

ADMINISTRATIVE AMENDMENT
 FILE # 10087 PROJECT # 1008656
 SEE NOTE 1
 INCORPORATE VACATED PNM
 REVISE LS PLAN
 APPROVED BY: [Signature]
 DATE: 10-2-2012

LEGAL DESCRIPTION
 A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

THE SITE:
 The site area is presently vacant, zoned RD - 3 DU/AC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
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PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.
Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from Glendale is also gated.

Transit Access: Route 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS:
 Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-SITE PARKING:
 Minimum number of off-street parking spaces shall be provided according to the Intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
 Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail this sheet).

MAXIMUM TOTAL DWELLING UNITS:
 Maximum total number of residential units shall be 23.

LANDSCAPE STANDARDS:
 For landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

OPEN SPACE:
 Minimum open space provided per dwelling shall be in accordance with the R-D zone.

APPROVALS PROCESS:
 Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

APPLICATION NUMBER: _____ **PROJECT NUMBER:** 1008656

City Approvals:

[Signature]	04/25/12
Traffic Engineering, Transportation Division	Date
[Signature]	04/25/12
Utilities Development	Date
[Signature]	4-25-12
Parks and Recreation Department	Date
[Signature]	8-25-12
City Engineer	Date
[Signature]	7-27-12
DRP Chairperson, Planning Department	Date

SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines and the DPM.

I ARCHITECTURAL STANDARDS

A. The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.

B. Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.

C. Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.

D. Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.

E. Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.

F. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

II LIGHTING STANDARDS

A. Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.

B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

A. **Front Yard Minimum**

- 2 Accent Trees at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
- 4 Shrubs (minimum 5 gallon)
- 4 Shrubs (minimum 1 gallon)
- 2 Landscape Boulders (3' x 3' minimum)
- 1 Shade Tree in R/W at least 1-1/2" caliper or 10 feet high at the time of planting

B. Accentuating "river rock" and bark mulch or pecan shells are also permitted in front yard landscaping.

C. At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.

D. Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.

E. Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.

F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.

G. Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.

H. The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

IV WALLS

A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.

B. Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.

C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.

D. Maximum wall heights shall be 6 feet, unless they are retaining walls.

E. Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.

B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING

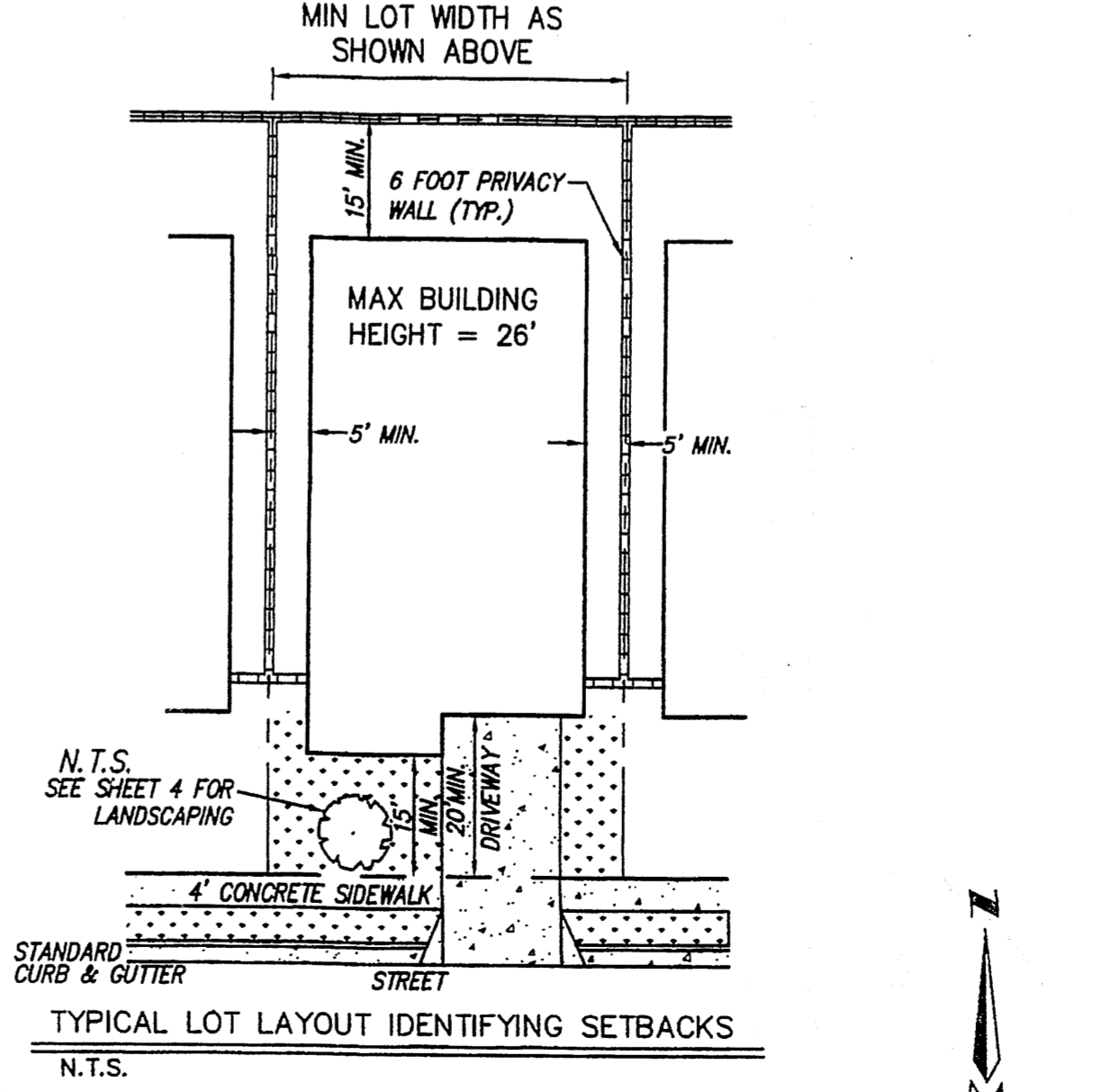
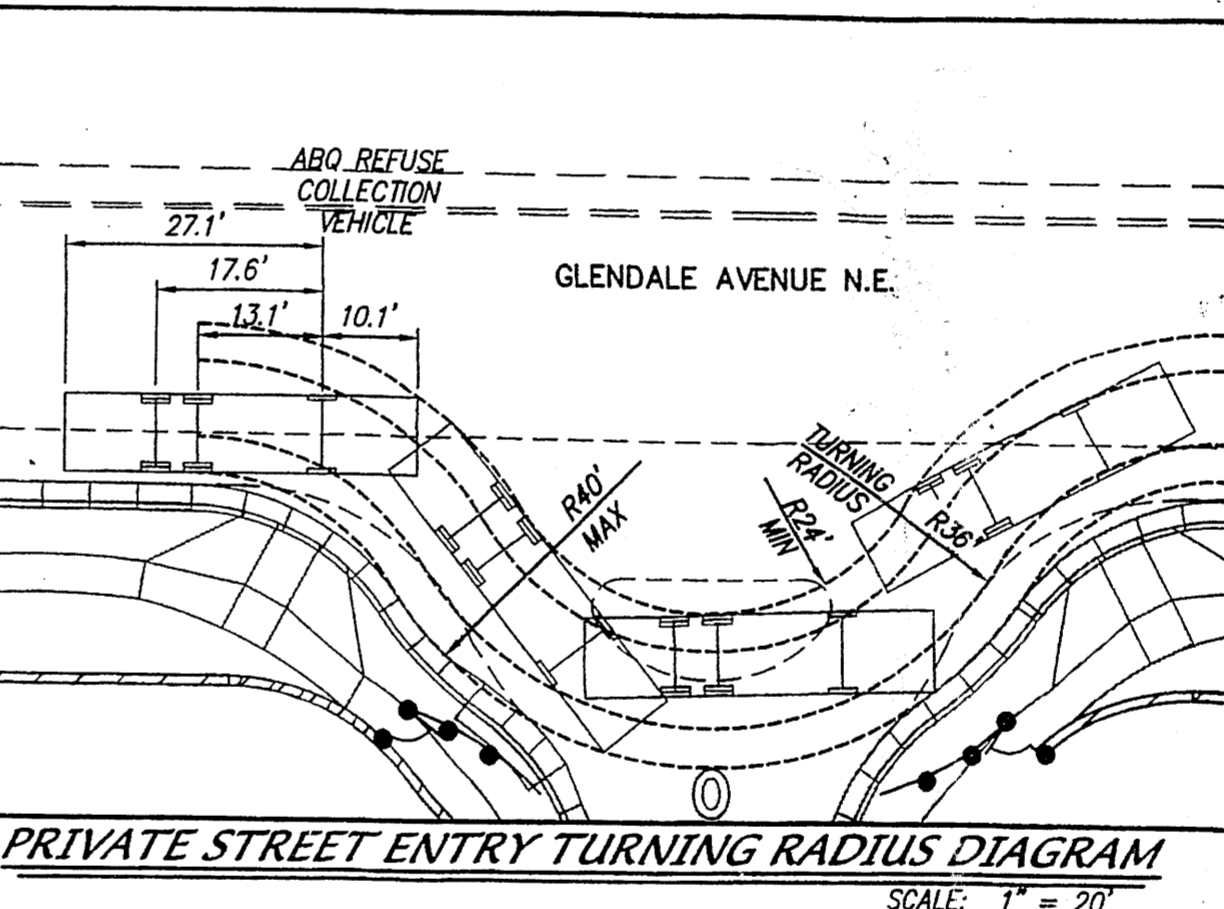
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VII OPEN SPACE

A. Open space shall be provided on each lot in accordance with Section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE

A. Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.



LEGEND

[Symbol]	NEW EASEMENT	[Symbol]	EXISTING PAVING
[Symbol]	PROPERTY LINE	[Symbol]	AREA OF EXISTING EASEMENT VACATION
[Symbol]	EXISTING CURB	[Symbol]	NEW PAVEMENT
[Symbol]	EXISTING FENCE	[Symbol]	PHASE BOUNDARY
[Symbol]	EXISTING WALL	[Symbol]	WROUGHT IRON FENCE & GATE
[Symbol]	NEW SIDEWALK		
[Symbol]	NEW STORM DRAIN INLET		
[Symbol]	NEW WALL		

EASEMENTS

- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672)
- NEW PRIVATE DRAINAGE EASEMENT.

PLAN INDEX

SITE PLAN FOR SUBDIVISION	1
CONCEPTUAL GRADING & DRAINAGE PLAN	2
CONCEPTUAL UTILITY PLAN	3
LANDSCAPING PLAN	4

PREPARED BY:
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

PREPARED FOR:
 GLENDALE, LLC
 7101 NATALIE JANAE LANE NE CT. 1
 ALBUQUERQUE, NM 87109
 PH: (505) 315-0312

ADMINISTRATIVE AMENDMENT OF SITE PLAN TO INCORPORATE 4' OF VACATED RIGHT OF WAY (15DRB70005-2/4/15) INTO SUBDIVISION. LOT WIDTH WERE PRORATED THE ADDITIONAL AREA. CHANGES TO APPROVED PLAN BY GRANDE ENGINEERING.

SCALE: 1" = 40'

DATE REVISION: 04-23-12

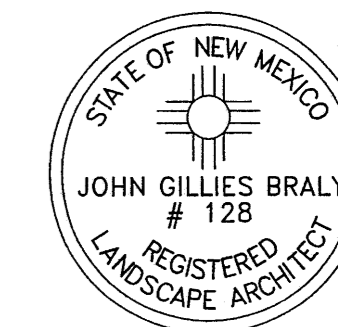
ESTATES AT GLENDALE
SITE PLAN FOR SUBDIVISION
(SU-1 RD 5DU/AC)

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS

P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

Designed: DMG Drawn: SPS Checked: DMG
 Scale: 1" = 40' Date: 02/21/2012 Job: A11004 Sheet 1 of 4

EPC 1008656



Date: 9/2/15

Revisions:

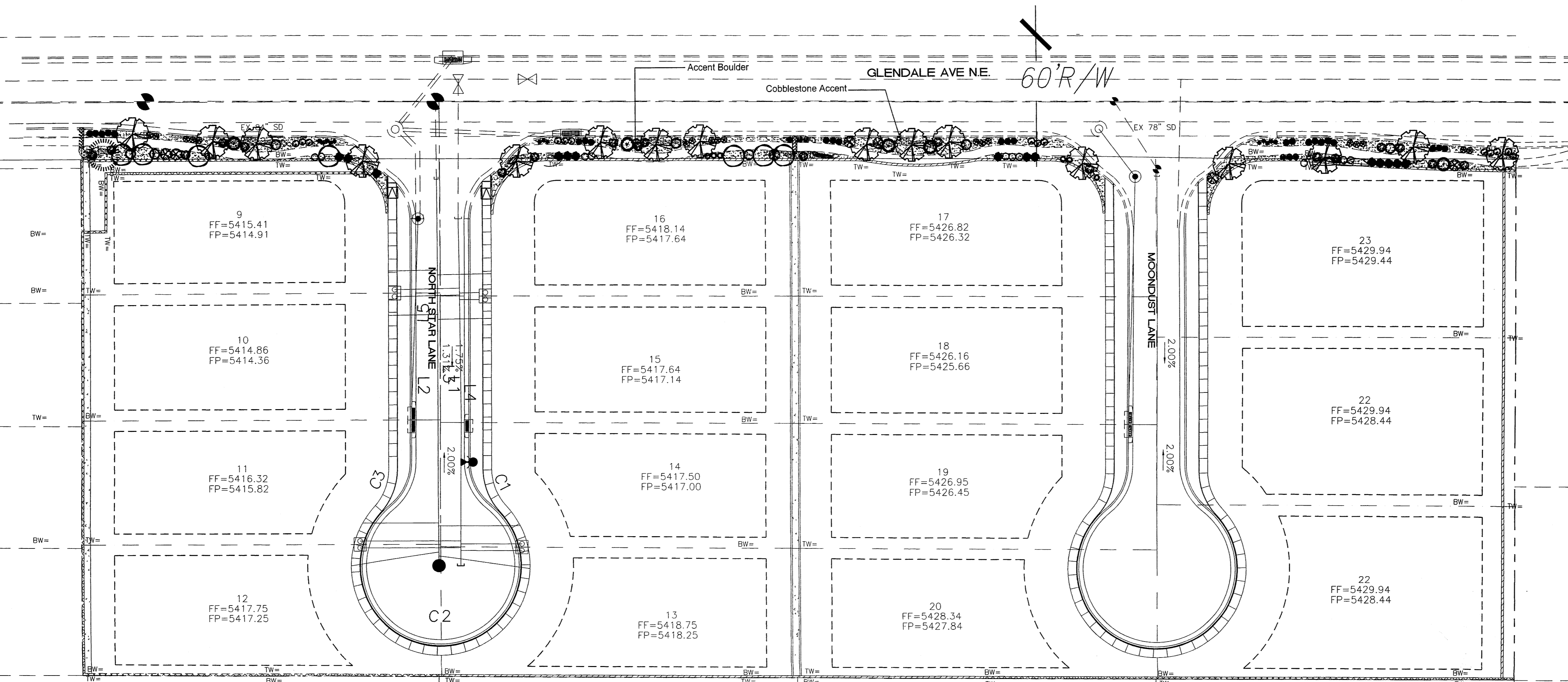
- ▲ _____
- ▲ _____
- ▲ _____
- ▲ _____

Drawn by: jc

Reviewed by: jb

The Estates at Glendale

Albuquerque, New Mexico



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Mature Height/Width	Water Use	Drip Emitters	Shrubs/Groundcovers					
							Size	Mature Height/Width	Water Use	Drip Emitters		
16		Betula Birch	2" B&B	15/15'	High	8-2 gph	24	Achillea filipendulina Moonshine Yarrow	1-Gal	2/2'	Medium	2-2 gpm
7		Populus Aspen/Multi Trunk	2" B&B	20/8'	High	8-2 gph	6	Centranthus Jupiter's Beard	1-Gal	1.5/2.5'	Medium	2-2 gph
5		Pinus, Picea Bosnian Pine, Dwarf Spruce	5'-6"	15/6'	Medium	6-2 gph	18	Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3/4'	Low	2-1 gph
1		Pinus, Cedrus, Picea Ponderosa Pine, Blue Atlas Cedar, Blue Spruce	5'-6"	40/20'	Medium	6-2 gph	14	Nepeta mussini Giant Catmint	1-Gal	8/2'	Low+	2-2 gph
							7	Perovskia atriplicifolia Russian Sage	1-Gal	5/5'	Medium	2-2 gph
							7	Pinus mugo Mugo Pine	5-Gal	4/4'	Medium	2-2 gph
							19	Potentilla fruticosa Shrubby Cinquefoil	5-Gal	3/3'	Medium+	2-2 gph
							0	Rosmarinus Rosemary	5-Gal	6/6'	Low+	2-2 gph
							11	Lavandula Lavender	5-Gal	3/3'	Low+	2-2 gph
								Ornamental Grasses				
							14	Calamagrostis acutiflora Kari Foerster Grass	5-Gal	2.5/3'	Medium	2-2 gph
							6	Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	2/3'	Medium	2-2 gph
							13	Liriope Mondo Grass	1-Gal	1/1'	Medium+	2-2 gph
							0	Miscanthus Maiden Grass	5-Gal	5/5'	Medium+	2-2 gph
								Perennials				
							TBD	California Poppy/ Columbine				Flats/Seed/4" pots

SITE DATA

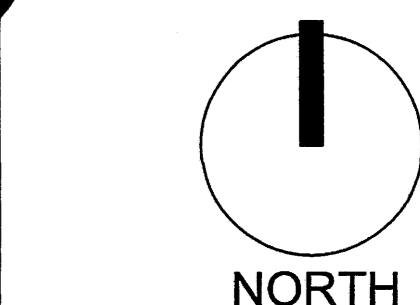
REQUIRED STREET TREES
1 PER 20 L.F. STREET FRONTAGE 29
PROVIDED STREET TREES 29

NOTE

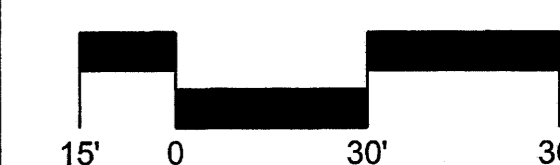
- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS AND/OR LOCATED 10' FROM EASEMENTS.
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF



Scale: 1" = 30'

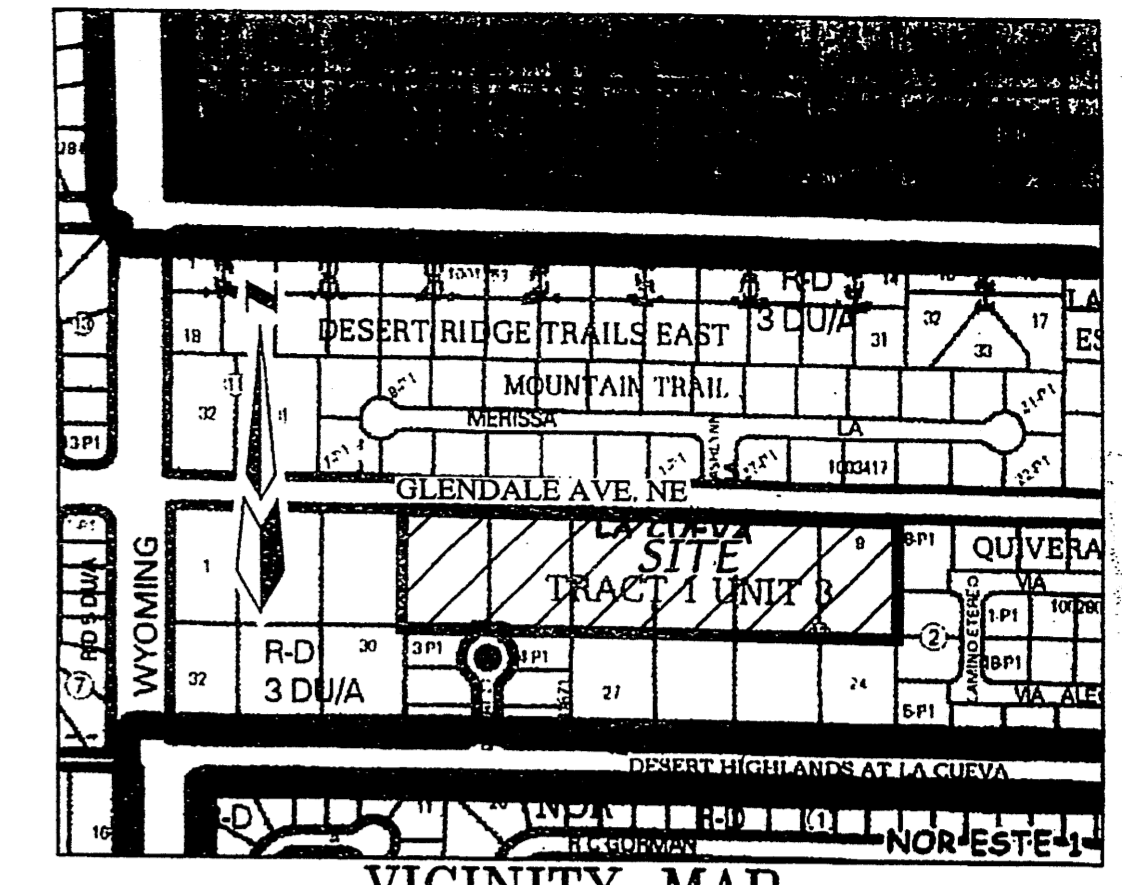
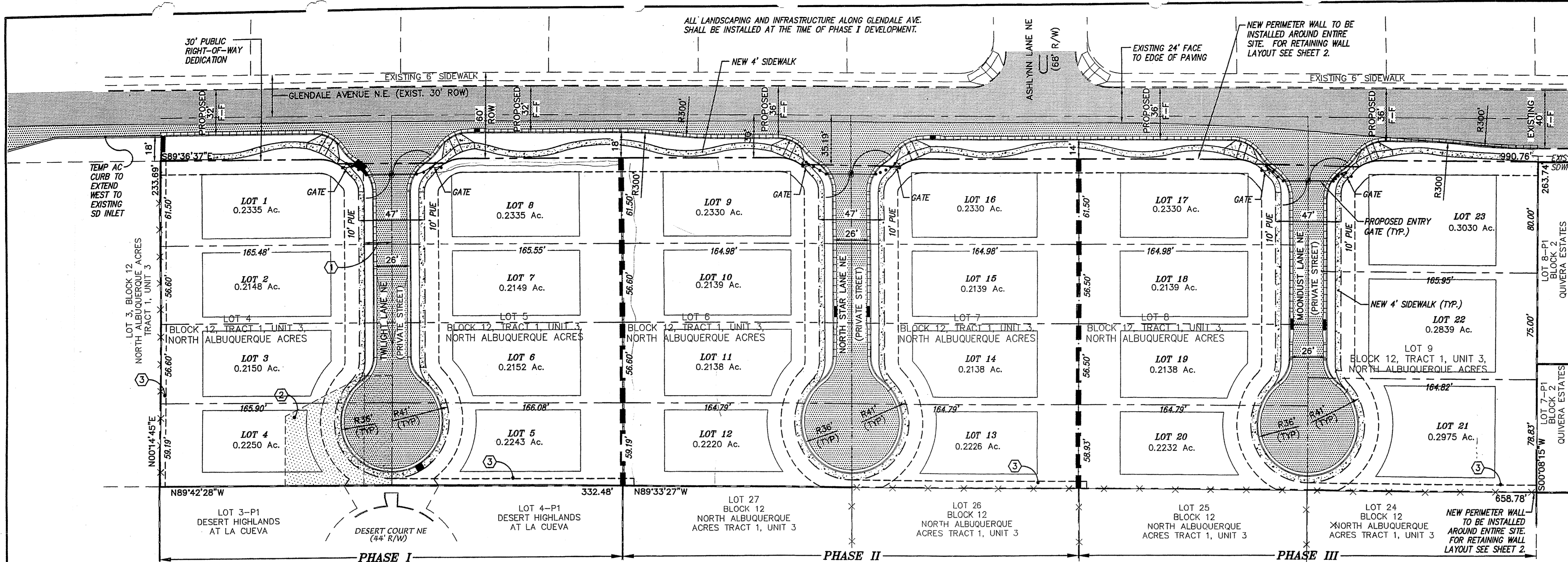


Sheet Title:

Landscape Plan

Sheet Number:

LS-01



VICINITY MAP
SCALE: 1"=750' ZONE ATLAS PAGE: B-19-Z

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ESTATES AT GLENDALE
SITE PLAN FOR SUBDIVISION
(SU-1 RD 5DU/AC)

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: SPS Checked: DMG Sheet 1 of 4
Scale: 1" = 40' Date: 02/21/2012 Job: A11004

