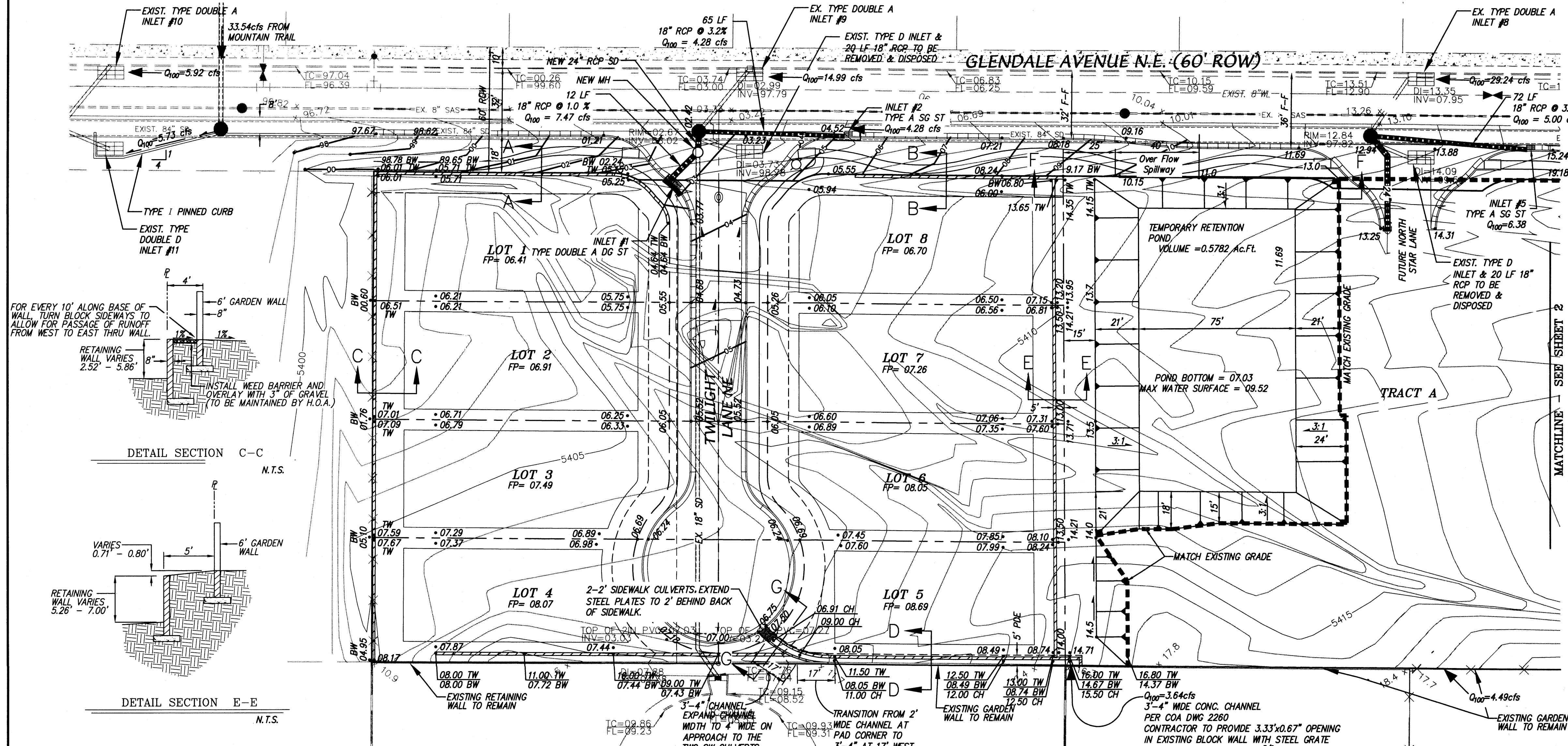
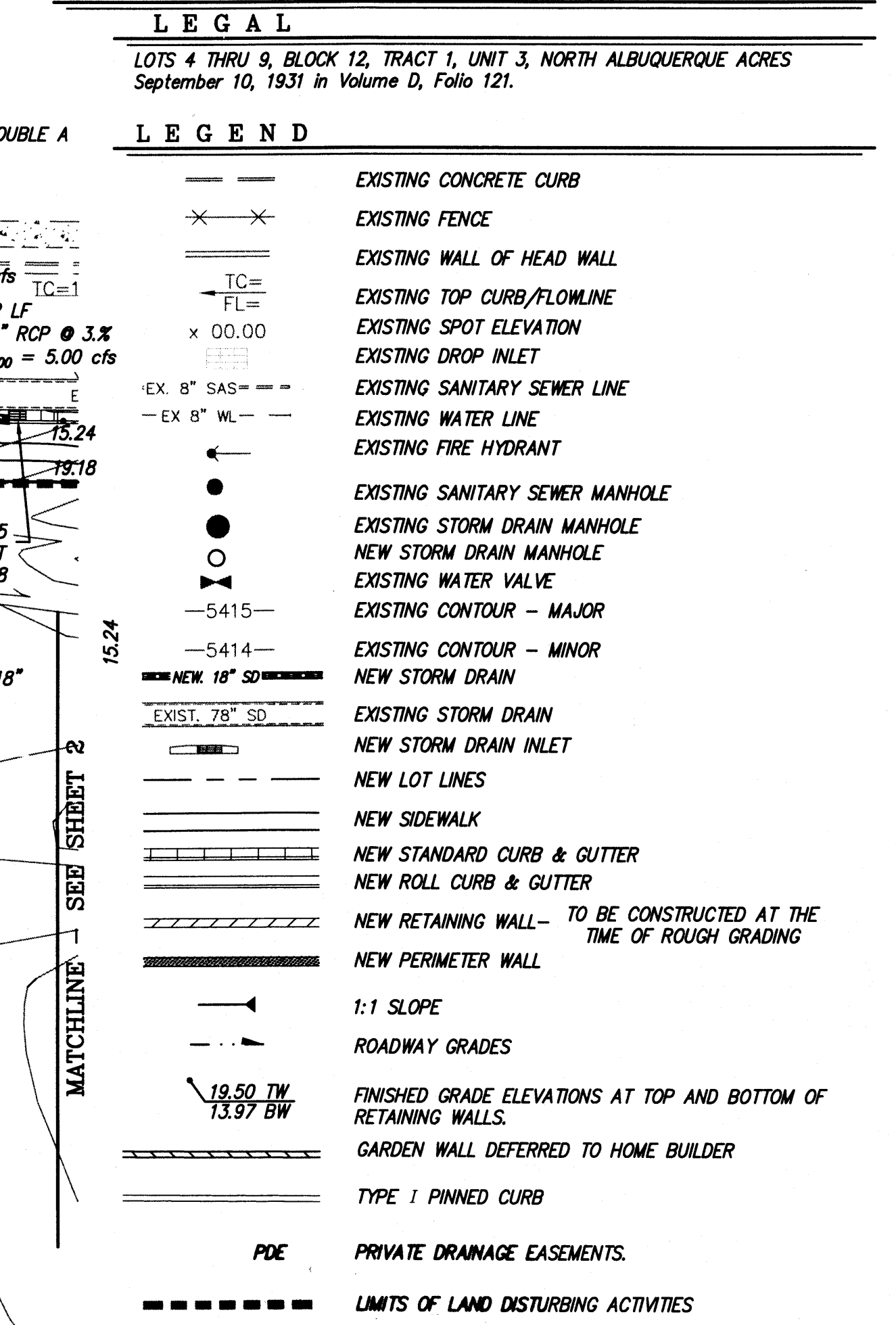
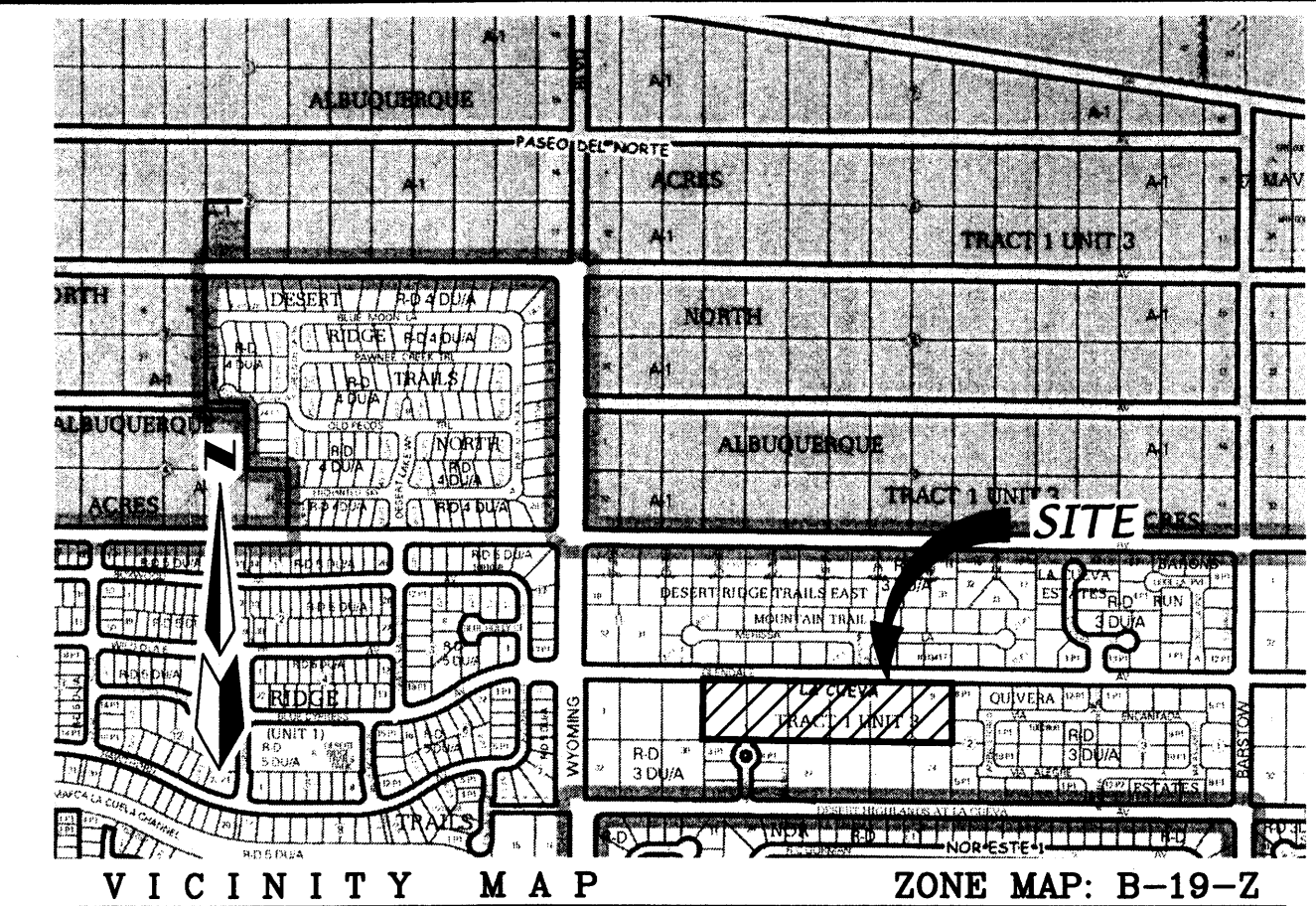
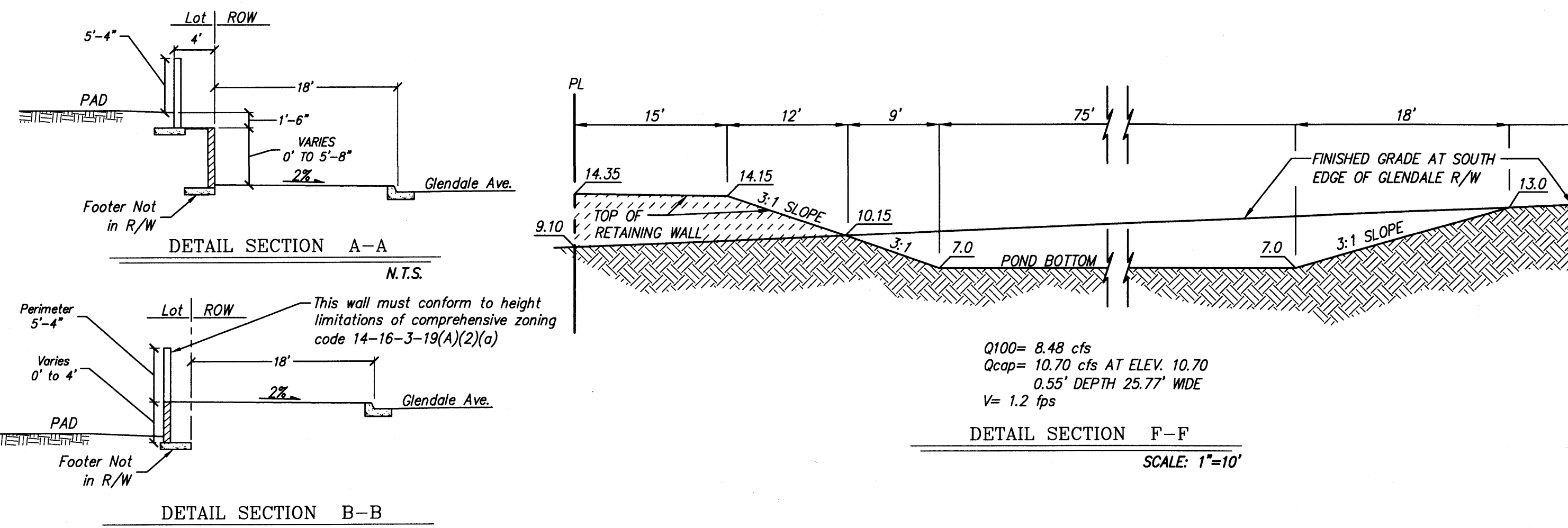


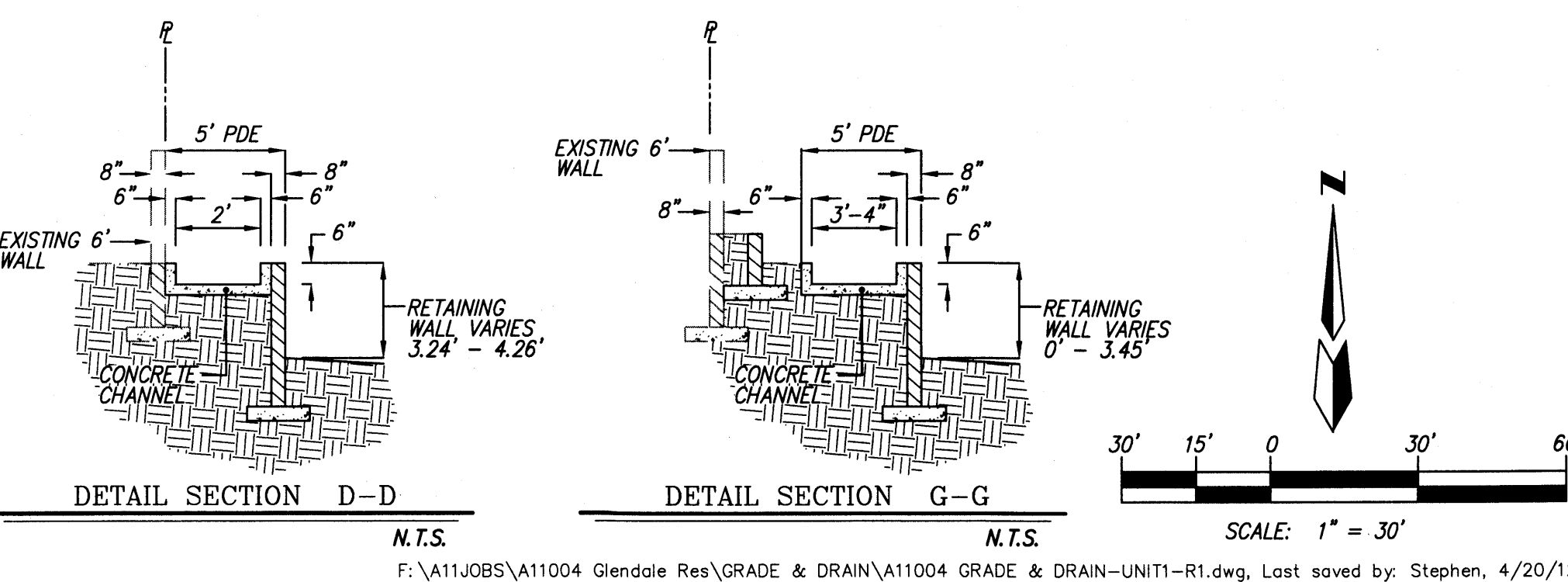
GENERAL SITE CONSTRUCTION NOTES

- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY AND DO NOT NECESSARILY SHOW ALL THE UTILITIES ON THE SITE.
- ALL STORM DRAIN, PAVING, CURB, AND VALLEY CUTTER WORK ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT #8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- IN THE EVENT OF PHASED CONSTRUCTION STORM WATER RUNOFF IS TO BE PREVENTED FROM UNDEVELOPED PORTIONS OF THE SITE BY CONSTRUCTING TEMPORARY RETENTION PONDS IN THE UNDEVELOPED PORTION OF THE SITE CAPABLE OF RETAINING THE 100 YR. 10 DAY STORMWATER RUNOFF VOLUME FROM ALL ONSITE AND OFFSITE AREAS DRAINING TO IT.
- NOTE ALL STREET SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- STRUCTURAL STANDARDS AND SPECIFICATIONS OF WALLS AND SLOPE PAVING ARE NOT PROVIDED ON THIS GRADING AND DRAINAGE PLAN AND ARE TO BE SUPPLIED SEPARATELY BY CONTRACTOR PRIOR TO CONSTRUCTION.



EROSION CONTROL / ENVIRONMENTAL PROTECTION NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMIT FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY INSTALLING SILT FENCES OR PERMANENT BLOCK WALLS AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT FOR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. HOWEVER, WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS STABILIZATION MEASURES MUST BE INITIATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE GRUBBING, EXCESS CUT MATERIAL, VEGETATION DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR Haul or DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICAL PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER PREVENTION PLAN ONSITE AT ALL TIMES.



Original

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

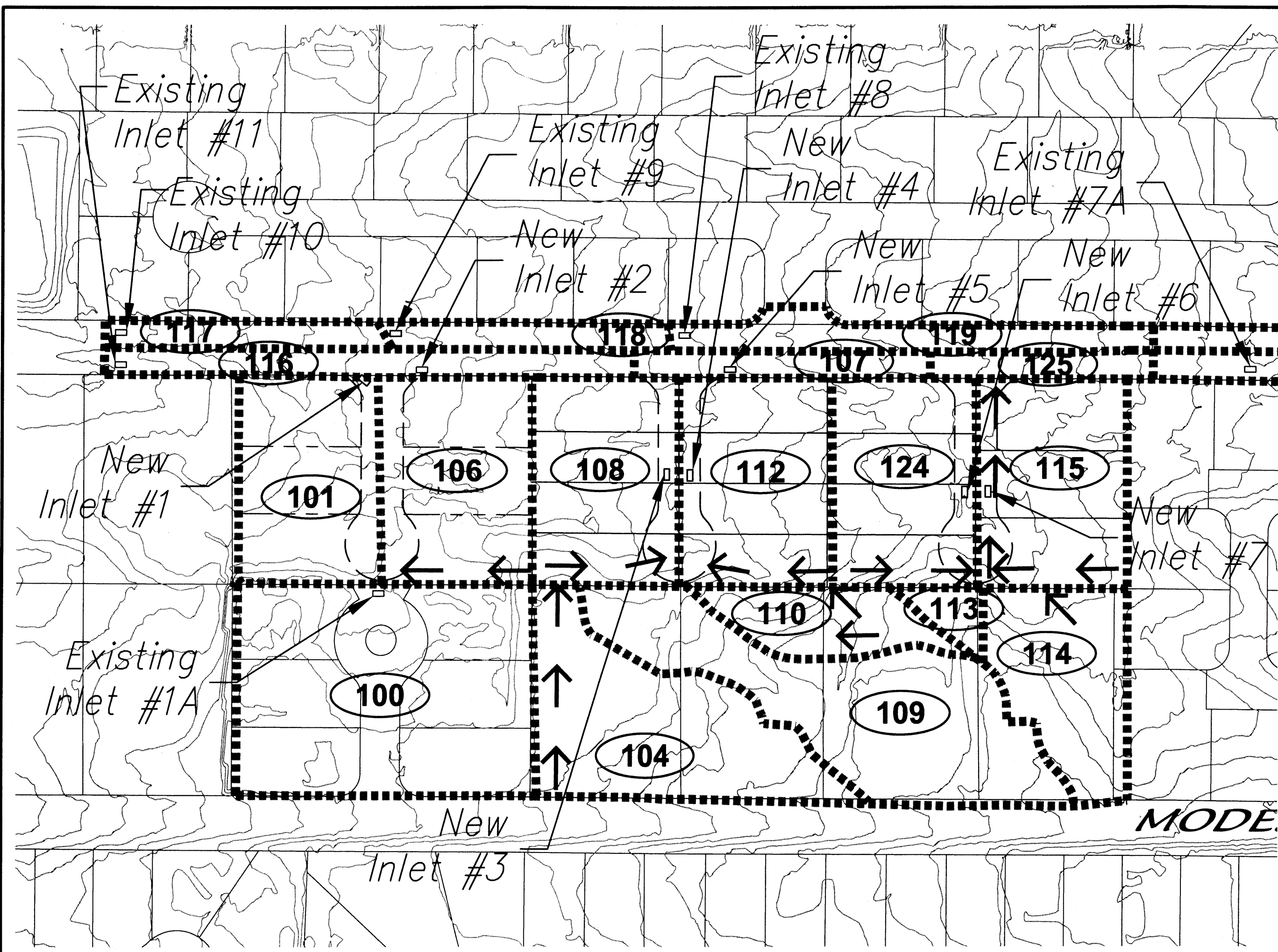
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **THE ESTATES AT GLENDALE - UNIT 1
GRADING & DRAINAGE PLAN**

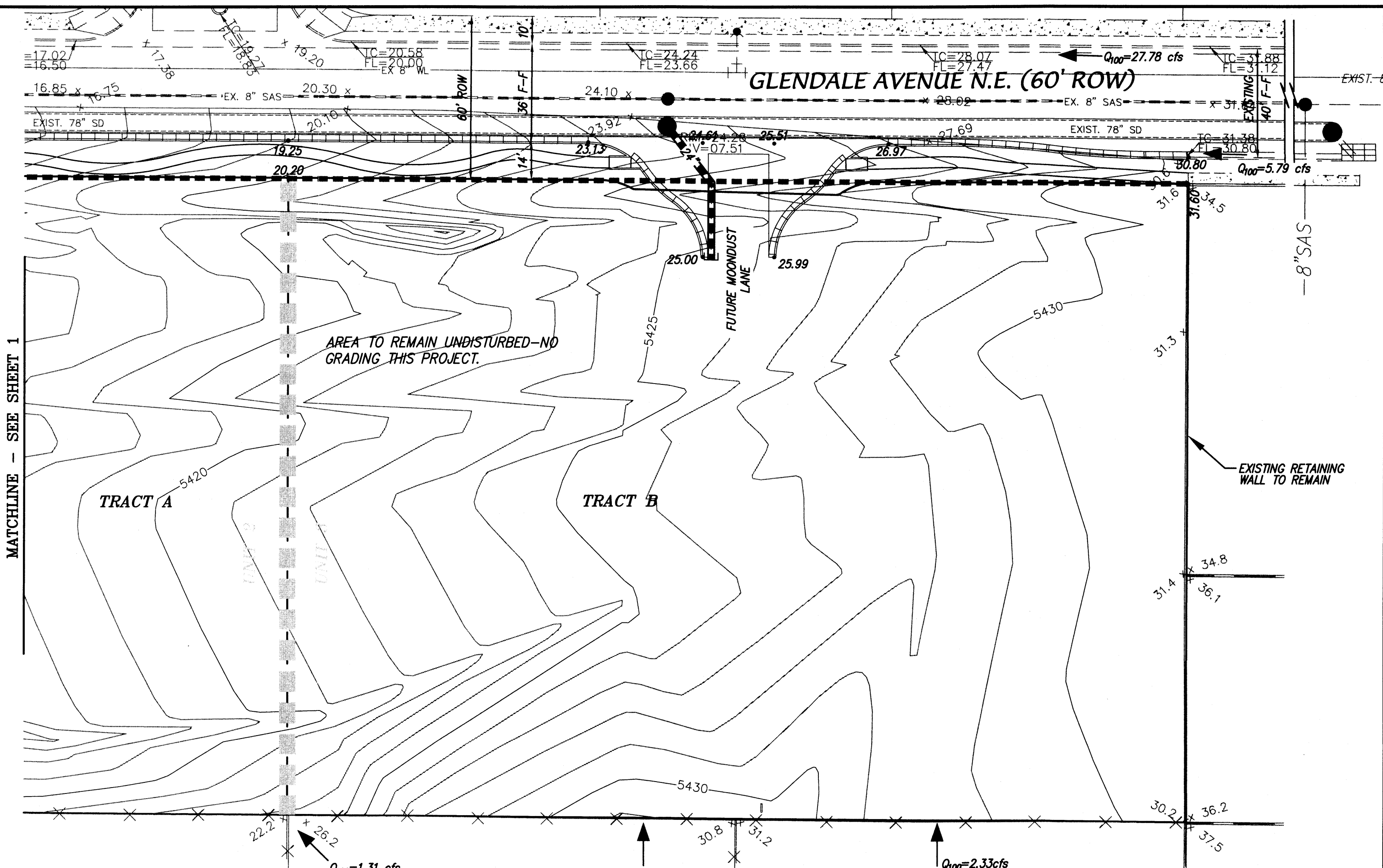
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
LAST DESIGN UPDATE		DATE	MO./DAY/YR.

CITY PROJECT NO. **702783** ZONE MAP NO. **B-19-Z** SHEET **1** OF **2**

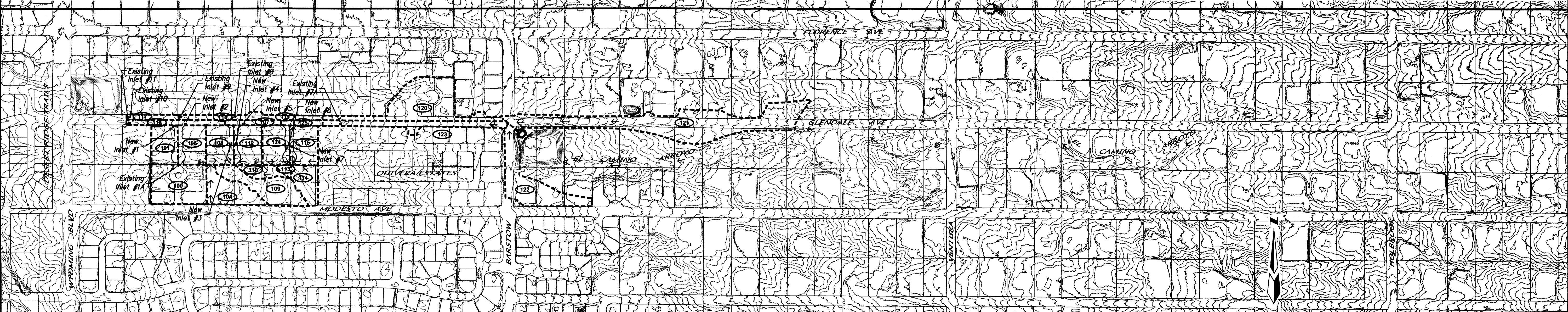
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AGRS Brass Cap in concrete post stamped "1-820"	DATE	NO.	BY	NO.	DATE
WORK STAGED BY	DATE	From the intersection of Louisiana Boulevard and Paseo Del Norte NE go east on Paseo Del Norte 1 mile to Barstow Street, then north on Barstow Street 1 mile to Modesto Avenue. The station is located in the northeast quadrant of the intersection.	DATE				
ACCEPTANCE BY	DATE	Geographic Position (NAD83), in feet	DATE				
FIELD DRAWING BY	DATE	M.M. State Plane Coordinates (Central Zone)	DATE				
REVISIONS	DATE	N=1524154.945, E=1550483.349	DATE				
DESIGNED BY	DATE	Elevation=5477.179 (NAD83), in feet	DATE				
DRAWN BY	DATE		DATE				
CHECKED BY	DATE		DATE				



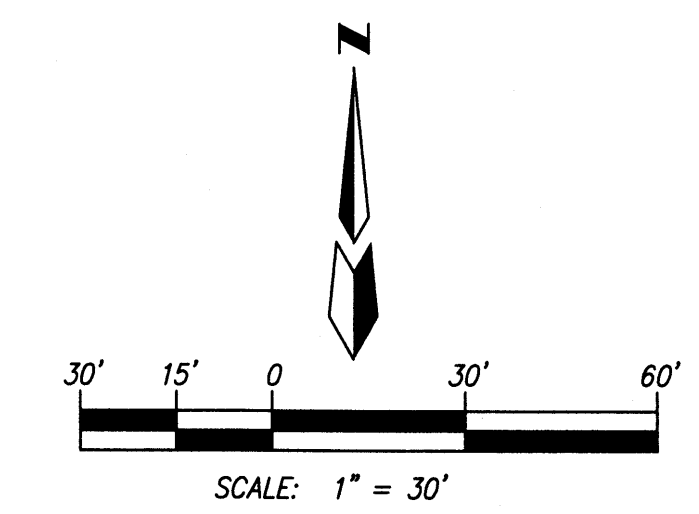
DRAINAGE BASIN MAP DETAIL
SCALE: 1"=100'



DRAINAGE BASIN MAP
SCALE: 1"=300'



BASIN ID	AREA (Ac)	HYDROLOGY				Street flows				Inlet Calcs						
		(Sq. mi)	A	B	C	Slope (%)	Depth (ft)	Velocity (fps)	Energy (ft)	Inlet ID	Intercepted (cfs)	By-pass (cfs)				
122	2.1	0.00328	13	13	26	48	8.16	8.16	Barstow St	0.61	0.46	2.3	0.54			
123	0.8	0.00125	15	15	85	3.83	11.99	11.99	Glendale Ave S. 1/2	3.18	0.40	4.5	0.71	7A	6.20	5.79
114	0.7	0.00108	20	20	34	26	2.33	2.33	PDE for lot 24	n/a						
113	0.1	0.00016	20	20	34	26	0.35	2.68	PDE for lot 25	n/a						
115	0.9	0.00144	0	21	21	58	3.84	6.52	Moondust E. 1/2	Sump	0.38			7	6.52	Sump
124	0.9	0.00144	0	21	21	58	3.84	3.84	Moondust W. 1/2	Sump	0.38			6	3.84	Sump
110	0.4	0.00061	20	20	34	26	1.31	1.31	PDE for lot 26	n/a						
112	0.9	0.00144	21	21	58	3.84	5.15	5.15	North Star Ct E. 1/2	Sump	0.43			4	5.15	Sump
109	1.3	0.00208	20	20	34	26	4.49	4.49	PDE for lot 27	n/a						
108	0.9	0.00144	21	21	58	3.84	15.73	15.73	North Star Ct W. 1/2	Sump	0.43			3	15.73	Sump
125	0.1	0.00020	0	33	67	0.59	6.38	6.38	Glendale Ave S. 1/2	3.50	0.34	4.2	0.62			
107	0.2	0.00036	0	33	67	1.02	7.40	7.40	Glendale Ave S. 1/2	3.50	0.34	4.2	0.62	5	5.00	2.40
104	1.1	0.00169	20	20	34	26	3.64	3.64	PDE for lot 27	n/a						
106	0.9	0.00144	21	21	58	3.84	7.48	7.48	Twilight Ct E. 1/2	0.86	0.33	2.4	0.42			
101	0.9	0.00144	21	21	58	3.84	11.33	11.33	Twilight Ct W. 1/2	2.15	0.38	3.7	0.59	1A	7.47	3.86
100	1.8	0.00290	21	21	58	7.84	19.10	19.10	Ex Desert Highlands	2.50				1A	7.48	Sump
116	0.4	0.00065	0	33	67	1.88	4.28	4.28	Glendale Ave S. 1/2	3.50	0.28	3.3	0.45	2	4.28	
121	4.2	0.00656	9	9	42	40	16.21	16.21	Glendale Ave N. 1/2	3.18	0.44	4.9	0.81			
120	2.9	0.00453	25	27	48	11.57	27.78	27.78	Glendale Ave N. 1/2	3.18	0.51	5.9	1.05	8	15.22	14.02
119	0.3	0.00047	10	10	90	1.46	29.24	29.24	Glendale Ave N. 1/2	3.15	0.52	6.0	1.08			
118	0.2	0.00031	10	10	90	0.97	14.99	14.99	Glendale Ave N. 1/2	3.15	0.38	3.7	0.59	9	10.05	4.94
117	0.2	0.00031	10	10	90	0.97	5.92	5.92	Glendale Ave N. 1/2	3.15	0.32	3.8	0.54	10	5.08	0.84



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **THE ESTATES AT GLENDALE - UNIT 1
GRADING & DRAINAGE PLAN**

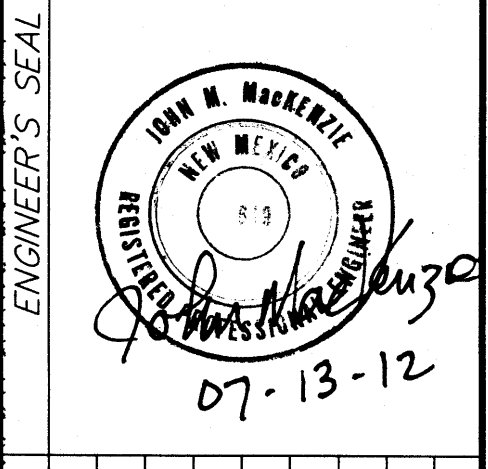
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **B-19-Z** SHEET **2** OF **2**

SURVEY INFORMATION		FIELD NOTES		AS BUILT INFORMATION	
NO.	BY	DATE	NO.	BY	DATE

CONTRACTOR: _____
WORK: _____
STARTED BY: _____
INSPECTOR'S: _____
DATE: _____
FIELD CHANGE BY: _____
DATE: _____
VERIFICATION BY: _____
DATE: _____
CORRECTED BY: _____
DATE: _____
MICRO-FILM INFORMATION
RECORDED BY: _____
DATE: _____
NO. _____

AGRS Brass Cap in concrete post stamped "1-820".
From the intersection of Louisiana Boulevard and Posso Del Norte NE 90 east on Posso Del Norte 1 mile to Barstow Street; then north on Barstow Street 1 mile to Modesto Avenue. The station is located in the northeast quadrant of the intersection.
Geographic Position (NAD83), in feet
N.M. State Plane Coordinates (Central Zone)
N=1524154.945, E=1550463.549
Elevation=5477.179 (M10DB), in feet



NO.	DATE	REMARKS	BY

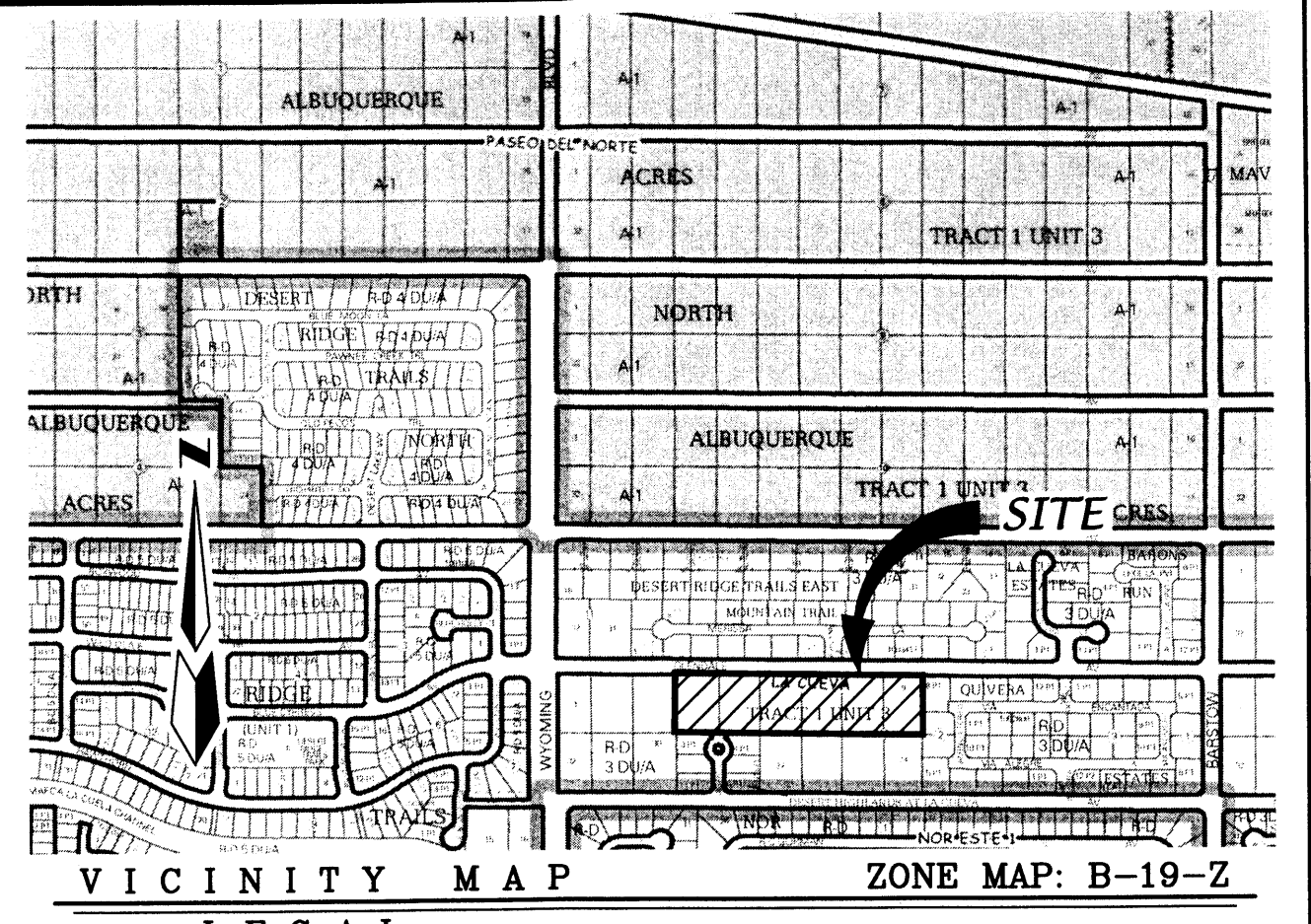
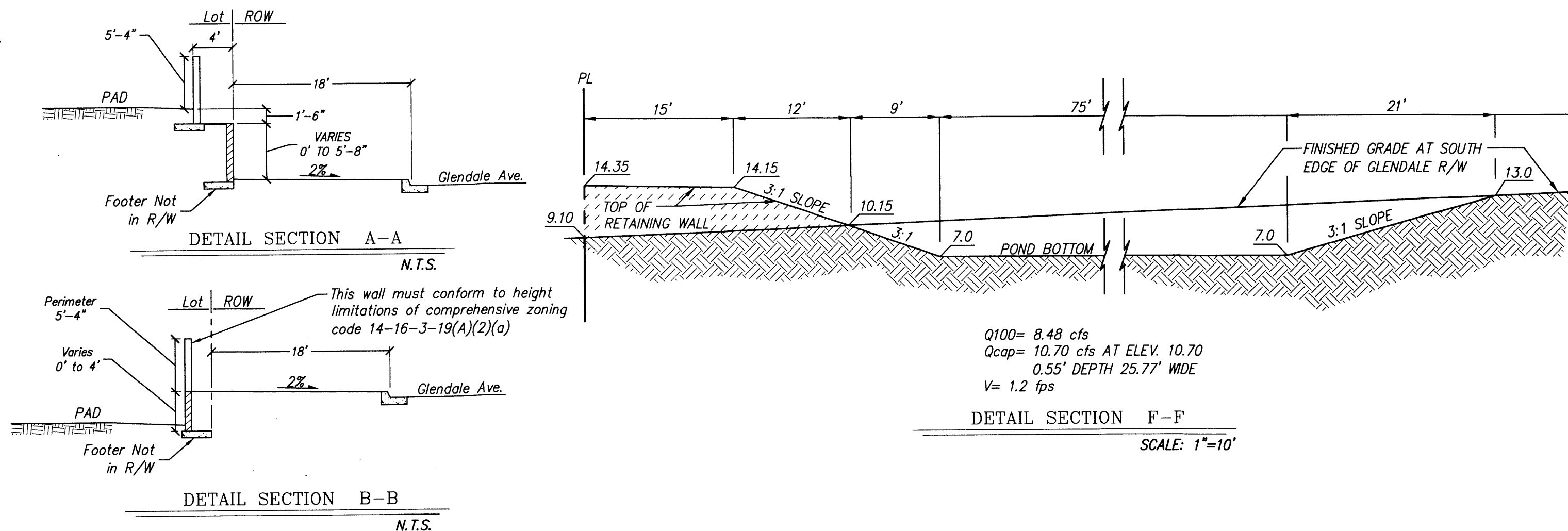
DESIGNED BY: **GAK** DATE: **11/11**
DRAWN BY: **ACH** DATE: **11/11**
CHECKED BY: **DMG** DATE: **11/11**

F:\11305\A11004_Glendale_Res\GRADE & DRAIN\A11004_GRADE & DRAIN-UNIT1-R1.dwg, 7/11/2012 2:35:55 PM, stephen

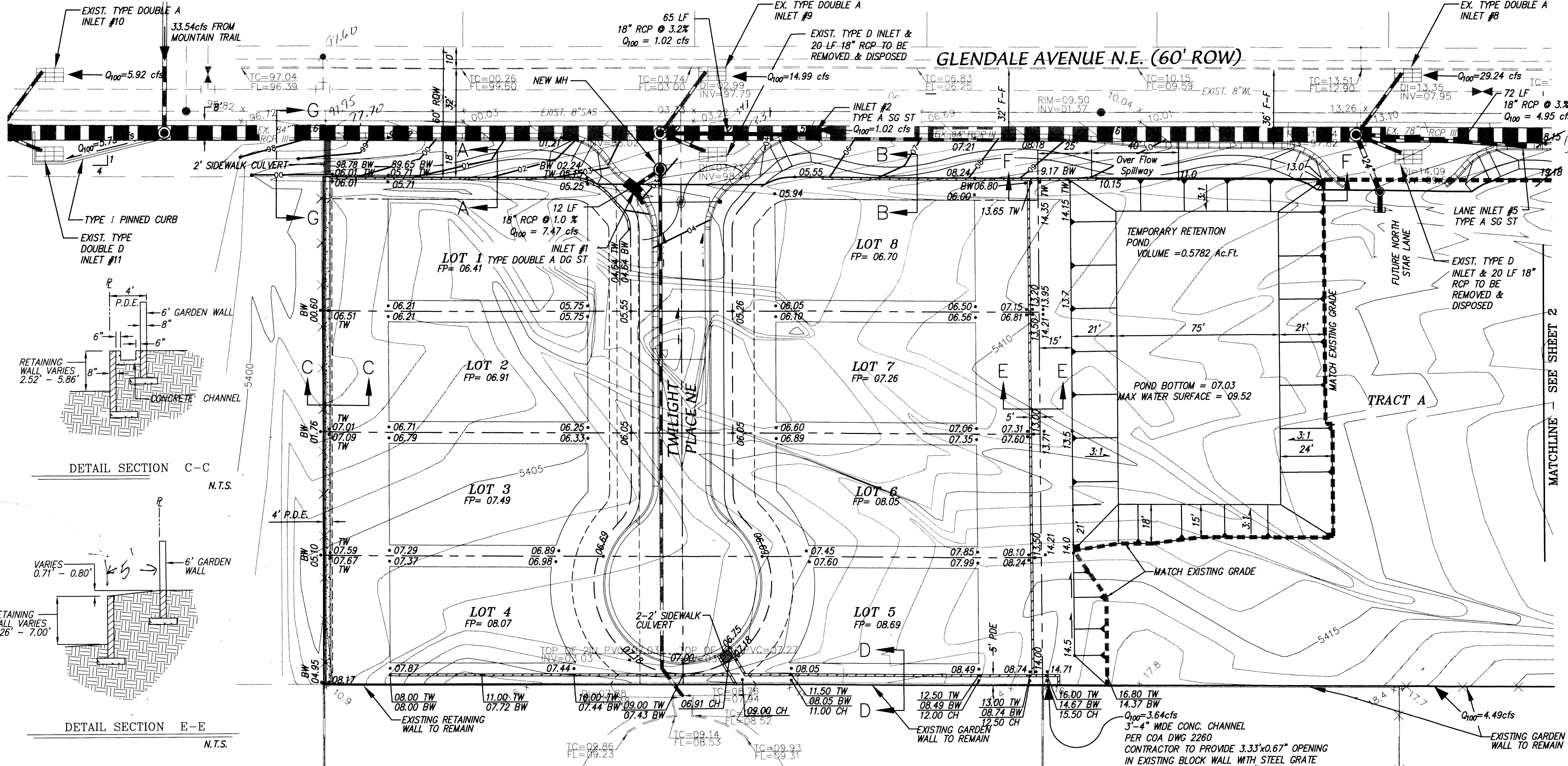
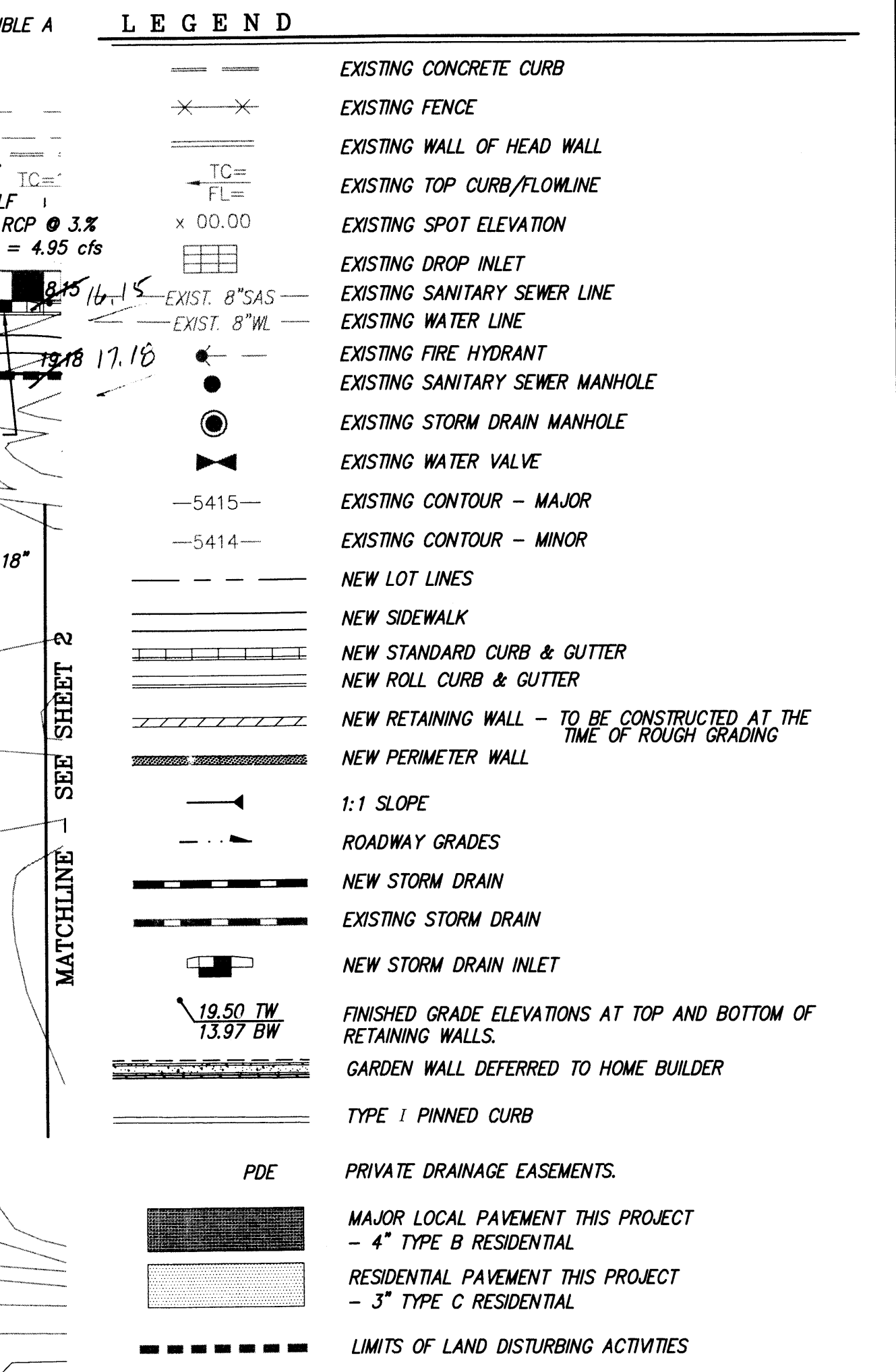
F:\11305\A11004_Glendale_Res\GRADE & DRAIN\A11004_GRADE & DRAIN-UNIT1-R1.dwg, Last saved by: Stephen, 4/20/12

GENERAL SITE CONSTRUCTION NOTES

- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY AND DO NOT NECESSARILY SHOW ALL THE UTILITIES ON THE SITE.
- ALL STORM DRAIN, PAVING, CURB, AND VALLEY GUTTER WORK ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT #1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- IN THE EVENT OF PHASED CONSTRUCTION STORM WATER RUNOFF IS TO BE PREVENTED FROM UNDEVELOPED PORTIONS OF THE SITE BY CONSTRUCTING TEMPORARY RETENTION PONDS IN THE UNDEVELOPED PORTION OF THE SITE CAPABLE OF RETAINING THE 100 YR, 10 DAY STORMWATER RUNOFF VOLUME FROM ALL ONSITE AND OFFSITE AREAS DRAINING TO IT.
- NOTE ALL STREET SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- STRUCTURAL STANDARDS AND SPECIFICATIONS OF WALLS AND SLOPE PAVING ARE NOT PROVIDED ON THIS GRADING AND DRAINAGE PLAN AND ARE TO BE SUPPLIED SEPARATELY BY CONTRACTOR PRIOR TO CONSTRUCTION.

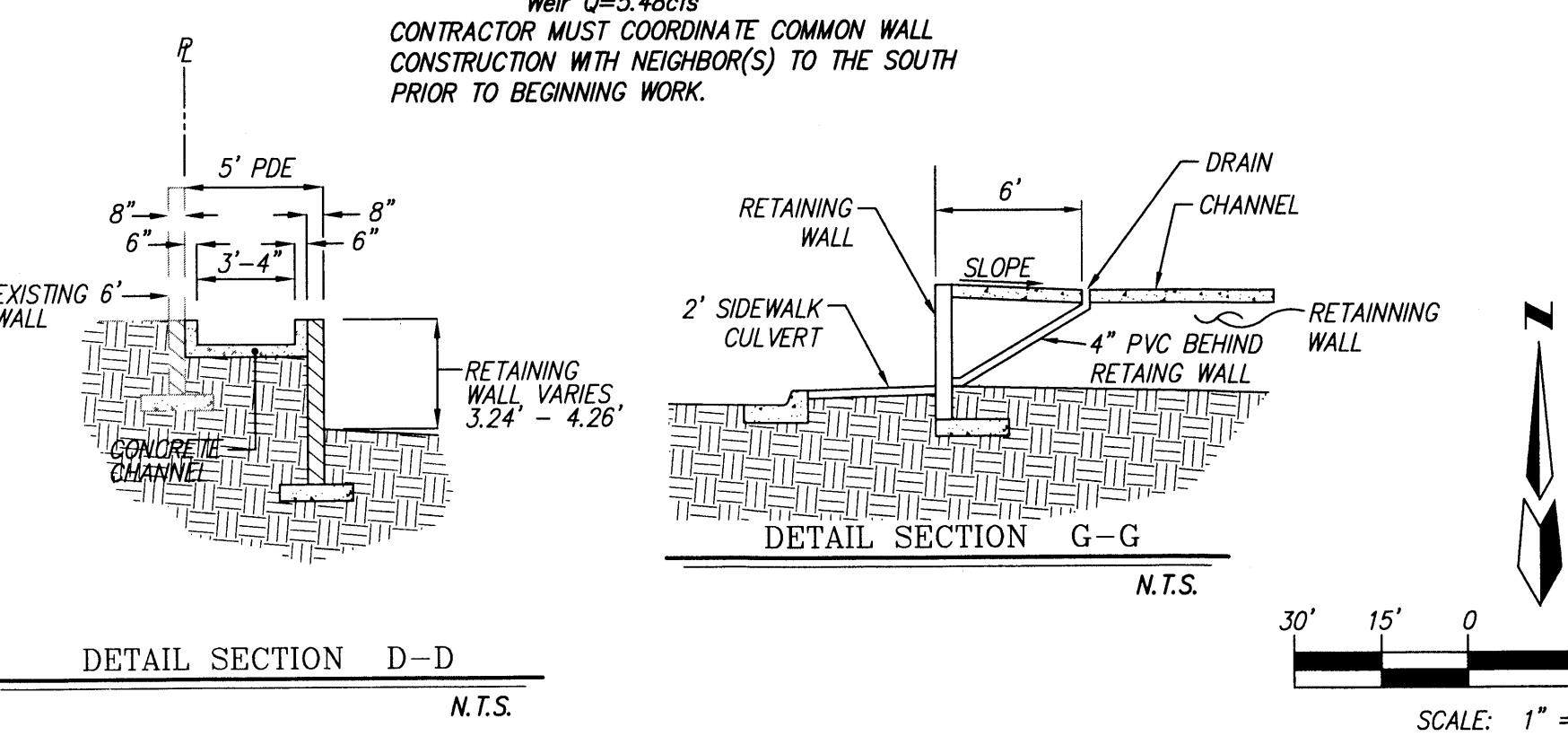


LEGAL
 LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES
 September 10, 1931 in Volume D, Folio 121.



EROSION CONTROL / ENVIRONMENTAL PROTECTION NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMIT FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY INSTALLING SILT FENCES OR PERMANENT BLOCK WALLS AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT FOR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. HOWEVER, WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS STABILIZATION MEASURES MUST BE INITIATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL GAS, TIRES, ETC.) GARBAGE CRUBBING, EXCESS CUT MATERIAL, VEGETATION DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HULL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICAL PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER PREVENTION PLAN ONSITE AT ALL TIMES.



dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

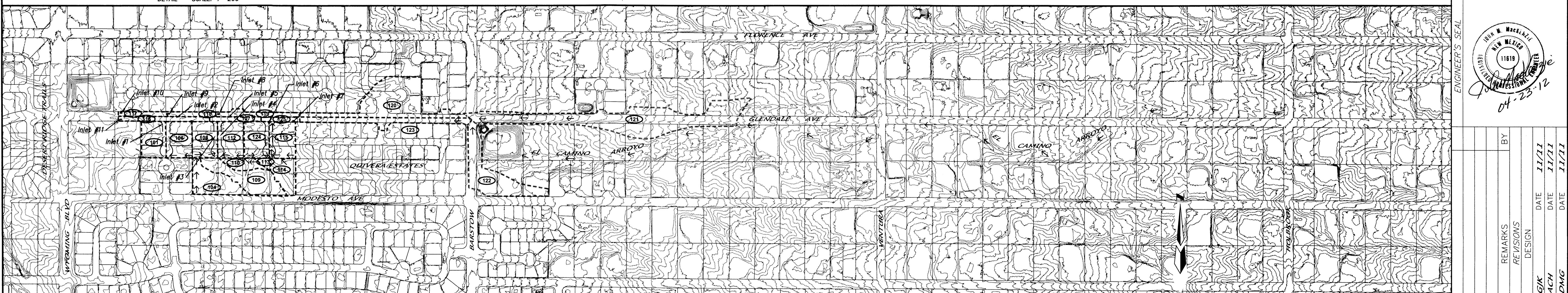
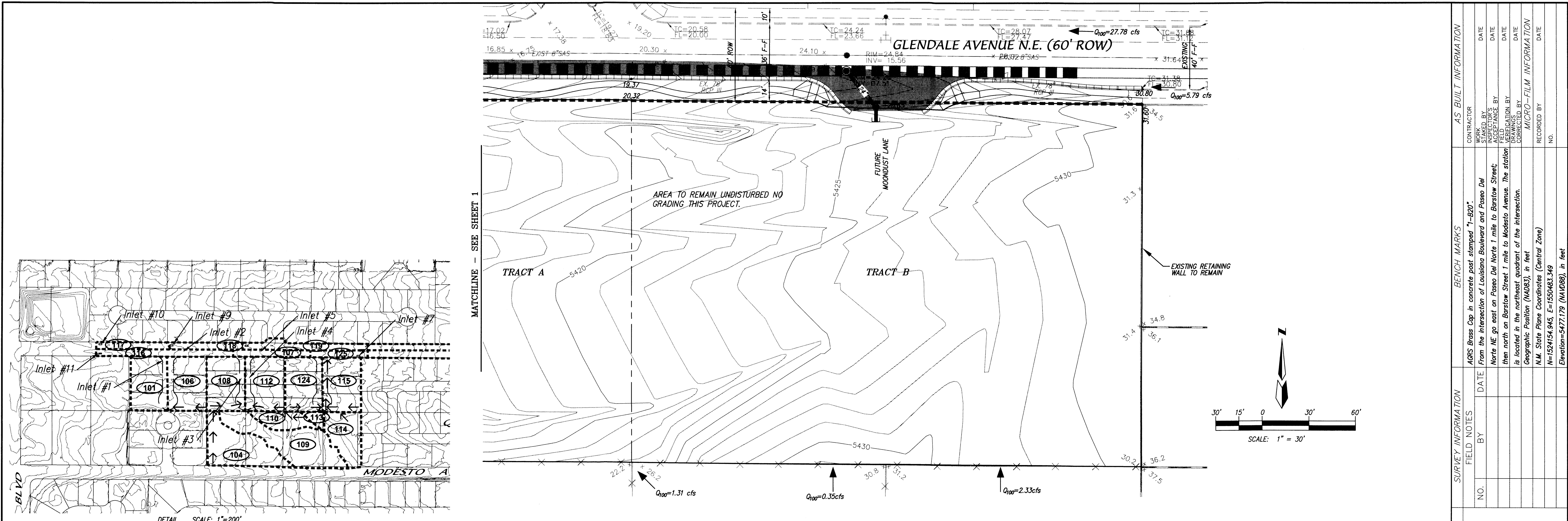
**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

TITLE: **THE ESTATES AT GLENDALE - UNIT 1
 GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.

