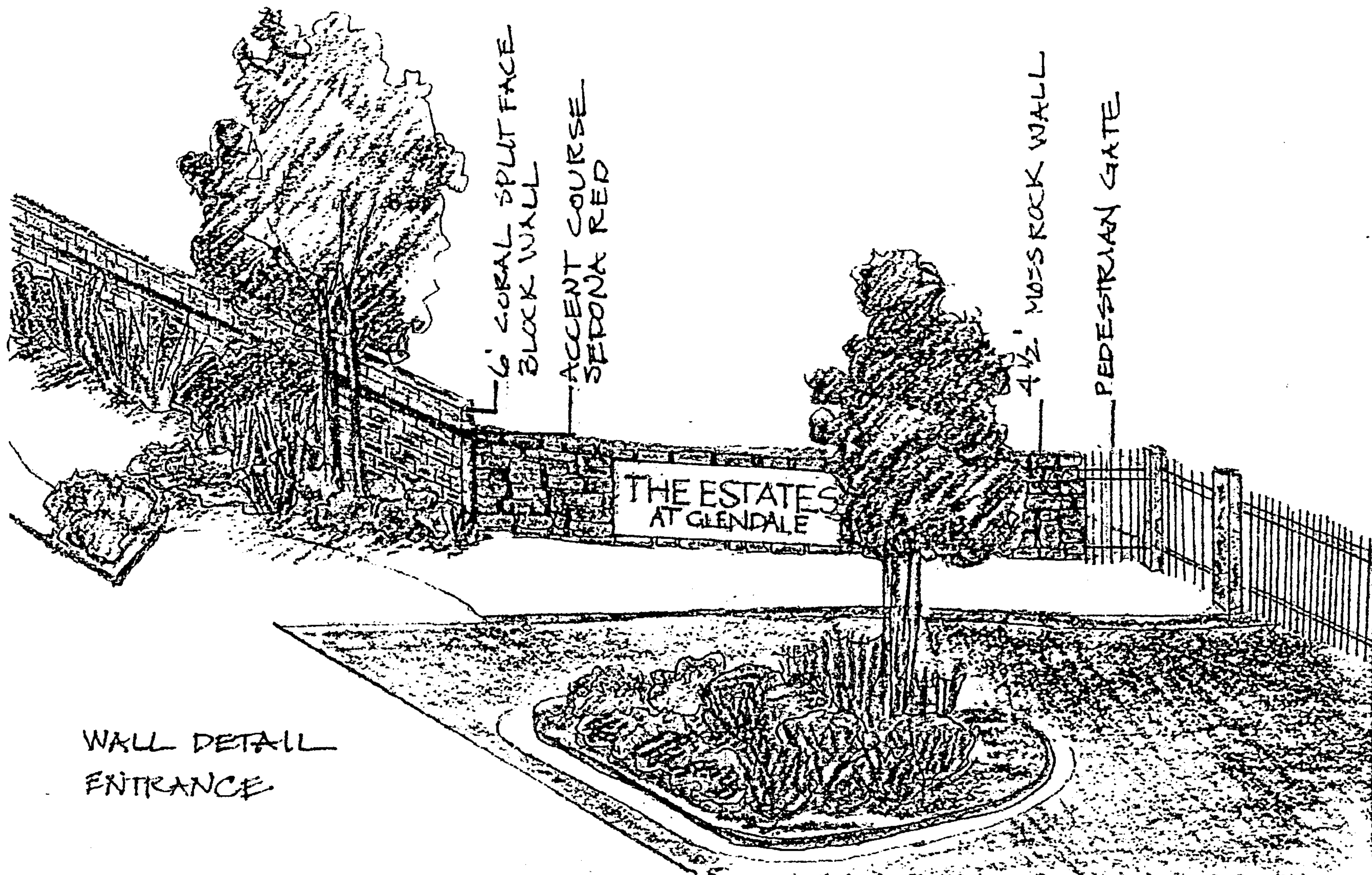
Application # :

12-70242 (EP-8/15/12)