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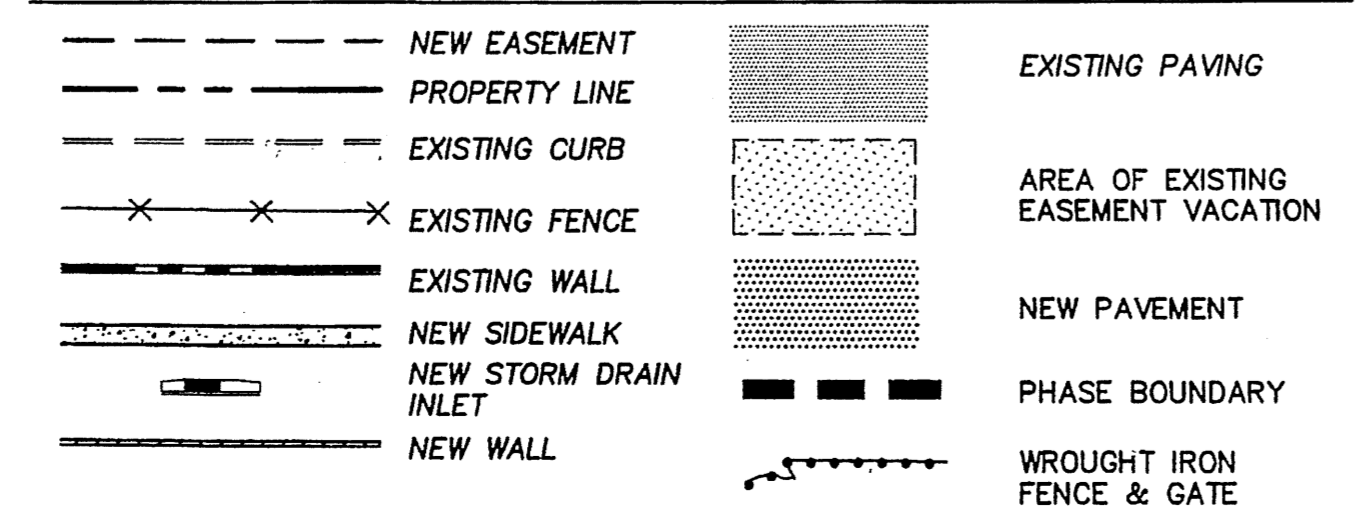
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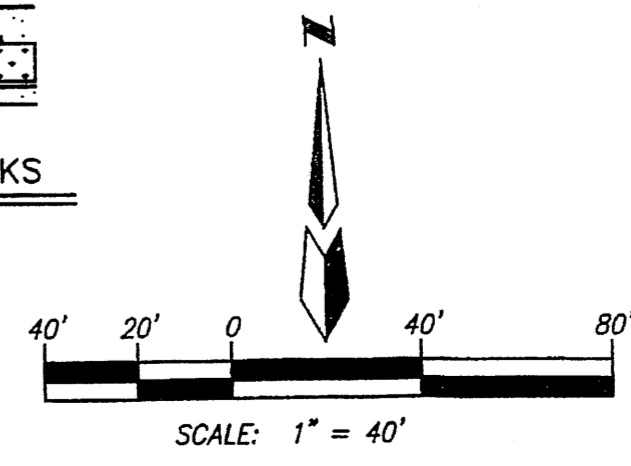
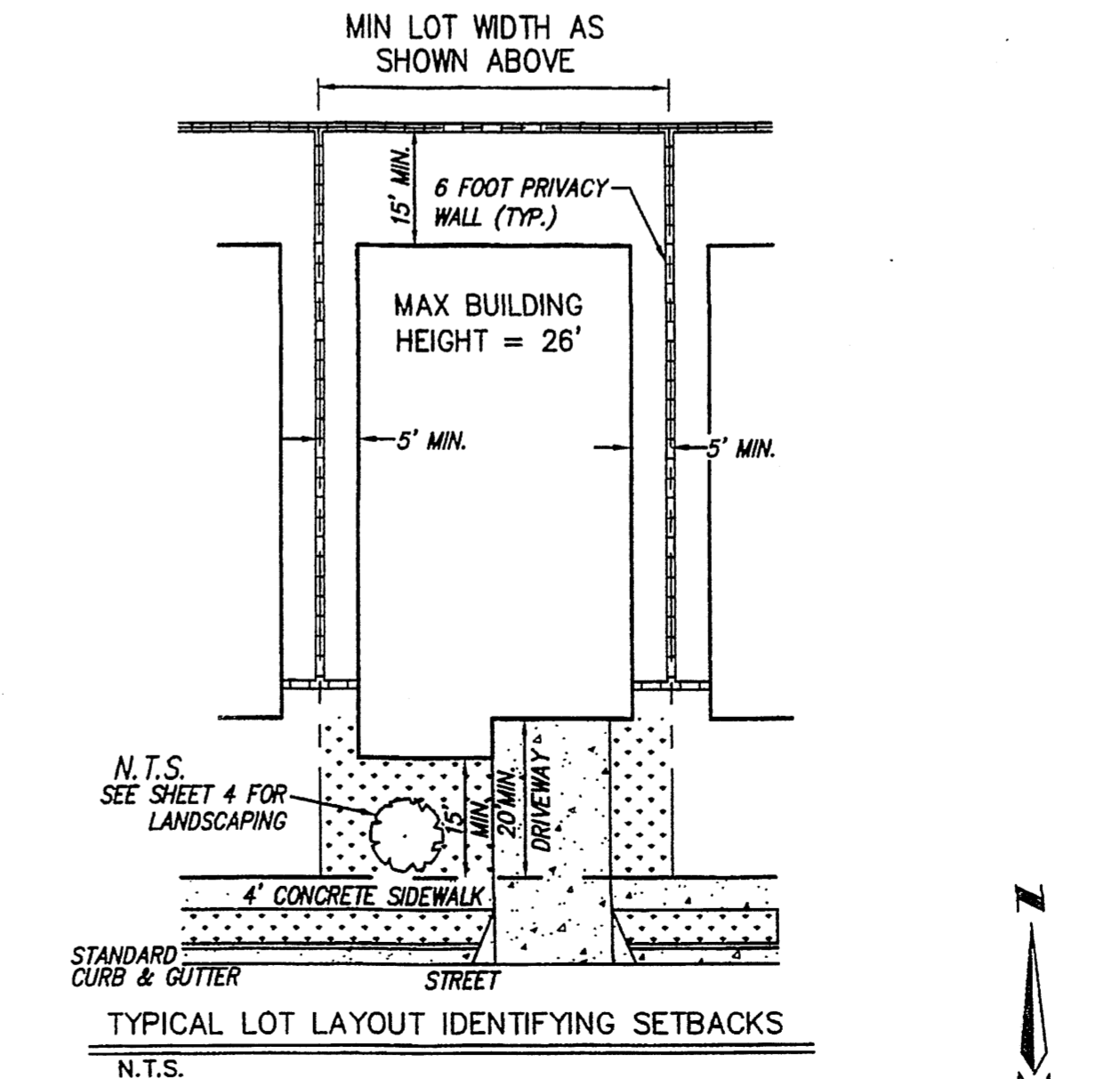
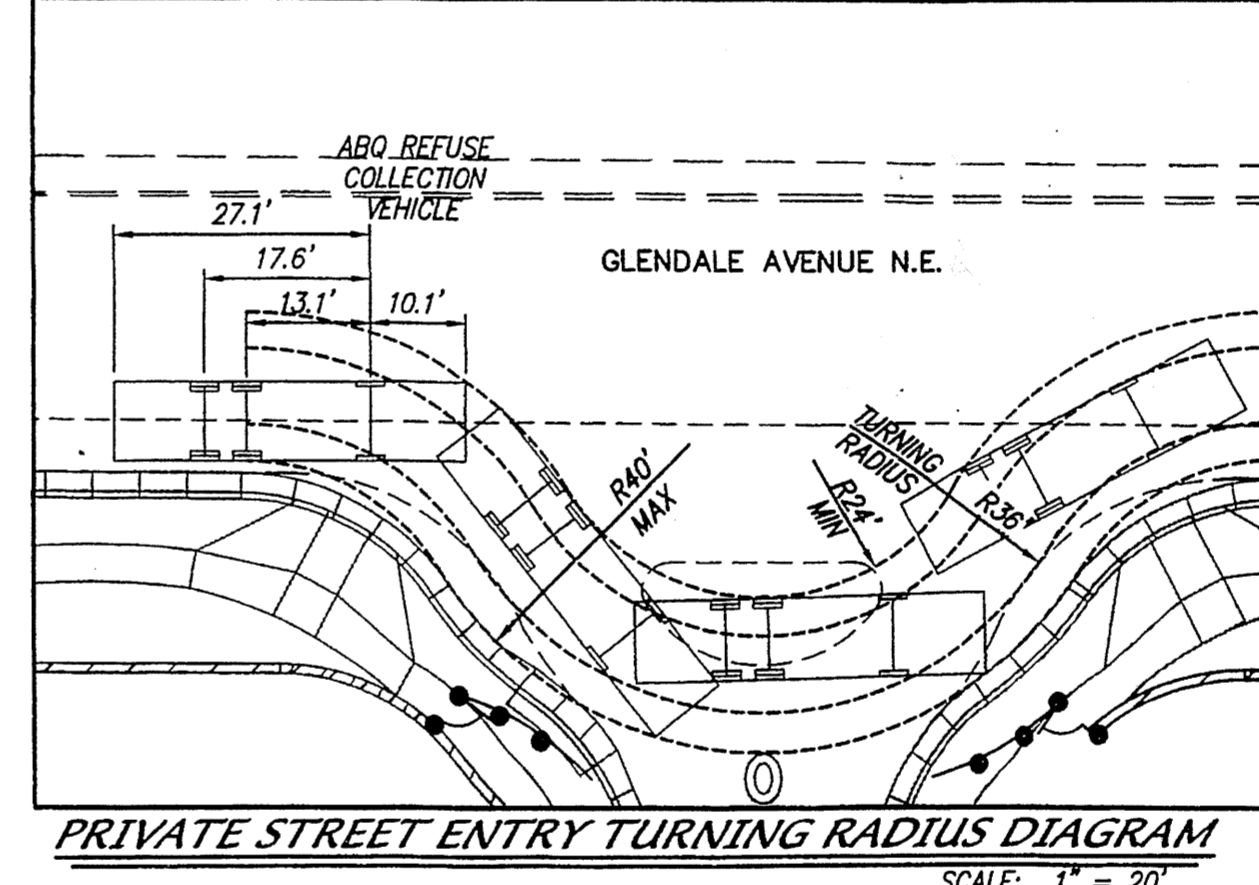
LEGEND



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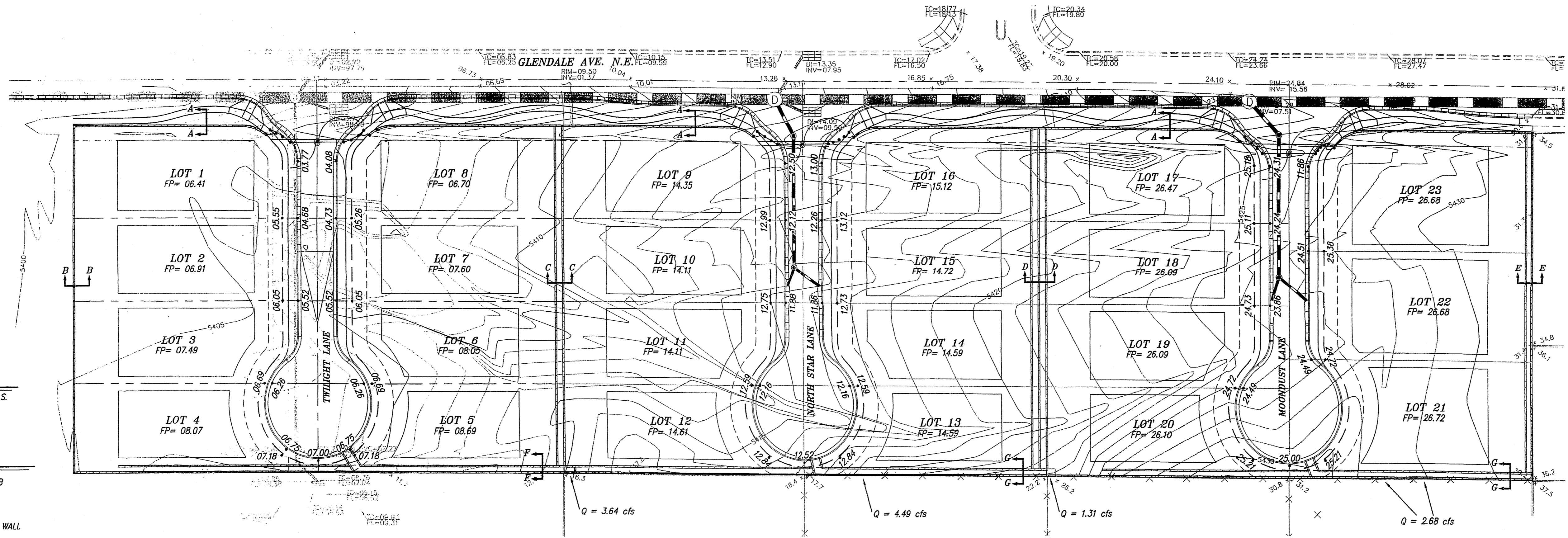
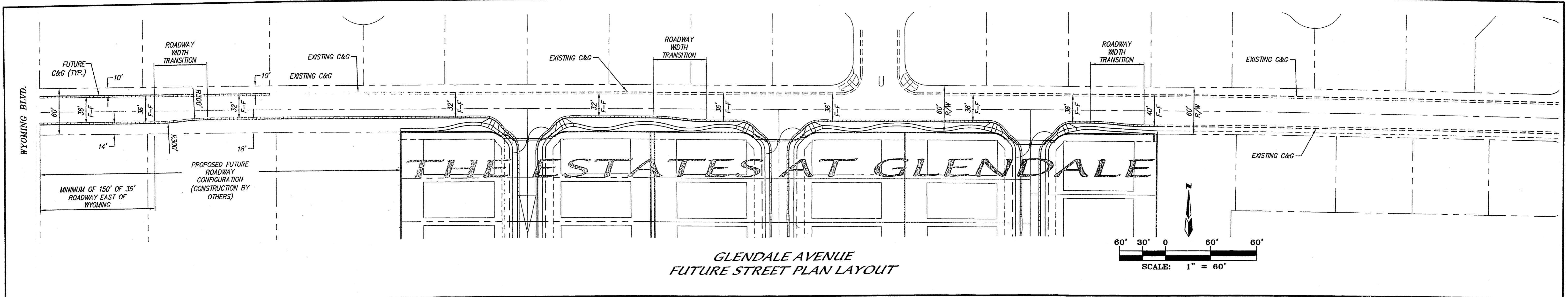
PREPARED BY:
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
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PREPARED FOR:
GLENDALE, LLC
7101 NATALIE JANAE LANE NE CT. NE
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PH: (505) 315-0312

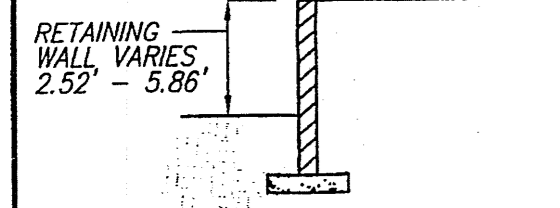


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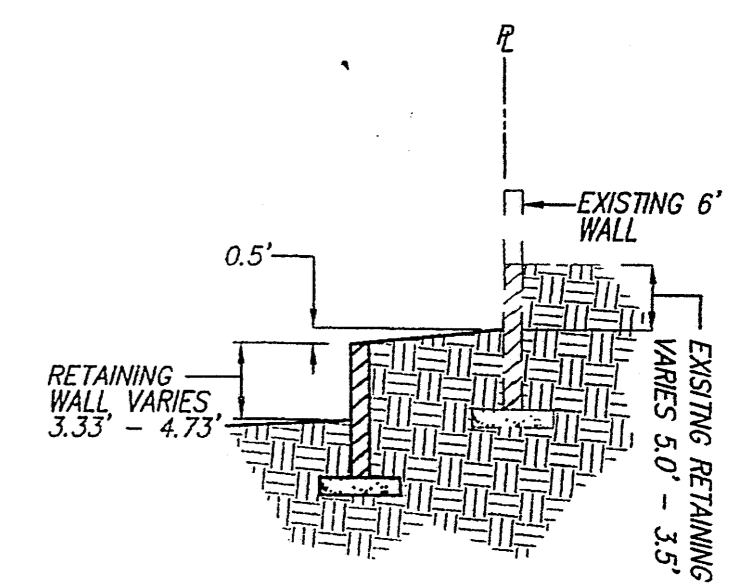
EPC 1008656



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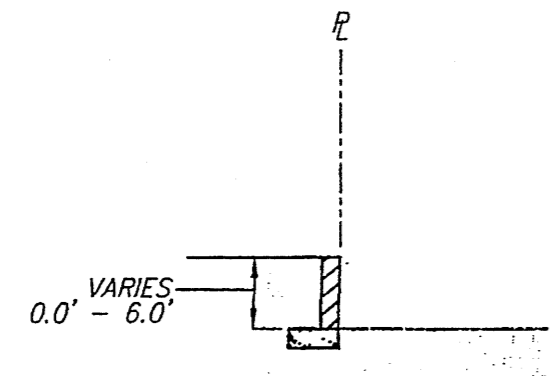


DETAIL SECTION B-B
N.T.S.

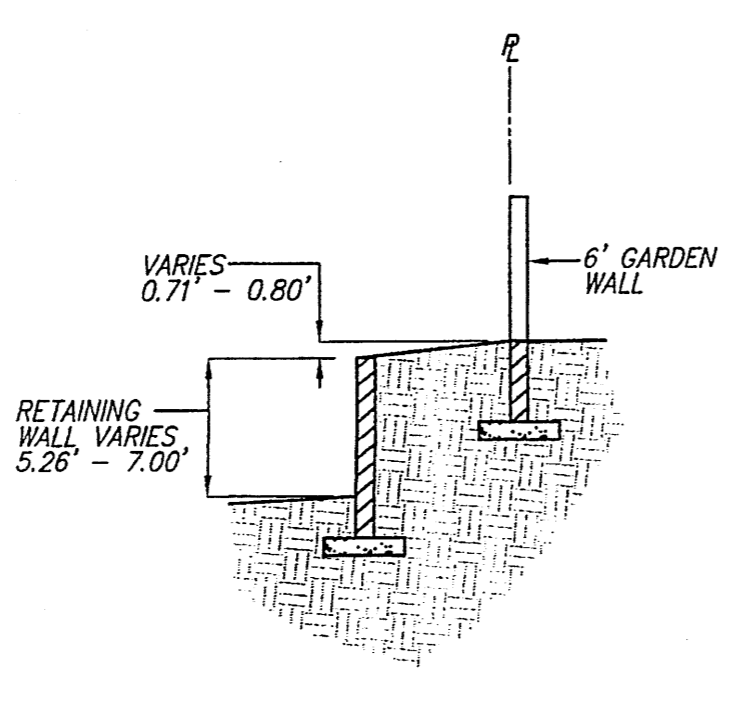


DETAIL SECTION E-E
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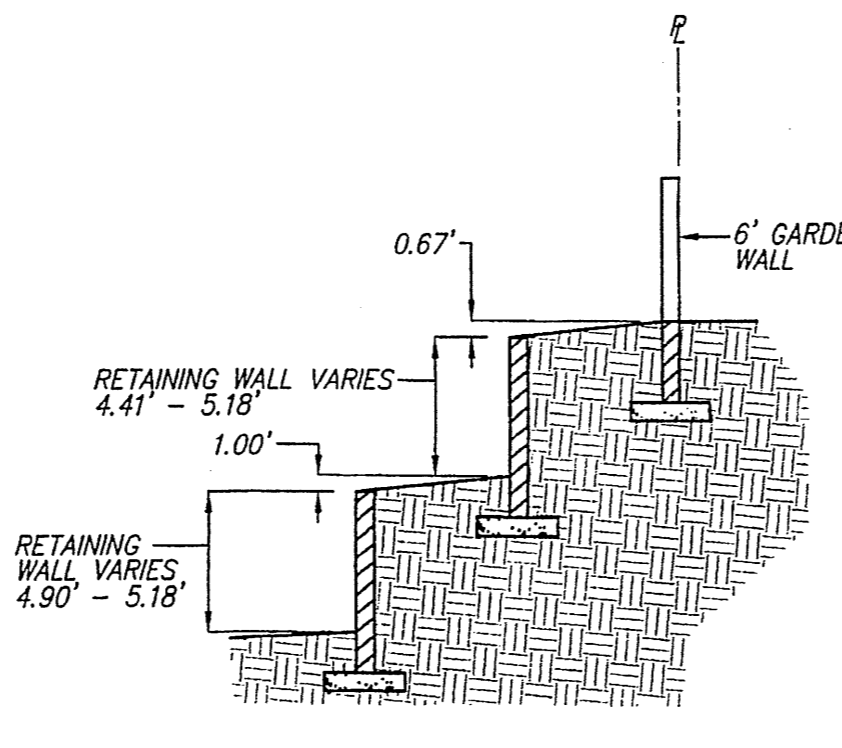
- LEGEND**
- EXISTING CONCRETE CURB
 - EXISTING FENCE
 - EXISTING WALL OF HEAD WALL
 - EXISTING TOP CURB/FLOWLINE
 - EXISTING SPOT ELEVATION
 - EXISTING DROP INLET
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING WATER VALVE
 - EXISTING CONTOUR - MAJOR
 - EXISTING CONTOUR - MINOR
 - NEW LOT LINES
 - NEW SIDEWALK
 - NEW STANDARD CURB & GUTTER
 - NEW MEDIAN CURB & GUTTER
 - NEW RETAINING WALL
 - NEW GARDEN WALL
 - NEW STORMDRAIN
 - NEW STORMDRAIN MANHOLE
 - NEW SPOT ELEVATION



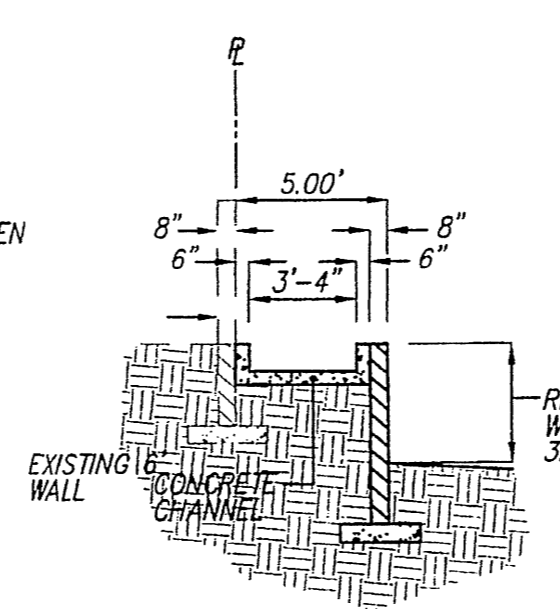
DETAIL SECTION A-A
N.T.S.



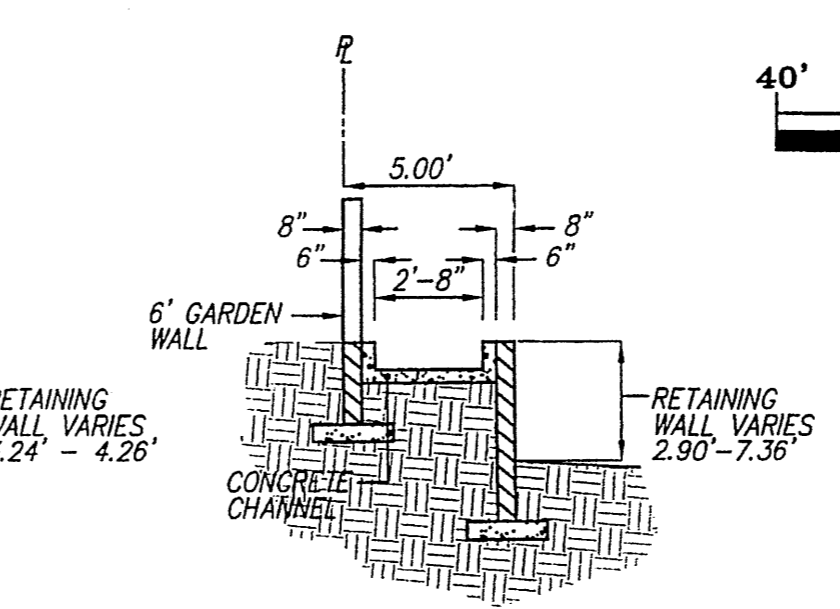
DETAIL SECTION C-C
N.T.S.



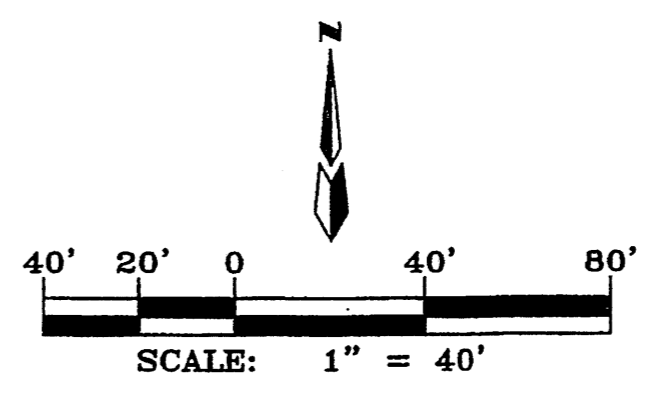
DETAIL SECTION D-D
N.T.S.



DETAIL SECTION F-F
N.T.S.



DETAIL SECTION G-G
N.T.S.



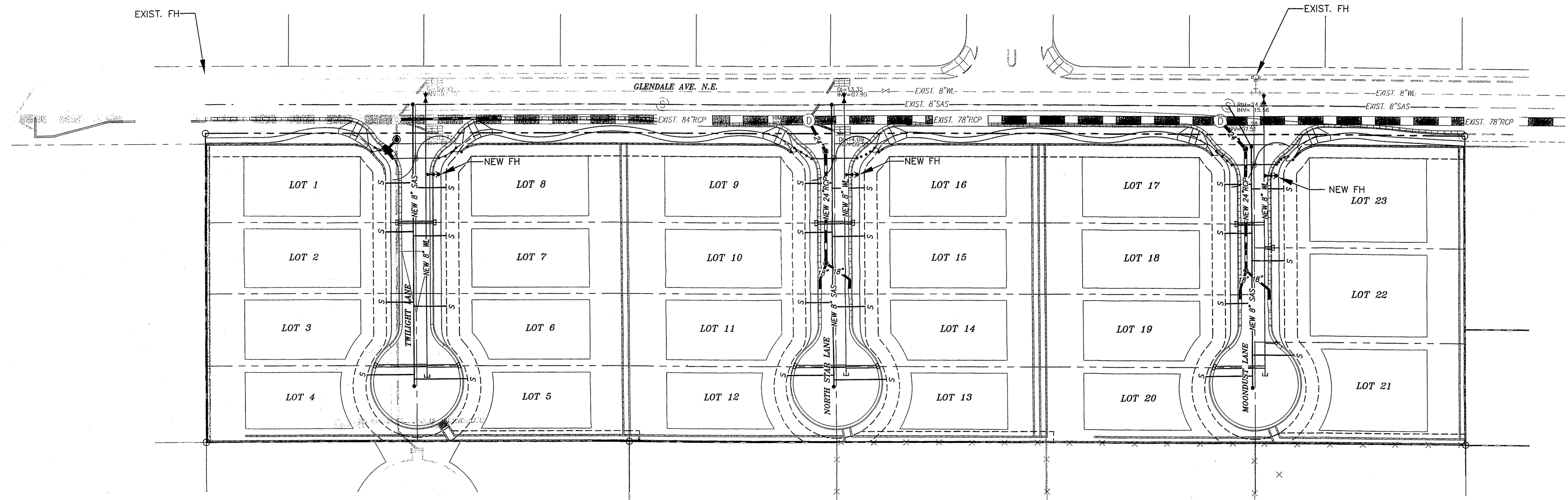
UPON COMPLETION OF ONSITE GRADING OPERATIONS ALL DISTURBED SURFACES ON THE SITE SHALL BE STABILIZED WITH NATIVE SEED AND IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH THE NEW VEGETATION.

DRAINAGE MANAGEMENT PLAN
THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN CONCRETE-LINED SIDEYARD SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE NEW PRIVATE STREETS, WHICH WILL THEN DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. VIA 7 NEW INLETS BEING CONSTRUCTED AT VARIOUS LOCATIONS WITHIN THIS PROJECT. THERE IS 30 FEET OF GRADE CHANGE ACROSS THIS SITE IN AN EAST - WEST DIRECTION.