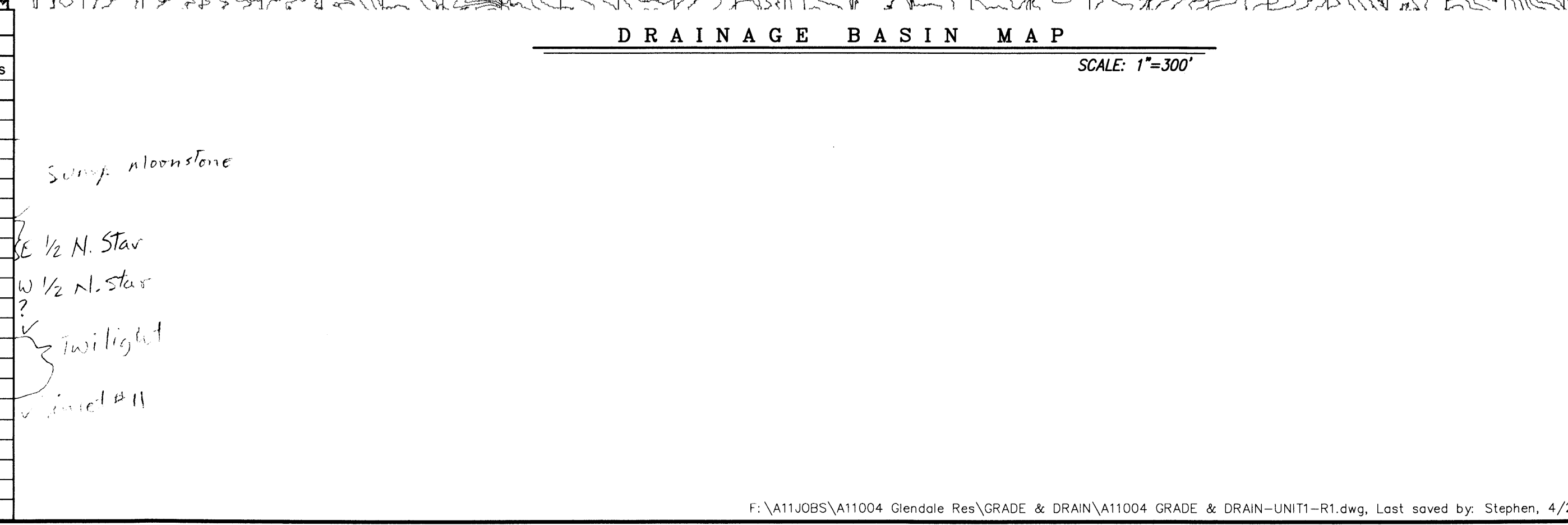
CITY PROJECT NO. _____ ZONE MAP NO. **B-19-Z** SHEET OF **1 4**

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AGRS Brass Cap in concrete post stamped "1-820"	DATE	NO.	BY		REMARKS REVISIONS DESIGN DATE DATE DATE
WORKER	DATE	From the intersection of Louisiana Boulevard and Paseo Del Norte NE go east on Paseo Del Norte 1 mile to Barstow Street, then north on Barstow Street 1 mile to Modesto Avenue. The station is located in the northeast quadrant of the intersection.	DATE	NO.	BY		
INSPECTOR'S NAME	DATE	Geographic Position (NAD83), in feet	DATE	NO.	BY	DESIGNED BY G/K	DATE 11/11
FIELD CHECKER	DATE	N.M. State Plane Coordinates (Central Zone)	DATE	NO.	BY	DRAWN BY ACH	DATE 11/11
VERIFICATION BY	DATE	Elevation=5477.179 (NAD83), in feet	DATE	NO.	BY	CHECKED BY DMG	DATE 11/11
CORRECTED BY	DATE		DATE	NO.	BY		



HYDROLOGY SUMMARY TABLE

BASIN ID	AREA (Ac)	HYDROLOGY				Street flows					Inlet Calcs					
		A	B	C	D	Incremental	Cumulative	Location	Slope (%)	Depth (ft)	Velocity (fps)	Energy (ft)	Inlet #	Intercepted (cfs)	By-pass (cfs)	
122	2.1	0.00328	13	13	26	48	8.16	8.16	Barstow St.	0.61	0.46	2.3	0.54	7	6.20	5.79
123	0.8	0.00125	15	15	85	3.83	11.99	Glendale Ave S. 1/2	3.18	0.40	4.5	0.71				
114	0.7	0.00108	20	20	34	26	2.33	2.33	PDE for lot 24	n/a						
113	0.1	0.00016	20	20	34	26	0.35	2.68	PDE for lot 25	n/a						
115	0.9	0.00144	0	21	21	58	3.84	7.12	Moon dust E. 1/2	Sump	0.38		6	7.12	Sump	
124	0.9	0.00144	0	21	21	58	3.84	9.63	Moon dust W. 1/2	Sump	0.38		5	9.63	Sump	
110	0.4	0.00061	20	20	34	26	1.31	1.31	PDE for lot 26	n/a						
112	0.9	0.00144	21	21	58	3.84	5.15	North Star Ct E. 1/2	Sump	0.43		4	5.15	Sump		
109	1.3	0.00208	20	20	34	26	4.49	4.49	PDE for lot 27	n/a						
108	0.9	0.00144	21	21	58	3.84	9.35	North Star Ct W. 1/2	Sump	0.43		3	9.35	Sump		
125	0.1	0.00020	0	33	67	0.59	0.59	Glendale Ave S. 1/2	n/a							
107	0.2	0.00036	0	33	67	1.02	1.02	Glendale Ave S. 1/2	3.15	0.09	1.9	0.15	2	1.02	0.00	
104	1.1	0.00169	20	20	34	26	3.64	3.64	PDE for lot 27	n/a						
106	0.9	0.00144	21	21	58	3.84	7.48	Twilight Ct E. 1/2	0.86	0.33	2.4	0.42	1	7.47	3.86	
101	0.9	0.00144	21	21	58	3.84	11.33	Twilight Ct W. 1/2	2.15	0.38	3.7	0.59	11	5.73	Sump	
116	0.4	0.00065	0	33	67	1.88	5.73	Glendale Ave S. 1/2	3.15	0.28	3.3	0.45				
121	4.2	0.00656	9	9	42	40	16.21	16.21	Glendale Ave N. 1/2	3.18	0.44	4.9	0.81			
120	2.9	0.00453	25	27	48	11.57	11.57	Glendale Ave N. 1/2	3.18	0.51	5.9	1.05				
119	0.3	0.00047	10	90	1.46	1.46	19.24	19.24	Glendale Ave N. 1/2	3.15	0.52	6.0	1.08	8	15.22	14.02
118	0.2	0.00031	10	90	0.97	0.97	14.99	14.99	Glendale Ave N. 1/2	3.15	0.38	3.7	0.59	9	10.05	4.94
117	0.2	0.00031	10	90	0.97	0.97	5.92	5.92	Glendale Ave N. 1/2	3.15	0.32	3.8	0.54	10	5.08	0.84



DMG MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

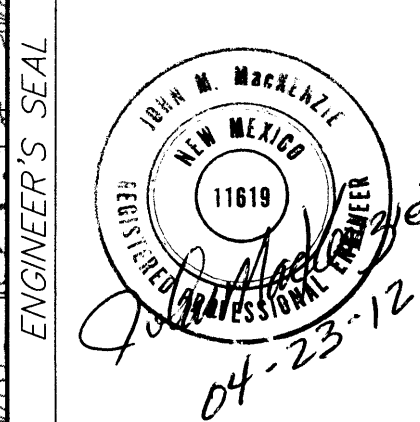
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**TITLE: THE ESTATES AT GLENDALE - UNIT 1
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

DESIGNED BY: GJK DATE: 11/11
DRAWN BY: ACH DATE: 11/11
CHECKED BY: DMG DATE: 11/11

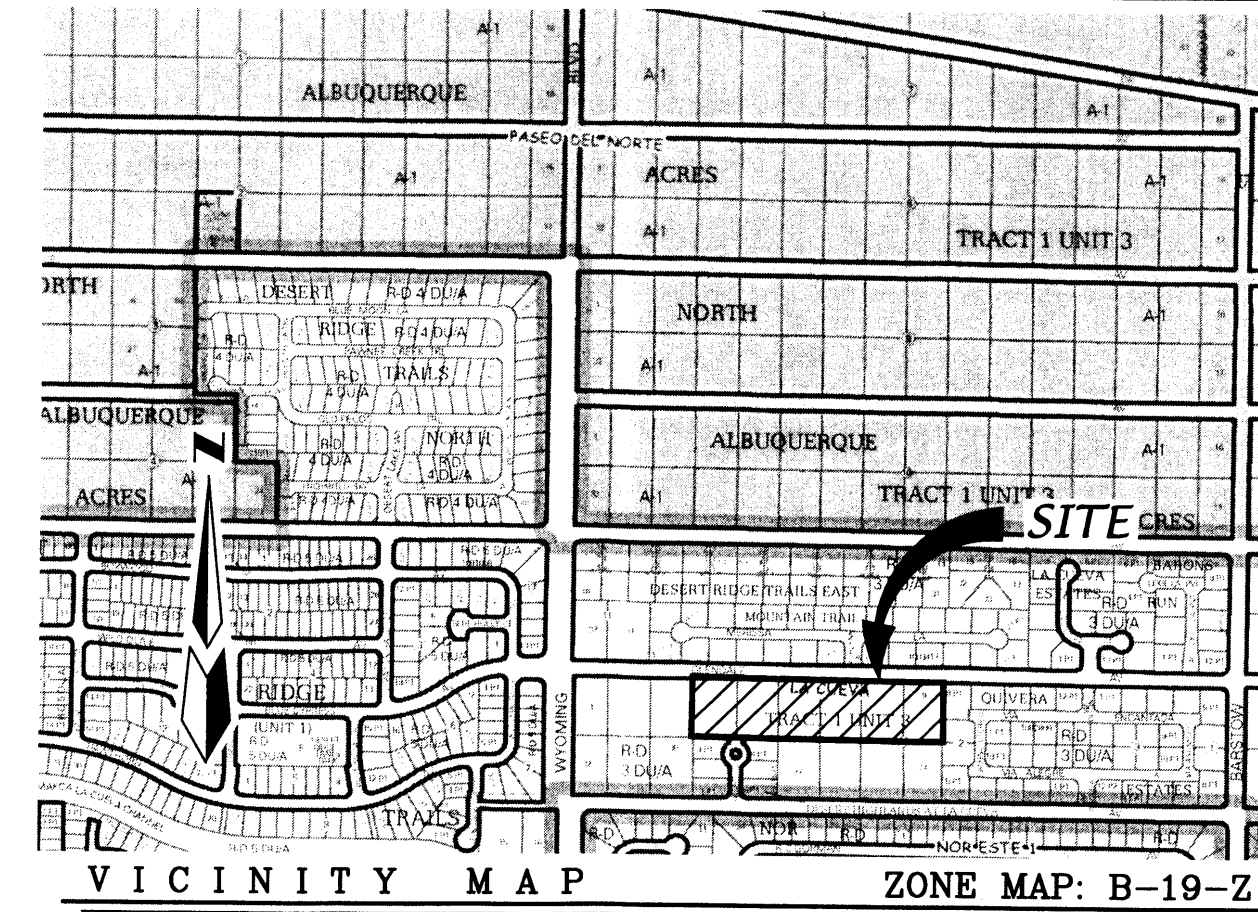
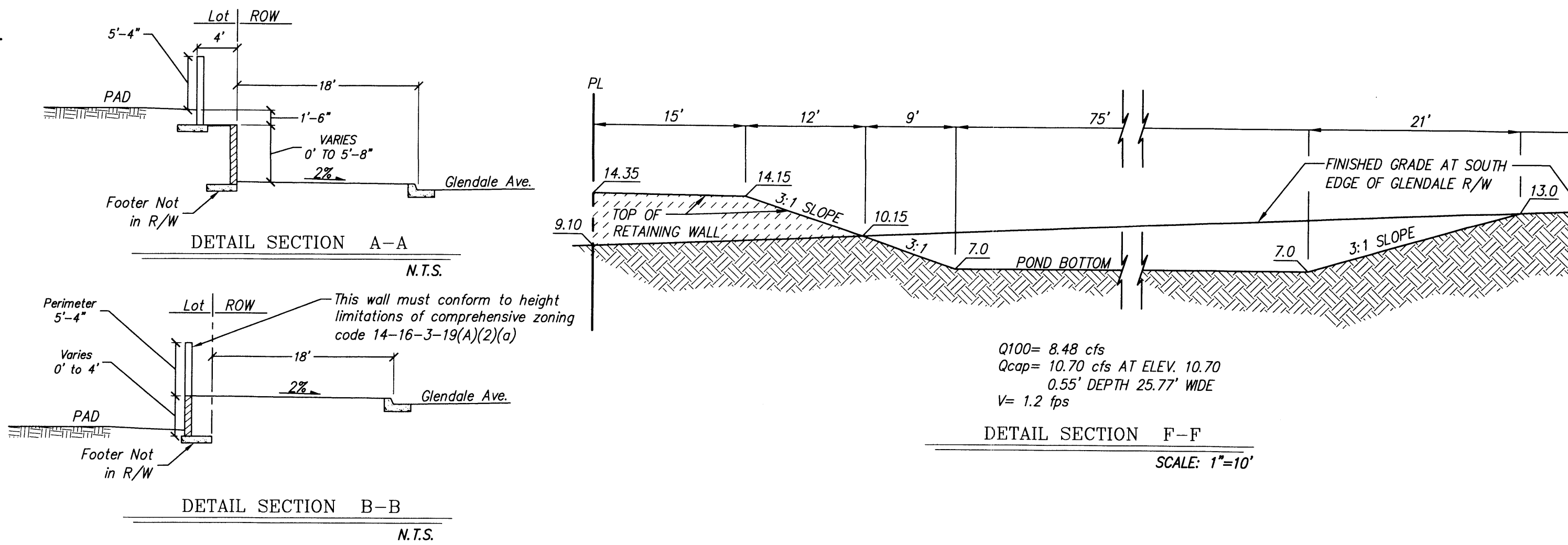
CITY PROJECT NO. ZONE MAP NO. SHEET 2 OF 4
B-19-Z



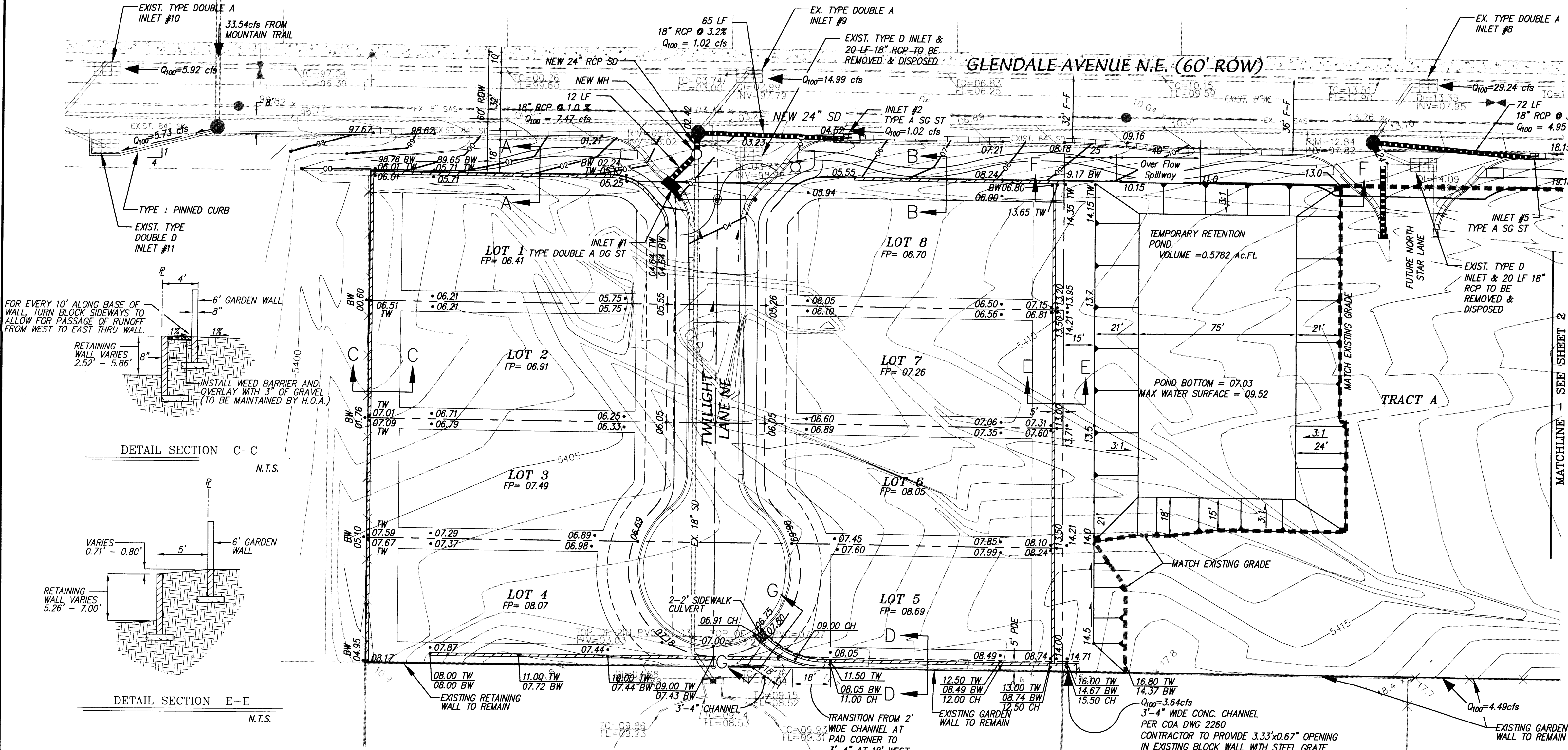
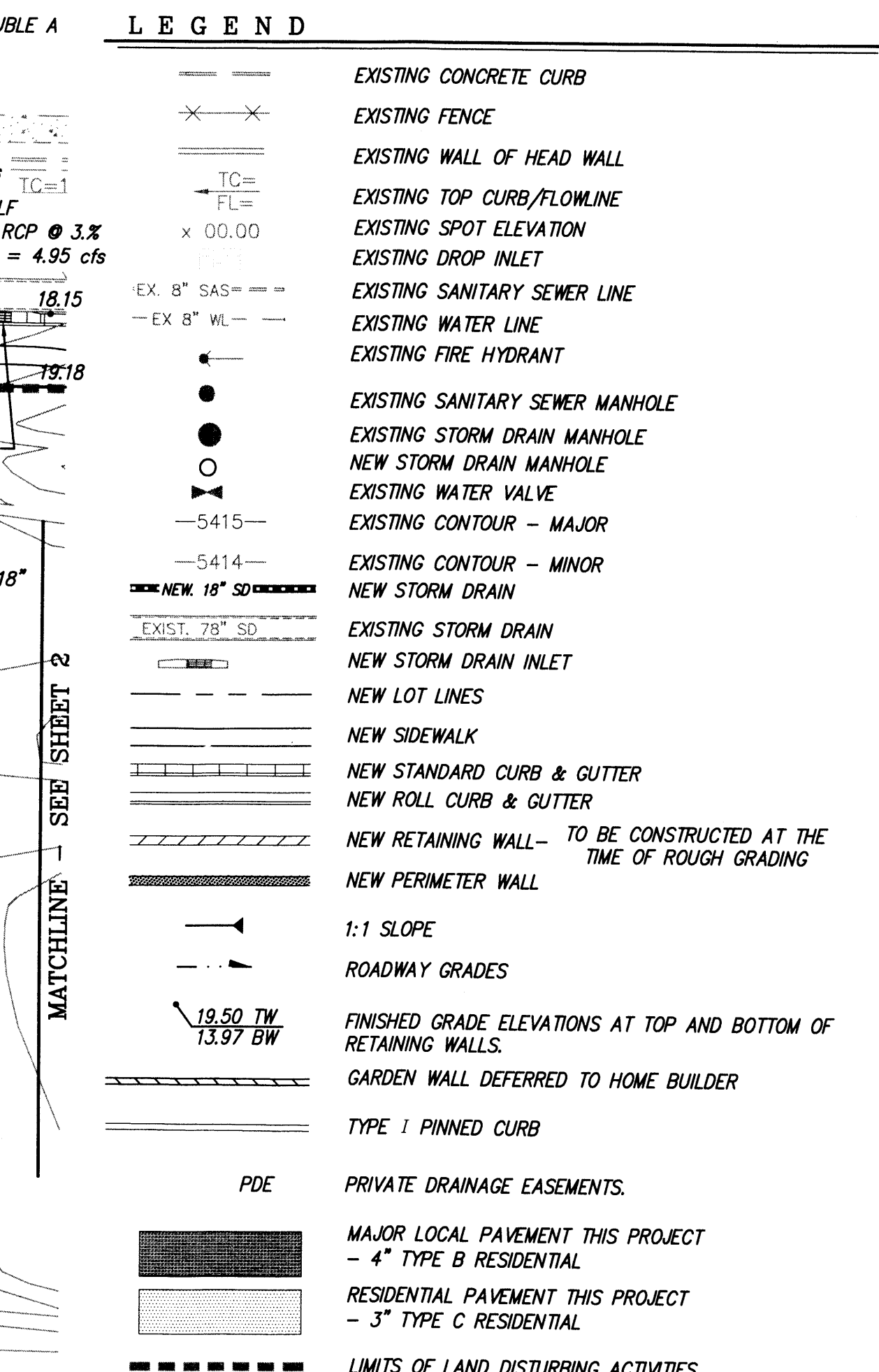
F:\111025\A11004 Glendale Res\GRADE & DRAIN\A11004 GRADE & DRAIN\UNIT1-R1.dwg, 4/20/2012 10:43:15 AM, Stephen

GENERAL SITE CONSTRUCTION NOTES

- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY AND DO NOT NECESSARILY SHOW ALL THE UTILITIES ON THE SITE.
- ALL STORM DRAIN, PAVING, CURB, AND VALLEY GUTTER WORK ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT #1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- IN THE EVENT OF PHASED CONSTRUCTION STORM WATER RUNOFF IS TO BE PREVENTED FROM UNDEVELOPED PORTIONS OF THE SITE BY CONSTRUCTING TEMPORARY RETENTION PONDS IN THE UNDEVELOPED PORTION OF THE SITE CAPABLE OF RETAINING THE 100 YR, 10 DAY STORMWATER RUNOFF VOLUME FROM ALL ONSITE AND OFFSITE AREAS DRAINING TO IT.
- NOTE ALL STREET SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- STRUCTURAL STANDARDS AND SPECIFICATIONS OF WALLS AND SLOPE PAWING ARE NOT PROVIDED ON THIS GRADING AND DRAINAGE PLAN AND ARE TO BE SUPPLIED SEPARATELY BY CONTRACTOR PRIOR TO CONSTRUCTION.

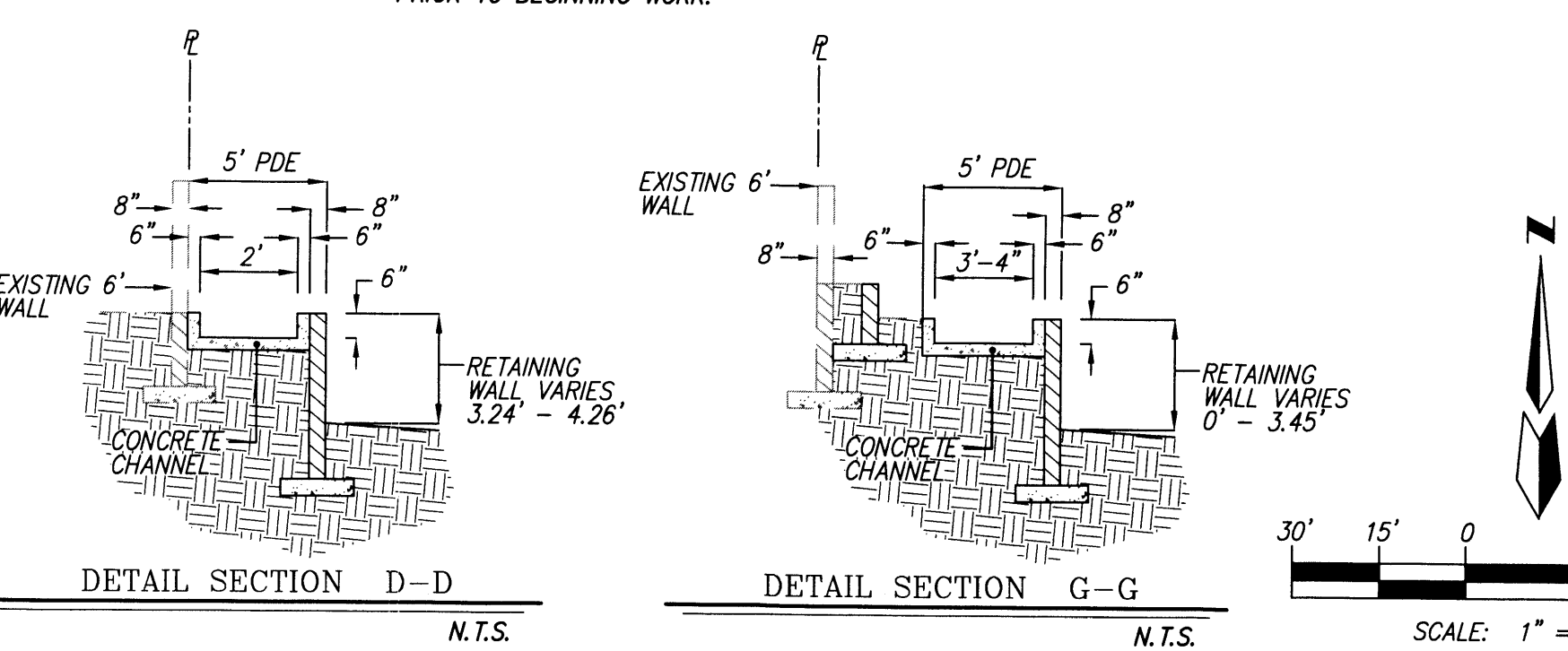


LEGAL
LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES
September 10, 1931 in Volume D, Folio 121.



EROSION CONTROL / ENVIRONMENTAL PROTECTION NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMIT FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY INSTALLING SILT FENCES OR PERMANENT BLOCK WALLS AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT FOR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES, HOWEVER, WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS STABILIZATION MEASURES MUST BE INITIATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE GRUBBING, EXCESS CUT MATERIAL, VEGETATION DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICAL PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER PREVENTION PLAN ONSITE AT ALL TIMES.



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

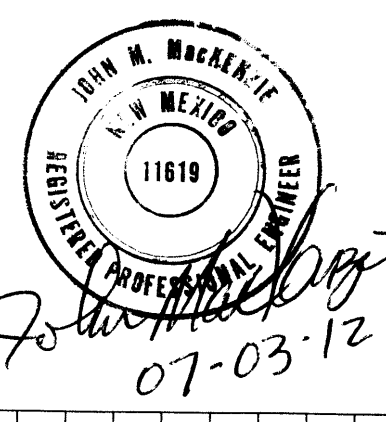
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **THE ESTATES AT GLENDALE - UNIT 1 GRADING & DRAINAGE PLAN**

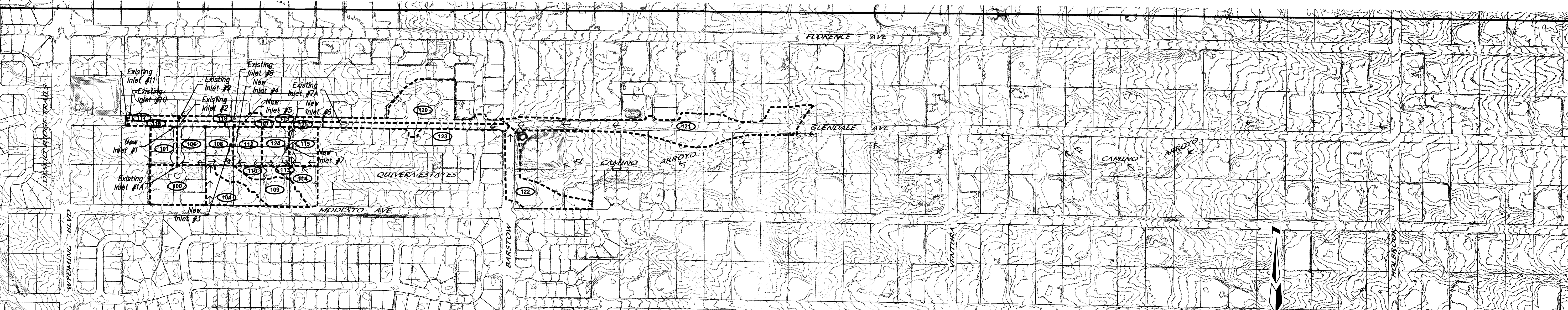
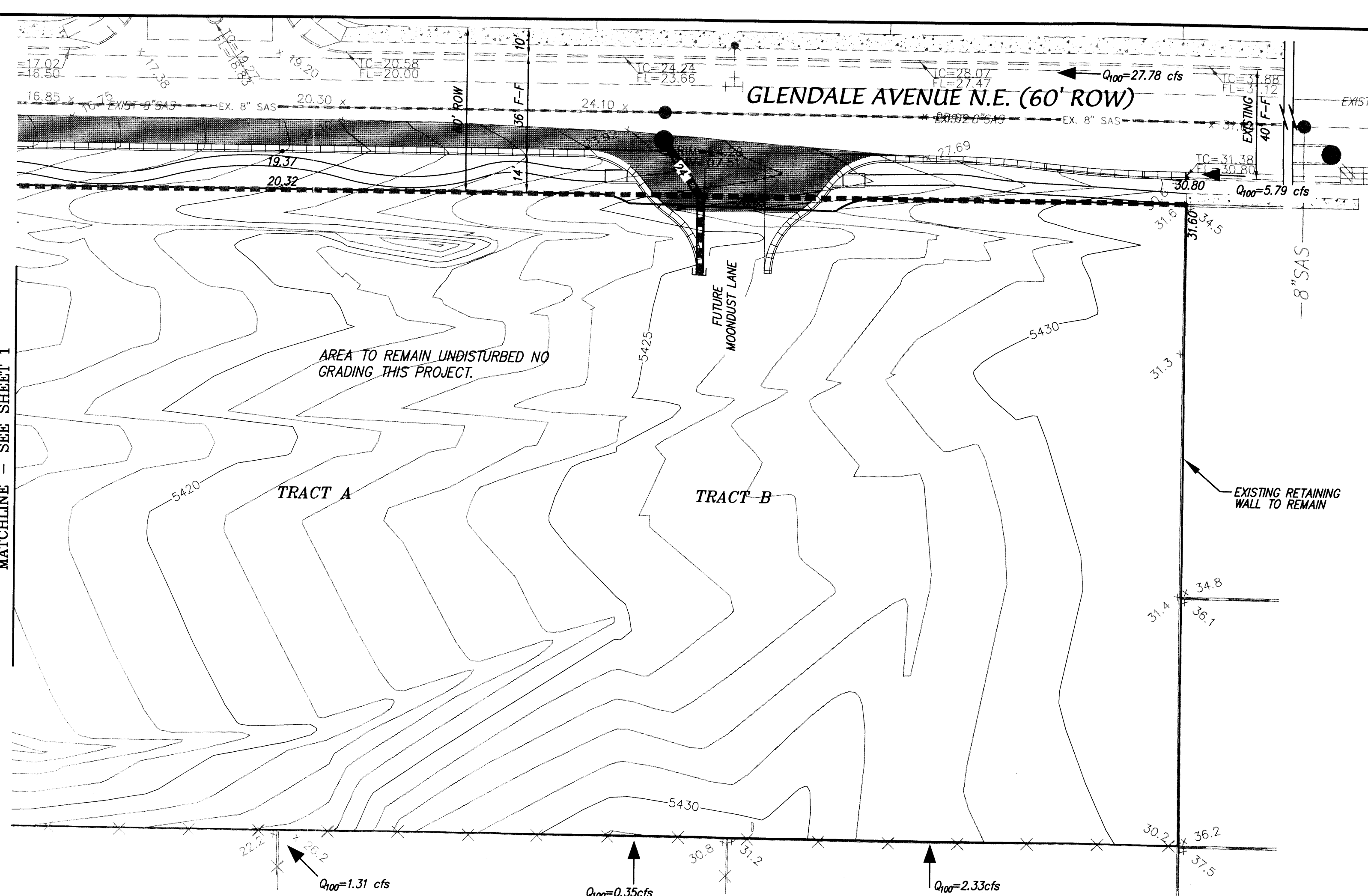
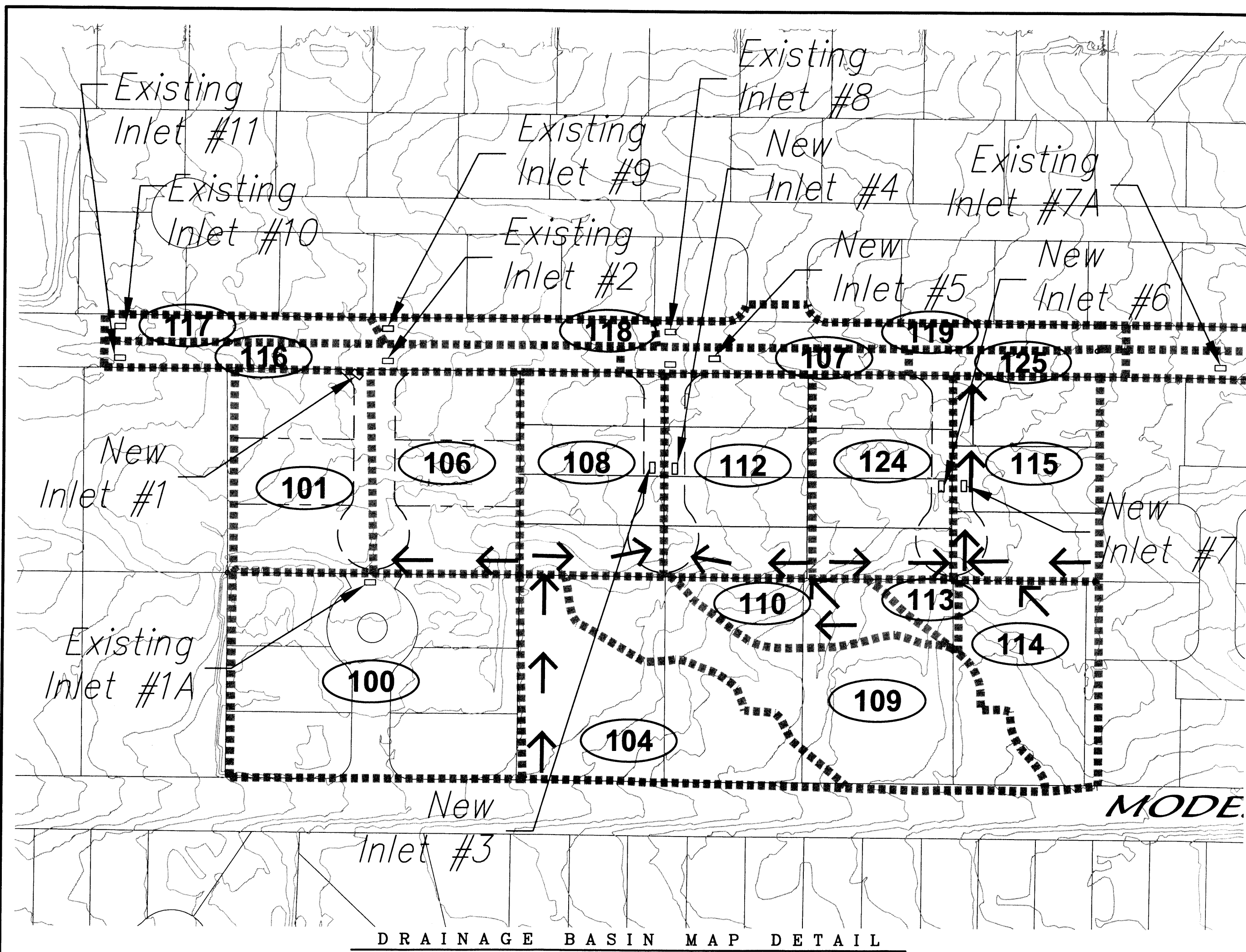
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

CITY PROJECT NO. **702783** ZONE MAP NO. **B-19-Z** SHEET **1** OF **2**

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	NO.	DATE
AGRS Brass Cap in concrete post stamped "1-1920"		AGRS Brass Cap in concrete post stamped "1-1920"					
WORKED BY: INSPECTOR'S ACCEPTANCE BY: VERIFICATION BY: DRAWING BY: CHECKED BY: MICROC-FILM INFORMATION		From the intersection of Louisiana Boulevard and Paseo Del Norte NE go east on Paseo Del Norte 1 mile to Barstow Street, then north on Barstow Street 1 mile to Modesto Avenue. The station is located in the northeast quadrant of the intersection.					
		Geographic Position (NAD83), in feet					
		N.M. State Plane Coordinates (Central Zone)					
		N=1524154.945, E=1550483.349					
		Elevation=5477.179 (NAVD83), in feet					



07-03-12



HYDROLOGY SUMMARY TABLE

BASIN ID	AREA (Ac)	HYDROLOGY				Street flows				Inlet Cals						
		Ground Cover (%)	A	B	C	Location	Slope (%)	Depth (ft)	Velocity (fps)	Energy (ft)	Inlet #	Intercepted (cfs)	By-pass (cfs)			
122	2.1	0.00328	13	13	26	48	8.16	8.16	0.61	0.46	2.3	0.54				
123	0.8	0.00125	15	85		3.83	11.99	3.18	0.40	4.5	0.71					
114	0.7	0.00108	20	20	34	26	2.33	2.33	n/a				7A	6.20	5.79	
113	0.1	0.00016	20	20	34	26	0.35	2.68	n/a							
115	0.9	0.00144	0	21	21	58	3.84	7.12	Sump	0.38			7	7.12	Sump	
124	0.9	0.00144	0	21	21	58	3.84	9.63	Sump	0.38			6	9.63	Sump	
110	0.4	0.00061	20	20	34	26	1.31	1.31	n/a							
112	0.9	0.00144	21	21	58		3.84	5.15	Sump	0.43			4	5.15	Sump	
109	1.3	0.00208	20	20	34	26	4.49	4.49	n/a							
108	0.9	0.00144	21	21	58		3.84	9.35	Sump	0.43			3	9.35	Sump	
125	0.1	0.00020	0	33	67		0.59	0.59	n/a							
107	0.2	0.00036	0	33	67		1.02	1.02	3.15	0.09	1.9	0.15	5	1.02	0.00	
104	1.1	0.00169	20	20	34	26	3.64	3.64	n/a							
106	0.9	0.00144	21	21	58		3.84	7.48	Sump	0.86	0.33	2.4	0.42			
101	0.9	0.00144	21	21	58		3.84	11.33	Sump	2.15	0.38	3.7	0.59	1	7.47	3.86
100	1.8	0.00290	21	21	58		7.84	19.10	Sump	2.50				1A	7.48	Sump
116	0.4	0.00065	0	33	67		1.88	5.73	n/a					2 & 11	5.73	Sump
121	4.2	0.00656	9	9	42	40	16.21	16.21	3.18	0.44	4.9	0.81				
120	2.9	0.00453	25	27	48		11.57	27.78	3.18	0.51	5.9	1.05				
119	0.3	0.00047	10	90			1.46	29.24	3.15	0.52	6.0	1.08	8	15.22	14.02	
118	0.2	0.00031	10	90			0.97	14.99	3.15	0.38	3.7	0.59	9	10.05	4.94	
117	0.2	0.00031	10	90			0.97	5.92	3.15	0.32	3.8	0.54	10	5.08	0.84	

AS BUILT INFORMATION

CONTRACTOR: _____ DATE: _____
 STAKED BY: _____ DATE: _____
 INSPECTOR'S FIELD VERIFICATION BY: _____ DATE: _____
 MICRO-FILM INFORMATION: _____ DATE: _____

BENCH MARKS

APRS Brass Cap in concrete post stamped "1-820".
 From the intersection of Louisiana Boulevard and Paseo Del Norte NE go east on Paseo Del Norte 1 mile to Barstow Street, then north on Barstow Street 1 mile to Modesto Avenue. The station is located in the northeast quadrant of the intersection.
 Geographic Position (NAD83), in feet
 N=1524154.945, E=1550483.349
 Elevation=5477.79 (NAVD83), in feet

SURVEY INFORMATION

FIELD NOTES: _____
 NO. _____ BY _____ DATE: _____

ENGINEER'S SEAL

MARK GOODWIN
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW MEXICO
 07-03-12

REVISIONS

NO.	DATE	REMARKS	BY
		DESIGN	G/K
		REVISIONS	ACH
		DESIGN	DMG

DESIGNED BY: G/K DATE: 11/11
 DRAWN BY: ACH DATE: 11/11
 CHECKED BY: DMG DATE: 11/11

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

TITLE: **THE ESTATES AT GLENDALE - UNIFUNIT 1 GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE: _____ CITY ENGINEER APPROVAL: _____

LAST DESIGN UPDATE: _____ MO./DAY/YR. _____ MO./DAY/YR. _____

CITY PROJECT NO. _____ ZONE MAP NO. **B-19-Z** SHEET **2** OF **2**

**PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 7
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2012**

SUBDIVISION DATA

GROSS ACREAGE	5.9930 AC
ZONE ATLAS NO.	B-19-Z
NO. OF LOTS EXISTING	6 LOTS
NO. OF LOTS/TRACTS CREATED	8 LOTS/2 TRACTS
DATE OF SURVEY	FEBRUARY, 2011

DESCRIPTION

A TRACT OF LAND SITUATE, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 121, TOGETHER WITH A PORTION OF GLENDALE AVENUE NE AND CONTAINING 5.9930 ACRES MORE OR LESS.

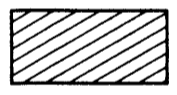


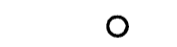

PURPOSE OF PLAT

- SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS, AND 2 TRACTS FOR FUTURE RESIDENTIAL SUBDIVISION.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS \circ SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-31, D-121)
ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- ADDRESS OF PROPERTY: 7720, 7800, 7820, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008
- TRACT A AND B IS FOR FUTURE SUBDIVISION IN ACCORDANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION.

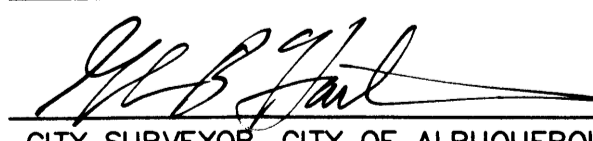
LEGEND


-  ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.5004 ACRES)
-  LIMITS OF VACATION
-  LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)
-  CENTER LINE MONUMENT OF PRIVATE ROADWAY.
-  SET 5/8 REBAR WITH CAP "LS 7719".

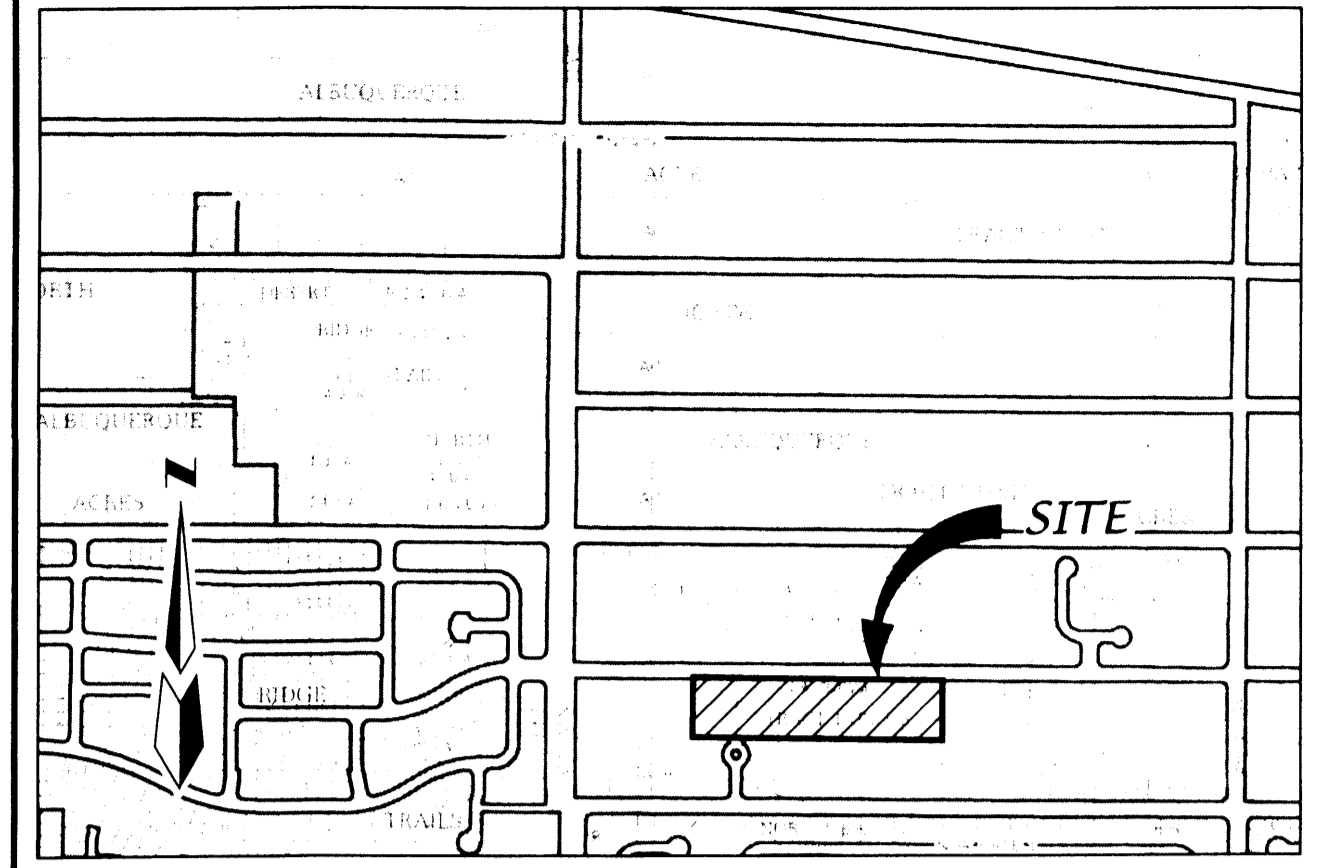
EASEMENTS

- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED
- NEW 47' PRIVATE ROADWAY, PUBLIC WATER, AND PUBLIC SANITARY SEWER EASEMENT.
- NEW 5' PRIVATE PEDESTRIAN ACCESS EASEMENT TO BE MAINTAINED BY H.O.A.
- 5' PDE PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.
- 4' PDE PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF LOTS 1-4, AND ARE TO BE MAINTAINED BY THE OWNERS OF SAID LOTS.

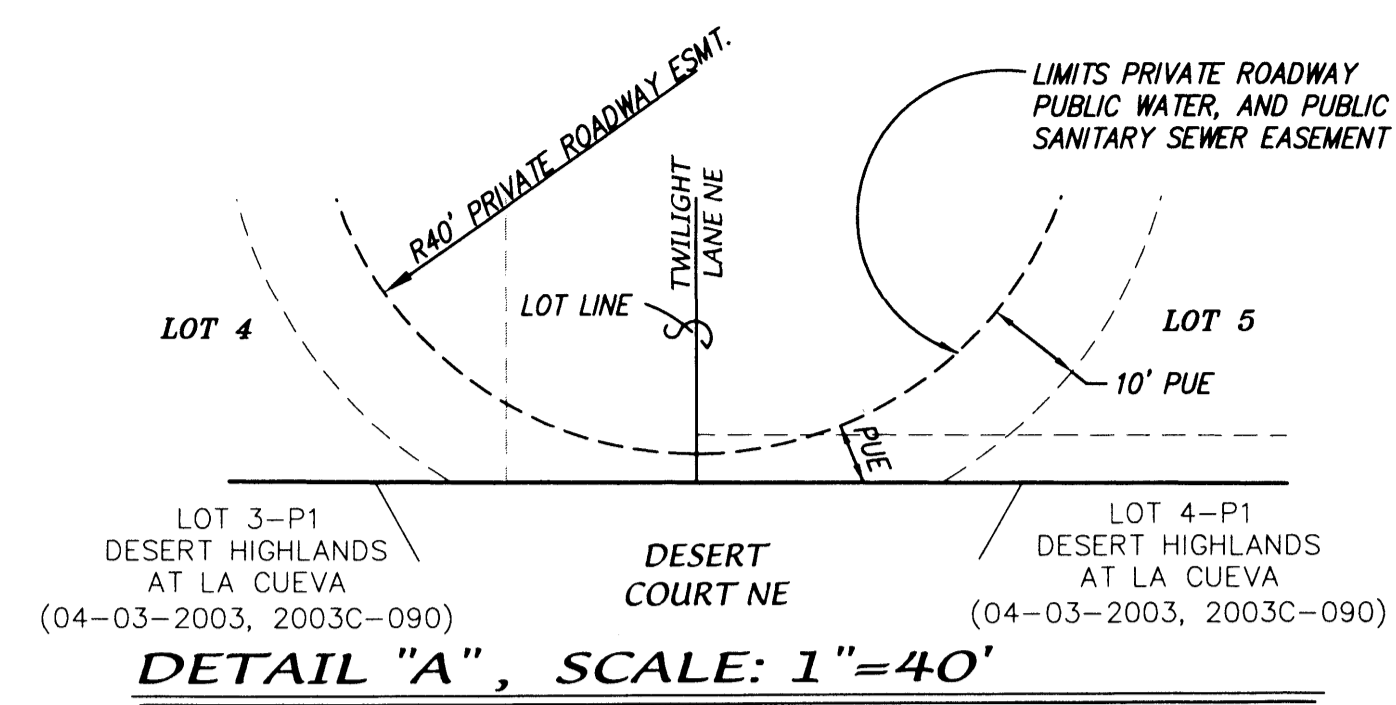
APPROVED


CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. 3-1-12
DATE

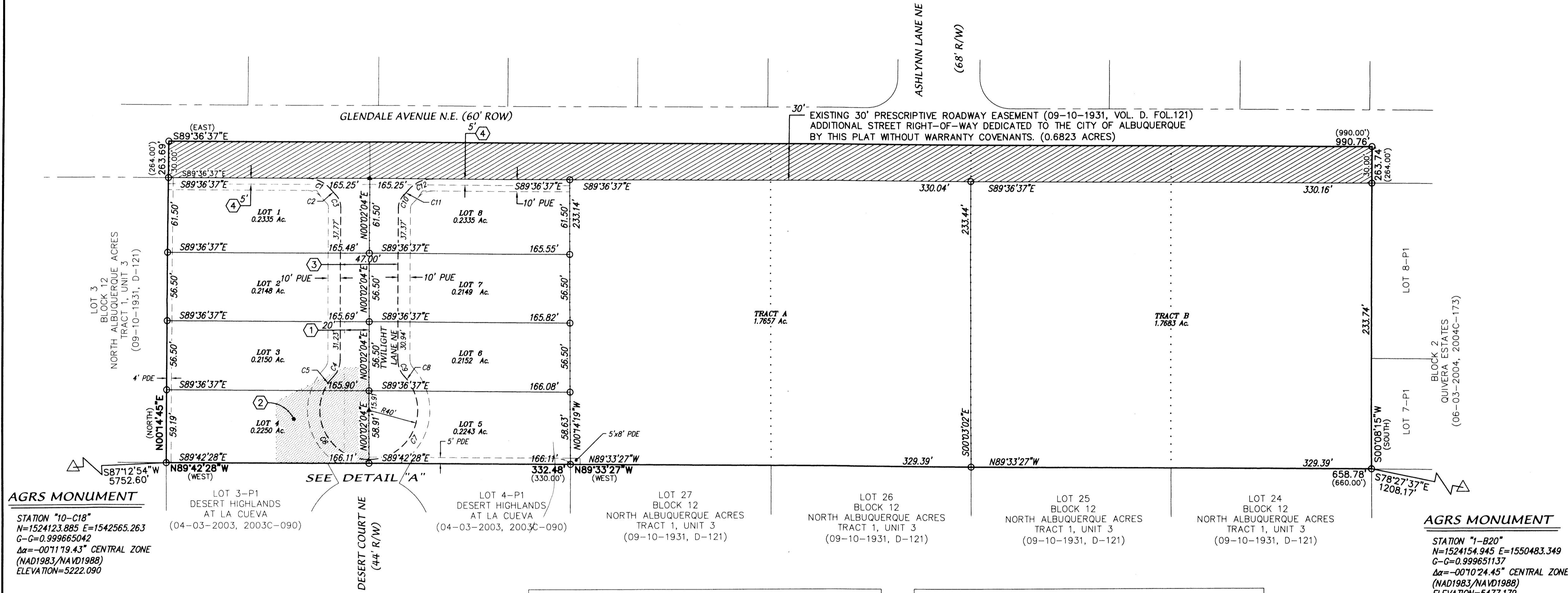
GLENDALE LLC, OWNER LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES

RANDALL SCHMILLE, MANAGING MEMBER 2/28/12
DATE



VICINITY MAP SCALE: 1" = 750' ZONE ATLAS B-19-Z



DETAIL "A", SCALE: 1" = 40'



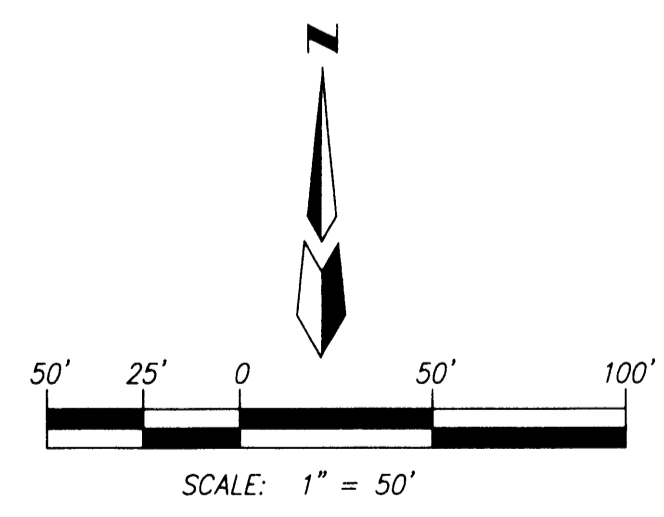
AGRS MONUMENT
STATION "10-C18"
N=1524123.885 E=1542565.263
G-G=0.999665042
 $\Delta\alpha = -001119.43^\circ$ CENTRAL ZONE
(NAD1983/NAVD1988)
ELEVATION=5222.090

AGRS MONUMENT
STATION "1-B20"
N=1524154.945 E=1550483.349
G-G=0.999651137
 $\Delta\alpha = -001024.45^\circ$ CENTRAL ZONE
(NAD1983/NAVD1988)
ELEVATION=5477.179

SITE BENCHMARK
AGRS MONUMENT "1-B20"
ELEVATION=5477.179
(NAVD 1988)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C1	22.46'	25.00'	51'28"28"	12.05'	N63°52'23"W	21.71'
C2	5.32'	40.00'	7'37"23"	2.66'	S41°56'51"E	5.32'
C3	11.59'	14.50'	45'47"36"	6.12'	N22°51'44"W	11.28'
C4	15.20'	20.00'	43'31'51"	7.99'	N21°48'01"E	14.83'
C5	13.78'	40.00'	19'44'15"	6.96'	S33°41'49"W	13.71'
C6	79.44'	40.00'	113°47'37"	61.35'	S33°04'07"E	67.02'
C7	78.95'	40.00'	113°04'59"	60.53'	N33°29'34"E	66.74'
C8	14.28'	40.00'	20'26'53"	7.21'	N33°16'22"W	14.20'
C9	15.20'	20.00'	43'31'52"	7.99'	S21°43'52"E	14.83'

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C10	11.59'	14.50'	45'47'36"	6.12'	S22°55'52"W	11.28'
C11	5.37'	40.00'	7'41'52"	2.69'	N41°58'44"E	5.37'
C12	22.80'	25.00'	52°15'34"	12.26'	S64°15'36"W	22.02'



SURVEYOR
ALDRICH LAND SURVEYING
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190
(505) 884-1990

OWNERS
GLENDALE, LLC
7101 NATALIE JANAE LANE NE
ALBUQUERQUE, N.M. 870109
(505) 315-0312

ENGINEERS
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

1008656

PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2012

SUBDIVISION DATA

GROSS ACREAGE	5.9930 AC
ZONE ATLAS NO.	B-19-Z
NO. OF LOTS EXISTING	6 LOTS
NO. OF LOTS/TRACTS CREATED	8 LOTS/2 TRACTS
DATE OF SURVEY	FEBRUARY, 2011

DESCRIPTION

A TRACT OF LAND SITUATE, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 121, TOGETHER WITH A PORTION OF GLENDALE AVENUE NE AND CONTAINING 5.9930 ACRES, MORE OR LESS.

PURPOSE OF PLAT

- SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS, AND 2 TRACTS FOR FUTURE RESIDENTIAL SUBDIVISION.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS O SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-31, D-121)
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- ADDRESS OF PROPERTY: 7720, 7800, 7820, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008
- TRACT A AND B IS FOR FUTURE SUBDIVISION IN ACCORDANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION.

LEGEND

- ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.5004 ACRES)
- LIMITS OF VACATION
- LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)
- CENTER LINE MONUMENT OF PRIVATE ROADWAY.
- SET 5/8 REBAR WITH CAP "LS 7719".