WALL DETAIL
ENTRANCE

120973-70242



6' CORAL SPLIT FACE
BLOCK WALL

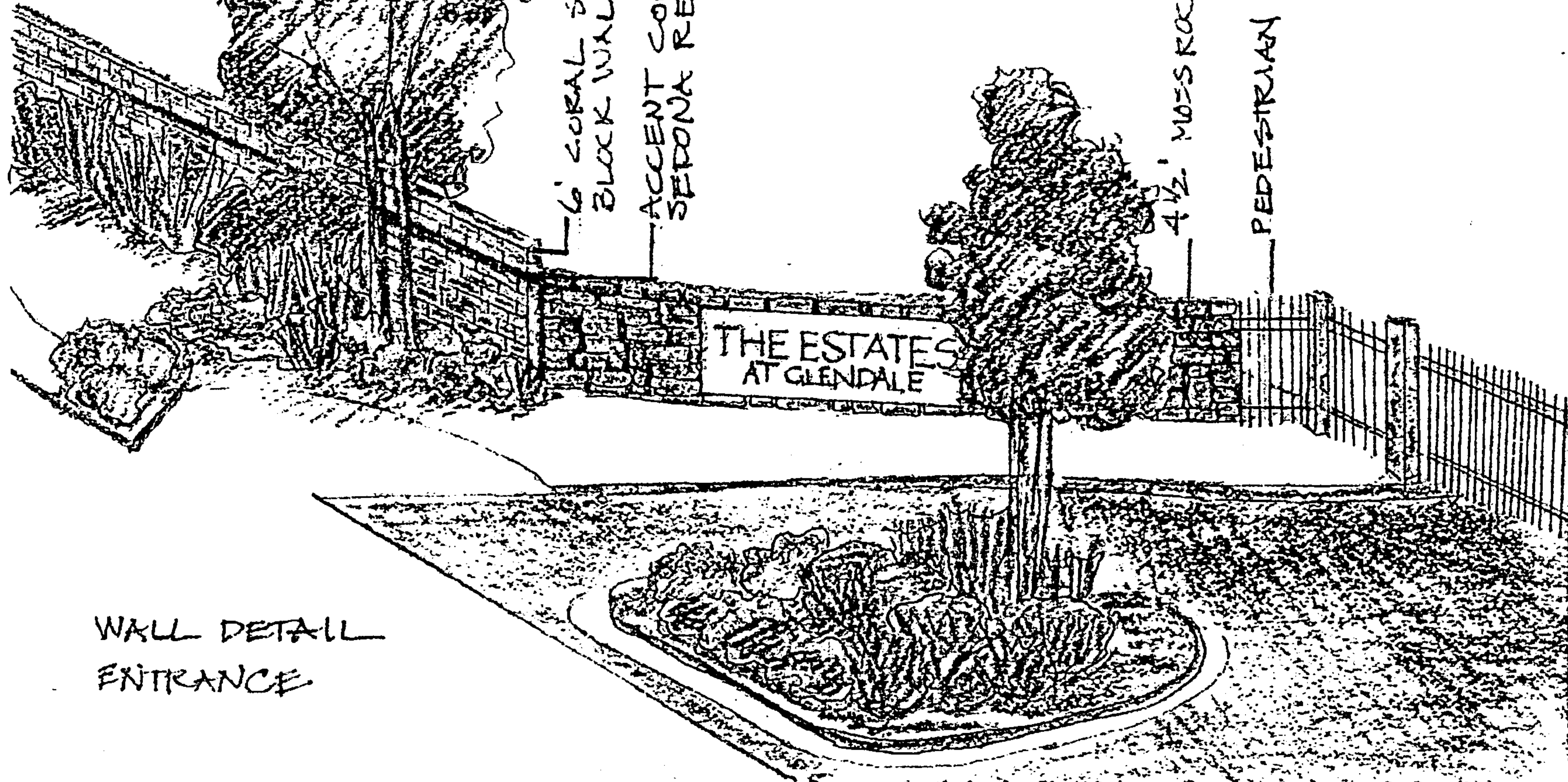
ACCENT COURSE
SECONA RED

4 1/2' MOSS ROCK WALL

PEDESTRIAN GATE

THE ESTATES
AT GLENDALE

WALL DETAIL
ENTRANCE



WALL DETAIL
ENTRANCE