**THE ESTATES AT GLENDALE
CONCEPTUAL GRADING &
DRAINAGE PLAN**

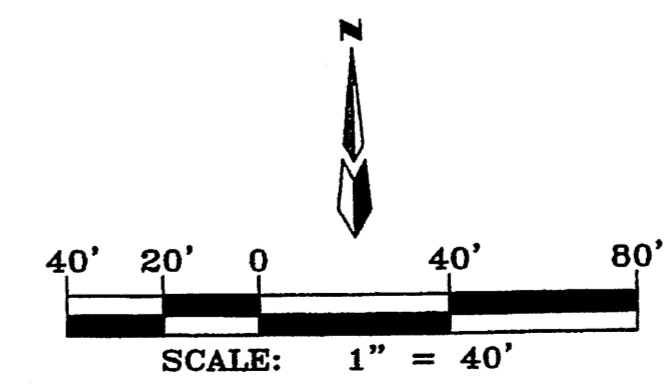
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: GJK	Drawn: ACH	Checked: DMG	Sheet 2 of 4
Scale: AS SHOWN	Date: 01-04-12	Job: A11004	



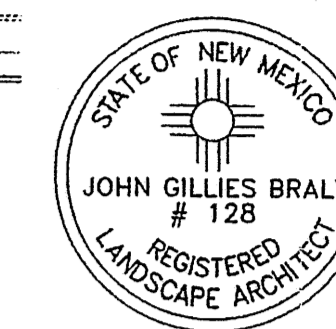
LEGEND

EXISTING CONCRETE CURB	---	NEW LOT LINES	•	NEW SAS MANHOLE
EXISTING FENCE	=====	NEW SIDEWALK	—S	NEW SAS SERVICE
EXISTING WALL OF HEAD WALL	-----	NEW STANDARD CURB & GUTTER	—8" WL	NEW WATERLINE
EXISTING DROP INLET	-----	NEW MEDIAN CURB & GUTTER	—S	NEW FIRE HYDRANT
EXISTING FIRE HYDRANT	-----	NEW RETAINING WALL	—S	NEW BEND
EXISTING SANITARY SEWER MANHOLE	-----	NEW GARDEN WALL	—S	NEW GATE VALVE
EXISTING STORM DRAIN MANHOLE	-----	NEW STORMDRAIN	—S	NEW DBL WATER METER
EXISTING WATER VALVE	-----	NEW STORMDRAIN MANHOLE	—S	
	—8" SAS	NEW SAS	—S	



LAST SAVED: 04-12-12

THE ESTATES AT GLENDALE			
CONCEPTUAL MASTER			
UTILITY PLAN			
dmg		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS	
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: GJK	Drawn: ACH	Checked: DMG	Sheet 3 of 4
Scale: AS SHOWN	Date: 01-04-12	Job: A11004	



Date: 3/9/11

Revisions:

▲ 3/21/11

▲ 4/8/11

▲ 11/09/11

▲ 3/16/12

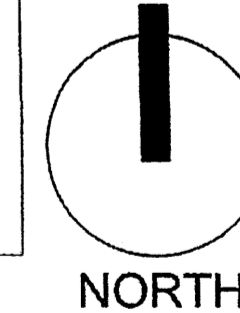
▲ 4/23/12

5/4/12

Drawn by: JC

Reviewed by: GM

The Estates at Glendale
Albuquerque, New Mexico



NORTH

Scale: 1" = 30'

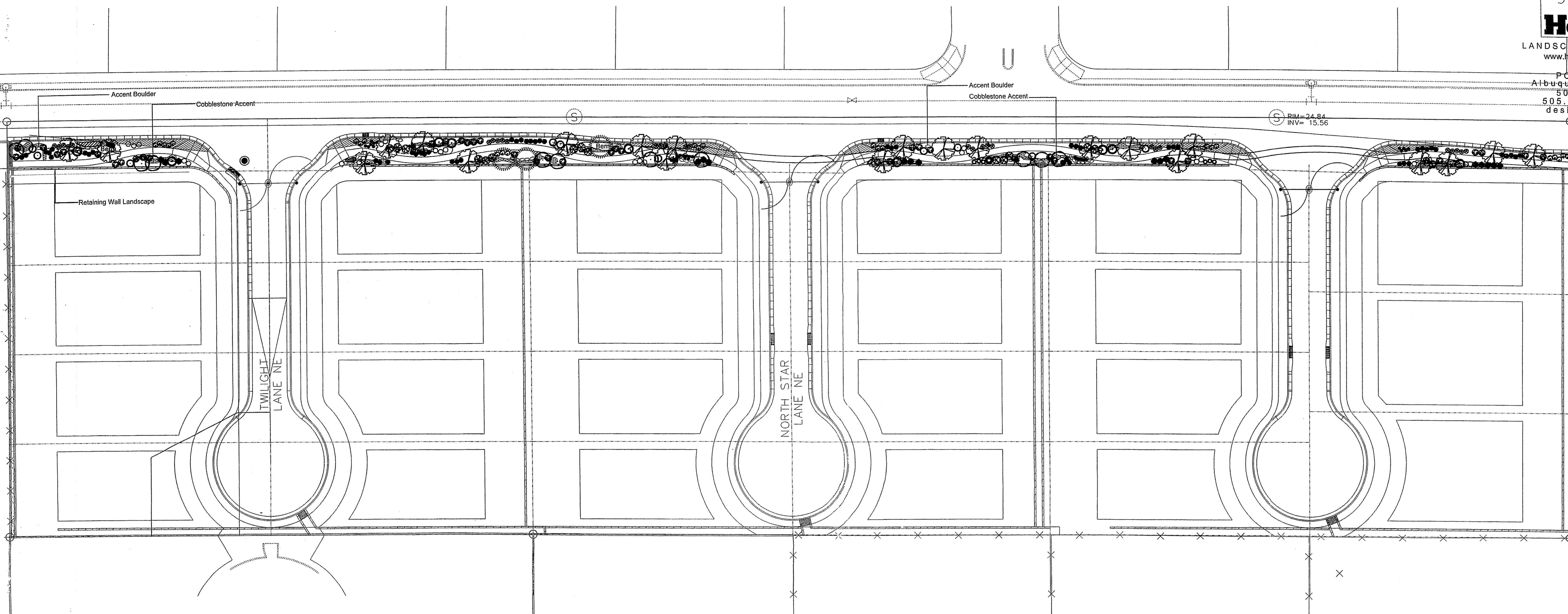


Sheet Title:

Landscape Plan

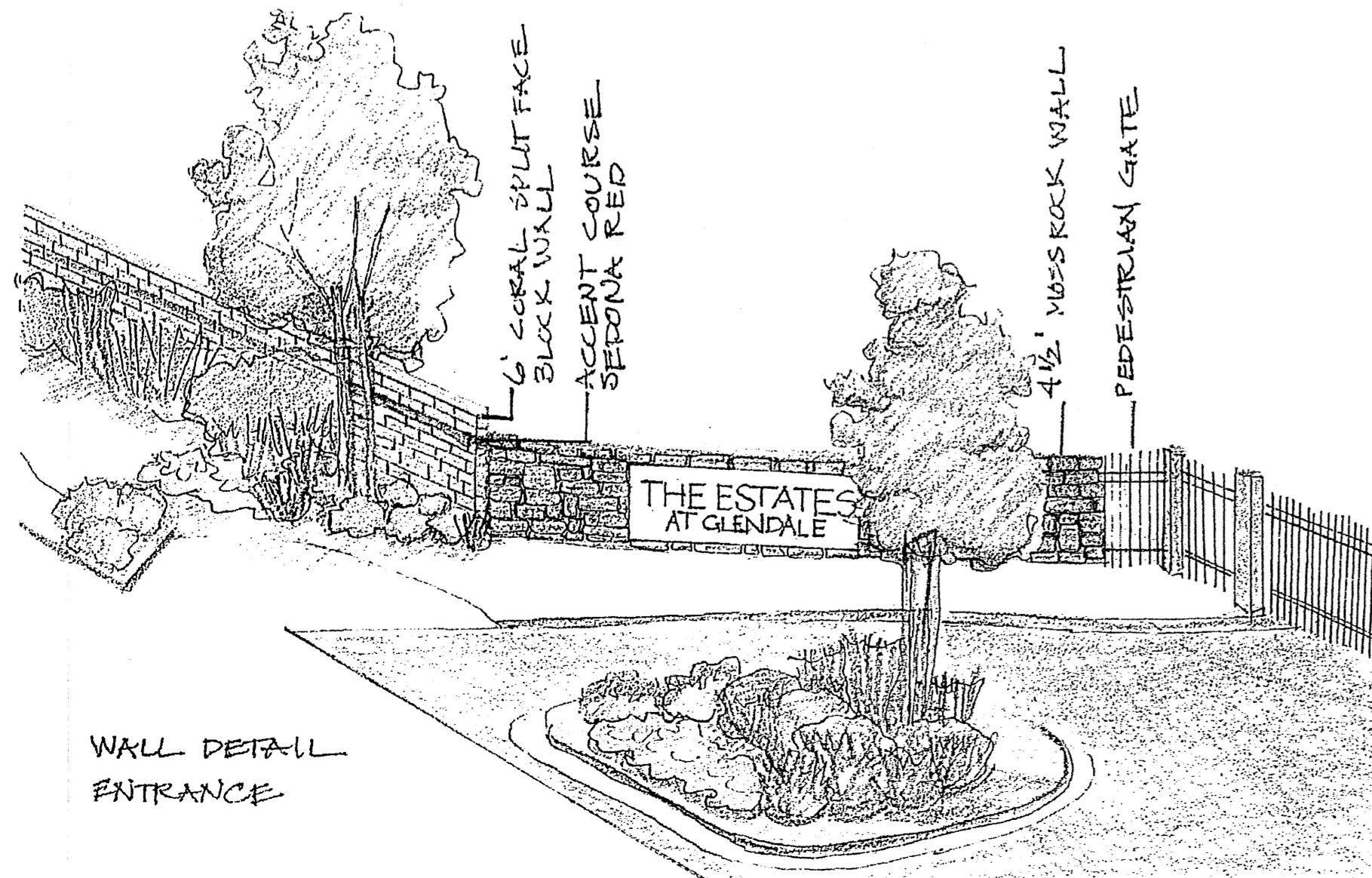
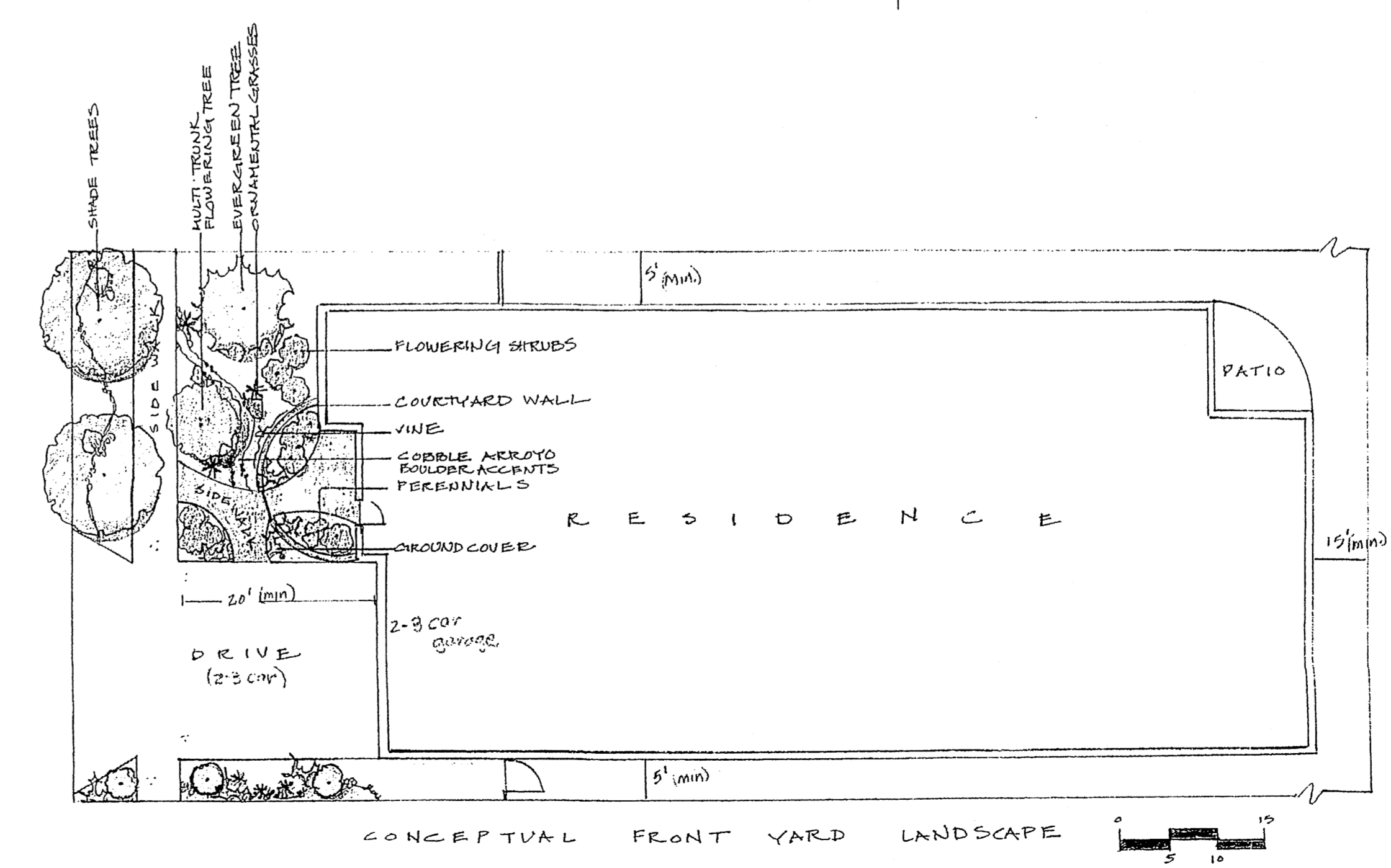
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LS-01

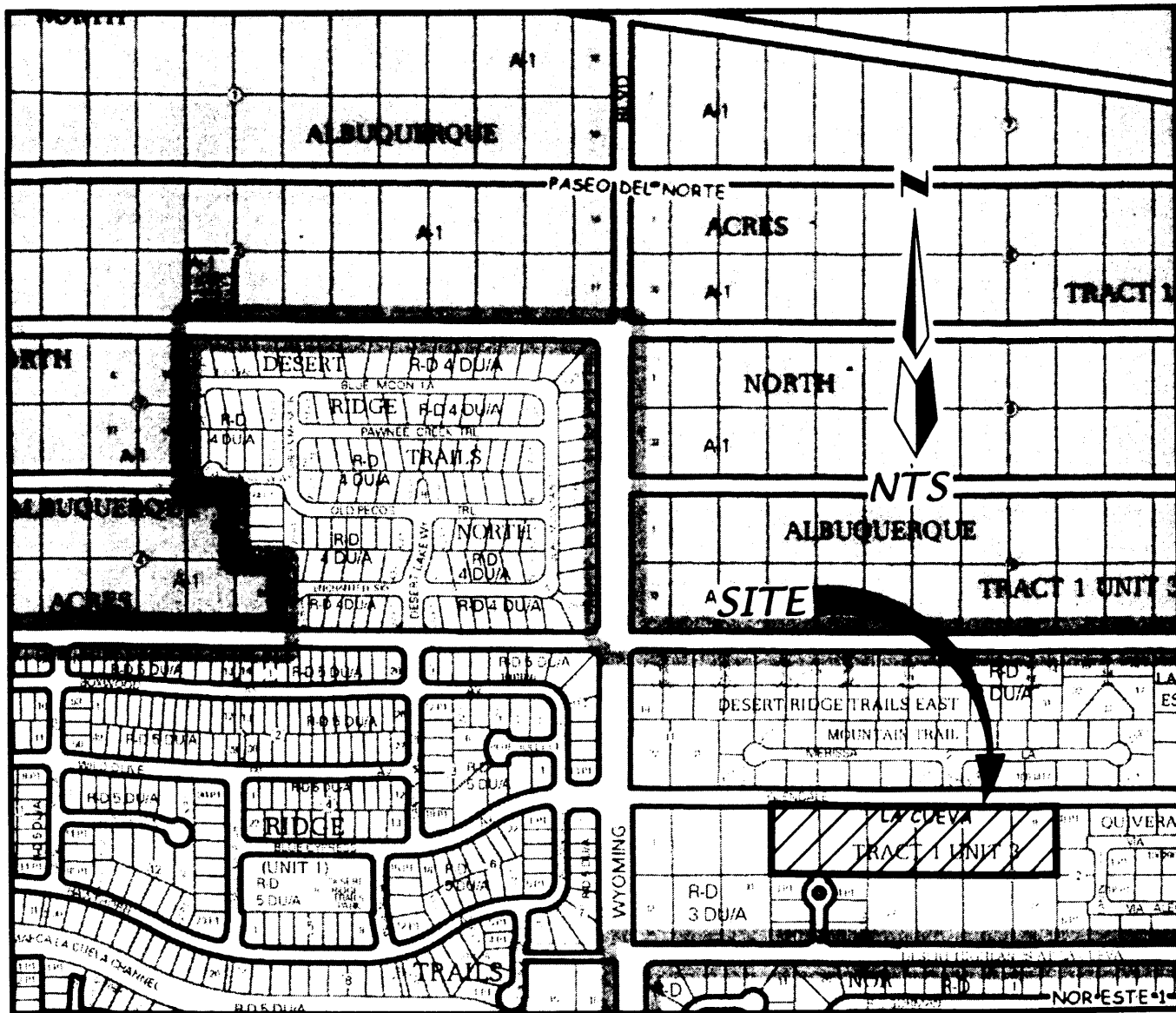


PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Shrubs/Groundcovers	
Trees						
22		Betula Birch	2" B&B	Medium	36 Achillea filipendulina Moonshine Yarrow 1-Gal Medium	
11		Populus Aspen/Multi Trunk	2" B&B	Medium	6 Centranthus Jupiter's Beard 1-Gal Medium	
9		Pinus, Picea Bosnian Pine, Dwarf Spruce	5'-6"	Medium	28 Ericameria laricifolia 'Aguirre' Turpentine Bush 5-Gal Low+	
3		Pinus, Cedrus, Picea Ponderosa Pine, Blue Atlas Cedar, Blue Spruce	5'-6"	Medium	25 Nepeta mussini Giant Catmint 1-Gal Medium	
Shrubs/Groundcovers						
14		Perovskia atriplicifolia Russian Sage	1-Gal	Medium	11 Pinus mugo Mugo Pine 5-Gal Medium	
39		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+	3 Rosmarinus Rosemary 5-Gal Low+	
3		Rosmarinus Rosemary	5-Gal	Low+	24 Lavandula Lavender 5-Gal Low+	
Ornamental Grasses						
17		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium	Perennials	
19		Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium	TBD California Poppy/ Columbine	Flats/Seed/4" pots
19		Liriope Mondo Grass	1-Gal	Low +		
1		Miscanthus Maiden Grass	5-Gal	Low +		



P:\ALBUQUERQUE\The Estates at Glendale\Res\LANDSCAPE\LS-01.dwg, 7/24/2012 12:44:13 PM, stephen



VICINITY MAP NOT TO SCALE ZONE ATLAS: B-19-Z

SUBDIVISION DATA

GROSS ACREAGE	5.9930 Acres
ZONE ATLAS NO.	B-19-Z
NO. OF EXISTING LOTS	6
NO. OF LOTS/TRACTS CREATED	8/2
NO. OF LOTS ELIMINATED	6
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.7068 Acres
DATE OF SURVEY	February, 2011

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate the southern half of Glendale Avenue as shown hereon to the City of Albuquerque in fee simple without warranty covenants and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant private roadway easements as shown hereon and said owner(s) and/or proprietor(s) do hereby consent to the elimination of lot lines as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant: all private access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: ASHTON HOMES, LLC
 BY: RANDALL SCHMILLE
 MANAGING MEMBER

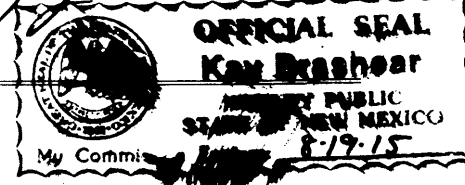
Randall Schmille, Managing Member
 DATE: 7/19/12

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on July 19, 12
 By, Randall Schmille, Managing member, Ashton Homes, LLC, New Mexico a Limited Liability Corporation, A New Mexico Corporation on behalf of said corporation

Kay Cross
 NOTARY PUBLIC
 August 19, 2015
 MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A TRACT OF LAND SITUATE, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 121, TOGETHER WITH A PORTION OF GLENDALE AVENUE NE AND CONTAINING 5.9930 ACRES MORE OR LESS.

PURPOSE OF PLAT

1. SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS, AND 2 TRACTS FOR FUTURE RESIDENTIAL SUBDIVISION.
2. GRANT NEW EASEMENTS AS SHOWN HEREON
3. VACATE EASEMENTS AS SHOWN HEREON
4. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON

NOTES:

1. Bearings Are New Mexico State Plane Grid Bearings (central Zone). (NAD 83).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats and documents of record entitled:
 Plat for "north Albuquerque Acres, Tract 1, Unit 3", (09-10-31, D-121) Being record of Bernalillo County, New Mexico.
5. Unless otherwise noted, all boundary corners are marked by a #5 rebar w/cap stamped "ALS LS 7719" (TYP).
6. **SOLAR NOTE:** No property within the area of this Plat shall be subject to a Deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

**PLAT FOR
 THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2012**

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1008656

Application Number: 12-DRB-70242

PLAT APPROVAL

Utility Approvals:

<i>Fernando Vigil</i> Public Service Company of New Mexico	<u>8-2-12</u> Date
<i>7-8</i> New Mexico Gas Company	<u>8-2-2012</u> Date
<i>Rachelle Ols</i> Qwest Telecommunications	<u>8-2-12</u> Date
<i>Roberto</i> Comcast	<u>8-2-12</u> Date

City Approvals: *[Signature]* 7-23-12
 City Surveyor Date

N/A
 Real Property Division Date

[Signature]
 Traffic Engineering, Transportation Division 08-15-12
 Date

Alfon Pater
 Albuquerque Bernalillo Water Utility Authority 08/15/12
 Date

Carol S. Dumont
 Parks and Recreation Department 8-15-12
 Date

Carita A. Chena
 AMAFCA 8-15-12
 Date

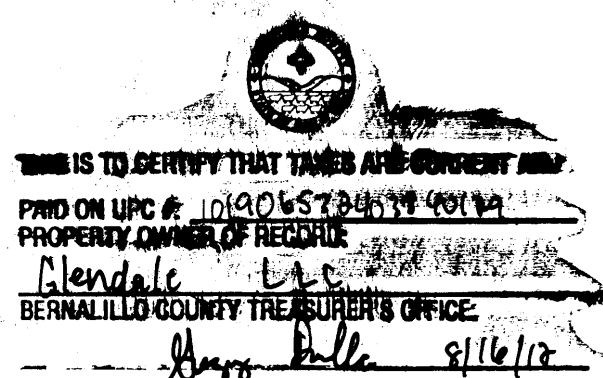
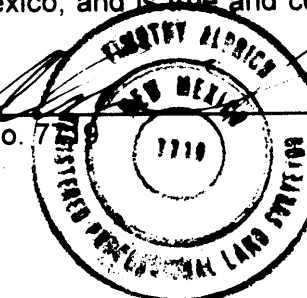
Carita A. Chena
 City Engineer 8-15-12
 Date

Robert F. Dool
 DRB Chairperson, Planning Department 8-16-12
 Date

SURVEYOR'S CERTIFICATION:

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 07/23/12
 Timothy Aldrich, P.S. No. 7 Date

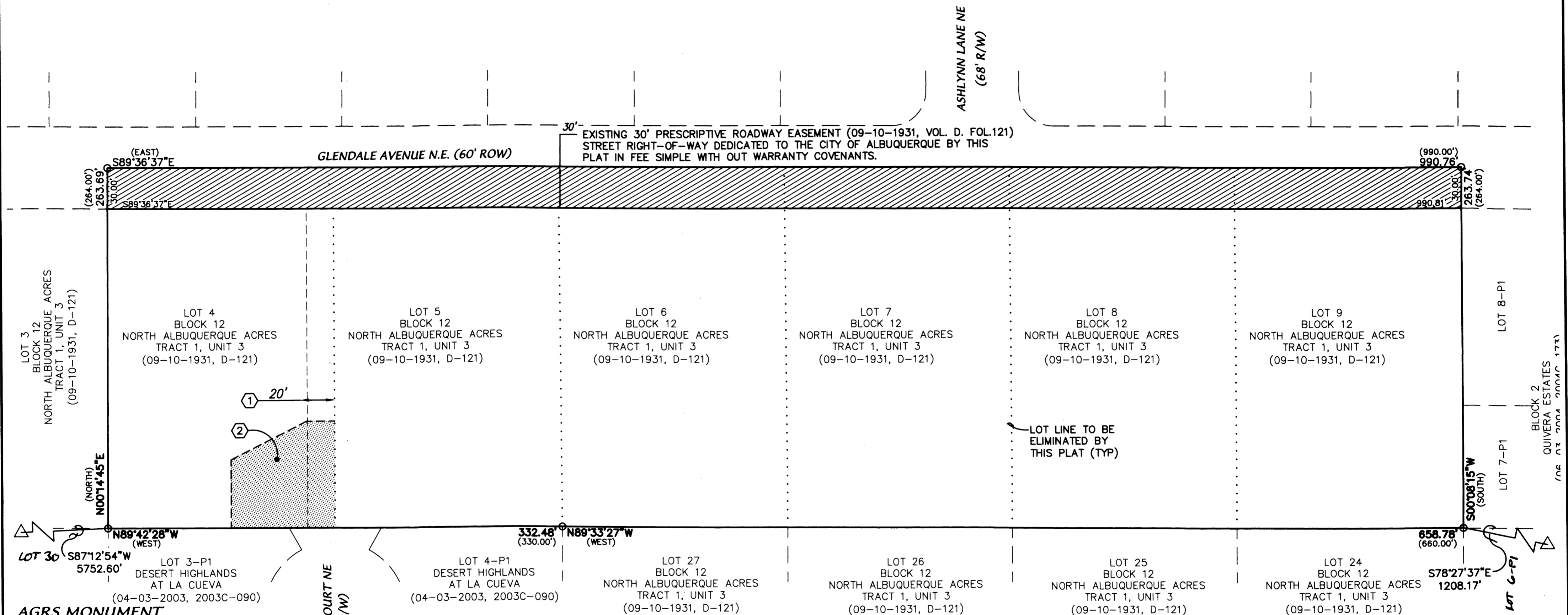


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 08/16/2012 10:44 AM Page 1 of 3
 PLAT R \$25.00 B: 2012C P: 0093 M: Toulous Olivere, Bernalillo Cou

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Scale: AS SHOWN	Date: 6/20/2012	Job: A11004	

PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2012

DOCH 2012083359
 09/16/2012 10:44 AM Page: 2 of 3
 CityPLAT R: \$25.00 B: 2012C P: 0033 M: Toulous Olivere, Bernalillo Co



AGRS MONUMENT

STATION "10-C18"
 N=1524123.885 E=1542565.263
 G-G=0.999665042
 Δα=-00°11'19.43" CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5222.090

AGRS MONUMENT

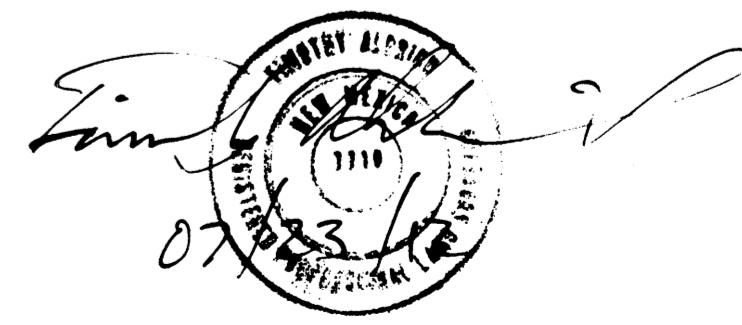
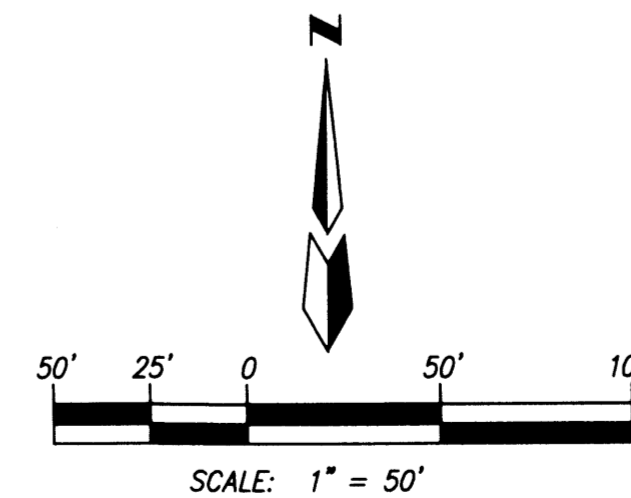
STATION "1-B20"
 N=1524154.945 E=1550483.349
 G-G=0.999651137
 Δα=-00°10'24.45" CENTRAL ZONE
 (NAD1983/NAVD1988)
 ELEVATION=5477.179

LEGEND

- LIMITS OF VACATION
- STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT IN FEE SIMPLE (0.6824 ACRES).