EASEMENTS

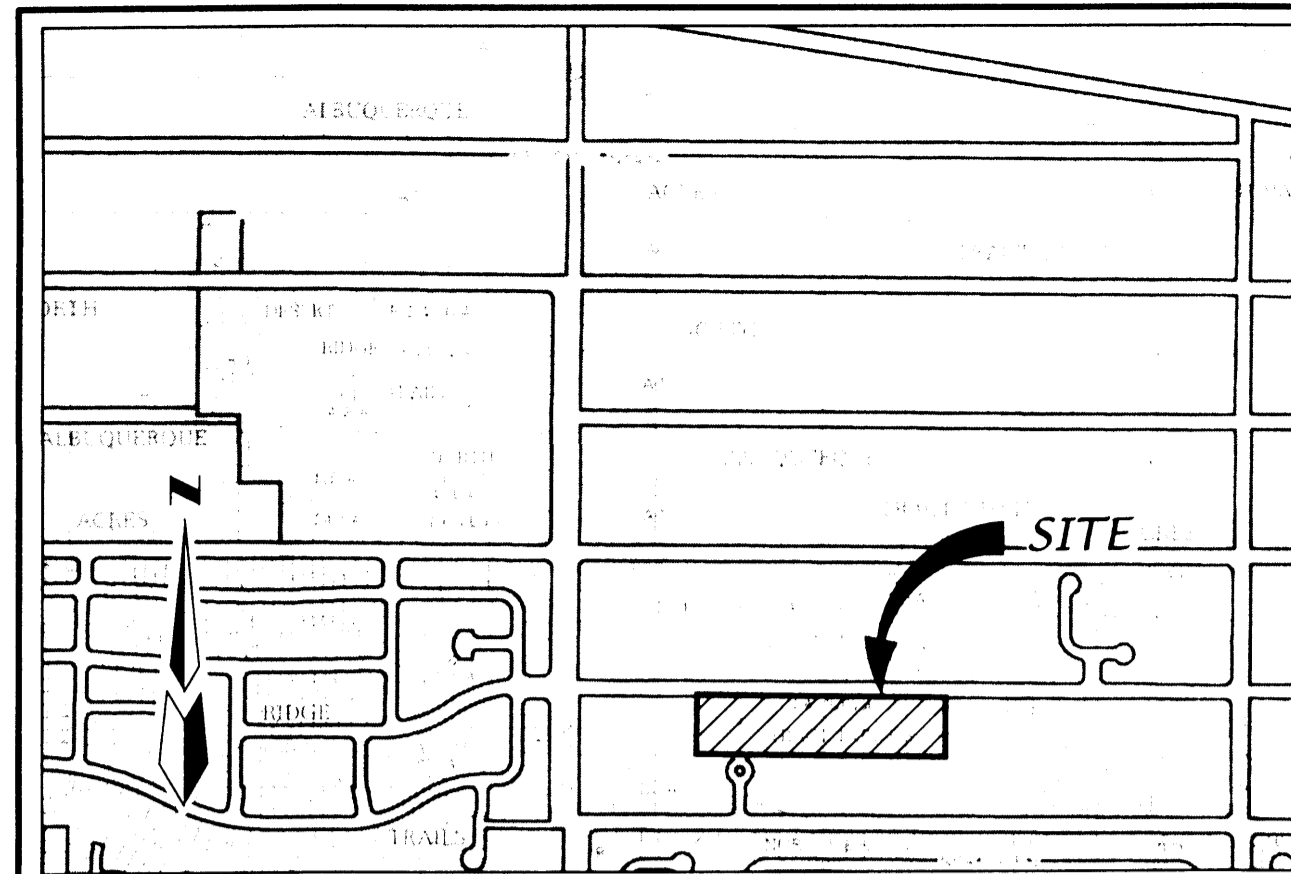
- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
 - EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED
 - NEW 47' PRIVATE ROADWAY, PUBLIC WATER, AND PUBLIC SANITARY SEWER EASEMENT.
 - NEW 5' PRIVATE PEDESTRIAN ACCESS EASEMENT TO BE MAINTAINED BY H.O.A.
- 5' PDE PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.

APPROVED

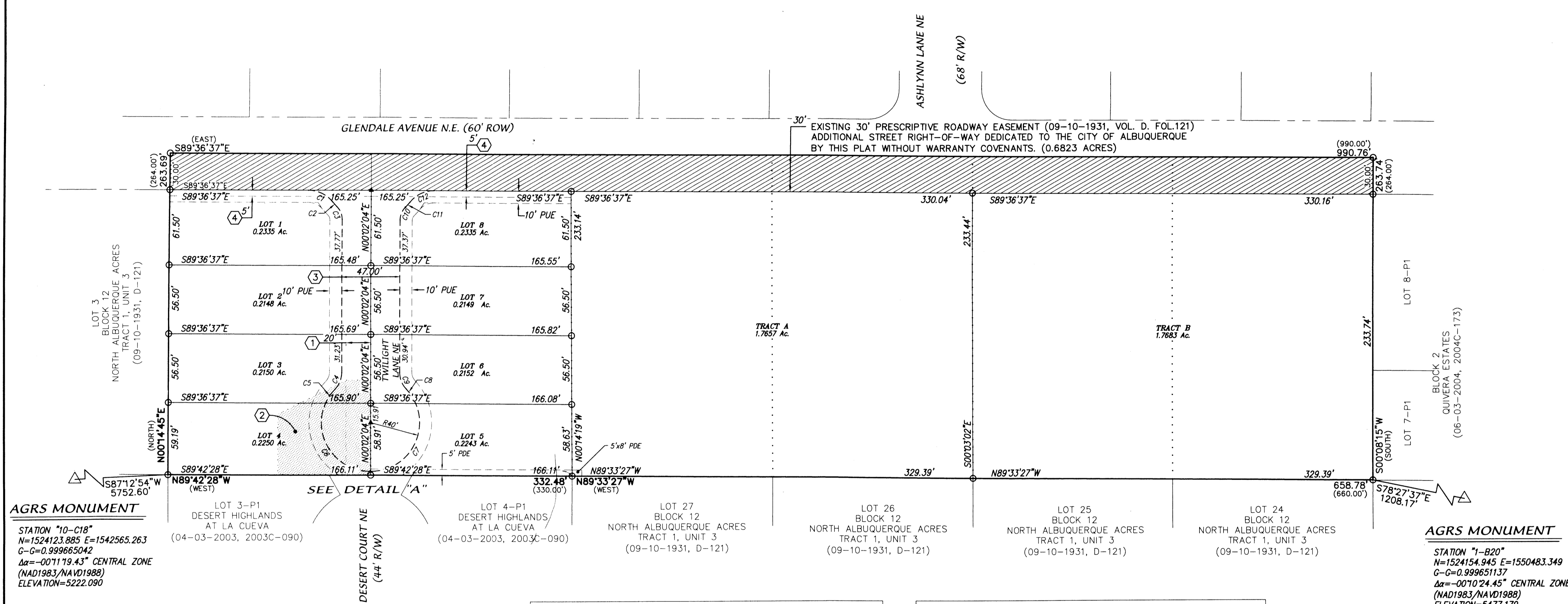
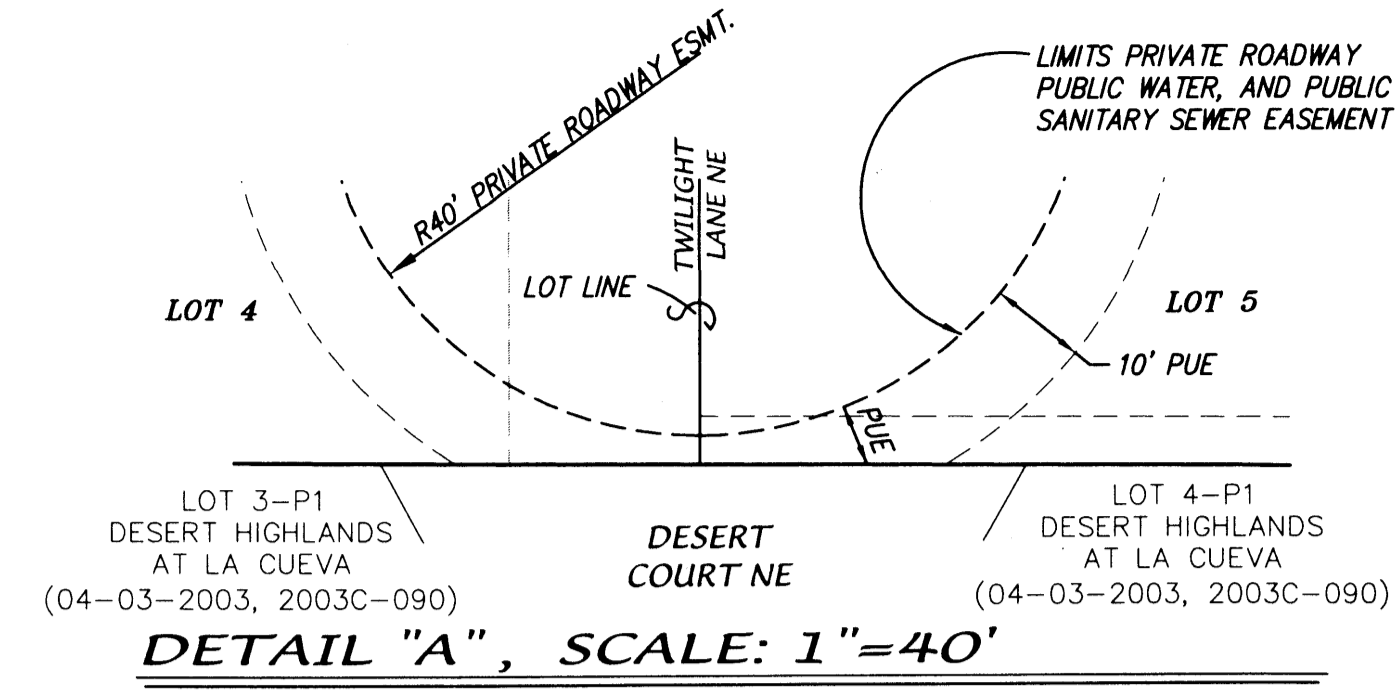
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. 3-1-12
DATE

GLENDALE LLC, OWNER LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES

 RANDALL SCHILLE, MANAGING MEMBER 2/28/12
DATE



VICINITY MAP SCALE: 1" = 750' ZONE ATLAS B-19-Z



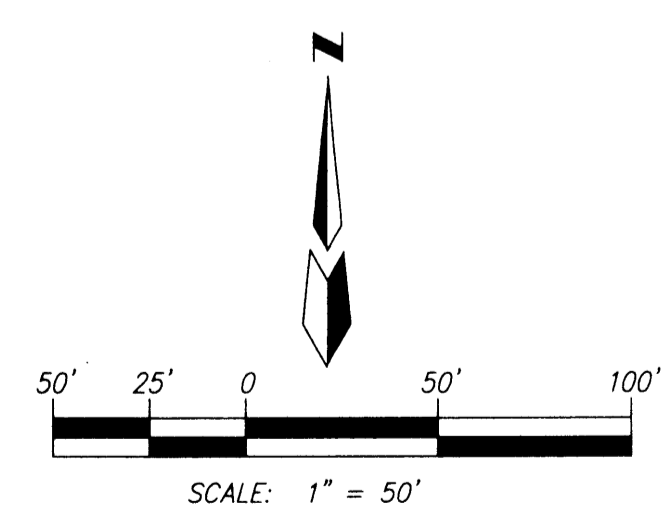
AGRS MONUMENT
 STATION "10-C18"
 N=1524123.885 E=1542565.263
 G-G=0.999665042
 Δα=-0071°19.43' CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5222.090

AGRS MONUMENT
 STATION "1-B20"
 N=1524154.945 E=1550483.349
 G-G=0.999651137
 Δα=-0070°24.45' CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5477.179

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C1	22.46'	25.00'	51°28'28"	12.05'	N63°52'23"W	21.71'
C2	5.32'	40.00'	7°37'23"	2.66'	S41°56'51"E	5.32'
C3	11.59'	14.50'	45°47'36"	6.12'	N22°51'44"W	11.28'
C4	15.20'	20.00'	43°31'51"	7.99'	N21°48'01"E	14.83'
C5	13.78'	40.00'	19°44'15"	6.96'	S33°41'49"W	13.71'
C6	79.44'	40.00'	113°47'37"	61.35'	S33°04'07"E	67.02'
C7	78.95'	40.00'	113°04'59"	60.53'	N33°29'34"E	66.74'
C8	14.28'	40.00'	20°26'53"	7.21'	N33°16'22"W	14.20'
C9	15.20'	20.00'	43°31'52"	7.99'	S21°43'52"E	14.83'

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C10	11.59'	14.50'	45°47'36"	6.12'	S22°55'52"W	11.28'
C11	5.37'	40.00'	7°41'52"	2.69'	N41°58'44"E	5.37'
C12	22.80'	25.00'	52°15'34"	12.26'	S64°15'36"W	22.02'

SITE BENCHMARK
 AGRS MONUMENT "1-B20"
 ELEVATION=5477.179
 (NAVD 1988)



SURVEYOR
 ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

OWNERS
 GLENDALE, LLC
 7101 NATALIE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

F:\111085\11004 GLENDALE RES\PLATS\PRELIMINARY PLATS\11004_P_PLAT.DWG, 2/28/2012 9:34:08 AM, Stephen

PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2012

SUBDIVISION DATA

GROSS ACREAGE	5.9930 AC
ZONE ATLAS NO.	B-19-Z
NO. OF LOTS EXISTING	6 LOTS
NO. OF LOTS/TRACTS CREATED	8 LOTS/2 TRACTS
DATE OF SURVEY	FEBRUARY, 2011

DESCRIPTION

A TRACT OF LAND SITUATE, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 121, TOGETHER WITH A PORTION OF GLENDALE AVENUE NE AND CONTAINING 5.9930 ACRES, MORE OR LESS.






PURPOSE OF PLAT

- SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS, AND 2 TRACTS FOR FUTURE RESIDENTIAL SUBDIVISION.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS O SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-31, D-121)
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- ADDRESS OF PROPERTY: 7720, 7800, 7820, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008
- TRACT A AND B IS FOR FUTURE SUBDIVISION IN ACCORDANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION.


LEGEND

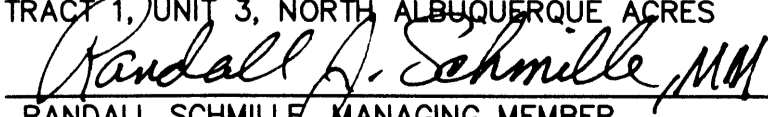
-  ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.5004 ACRES)
-  LIMITS OF VACATION
-  LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)
-  CENTER LINE MONUMENT OF PRIVATE ROADWAY.
-  SET 5/8 REBAR WITH CAP "LS 7719".

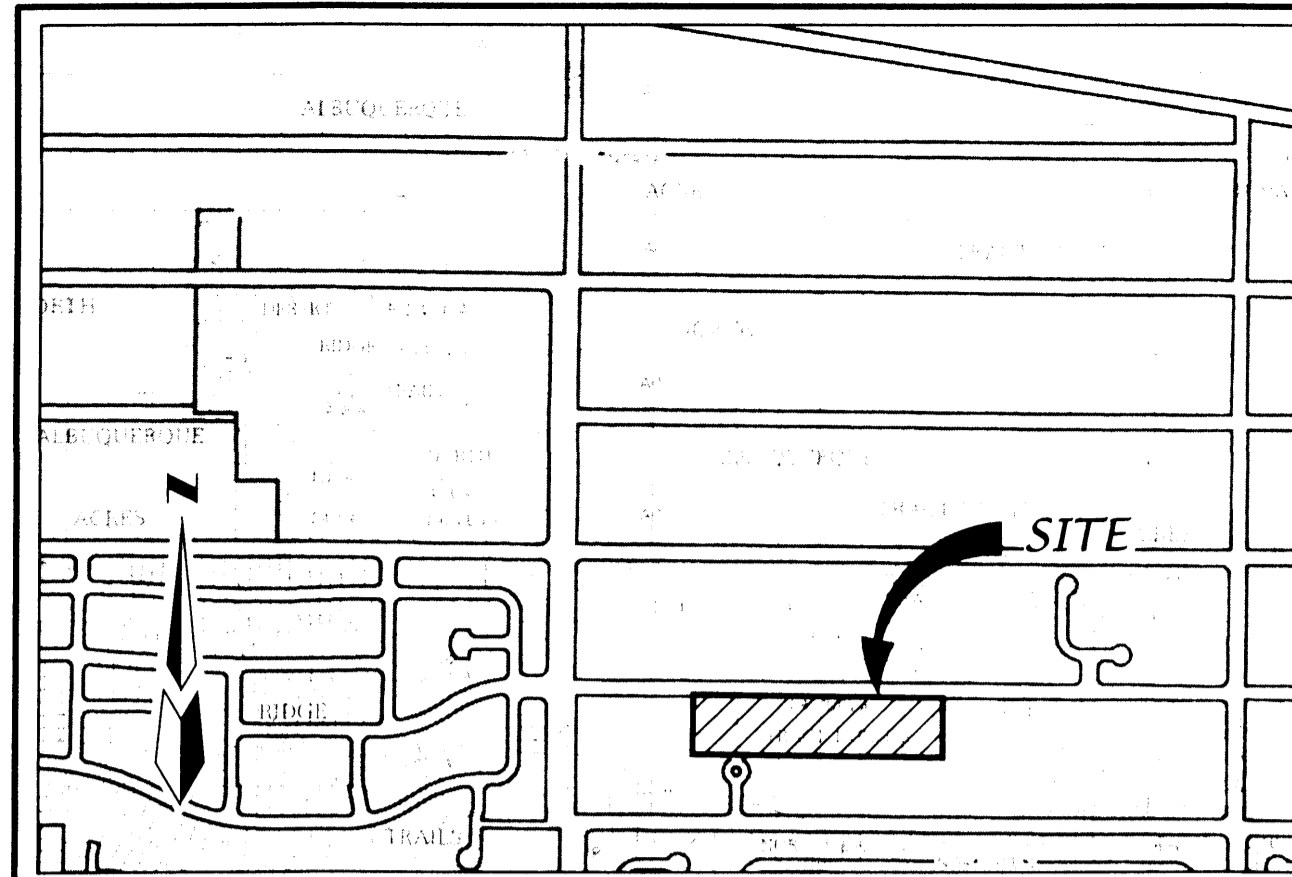
EASEMENTS

- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
 - EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED
 - NEW 47' PRIVATE ROADWAY, PUBLIC WATER, AND PUBLIC SANITARY SEWER EASEMENT.
 - NEW 5' PRIVATE PEDESTRIAN ACCESS EASEMENT TO BE MAINTAINED BY H.O.A.
- 5' PDE PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.

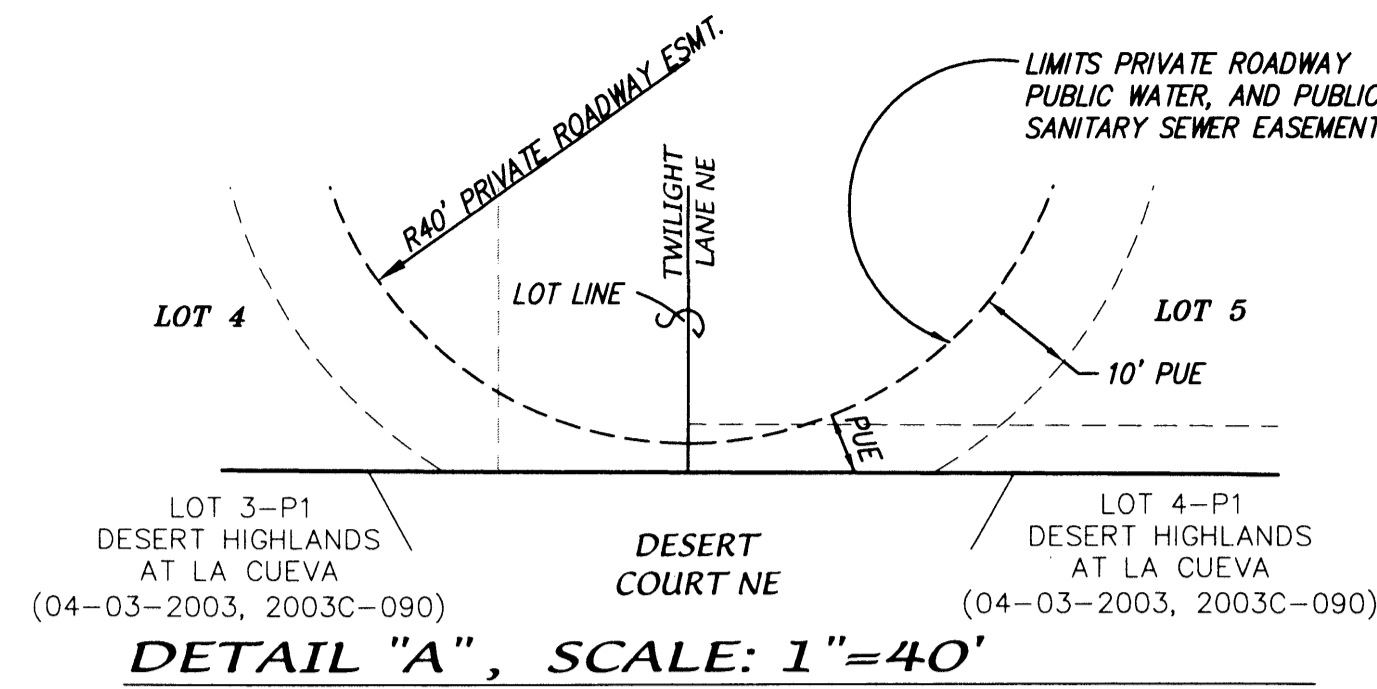
APPROVED


 CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. 3-1-12
DATE

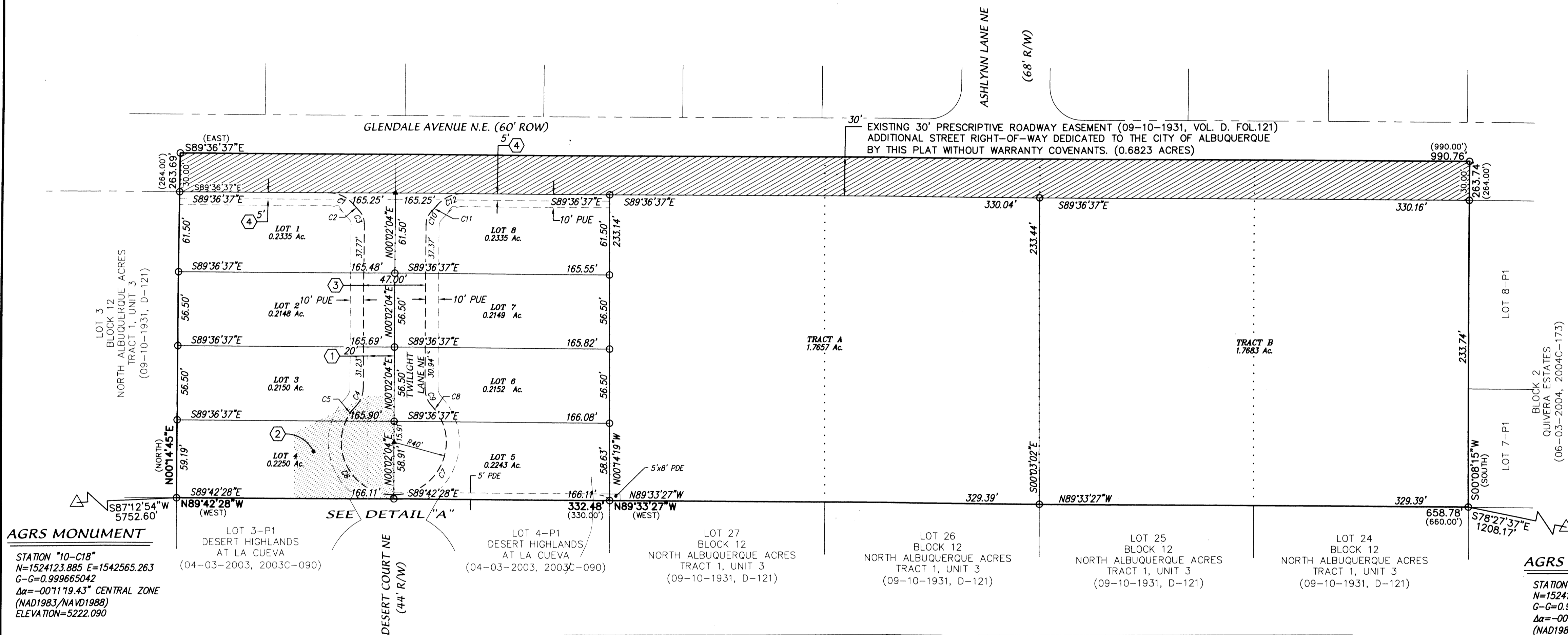
GLENDALE LLC, OWNER LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES

 RANDALL SCHMILE, MANAGING MEMBER 2/28/12
DATE



VICINITY MAP SCALE: 1" = 750' ZONE ATLAS B-19-Z



DETAIL "A", SCALE: 1" = 40'



AGRS MONUMENT

STATION "10-C18"
 N=1524123.885 E=1542565.263
 G-G=0.999665042
 Δα=-0°11'19.43" CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5222.090

AGRS MONUMENT

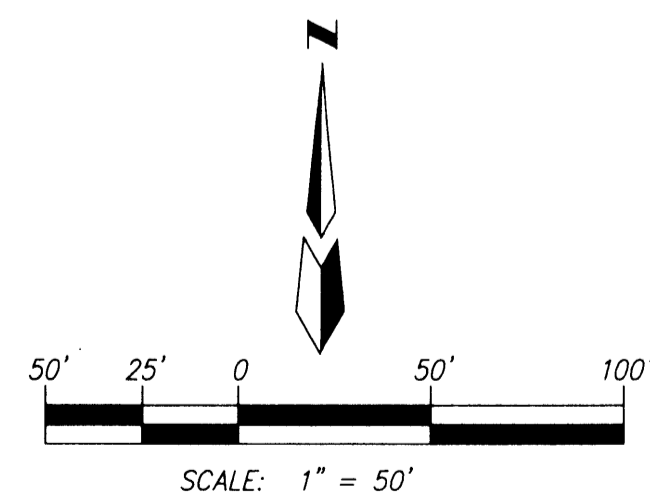
STATION "1-B20"
 N=1524154.945 E=1550483.349
 G-G=0.999651137
 Δα=-0°10'24.45" CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5477.179

SITE BENCHMARK

AGRS MONUMENT "1-B20"
 ELEVATION=5477.179
 (NAVD 1988)

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C1	22.46'	25.00'	51°28'28"	12.05'	N63°52'23"W	21.71'
C2	5.32'	40.00'	7°37'23"	2.66'	S41°56'51"E	5.32'
C3	11.59'	14.50'	45°47'36"	6.12'	N22°51'44"W	11.28'
C4	15.20'	20.00'	43°31'51"	7.99'	N21°48'01"E	14.83'
C5	13.78'	40.00'	19°44'15"	6.96'	S33°41'49"W	13.71'
C6	79.44'	40.00'	113°47'37"	61.35'	S33°04'07"E	67.02'
C7	78.95'	40.00'	113°04'59"	60.53'	N33°29'34"E	66.74'
C8	14.28'	40.00'	20°26'53"	7.21'	N33°16'22"W	14.20'
C9	15.20'	20.00'	43°31'52"	7.99'	S21°43'52"E	14.83'

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C10	11.59'	14.50'	45°47'36"	6.12'	S22°55'52"W	11.28'
C11	5.37'	40.00'	7°41'52"	2.69'	N41°58'44"E	5.37'
C12	22.80'	25.00'	52°15'34"	12.26'	S64°15'36"W	22.02'



SURVEYOR

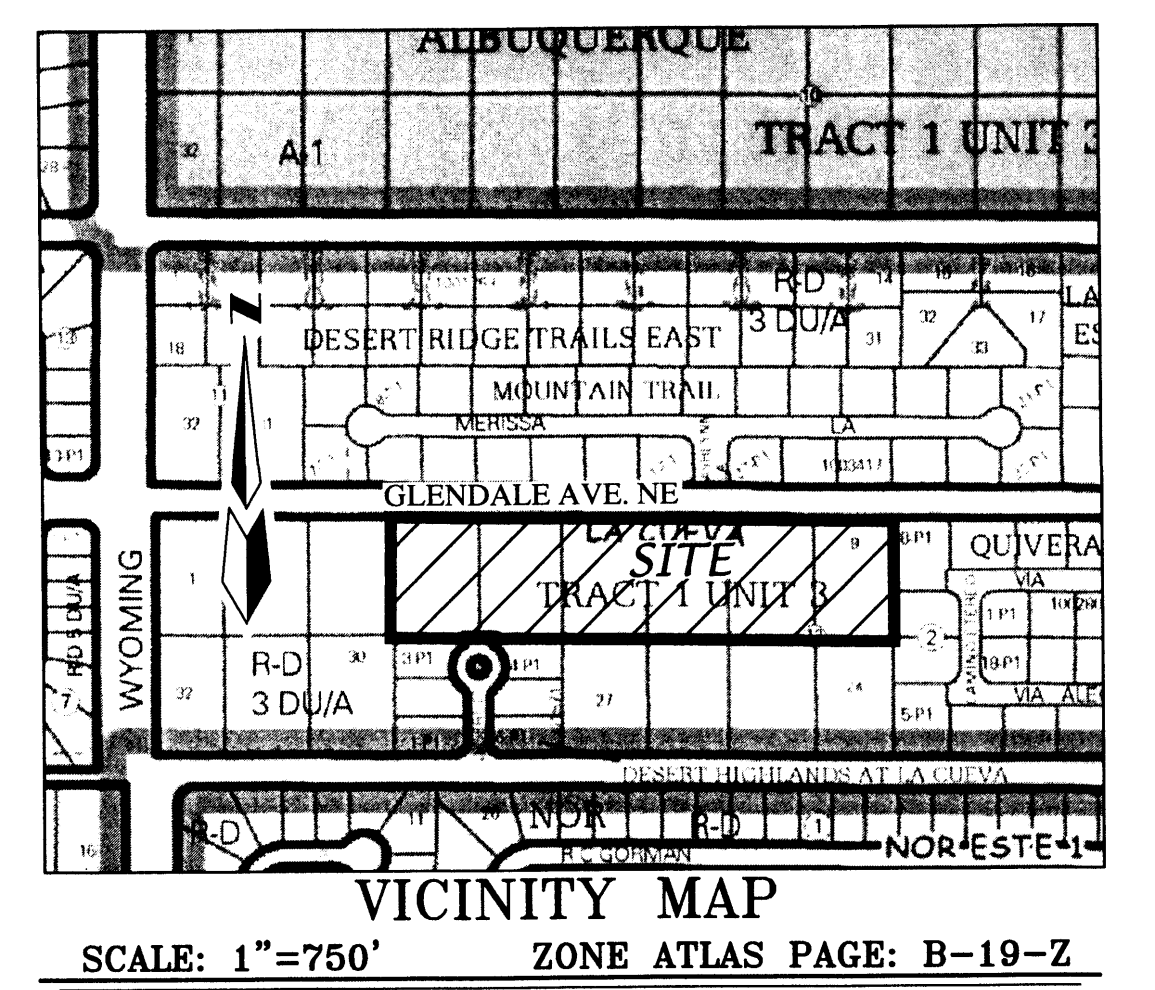
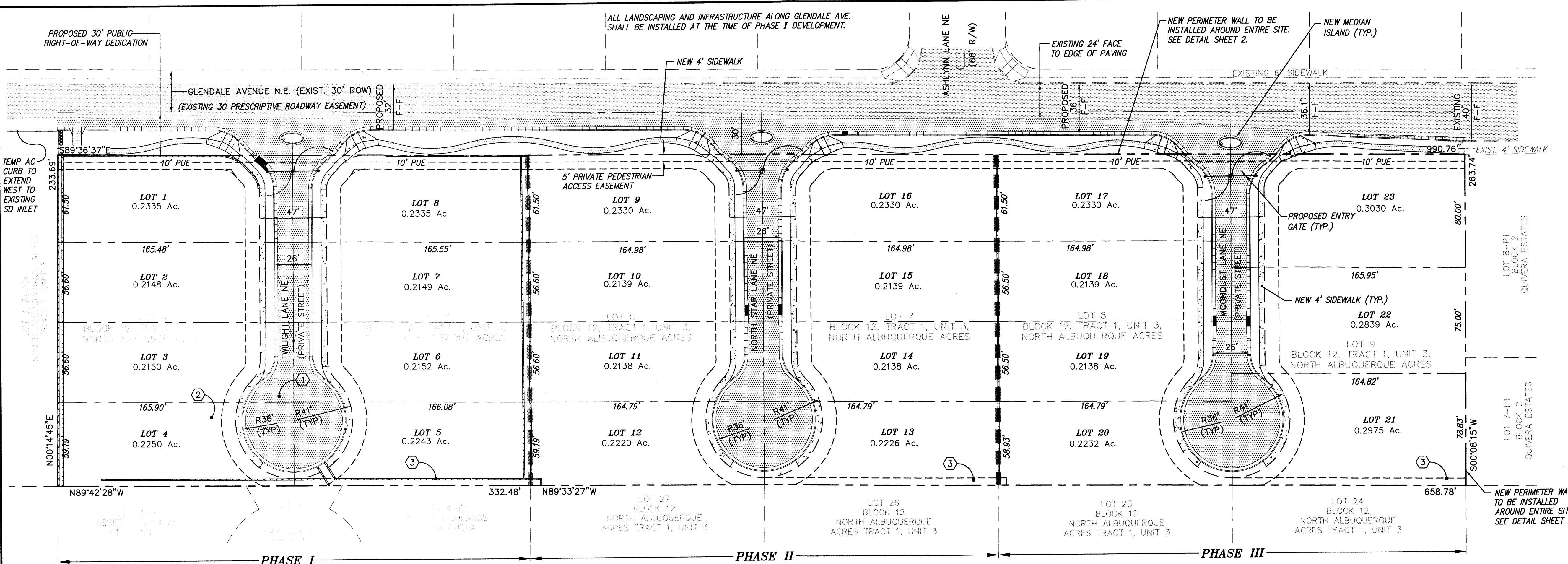
ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

OWNERS

GLENDALE, LLC
 7101 NATALIE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200



LEGAL DESCRIPTION
 A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

THE SITE:
 The site area is presently vacant, zoned RD - 3 DU/AC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
 The property is to be changed to SU-1 for RD - 5 DU/AC. Allowed uses shall be as permitted in the R-T zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets.
Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both side of new streets within the site.

Transit Access: Route 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS:
 Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-SITE PARKING:
 Minimum number of off-street parking spaces shall be provided according to the Intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
 Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail this sheet).

MAXIMUM TOTAL DWELLING UNITS:
 Maximum total number of residential units shall be 23.

LANDSCAPE STANDARDS:
 For Landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

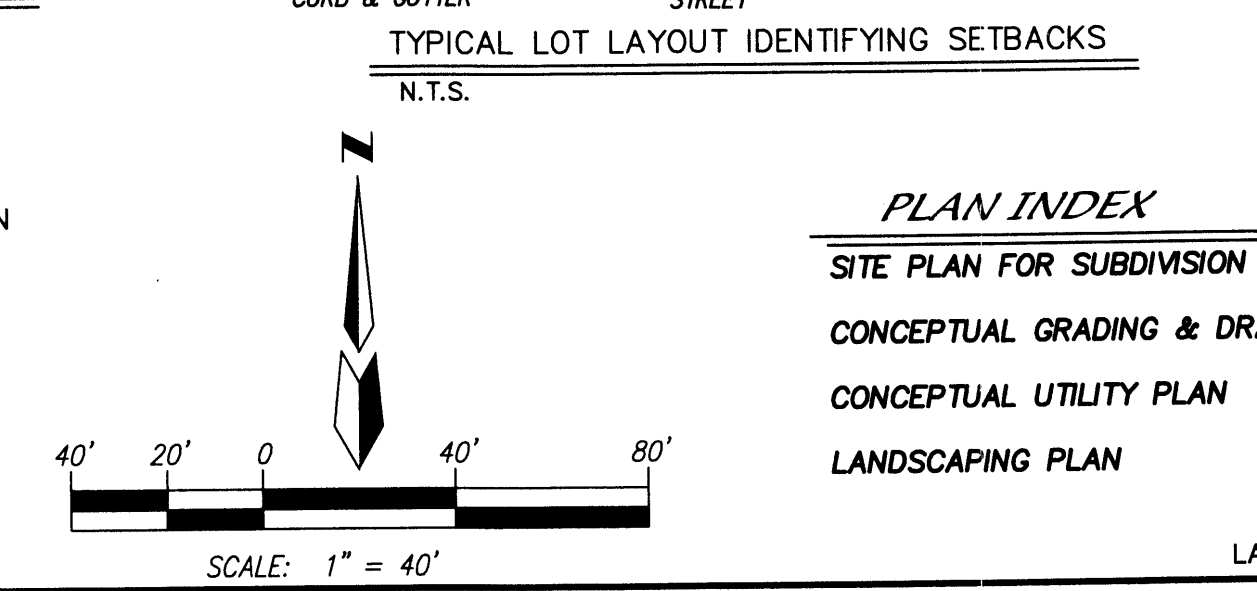
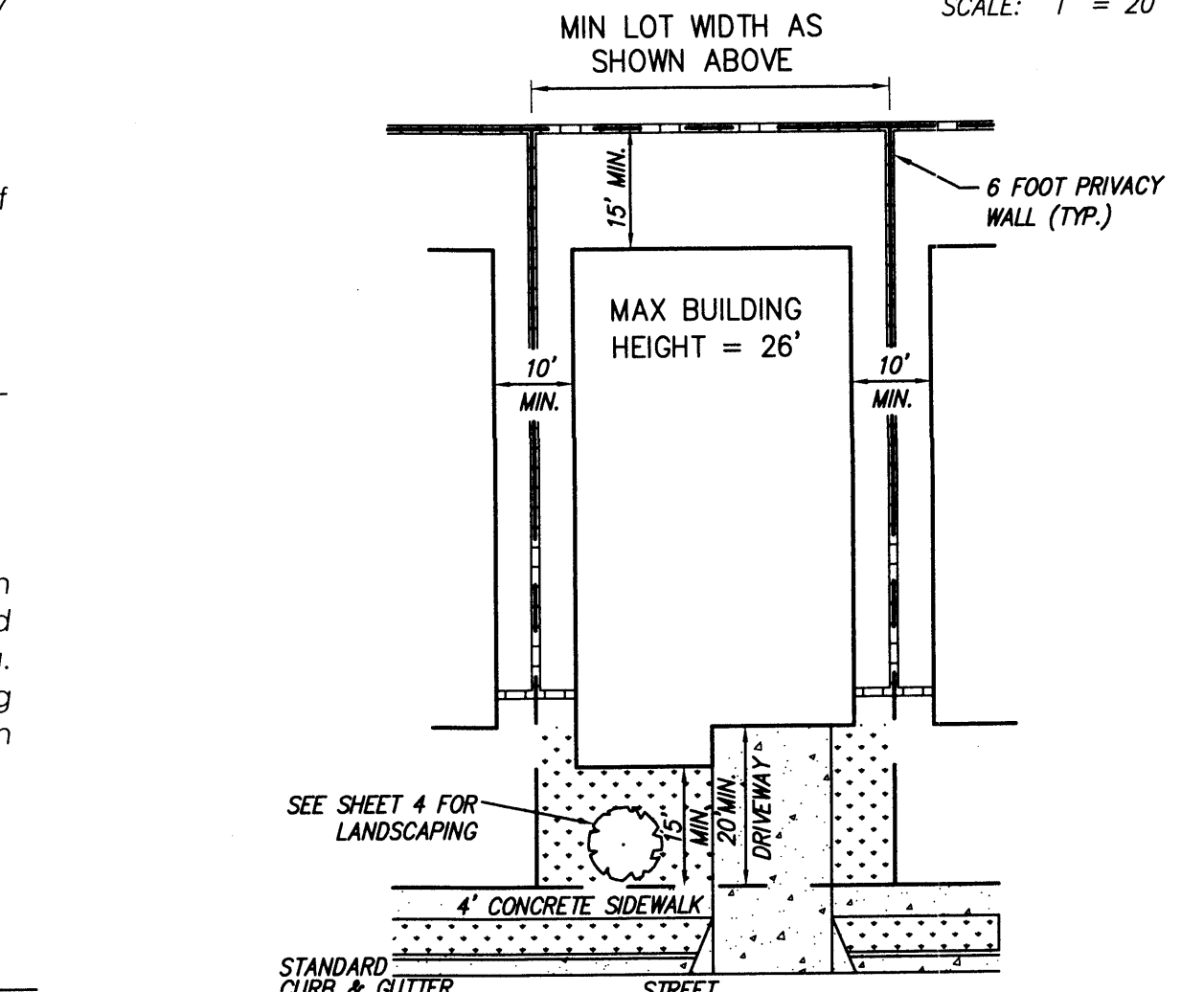
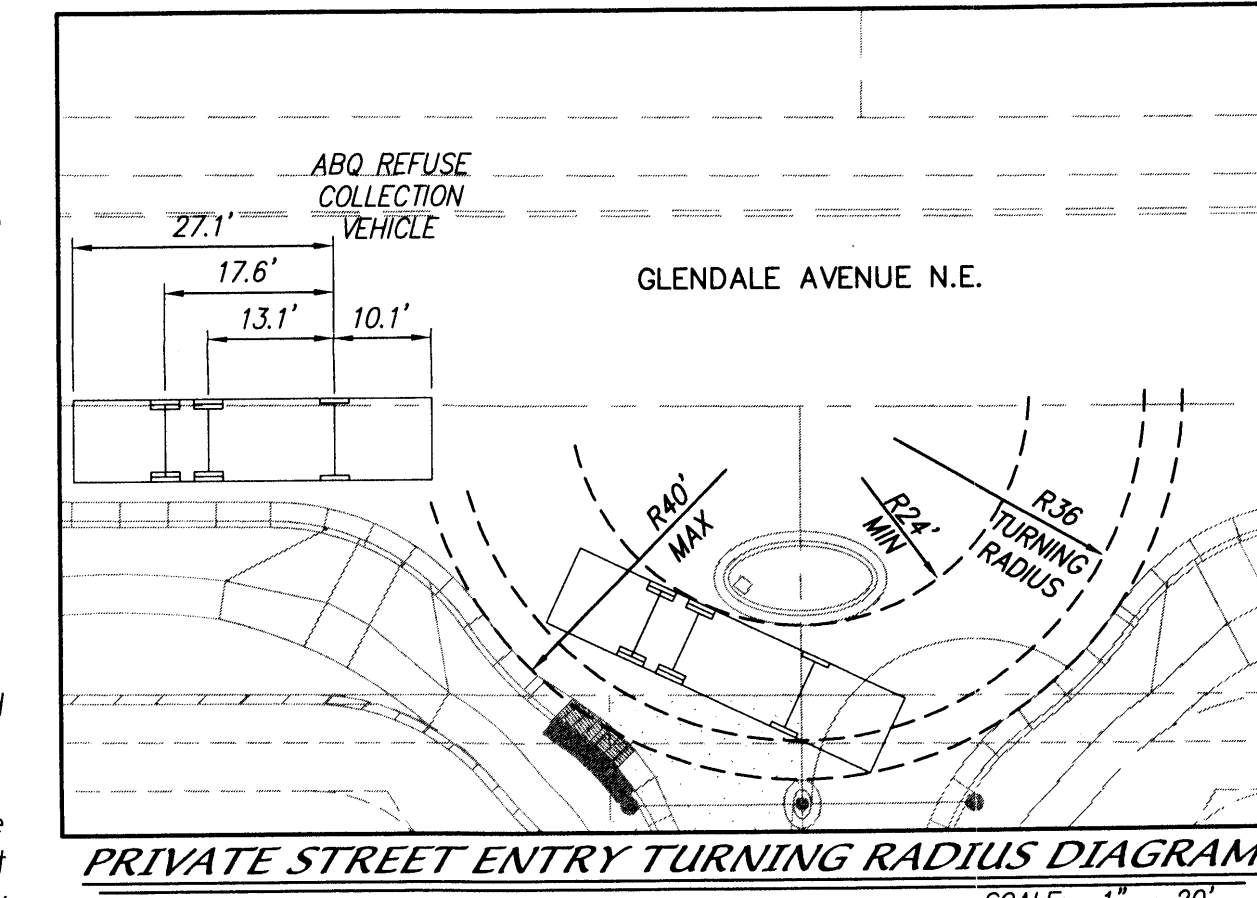
OPEN SPACE:
 Minimum open space provided per dwelling shall be in accordance with the R-D zone.

APPROVALS PROCESS:
 Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

APPLICATION NUMBER: _____ **PROJECT NUMBER:** 1008656

City Approvals:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date
Joe White 681-2706 Solid Waste Department	3-12-12 Date



SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines.

- I ARCHITECTURAL STANDARDS**
- The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
 - Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
 - Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.
 - Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.
 - Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
 - Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

II LIGHTING STANDARDS

- Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.
- The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

- Front Yard Minimum**
 - Accent Trees at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
 - Shrubs (minimum 5 gallon)
 - Shrubs (minimum 1 gallon)
 - Landscape Boulders (3' x 3' minimum)
 - Shade Tree in R/W at least 1-1/2" caliper or 10 feet high at the time of planting
- Accentuating "river rock" and bark mulch or pecan shells are also permitted in front yard landscaping.
- At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.
- Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

IV WALLS

- Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
- Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.
- Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- Maximum wall heights shall be 6 feet, unless they are retaining walls.
- Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

- All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
- Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies.

VI OFF-STREET PARKING

- Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

VII OPEN SPACE

- Open space shall be provided on each lot in accordance with Section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE

- Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones."

LEGEND

---	NEW EASEMENT	▨	EXISTING PAVING
---	PROPERTY LINE	▨	AREA OF EXISTING EASEMENT VACATION
---	EXISTING CURB	▨	NEW PAVEMENT
---	EXISTING FENCE	▨	PHASE BOUNDARY
---	EXISTING WALL	▨	
---	NEW SIDEWALK	▨	
---	NEW STORM DRAIN INLET	▨	
---	NEW WALL	▨	

PREPARED BY:
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

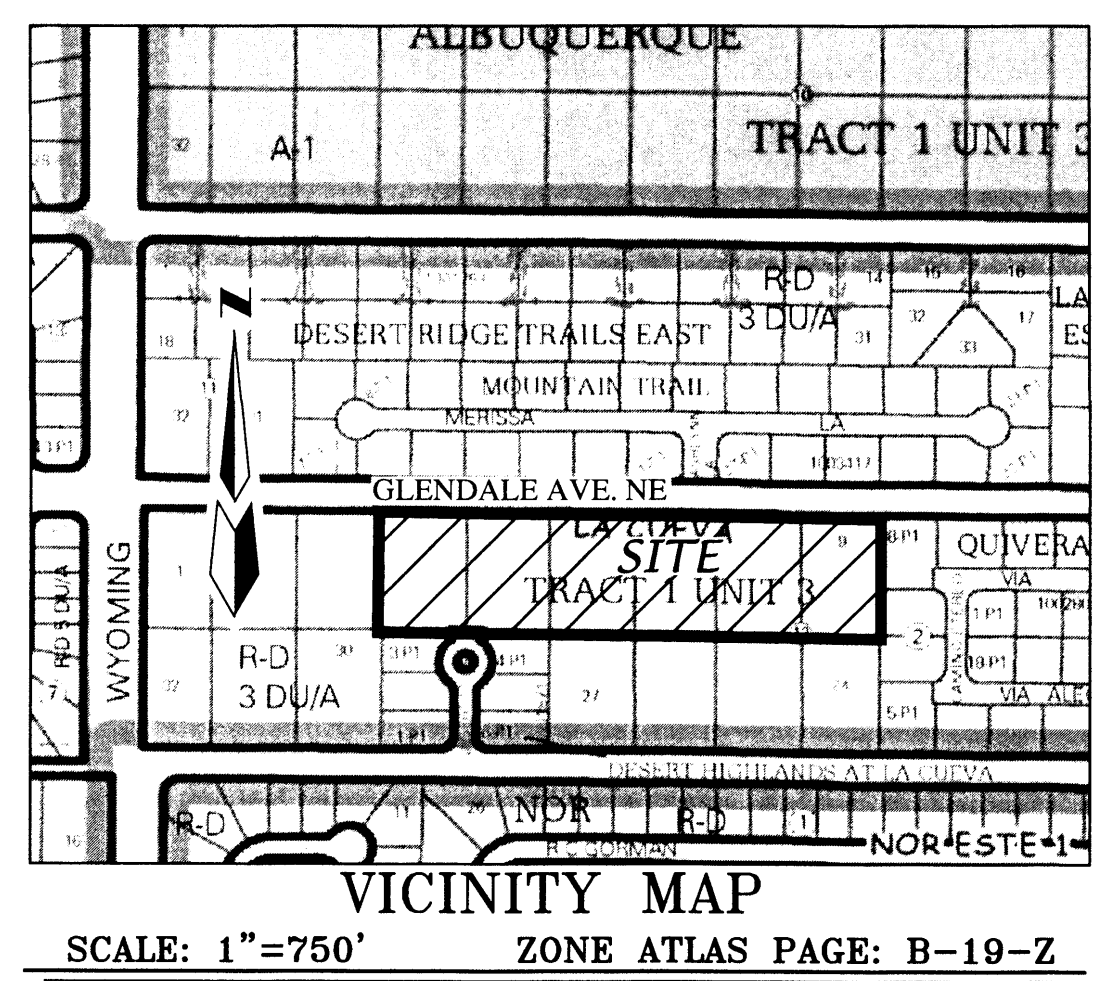
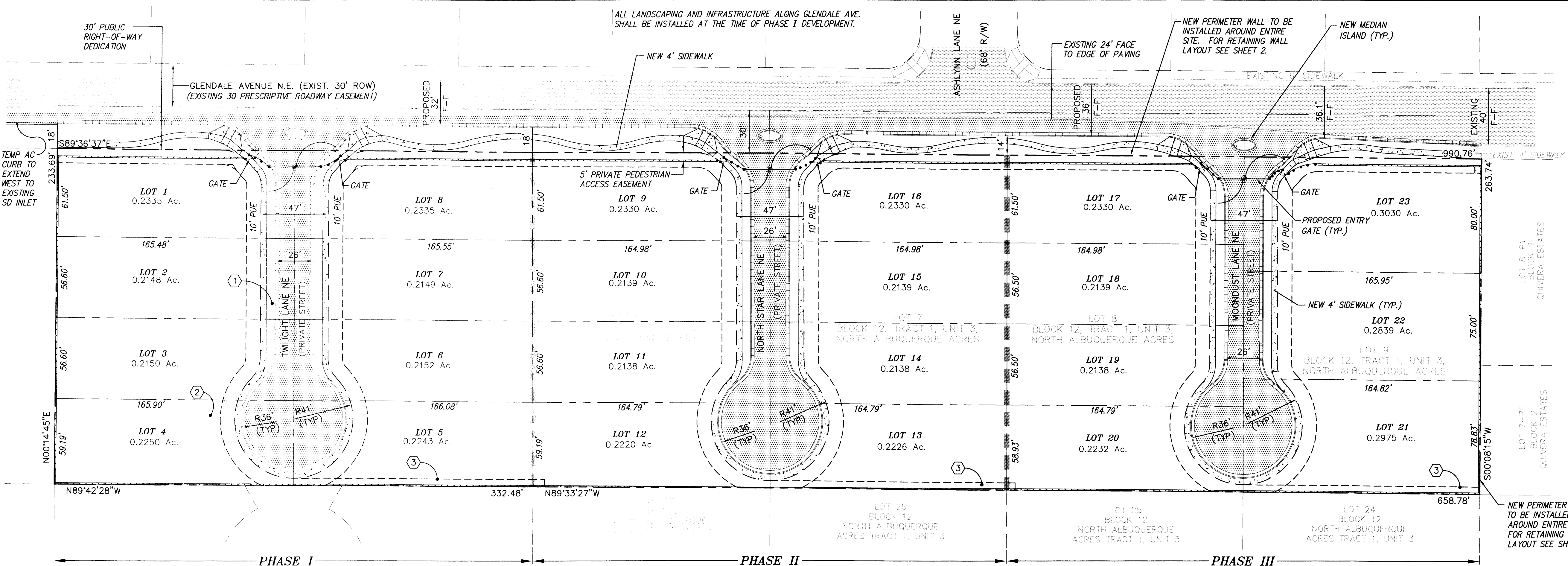
PREPARED FOR:
 GLENDALE, LLC
 7101 NATALIE JANAE LANE NE CT. NE
 ALBUQUERQUE, NM 87109
 PH: (505) 315-0312

- EASEMENTS**
- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
 - EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672)
 - NEW PRIVATE DRAINAGE EASEMENT.

ESTATES AT GLENDALE
SITE PLAN FOR PRD (SU-1 RD 5DU/AC)

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: SPS Checked: DMG Sheet 1 of 4
 Scale: 1" = 40' Date: 02/21/2012 Job: A11004



LEGAL DESCRIPTION
 A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

THE SITE:
 The site area is presently vacant, zoned RD - 3 DU/AC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
 The property is to be changed to SU-1 for RD - 5 DU/AC. Allowed uses shall be as permitted in the R-T zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.
Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from Glendale is also gated.

Transit Access: Route 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS:
 Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-SITE PARKING:
 Minimum number of off-street parking spaces shall be provided according to the Intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
 Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail this sheet).

MAXIMUM TOTAL DWELLING UNITS:
 Maximum total number of residential units shall be 23.

LANDSCAPE STANDARDS:
 For Landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

OPEN SPACE:
 Minimum open space provided per dwelling shall be in accordance with the R-D zone.

APPROVALS PROCESS:
 Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

APPLICATION NUMBER: _____ **PROJECT NUMBER:** _____

City Approvals:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines and the DPM.

- I ARCHITECTURAL STANDARDS**
- The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
 - Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
 - Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.
 - Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.
 - Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
 - Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

II LIGHTING STANDARDS

- Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.
- The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

- Front Yard Minimum**
 - Accent Trees at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
 - Shrubs (minimum 5 gallon)
 - Shrubs (minimum 1 gallon)
 - Landscape Boulders (3' x 3' minimum)
 - Shade Tree in R/W at least 1-1/2" caliper or 10 feet high at the time of planting
- Accentuating "river rock" and bark mulch or pecan shells are also permitted in front yard landscaping.
- At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.
- Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

IV WALLS

- Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
- Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.
- Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- Maximum wall heights shall be 6 feet, unless they are retaining walls.
- Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

- All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
- Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING

- Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

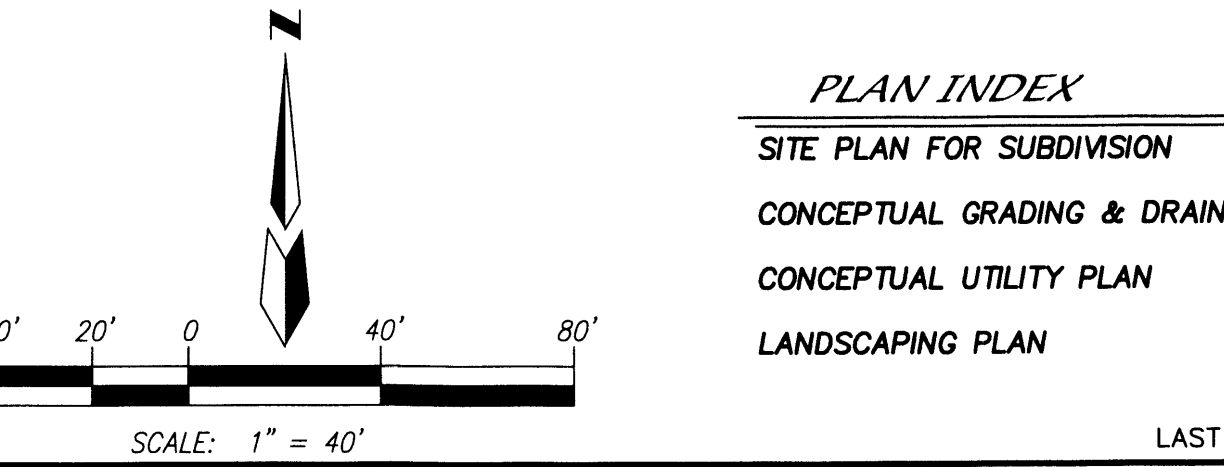
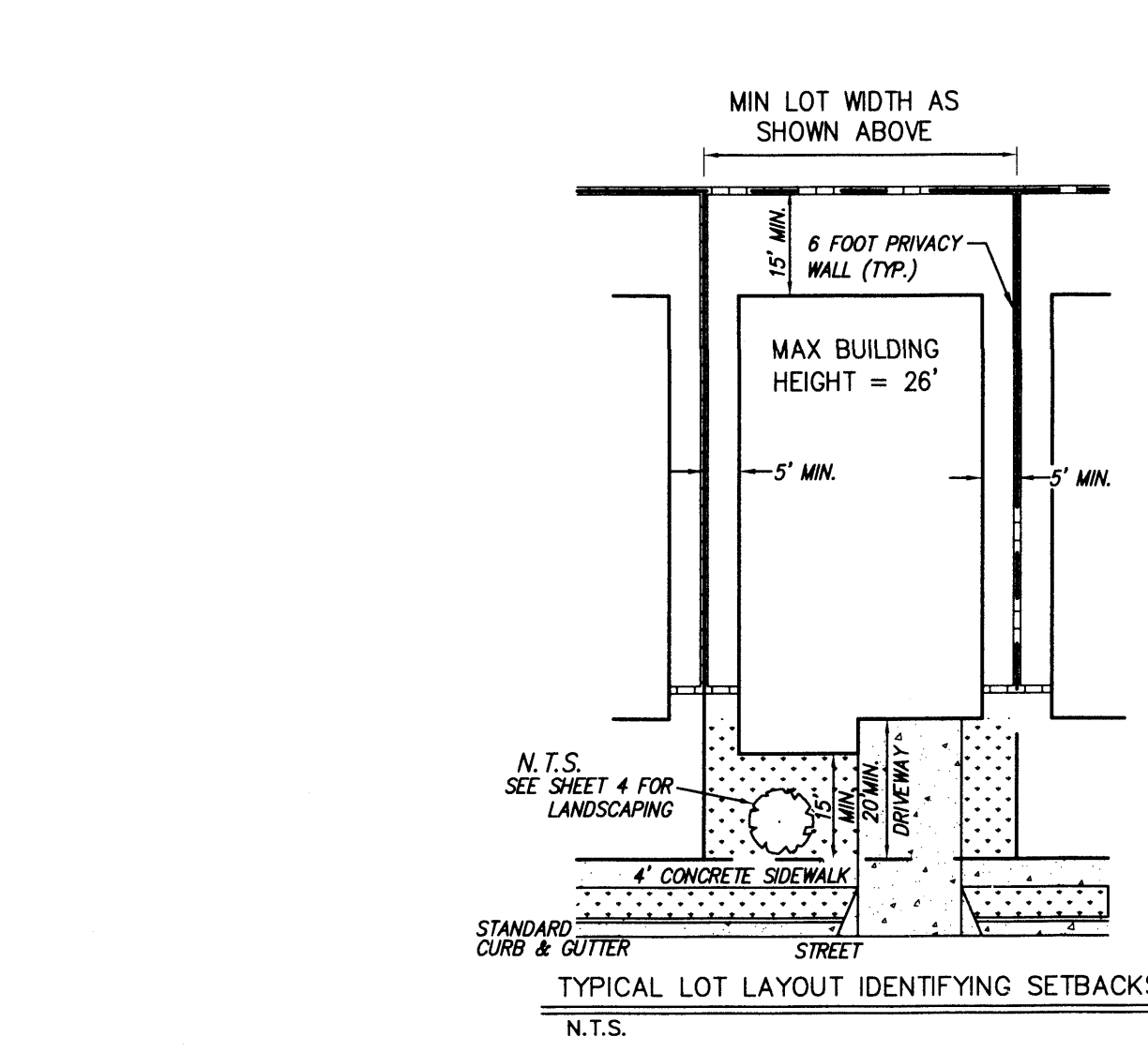
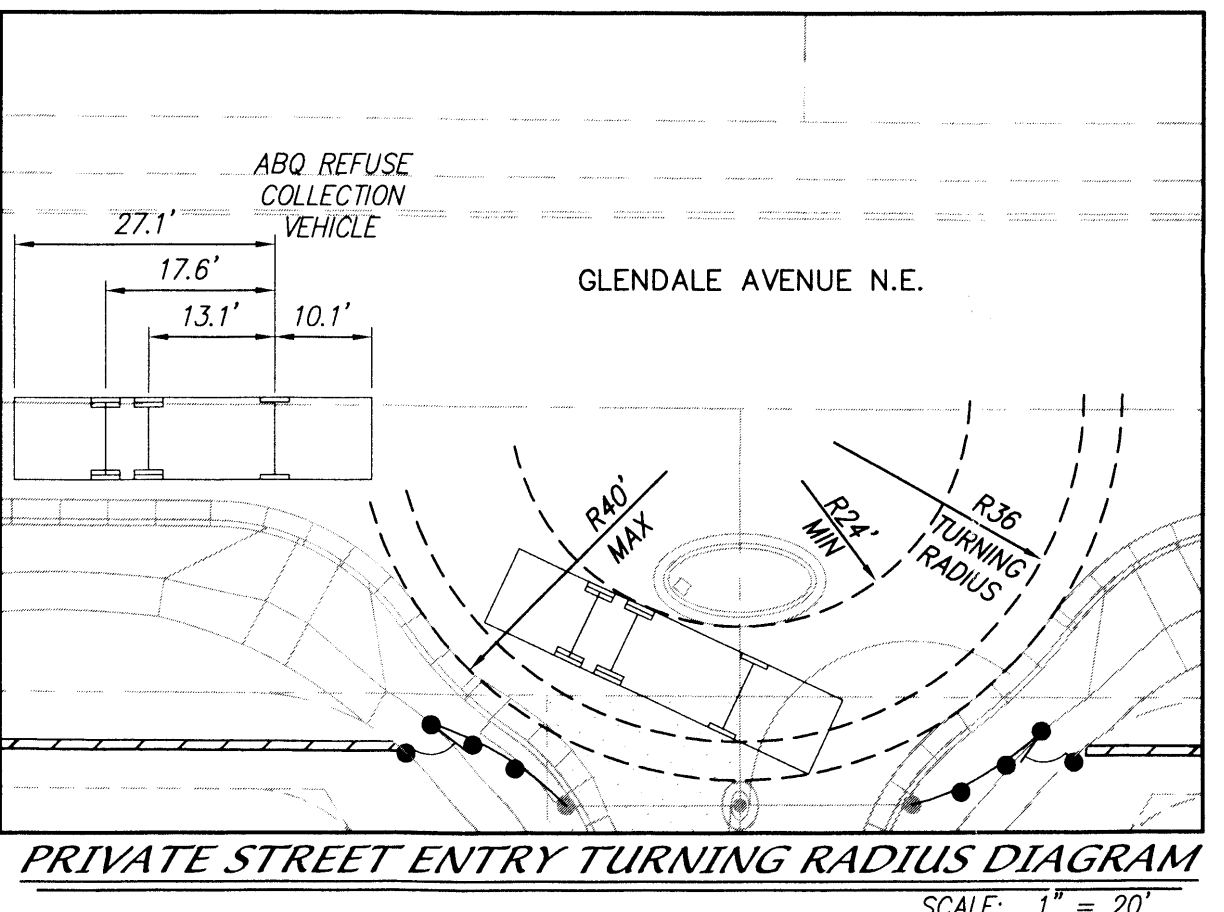
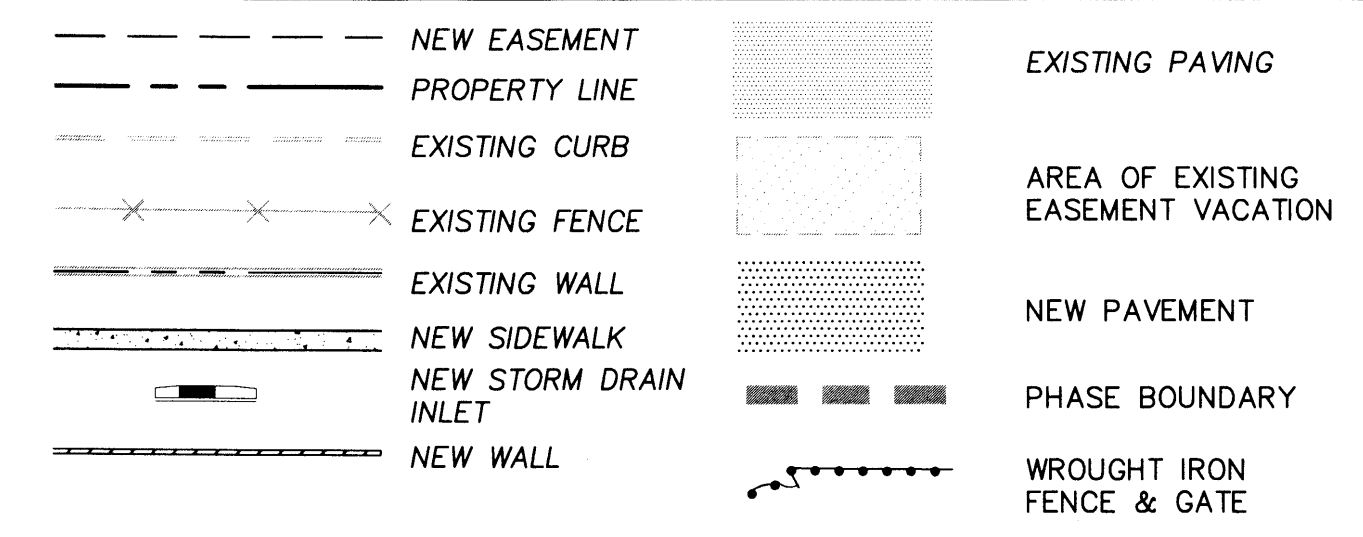
VII OPEN SPACE

- Open space shall be provided on each lot in accordance with Section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE

- Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.

LEGEND



EASEMENTS

- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672)
- NEW PRIVATE DRAINAGE EASEMENT.

PREPARED BY:

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

PREPARED FOR:

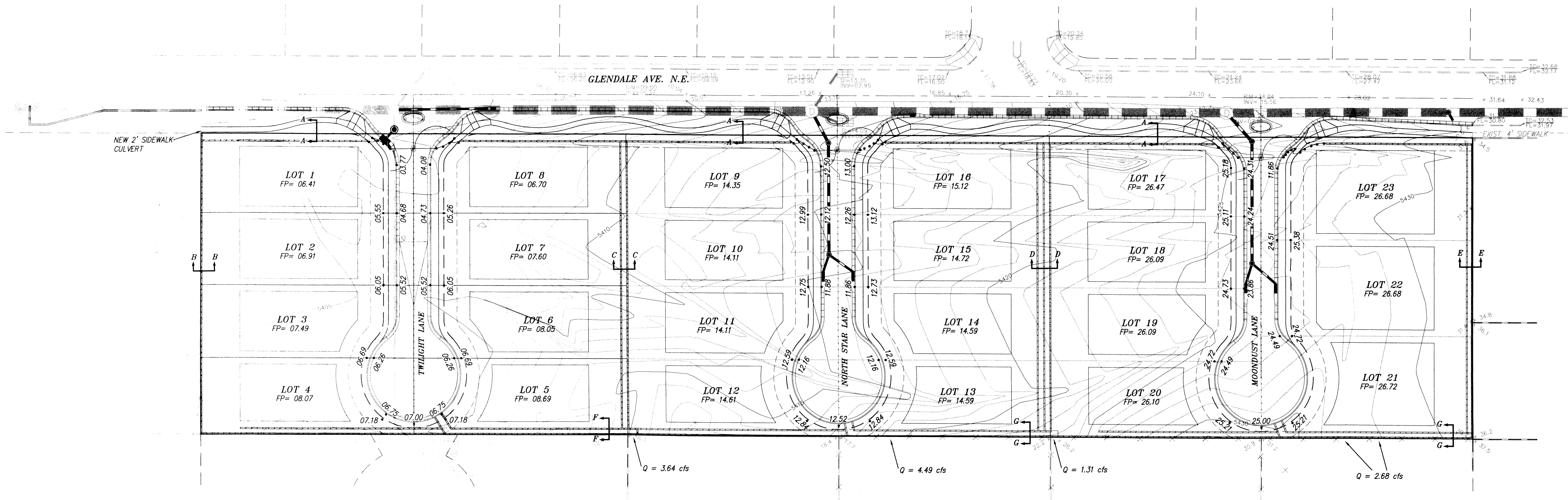
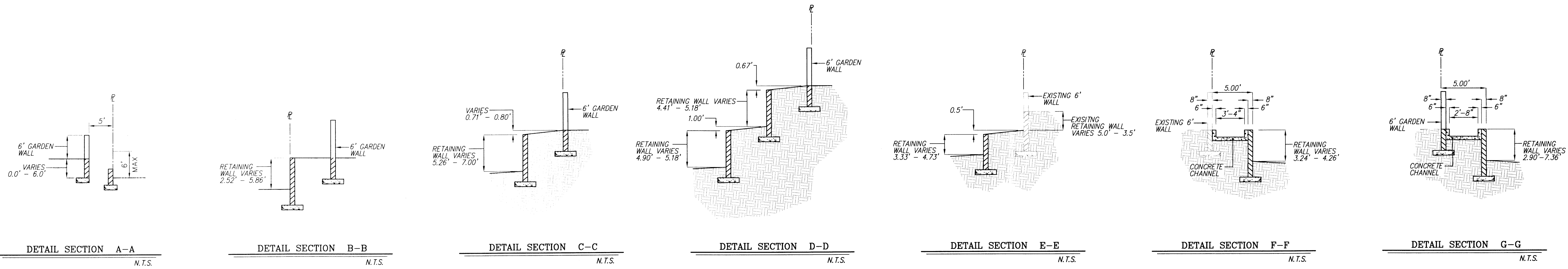
GLENDALE, LLC
 7101 NATALIE JANAE LANE NE CT. NE
 ALBUQUERQUE, NM 87109
 PH: (505) 315-0312

ESTATES AT GLENDALE
SITE PLAN FOR PRD (SU-1 RD 5DU/AC)

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: SPS Checked: DMG
 Scale: 1" = 40' Date: 02/21/2012 Job: A11004 Sheet 1 of 4

F:\111025A1.1004 Glendale Res\SITE PLANS\A1.1004-temp_siteplan-L2.dwg, 3/16/2012 12:41:04 PM, sdbstern



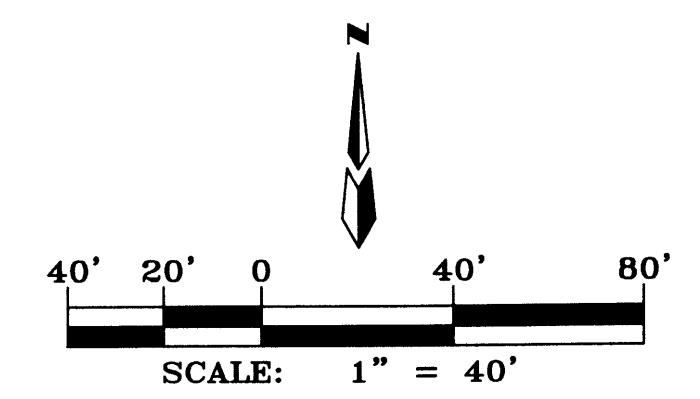
UPON COMPLETION OF ONSITE GRADING OPERATIONS ALL DISTURBED SURFACES ON THE SITE SHALL BE STABILIZED WITH NATIVE SEED AND IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH THE NEW VEGETATION.

LEGEND

EXISTING CONCRETE CURB	---	NEW LOT LINES	---
EXISTING FENCE	---	NEW SIDEWALK	---
EXISTING WALL OF HEAD WALL	---	NEW STANDARD CURB & GUTTER	---
EXISTING TOP CURB/FLOWLINE	---	NEW MEDIAN CURB & GUTTER	---
EXISTING SPOT ELEVATION	•	NEW RETAINING WALL	---
EXISTING DROP INLET	•	NEW GARDEN WALL	---
EXISTING FIRE HYDRANT	•	NEW STORMDRAIN	---
EXISTING SANITARY SEWER MANHOLE	•	NEW STORMDRAIN MANHOLE	•
EXISTING STORM DRAIN MANHOLE	•	NEW SPOT ELEVATION	•
EXISTING WATER VALVE	•		
EXISTING CONTOUR - MAJOR	---		
EXISTING CONTOUR - MINOR	---		

DRAINAGE MANAGEMENT PLAN

THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN CONCRETE-LINED SIDEYARD SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE NEW PRIVATE STREETS, WHICH WILL THEN DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. VIA 7 NEW INLETS BEING CONSTRUCTED AT VARIOUS LOCATIONS WITHIN THIS PROJECT. THERE IS 30 FEET OF GRADE CHANGE ACROSS THIS SITE IN AN EAST - WEST DIRECTION.

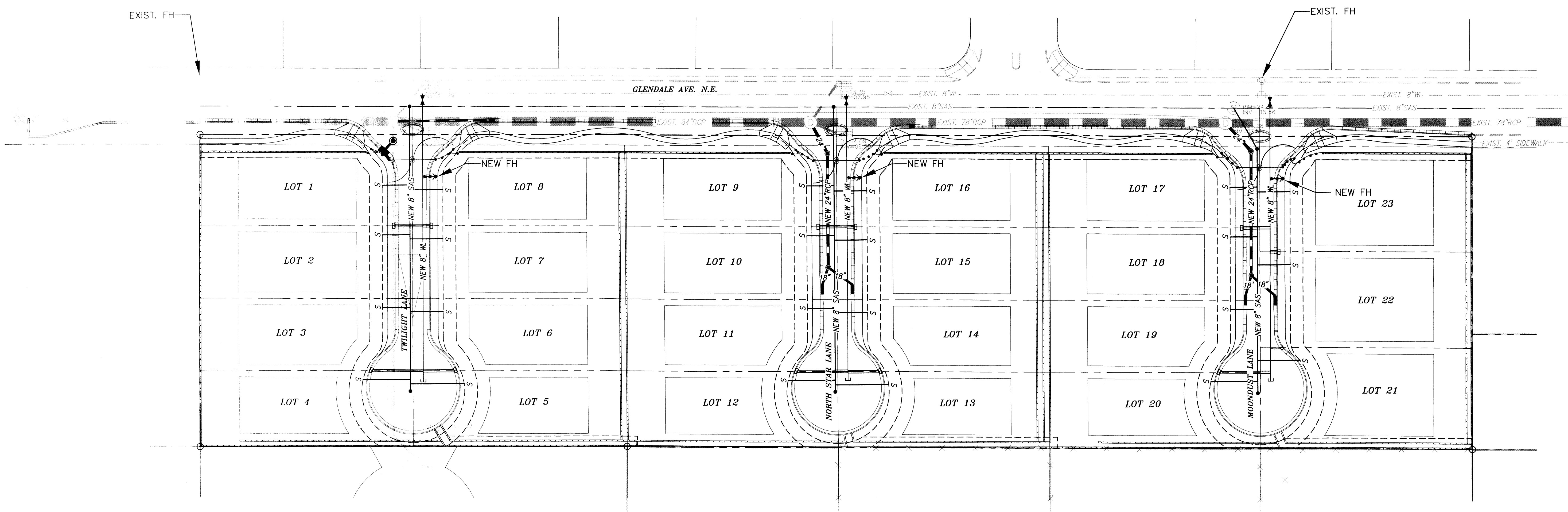


**THE ESTATES AT GLENDALE
CONCEPTUAL GRADING &
DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

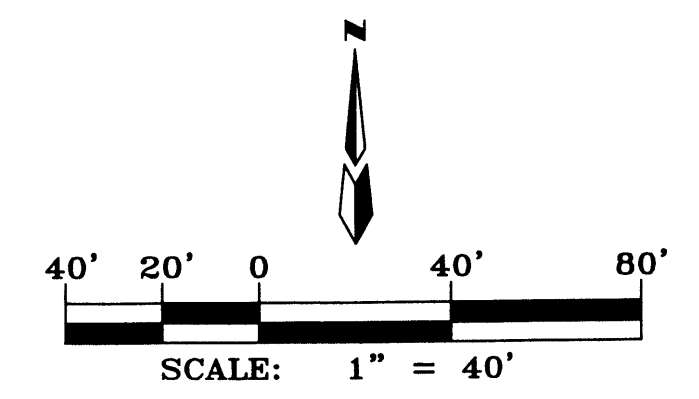
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: ACH	Checked: DMG	Sheet 2 of 4
Scale: AS SHOWN	Date: 01-04-12	Job: A11004	



LEGEND

EXISTING CONCRETE CURB	---	NEW LOT LINES	•	NEW SAS MANHOLE
EXISTING FENCE	---	NEW SIDEWALK	---	NEW SAS SERVICE
EXISTING WALL OF HEAD WALL	---	NEW STANDARD CURB & GUTTER	---	NEW WATERLINE
EXISTING DROP INLET	---	NEW MEDIAN CURB & GUTTER	---	NEW FIRE HYDRANT
EXISTING FIRE HYDRANT	---	NEW RETAINING WALL	---	NEW BEND
EXISTING SANITARY SEWER MANHOLE	---	NEW GARDEN WALL	---	NEW GATE VALVE
EXISTING STORM DRAIN MANHOLE	---	NEW STORMDRAIN	---	NEW DBL WATER METER
EXISTING WATER VALVE	---	NEW STORMDRAIN MANHOLE	---	
	---	NEW SAS	---	

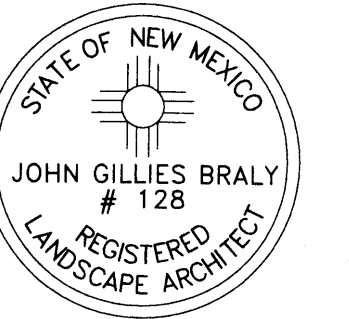


**THE ESTATES AT GLENDALE
CONCEPTUAL MASTER
UTILITY PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: ACH	Checked: DMG	Sheet 3 of 4
Scale: AS SHOWN	Date: 01-04-12	Job: A11004	

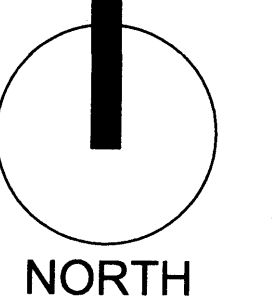
F:\112085A1\1004 Glendale Res\ANS\UTILITIES\A1104 CONCEPTUAL-UTILITY.dwg, 3/16/2012 1:05:28 PM, stephen



Date: 3/9/11
Revisions:
▲ 3/21/11
▲ 4/8/11
▲ 11/09/11
▲ 3/16/12

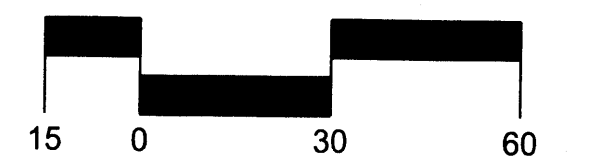
Drawn by: JC
Reviewed by: GM

The Estates at Glendale
Albuquerque, New Mexico



NORTH

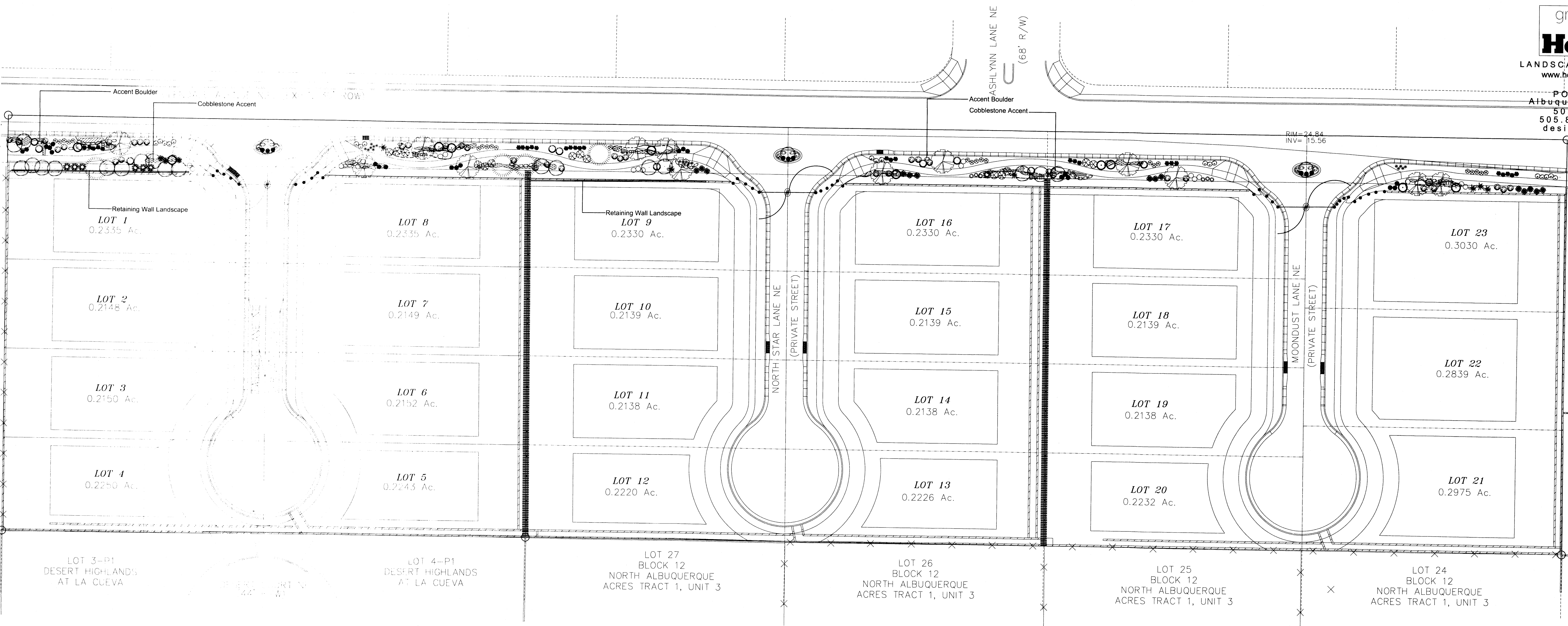
Scale: 1" = 30'



Sheet Title:
Landscape Plan

Sheet Number:

LS-01



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
13		Betula Birch	2" B&B	Medium
22		Populus Aspen/Multi Trunk	2" B&B	Medium
10		Pinus, Picea Bosnian Pine, Dwarf Spruce	5'-6'	Medium
4		Pinus, Cedrus, Picea Ponderosa Pine, Blue Atlas Cedar, Blue Spruce	5'-6'	Medium

Shrubs/Groundcovers

31		Achillea filipendulina Moonshine Yarrow	1-Gal	Medium
6		Centranthus Jupiter's Beard	1-Gal	Medium
26		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
25		Nepeta mussini Giant Catmint	1-Gal	Medium
14		Perovskia atriplicifolia Russian Sage	1-Gal	Medium
11		Pinus mugo Mugo Pine	5-Gal	Medium
38		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
6		Rosmarinus Rosemary	5-Gal	Low+
20		Lavandula Lavender	5-Gal	Low+

Ornamental Grasses

17		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
28		Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium
19		Liriope Mondo Grass	1-Gal	Low +
7		Miscanthus Maiden Grass	5-Gal	Low +

Perennials

TBD		California Poppy/ Columbine	Flats/Seed/4" pots
-----	--	--------------------------------	--------------------

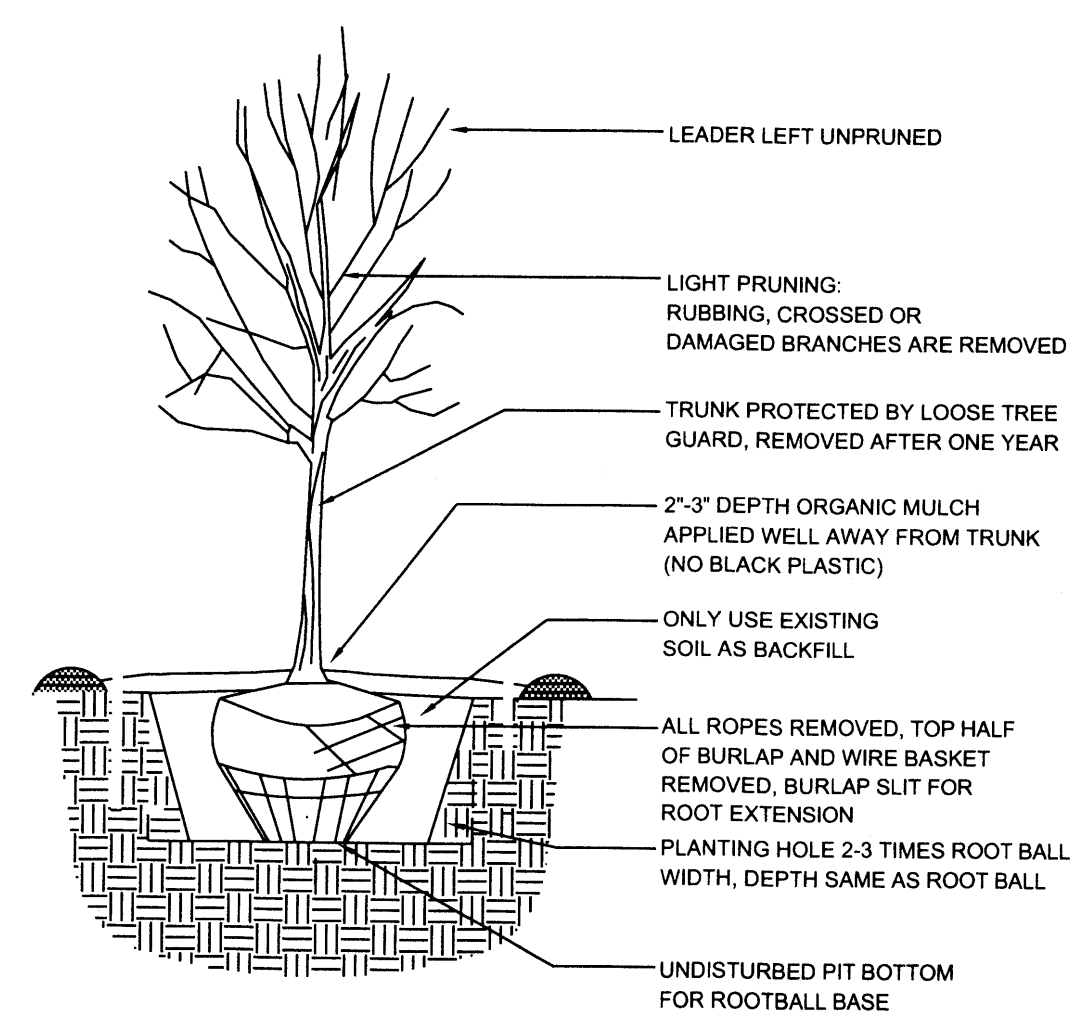
SITE DATA

LANDSCAPE AREA 8,875 SF

NOTE

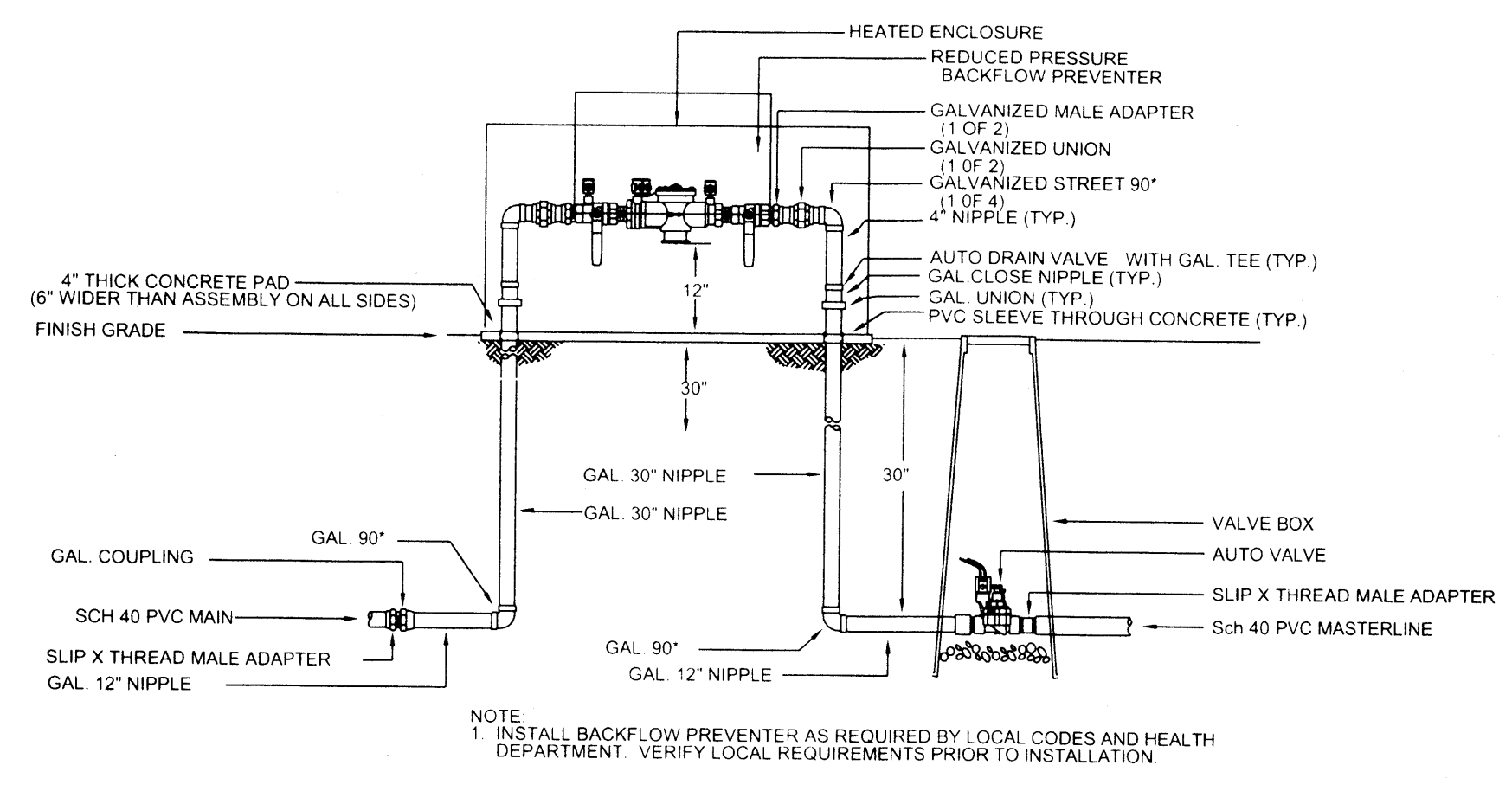
MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

13217.79 s.f.
0.3034 Ac.



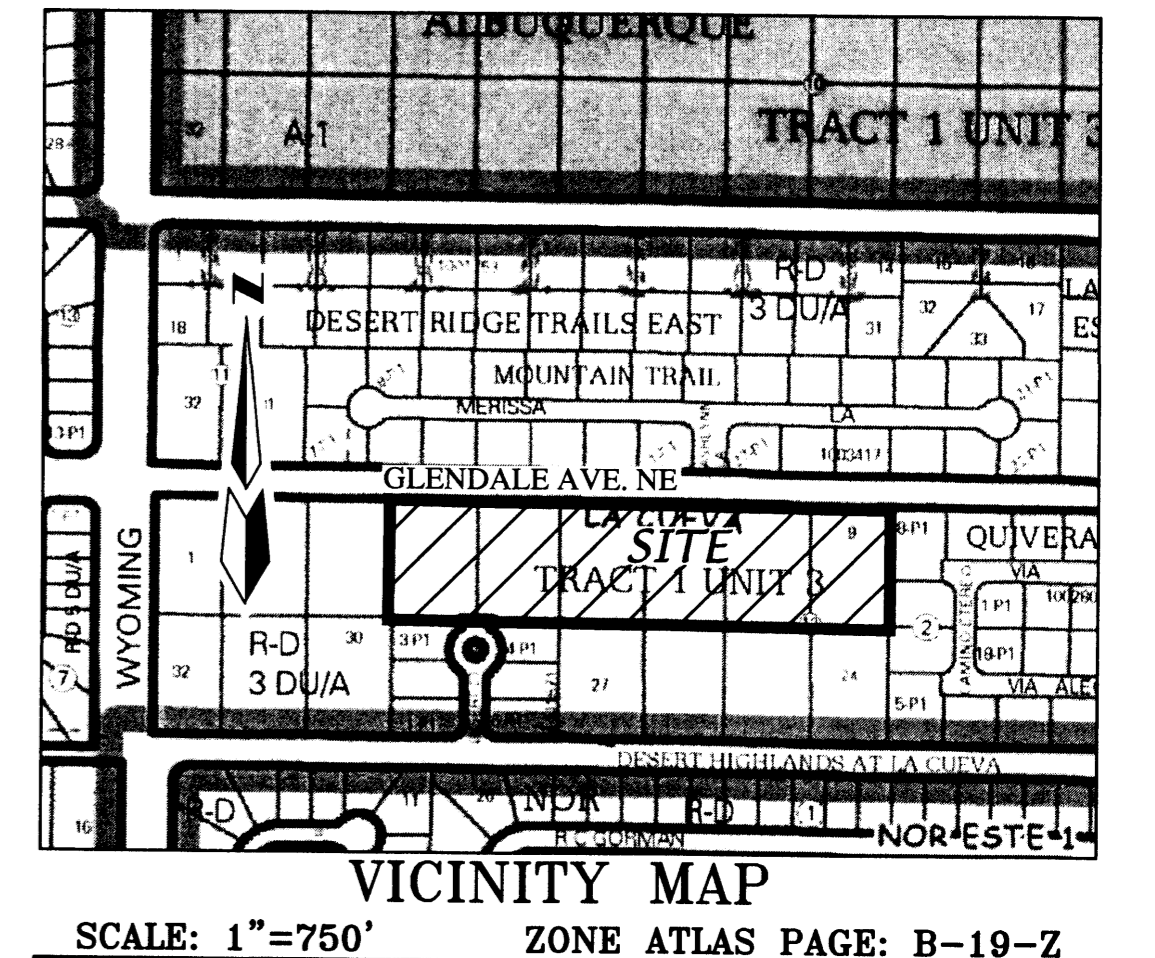
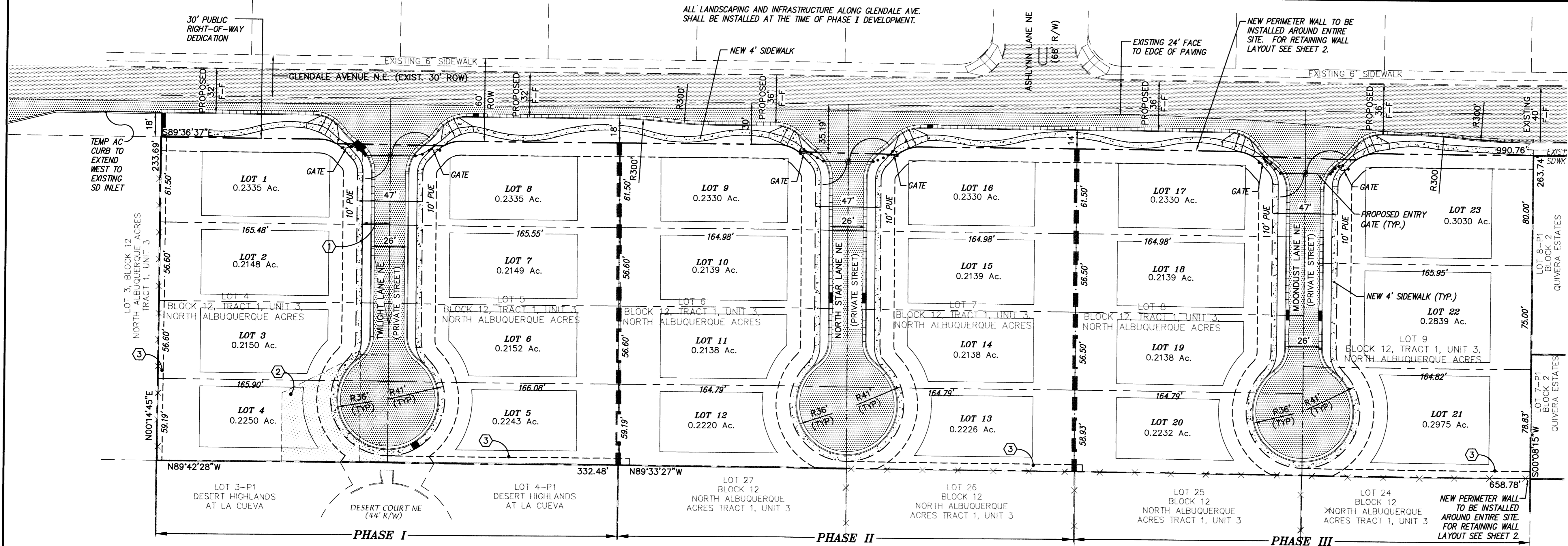
TREE PLANTING DETAIL

13609.05 s.f.
0.3124 Ac.



RP BACKFLOW/MASTER VALVE DETAIL

NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.



VICINITY MAP
 SCALE: 1"=750' ZONE ATLAS PAGE: B-19-Z

LEGAL DESCRIPTION
 A tract of land situated within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

THE SITE:
 The site area is presently vacant, zoned RD - 3 DU/AC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
 The property is to be changed to SU-1 for RD - 5 DU/AC. Allowed uses shall be as permitted in the R-T zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.

Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from Glendale is also gated.

Transit Access: Route 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS:
 Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-SITE PARKING:
 Minimum number of off-street parking spaces shall be provided according to the Intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
 Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail this sheet).

MAXIMUM TOTAL DWELLING UNITS:
 Maximum total number of residential units shall be 23.

LANDSCAPE STANDARDS:
 For Landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

OPEN SPACE:
 Minimum open space provided per dwelling shall be in accordance with the R-D zone.

APPROVALS PROCESS:
 Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

APPLICATION NUMBER: _____ **PROJECT NUMBER:** _____

City Approvals:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines and the DPM.

I ARCHITECTURAL STANDARDS

- The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
- Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
- Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.
- Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.
- Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
- Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

II LIGHTING STANDARDS

- Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.
- The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

- Front Yard Minimum**
 - Accent Trees at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
 - Shrubs (minimum 5 gallon)
 - Shrubs (minimum 1 gallon)
 - Landscape Boulders (3' x 3' minimum)
 - Shade Tree in R/W at least 1-1/2" caliper or 10 feet high at the time of planting
- Accentuating "river rock" and bark mulch or pecan shells are also permitted in front yard landscaping.
- At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.
- Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

IV WALLS

- Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
- Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.
- Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- Maximum wall heights shall be 6 feet, unless they are retaining walls.
- Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

- All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
- Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING

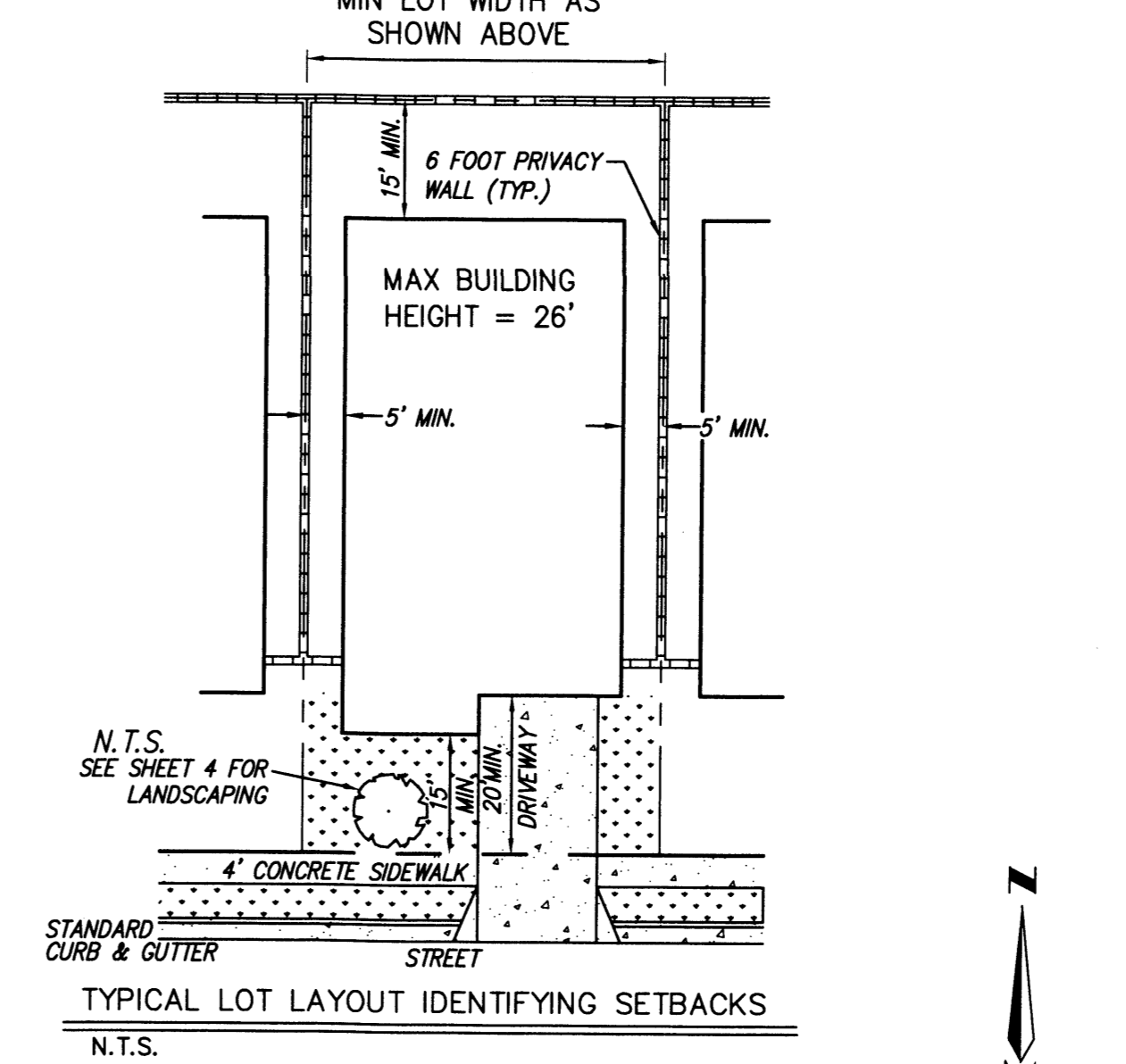
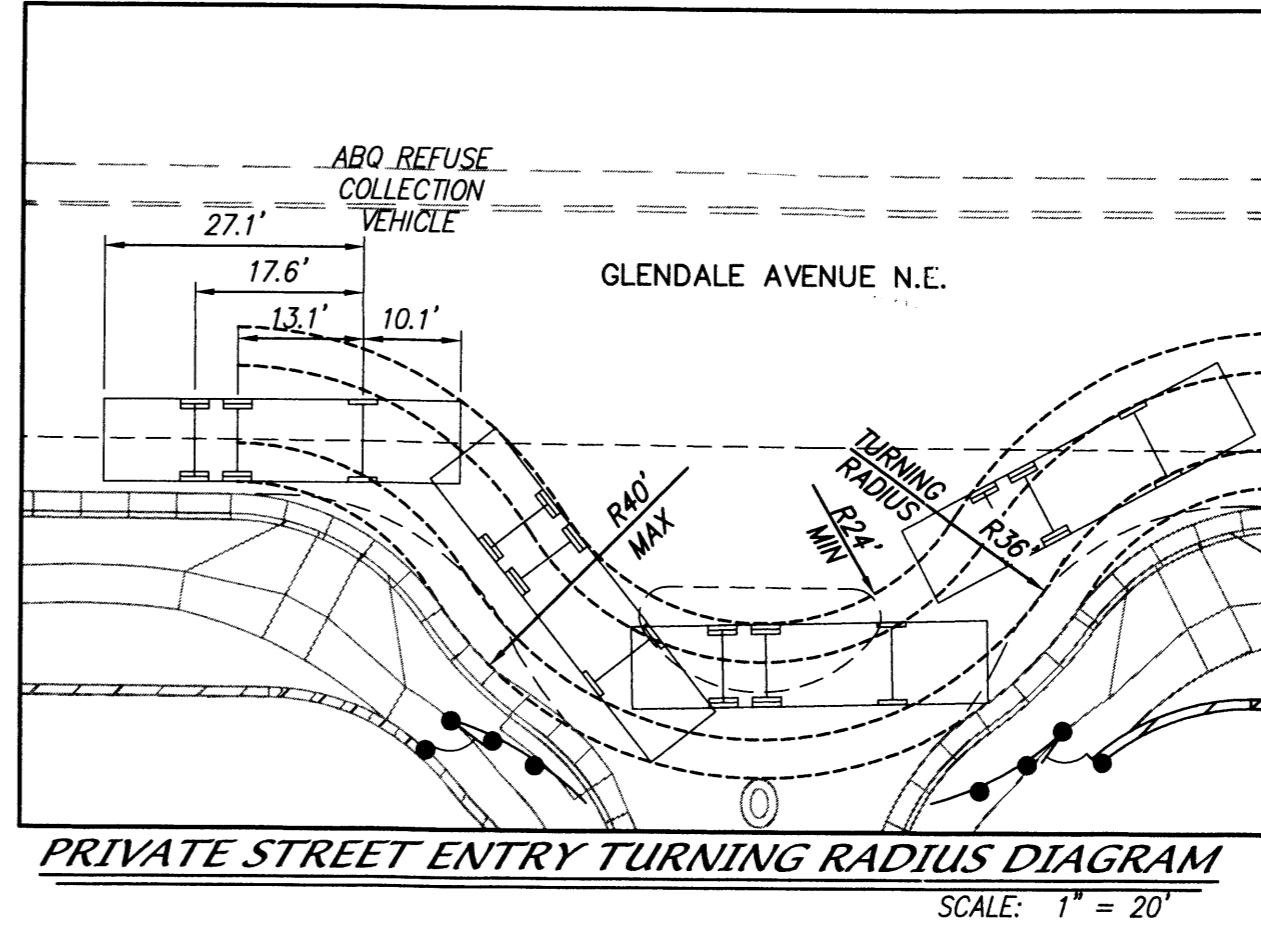
- Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

VII OPEN SPACE

- Open space shall be provided on each lot in accordance with Section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE

- Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.



LEGEND

---	NEW EASEMENT	---	EXISTING PAVING
---	PROPERTY LINE	---	AREA OF EXISTING EASEMENT VACATION
---	EXISTING CURB	---	NEW PAVEMENT
---	EXISTING FENCE	---	PHASE BOUNDARY
---	EXISTING WALL	---	WROUGHT IRON FENCE & GATE
---	NEW SIDEWALK	---	
---	NEW STORM DRAIN INLET	---	
---	NEW WALL	---	

EASEMENTS

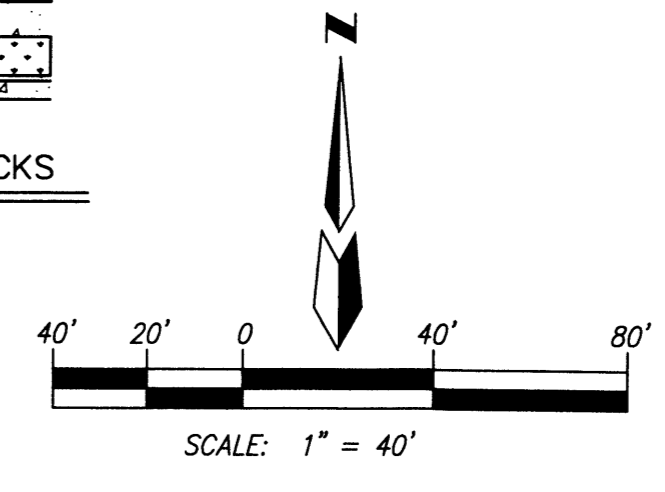
- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672)
- NEW PRIVATE DRAINAGE EASEMENT.

PLAN INDEX SHEETS

SITE PLAN FOR SUBDIVISION	1
CONCEPTUAL GRADING & DRAINAGE PLAN	2
CONCEPTUAL UTILITY PLAN	3
LANDSCAPING PLAN	4

PREPARED BY:
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

PREPARED FOR:
 GLENDALE, LLC
 7101 NATALIE JANAE LANE NE CT. NE
 ALBUQUERQUE, NM 87109
 PH: (505) 315-0312

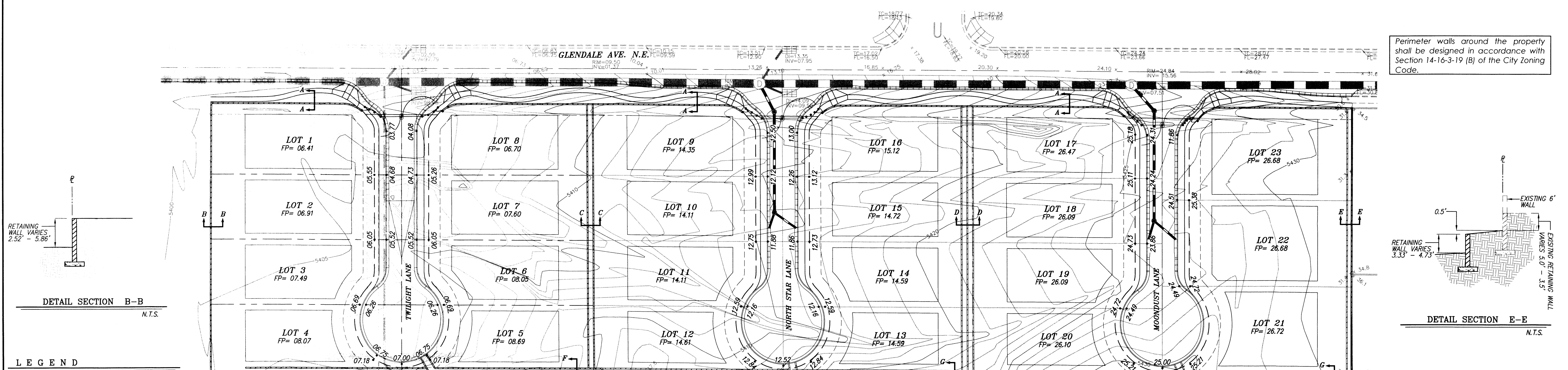
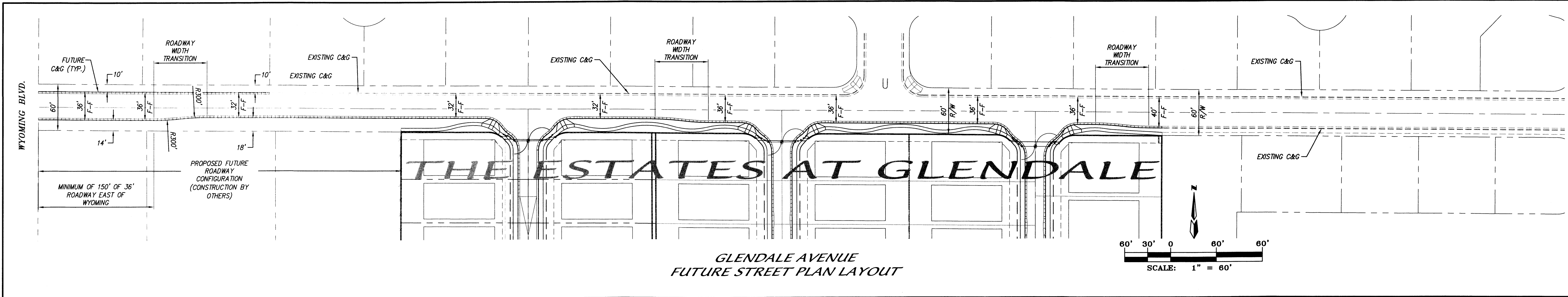


ESTATES AT GLENDALE
SITE PLAN FOR SUBDIVISION
 (SU-1 RD 5DU/AC)

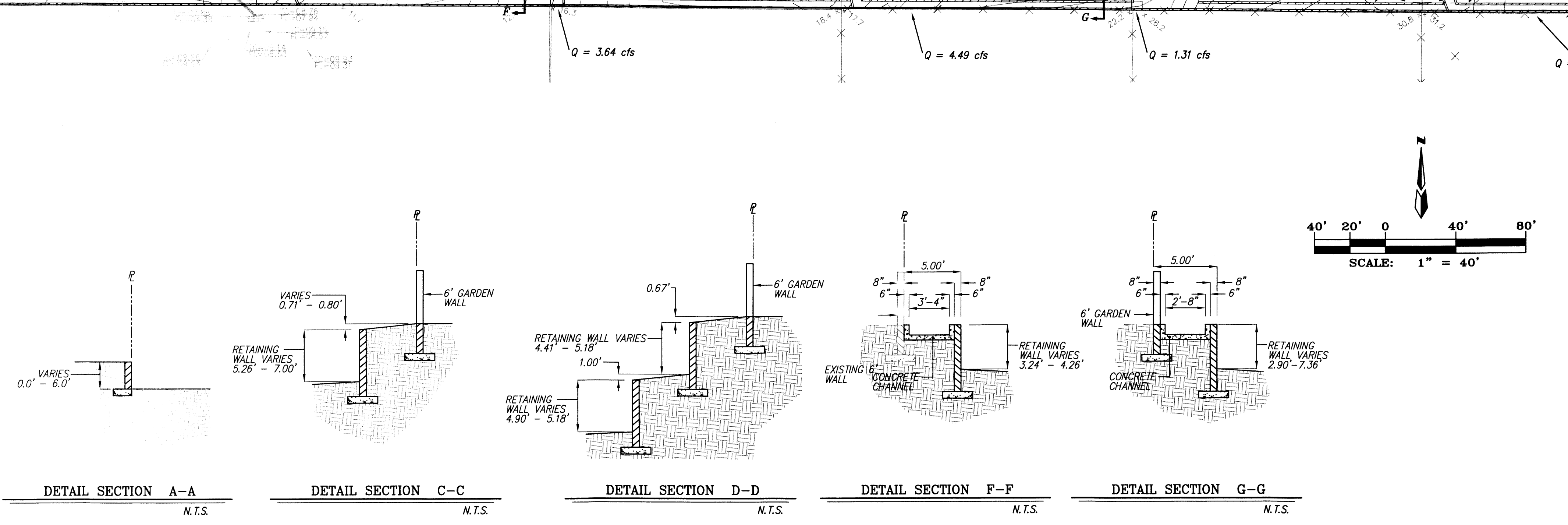
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: SPS	Checked: DMG	Sheet 1 of 4
Scale: 1" = 40'	Date: 02/21/2012	Job: A11004	

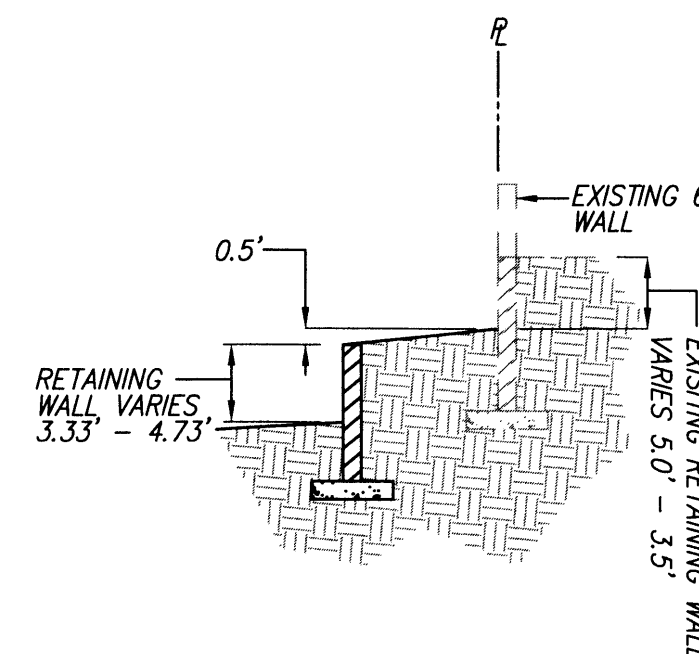
F:\ALBUQUERQUE\ESTATES AT GLENDALE\ESTATES AT GLENDALE SITE PLAN FOR SUBDIVISION.dwg, 1/24/2012 3:38:06 PM, stephen



- LEGEND**
- EXISTING CONCRETE CURB
 - EXISTING FENCE
 - EXISTING WALL OF HEAD WALL
 - EXISTING TOP CURB/FLOWLINE
 - EXISTING SPOT ELEVATION
 - EXISTING DROP INLET
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING WATER VALVE
 - EXISTING CONTOUR - MAJOR
 - EXISTING CONTOUR - MINOR
 - NEW LOT LINES
 - NEW SIDEWALK
 - NEW STANDARD CURB & GUTTER
 - NEW MEDIAN CURB & GUTTER
 - NEW RETAINING WALL
 - NEW GARDEN WALL
 - NEW STORMDRAIN
 - NEW STORMDRAIN MANHOLE
 - NEW SPOT ELEVATION



Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.