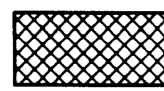
EASEMENTS

- ① EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- ② EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED



A11004_FP_PLAT.dwg	Drawn: SFS	Checked: TA	Sheet 2 of 3
Scale: AS SHOWN	Date: 6/20/2012	Job: A11004	

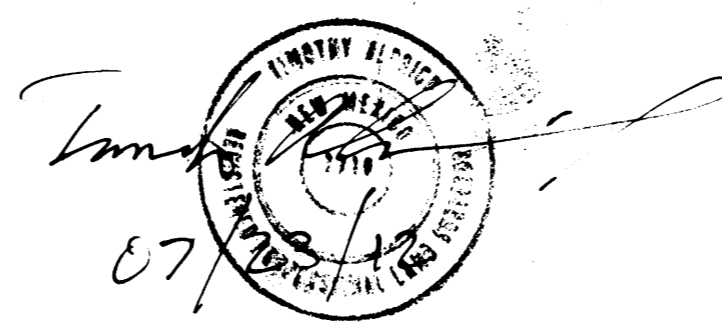
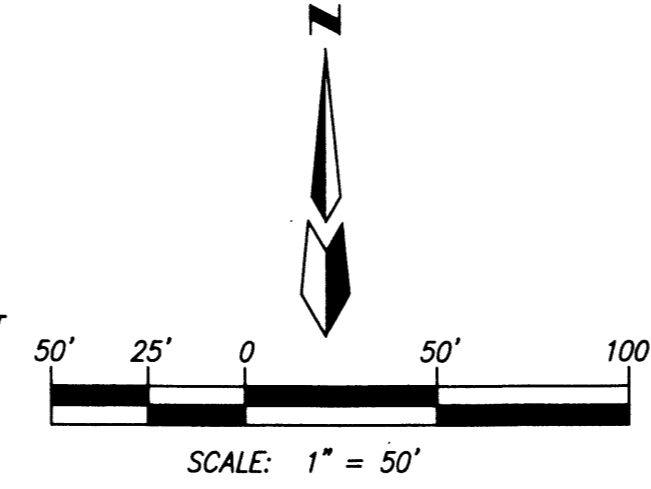
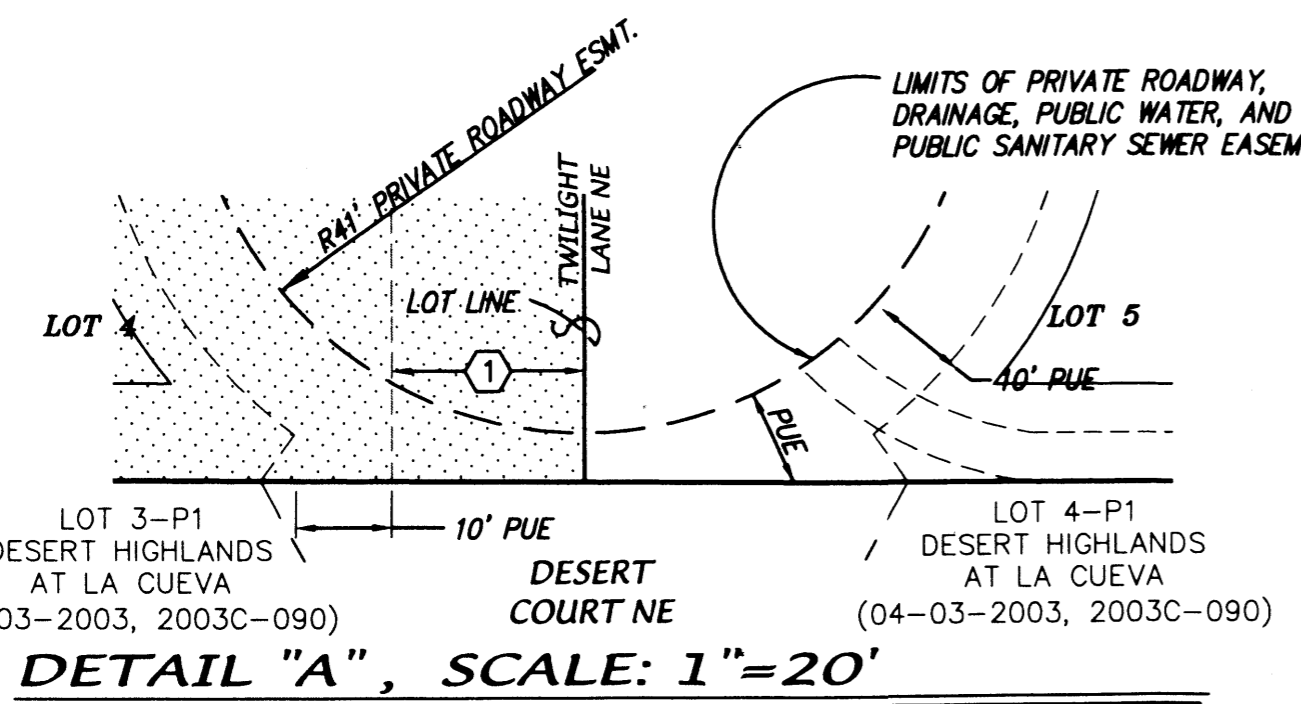
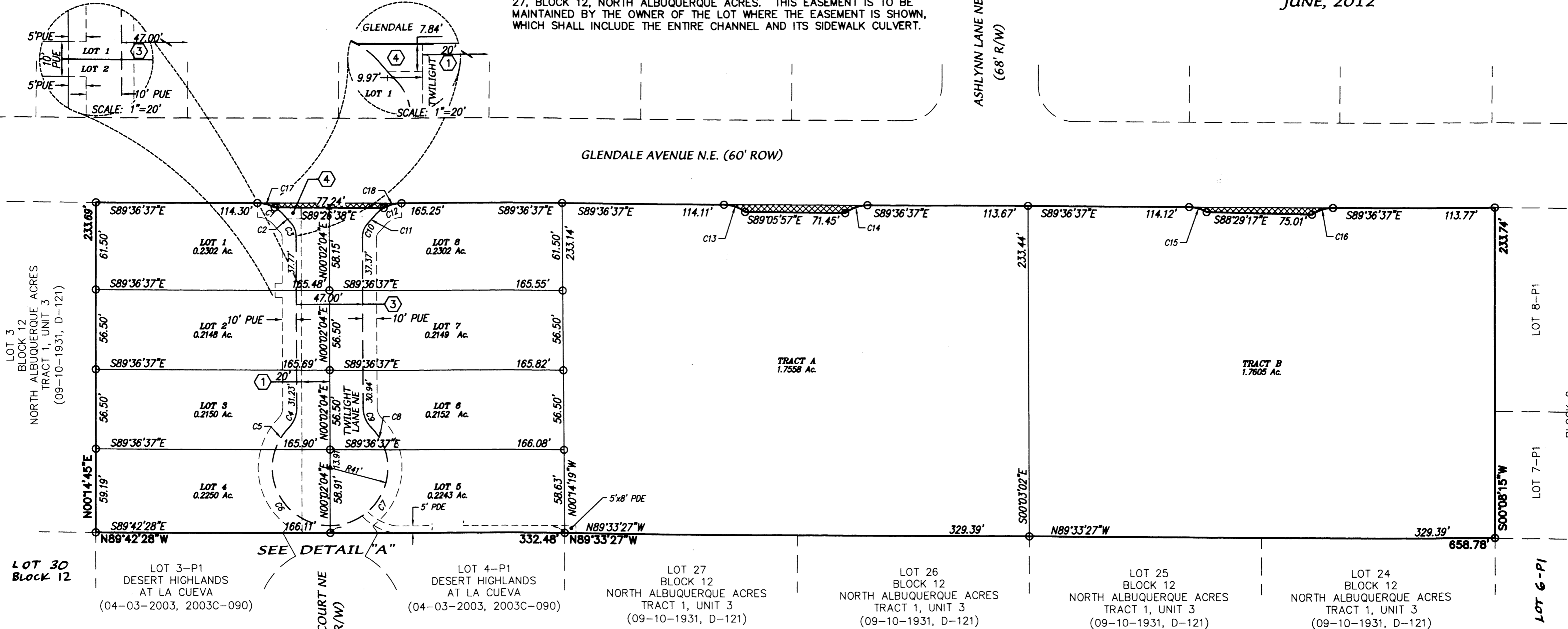
LEGEND

-  ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT IN FEE SIMPLE WITH WARRANTY COVENANTS (0.0244 ACRES).
- ▲ CENTER LINE MONUMENT OF PRIVATE ROADWAY.
- SET 5/8 REBAR WITH CAP "LS 7719".

EASEMENTS

- ① EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- ③ NEW 47' PRIVATE ROADWAY, PRIVATE DRAINAGE, PUBLIC WATER, AND PUBLIC SANITARY SEWER EASEMENT.
- ④ NEW PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- 5' PDE PRIVATE DRAINAGE EASEMENT SHOWN HEREON IS FOR THE BENEFIT OF LOT 27, BLOCK 12, NORTH ALBUQUERQUE ACRES. THIS EASEMENT IS TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN, WHICH SHALL INCLUDE THE ENTIRE CHANNEL AND ITS SIDEWALK CULVERT.

**PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 7
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2012**



PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. New Mexico Gas Company (NMCCO) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Qwest Communications Company Link (QWEST) for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together

with free access to, from, and over said right-of-way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right-of-way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

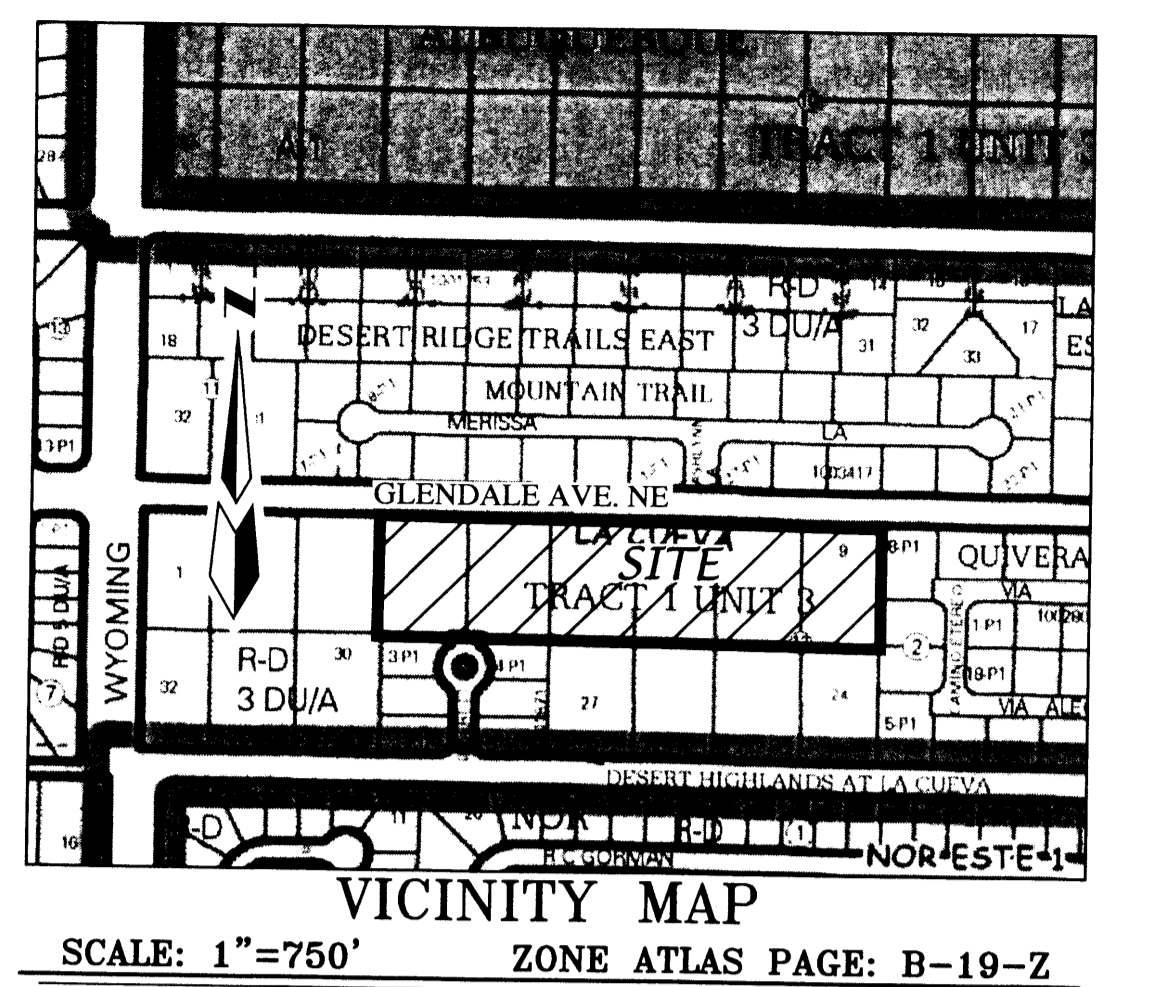
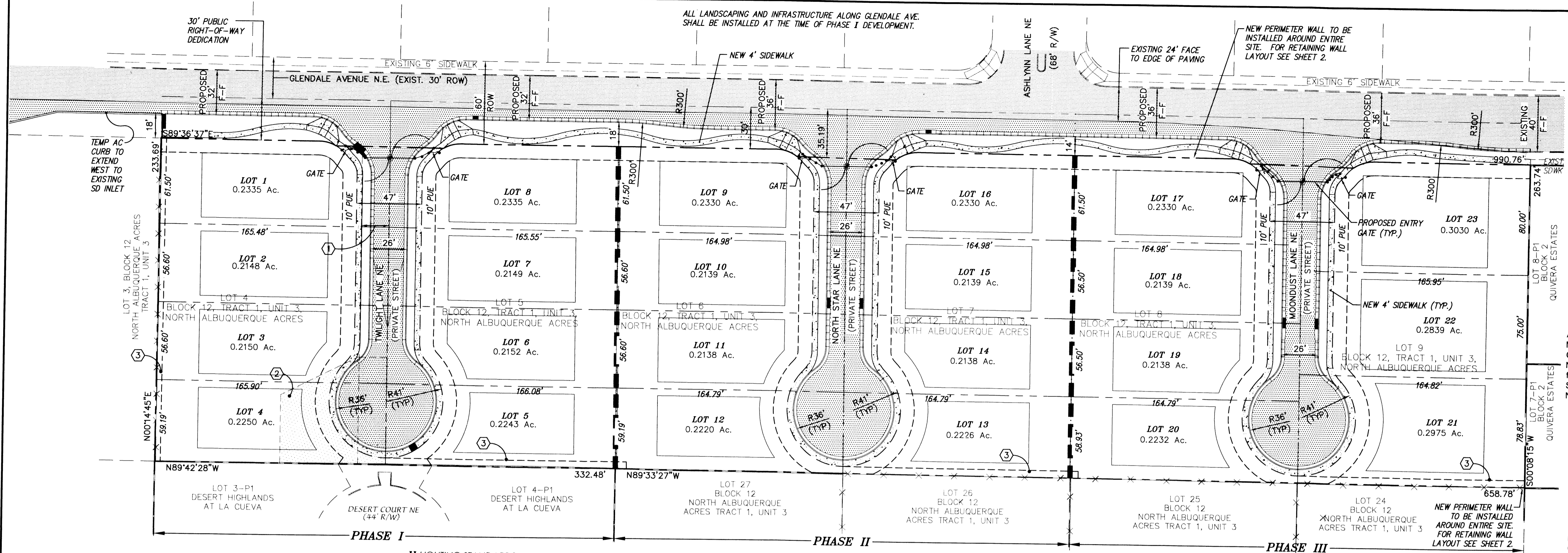
DISCLAIMER In approving this plat, PNM, NMCCO, QWEST and COMCAST did not conduct a title search of the properties shown hereon.

Consequently, PNM, NMCCO, QWEST and COMCAST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

DOC# 2012083359
08/16/2012 10:44 AM Page: 3 of 3
 City: PLAT 2-325 00 B: 2012C P: 0093 M: Toulous Olivero, Bernalillo Cou

A11004_FP_PLAT.dwg	Drawn: SPS	Checked: TA	Sheet 3 of 3
Scale: AS SHOWN	Date: 6/28/2012	Job: A11004	

DRB NO. 1008656 CITY PROJECT NO. 702783 SHEET 3 OF 10



LEGAL DESCRIPTION
 A tract of land situated within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

THE SITE:
 The site area is presently vacant, zoned RD - 3 DU/AC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
 The property is to be changed to SU-1 for RD - 5 DU/AC. Allowed uses shall be as permitted in the R-T zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.
Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from Glendale is also gated.

Transit Access: Route 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS:
 Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-SITE PARKING:
 Minimum number of off-street parking spaces shall be provided according to the Intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
 Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail this sheet).

MAXIMUM TOTAL DWELLING UNITS:
 Maximum total number of residential units shall be 23.

LANDSCAPE STANDARDS:
 For Landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

OPEN SPACE:
 Minimum open space provided per dwelling shall be in accordance with the R-D zone.

APPROVALS PROCESS:
 Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

APPLICATION NUMBER: _____ **PROJECT NUMBER:** 1008656

City Approvals:

Traffic Engineering, Transportation Division	<i>[Signature]</i>	04/25/12
Utilities Development	Allan Pester	04/25/12
Parks and Recreation Department	<i>[Signature]</i>	4-25-12
City Engineer	<i>[Signature]</i>	4-25-12
DRB Chairperson, Planning Department	<i>[Signature]</i>	7-27-12

SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines and the DPM.

- I ARCHITECTURAL STANDARDS**
- The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
 - Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
 - Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.
 - Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.
 - Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
 - Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

II LIGHTING STANDARDS

- Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.
- The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

- Front Yard Minimum**
 - Accent Trees at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
 - Shrubs (minimum 5 gallon)
 - Shrubs (minimum 1 gallon)
 - Landscape Boulders (3' x 3' minimum)
 - Shade Tree in R/W at least 1-1/2" caliper or 10 feet high at the time of planting
- Accentuating "river rock" and bark mulch or pecan shells are also permitted in front yard landscaping.
- At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.
- Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

IV WALLS

- Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
- Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.
- Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- Maximum wall heights shall be 6 feet, unless they are retaining walls.
- Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

- All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
- Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING

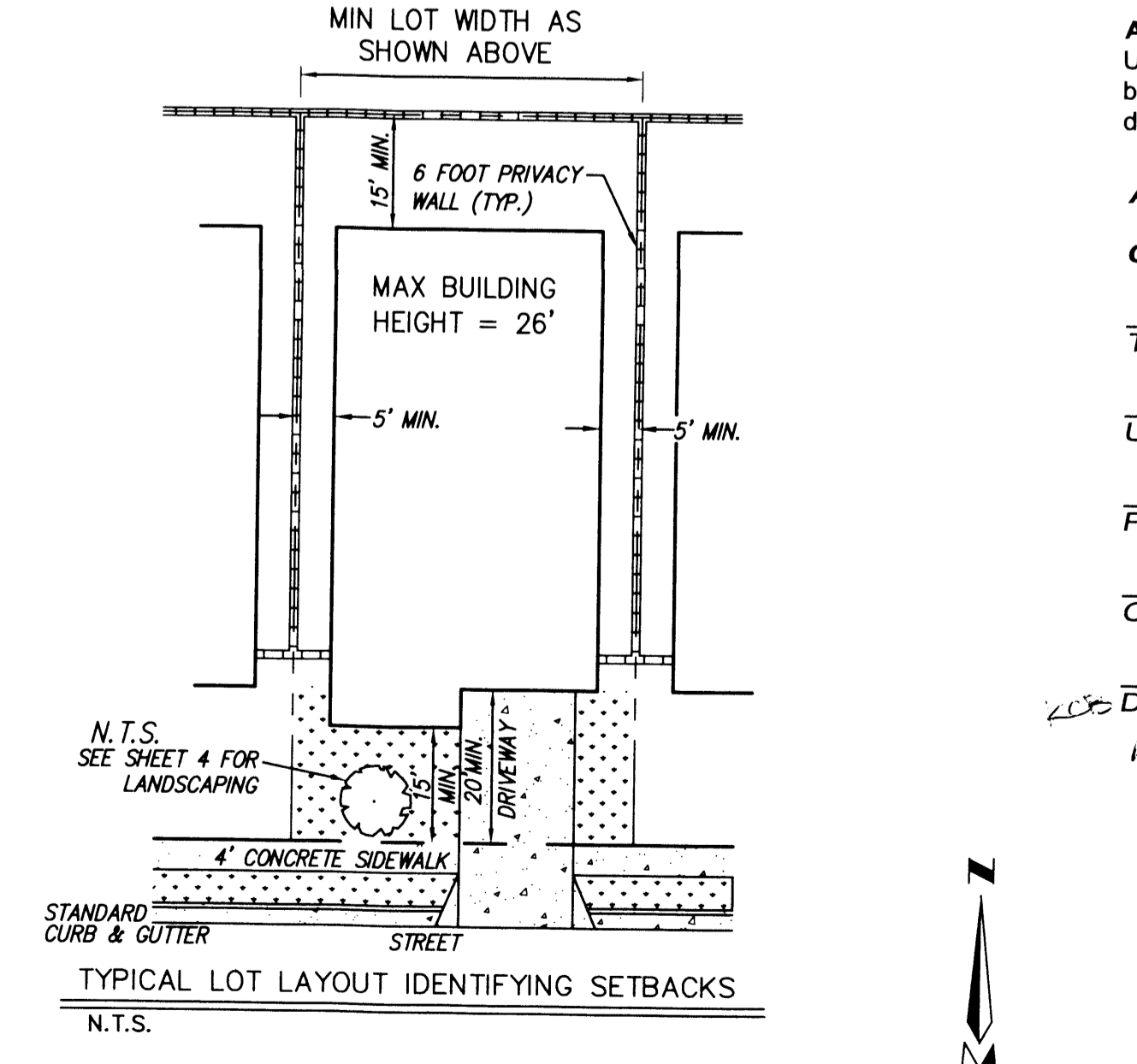
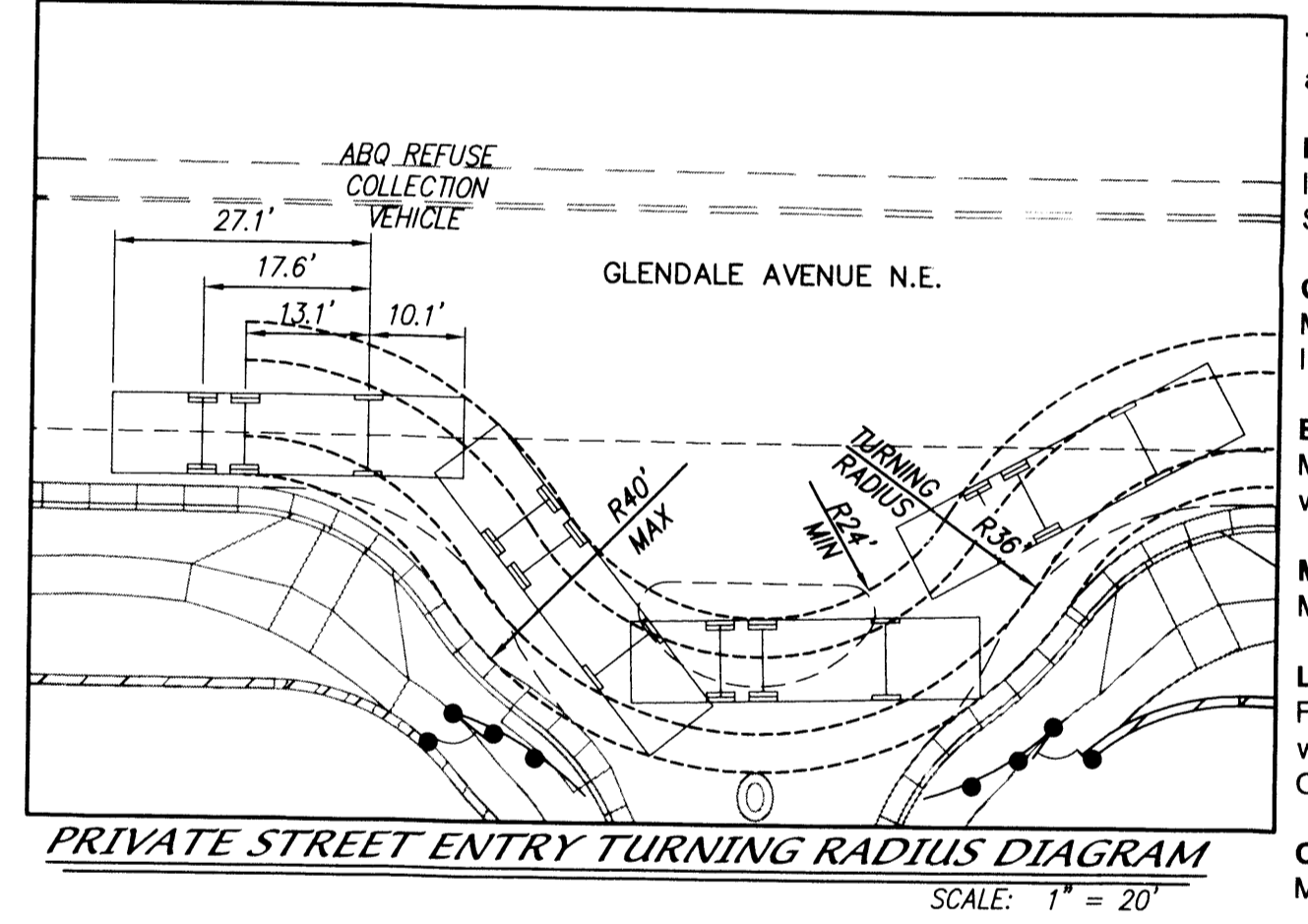
- Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

VII OPEN SPACE

- Open space shall be provided on each lot in accordance with Section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE

- Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.



LEGEND

	NEW EASEMENT		EXISTING PAVING
	PROPERTY LINE		AREA OF EXISTING EASEMENT VACATION
	EXISTING CURB		NEW PAVEMENT
	EXISTING FENCE		PHASE BOUNDARY
	EXISTING WALL		WROUGHT IRON FENCE & GATE
	NEW SIDEWALK		
	NEW STORM DRAIN INLET		
	NEW WALL		

EASEMENTS

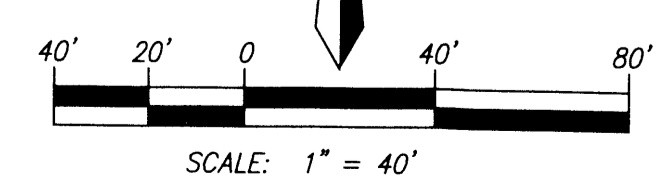
- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672)
- NEW PRIVATE DRAINAGE EASEMENT.