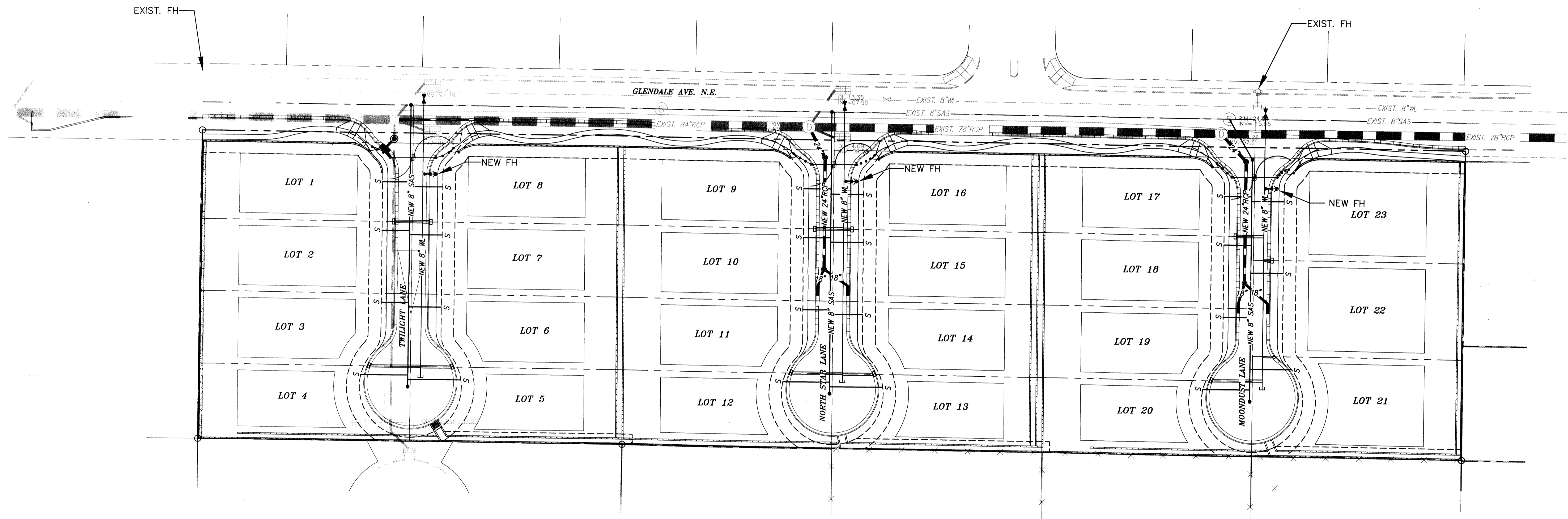
UPON COMPLETION OF ONSITE GRADING OPERATIONS ALL DISTURBED SURFACES ON THE SITE SHALL BE STABILIZED WITH NATIVE SEED AND IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH THE NEW VEGETATION.

DRAINAGE MANAGEMENT PLAN
 THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN CONCRETE-LINED SIDEYARD SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE NEW PRIVATE STREETS, WHICH WILL THEN DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. VIA 7 NEW INLETS BEING CONSTRUCTED AT VARIOUS LOCATIONS WITHIN THIS PROJECT. THERE IS 30 FEET OF GRADE CHANGE ACROSS THIS SITE IN AN EAST - WEST DIRECTION.

THE ESTATES AT GLENDALE
CONCEPTUAL GRADING & DRAINAGE PLAN

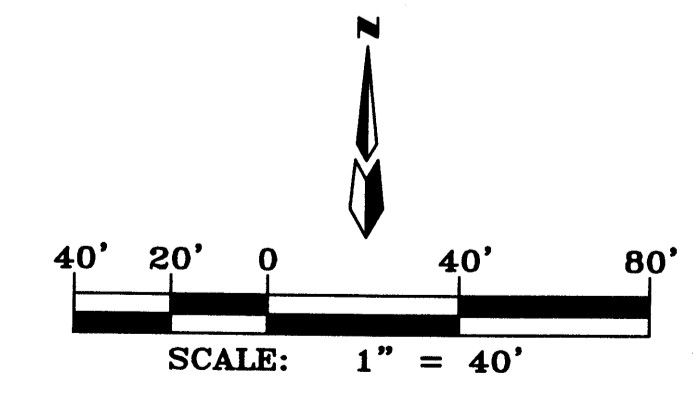
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: GJK Drawn: ACH Checked: DMG Sheet 2 of 4
 Scale: AS SHOWN Date: 01-04-12 Job: A11004



LEGEND

EXISTING CONCRETE CURB	---	NEW LOT LINES	•	NEW SAS MANHOLE
EXISTING FENCE	---	NEW SIDEWALK	—S	NEW SAS SERVICE
EXISTING WALL OF HEAD WALL	---	NEW STANDARD CURB & GUTTER	—8" WL	NEW WATERLINE
EXISTING DROP INLET	---	NEW MEDIAN CURB & GUTTER	—	NEW FIRE HYDRANT
EXISTING FIRE HYDRANT	---	NEW RETAINING WALL	—	NEW BEND
EXISTING SANITARY SEWER MANHOLE	---	NEW GARDEN WALL	—	NEW GATE VALVE
EXISTING STORM DRAIN MANHOLE	---	NEW STORMDRAIN	—	NEW DBL WATER METER
EXISTING WATER VALVE	---	NEW STORMDRAIN MANHOLE	•	
	---	NEW SAS	—8" SAS	

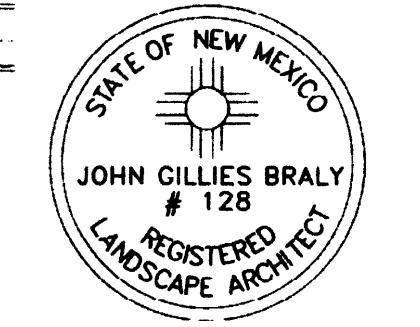


THE ESTATES AT GLENDALE
CONCEPTUAL MASTER
UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

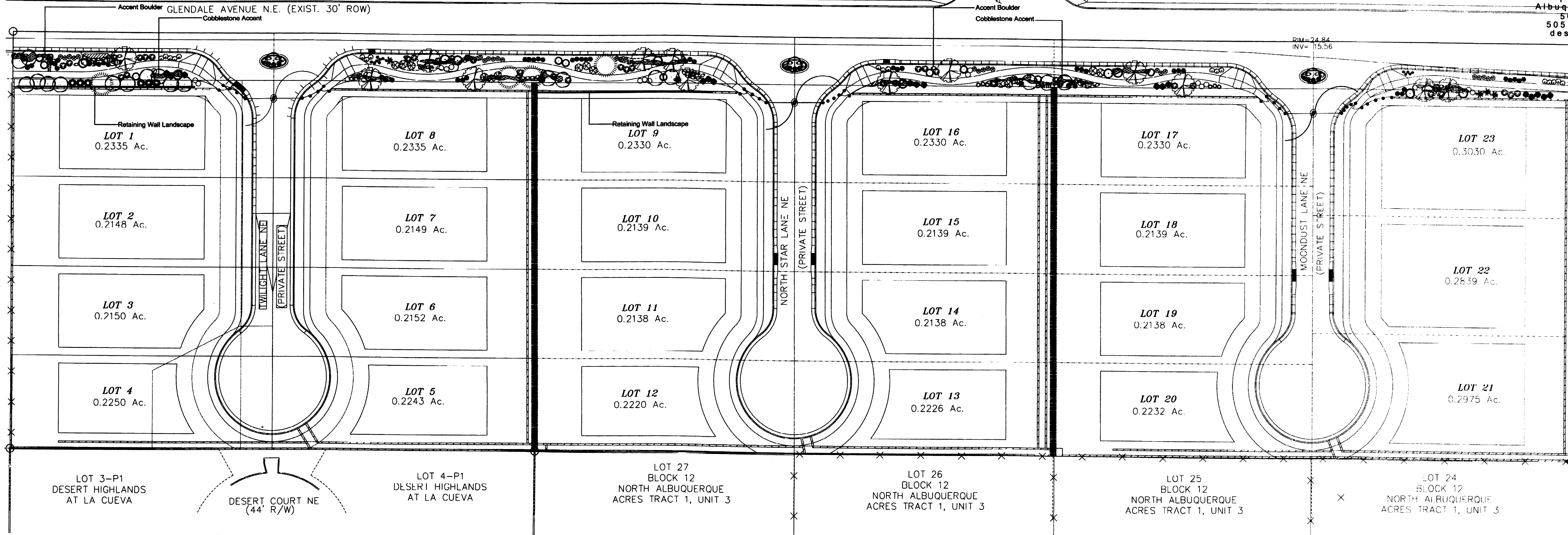
Designed: GJK	Drawn: ACH	Checked: DMG	Sheet 3 of 4
Scale: AS SHOWN	Date: 01-04-12	Job: A11004	

LAST SAVED: 04-12-12



Date: 3/9/11
Revisions:
▲ 3/21/11
▲ 4/8/11
▲ 11/09/11
▲ 3/16/12

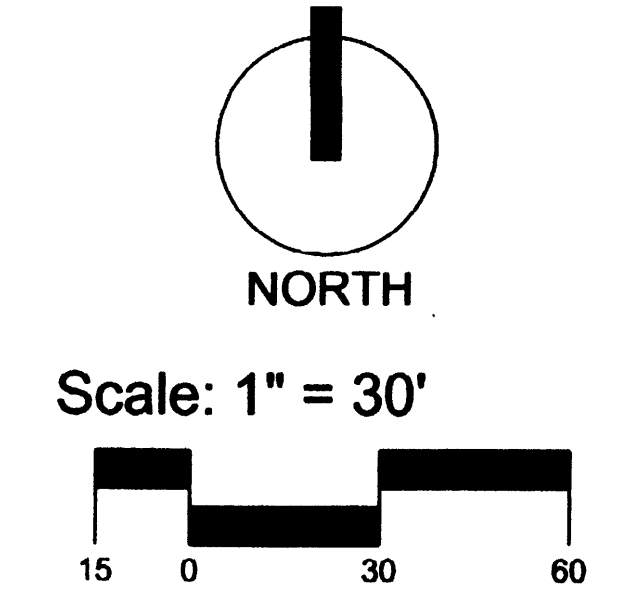
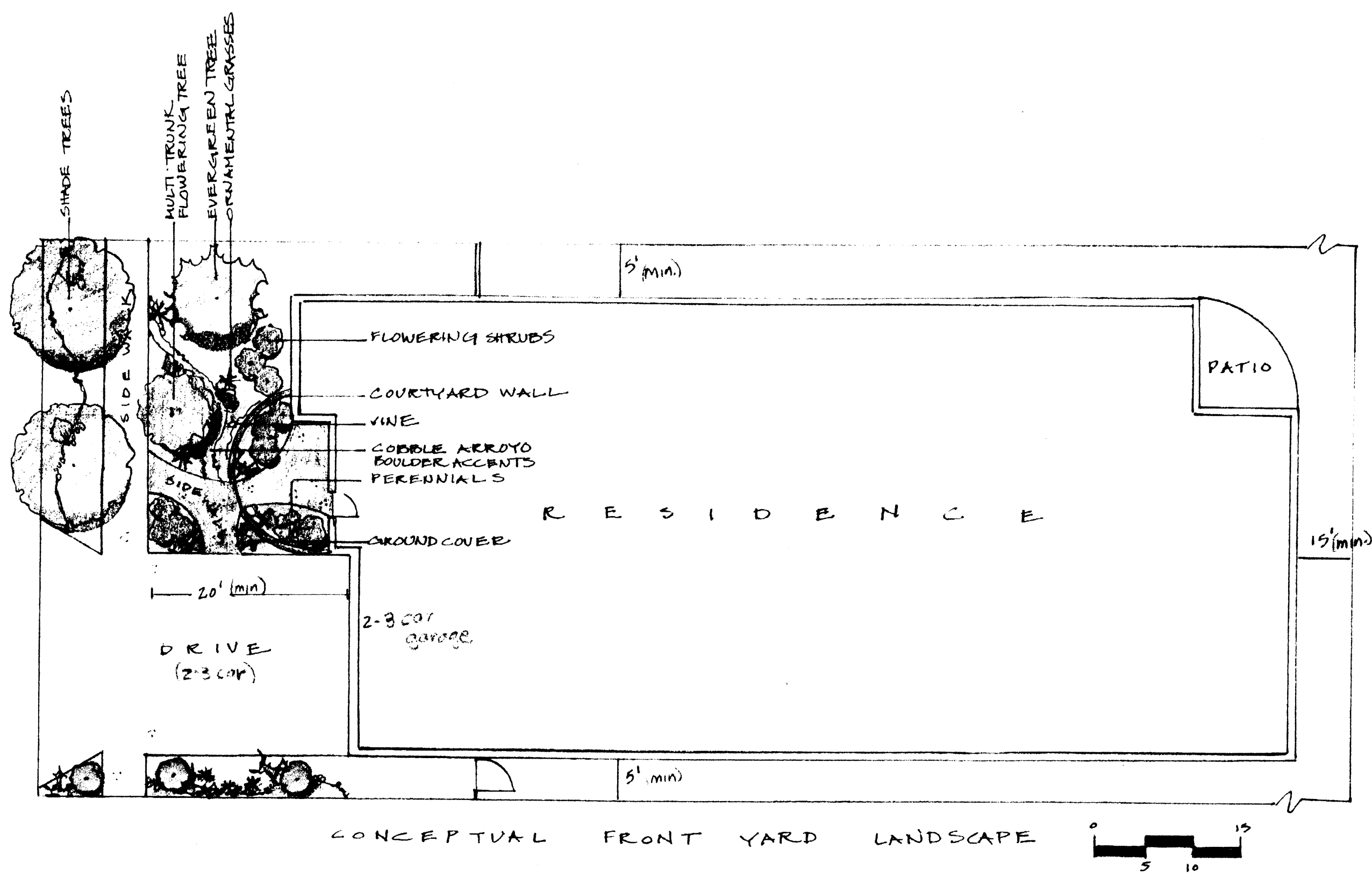
Drawn by: JC
Reviewed by: GM



The Estates at Glendale
Albuquerque, New Mexico

PLANT LEGEND

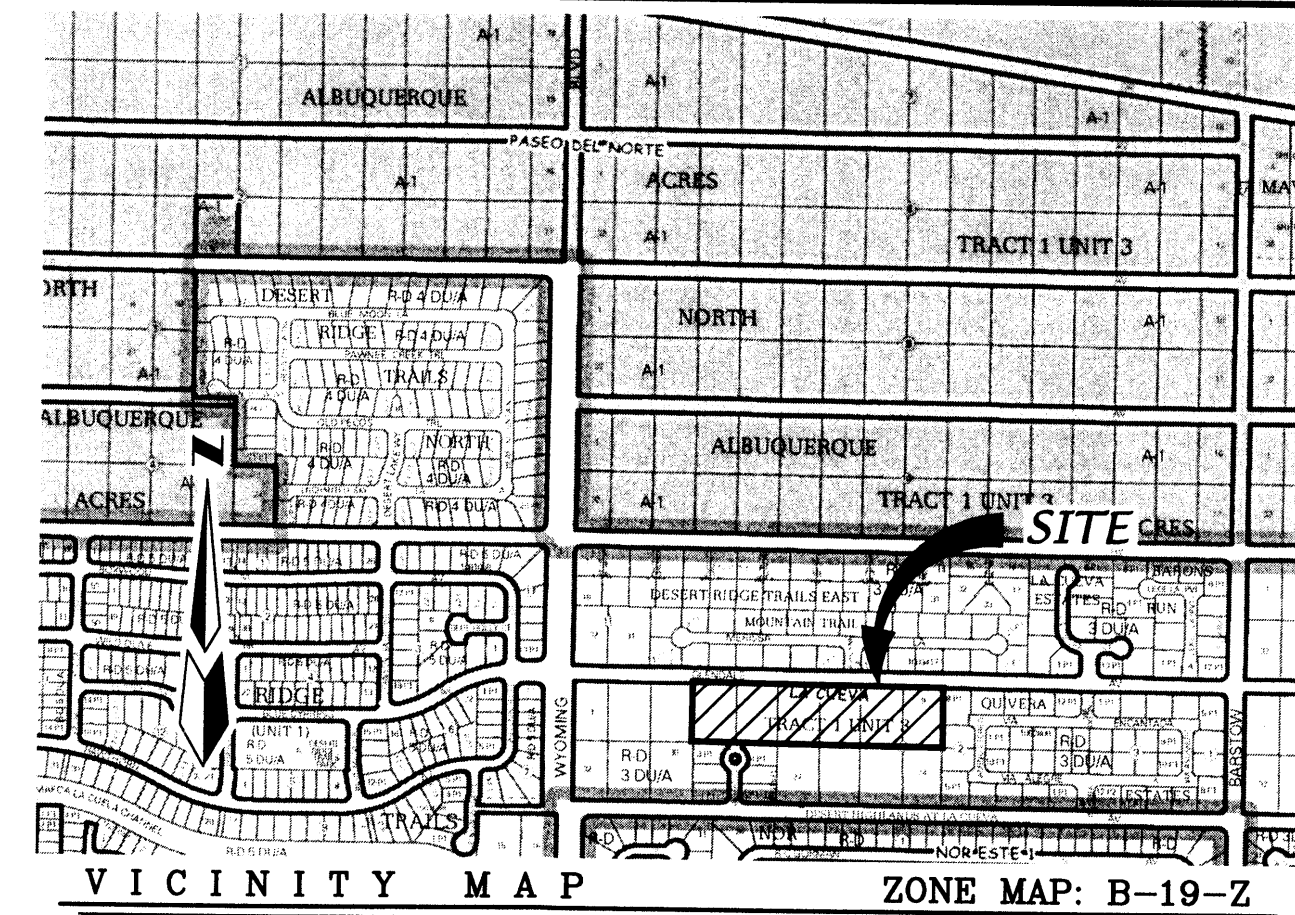
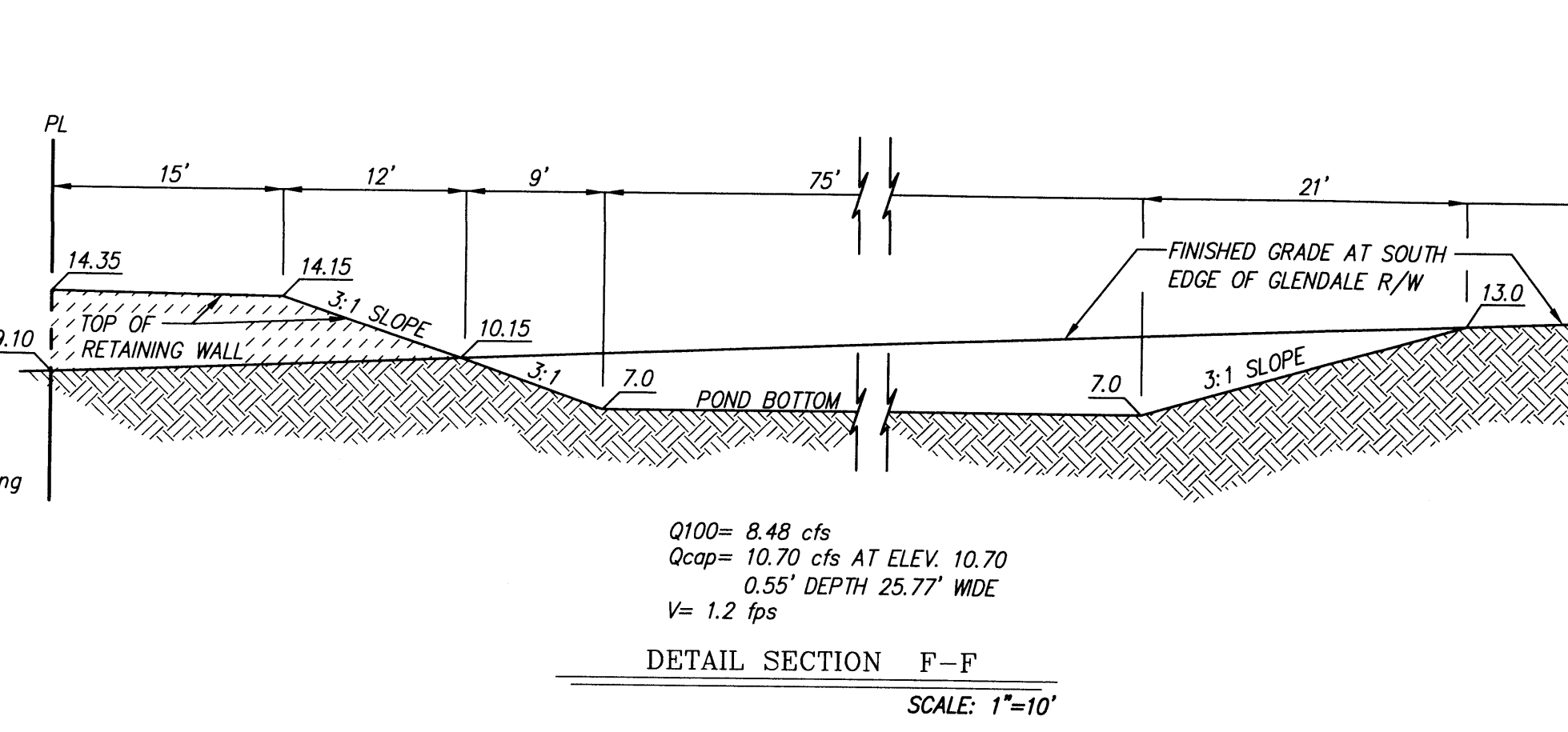
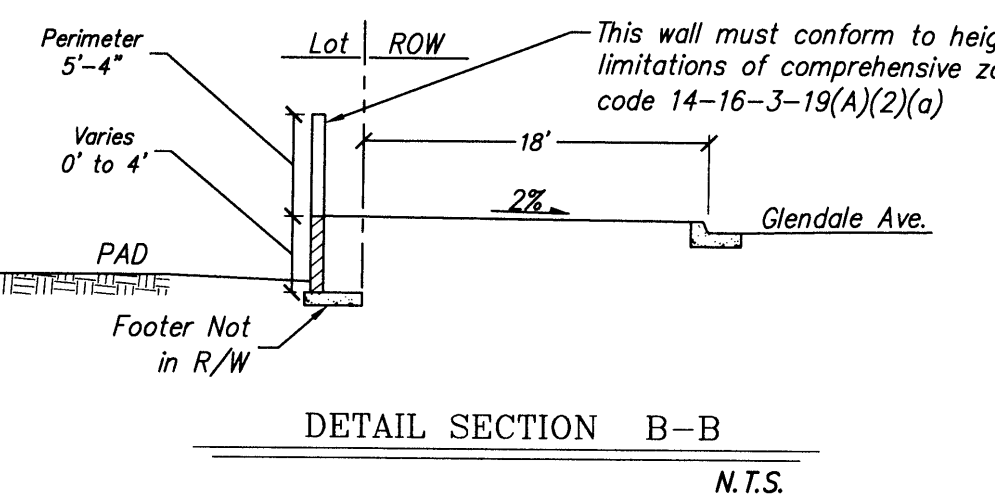
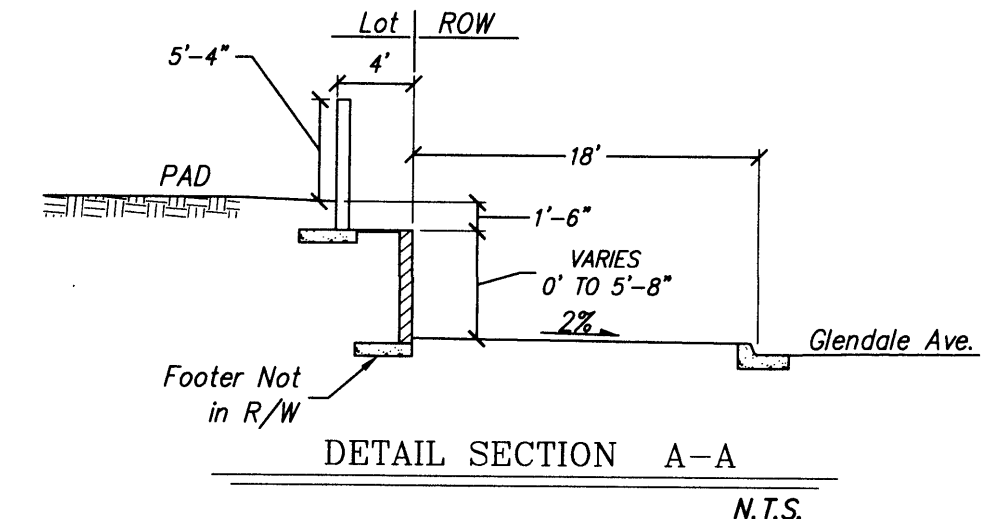
Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
13		Betula Birch	2" B&B	Medium
22		Populus Aspen/Multi Trunk	2" B&B	Medium
10		Pinus/Picea Bosnian Pine, Dwarf Spruce	5'-6"	Medium
4		Pinus, Cedrus, Picea Ponderosa Pine, Blue Atlas Cedar, Blue Spruce	5'-6"	Medium
Shrubs/Groundcovers				
31		Achillea filipendulina Moonshine Yarrow	1-Gal	Medium
6		Centranthus Jupiter's Beard	1-Gal	Medium
26		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
25		Nepeta mussini Giant Catmint	1-Gal	Medium
14		Parovskia atriplicifolia Russian Sage	1-Gal	Medium
11		Pinus mugo Mugo Pine	5-Gal	Medium
38		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
6		Rosmarinus Rosemary	5-Gal	Low+
20		Lavandula Lavender	5-Gal	Low+
Ornamental Grasses				
17		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
28		Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium
19		Liriope Mondo Grass	1-Gal	Low +
7		Miscanthus Maiden Grass	5-Gal	Low +
Perennials				
TBD		California Poppy/ Columbine		Flats/Seed/4" pots



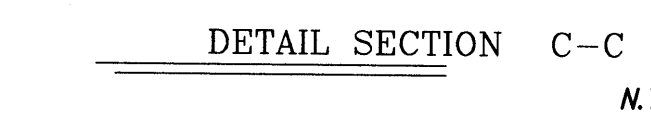
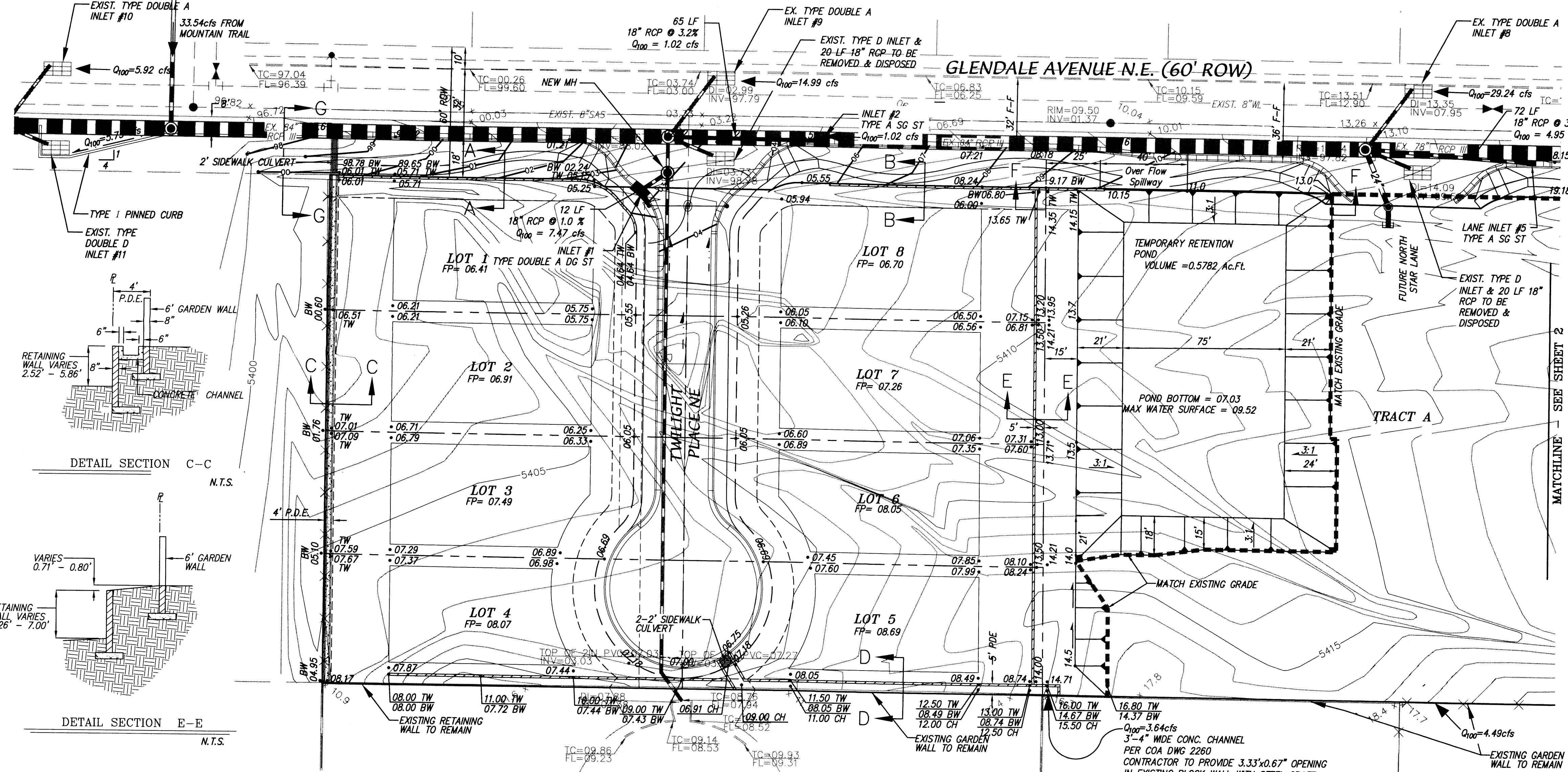
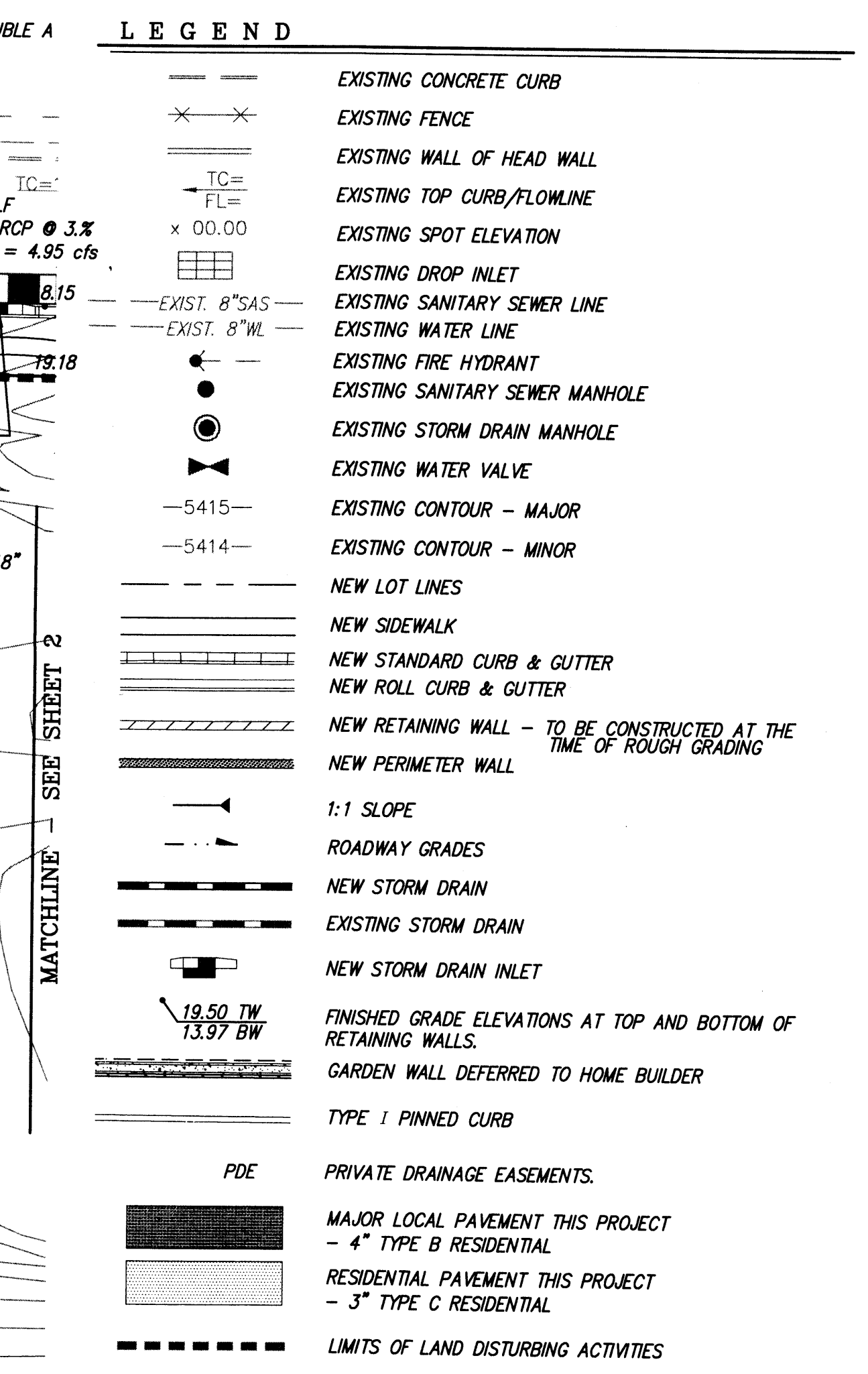
Sheet Title:
Landscape Plan
Sheet Number:

GENERAL SITE CONSTRUCTION NOTES

- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY AND DO NOT NECESSARILY SHOW ALL THE UTILITIES ON THE SITE.
- ALL STORM DRAIN, PAVING, CURB, AND VALLEY GUTTER WORK ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT #1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- IN THE EVENT OF PHASED CONSTRUCTION STORM WATER RUNOFF IS TO BE PREVENTED FROM UNDEVELOPED PORTIONS OF THE SITE BY CONSTRUCTING TEMPORARY RETENTION PONDS IN THE UNDEVELOPED PORTION OF THE SITE CAPABLE OF RETAINING THE 100 YR. 10 DAY STORMWATER RUNOFF VOLUME FROM ALL ONSITE AND OFFSITE AREAS DRAINING TO IT.
- NOTE ALL STREET SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- STRUCTURAL STANDARDS AND SPECIFICATIONS OF WALLS AND SLOPE PAVING ARE NOT PROVIDED ON THIS GRADING AND DRAINAGE PLAN AND ARE TO BE SUPPLIED SEPARATELY BY CONTRACTOR PRIOR TO CONSTRUCTION.

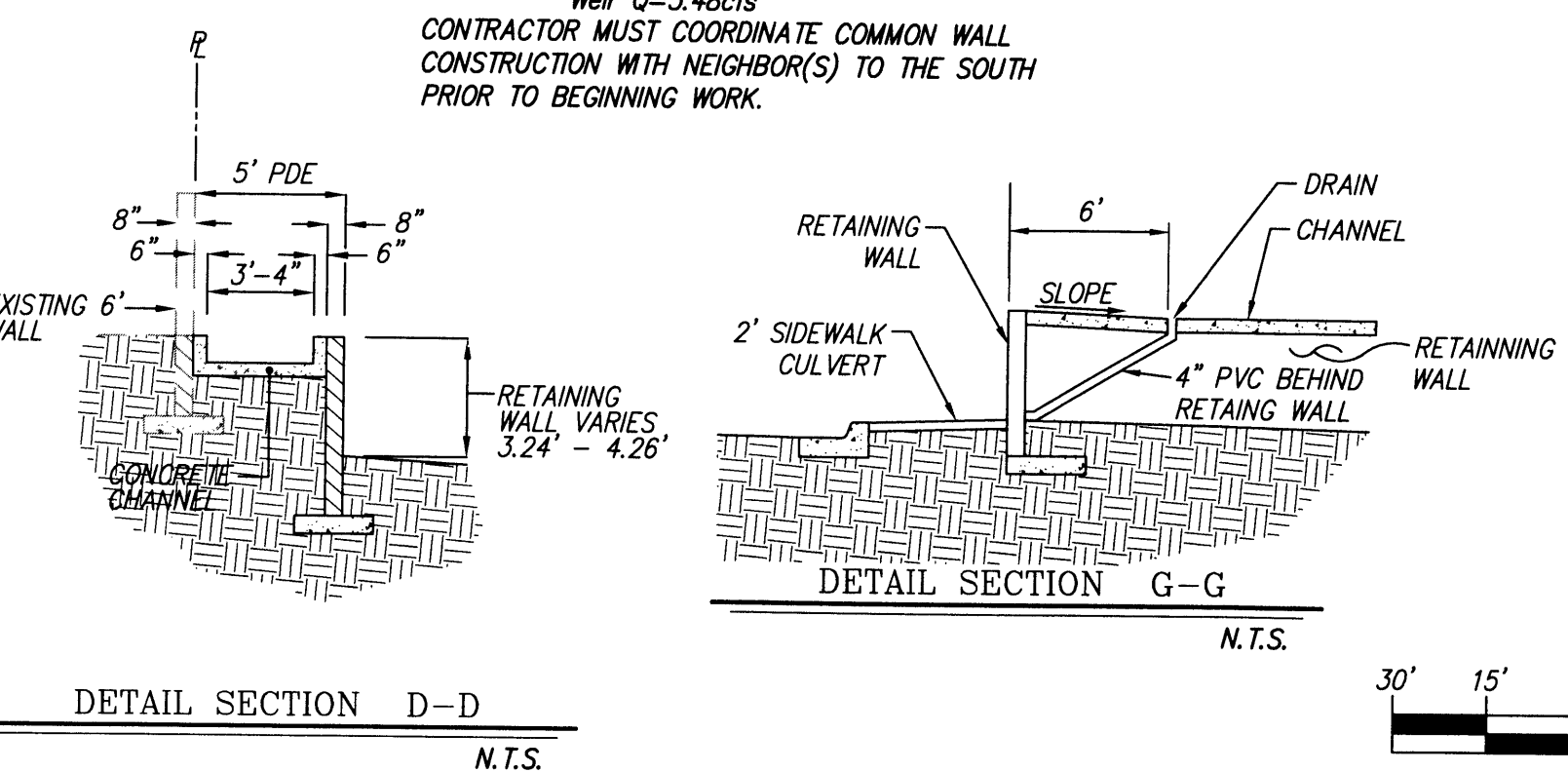


LEGAL
 LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES
 September 10, 1931 in Volume 0, Folio 121.



EROSION CONTROL / ENVIRONMENTAL PROTECTION NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMIT FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY INSTALLING SILT FENCES OR PERMANENT BLOCK WALLS AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT FOR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. HOWEVER, WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS STABILIZATION MEASURES MUST BE INITIATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL GAS, TIRES, ETC.) GARBAGE GRUBBING, EXCESS CUT MATERIAL, VEGETATION DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HULL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICAL PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER RETENTION PLAN ONSITE AT ALL TIMES.



dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

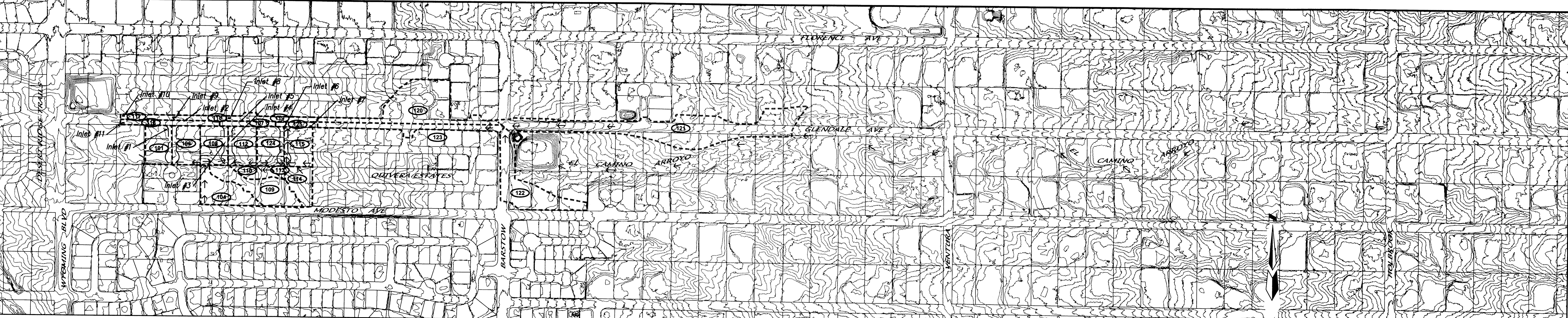
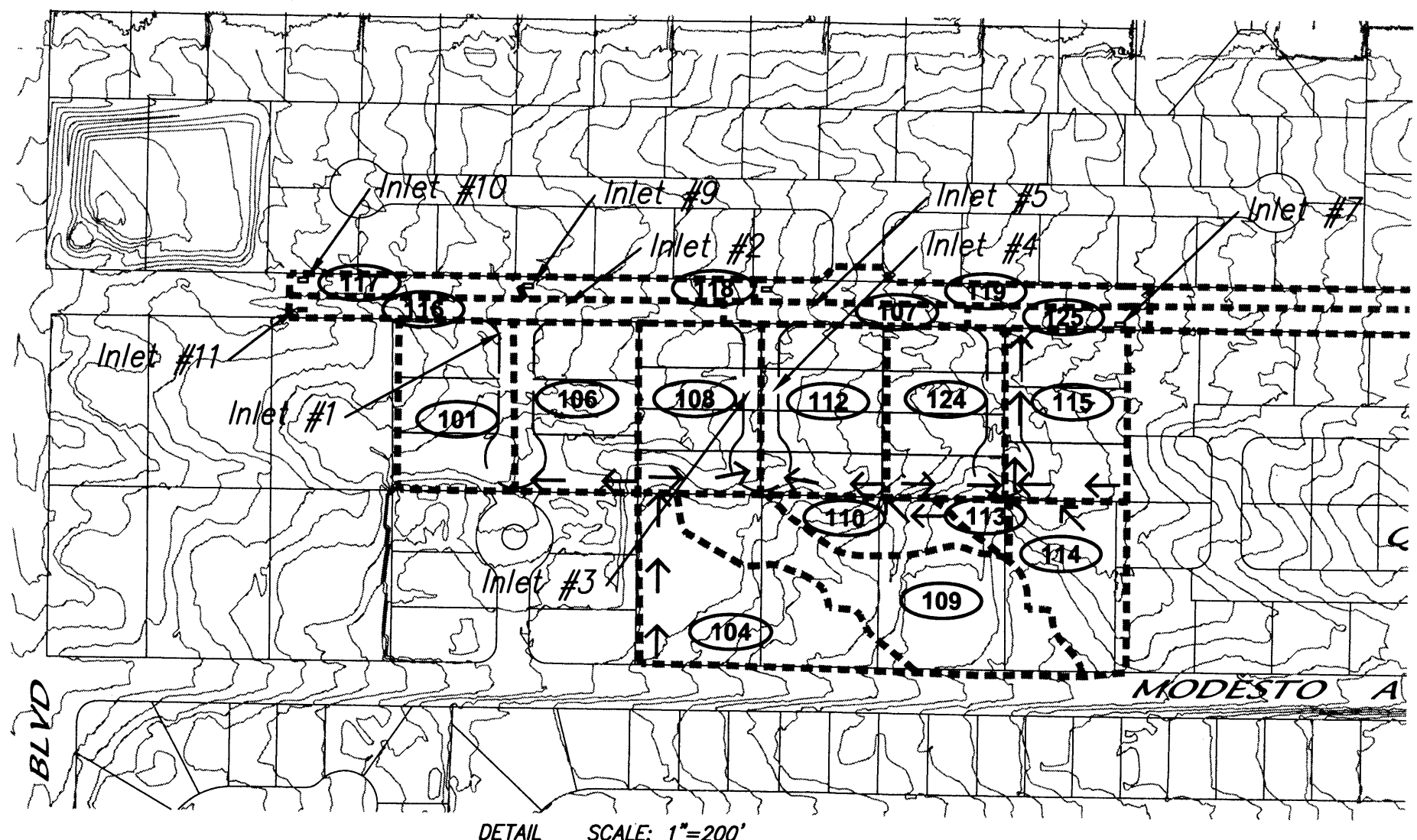
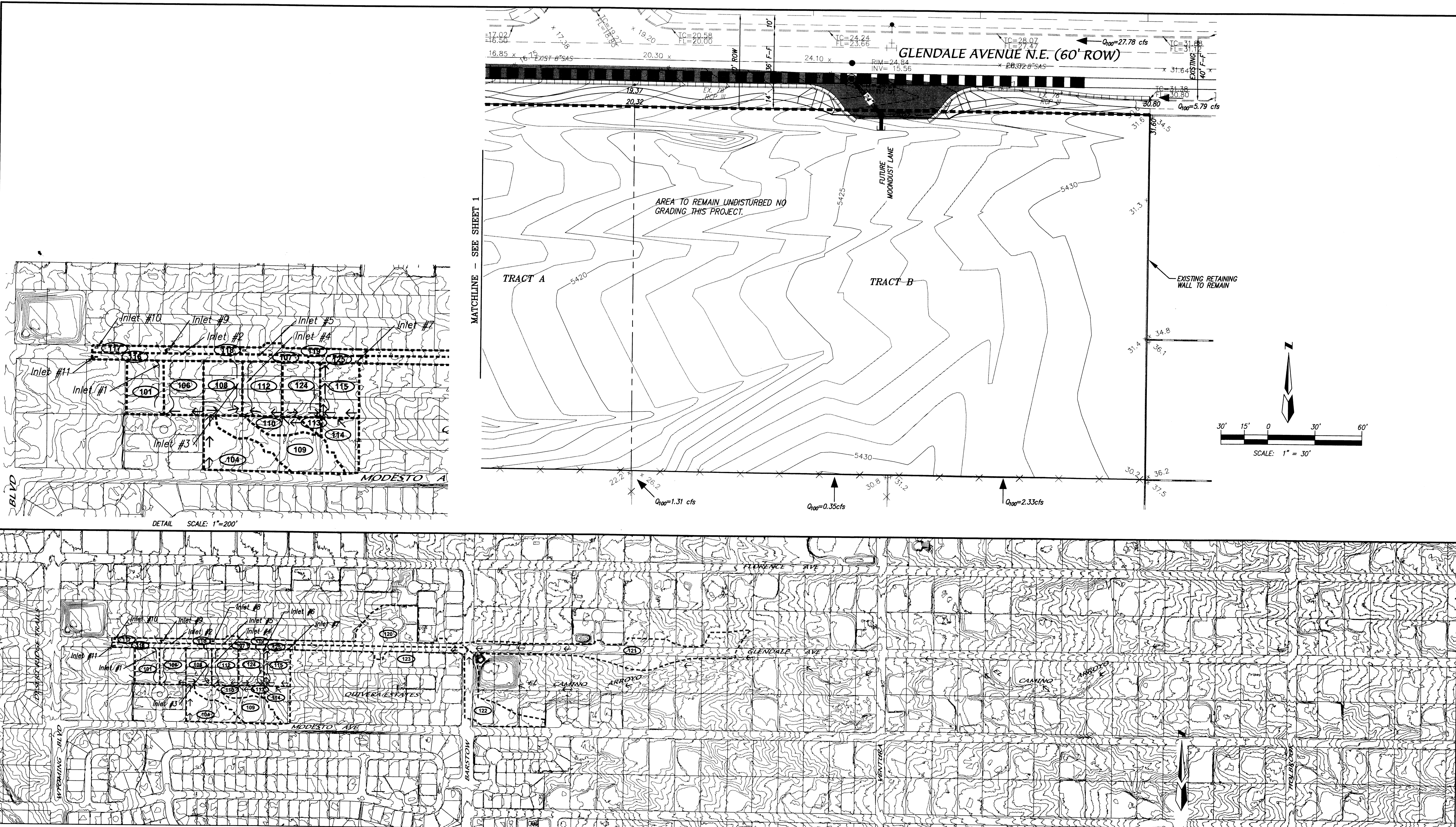
**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

**THE ESTATES AT GLENDALE - UNIT 1
 GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
DESIGNED BY: GJK	REVISIONS	DATE: 11/11	DATE: 11/11
DRAWN BY: ACH		DATE: 11/11	DATE: 11/11
CHECKED BY: DMG		DATE: 11/11	DATE: 11/11

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR	DATE	NO.	BY	NO.	DATE
FROM THE INTERSECTION OF LOUISIANA BOULEVARD AND PASEO DEL NORTE NE GO EAST ON PASEO DEL NORTE 1 MILE TO BARSTOW STREET THEN NORTH ON BARSTOW STREET 1 MILE TO MADRASA AVENUE. THE STATION IS LOCATED IN THE NORTHEAST QUADRANT OF THE INTERSECTION.							
N.M. State Plane Coordinates (Central Zone) N=1524154.945, E=1550483.349 Elevation=5477.179 (NAVD83), in feet				REMARKS: DESIGN REVISIONS DATE: 11/11 DATE: 11/11 DATE: 11/11			

F:\111\JOBS\A11004 Glendale Res\GRADE & DRAIN\A11004 GRADE & DRAIN-UNIT1-R1.dwg, 4/23/2012 9:55:17 AM, stephen



HYDROLOGY SUMMARY TABLE

BASIN ID	AREA (Ac)	Ground Cover (%)				Peak 100-YR Flow Q ₁₀₀ (cfs)	Cumulative	Location	Street flows				Inlet Calcs			
		A	B	C	D				Slope (%)	Depth (ft)	Velocity (fps)	Energy (ft)	Inlet ID #	Intercepted (cfs)	By-pass (cfs)	
122	2.1	0.00328	13	13	26	48	8.16	8.16	Barstow St.	0.61	0.46	2.3	0.54			
123	0.8	0.00125		15	85		3.83	11.99	Glendale Ave S. 1/2	3.18	0.40	4.5	0.71	7	6.20	5.79
114	0.7	0.00108	20	20	34	26	2.33	2.33	PDE for lot 24	n/a						
113	0.1	0.00016	20	20	34	26	0.35	2.68	PDE for lot 25	n/a						
115	0.9	0.00144	0	21	21	58	3.84	7.12	Moondust E. 1/2	Sump	0.38			6	7.12	Sump
124	0.9	0.00144	0	21	21	58	3.84	9.63	Moondust W. 1/2	Sump	0.38			5	9.63	Sump
110	0.4	0.00061	20	20	34	26	1.31	1.31	PDE for lot 26	n/a						
112	0.9	0.00144	21	21	58		3.84	5.15	North Star Ct E. 1/2	Sump	0.43			4	5.15	Sump
109	1.3	0.00208	20	20	34	26	4.49	4.49	PDE for lot 27	n/a						
108	0.9	0.00144	21	21	58		3.84	9.35	North Star Ct W. 1/2	Sump	0.43			3	9.35	Sump
125	0.1	0.00020	0	33	67		0.59	0.59	Glendale Ave S. 1/2	n/a						
107	0.2	0.00036	0	33	67		1.02	1.02	Glendale Ave S. 1/2	3.15	0.09	1.9	0.15	2	1.02	0.00
104	1.1	0.00169	20	20	34	26	3.64	3.64	PDE for lot 27	n/a						
106	0.9	0.00144	21	21	58		3.84	7.48	Twilight Ct E. 1/2	0.86	0.33	2.4	0.42			
101	0.9	0.00144	21	21	58		3.84	11.33	Twilight Ct W. 1/2	2.15	0.38	3.7	0.59	1	7.47	3.86
116	0.4	0.00065	0	33	67		1.88	5.73	Glendale Ave S. 1/2	3.15	0.28	3.3	0.45	11	5.73	Sump
121	4.2	0.00656	9	9	42	40	16.21	16.21	Glendale Ave N. 1/2	3.18	0.44	4.9	0.81			
120	2.9	0.00453	25	27	48		11.57	27.78	Glendale Ave N. 1/2	3.18	0.51	5.9	1.05			
119	0.3	0.00047		10	90		1.46	29.24	Glendale Ave N. 1/2	3.15	0.52	6.0	1.08	8	15.22	14.02
118	0.2	0.00031		10	90		0.97	14.99	Glendale Ave N. 1/2	3.15	0.38	3.7	0.59	9	10.05	4.94
117	0.2	0.00031		10	90		0.97	5.92	Glendale Ave N. 1/2	3.15	0.32	3.8	0.54	10	5.08	0.84

DRAINAGE BASIN MAP
SCALE: 1" = 300'

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK BY	DATE
INSPECTORS	DATE
ACCEPTANCE BY	DATE
VERIFIED BY	DATE
DRAWINGS	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	NO.

BENCH MARKS	
APRS Brass Cap in concrete post stamped "1-8207"	
From the intersection of Louisiana Boulevard and Paseo Del Norte NE go east on Paseo Del Norte 1 mile to Barstow Street, then north on Barstow Street 1 mile to Modesto Avenue. The station is located in the northeast quadrant of the intersection.	
Geographic Position (NAD83), in feet	
N.M. State Plane Coordinates (Central Zone)	
N=1524154.945, E=1550483.349	
Elevation=5477.179 (NAVD83), in feet	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	

ENGINEER'S SEAL	

REMARKS	BY
REVISIONS	DATE
DESIGN	DATE
DESIGNED BY GJK	DATE 11/11
DRAWN BY ACH	DATE 11/11
CHECKED BY DMG	DATE 11/11

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

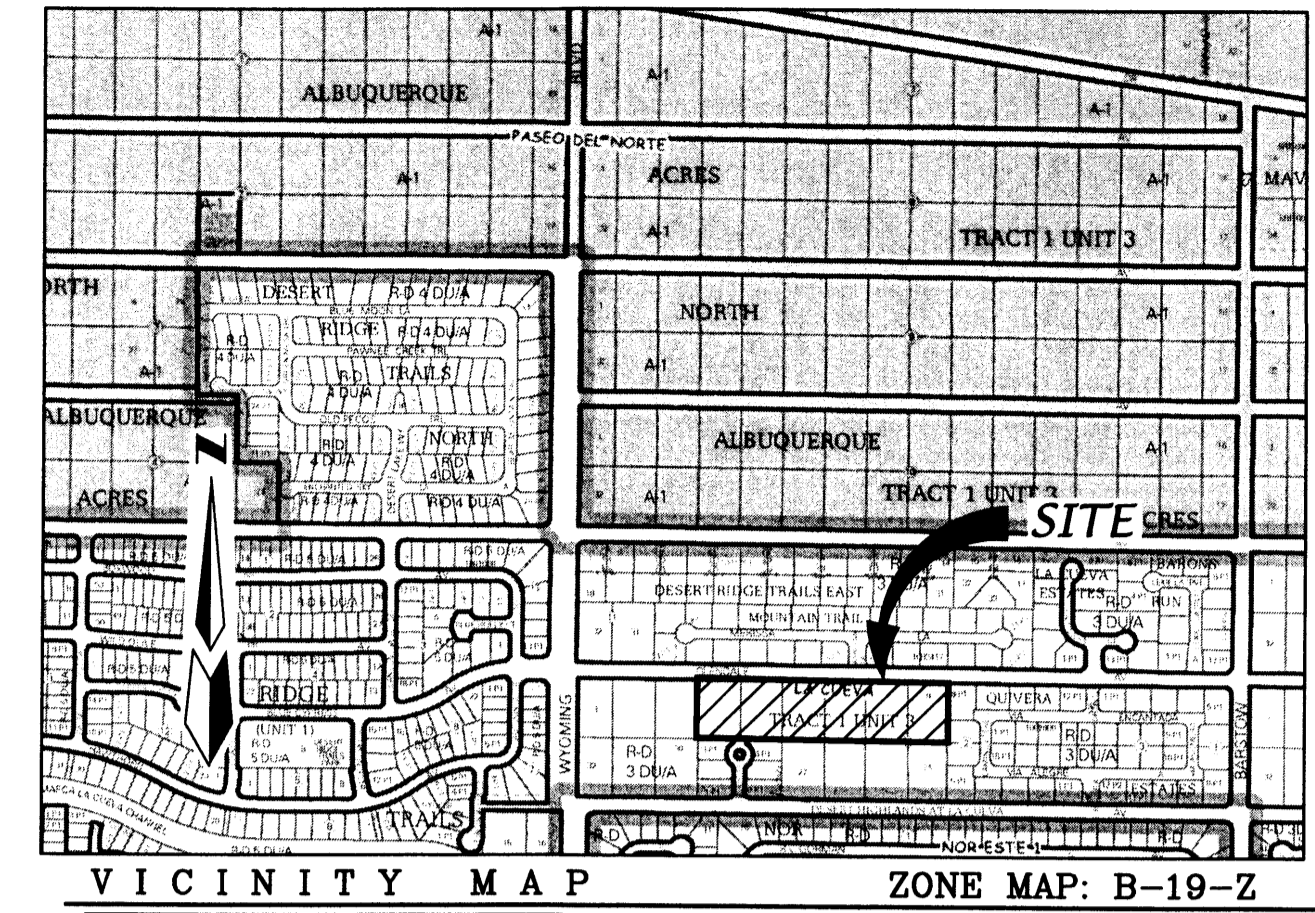
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: THE ESTATES AT GLENDALE - UNIT 1 GRADING & DRAINAGE PLAN

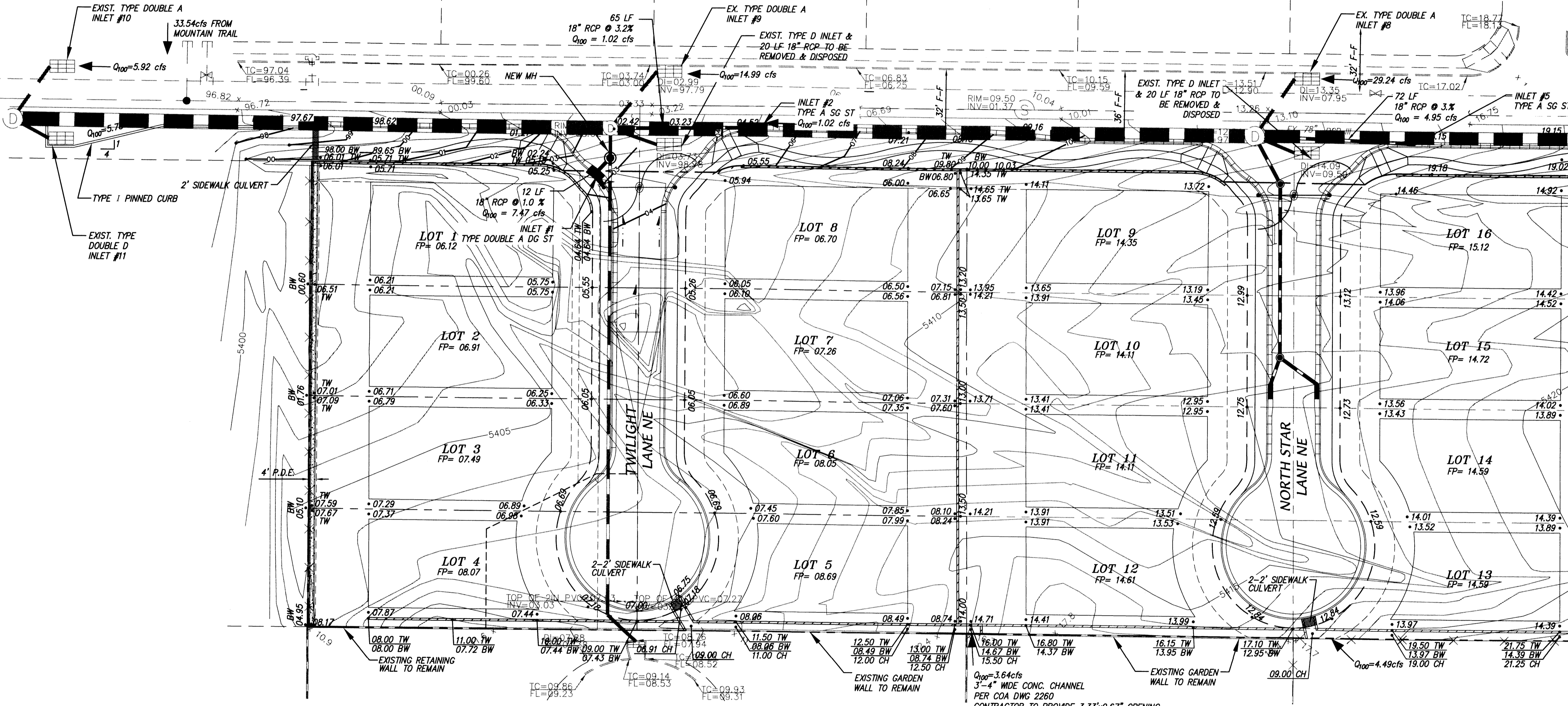
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE
		MO./DAY/YR.
		MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	B-19-Z	2	4

F:\111005\A11004 Glendale Res\GRADE & DRAIN\A11004 GRADE & DRAIN-UNIT1-R1.dwg, 4/20/2012 10:43:15 AM, Stephen



VICINITY MAP ZONE MAP: B-19-Z



LEGEND

- EXISTING CONCRETE CURB
- EXISTING FENCE
- EXISTING WALL OF HEAD WALL
- EXISTING TOP CURB/ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING DROP INLET
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING WATER VALVE
- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- NEW LOT LINES
- NEW SIDEWALK
- NEW STANDARD CURB & GUTTER
- NEW ROLL CURB & GUTTER
- NEW RETAINING WALL - TO BE CONSTRUCTED AT THE TIME OF ROUGH GRADING
- NEW PERIMETER WALL
- NEW SHALES
- 3:1 SLOPE
- ROADWAY GRADES
- NEW STORM DRAIN
- NEW STORM DRAIN INLET
- FINISHED GRADE ELEVATIONS AT TOP AND BOTTOM OF RETAINING WALLS.
- GARDEN WALL DEFERRED TO HOME BUILDER

AS BUILT INFORMATION

CONTRACTOR	DATE
STARTED BY	DATE
INSPECTOR'S	DATE
FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION

NO.	DATE	BY

ENGINEER'S SEAL

MARK GOODWIN & ASSOCIATES, P.A.
 REGISTERED PROFESSIONAL ENGINEER
 11619
 04-23-12

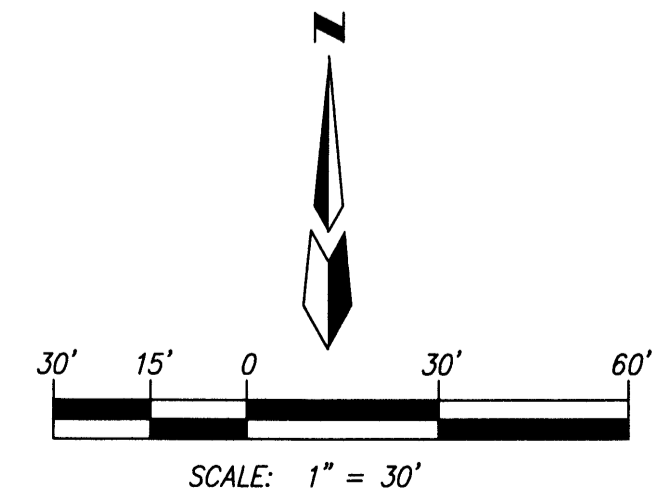
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

**TITLE: THE ESTATES AT GLENDALE
 CONCEPTUAL GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

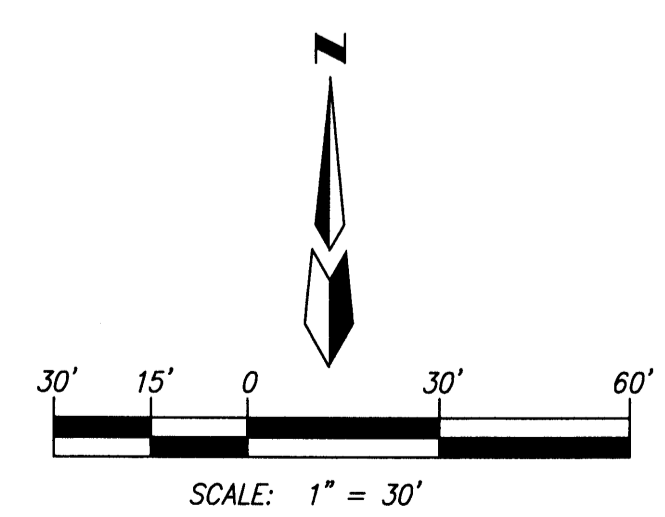
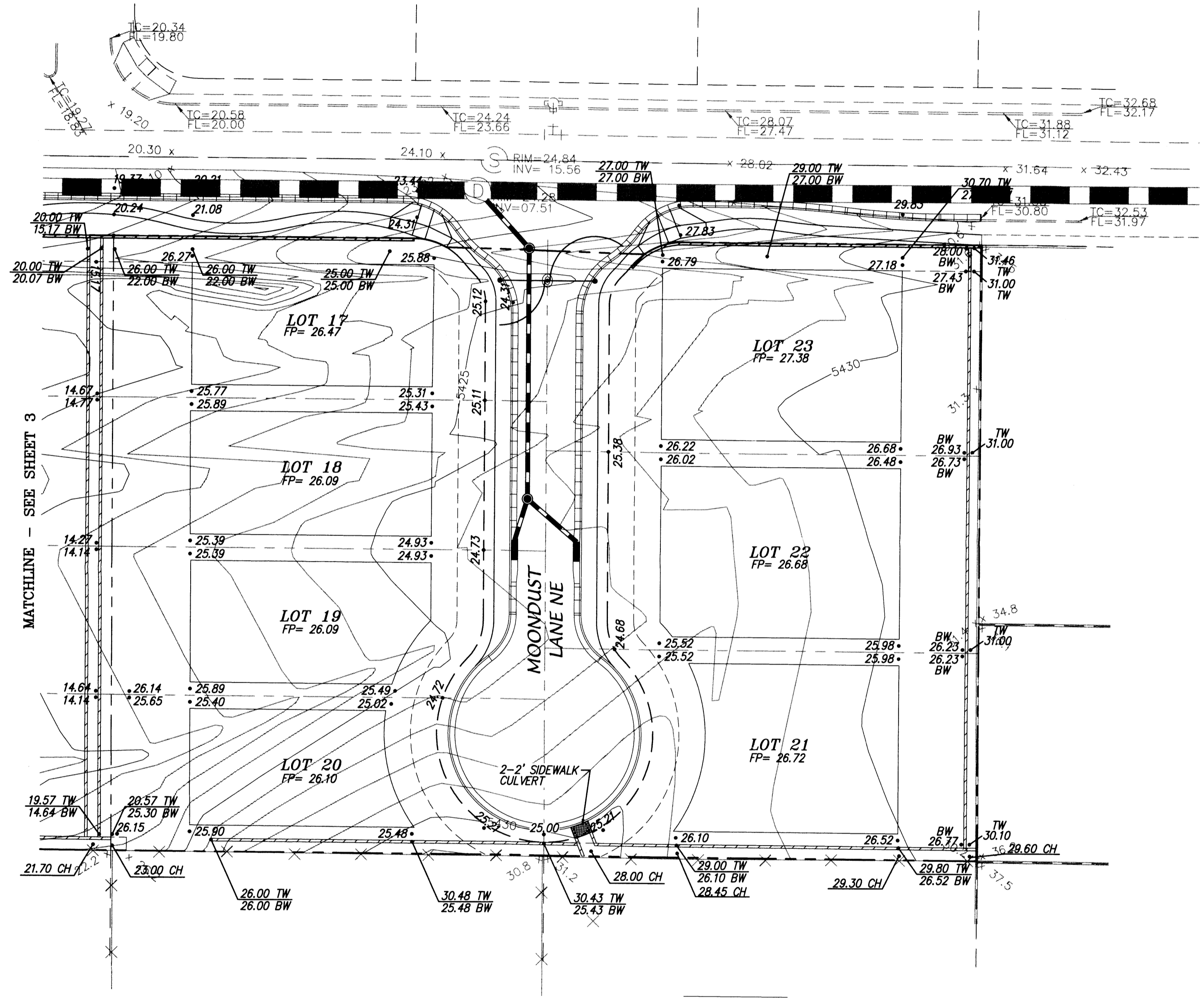
CITY PROJECT NO. _____ ZONE MAP NO. **B-19-Z** SHEET **3** OF **4**



CONTRACTOR TO PROVIDE 3.33'x0.67' OPENING IN EXISTING BLOCK WALL WITH STEEL GRATE
 Weir $Q = 3.0 \times L \times H^{3/2}$
 $Q_{100} = 5.48 \text{ cfs}$
 CONTRACTOR MUST COORDINATE COMMON WALL CONSTRUCTION WITH NEIGHBOR(S) TO THE SOUTH PRIOR TO BEGINNING WORK.

F:\111085\11004 Glendale Res\GRADE & DRAIN\GRADE & DRAIN\A11004 GRADE & DRAIN-R2a.dwg, 4/20/12 10:52:30 AM, asphm

F:\11205\11004 Glendale Res\GRADE & DRAIN\GRADE & DRAIN\A11004 GRADE & DRAIN-R2a.dwg, 4/20/2012 10:52:25 AM, stephen



AS BUILT INFORMATION	
CONTRACTOR	
STAMPED BY	
INSPECTOR'S DATE	
FIELD CHANGE BY	
VERIFICATION BY	
CORRECTED BY	
MICRO-FILM INFORMATION	
RECORDED BY	
NO.	

BENCH MARKS
 AGPS Brass Cap in concrete post stamped "T-820".
 From the intersection of Louisiana Boulevard and Paseo Del Norte NE go east on Paseo Del Norte 1 mile to Barstow Street; then north on Barstow Street 1 mile to Modesto Avenue. The station is located in the northeast quadrant of the intersection.
 Geographic Position (NAD83), in feet
 N.M. State Plane Coordinates (Central Zone)
 N=1524194.945, E=1504483.349
 Elevation=5477.179 (NAVD83), in feet

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	
BY	

ENGINEER'S SEAL

 JOHN W. MACFARLAND
 04.23.12

NO.	DATE	REVISIONS	BY
		DESIGN	
		G/K	
	11/11	ACH	
	11/11	DMG	

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
 TITLE: **THE ESTATES AT GLENDALE GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **B-19-Z** SHEET **4** OF **4**

PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2012

SUBDIVISION DATA

GROSS ACREAGE	5.9930 AC
ZONE ATLAS NO.	B-19-Z
NO. OF LOTS EXISTING	6 LOTS
NO. OF LOTS/TRACTS CREATED	8 LOTS/2 TRACTS
DATE OF SURVEY	FEBRUARY, 2011

DESCRIPTION

A TRACT OF LAND SITUATE, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 121, TOGETHER WITH A PORTION OF GLENDALE AVENUE NE AND CONTAINING 5.9930 ACRES MORE OR LESS.

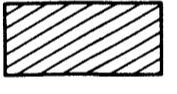



PURPOSE OF PLAT

- SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS, AND 2 TRACTS FOR FUTURE RESIDENTIAL SUBDIVISION.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS O SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-31, D-121)
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- ADDRESS OF PROPERTY: 7720, 7800, 7820, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF B25, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008
- TRACT A AND B IS FOR FUTURE SUBDIVISION IN ACCORDANCE WITH THE APPROVED SITE PLAN FOR SUBDIVISION.

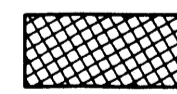
LEGEND

-  STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT IN FEE SIMPLE (0.50 ACRES). SEE CONTINUATION BELOW.
-  LIMITS OF VACATION
-  LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)
-  CENTER LINE MONUMENT OF PRIVATE ROADWAY. SET 5/8" REBAR WITH CAP "LS 7719".

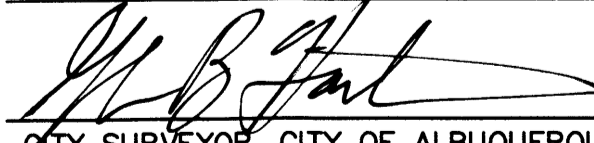
EASEMENTS


- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
 - EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED
 - NEW 47' PRIVATE ROADWAY, PUBLIC WATER, AND PUBLIC SANITARY SEWER EASEMENT.
- 5' PDE PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.
- 4' PDE PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF LOTS 1-4, AND ARE TO BE MAINTAINED BY THE OWNERS OF SAID LOTS.

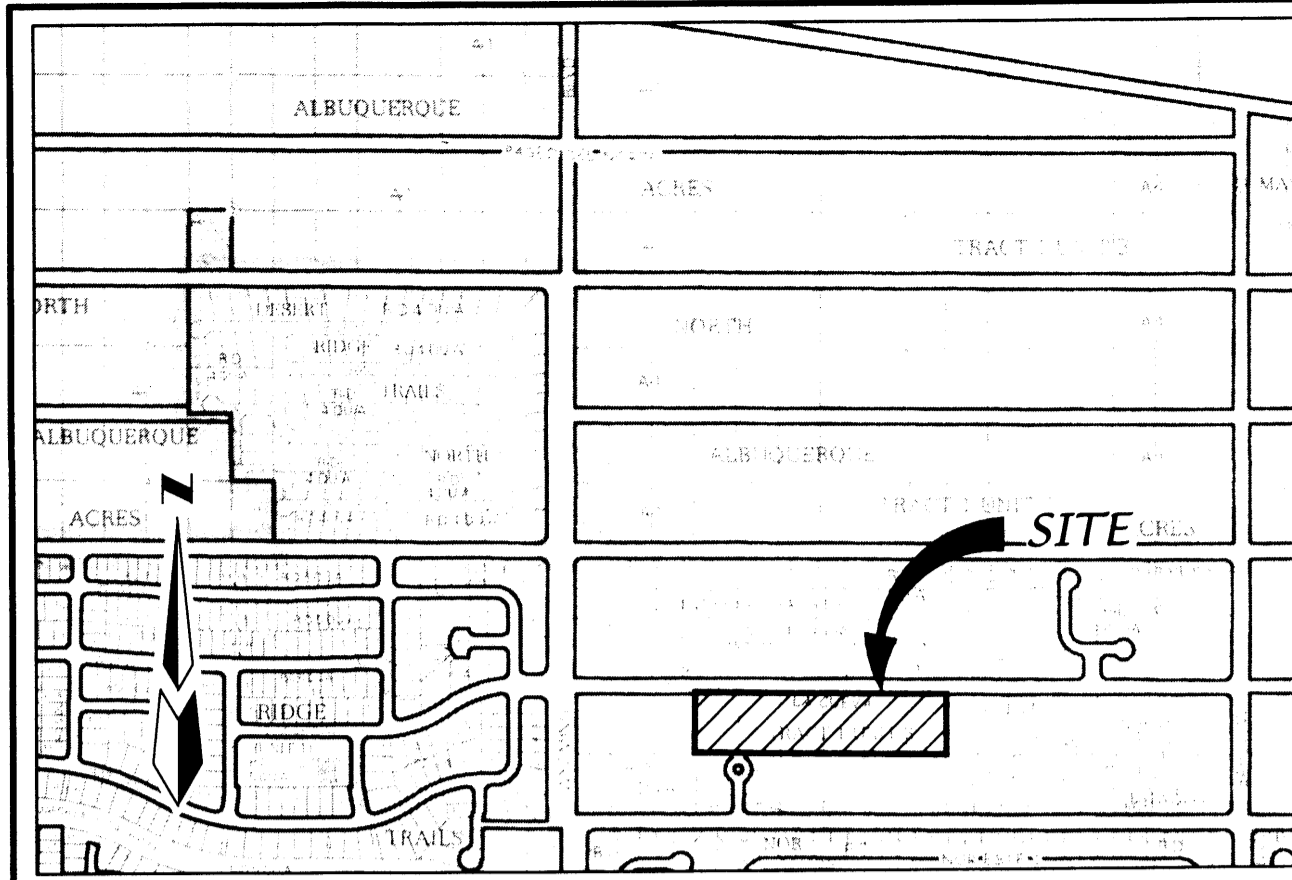
LEGEND (cont.)

-  ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT IN FEE SIMPLE WITH WARRANTY COVENANTS.

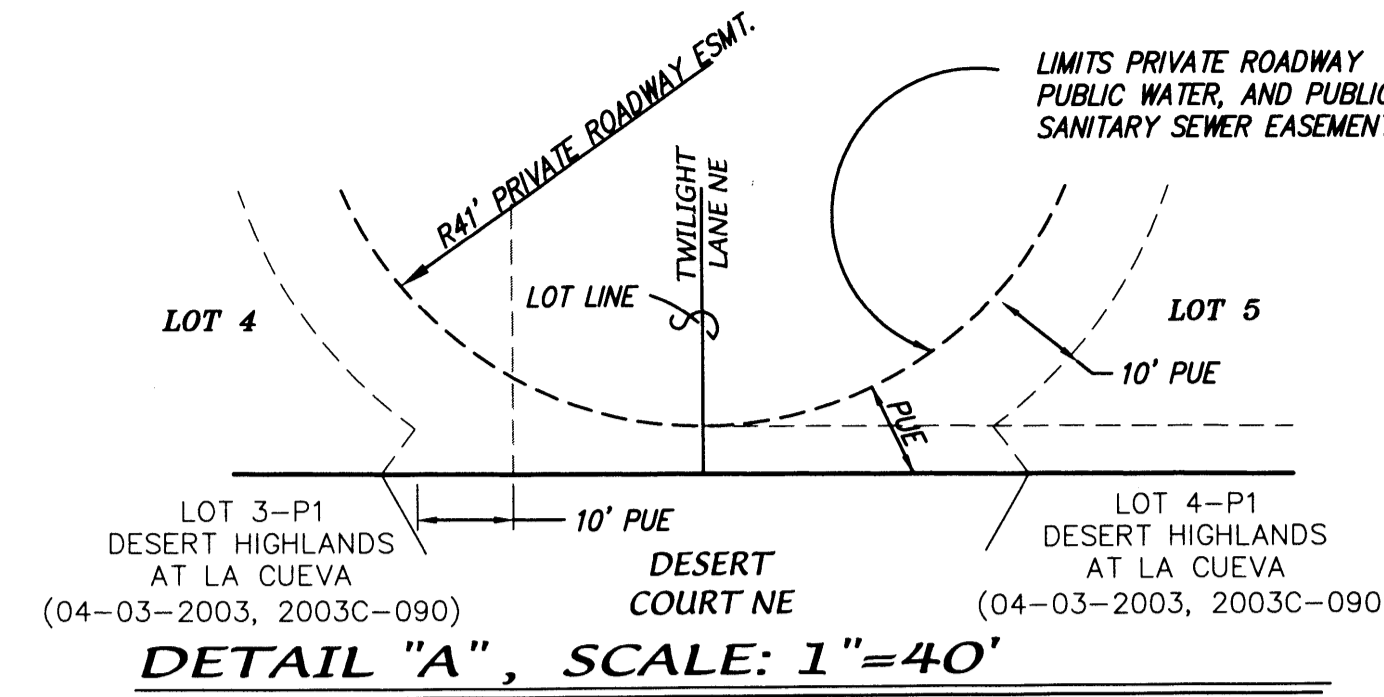
APPROVED

 4-11-12
 CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. DATE

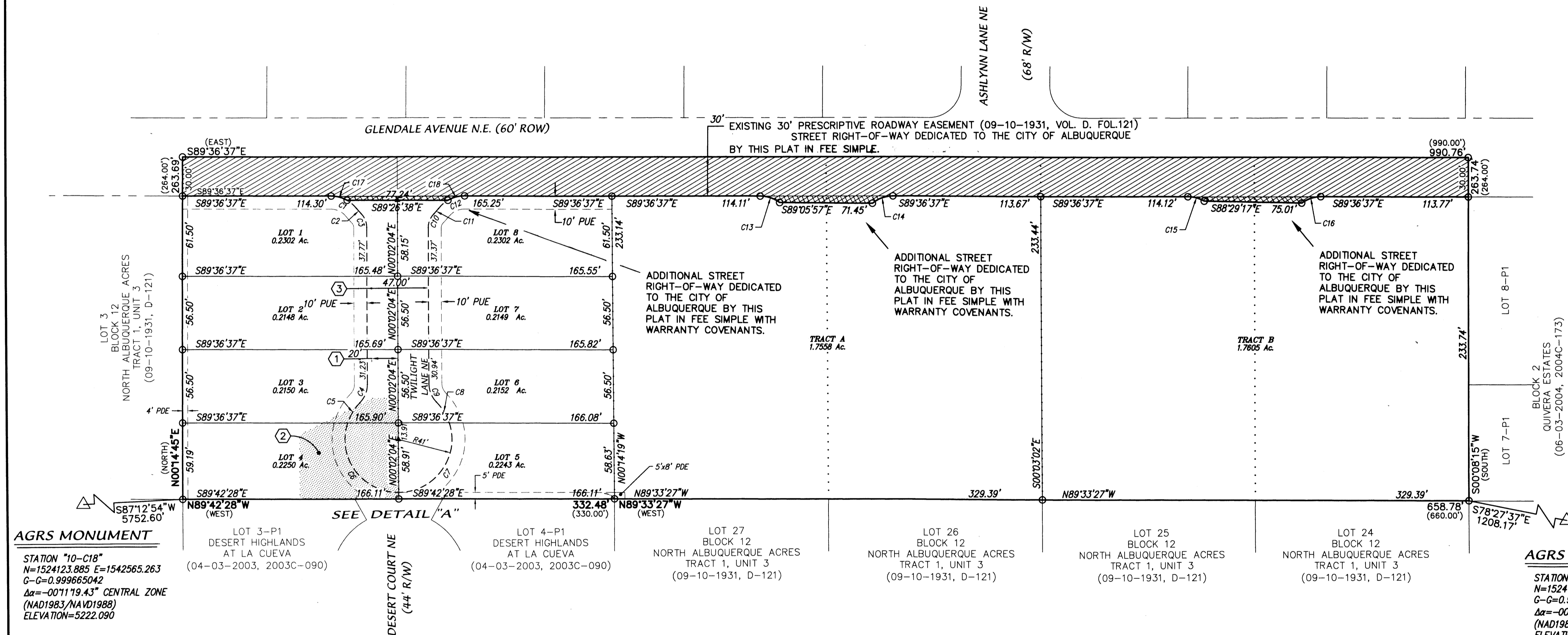
GLENDALE LLC, OWNER LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES
 4/11/12
 RANDALL SCHMIDT, MANAGING MEMBER DATE



VICINITY MAP SCALE: 1"=750 ZONE ATLAS B-19-Z



DETAIL "A", SCALE: 1"=40'

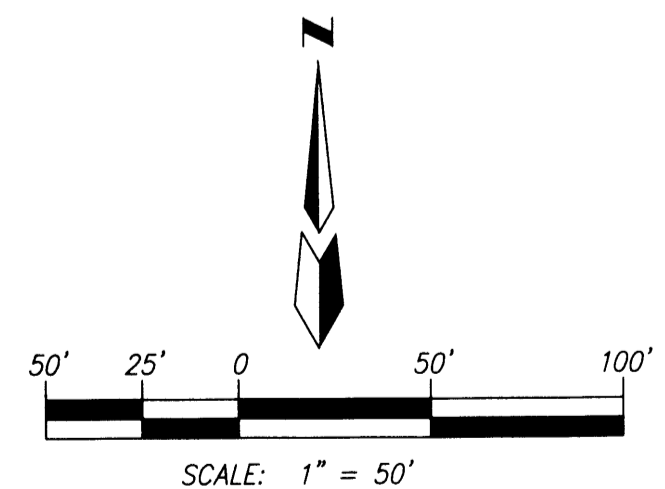


AGRS MONUMENT
 STATION "10-C18"
 N=1524123.885 E=1542565.263
 C-C=0.999665042
 Δα=-001119.43° CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5222.090

AGRS MONUMENT
 STATION "1-B20"
 N=1524154.945 E=1550483.349
 C-C=0.999651137
 Δα=-001024.45° CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5477.179

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C1	22.46'	25.00'	51°28'28"	12.05'	N63°52'23"W	21.71'
C2	5.32'	40.00'	7°37'23"	2.66'	S41°56'51"E	5.32'
C3	11.59'	14.50'	45°47'36"	6.12'	N22°51'44"W	11.28'
C4	15.54'	20.00'	44°30'40"	8.18'	N22°17'24"E	15.15'
C5	18.46'	41.00'	25°48'02"	9.39'	S31°38'43"W	18.31'
C6	77.80'	41.00'	108°43'26"	57.19'	S35°37'00"E	66.64'
C7	77.27'	41.00'	107°59'18"	56.42'	N36°01'42"E	66.33'
C8	18.97'	41.00'	26°30'43"	9.66'	N31°13'16"W	18.80'
C9	15.54'	20.00'	44°30'40"	8.18'	S22°13'16"E	15.15'

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CHORD
C10	11.59'	14.50'	45°47'36"	6.12'	S22°55'52"W	11.28'
C11	5.37'	40.00'	7°41'52"	2.69'	N41°58'44"E	5.37'
C12	22.80'	25.00'	52°15'34"	12.26'	S64°15'36"W	22.02'
C13	16.09'	25.00'	36°51'58"	8.33'	N71°10'38"W	15.81'
C14	17.12'	25.00'	39°14'21"	8.91'	S70°46'12"W	16.79'
C15	13.09'	25.00'	30°00'13"	6.70'	N74°36'30"W	12.94'
C16	15.78'	25.00'	36°10'28"	8.17'	S72°18'09"W	15.52'
C17	12.88'	25.00'	29°30'33"	6.58'	N74°51'21"W	12.73'
C18	13.32'	25.00'	30°32'12"	6.82'	S75°07'17"W	13.17'

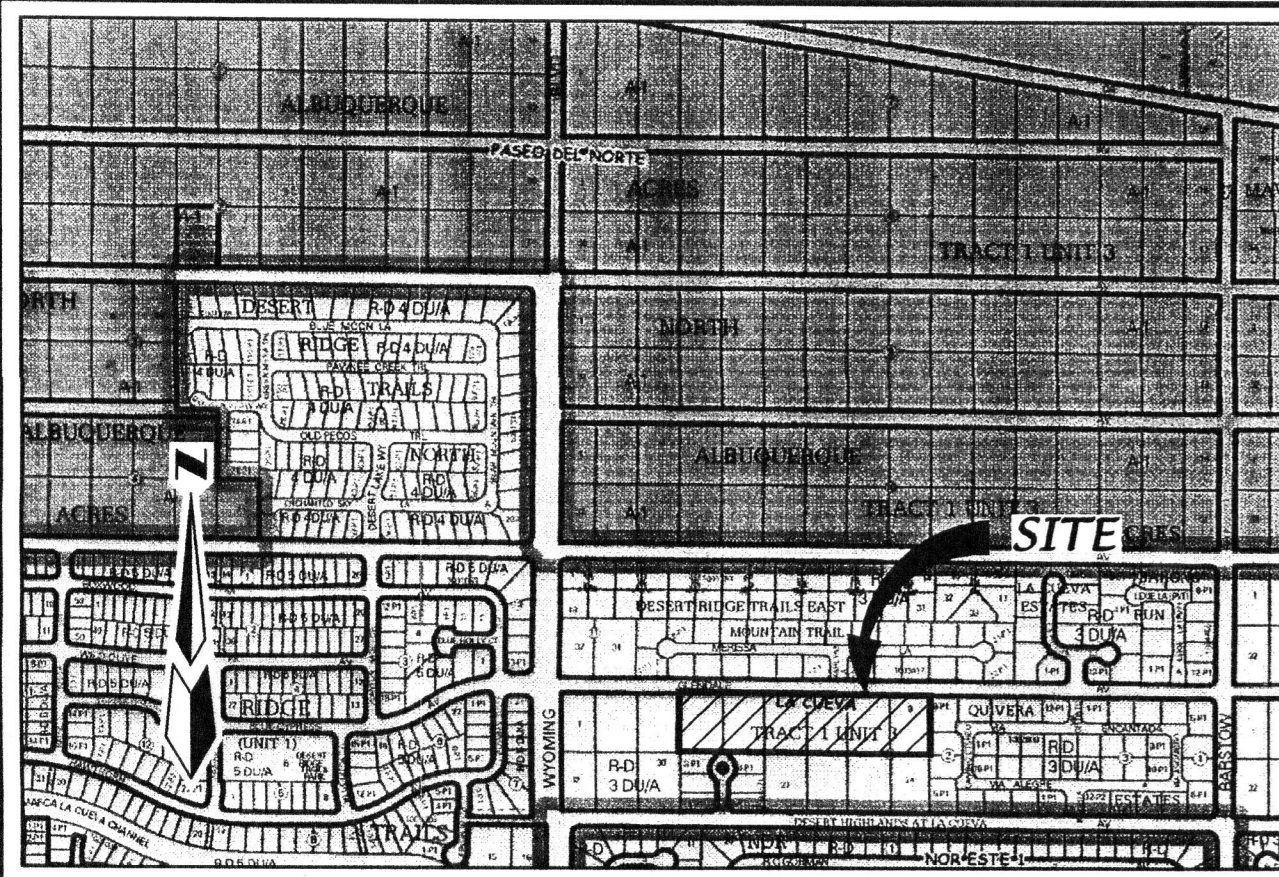


SURVEYOR
 ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

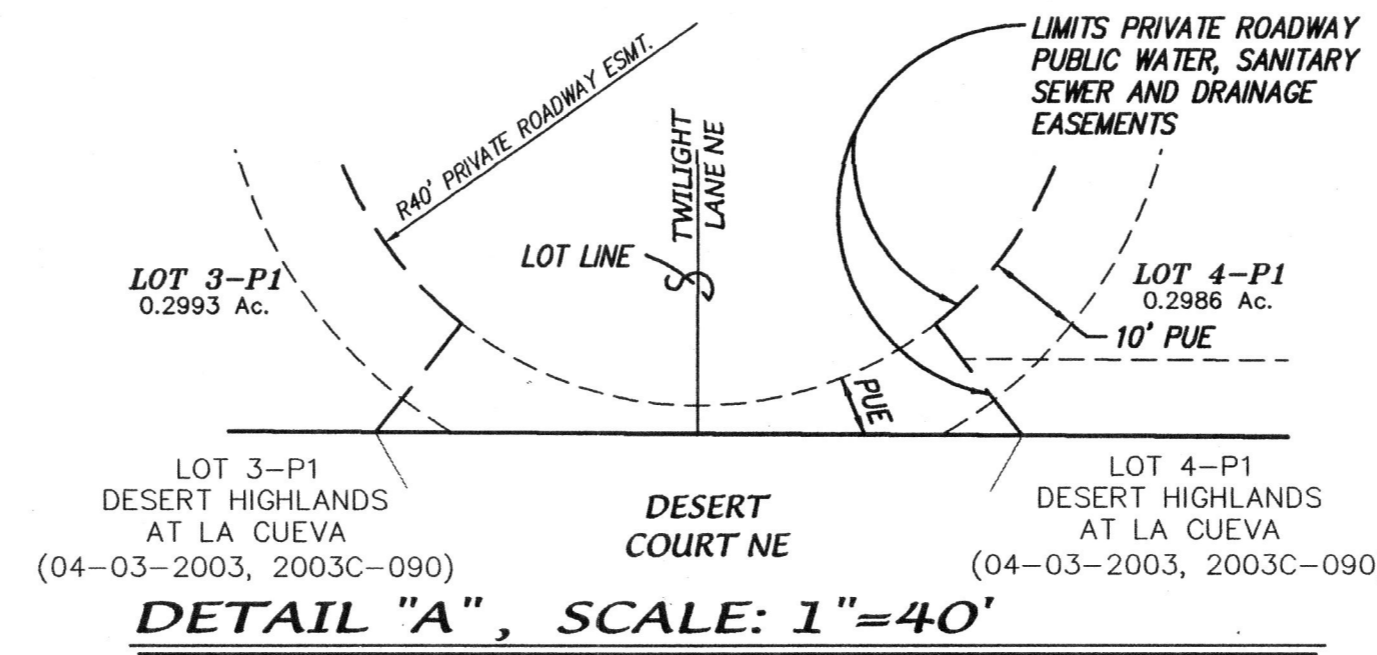
OWNERS
 GLENDALE, LLC
 7101 WATAJUE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2011



VICINITY MAP SCALE: 1"=750 ZONE ATLAS B-19-Z



DETAIL "A", SCALE: 1"=40'

SUBDIVISION DATA

GROSS ACREAGE	5.9930 AC
ZONE ATLAS NO.	B-19-Z
NO. OF LOTS EXISTING	6 LOTS
NO. OF LOTS CREATED	8 LOTS
ZONING	R-D, 3 DU/A
DATE OF SURVEY	FEBRUARY, 2011

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

PURPOSE OF PLAT

- SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 6 RESIDENTIAL LOTS AND TWO PARCELS.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-31, D-121)
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- TITLE REPORT(S): NONE PROVIDED.
- ADDRESS OF PROPERTY: 7720, 7800, 7820, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: R-D, 3 DU/A
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008
- PARCEL 1 MAY NOT BE FURTHER SUBDIVIDED. IT IS COUNTED WITH LOTS 1 THROUGH 6 TO DEMONSTRATE COMPLIANCE WITH THE ZONING DENSITY LIMITATIONS OF 3DU/AC.
- PARCEL 2 IS FOR FUTURE SUBDIVISION.

LEGEND

- ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.6824 ACRES)
- LIMITS OF VACATION
- LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)
- CENTERLINE MONUMENT TO BE INSTALLED "LS 7719"

EASEMENTS

- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673) TO BE VACATED
 - EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED
- PDE PRIVATE DRAINAGE EASEMENTS SHOW HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.

APPROVED

 City Surveyor, City of Albuquerque, N.M. Date

 Glendale LLC, Owner Lots 4 thru 9, Block 12, Tract 1, Unit 3,
 North Albuquerque Acres

 Randall Schmilke, Managing Member Date

AGRS MONUMENT

STATION "10-C18"
 N=1524123.885 E=1542565.263
 G-G=0.99965137
 Δα=-007119.43° CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5222.090

AGRS MONUMENT

STATION "1-B20"
 N=1524154.945 E=1550483.349
 G-G=0.999651137
 Δα=-007024.45° CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5477.179

SITE BENCHMARK

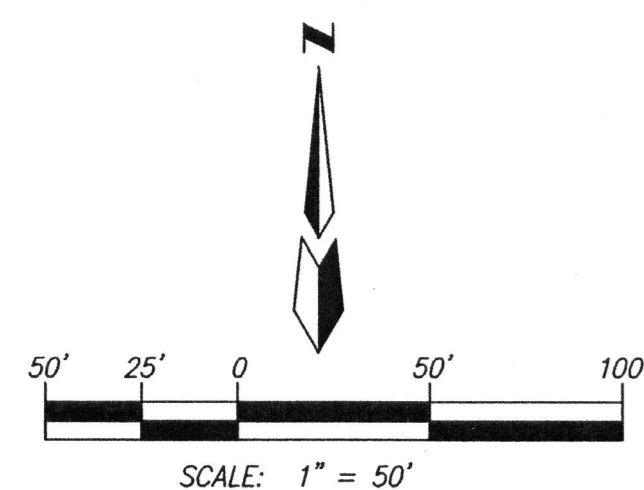
AGRS MONUMENT "1-B20"
 ELEVATION=5477.179
 (NAVD 1988)

SEE DETAIL "A"

LINE	BEARING	LENGTH
L1	S38°12'34"W	14.51'
L2	S37°56'40"E	14.74'
L3	S35°50'07"W	12.75'
L4	S36°07'28"E	13.54'

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	25.00'	26.31'	60°17'34"	14.52'	N59°27'50"W	25.11'
C2	40.00'	11.48'	16°26'29"	5.78'	S37°32'18"E	11.44'
C3	14.50'	11.59'	45°47'36"	6.12'	N22°51'44"W	11.28'
C4	20.00'	5.85'	16°44'48"	2.94'	N08°24'28"E	5.82'
C5	20.00'	9.35'	26°47'04"	4.76'	N30°10'24"E	9.26'
C6	40.00'	66.57'	95°21'22"	43.93'	S04°06'45"E	59.15'
C7	40.00'	66.71'	95°33'08"	44.08'	N04°16'46"E	59.24'
C8	20.00'	9.03'	25°52'39"	4.59'	S30°33'29"E	8.96'
C9	20.00'	6.16'	17°39'13"	3.11'	S08°47'33"E	6.14'
C10	14.50'	11.59'	45°47'33"	6.12'	S22°55'54"W	11.28'
C11	40.00'	10.98'	15°43'52"	5.53'	N37°57'44"E	10.95'
C12	25.00'	26.31'	60°17'34"	14.52'	S60°14'36"W	25.11'

LOT	AREA (S.F.)	ACRES
1	13234	0.3038
2	37157	0.8550
3	13038	0.2993
4	13007	0.2986
5	12436	0.2855
6	13234	0.3038
PARCEL 1	38529	0.8845
TOTAL	140633	3.2285
AVERAGE LOT SIZE	1891	0.4612



SURVEYOR

ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

OWNERS

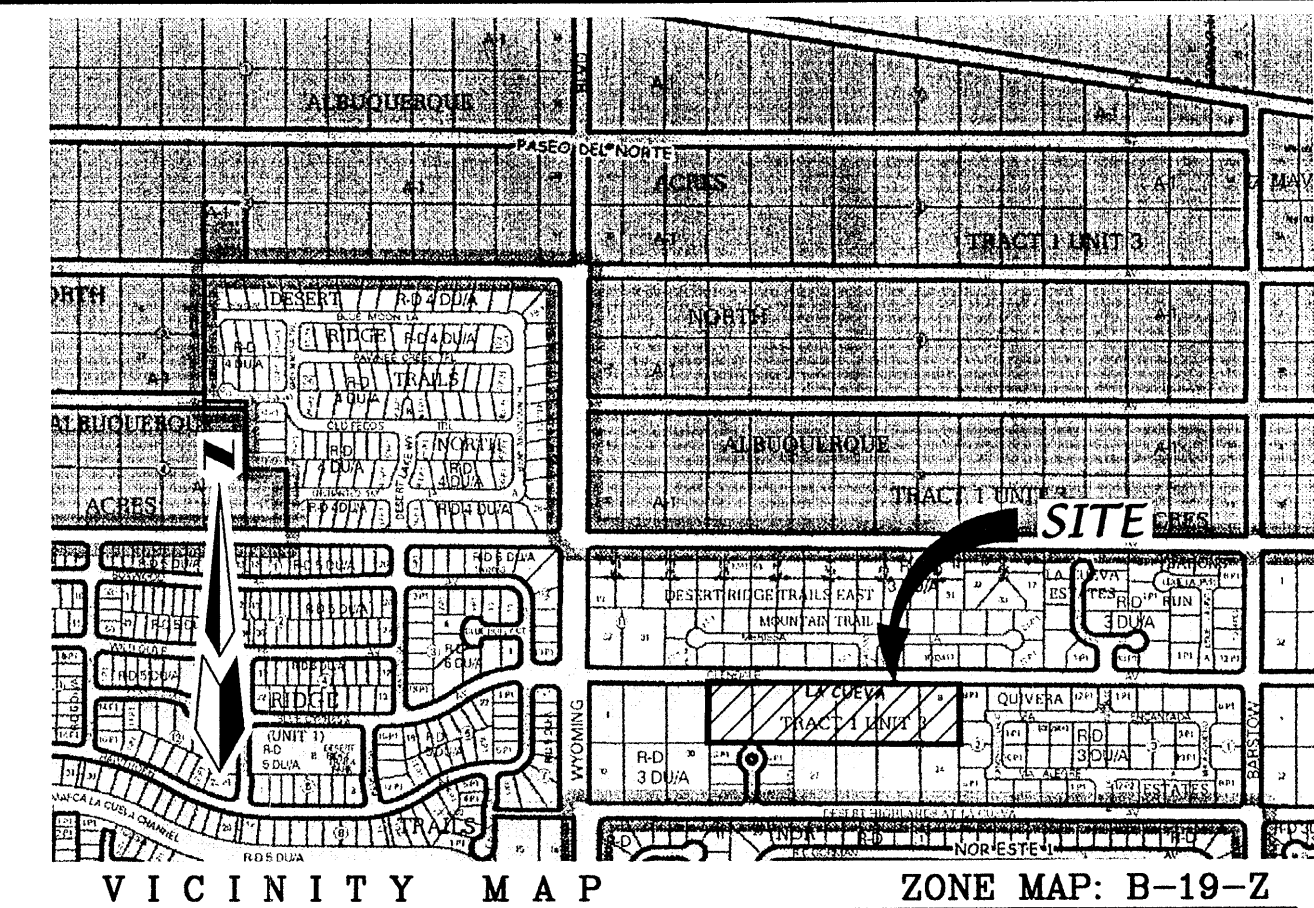
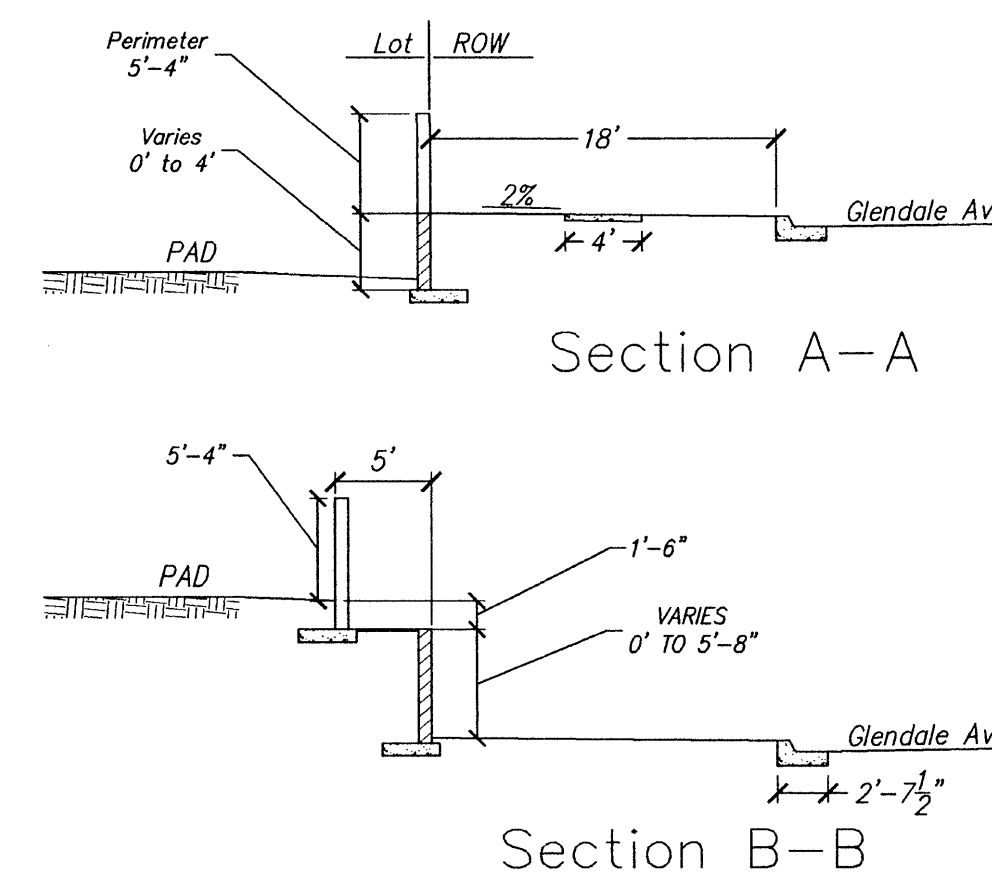
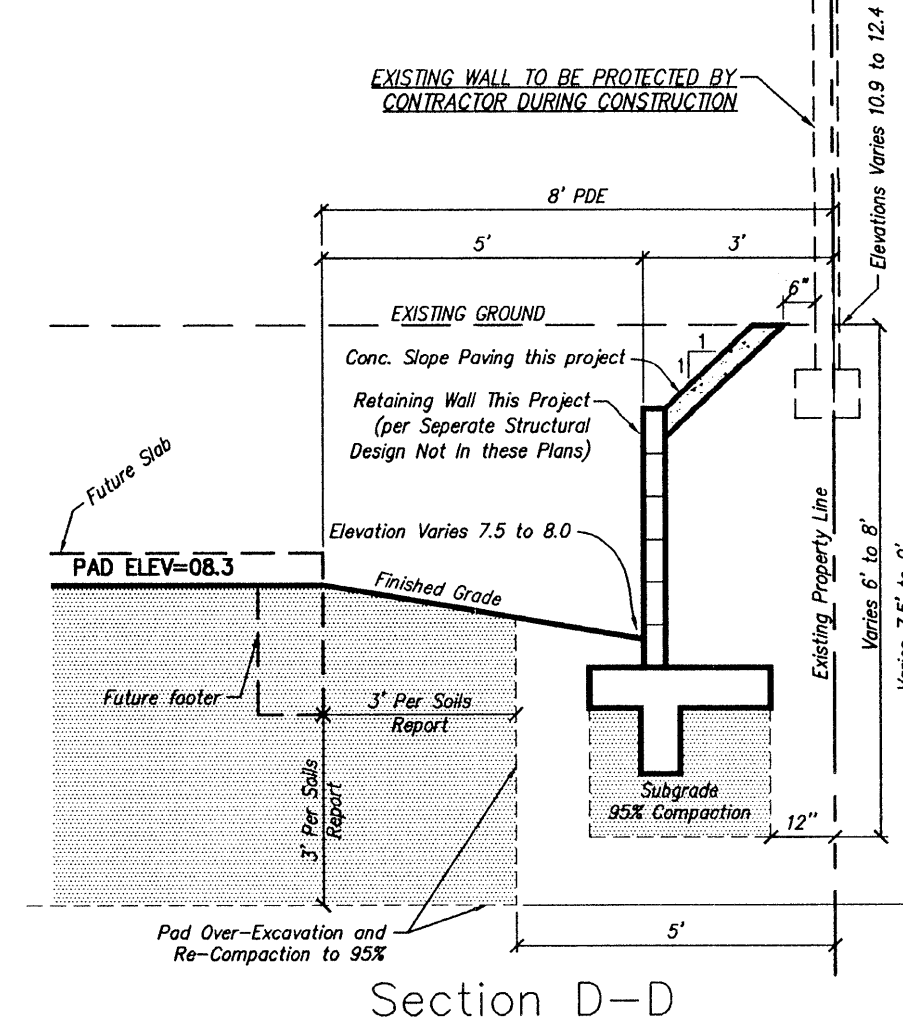
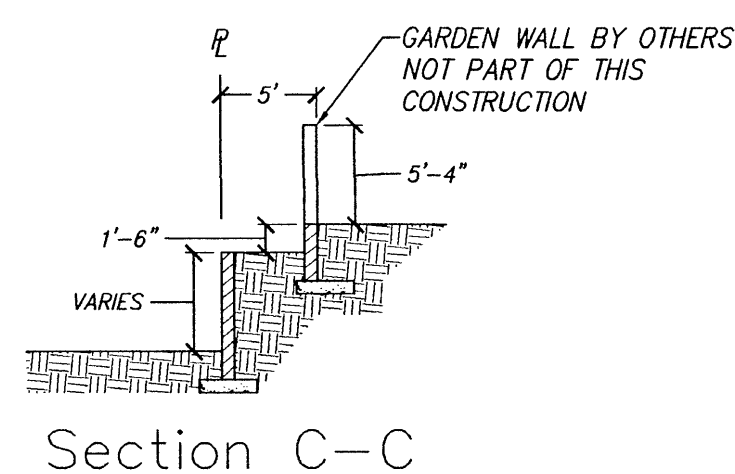
GLENDALE, LLC
 7101 NATALIE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

ENGINEERS

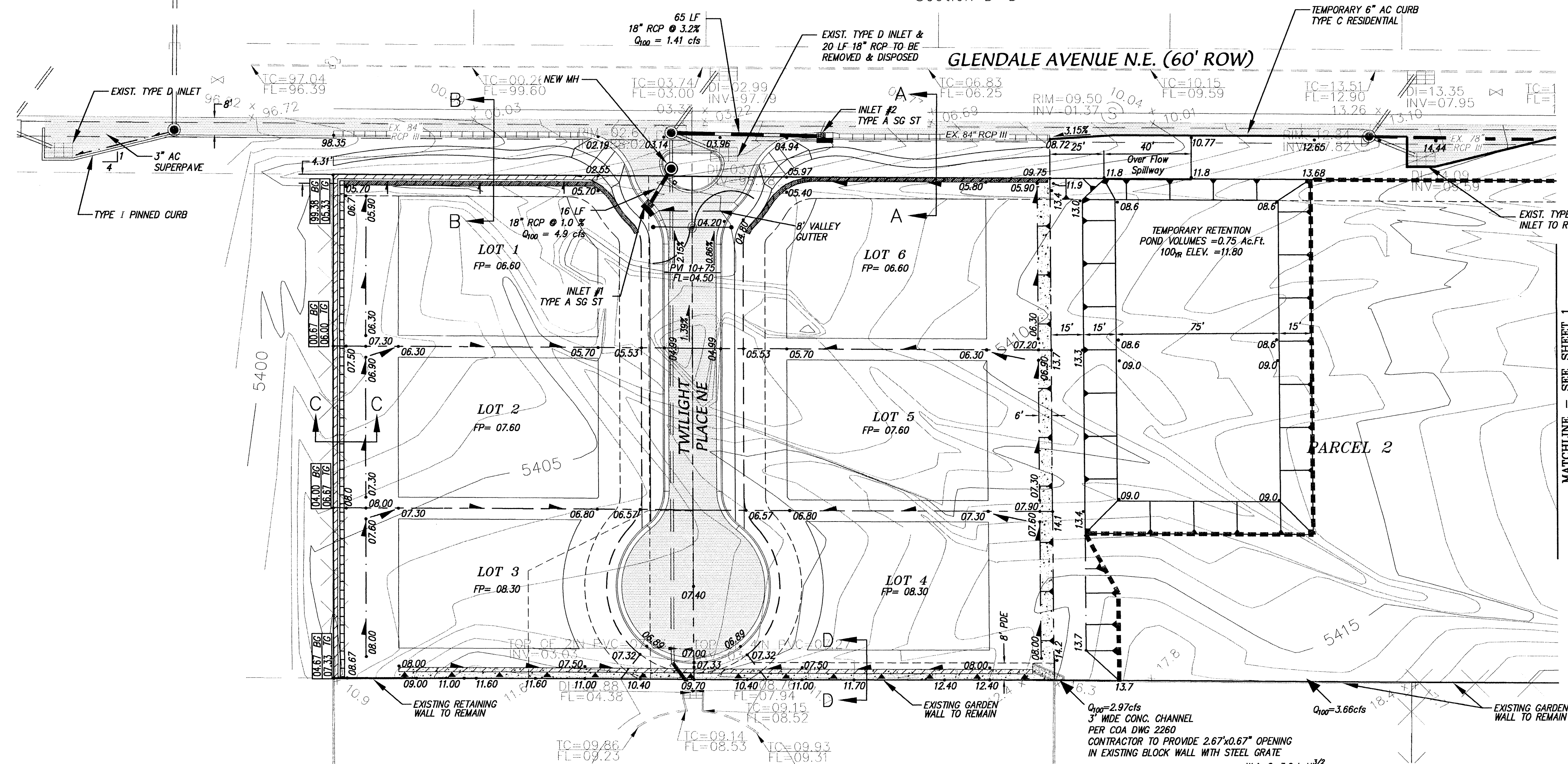
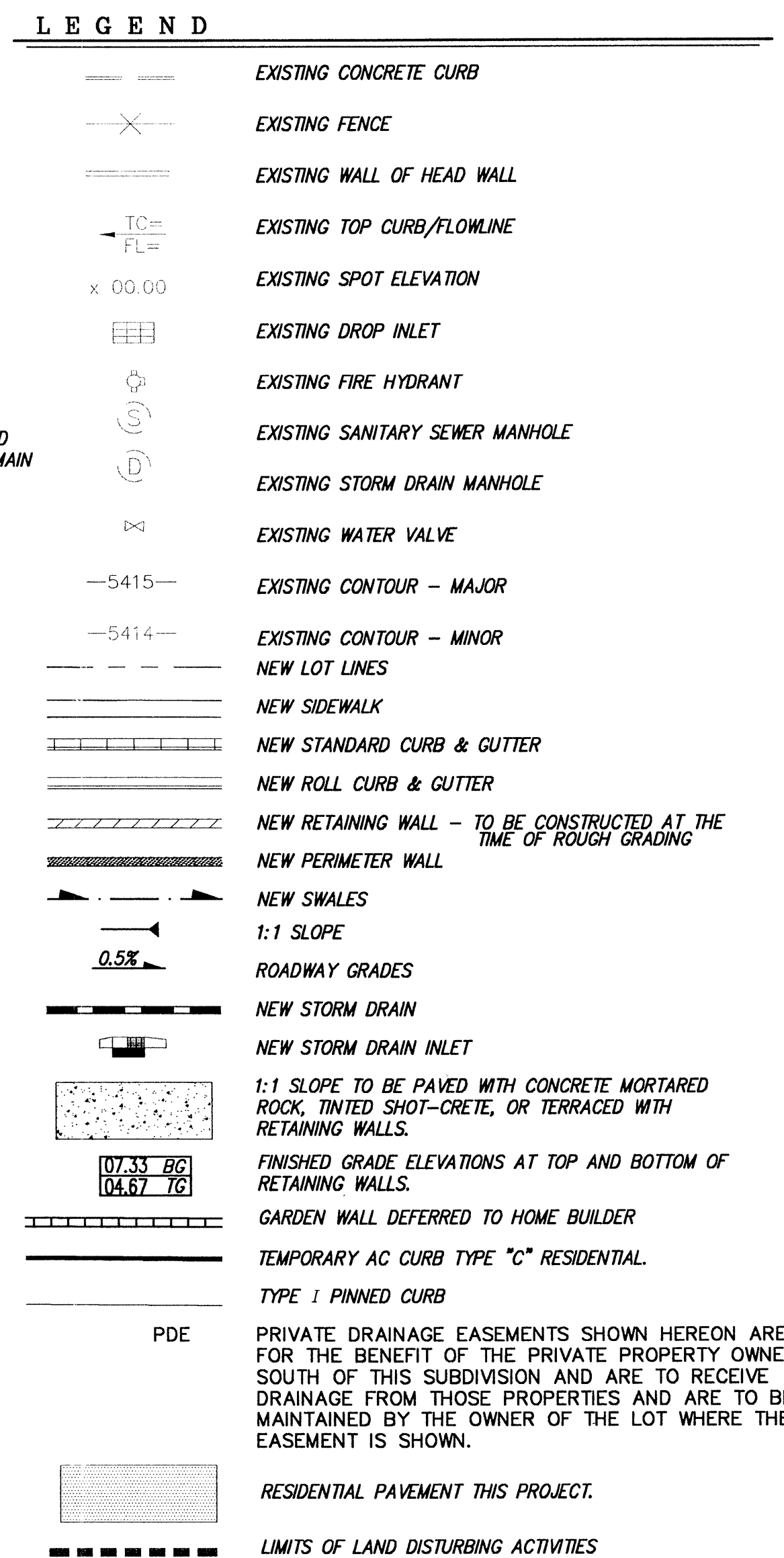
D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

GENERAL SITE CONSTRUCTION NOTES

- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY AND DO NOT NECESSARILY SHOW ALL THE UTILITIES ON THE SITE.
- ALL STORM DRAIN, PAVING, CURB, AND VALLEY GUTTER WORK ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT #1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- IN THE EVENT OF PHASED CONSTRUCTION STORM WATER RUNOFF IS TO BE PREVENTED FROM UNDEVELOPED PORTIONS OF THE SITE BY CONSTRUCTING TEMPORARY RETENTION PONDS IN THE UNDEVELOPED PORTION OF THE SITE CAPABLE OF RETAINING THE 100 YR, 10 DAY STORMWATER RUNOFF VOLUME FROM ALL ONSITE AND OFFSITE AREAS DRAINING TO IT.
- NOTE ALL STREET SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- STRUCTURAL STANDARDS AND SPECIFICATIONS OF WALLS AND SLOPE PAVING ARE NOT PROVIDED ON THIS GRADING AND DRAINAGE PLAN AND ARE TO BE SUPPLIED SEPARATELY BY CONTRACTOR PRIOR TO CONSTRUCTION.