PLAN INDEX

SITE PLAN FOR SUBDIVISION	1
CONCEPTUAL GRADING & DRAINAGE PLAN	2
CONCEPTUAL UTILITY PLAN	3
LANDSCAPING PLAN	4

PREPARED BY:
 D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

PREPARED FOR:
 GLENDALE, LLC
 7101 NATALIE JANAE LANE NE CT. NE
 ALBUQUERQUE, NM 87109
 PH: (505) 315-0312

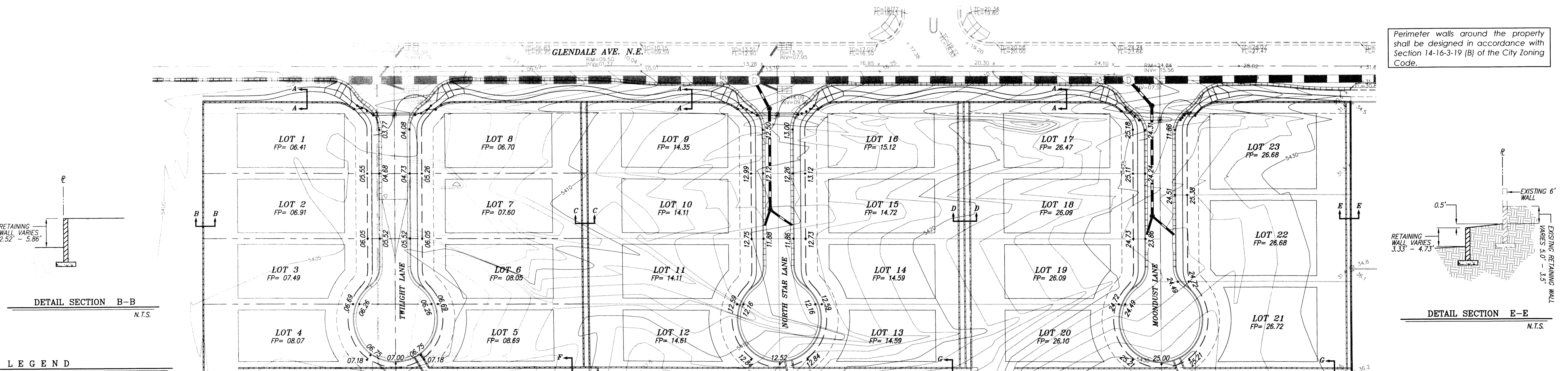
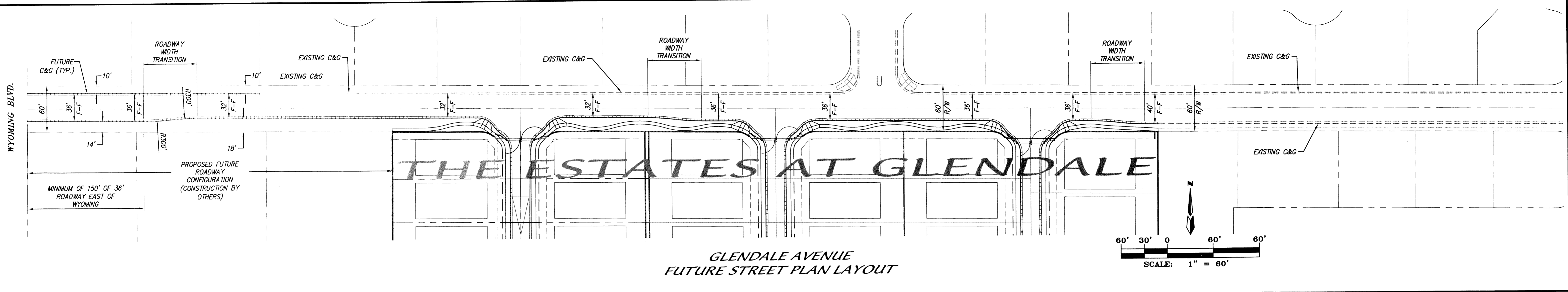


ESTATES AT GLENDALE
SITE PLAN FOR SUBDIVISION
(SU-1 RD 5DU/AC)

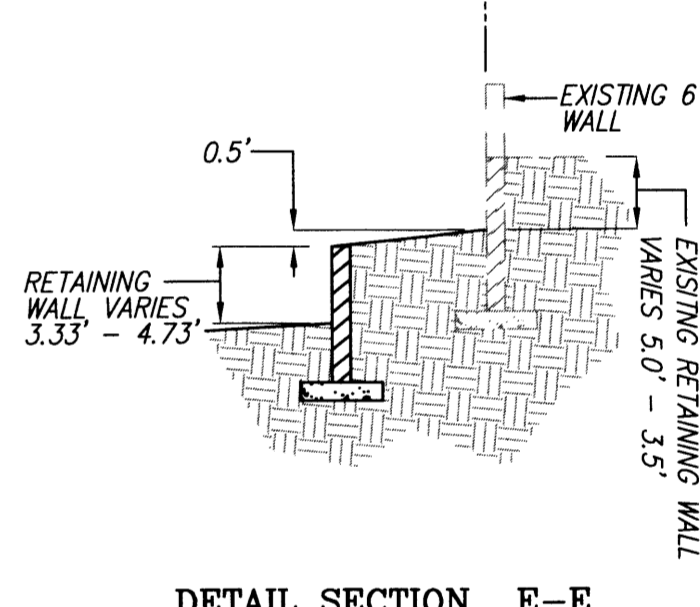
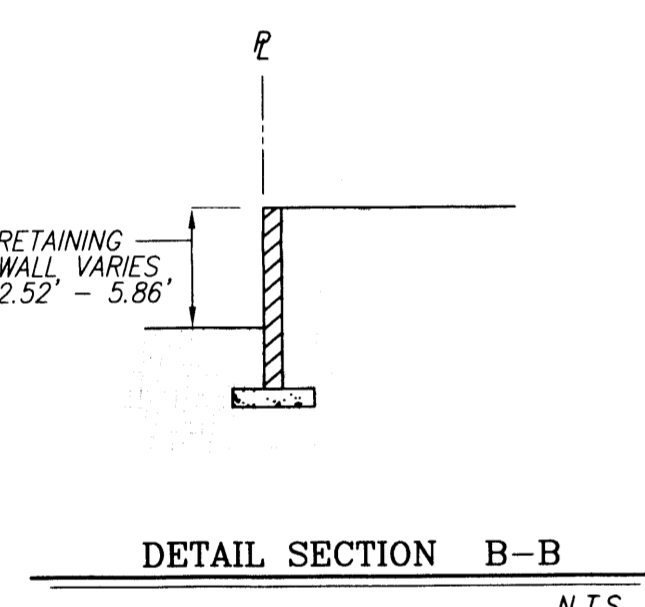
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: SPS Checked: DMG
 Scale: 1" = 40' Date: 02/21/2012 Job: A11004 Sheet 1 of 4

LAST REVISED: 04-23-12

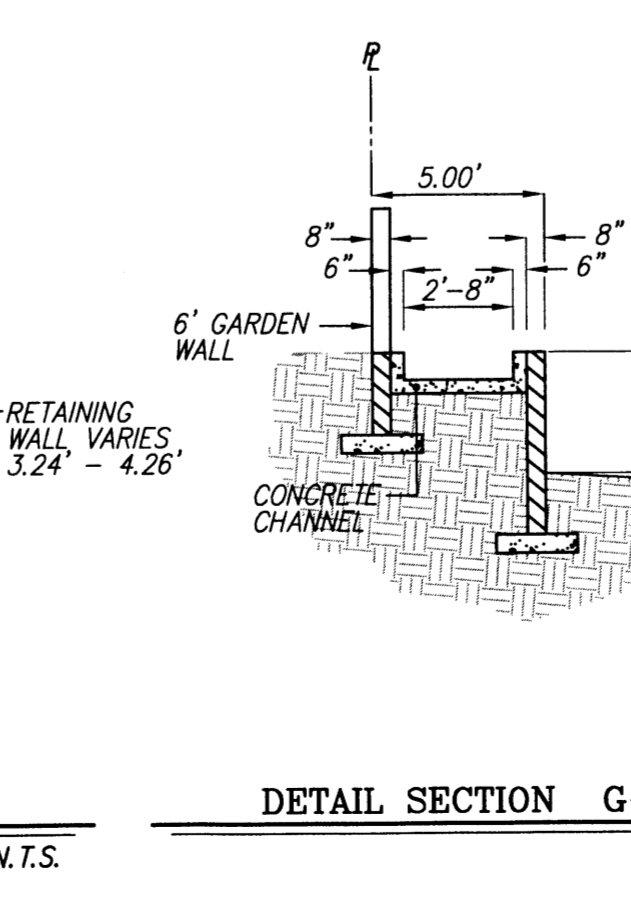
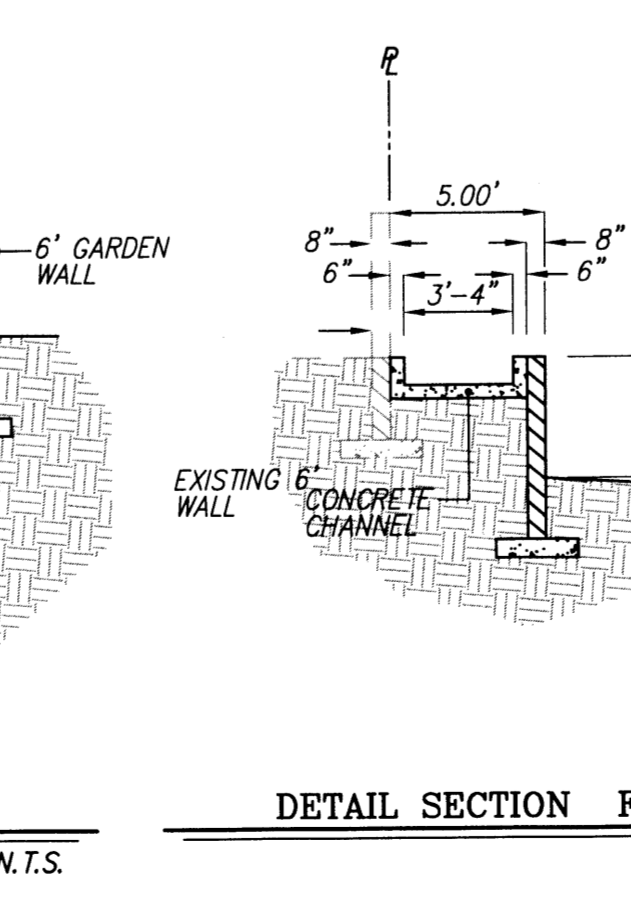
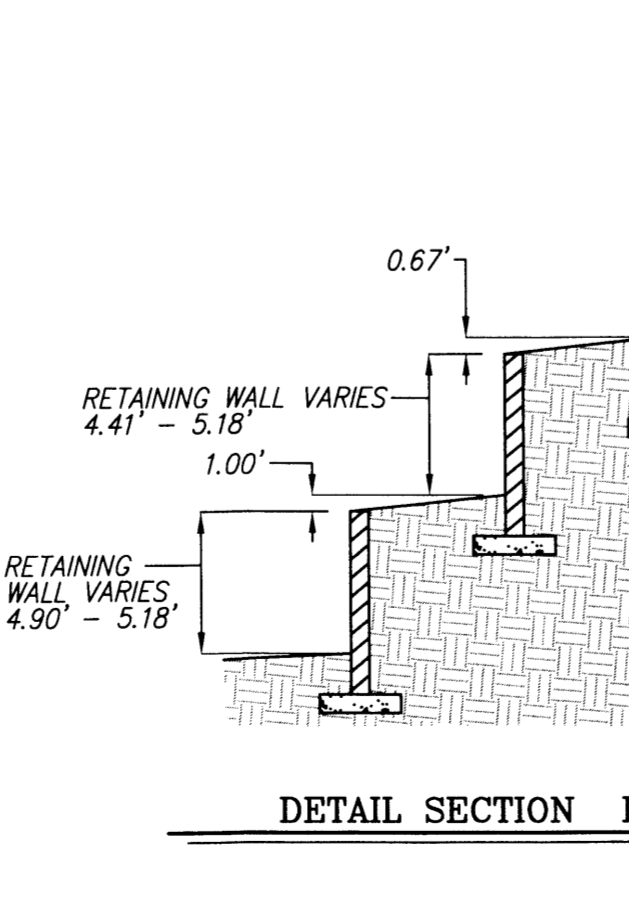
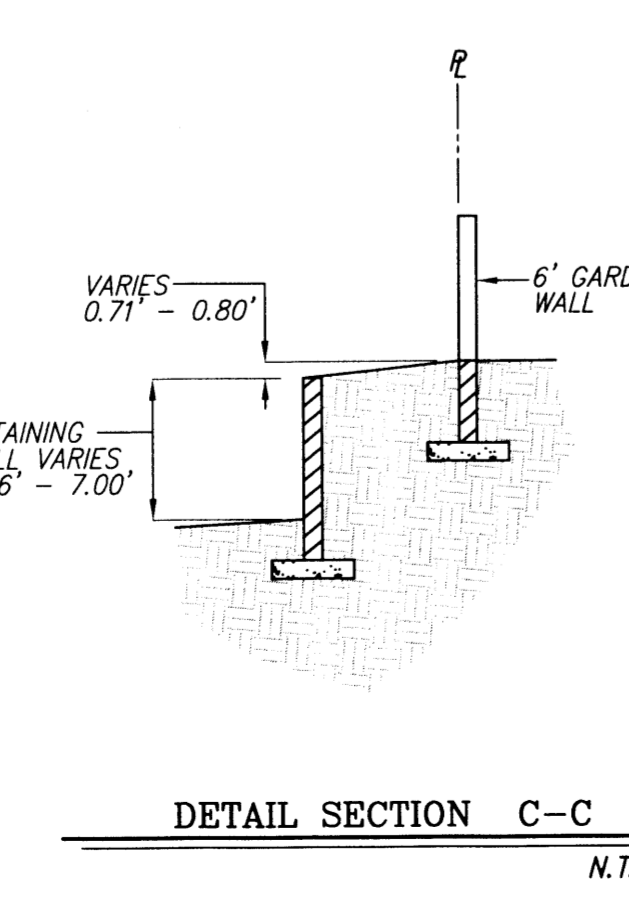
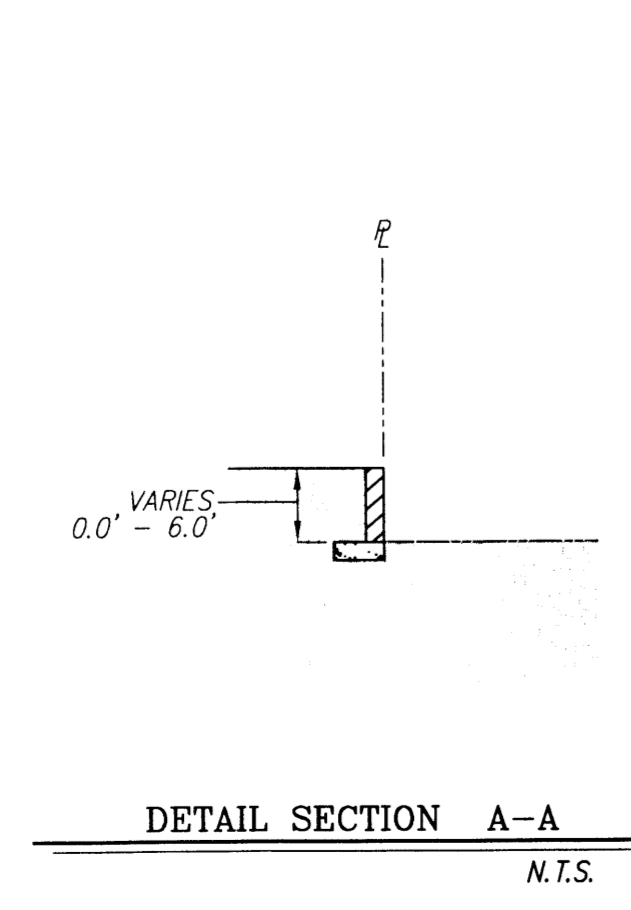


Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.



LEGEND

- EXISTING CONCRETE CURB
- EXISTING FENCE
- EXISTING WALL OF HEAD WALL
- EXISTING TOP CURB/FLOWLINE
- EXISTING SPOT ELEVATION
- EXISTING DROP INLET
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING WATER VALVE
- EXISTING CONTOUR - MAJOR
- EXISTING CONTOUR - MINOR
- NEW LOT LINES
- NEW SIDEWALK
- NEW STANDARD CURB & GUTTER
- NEW MEDIAN CURB & GUTTER
- NEW RETAINING WALL
- NEW GARDEN WALL
- NEW STORMDRAIN
- NEW STORMDRAIN MANHOLE
- NEW SPOT ELEVATION

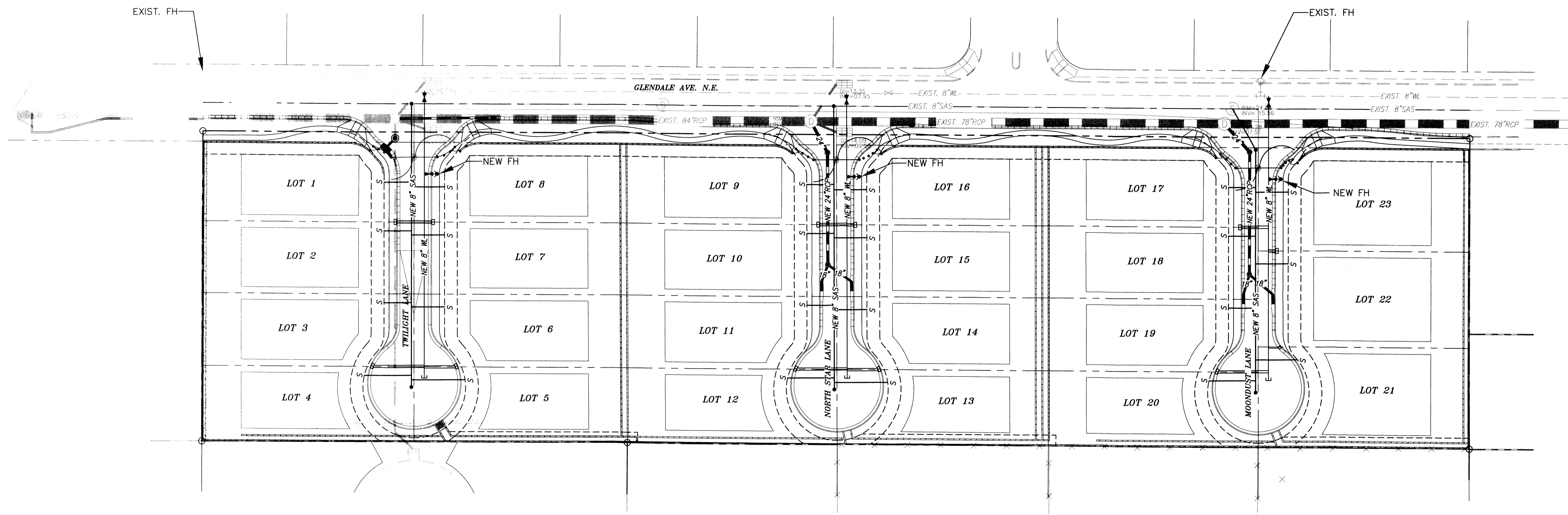


UPON COMPLETION OF ONSITE GRADING OPERATIONS ALL DISTURBED SURFACES ON THE SITE SHALL BE STABILIZED WITH NATIVE SEED AND IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH THE NEW VEGETATION.

DRAINAGE MANAGEMENT PLAN
 THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFF-SITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN CONCRETE-LINED SIDEYARD SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE NEW PRIVATE STREETS, WHICH WILL THEN DRAIN INTO THE EXISTING 84" RCP IN GLENDALE AVE. VIA 7 NEW INLETS BEING CONSTRUCTED AT VARIOUS LOCATIONS WITHIN THIS PROJECT. THERE IS 30 FEET OF GRADE CHANGE ACROSS THIS SITE IN AN EAST - WEST DIRECTION.

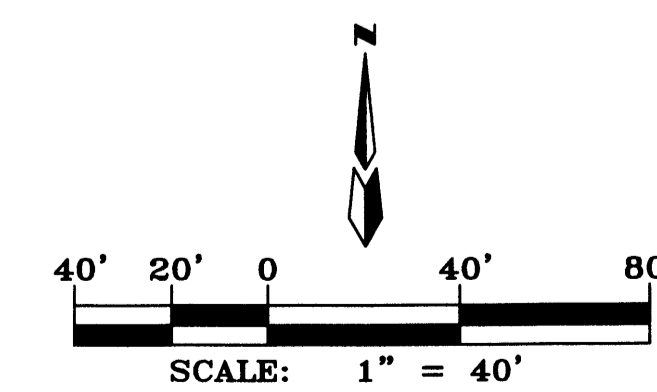
THE ESTATES AT GLENDALE CONCEPTUAL GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539



LEGEND

EXISTING CONCRETE CURB	--- NEW LOT LINES	• NEW SAS MANHOLE
EXISTING FENCE	--- NEW SIDEWALK	—S— NEW SAS SERVICE
EXISTING WALL OF HEAD WALL	--- NEW STANDARD CURB & GUTTER	—8" WL— NEW WATERLINE
EXISTING DROP INLET	--- NEW MEDIAN CURB & GUTTER	⊥ NEW FIRE HYDRANT
EXISTING FIRE HYDRANT	--- NEW RETAINING WALL	⊘ NEW BEND
EXISTING SANITARY SEWER MANHOLE	--- NEW GARDEN WALL	⊘ NEW GATE VALVE
EXISTING STORM DRAIN MANHOLE	--- NEW STORMDRAIN	⊘ NEW DBL WATER METER
EXISTING WATER VALVE	• NEW STORMDRAIN MANHOLE	
	---8" SAS--- NEW SAS	

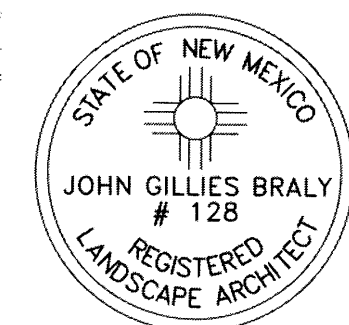


**THE ESTATES AT GLENDALE
CONCEPTUAL MASTER
UTILITY PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

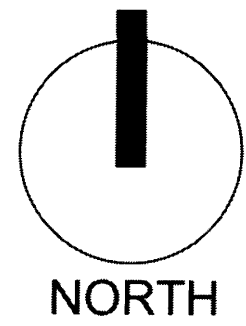
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LAST SAVED: 04-12-12



Date: 3/9/11
Revisions:
▲ 3/21/11
▲ 4/8/11
▲ 11/09/11
▲ 3/16/12
▲ 4/23/12
▲ 5/4/12
Drawn by: JC
Reviewed by: GM

The Estates at Glendale
Albuquerque, New Mexico



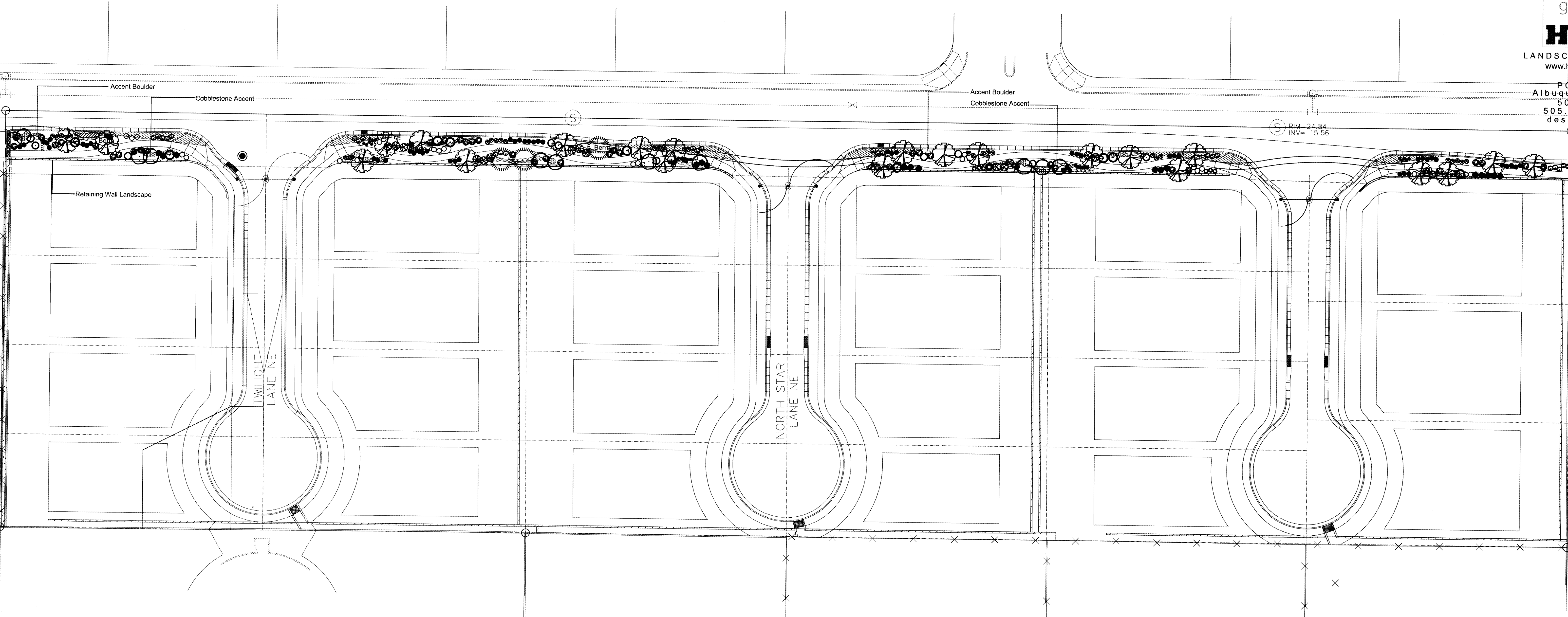
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Landscape Plan

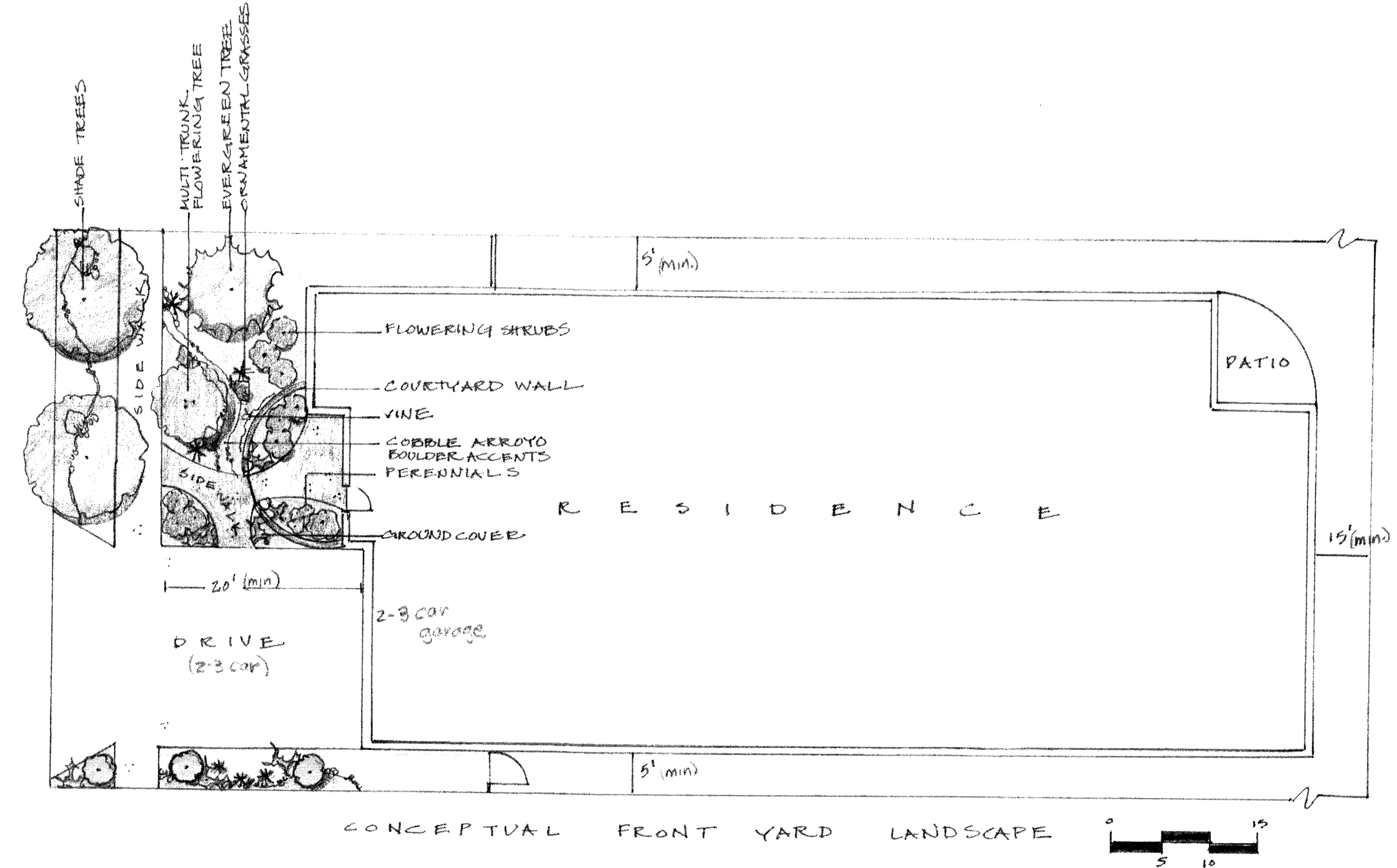
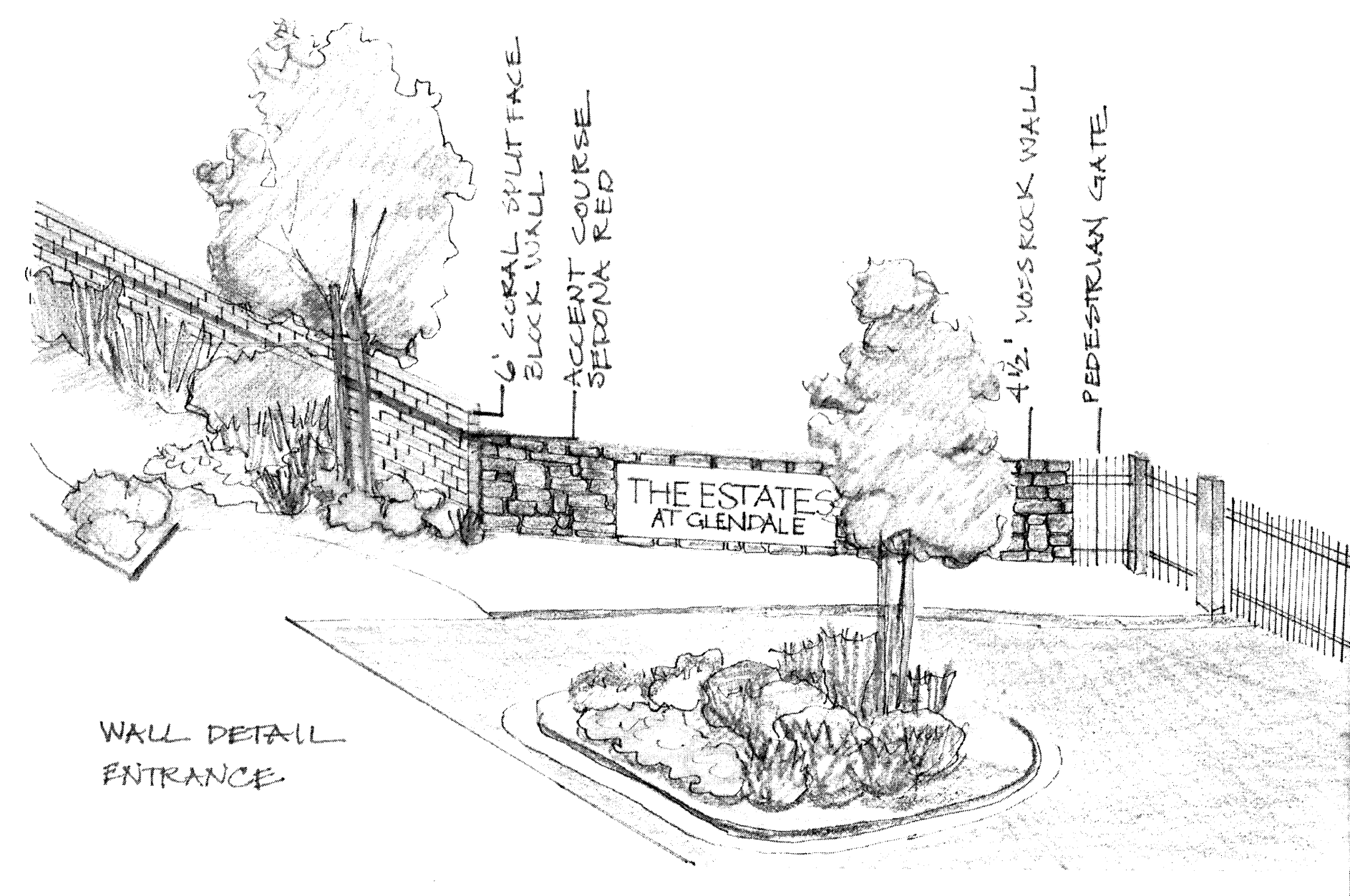
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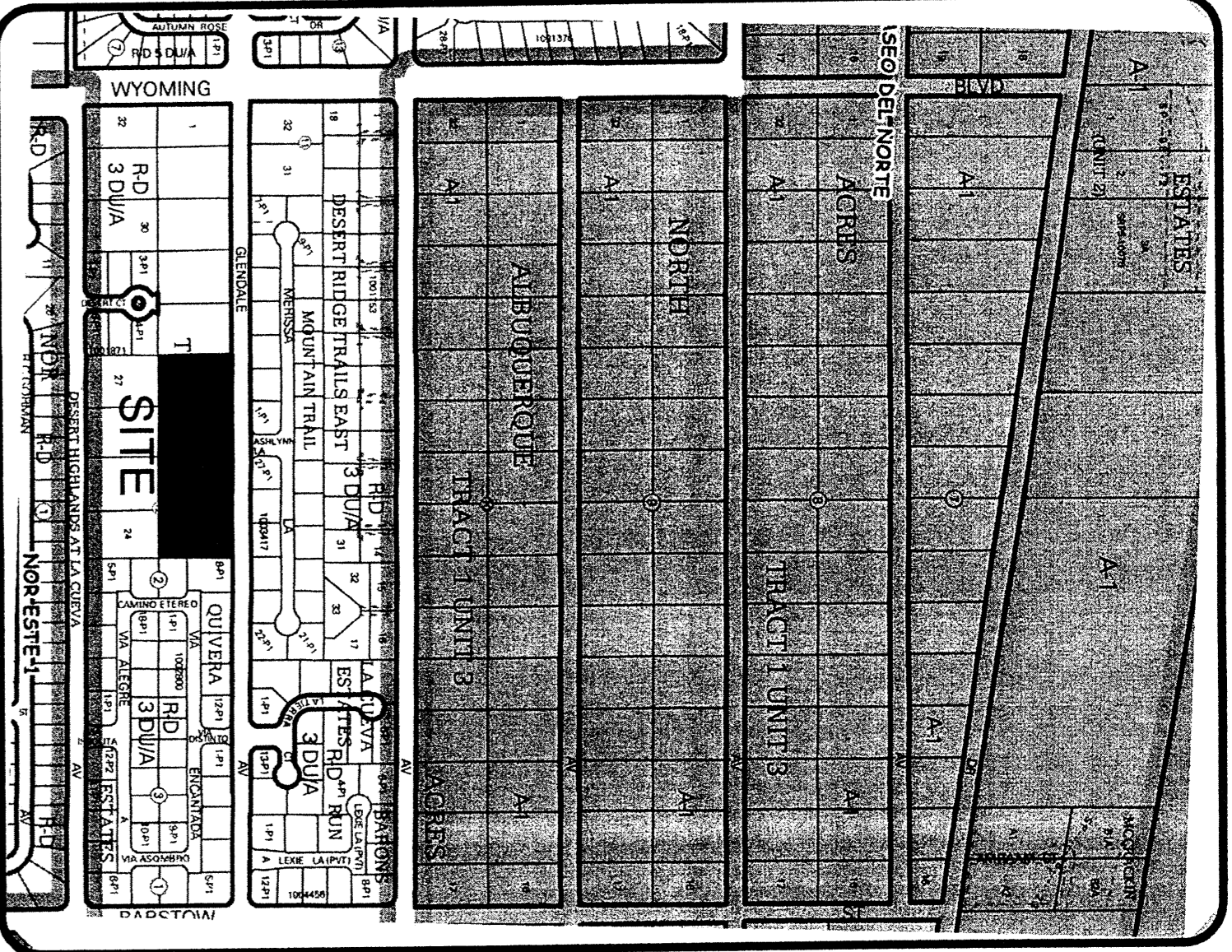


PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use	Shrubs/Groundcovers	Quantity	Water Use		
Trees									
22		Betula Birch	2" B&B	Medium	36		Achillea filipendulina Moonshine Yarrow	1-Gal	Medium
11		Populus Aspen/Multi Trunk	2" B&B	Medium	6		Centranthus Jupiter's Beard	1-Gal	Medium
9		Pinus, Picea Bosnian Pine, Dwarf Spruce	5'-6'	Medium	28		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
3		Pinus, Cedrus, Picea Ponderosa Pine, Blue Atlas Cedar, Blue Spruce	5'-6'	Medium	25		Nepeta mussini Giant Catmint	1-Gal	Medium
Shrubs/Groundcovers									
					14		Perovskia atriplicifolia Russian Sage	1-Gal	Medium
					11		Pinus mugo Mugo Pine	5-Gal	Medium
					39		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
					3		Rosmarinus Rosemary	5-Gal	Low+
					24		Lavandula Lavender	5-Gal	Low+
Ornamental Grasses									
					17		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
					19		Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium
					19		Liriope Mondo Grass	1-Gal	Low +
					1		Miscanthus Maiden Grass	5-Gal	Low +
Perennials									
TBD		California Poppy/ Columbine					Flats/Seed/4" pots		



FILED: 3/10/11 11:04 AM, Glendale, New Mexico, 7747/2012, 12:44:13 PM, asphm



ZONE ATLAS B-19-Z NO SCALE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE 8 LOTS FROM 2 LOTS, GRANT PRIVATE ACCESS EASEMENTS, PRIVATE DRAINAGE EASEMENTS, PUBLIC WATER AND SANITARY EASEMENTS, GRANT RIGHT OF WAY IN FEET SPLIT TITLE WITH WARRANTY COVENANTS AND GRANT PUBLIC UTILITY EASEMENTS.

NOTES:

1. BEARINGS ARE GRID BASED--NEW MEXICO STATE PLANE CENTRAL ZONE (MAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 21082", AND DERICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD

SUBDIVISION DATA:

DR#8
ZONE ATLAS INDEX NO. B-19-Z
DATE OF FIELD SURVEY: JULY, 2014
TOTAL NO. OF TRACTS EXISTING: 2
TOTAL NO. OF LOTS CREATED: 8
GROSS SUBDIVISION ACREAGE: 3.51583

DOCUMENTS USED:

THE ESTATES @ GLENDALE UNIT 1 VOL. 2012C FOLIO 103

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4.7 OF THE SUBDIVISION ORDINANCE
NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

LEGAL DESCRIPTION:
TRACTS LETTERED A AND B OF THE CORRECTED GLENDALE ESTATES UNIT 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN PLAT BOOK 2012C, FOLIO 103.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF: PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF COVERED AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
QUEST CORPORATION D.B.A. CENTURY LINK, CC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF FIBER OPTIC CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.
INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, REPAIR, OPERATE AND MAINTAIN FACILITIES FOR PUBLIC UTILITIES DESCRIBED ABOVE, HEREIN AND UPON, HERE AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED ON THE EASEMENT. OWNERS SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EASEMENTS FROM NEARBY EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREIN. CONSEQUENTLY, PUBLIC SERVICE COMPANY, NEW MEXICO GAS COMPANY, CENTURY LINK AND COMCAST WILL NOT BE BE HELD RESPONSIBLE FOR ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNERS AND PROPRIETORS OF THE LAND HEREIN DESCRIBED AND BEING COVENANTORS AND GRANTORS OF THE CORRECTED GLENDALE ESTATES UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS AND SAID OWNERS AND/OR PROPRIETORS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FREE AND CLEAR TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS AND DEDICATE ALL RIGHT WAYS SHOWN HEREIN IN FREE SIMPLE TITLE WITH WARRANTY COVENANTS. SAID OWNERS AND/OR PROPRIETORS DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: *David P. Acosta* 11/14/16
OWNER: *Bascom Homes LLC*

ACKNOWLEDGEMENT

STATE OF *New Mexico*
COUNTY OF *Sandoval*

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS *14* DAY OF *April*, 2016, BY *Bascom Homes LLC*

NOTARY PUBLIC: *Theresa A. Alvarez*
MY COMMISSION EXPIRES: *05-25-2017*

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UNIFORM PROPERTY CODE #:

BERNALILLO COUNTY TREASURER'S OFFICE:

SHEET INDEX
PAGE 1, COVER
PAGE 2, SUBDIVISION PLAT

SUBDIVISION PLAT OF
LOTS 1-8 AND TRACT B-2
THE ESTATES AT GLENDALE, UNIT 2
BEING A RE-PLAT OF TRACTS A AND B
PROJECTED SECTION 7, T 11 N, R 4 E, N.M.P.M.
ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2016

PROJECT NUMBER: _____

CITY APPROVALS: _____

CITY ENGINEER: *David M. Rasmussen* 2-5 1/22/16

CITY SURVEYOR: _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____

UTILITIES DEVELOPMENT _____

PARKS AND RECREATION DEPARTMENT _____

A.M.A.E.C.A. _____

ABQWUA _____

CITY ENGINEER _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____

REAL PROPERTY DIVISION _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____

NEW MEXICO GAS _____

QUEST CORPORATION D.B.A. CENTURY LINK, CC _____

COMCAST _____

DATE _____

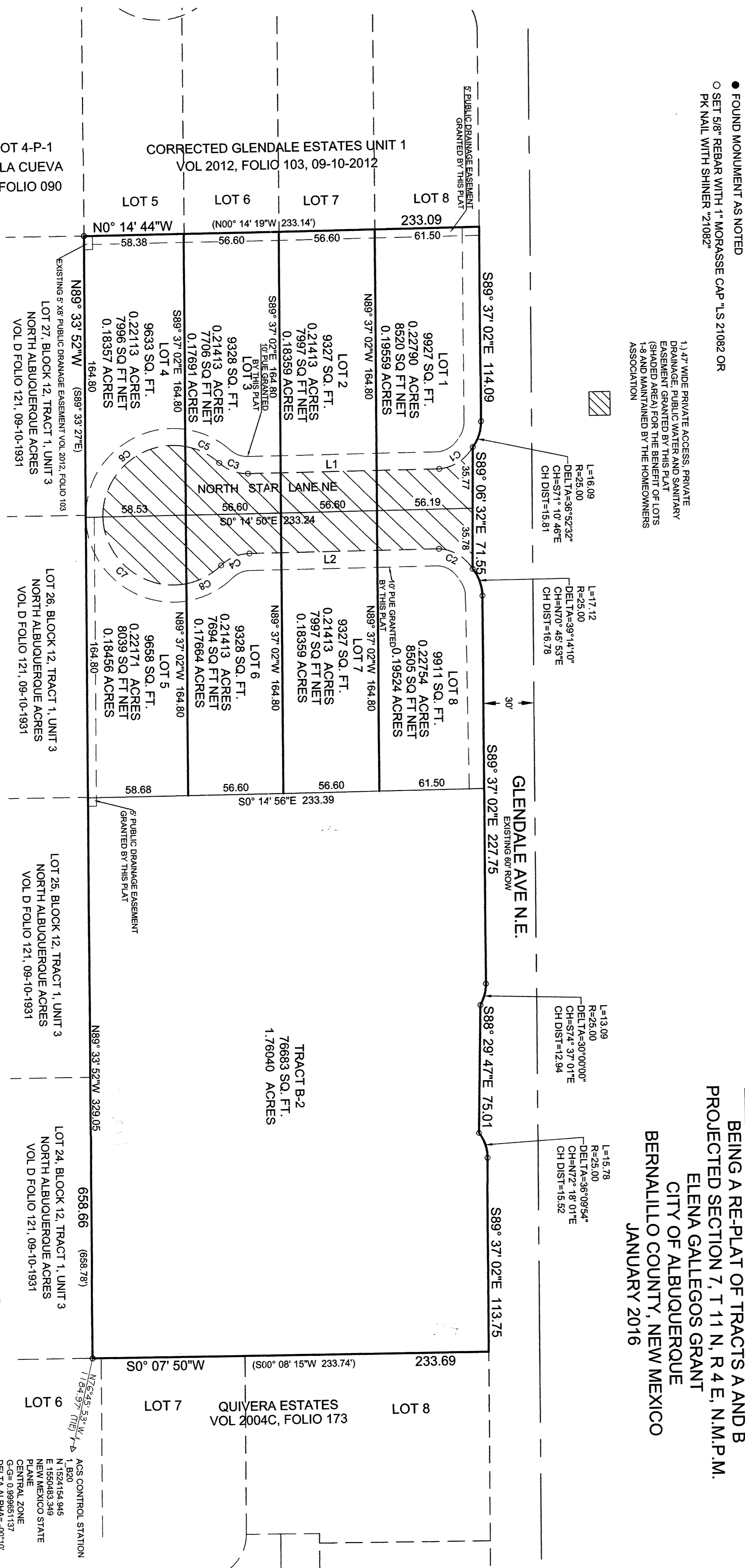
SURVEYOR'S CERTIFICATE:

I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT THE SURVEYING INSTRUMENTS AND METHODS AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007, AND THAT THE SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID P. ACOSTA, SURVEYOR NO. 21082
DATE: 01-21-2016

CONSTRUCTION SURVEY TECHNOLOGIES, INC.
MAILING PO BOX 6595, ALBUQUERQUE, NM 87103 505-917-4821
OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
NMSURVEYOR@GMAIL.COM

SUBDIVISION PLAT OF
LOTS 1-8 AND TRACT B-2
THE ESTATES AT GLENDALE, UNIT 2
BEING A RE-PLAT OF TRACTS A AND B
PROJECTED SECTION 7, T 11 N, R 4 E, N.M.P.M.
ELENA GALLEGOS GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2016



- LEGEND OF SYMBOLS
- FOUND MONUMENT AS NOTED
 - SET 5/8" REBAR WITH 1" MORASSE CAP 1/5 21082 OR PK NAIL WITH SHINER 21082*

1/4" WIDE PRIVATE ACCESS, PRIVATE DRAINAGE PUBLIC WATER AND SANITARY EASEMENT GRANTED BY THIS PLAT (SHADED AREA) FOR THE BENEFIT OF LOTS 1-8 AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

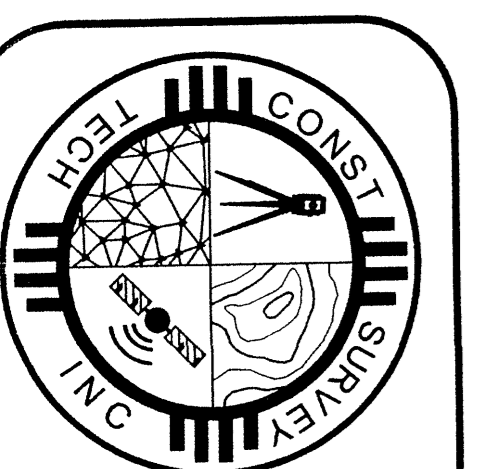
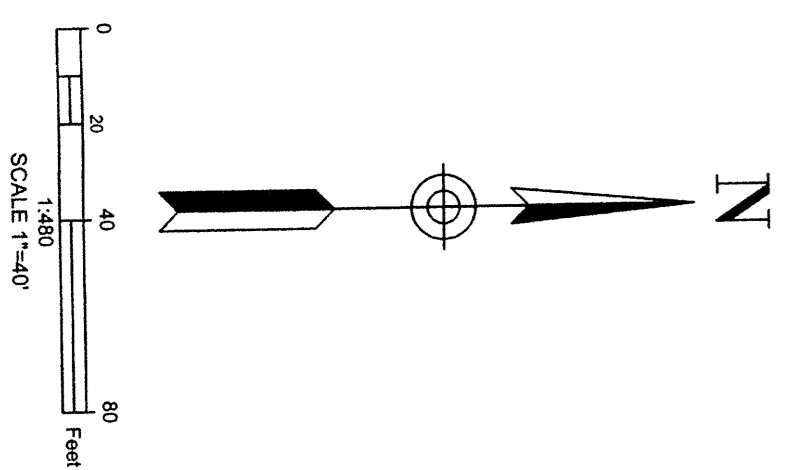
LOT 4-P-1
DESERT HIGHLANDS @ LA CUEVA
VOL 2003, FOLIO 090

CURVE TABLE

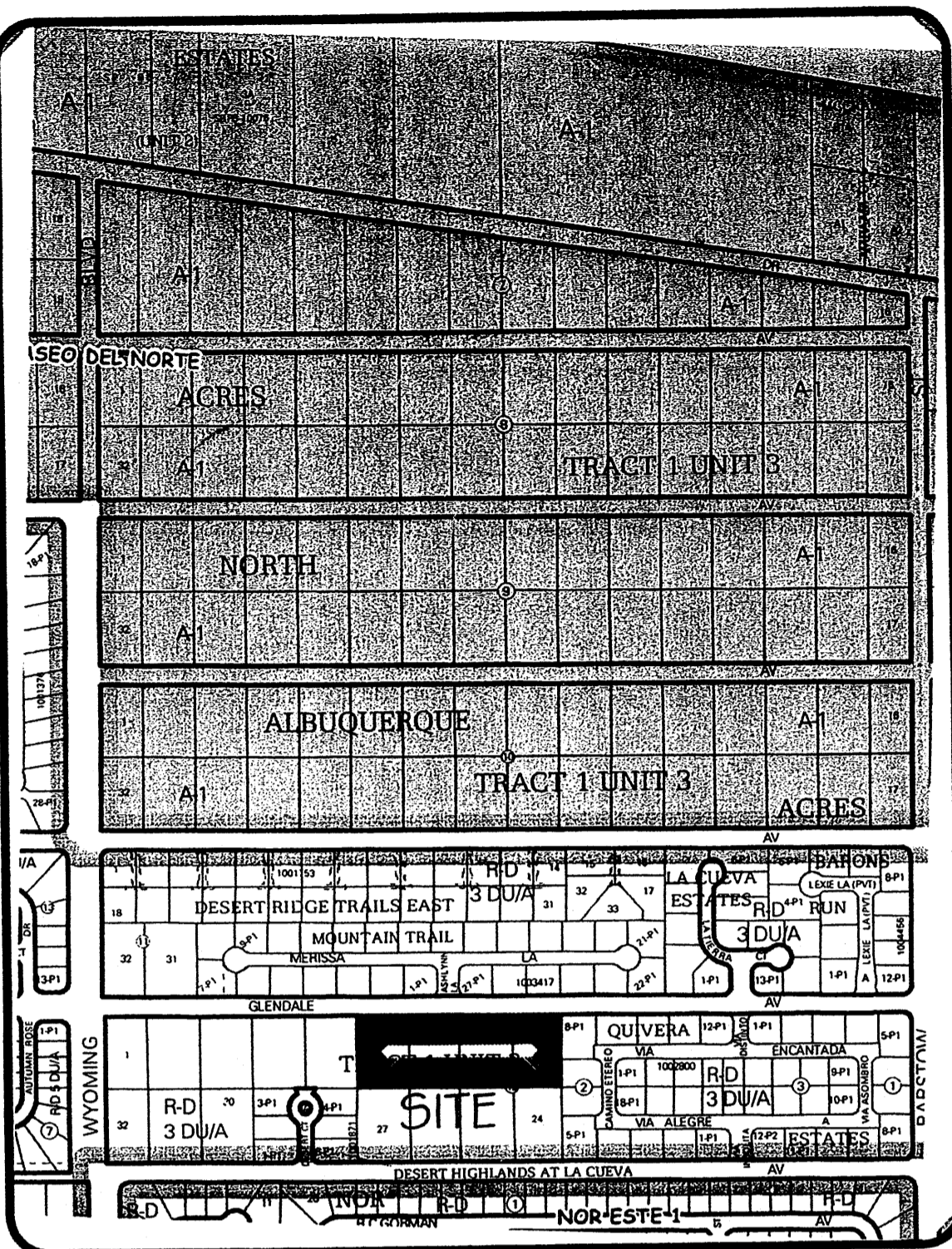
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	24.29	25.00	55.66	N31° 55' 23"W	23.94
C2	23.96	25.00	54.91	S31° 55' 41"W	23.05
C3	18.63	25.00	42.71	N21° 06' 20"E	18.21
C4	18.63	25.00	42.71	S21° 36' 00"E	18.21
C5	22.54	41.00	31.49	S26° 42' 42"W	22.25
C6	72.43	41.00	101.21	S39° 38' 28"E	63.37
C7	71.52	41.00	99.95	N39° 46' 37"E	62.79
C8	23.44	41.00	32.75	N26° 34' 33"W	23.12

LINE TABLE

Line #	Length	Direction
L1	113.01	N0° 14' 50"W
L2	111.94	N0° 14' 50"W



CONSTRUCTION SURVEY TECHNOLOGIES, INC.
MAILING PO BOX 6595, ALBUQUERQUE, NM 87103 505-917-4821
OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
NMSURVEYOR@GMAIL.COM



ZONE ATLAS B-19-Z NO SCALE

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE 14 LOTS FROM 2 LOTS, GRANT ADDITIONAL RIGHT OF WAY TO CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS, VACATE EXISTING CITY OF ALBUQUERQUE RIGHT OF WAY, AND GRANT ADDITIONAL DRAINAGE AND PUBLIC UTILITY EASEMENTS.

NOTES:

1. BEARINGS ARE GRID BASED---NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD

SUBDIVISION DATA:

DRB#
 ZONE ATLAS INDEX NO. B-19-Z
 DATE OF FIELD SURVEY: JULY, 2014
 TOTAL NO. OF TRACTS EXISTING 2
 TOTAL NO. OF LOTS CREATED 14
 TOTAL NO. OF TRACTS CREATED 1
 GROSS SUBDIVISION ACREAGE 3.5163
 MILEAGE OF PRIVATE STREETS CREATED .1277
 TRACT-A TO BE MAINTAINED BY HOA

DOCUMENTS USED:

THE ESTATES @ GLENDALE UNIT 1 VOL 2012C FOLIO 103

SOLAR COLLECTION NOTE:

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

LEGAL DESCRIPTION:

TRACTS LETTERED A AND B OF THE CORRECTED GLENDALE ESTATES UNIT 1, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO IN PLAT BOOK 2012C, FOLIO 103.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES RESPONSIBLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGED OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEE", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACTS LETTERED A AND B OF THE CORRECTED GLENDALE ESTATES UNIT 1, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ADDITIONAL RIGHT OF WAY TO CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS, AND GRANT ADDITIONAL DRAINAGE AND PUBLIC UTILITY EASEMENTS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

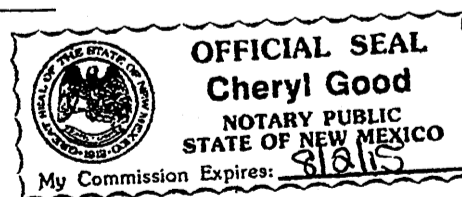
BY: Randall J. Schmitz, III
 ASHTON HOMES LLC, MANAGING MEMBER/DATE

ACKNOWLEDGMENT

STATE OF New Mexico,
 COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 3 DAY OF November, 2014, BY Randy Schmitz

NOTARY PUBLIC: Cheryl Good
 MY COMMISSION EXPIRES: 8/21/15



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:

BERNALILLO COUNTY TREASURER'S OFFICE:

SHEET INDEX

PAGE 1. COVER
 PAGE 2. SUBDIVISION PLAT

SUBDIVISION PLAT OF
 LOTS 1-14
 THE ESTATES AT GLENDALE, UNIT 2
 BEING A RE-PLAT OF TRACTS A AND B
 PROJECTED SECTION 7, T 11 N, R 4 E, N.M.P.M.
 ELENA GALLEGOS LAND GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2014

PROJECT NUMBER: _____

PROJECT: 1008656
 DATE: 12-31-14

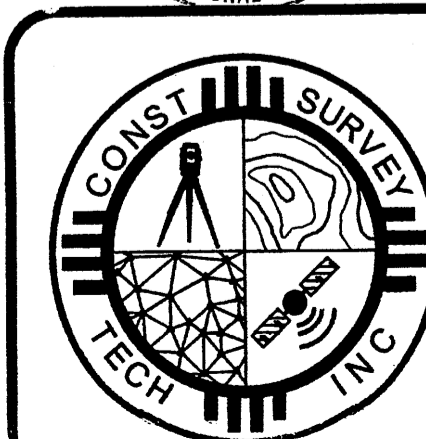
CITY APPROVALS:

<u>Soren G. Richardson, P.L.S.</u> (Acting) CITY SURVEYOR	11/18/14 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
ABCWUA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
REAL PROPERTY DIVISION	DATE
UTILITY APPROVALS:	
PNM ELECTRIC SERVICES	DATE
NEW MEXICO GAS	DATE
CENTURY LINK	DATE
COMCAST	DATE

SURVEYOR'S CERTIFICATE:

I, DAVID P ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING PRACTICE IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

David P. Acosta 11-18-14
 DAVID P. ACOSTA, N.M.P.S. NO. 21082 DATE



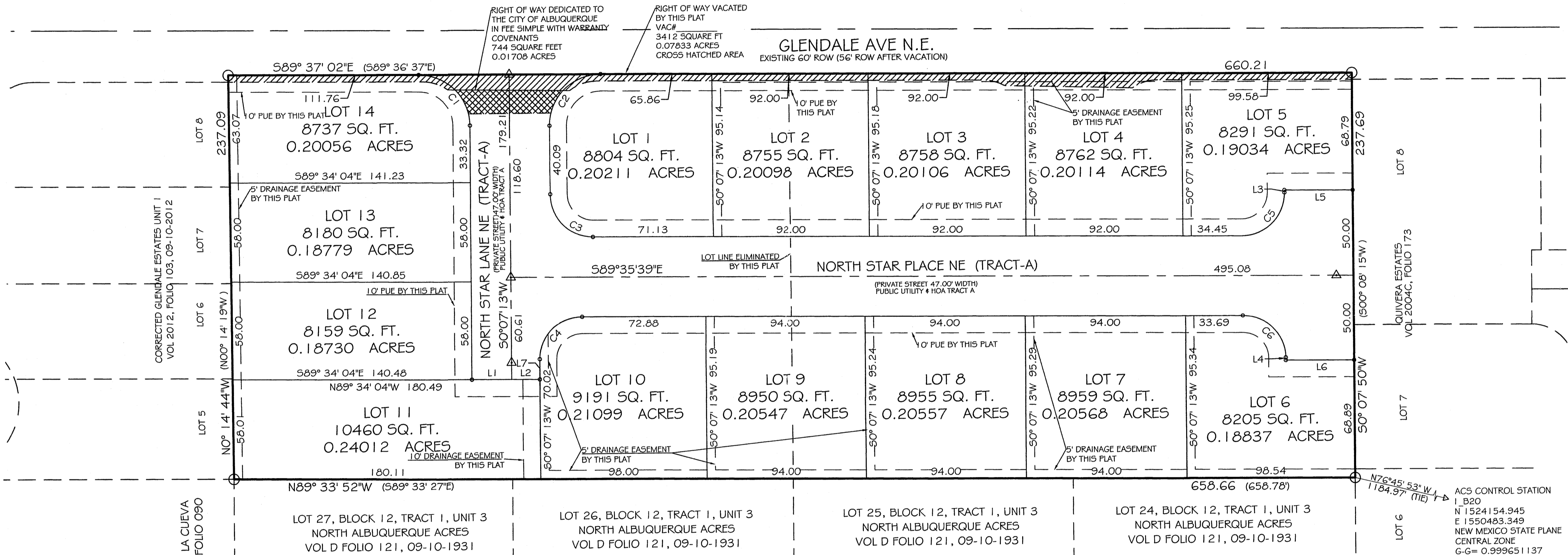
CONSTRUCTION SURVEY TECHNOLOGIES, INC.