LEGEND
 LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES
 September 10, 1931 in Volume D, Folio 121.

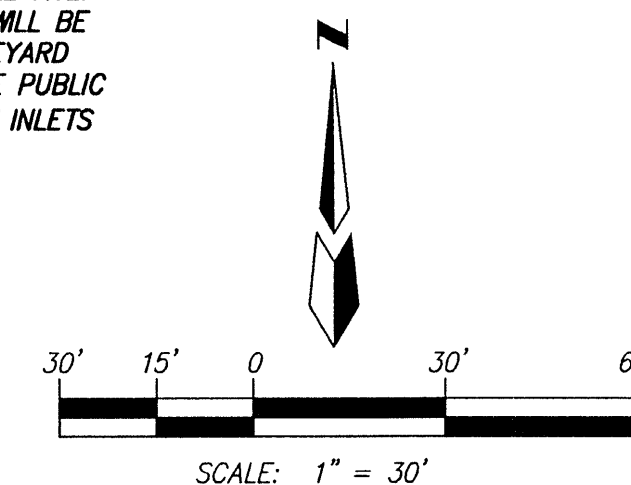


EROSION CONTROL / ENVIRONMENTAL PROTECTION NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMIT FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY INSTALLING SILT FENCES OR PERMANENT BLOCK WALLS AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT FOR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. HOWEVER, WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS STABILIZATION MEASURES MUST BE INITIATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE GRUBBING, EXCESS CUT MATERIAL, VEGETATION DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OFFSITE AT NO ADDITIONAL COST TO THE OWNER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICAL PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER PREVENTION PLAN ONSITE AT ALL TIMES.

DRAINAGE MANAGEMENT PLAN

THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN UNLINED SIDEWALK SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE PUBLIC STREETS, WHICH WILL DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. VIA 4 NEW INLETS BEING CONSTRUCTED WITH THIS PROJECT.



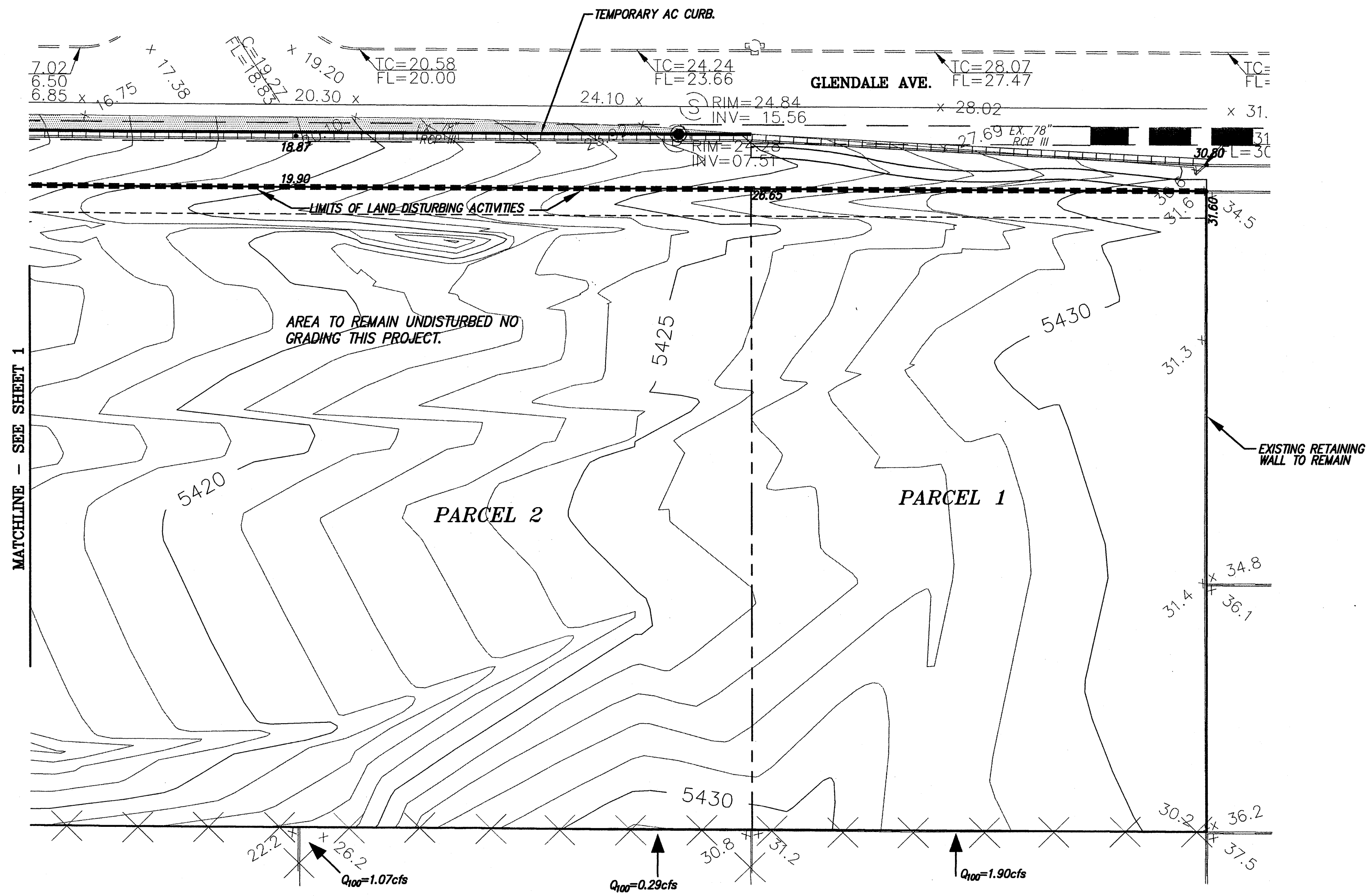
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

TITLE:	THE ESTATES AT GLENDALE GRADING & DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE:	CITY ENGINEER APPROVAL	MO./DAY/YR.
LAST DESIGN UPDATE:		MO./DAY/YR.

CITY PROJECT NO. # ZONE MAP NO. **B-19-Z** SHEET **1** OF **2**

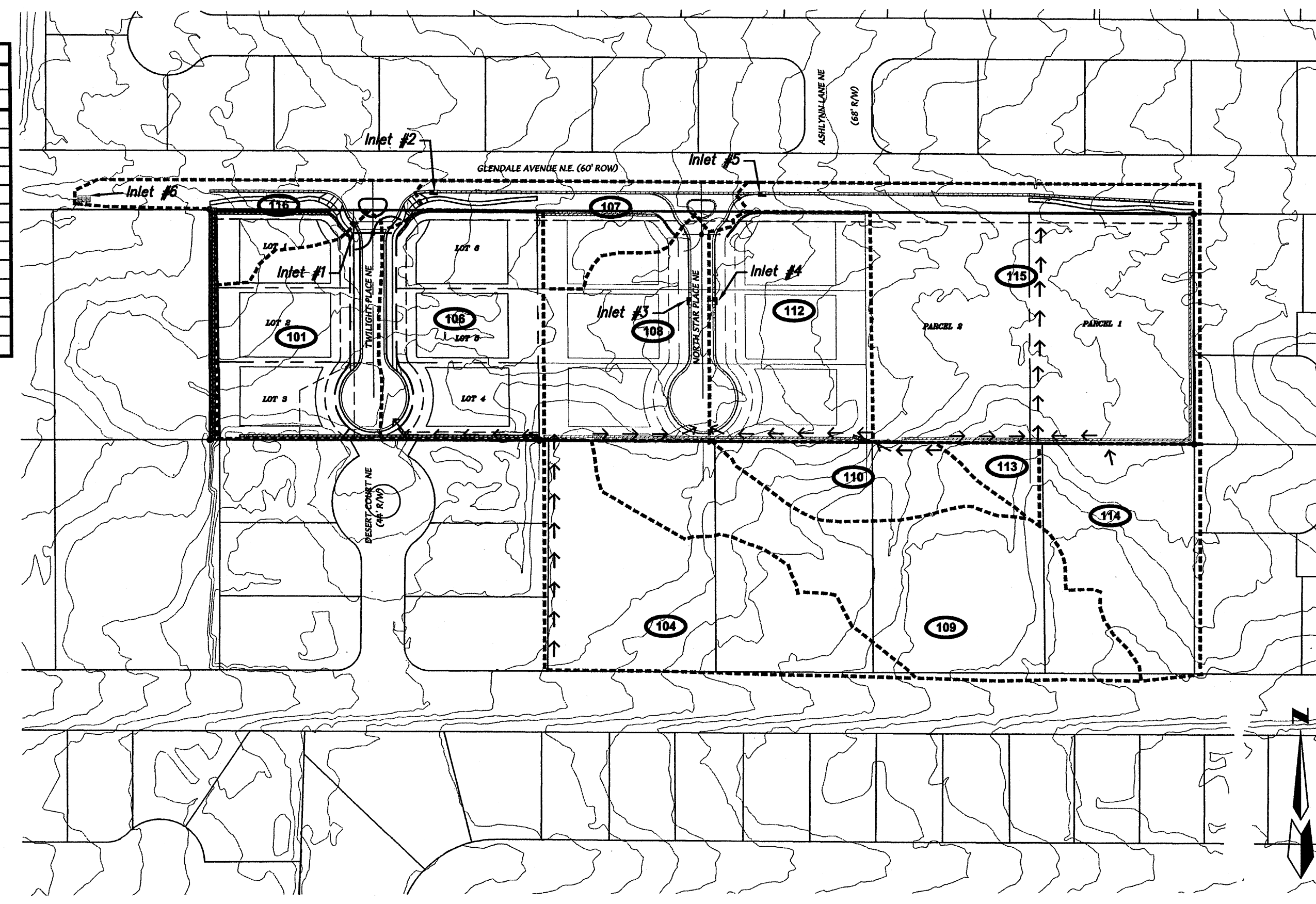
CONTRACTOR		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE
ENGINEER'S SEAL		BENCH MARKS	
FIELD NOTES		SURVEY INFORMATION	
NO.	DATE	NO.	DATE
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
DESIGNED BY	DATE	DESIGNED BY	DATE
DRAWN BY	DATE	DRAWN BY	DATE
CHECKED BY	DATE	CHECKED BY	DATE



MATCHLINE - SEE SHEET 1

HYDROLOGY SUMMARY TABLE																
HYDROLOGY					Street flows				Inlet Calcs							
BASIN ID	AREA		Ground Cover (%)			Peak 100-YR Flow Q ₁₀₀ (cfs)		Location	Slope (%)	Depth (ft)	Velocity (fps)	Energy (ft)	Inlet ID #	Intercepted (cfs)	By-pass (cfs)	
	(Ac)	(Sq mi)	A	B	C	Incremental	Cumulative									
114	0.7	0.00108	20	20	34	26	2.33	2.33	PDE lot 14	n/a						
113	0.1	0.00016	20	20	34	26	0.35	2.68	PDE lot 13	n/a						
115	2.1	0.00324	0	37	37	26	7.35	10.04	Glendale Ave S. 1/2	3.15	0.38	4.4	0.68	5	5.40	4.64
110	0.4	0.00061	20	20	34	26	1.31	1.31	PDE lot 10	n/a						
112	0.9	0.00138	33	33	34		3.27	4.57	North Star Ct E. 1/2	0.50	0.32	1.8	0.37	4	4.57	Sump
109	1.3	0.00208	20	20	34	26	4.49	4.49	PDE lot 9	n/a						
108	0.7	0.00110	33	33	34		2.60	7.09	North Star Ct W. 1/2	1.79	0.36	3.1	0.51			
Bypass from Inlet # 5							4.64	11.73						3	11.73	Sump
107	0.4	0.00065	33	33	34		1.54	1.54	Glendale Ave S. 1/2	3.15	0.09	1.9	0.15	2	1.41	0.13
104	1.1	0.00169	20	20	34	26	3.64	3.64	PDE lot 4	n/a						
106	0.9	0.00135	33	33	34		3.20	6.84	Twilight Ct E. 1/2	0.86	0.33	2.4	0.42			
101	0.7	0.00114	33	33	34		2.71	9.55	Twilight Ct W. 1/2	2.15	0.38	3.7	0.59	1	4.90	4.65
116	0.4	0.00062	33	33	34		1.47	6.12	Glendale Ave S. 1/2	3.15	0.43	4.9	0.80	6	6.12	

FUTURE DEVELOPMENT
 OF LOTS 7 THROUGH 12 AND PARCEL 2 IS EXPECTED TO OCCUR AT A LATER DATE AND WILL BE CALLED UNIT 2 OF THE ESTATE OF GLENDALE. A TEMPORARY RETENTION POND IN BASIN 108 WILL BE CONSTRUCTED WITH UNIT 1 TO PREVENT RUNOFF FROM BASINS 108, 109, 110, 112, 113, 114 & 115 FOR ENTERING THE ADJACENT DEVELOPMENT.



DRAINAGE BASIN MAP
 SCALE: 1"=100'

CONTRACTOR		AS BUILT INFORMATION	
NO.	BY	NO.	DATE
REMARKS		DATE	
REVISIONS		DATE	
DESIGN		DATE	
DESIGNED BY	DATE	RECORDED BY	DATE
DRAWN BY	DATE	NO.	NO.
CHECKED BY	DATE	MICRO-FILM INFORMATION	
		NO.	

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90806
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

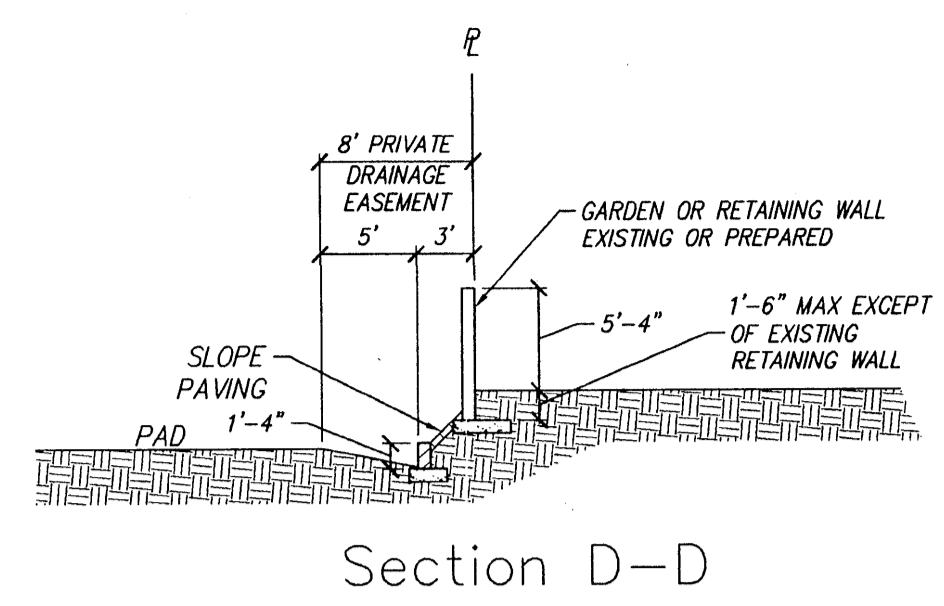
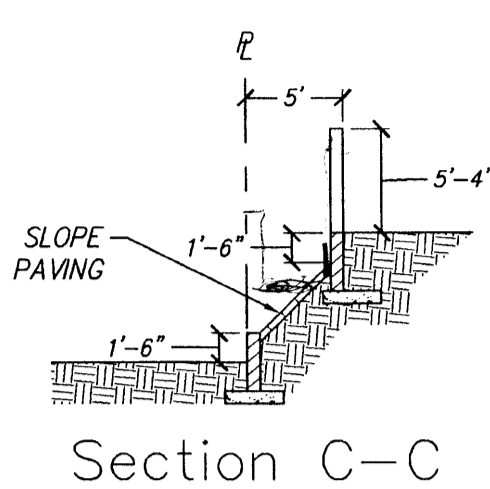
TITLE: **THE ESTATES AT GLENDALE GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

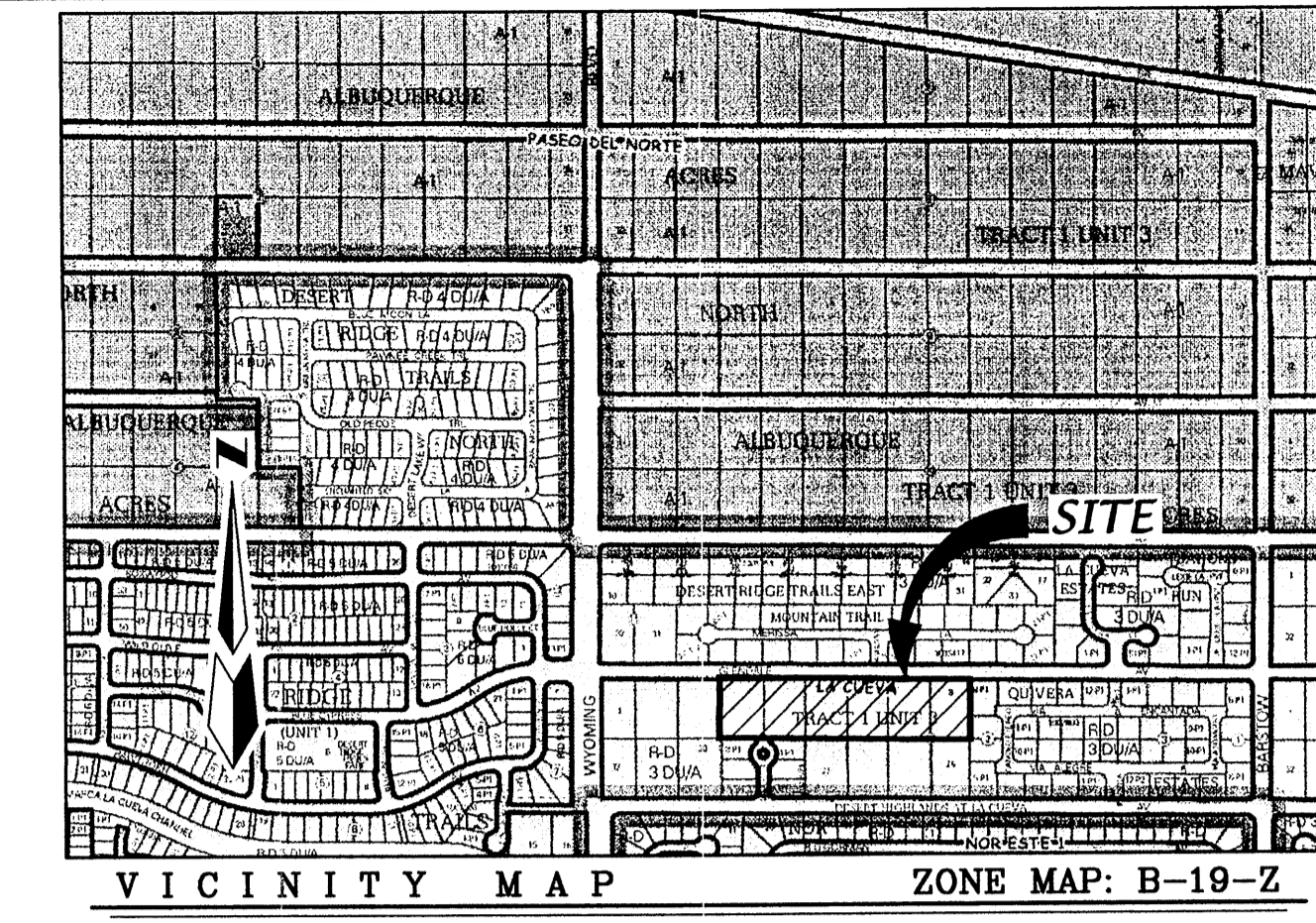
CITY PROJECT NO. # ZONE MAP NO. **B-19-Z** SHEET **2** OF **2**

GENERAL SITE CONSTRUCTION NOTES

- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY AND DO NOT NECESSARILY SHOW ALL THE UTILITIES ON THE SITE.
- ALL STORM DRAIN, PAVING, CURB, AND VALLEY CUTTER WORK ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT #1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- IN THE EVENT OF PHASED CONSTRUCTION STORM WATER RUNOFF IS TO BE PREVENTED FROM UNDEVELOPED PORTIONS OF THE SITE BY CONSTRUCTING TEMPORARY RETENTION PONDS IN THE UNDEVELOPED PORTION OF THE SITE CAPABLE OF RETAINING THE 100 YR, 10 DAY STORMWATER RUNOFF VOLUME FROM ALL ONSITE AND OFFSITE AREAS DRAINING TO IT.
- NOTE ALL STREET SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- STRUCTURAL STANDARDS AND SPECIFICATIONS OF WALLS AND SLOPE PAVING ARE NOT PROVIDED ON THIS GRADING AND DRAINAGE PLAN AND ARE TO BE SUPPLIED SEPARATELY BY CONTRACTOR PRIOR TO CONSTRUCTION.

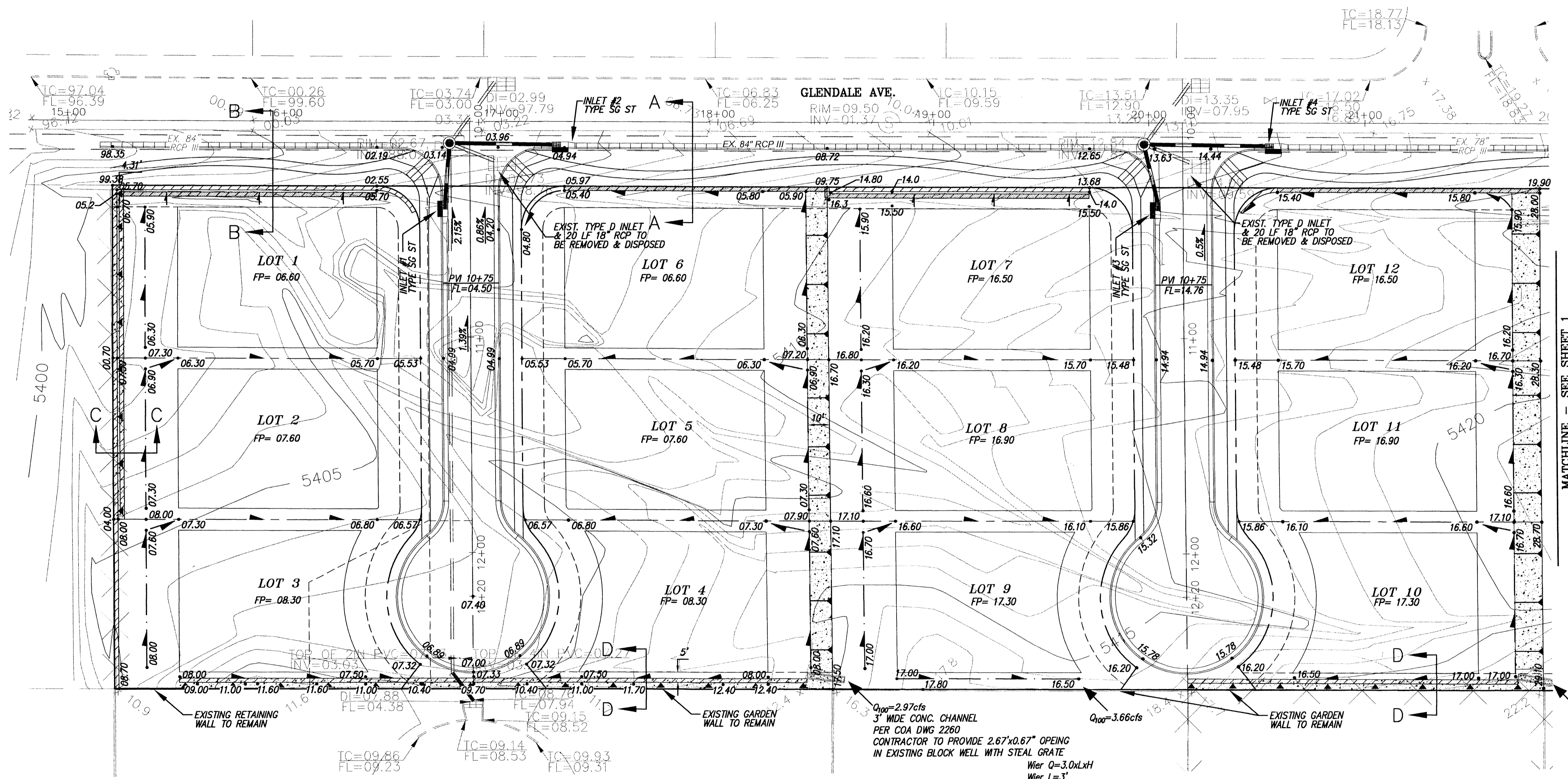


PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.



LEGEND
 LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES
 September 10, 1931 in Volume D, Folio 121.

- LEGEND**
- EXISTING CONCRETE CURB
 - EXISTING FENCE
 - EXISTING WALL OF HEAD WALL
 - EXISTING TOP CURB/FLOWLINE
 - EXISTING SPOT ELEVATION
 - EXISTING DROP INLET
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING WATER VALVE
 - EXISTING CONTOUR - MAJOR
 - EXISTING CONTOUR - MINOR
 - NEW LOT LINES
 - NEW SIDEWALK
 - NEW STANDARD CURB & GUTTER
 - NEW ROLE CURB & GUTTER
 - NEW RETAINING WALL - TO BE CONSTRUCTED AT THE TIME OF ROUGH GRADING
 - NEW PERIMETER WALL
 - NEW SWALE
 - 1:1 SLOPE
 - 0.5% ROADWAY GRADES
 - NEW STORM DRAIN
 - NEW STORM DRAIN INLET
 - 1:1 SLOPE TO BE PAVED WITH CONCRETE MORTARED ROCK, TINTED SHOT-CRETE, OR TERRACED WITH RETAINING WALLS.



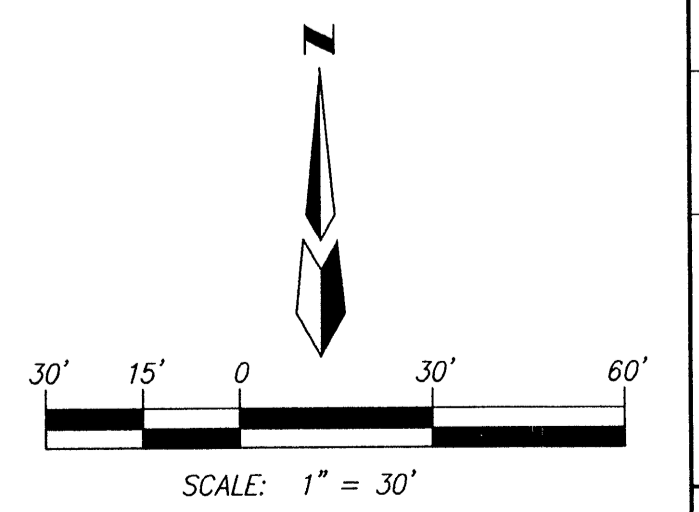
EROSION CONTROL / ENVIRONMENTAL PROTECTION NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMIT FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY INSTALLING SILT FENCES OR PERMANENT BLOCK WALLS AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL WET THE SOIL AS NEED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT FOR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. HOWEVER, WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS, STABILIZATION MEASURES MUST BE INITIATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE GRUBBING, EXCESS CUT MATERIAL, VEGETATION DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICAL PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER PREVENTION PLAN ON-SITE AT ALL TIMES.

DRAINAGE MANAGEMENT PLAN

THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN UNLINED SIDEYARD SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE PUBLIC STREETS, WHICH WILL DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. VIA 4 NEW INLETS BEING CONSTRUCTED WITH THIS PROJECT.



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S DATE	DATE	NO.	BY	NO.	DATE
MARK GOODWIN & ASSOCIATES, P.A.		JAMES D. HUGHES	03/11		JDH		03/11
INSPECTOR'S FULL REFERENCE BY DATE		REGISTERED PROFESSIONAL ENGINEER			ACH		03/11
VERIFICATION BY DATE					DMG		03/11
CORRECTED BY DATE							
MICRO-FILM INFORMATION							
RECORDED BY DATE							
NO.							

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90608
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

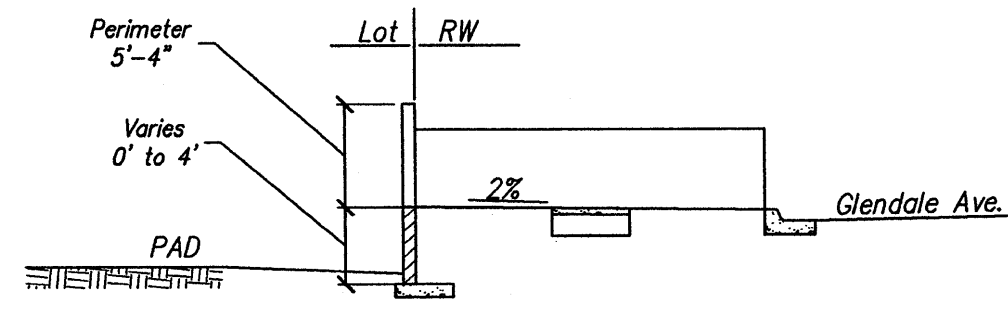
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **THE ESTATES AT GLENDALE GRADING & DRAINAGE PLAN**

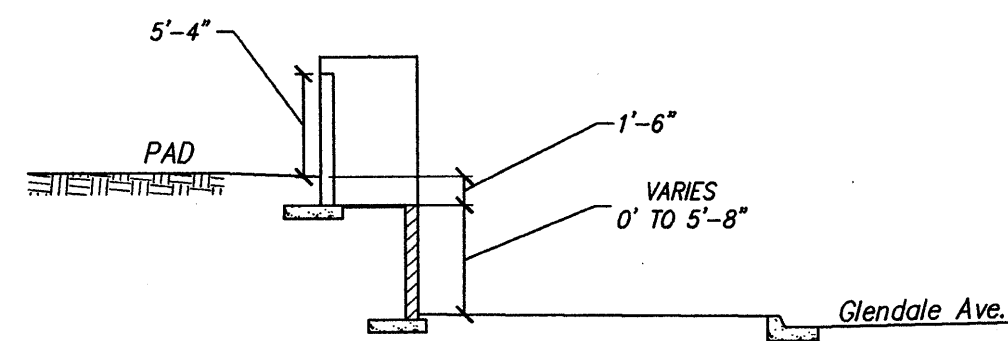
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. # ZONE MAP NO. B-19-Z SHEET 1 OF 2

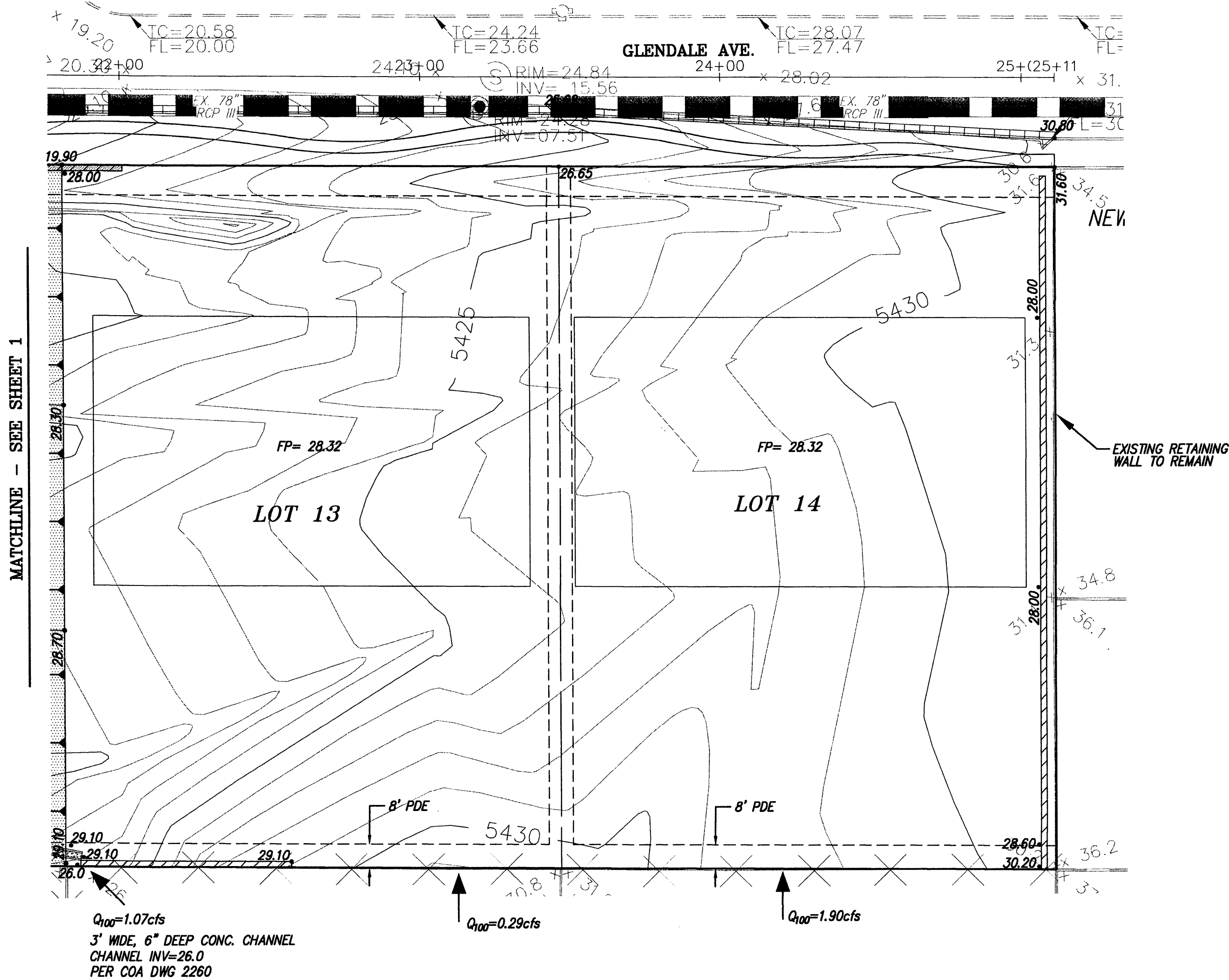
P:\111026\A11004_Glendale Res\GRADE & DRAIN\A11004_GRADE & DRAIN\03-24-11\ACH_SPS



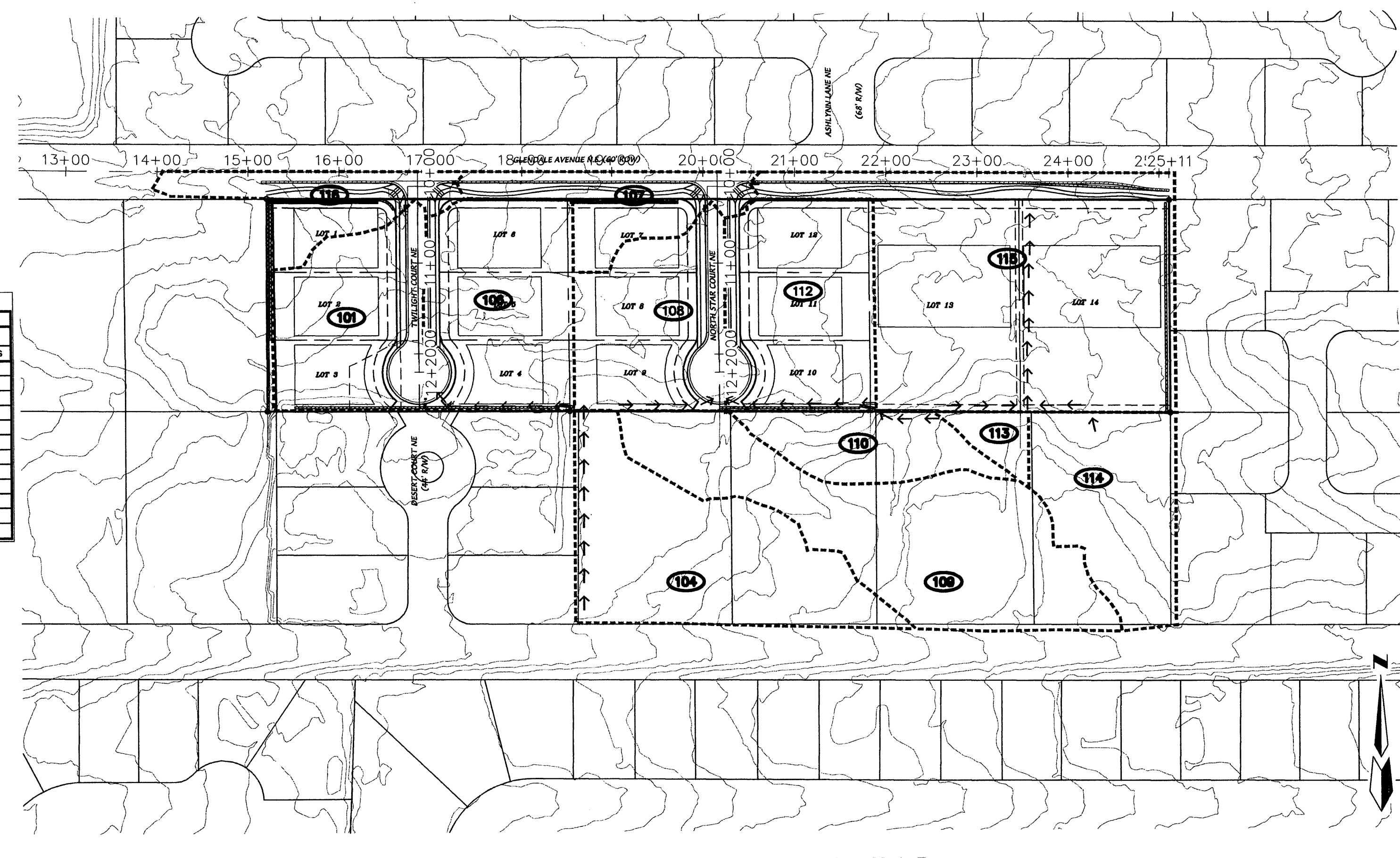
Section A-A



Section B-B



Q₁₀₀=1.07cfs
 3' WIDE, 6" DEEP CONC. CHANNEL
 CHANNEL INV.=26.0
 PER COA DWG 2260



DRAINAGE BASIN MAP

SCALE: 1"=100'

HYDROLOGY SUMMARY TABLE															
BASIN ID	AREA		Ground Cover (%)				Peak 100-YR Flow Q ₁₀₀ (cfs)		Street flows			Inlet Calcs			
	(Ac)	(Sq m)	A	B	C	D	Incremental	Cumulative	Location	Slope (%)	Depth (ft)	Velocity (fps)	Energy (ft)	Single Type A Intercepted	By-pass
114	0.7	0.00108	33	10	40	17	1.90	1.90	PDE lot 14	n/a					
113	0.1	0.00016	33	10	40	17	0.29	2.19	PDE lot 13	n/a					
115	2.1	0.00324	33	10	40	17	5.71	7.90	Glendale Ave S. 1/2	3.15	0.36	4.1	0.62	4.80	3.10
110	0.4	0.00061	33	10	40	17	1.07	1.07	PDE lot 10	n/a					
112	0.9	0.00138	33	33	34		2.99	4.06	North Star Ct E. 1/2	0.50	0.32	1.8	0.37		
109	1.3	0.00208	33	10	40	17	3.66	3.66	PDE lot 9	n/a					
108	0.7	0.00110	33	33	34		2.38	6.04	North Star Ct W. 1/2	1.79	0.36	3.1	0.51	3.70	2.34
107	0.4	0.00065	33	33	34		1.41	9.50	Glendale Ave S. 1/2	3.15	0.37	4.2	0.64	4.90	4.60
104	1.1	0.00169	33	10	40	17	2.97	2.97	PDE lot 4	n/a					
106	0.9	0.00135	33	33	34		2.93	5.90	Twilight Ct E. 1/2	0.86	0.33	2.4	0.42		
101	0.7	0.00114	33	33	34		2.48	8.38	Twilight Ct W. 1/2	2.15	0.38	3.7	0.59	4.90	3.48
116	0.4	0.00062	33	33	34		1.35	15.32	Glendale Ave S. 1/2	3.15	0.43	4.9	0.80		

AS BUILT INFORMATION		
CONTRACTOR	DATE	
BENCH MARKS		
SURVEY INFORMATION		
FIELD NOTES	BY	DATE
ENGINEER'S SEAL		

NO.	DATE	REVISIONS	BY	DATE

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 30606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

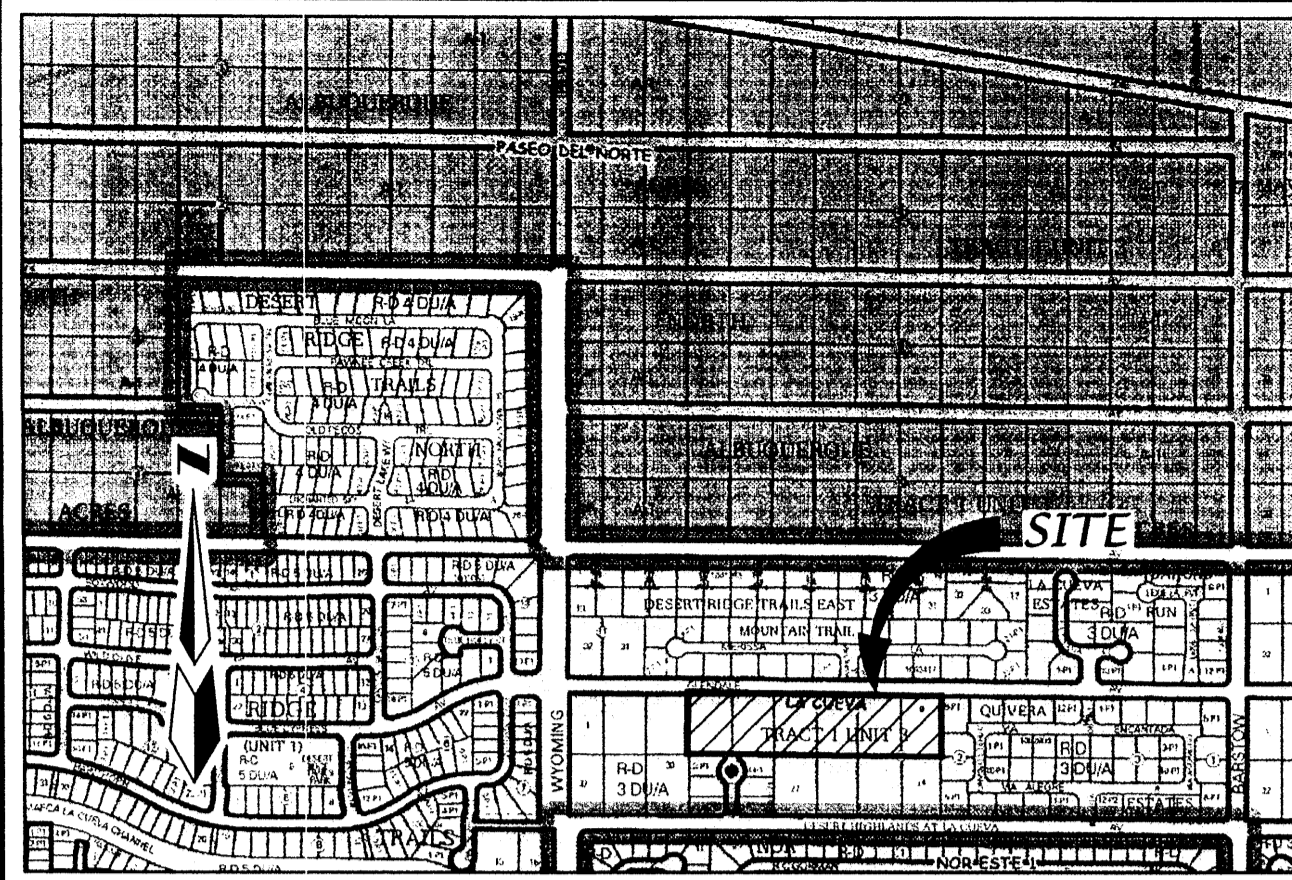
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

TITLE: **THE ESTATES AT GLENDALE**
 GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. # ZONE MAP NO. **B-19-Z** SHEET 2 OF 2

PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2011



VICINITY MAP SCALE: 1" = 750' ZONE ATLAS B-19-Z

LOT	AREA (S.F.)	ACRES
1	11268	0.2587
2	10662	0.2448
3	10373	0.2381
4	10344	0.2375
5	10672	0.2450
6	11268	0.2587
7	11237	0.2580
8	10602	0.2434
9	10250	0.2353
10	10271	0.2358
11	10601	0.2434
12	11233	0.2579
13	38501	0.8839
14	38527	0.8845
TOTAL	205809	4.7247
AVERAGE LOT SIZE	14701	0.3375

SUBDIVISION DATA

GROSS ACREAGE	5.9930 AC
ZONE ATLAS NO.	B-19-Z
NO. OF LOTS EXISTING	6 LOTS
NO. OF LOTS CREATED	14 LOTS
ZONING	R-D, 3 DU/A
DATE OF SURVEY	FEBRUARY, 2011

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 and containing 5.9930 acres more or less.

PURPOSE OF PLAT

- SUBDIVIDE LOTS LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 14 RESIDENTIAL LOTS.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-1931, D-121) ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- TITLE REPORT(S): NONE PROVIDED.
- ADDRESS OF PROPERTY: 7720, 7800, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: R-D, 3 DU/A
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008

LEGEND

- ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.6824 ACRES)
- LIMITS OF VACATION
- LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)

UNIT 1
 UNIT 2
 CENTERLINE MONUMENT TO BE INSTALLED
 EASEMENTS ("LS 7719")

① EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673) TO BE VACATED

② EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED

PDE PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.

APPROVED

City Surveyor, City of Albuquerque, N.M. 3-15-11
 Date

Glendale LLC, Owner Lots 4 thru 9, Block 12, Tract 1, Unit 3, North Albuquerque Acres

 Randall Schmillie, Managing 3/16/11
 Date

AGRS MONUMENT
 STATION "10-C18"
 N=1524123.885 E=1542565.263
 G=0+0.99865042
 Az=007119.43° CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5222.090

AGRS MONUMENT
 STATION "1-B20"
 N=1524154.945 E=1550483.349
 G=0+0.99865137
 Az=007024.45° CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5477.179

SITE BENCHMARK

AGRS MONUMENT "1-B20"
 ELEVATION=5477.179
 (NAVD 1988)

LINE	BEARING	LENGTH
L1	S3812°34'W	14.51'
L2	N3756°40'W	14.74'
L3	S3550°07'W	12.75'
L4	S3607°28'E	13.54'

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	20.00'	31.29'	89°38'41"	19.88'	N44°47'17"W	28.20'
C2	20.00'	5.85'	16°44'48"	2.94'	N08°24'28"E	5.82'
C3	20.00'	9.35'	26°47'04"	4.76'	N30°10'24"E	9.26'
C4	20.00'	15.20'	43°31'52"	7.99'	N21°48'00"E	14.83'
C5	40.00'	66.57'	95°21'22"	43.93'	S04°06'45"E	59.15'
C6	20.00'	31.54'	90°21'19"	20.12'	S45°12'43"W	28.37'
C7	20.00'	6.16'	17°39'13"	3.11'	S08°47'33"E	6.14'
C8	20.00'	9.03'	25°52'39"	4.59'	S30°33'29"E	8.96'
C9	20.00'	15.20'	43°31'52"	7.99'	S21°43'52"E	14.83'
C10	40.00'	66.71'	95°33'08"	44.08'	N04°16'46"E	59.24'
C11	20.00'	31.37'	89°51'20"	19.95'	N45°04'20"W	28.25'
C12	20.00'	5.90'	16°54'41"	2.97'	N08°18'40"E	5.88'
C13	20.00'	9.29'	26°37'11"	4.73'	N30°04'36"E	9.21'
C14	40.00'	68.10'	97°33'05"	45.65'	S05°23'21"E	60.17'
C15	20.00'	15.20'	43°31'52"	7.99'	N21°37'16"E	14.83'
C16	40.00'	68.10'	97°33'05"	45.65'	N05°06'00"E	60.17'
C17	20.00'	8.81'	25°15'01"	4.48'	S31°03'02"E	8.74'
C18	20.00'	6.38'	18°16'51"	3.22'	S09°17'06"E	6.35'
C19	20.00'	15.20'	43°31'52"	7.99'	S21°54'36"E	14.83'
C20	20.00'	31.60'	90°32'03"	20.19'	S45°07'21"W	28.42'

SURVEYOR

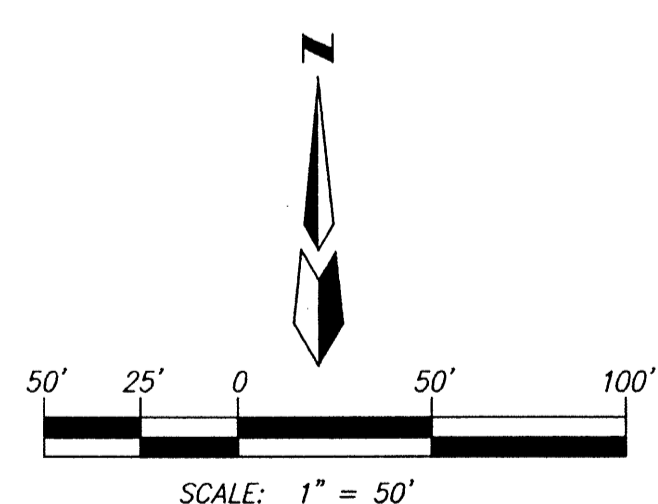
ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

OWNERS

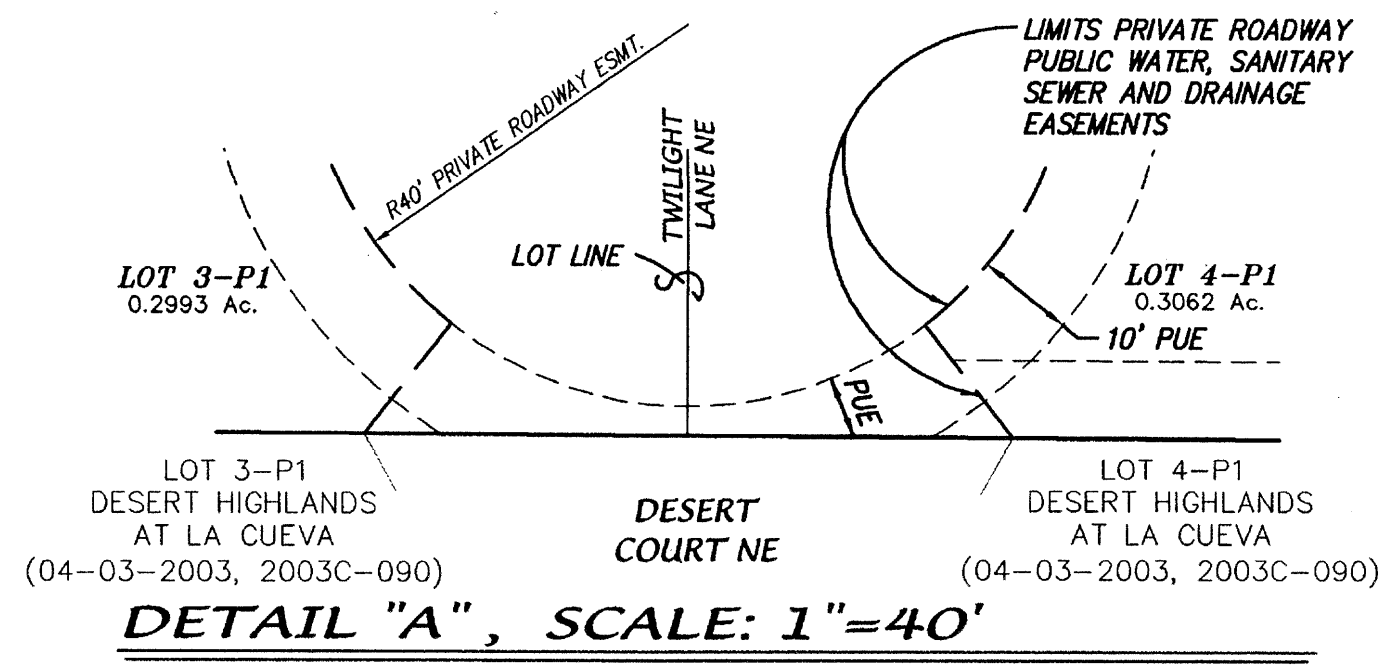
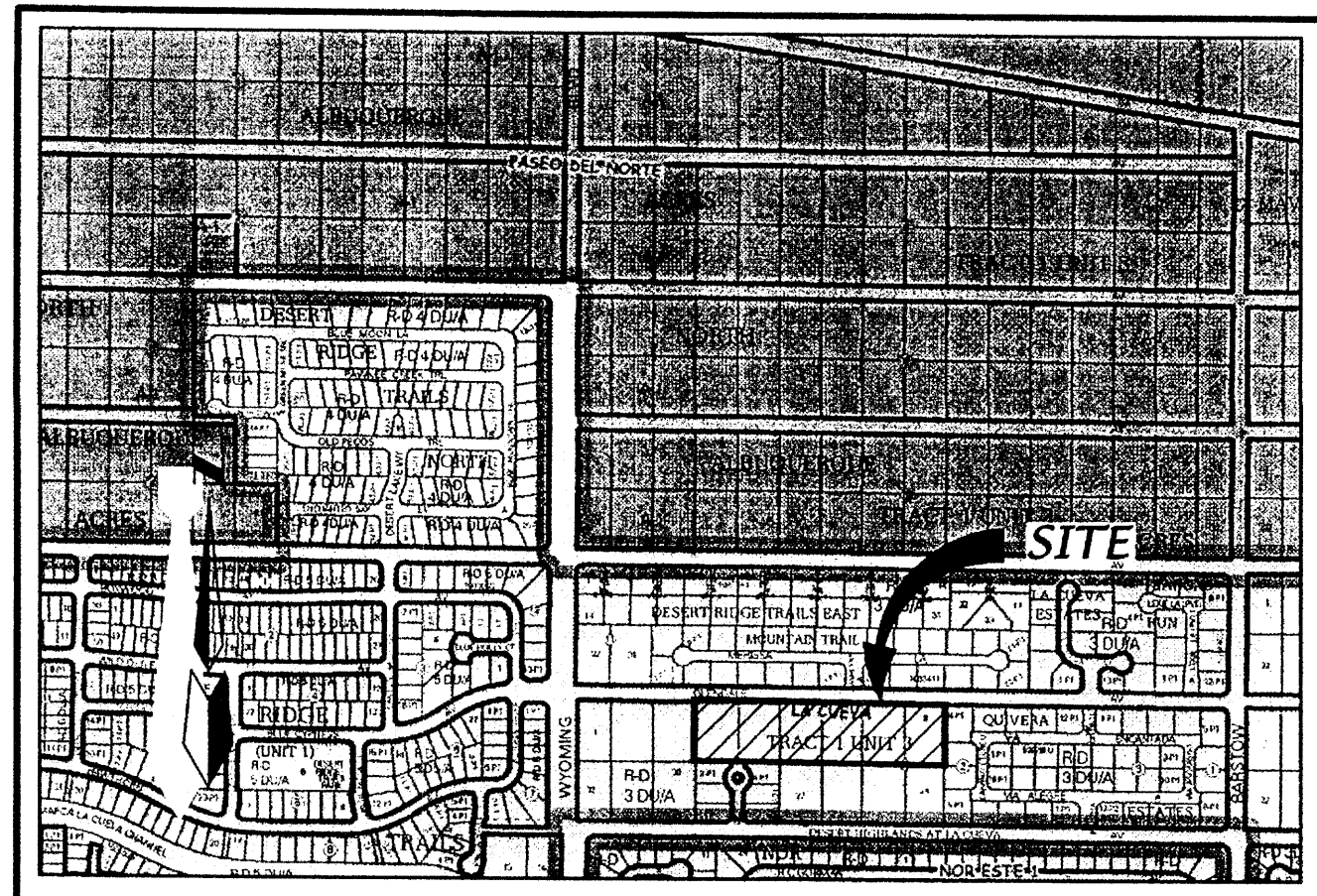
GLENDALE, LLC
 7101 NATALIE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200



PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2011



SUBDIVISION DATA

GROSS ACREAGE	5.9930 AC
ZONE ATLAS NO.	B-19-Z
NO. OF LOTS EXISTING	6 LOTS
NO. OF LOTS CREATED	8 LOTS
ZONING	R-D, 3 DU/A
DATE OF SURVEY	FEBRUARY, 2011

DESCRIPTION

A tract of land situated within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

PURPOSE OF PLAT

- SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 6 RESIDENTIAL LOTS AND TWO PARCELS.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

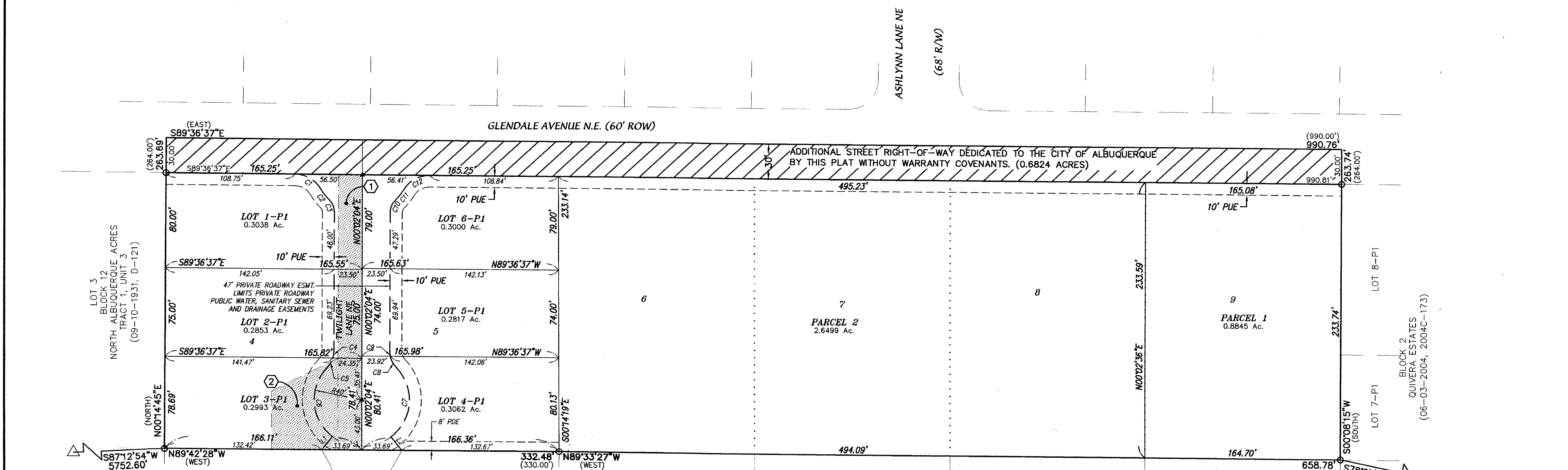
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-31, D-121)
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- TITLE REPORT(S): NONE PROVIDED.
- ADDRESS OF PROPERTY: 7720, 7800, 7820, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: R-D, 3 DU/A
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008
- PARCEL 1 MAY NOT BE FURTHER SUBDIVIDED. IT IS COUNTED WITH LOTS 1 THROUGH 6 TO DEMONSTRATE COMPLIANCE WITH THE ZONING DENSITY LIMITATIONS OF 3DU/AC.
- PARCEL 2 IS FOR FUTURE SUBDIVISION.

LEGEND

- ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.6824 ACRES)
- LIMITS OF VACATION
- LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)
- CENTERLINE MONUMENT TO BE INSTALLED "LS 7719"

VICINITY MAP SCALE: 1"=750 ZONE ATLAS B-19-Z

DETAIL "A", SCALE: 1"=40'



AGRS MONUMENT
 STATION "10-C18"
 N=1524123.895 E=1542565.263
 C=0-0.99865042
 Az=001°19.43' CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5222.090

AGRS MONUMENT
 STATION "1-B20"
 N=1524154.945 E=1550483.349
 C=0-0.998651137
 Az=001°10'24.45" CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5477.179

LINE TABLE

LINE	BEARING	LENGTH
L1	S38°12'34"W	14.51'
L2	S37°56'40"E	14.74'
L3	S35°50'07"W	12.75'
L4	S36°07'28"E	13.54'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	25.00'	26.31'	60°17'34"	14.52'	N59°27'50"W	25.11'
C2	40.00'	11.48'	16°26'29"	5.78'	S37°32'18"E	11.44'
C3	14.50'	11.59'	45°47'36"	6.12'	N22°51'44"W	11.28'
C4	20.00'	5.85'	16°44'48"	2.94'	N08°24'28"E	5.82'
C5	20.00'	9.35'	26°47'04"	4.76'	N30°10'24"E	9.26'
C6	40.00'	66.57'	95°21'22"	43.93'	S04°06'45"E	59.15'
C7	40.00'	66.71'	95°33'08"	44.08'	N04°16'46"E	59.24'
C8	20.00'	11.10'	31°48'47"	5.69'	S27°35'25"E	10.96'
C9	20.00'	4.09'	11°43'06"	2.05'	S05°49'29"E	4.08'
C10	14.50'	11.59'	45°47'33"	6.12'	S22°55'54"W	11.28'
C11	40.00'	10.98'	15°43'52"	5.53'	N37°57'44"E	10.95'
C12	25.00'	26.31'	60°17'34"	14.52'	S60°14'36"W	25.11'

SITE BENCHMARK
 AGRS MONUMENT "1-B20"
 ELEVATION=5477.179
 (NAVD 1988)

LOT AREA SUMMARY TABLE

LOT	AREA (S.F.)	ACRES
1	13234	0.3038
2	12426	0.2853
3	13038	0.2993
4	13338	0.3082
5	12270	0.2817
6	13070	0.3000
PARCEL 1	38529	0.8845
TOTAL	115904	2.6608
AVERAGE LOT SIZE	1867	0.3801

EASEMENTS

- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673) TO BE VACATED
 - EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED
- PDE PRIVATE DRAINAGE EASEMENTS SHOW HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.

APPROVED

City Surveyor, City of Albuquerque, N.M. 6-1-11
 Date

Glendale LLC, Owner Lots 4 thru 9, Block 12, Tract 1, Unit 3, North Albuquerque Acres

 Randall J. Schmill, Managing Member 6/1/11
 Date

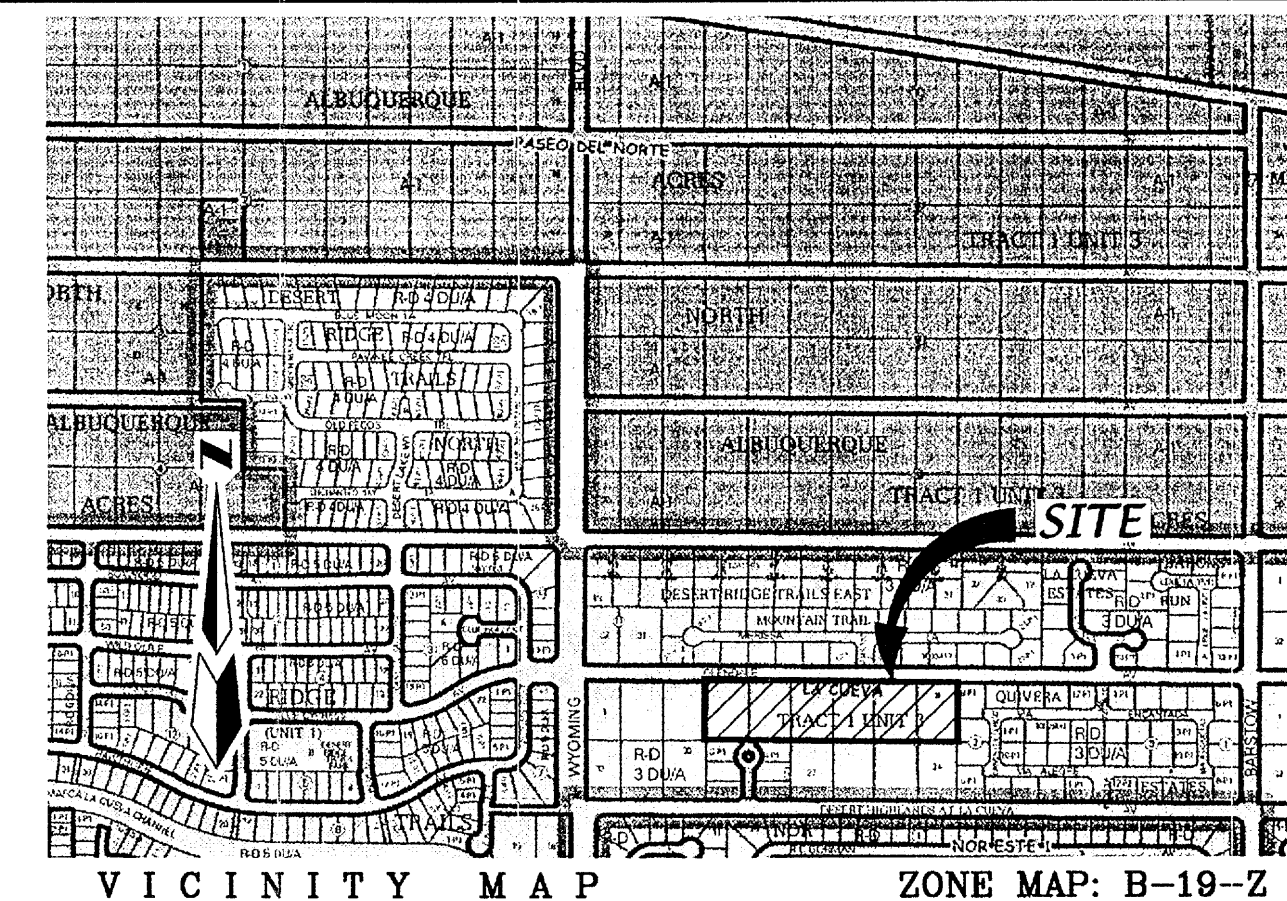
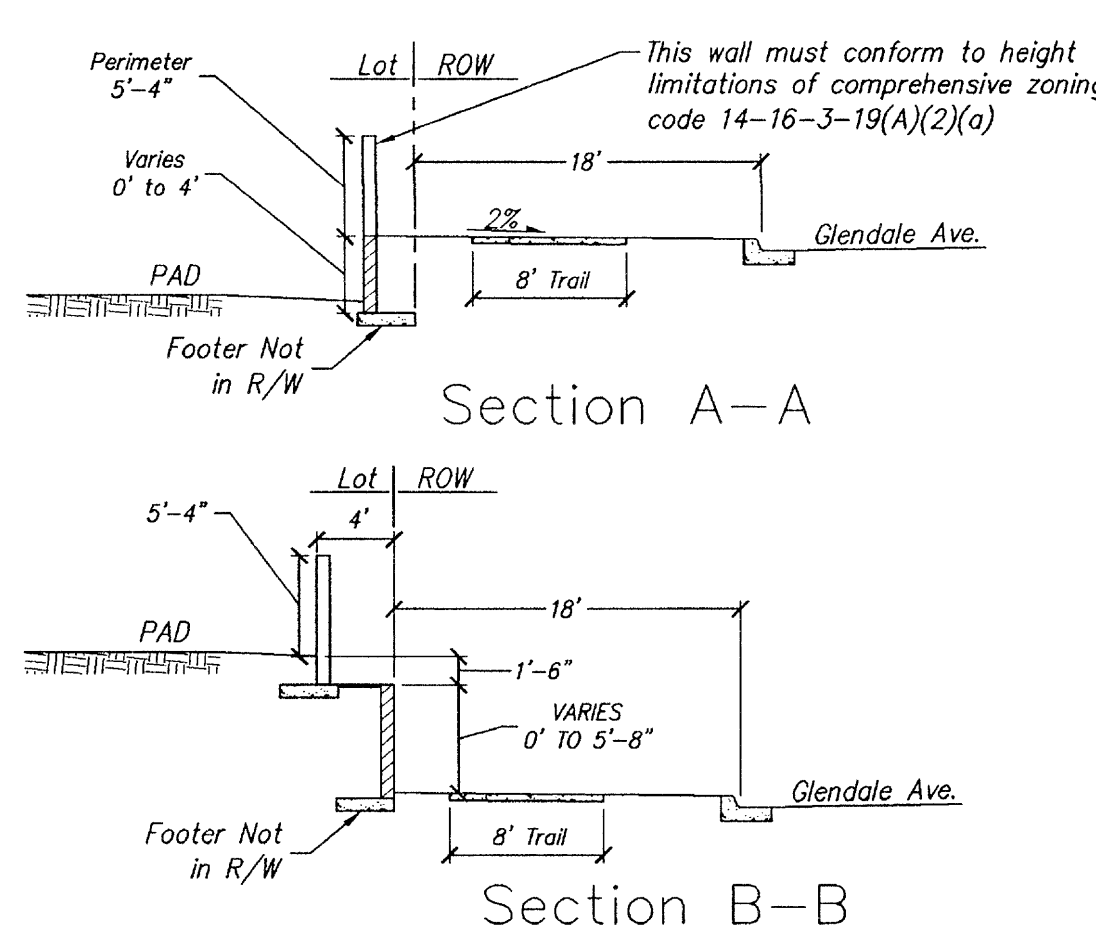
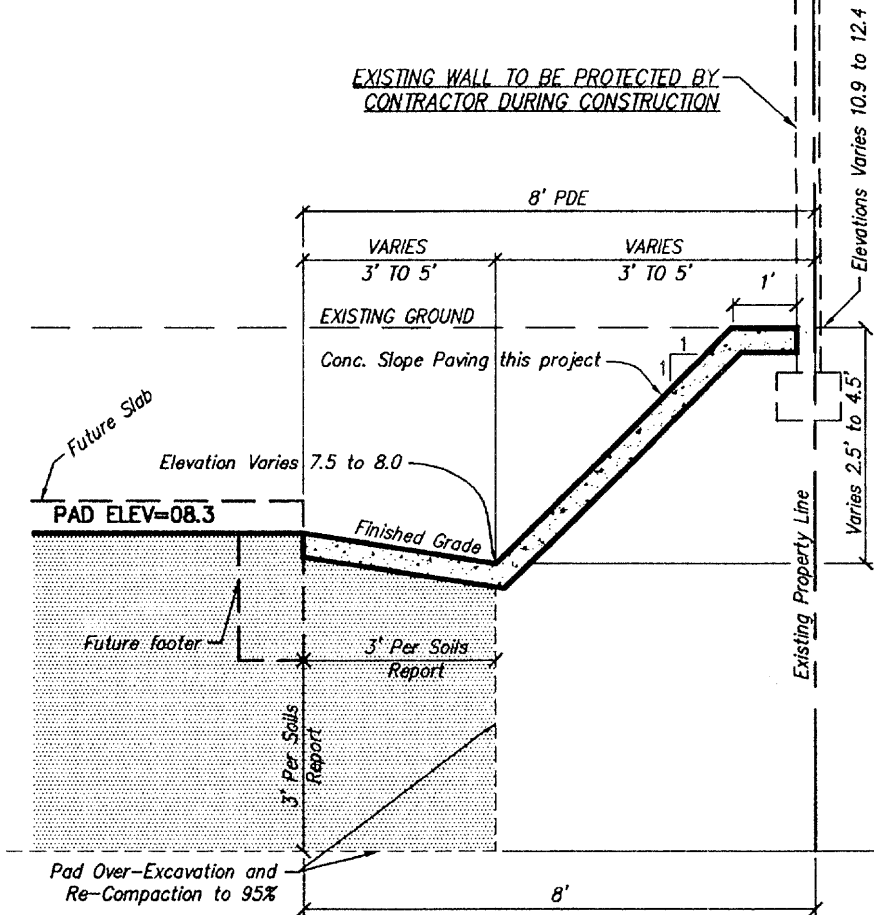
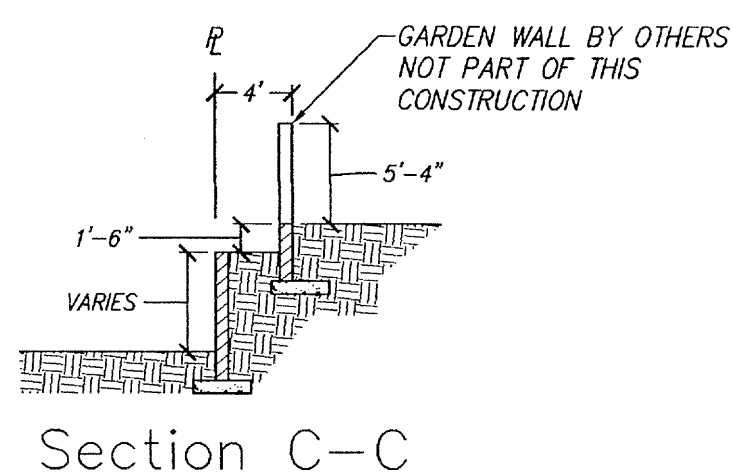
SURVEYOR
 ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

OWNERS
 GLENDALE, LLC
 7101 NATALIE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

ENGINEERS
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

GENERAL SITE CONSTRUCTION NOTES

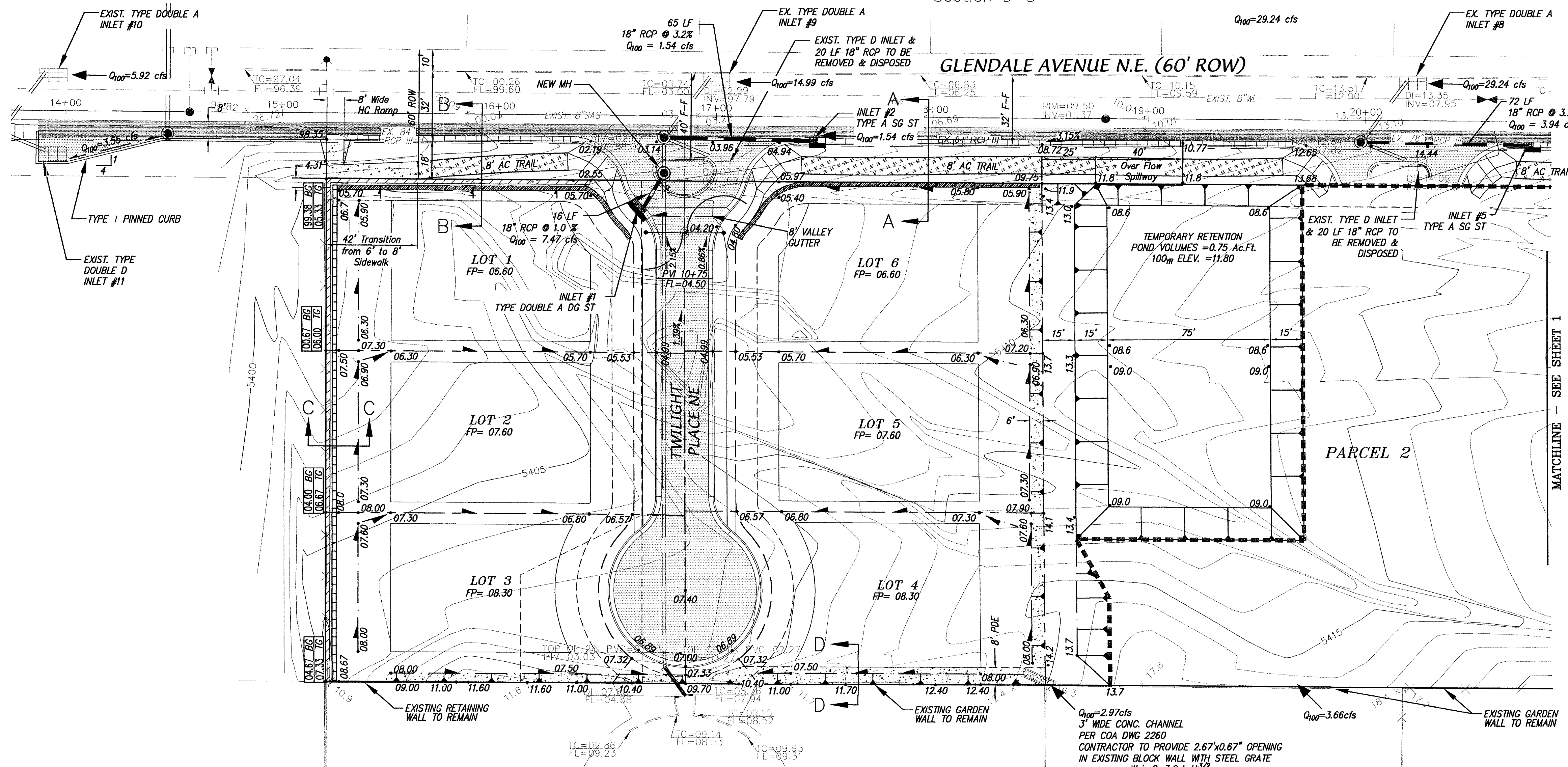
- UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY AND DO NOT NECESSARILY SHOW ALL THE UTILITIES ON THE SITE.
- ALL STORM DRAIN, PAVING, CURB, AND VALLEY GUTTER WORK ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, INCLUDING AMENDMENT #1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- IN THE EVENT OF PHASED CONSTRUCTION STORM WATER RUNOFF IS TO BE PREVENTED FROM UNDEVELOPED PORTIONS OF THE SITE BY CONSTRUCTING TEMPORARY RETENTION POND IN THE UNDEVELOPED PORTION OF THE SITE CAPABLE OF RETAINING THE 100 YR. 10 DAY STORMWATER RUNOFF VOLUME FROM ALL ONSITE AND OFFSITE AREAS DRAINING TO IT.
- NOTE ALL STREET SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- STRUCTURAL STANDARDS AND SPECIFICATIONS OF WALLS AND SLOPE PAVING ARE NOT PROVIDED ON THIS GRADING AND DRAINAGE PLAN AND ARE TO BE SUPPLIED SEPARATELY BY CONTRACTOR PRIOR TO CONSTRUCTION.



LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES September 10, 1931 in Volume D, Folio 121.

LEGEND

- EXISTING CONCRETE CURB
- EXISTING FENCE
- EXISTING WALL OF HEAD WALL
- EXISTING TOP CURB/FLOWLINE
- EXISTING SPOT ELEVATION
- EXISTING DROP INLET
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING WATER VALVE
- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- NEW LOT LINES
- NEW SIDEWALK
- NEW STANDARD CURB & GUTTER
- NEW ROLL CURB & GUTTER
- NEW RETAINING WALL - TO BE CONSTRUCTED AT THE TIME OF ROUGH GRADING
- NEW PERIMETER WALL
- NEW SWALES
- 1:1 SLOPE
- ROADWAY GRADES
- NEW STORM DRAIN
- NEW STORM DRAIN INLET
- 1:1 SLOPE TO BE PAVED WITH CONCRETE MORTARED ROCK, TINTED SHOT-CRETE, OR TERRACED WITH RETAINING WALLS IN ACCORDANCE WITH COMPREHENSIVE ZONING CODE 14-16-3-19.
- FINISHED GRADE ELEVATIONS AT TOP AND BOTTOM OF RETAINING WALLS.
- GARDEN WALL DEFERRED TO HOME BUILDER
- TEMPORARY AC CURB TYPE "C" RESIDENTIAL
- TYPE I PINNED CURB
- PDE
- PRIVATE DRAINAGE EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.
- MAJOR LOCAL PAVEMENT THIS PROJECT - 4" TYPE B RESIDENTIAL
- RESIDENTIAL PAVEMENT THIS PROJECT - 3" TYPE C RESIDENTIAL
- TRAIL PAVEMENT THIS PROJECT - 2" TYPE B RESIDENTIAL AC
- LIMITS OF LAND DISTURBING ACTIVITIES

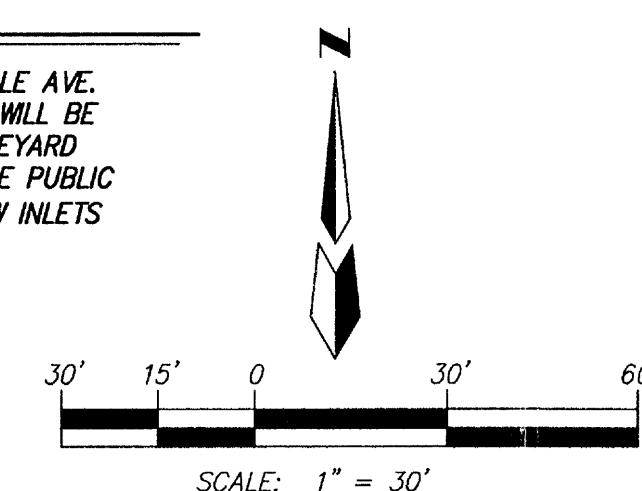


EROSION CONTROL / ENVIRONMENTAL PROTECTION NOTES

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMIT FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY INSTALLING SILT FENCES OR PERMANENT BLOCK WALLS AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT FOR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. HOWEVER, WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS STABILIZATION MEASURES MUST BE INITIATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE GRUBBING, EXCESS CUT MATERIAL, VEGETATION DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OFFSITE AT NO ADDITIONAL COST TO THE OWNER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICAL PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER PREVENTION PLAN ONSITE AT ALL TIMES.

DRAINAGE MANAGEMENT PLAN

THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN UNLINED SIDEWALK SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE PUBLIC STREETS, WHICH WILL DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. VIA 4 NEW INLETS BEING CONSTRUCTED WITH THIS PROJECT.



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	DATE	NO.	DATE
WORK ORDER NO. 11-8207	DATE	ACS Brass Cap stamped "1-B20"	DATE	NO.	DATE	NO.	DATE
DESIGNED BY: JGH	DATE: 03/11	FIELD BY: JGH	DATE: 03/11	NO.	DATE	NO.	DATE
CHECKED BY: DMG	DATE: 03/11	NO.	DATE	NO.	DATE	NO.	DATE

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

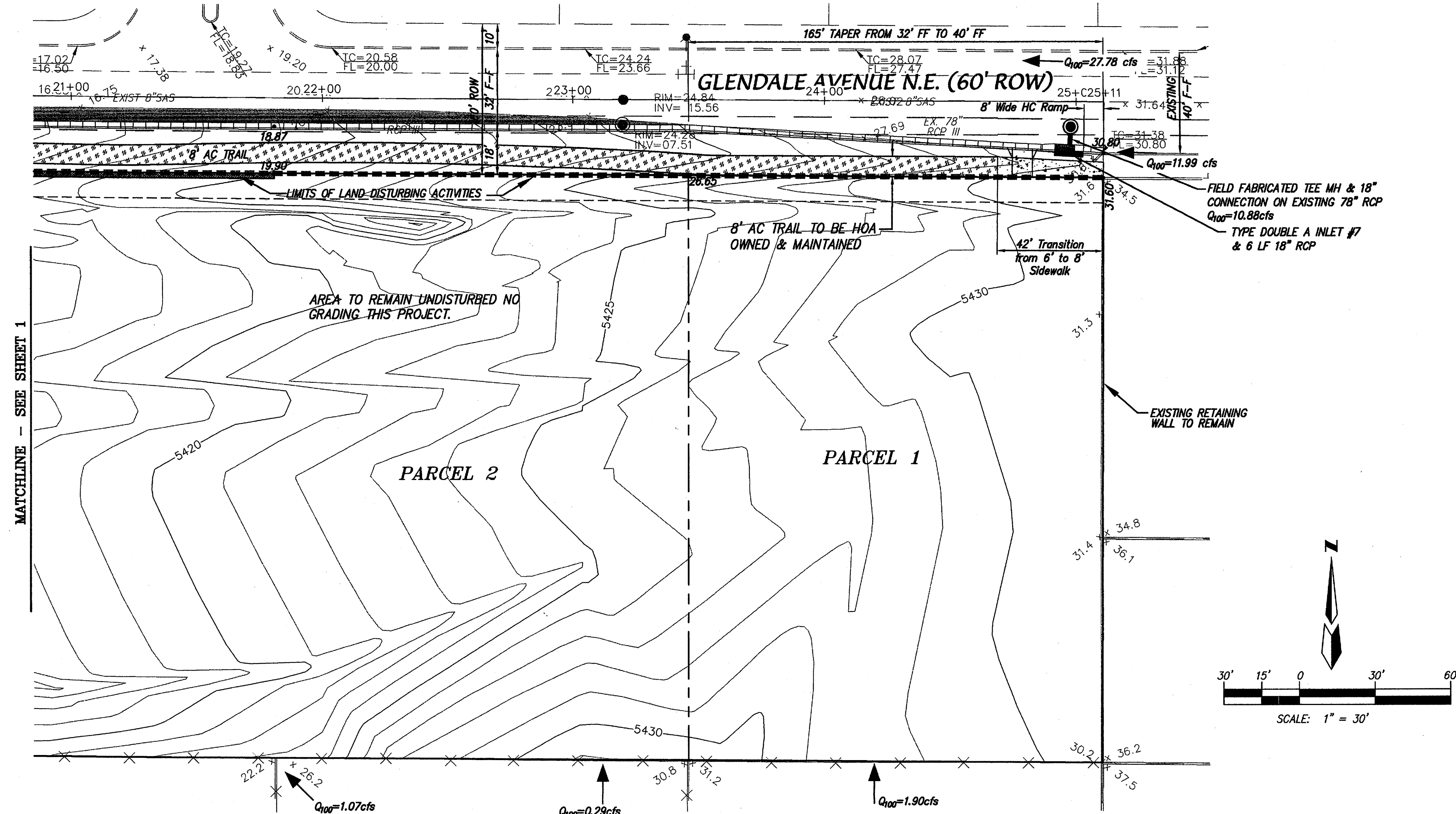
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **THE ESTATES AT GLENDALE UNIT 1 GRADING & DRAINAGE PLAN**

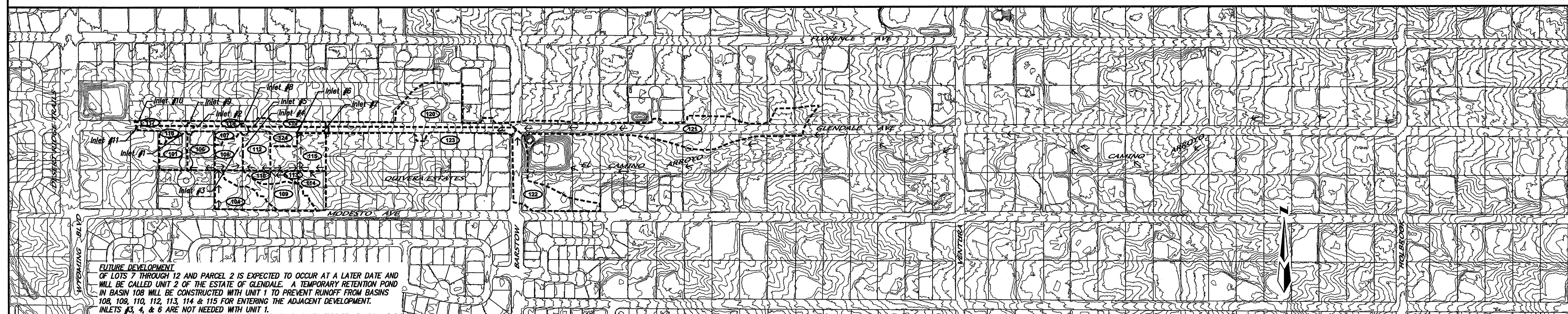
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. # ZONE MAP NO. **B-19-Z** SHEET **1** OF **2**

\\11058111004\Glendale Res\GRADE & DRAIN\11004 GRADE & DRAIN\06-02-11\ACH SPS



MATCHLINE - SEE SHEET 1



FUTURE DEVELOPMENT
 OF LOTS 7 THROUGH 12 AND PARCEL 2 IS EXPECTED TO OCCUR AT A LATER DATE AND WILL BE CALLED UNIT 2 OF THE ESTATE OF GLENDALE. A TEMPORARY RETENTION POND IN BASIN 108 WILL BE CONSTRUCTED WITH UNIT 1 TO PREVENT RUNOFF FROM BASINS 108, 109, 110, 112, 113, 114 & 115 FOR ENTERING THE ADJACENT DEVELOPMENT. INLETS #3, 4, & 6 ARE NOT NEEDED WITH UNIT 1.

HYDROLOGY SUMMARY TABLE

BASIN ID	AREA (Ac)	Ground Cover (%)				Peak 100-YR Flow Q ₁₀₀ (cfs)		Street flows				Inlet Calcs				
		A	B	C	D	Incremental	Cumulative	Location	Slope (%)	Depth (ft)	Velocity (fps)	Energy (ft)	Inlet #	Intercepted (cfs)	By-pass (cfs)	
122	2.1	0.00328	13	13	26	48	8.16	Barstow St	0.61	0.46	2.3	0.54	7	10.88	1.11	
123	0.6	0.00125	15	85			3.83	Glendale Ave S. 1/2	3.18	0.40	4.5	0.71				
114	0.7	0.00108	20	34	28	2.33	2.33	PDE lot 14	n/a							
113	0.1	0.00016	20	20	34	28	0.35	PDE lot 13	n/a							
115	1.4	0.00219	0	37	37	28	4.98	Lots 13 & 14	7.84				6	7.84	Sump	
124	0.7	0.00109	0	18	35	47	2.82	3.94	Glendale Ave S. 1/2	3.15	0.43	5.0	0.82	5	3.94	0.00
110	0.4	0.00061	20	20	34	26	1.31	1.31	PDE lot 10	n/a						
112	0.9	0.00138	33	33	34	34	3.27	4.57	North Star Ct E. 1/2	0.50	0.32	1.8	0.37	4	4.57	Sump
109	1.3	0.00208	20	20	34	26	4.49	4.49	PDE lot 9	n/a						
108	0.7	0.00110	33	33	34	34	2.80	7.09	North Star Ct W. 1/2	1.79	0.36	3.1	0.51	3	7.09	Sump
Bypass from Inlet # 5							0.00	7.09								
107	0.4	0.00065	33	33	34	34	1.54	1.54	Glendale Ave S. 1/2	3.15	0.09	1.9	0.15	2	1.54	0.00
104	1.1	0.00189	20	20	34	26	3.64	3.64	PDE lot 4	n/a						
106	0.9	0.00135	33	33	34	34	3.20	6.84	Twilight Ct E. 1/2	0.85	0.33	2.4	0.42	1	7.47	2.08
101	0.7	0.00114	33	33	34	34	2.71	9.55	Twilight Ct W. 1/2	2.15	0.38	3.7	0.59	11	3.55	2.08
116	0.4	0.00062	33	33	34	34	1.47	3.55	Glendale Ave S. 1/2	3.15	0.28	3.3	0.45	11	3.55	sump
121	4.2	0.00588	9	45	48	48	18.21	18.21	Glendale Ave N. 1/2	3.18	0.44	4.9	0.81			
120	2.9	0.00453	25	27	48	48	11.57	27.78	Glendale Ave N. 1/2	3.18	0.51	5.9	1.05			
119	0.3	0.00047	10	90			1.48	28.24	Glendale Ave N. 1/2	3.15	0.52	6.0	1.08	8	15.22	14.02
118	0.2	0.00031	10	90			0.97	14.89	Glendale Ave N. 1/2	3.15	0.38	3.7	0.59	9	10.05	4.94
117	0.2	0.00031	10	90			0.97	5.92	Glendale Ave N. 1/2	3.15	0.32	3.8	0.54	10	5.08	0.84

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 OFFICE (505) 828-2200, FAX (505) 797-9539

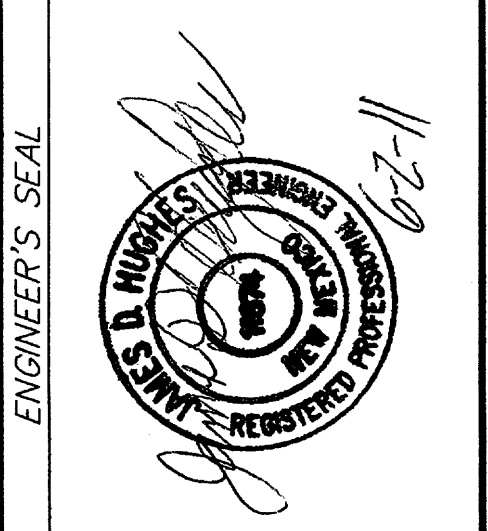
**CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT**

TITLE: **THE ESTATES AT GLENDALE UNIT 1
 GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL

CITY PROJECT NO. # ZONE MAP NO. **B-19-Z** SHEET **2** OF **2**

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	ACS Brass Cap stamped "1-B20"	Located in the northeast quadrant of the intersection of Modesto Ave. N.E. and Barstow St. N.E.; approximately 30' north from the centerline of Modesto Ave. N.E. and approximately 30' east from the centerline of Barstow St. N.E.	NO.	BY
WORK STARTED BY	DATE	FIELD LOCATION BY			
FIELD ACCEPTANCE BY	DATE	DRAWINGS CORRECTED BY			
DATE		MICRO-FILM INFORMATION			
		RECORDED BY			
		NO.			



NO.	DATE	REMARKS	BY
		DESIGN	JGH
		REVISIONS	SPS
		DATE	03/11
		DATE	03/11
		DATE	03/11

H:\ALBUQUERQUE\ESTATES AT GLENDALE\GRADE & DRAINAGE\DWG_6/17/2011_3:55:44 PM.dwg

PRELIMINARY PLAT FOR
THE ESTATES AT GLENDALE
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2011

SUBDIVISION DATA

GROSS ACREAGE 5.9930 AC
 ZONE ATLAS NO. B-19-Z
 NO. OF LOTS EXISTING 6 LOTS
 NO. OF LOTS CREATED 14 LOTS
 ZONING R-D, 3 DU/A
 DATE OF SURVEY FEBRUARY, 2011

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 and containing 5.9930 acres more or less.

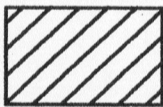




PURPOSE OF PLAT

- SUBDIVIDE LOTS LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 14 RESIDENTIAL LOTS.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS \circ SHALL BE A SET 5/8" REBAR WITH CAP "LS 7719"
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3, (09-10-31, D-121)
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY: PERFORMED FEBRUARY, 2011.
- TITLE REPORT(S): NONE PROVIDED.
- ADDRESS OF PROPERTY: 7720, 7800, 7820, 7900, 7920 & 8000 GLENDALE AVENUE NE.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: R-D, 3 DU/A
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008

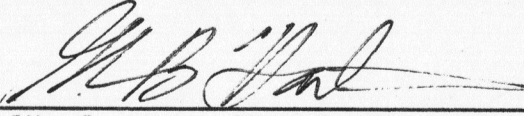
LEGEND


-  ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT WITHOUT WARRANTY COVENANTS. (0.6824 ACRES)
-  LIMITS OF VACATION
-  LOT LINE TO BE ELIMINATED BY THIS PLAT (TYP)
-  CENTERLINE MONUMENT TO BE INSTALLED "LS 7719"
-  UNIT BOUNDARY

EASEMENTS

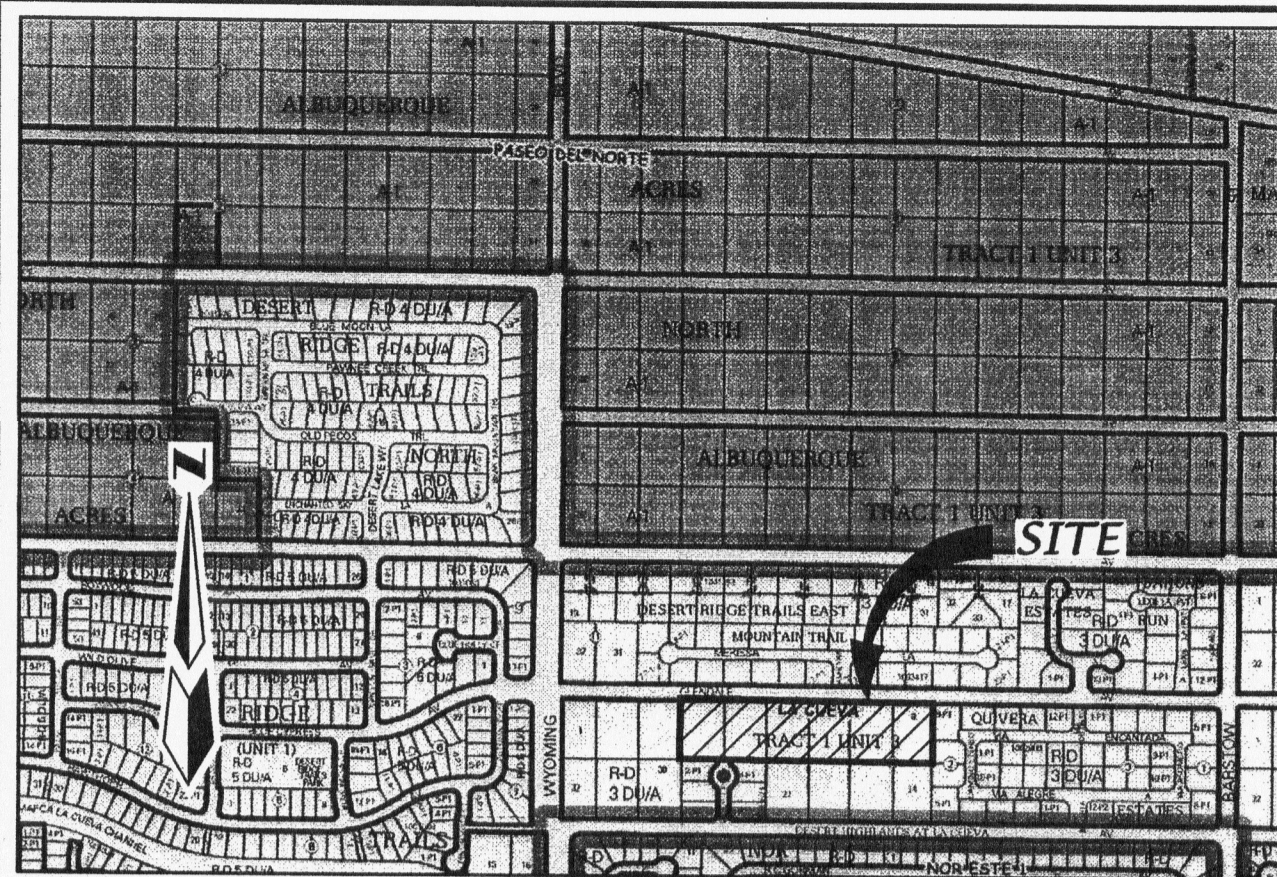
- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673) TO BE VACATED
 - EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED
- PDE PRIVATE DRAINAGE EASEMENTS SHOW HEREON ARE FOR THE BENEFIT OF THE PRIVATE PROPERTY OWNERS SOUTH OF THIS SUBDIVISION AND ARE TO RECEIVE DRAINAGE FROM THOSE PROPERTIES AND ARE TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN.

APPROVED

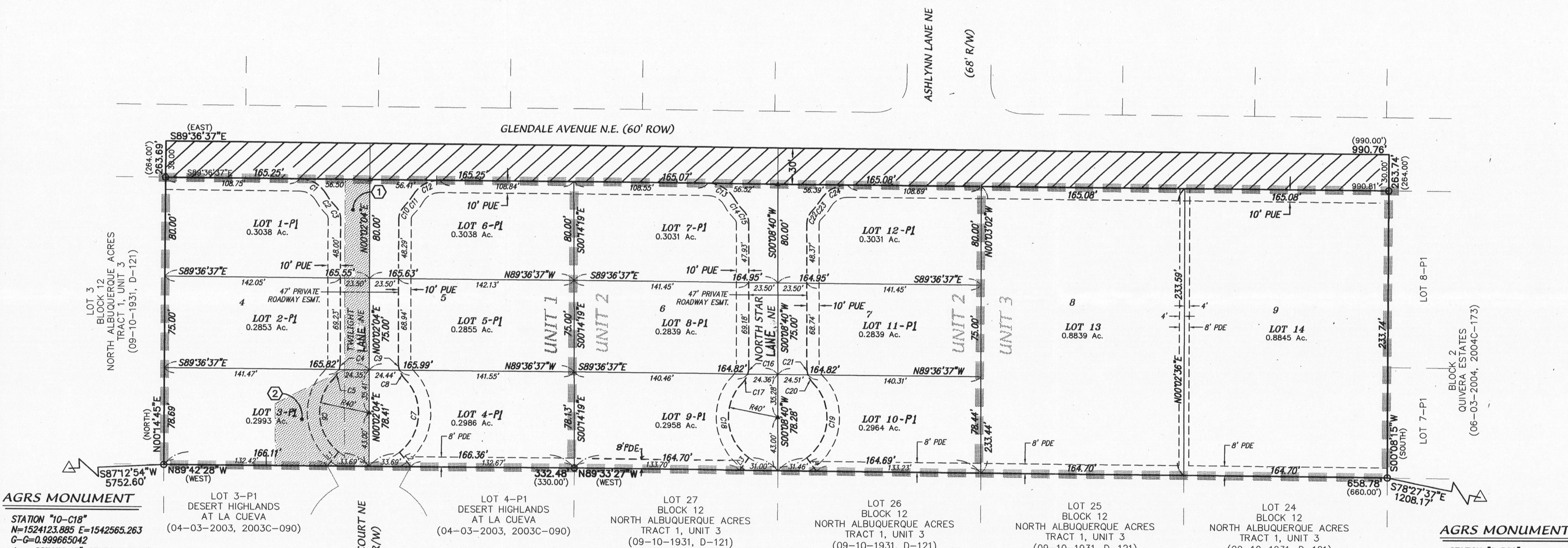
 4-8-11
 City Surveyor, City of Albuquerque, N.M. Date

Glendale LLC, Owner Lots 4 thru 9, Block 12, Tract 1, Unit 3, North Albuquerque Acres
 4/4/11
 Randall Schille, Managing Member Date

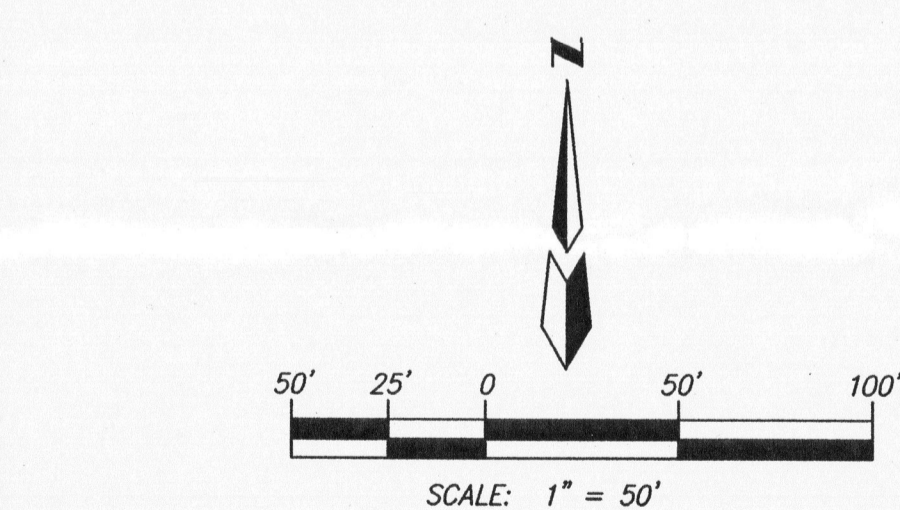
LOT	AREA (S.F.)	ACRES
1	13234	0.3038
2	37157	0.8530
3	13038	0.2993
4	13007	0.2986
5	12436	0.2855
6	13234	0.3038
7	13203	0.3031
8	12367	0.2839
9	12885	0.2958
10	12911	0.2964
11	12367	0.2839
12	13203	0.3031
13	38501	0.8839
14	38527	0.8845
TOTAL	256068	5.8785
AVERAGE LOT SIZE	18291	0.4199



VICINITY MAP SCALE: 1" = 750' ZONE ATLAS B-19-Z



AGRS MONUMENT
 STATION "10-C18"
 N=1524123.885 E=1542565.263
 G-C=0.999685042
 Az=001119.43° CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=3222.090



LINE	BEARING	LENGTH
L1	S38°12'34"W	14.51'
L2	S37°56'40"E	14.74'
L3	S35°50'07"W	12.75'
L4	S36°07'28"E	13.54'

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	25.00'	26.31'	60°17'34"	14.52'	N59°27'50"W	25.11'
C2	40.00'	11.48'	16°26'29"	5.78'	S37°32'18"E	11.44'
C3	14.50'	11.59'	45°47'36"	6.12'	N22°51'44"W	11.28'
C4	20.00'	5.85'	16°44'48"	2.94'	N08°24'28"E	5.82'
C5	20.00'	9.35'	26°47'04"	4.76'	N30°10'24"E	9.26'
C6	40.00'	66.57'	95°21'22"	43.93'	S04°06'45"E	59.15'
C7	40.00'	66.71'	95°33'08"	44.08'	N04°16'46"E	59.24'
C8	20.00'	9.03'	25°52'39"	4.59'	S30°33'29"E	8.96'
C9	20.00'	6.16'	17°39'13"	3.11'	S08°47'33"E	6.14'
C10	14.50'	11.59'	45°47'33"	6.12'	S22°55'54"W	11.28'
C11	40.00'	10.98'	15°43'52"	5.53'	N37°57'44"E	10.95'
C12	25.00'	26.31'	60°17'34"	14.52'	S60°14'36"W	25.11'
C13	25.00'	26.31'	60°17'30"	14.52'	N59°27'50"W	25.11'
C14	40.00'	11.60'	16°37'12"	5.84'	S37°37'41"E	11.56'
C15	14.50'	11.59'	45°47'41"	6.12'	N23°02'26"W	11.28'
C16	20.00'	5.90'	16°54'41"	2.97'	N08°18'40"E	5.88'
C17	20.00'	9.29'	26°37'11"	4.73'	N30°04'36"E	9.21'
C18	40.00'	68.10'	97°33'05"	45.65'	S05°23'21"E	60.17'
C19	40.00'	68.10'	97°33'05"	45.65'	N05°06'00"E	60.17'
C20	20.00'	8.81'	25°15'01"	4.48'	S31°03'02"E	8.74'
C21	20.00'	6.38'	18°16'51"	3.22'	S09°17'06"E	6.35'
C22	14.50'	11.59'	45°47'36"	6.12'	S22°45'08"W	11.28'
C23	40.00'	10.86'	15°33'06"	5.46'	N37°52'23"E	10.82'
C24	25.00'	26.31'	60°17'33"	14.52'	S60°14'37"W	25.11'

SITE BENCHMARK

AGRS MONUMENT "1-B20"
 ELEVATION=5477.179
 (NAVD 1988)

SURVEYOR

ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87109
 (505) 884-1990

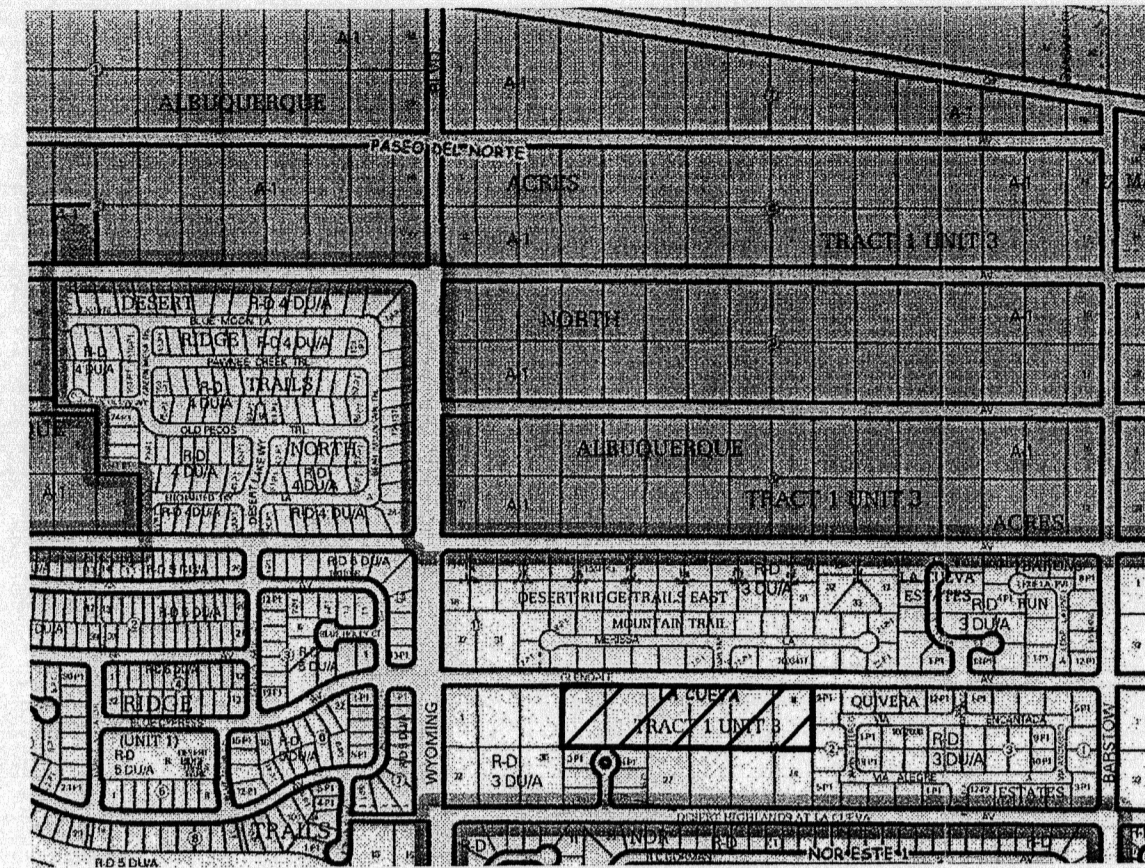
OWNERS

GLENDALE, LLC
 7101 NATALIE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90806
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SKETCH PLAT
ESTATES AT GLENDALE
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2011



VICINITY MAP
 SCALE: 1" = 750' ZONE ATLAS B-19-Z

DESCRIPTION

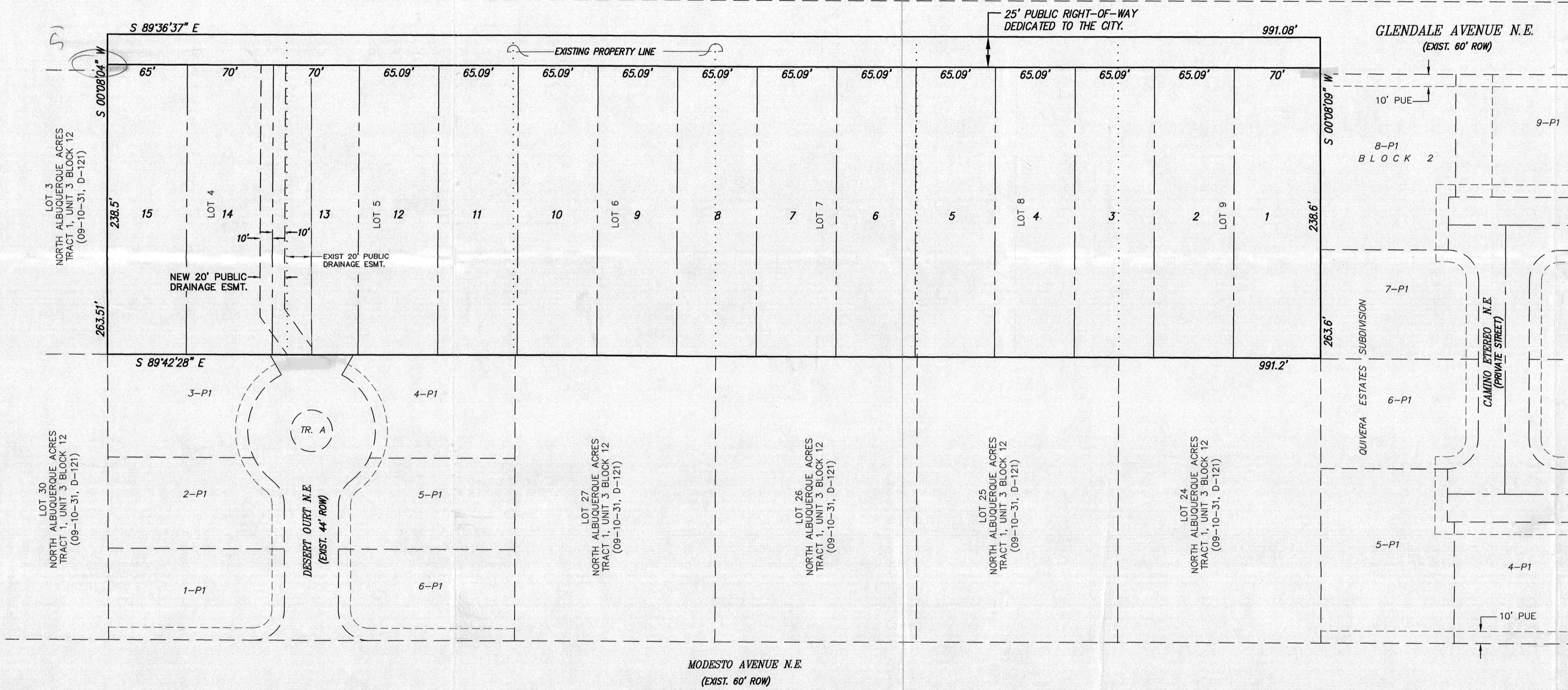
A tract of land situated within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 and containing 5.9927 acres more or less.

SUBDIVISION DATA

GROSS ACREAGE 5.9927 AC
 ZONE ATLAS NO. B-19
 LOTS CREATED 15 LOTS
 LOTS ELIMINATED 6 LOTS
 DATE OF SURVEY JANUARY, 2011

SITE BENCHMARK

ACS MONUMENT
 "1-B20"
 ELEVATION=5477.179
 (NAVD 1988)



SURVEYOR

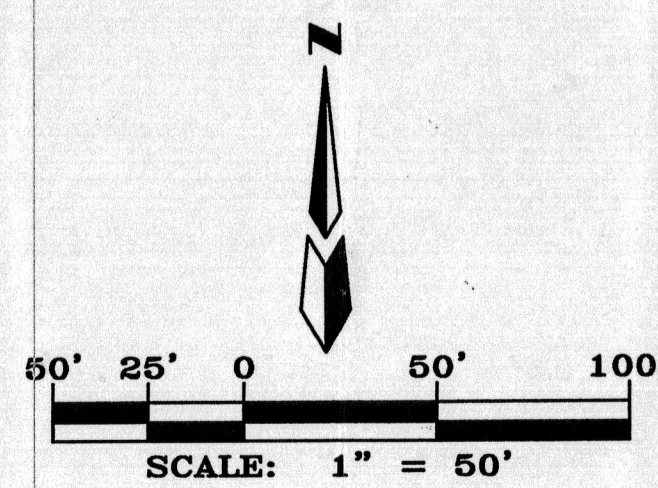
ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

OWNERS

DESERT WEST DEVELOPMENT LTD, LLC
 7101 NATALIE JANAE LANE NE
 ALBUQUERQUE, N.M. 870109
 (505) 315-0312

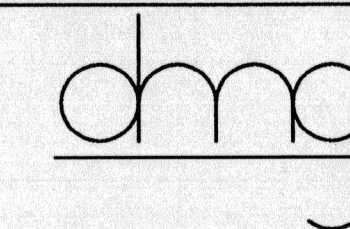
ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200



SKETCH PLAT

ESTATES AT GLENDALE



MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS

P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

Dwg: sketch_01.dwg	Drawn: STEPHEN	Checked: DMG	Sheet 1 of 1
Scale: 1"=50'	Date: 01/14/11	Job: A11004	

I:\M11005V\11004_Glendale\res\sketch_01.dwg, 1/14/2011 3:27:58 PM, SFS