MAILING: PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921
 OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM

SUBDIVISION PLAT OF
LOTS 1-14
THE ESTATES AT GLENDALE, UNIT 2
 BEING A RE-PLAT OF TRACTS A AND B
 PROJECTED SECTION 7, T 11 N, R 4 E, N.M.P.M.
 ELENA GALLEGOS GRANTS
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER 2014

LEGEND OF SYMBOLS

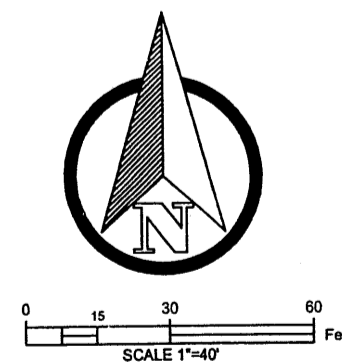
- FOUND MONUMENT AS NOTED
- SET 5/8" REBAR WITH 1" MORASSE CAP "LS 21082 OR PK NAIL WITH SHINER "21082"
- △ CITY OF ALBUQUERQUE CENTERLINE MONUMENT



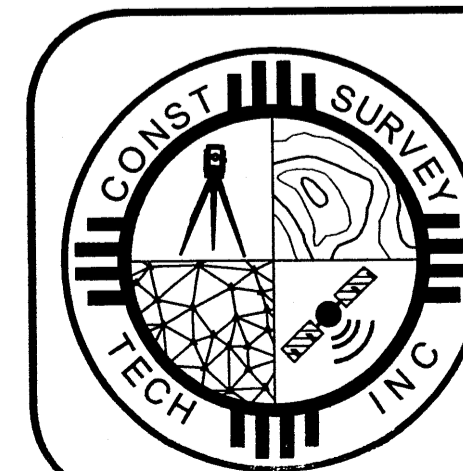
LOT 4-P-1, DESERT HIGHLANDS @ LA CUEVA
VOL 2003, FOLIO 090

Line #	Length	Direction
L1	23.50	S89° 34' 04"E
L2	16.50	S89° 34' 04"E
L3	1.38	S0° 07' 38"W
L4	1.62	N0° 07' 38"E
L5	39.99	N89° 35' 39"W
L6	39.98	N89° 35' 39"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	46.99	30.00	89.74	N44° 44' 54"W	42.33
C2	47.26	30.00	90.26	S45° 15' 06"W	42.52
C3	39.15	25.00	89.71	S44° 44' 13"E	35.27
C4	39.39	25.00	90.29	S45° 15' 47"W	35.44
C5	39.39	25.00	90.28	N45° 16' 00"E	35.44
C6	39.15	25.00	89.72	N44° 44' 00"W	35.27

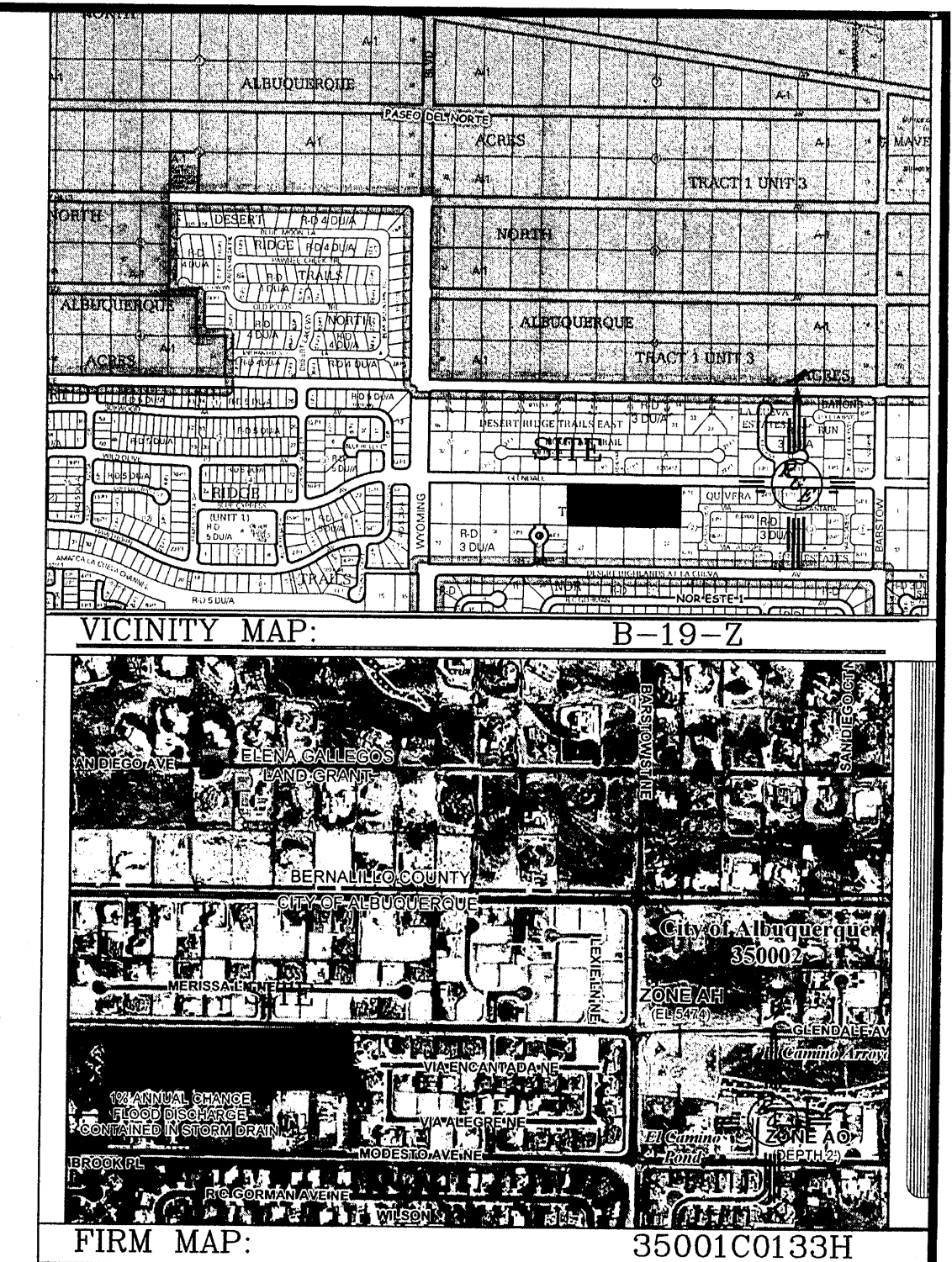
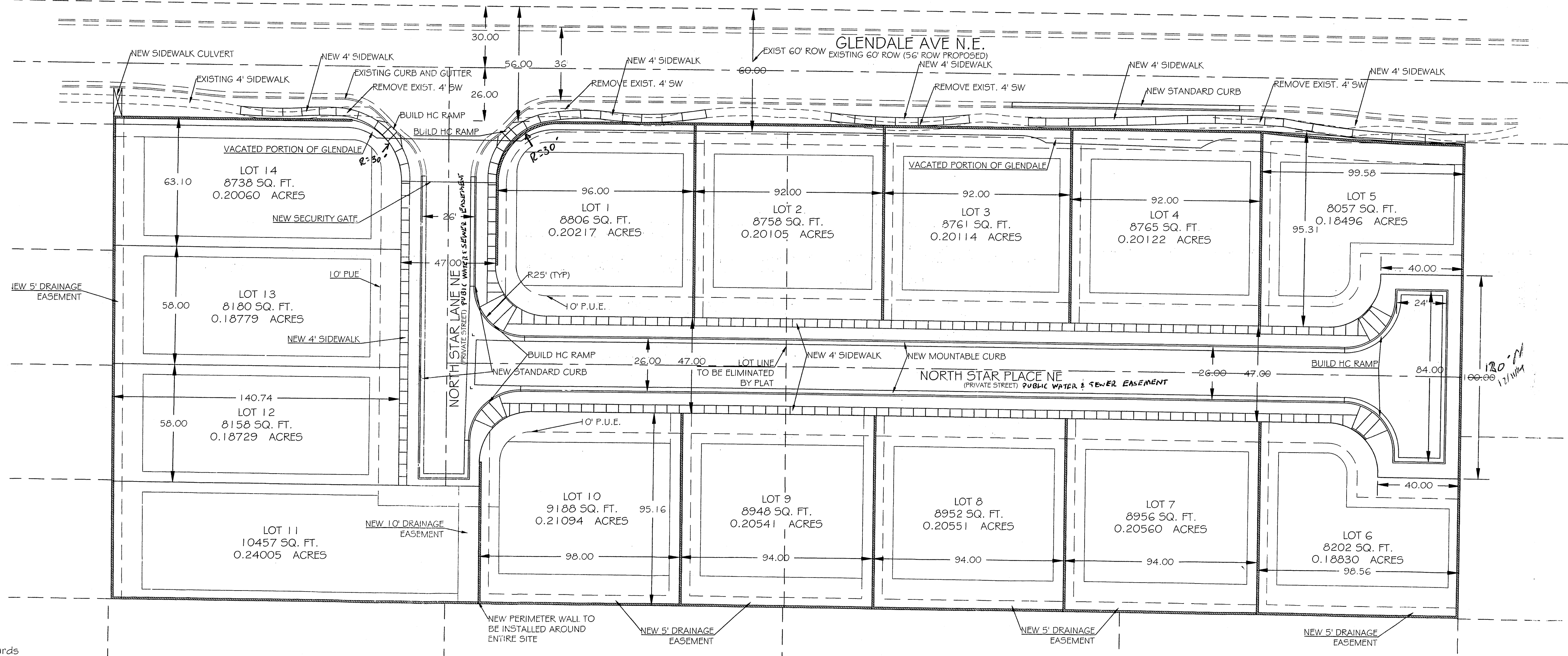


ACS CONTROL STATION
 I B20
 N 1524154.945
 E 1550483.349
 NEW MEXICO STATE PLANE
 CENTRAL ZONE
 G-G= 0.999651137
 DELTA-ALPHA= -00°10'
 24.45"
 NAD 1983



CONSTRUCTION SURVEY TECHNOLOGIES, INC

MAILING: PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-8921
 OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
 NMSURVEYOR@GMAIL.COM



LEGAL DESCRIPTION
 Tracts A and B of the Estates of Glendale Unit 1 as the same is shown and designated on the plat filed for record in the County of Bernalillo in Plat Book 2012C, Folio 103 on September 10, 2012

THE SITE:
 The site area is presently vacant, zoned RD - 3 DU/AC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
 The property is to be changed to SU-1 for RD - 5 DU/AC. Allowed uses shall be as permitted in the R-T zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
 Vehicular Access: primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.

Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both sides of new streets within the site. Pedestrian access into the site from Glendale is also gated.

Transit Access: Route 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS:
 Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-SITE PARKING:
 Minimum number of off-street parking spaces shall be provided according to the intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
 Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail in this sheet).

MAXIMUM TOTAL DWELLING UNITS:
 Maximum total number of residential units shall be 21 PHASE ONE INCLUDED 8 LOTS, PHASE TWO SHALL BE 14 LOTS

LANDSCAPE STANDARDS:
 For Landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

OPEN SPACE:
 Minimum open space provided per dwelling shall be in accordance with the R-D zone.

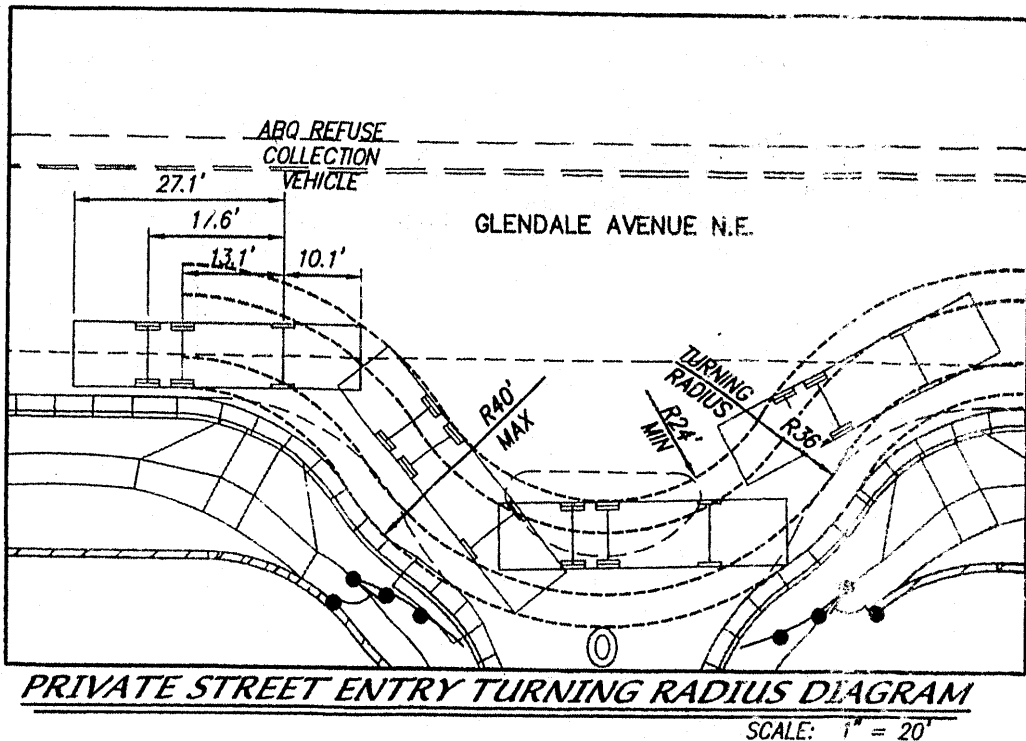
APPROVALS PROCESS:
 Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

Site Design Standards
 The purpose of these design standards is to enhance the developed you know us surface appearance so that the new residents and visitors can experience a positive visual feel within their new home environment. These standards established the basis from which the new homebuilder will use to create an inviting and vibrant Community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines and the DPM.

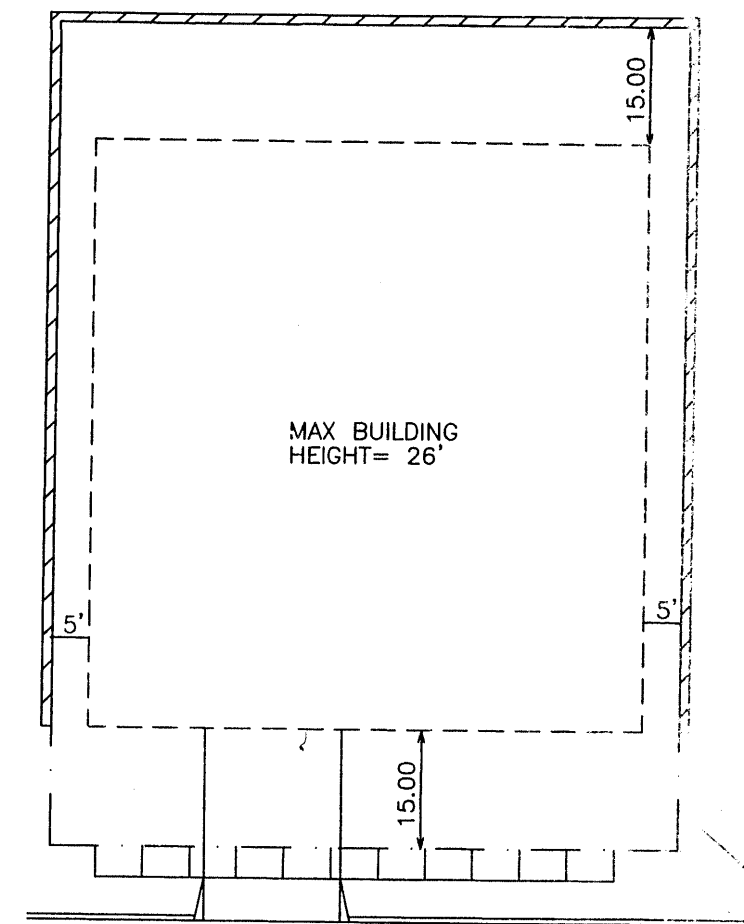
- I. Architectural Standards**
- A. The exterior building Materials utilized in contraction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
- B. Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
- C. Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof Colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.
- D. Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.
- E. Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
- F. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.
- G. Lots 11, 12, 13,14 shall have a building height limit of 14' from pad elevation. No roof top decks allowed on Lots 11, 14, 13 and

- II. LIGHTING STANDARDS**
- A. Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with City's DPM.
- B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines and not projecting upward so that dark skies can be preserved.
- III. LANDSCAPE STANDARDS**
- A. Front Yard Minimum
 2 Accent Trees at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the RW.
 4 Shrubs (minimum 5 gallon)
 4 Shrubs (minimum 1 gallon)
 2 Landscape Boulders (3x3" minimum)
 1 Shade Tree RW at least 1-1/2" caliper or 10 feet high at the time of planting.
- B. Accentuating "river rock" and bark mulch or piquant shells are also permitted in front yard landscaping.
- C. At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe Brown, River rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.
- D. Automatic underground irrigation Systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- E. Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- G. Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- H. The Glendale Ave. landscape buffer shall be a minimum of 14-eight in with, which would change on a foot by foot basis depending on the road width.

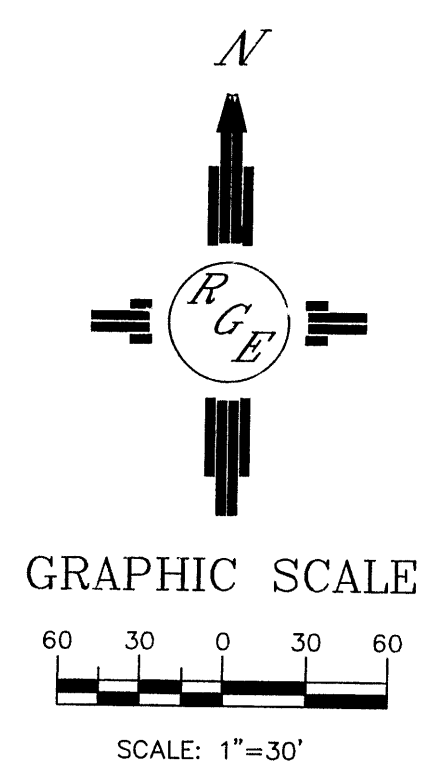
- IV. WALLS**
- A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19(B) of the City Zoning Code.
- B. Perimeter walls shall be colored or consist of a color scheme and constructed of split-face concrete masonry topped with a continuous cap.
- C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- D. Maximum wall heights shall be 6 feet, unless they are retaining walls.
- E. Walls shall not be allowed within the clear-site triangle.
- V. Utilities
- A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
- B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.
- IV. OFF-STREET PARKING**
- A. Off-street tree parking shall be provided in accordance with section 14-16-3-1 of the Zoning Code (General Parking Regulations).
- VII. OPEN SPACE**
- A. Open space shall be provided on each lot in accordance with Section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).
- VIII. SIGNAGE**
- A. Any signage proposed to identify the subdivision shall be provided in the accordance with the Zoning Code General Sign Regulations, Section 14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.
- B.



MIN LOT WIDTH AS SHOWN ABOVE



PROJECT: 1008656
 DATE: 12-31-14



AFD PLANS CHECKING OFFICE
 624-3311
 APPROVED/NOT APPROVED
 SIGNATURE & DATE

Rio Grande Engineering
 1400 CENTRAL AVENUE
 SUITE 201
 ALBUQUERQUE, NM 87102
 (505) 875-5588

PROJECT TITLE:
 ESTATES AT GLENDALE UNIT 2

DRAWING TITLE:
 SITE PLAN

SEAL: 63-08-2014 PROJECT NO. DRAWING NO.
DRB 1.0

LEGEND

---S414---	EXISTING CONTOUR	-----	CENTERLINE
---S415---	EXISTING INDEX CONTOUR	-----	RIGHT-OF-WAY
---S414---	PROPOSED CONTOUR	=====	PROPOSED CURB AND GUTTER
---S415---	PROPOSED INDEX CONTOUR	=====	EXISTING CURB AND GUTTER
-----	BOUNDARY	=====	PROPOSED SIDEWALK
-----	PROPOSED SCREEN WALL	-----	PROPOSED SETBACK
-----	PROPOSED RETAINING WALL	-----	PROPOSED LOT LINE

PLAN INDEX

1.0 AMENDED SITE PLAN FOR SUBDIVISION

2.0 AMENDED LANDSCAPING PLAN

3.0 AMENDED GRADING PLAN

4.0 AMENDED MASTER PAVING PLAN

5.0 AMENDED MASTER UTILITY PLAN

APPLICATION NUMBER: _____ PROJECT: _____

TRAFFIC ENGINEERING TRANSPORTATION DIVISION/DATE _____

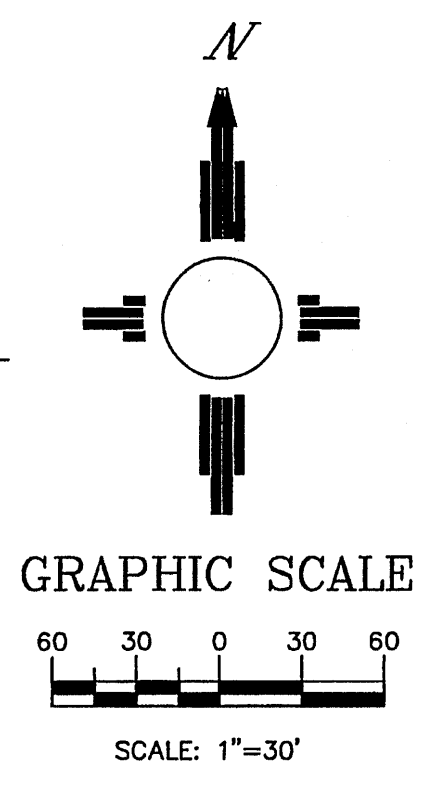
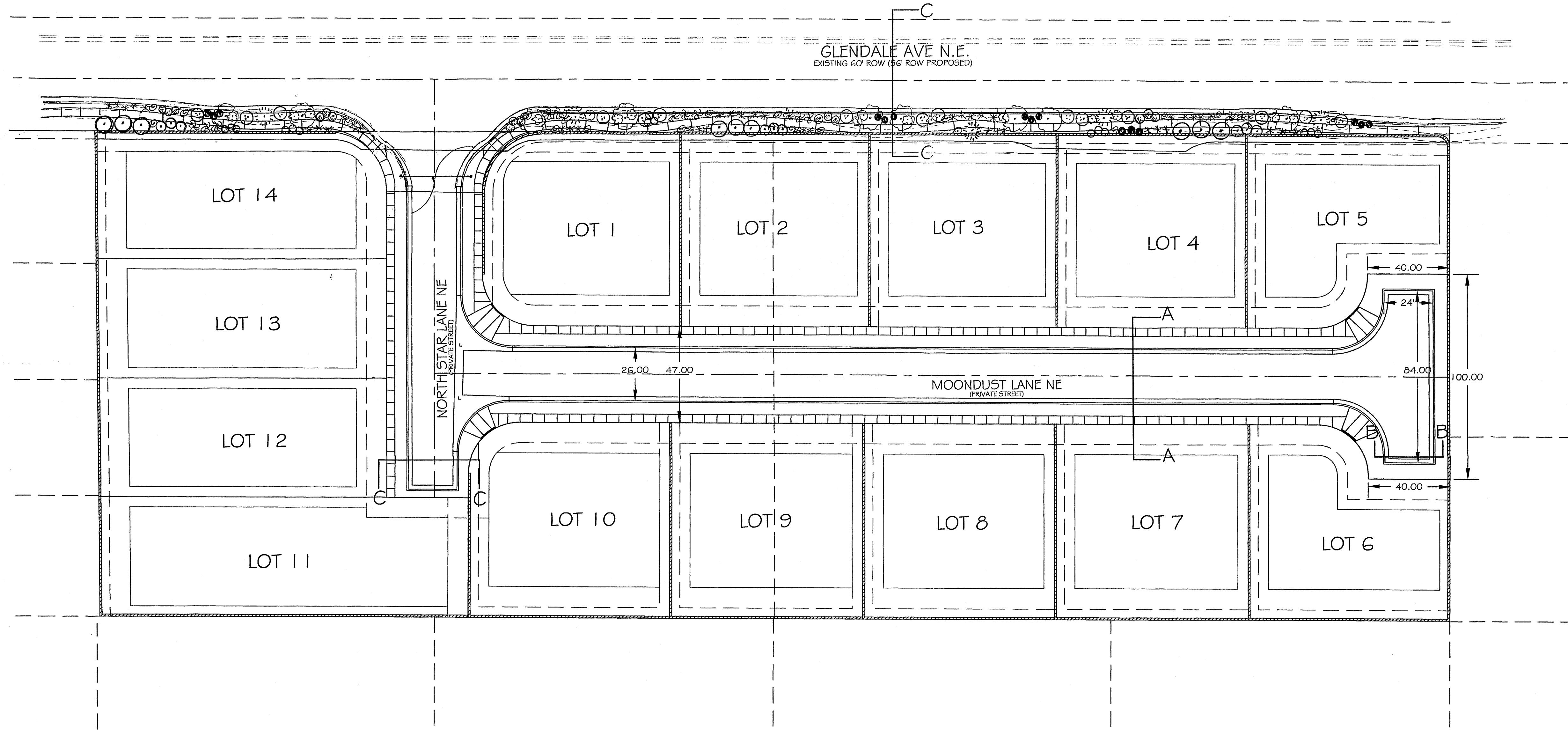
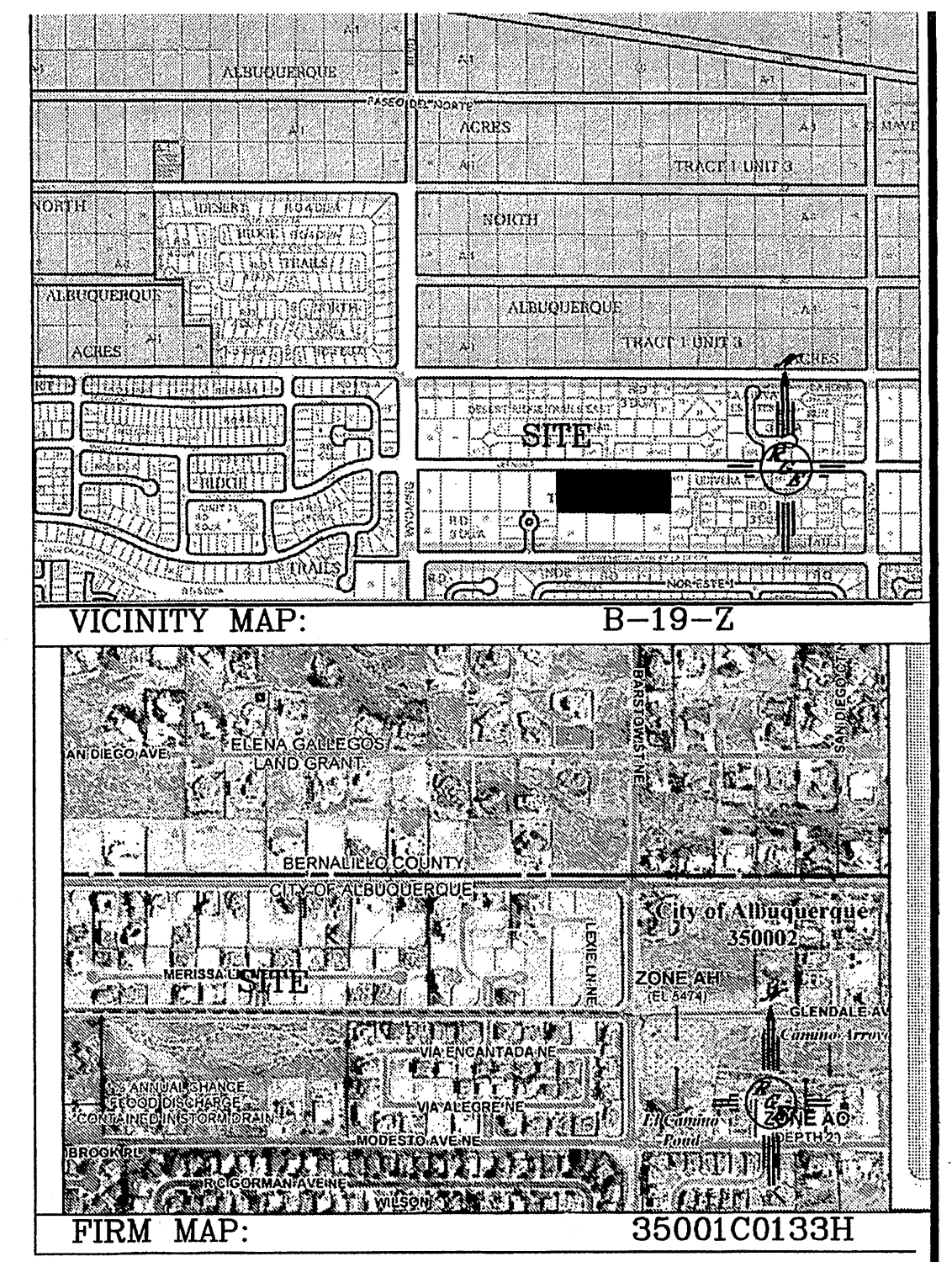
UTILITIES DEPARTMENT/DATE _____

PARK AND RECREATION DEPARTMENT/DATE _____

CITY ENGINEER/DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT/DATE _____

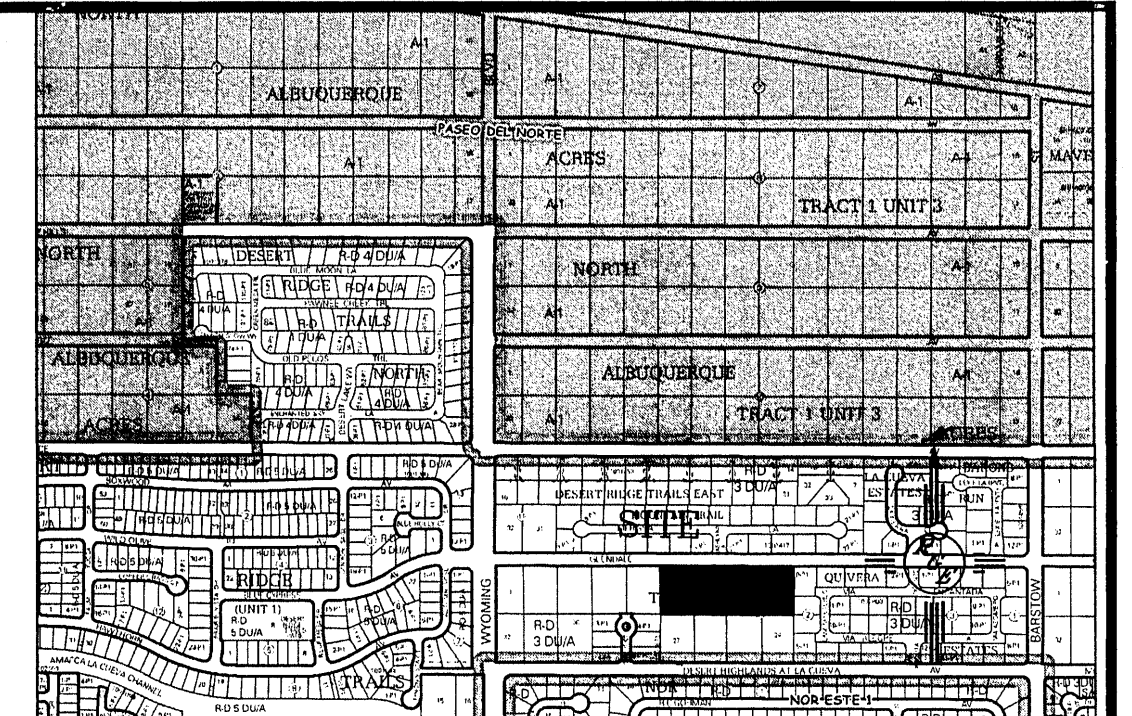
QTY.	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE
9	⊙	PINUS AFGHAN PINE	5-6'	MED.
5	☼	PICEA BLUE SPRUCE	5-6'	MED.
9	⊙	GLEDITSIA HONEY LOCUST	2" CAL	MED. +
15	⊙	FORESTERA N.M. OLIVE	15" M.T.	MED.
20	*	MISCANTHUS MAIDEN GRASS	5" CAL	MED. +
10	⊙	MUHLENBERGIA REGAL HILT MUHEY	5" CAL	LOW +
21	*	CALAMAGROSTIS KARL FERSTER	5" CAL	MED.
15	●	CENTRANTHUS RED VALERIAN	1" CAL	MED.
9	⊙	CARYOPTERIS BLUE MIST SPIREA	5" CAL	LOW +
15	⊙	SALVIA GREGGII CHERRY SAGE	5" CAL	LOW +
15	⊙	NEPETA MUSSINI GIANT CATMINT	1" CAL	MED.
17	⊙	LAVANDULA LAVENDER	1" CAL	MED.
10	○	ACHILLEA MOONSHINE YARROW	1" CAL	MED.



CYNTHIA ELLIOTT
LANDSCAPE DESIGN
1108 11TH ST N.W.
ALBUQUERQUE, NM 87104
505.717.7258

PROJECT TITLE:
ESTATES AT GLENDALE UNIT 2

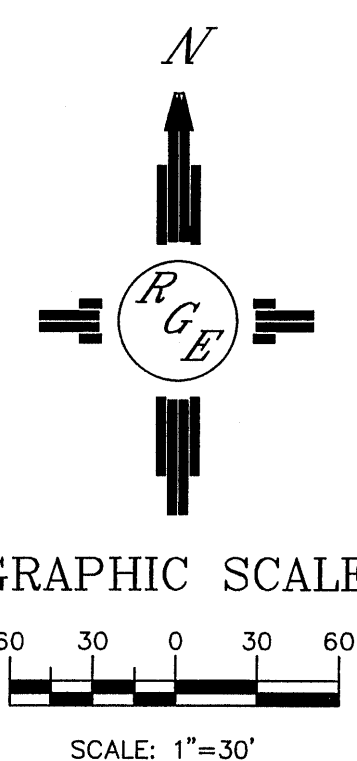
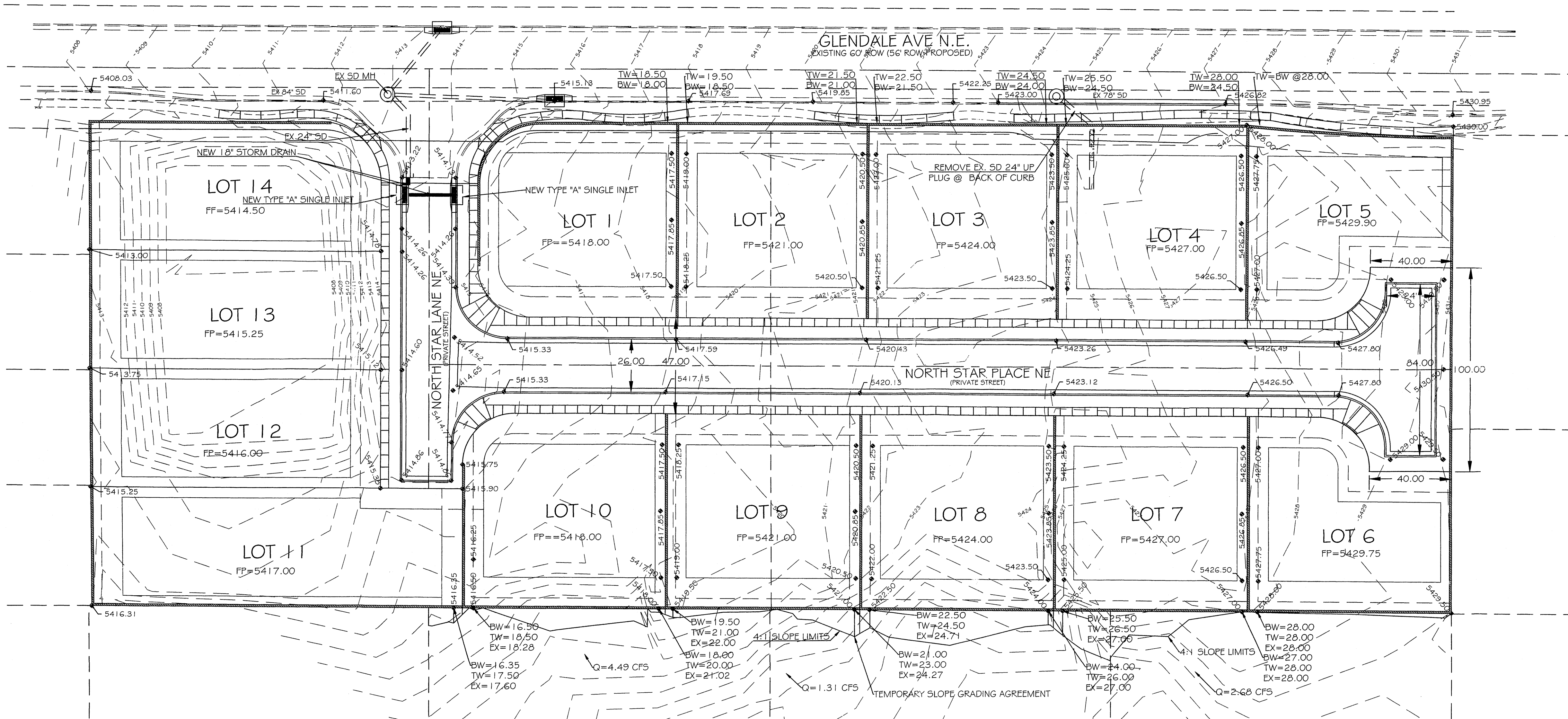
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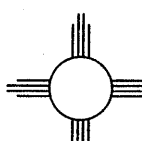


VICINITY MAP: B-19-Z



FIRM MAP: 35001C0133H

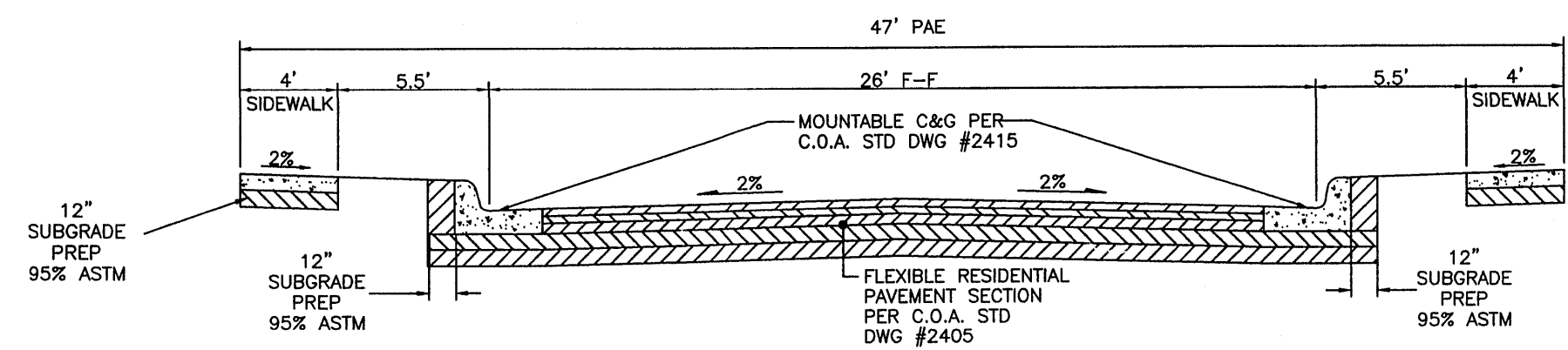



Rio Grande Engineering
 1001 CENTRAL AVENUE
 ALBUQUERQUE, NM 87108
 (505) 872-0088

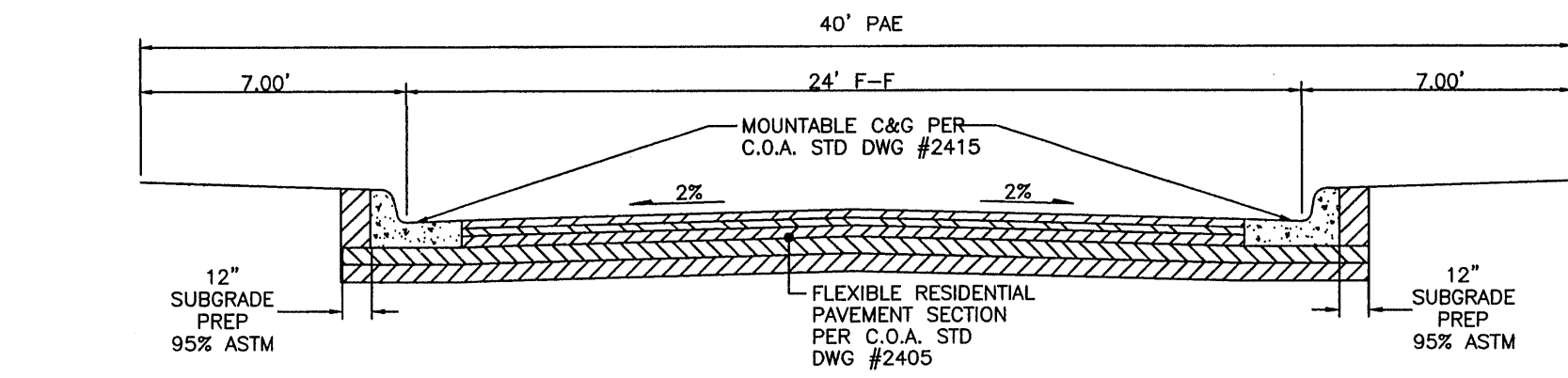
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ESTATES AT GLENDALE UNIT 2

DRAWING TITLE:
GRADING AND DRAINAGE

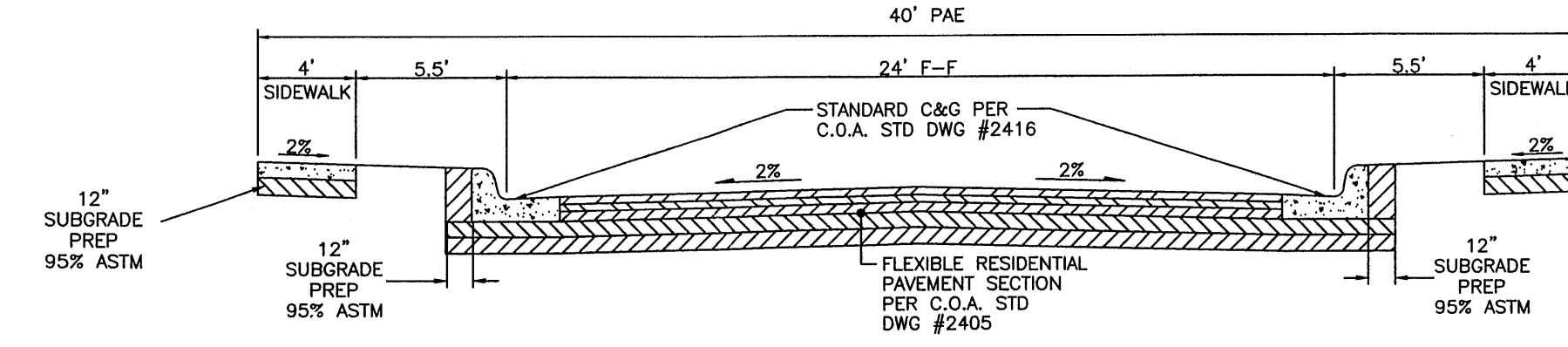
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DRAWING NO.		DRB 3.0



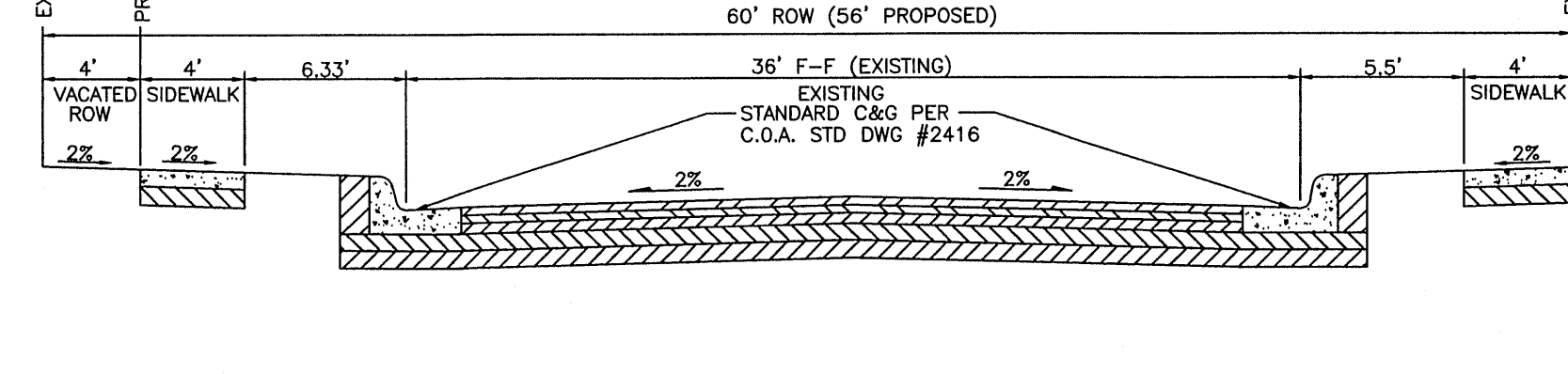
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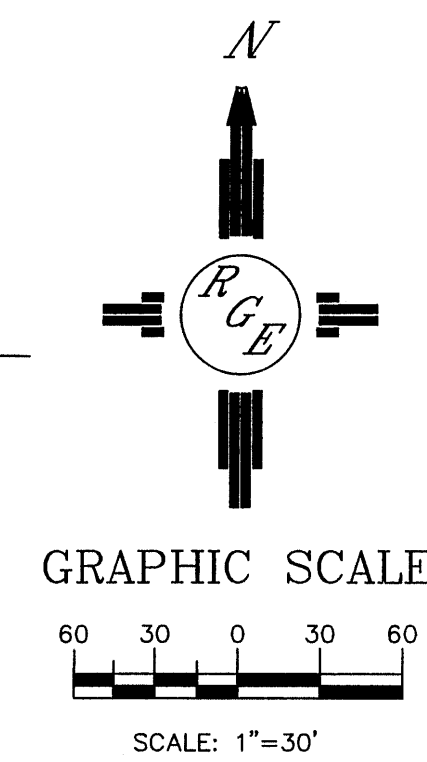
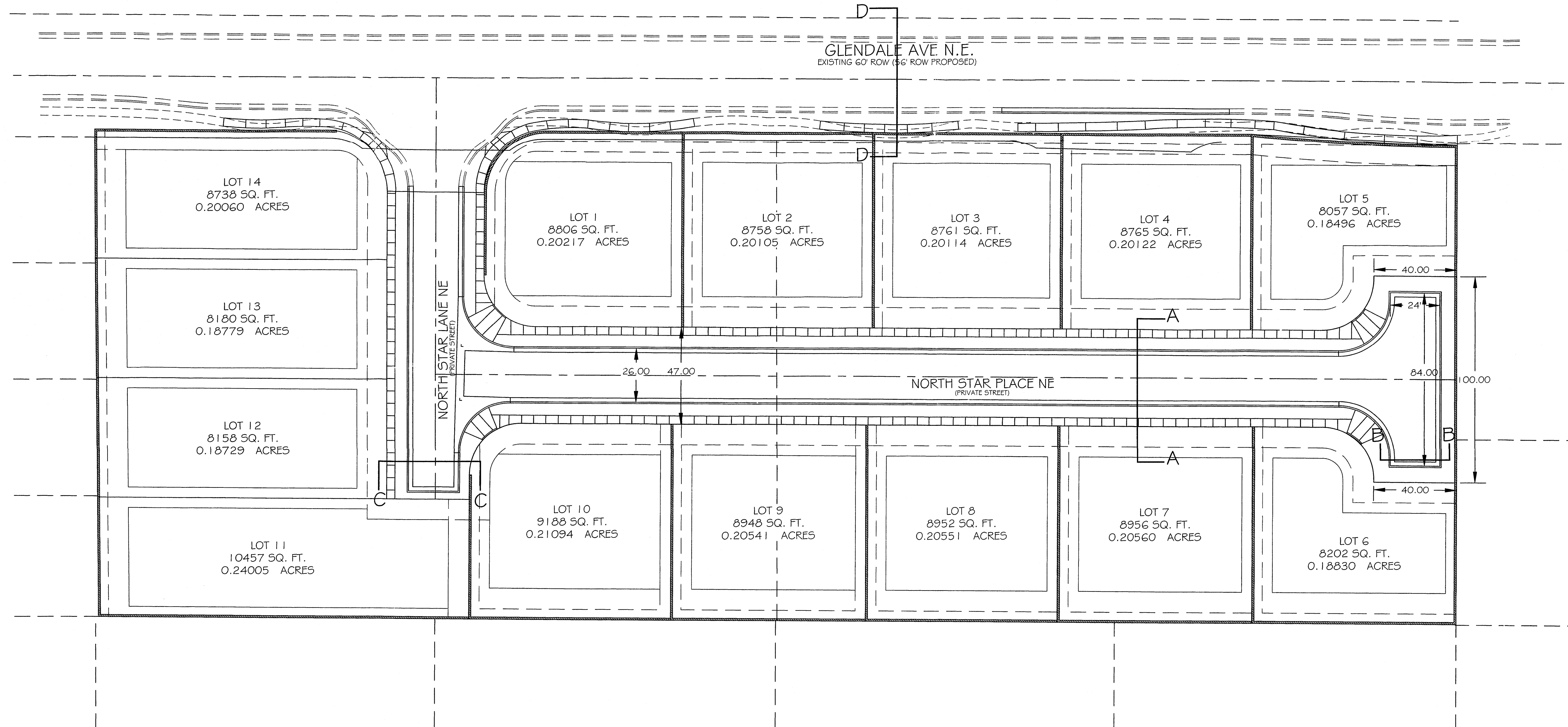
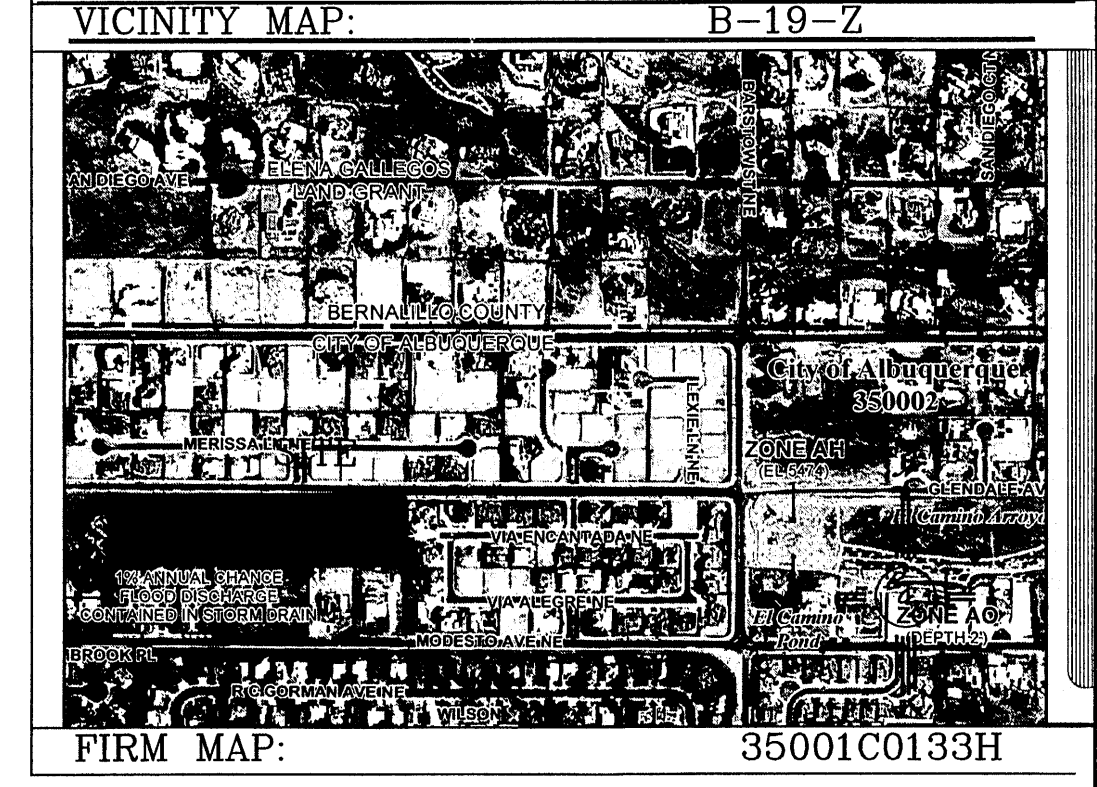
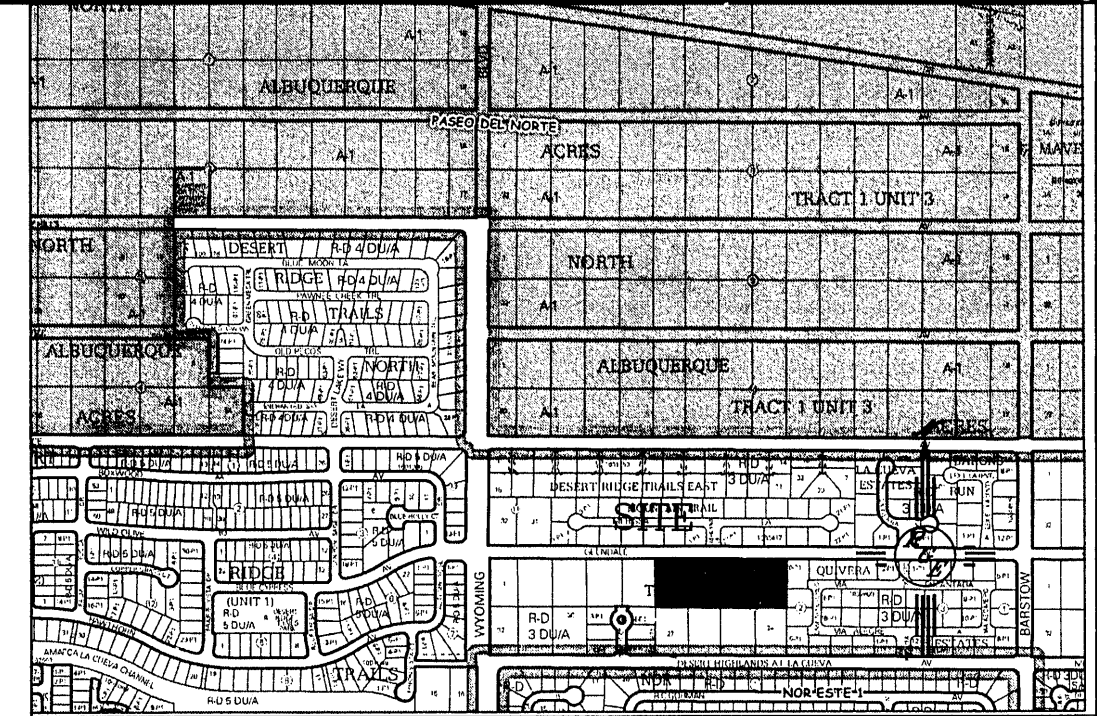
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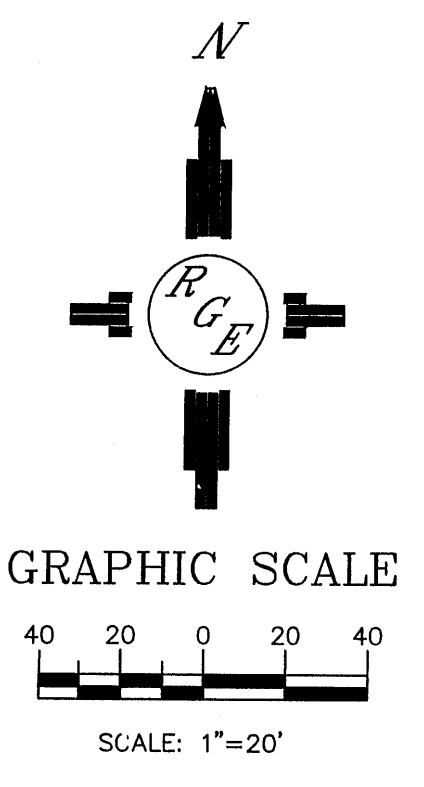
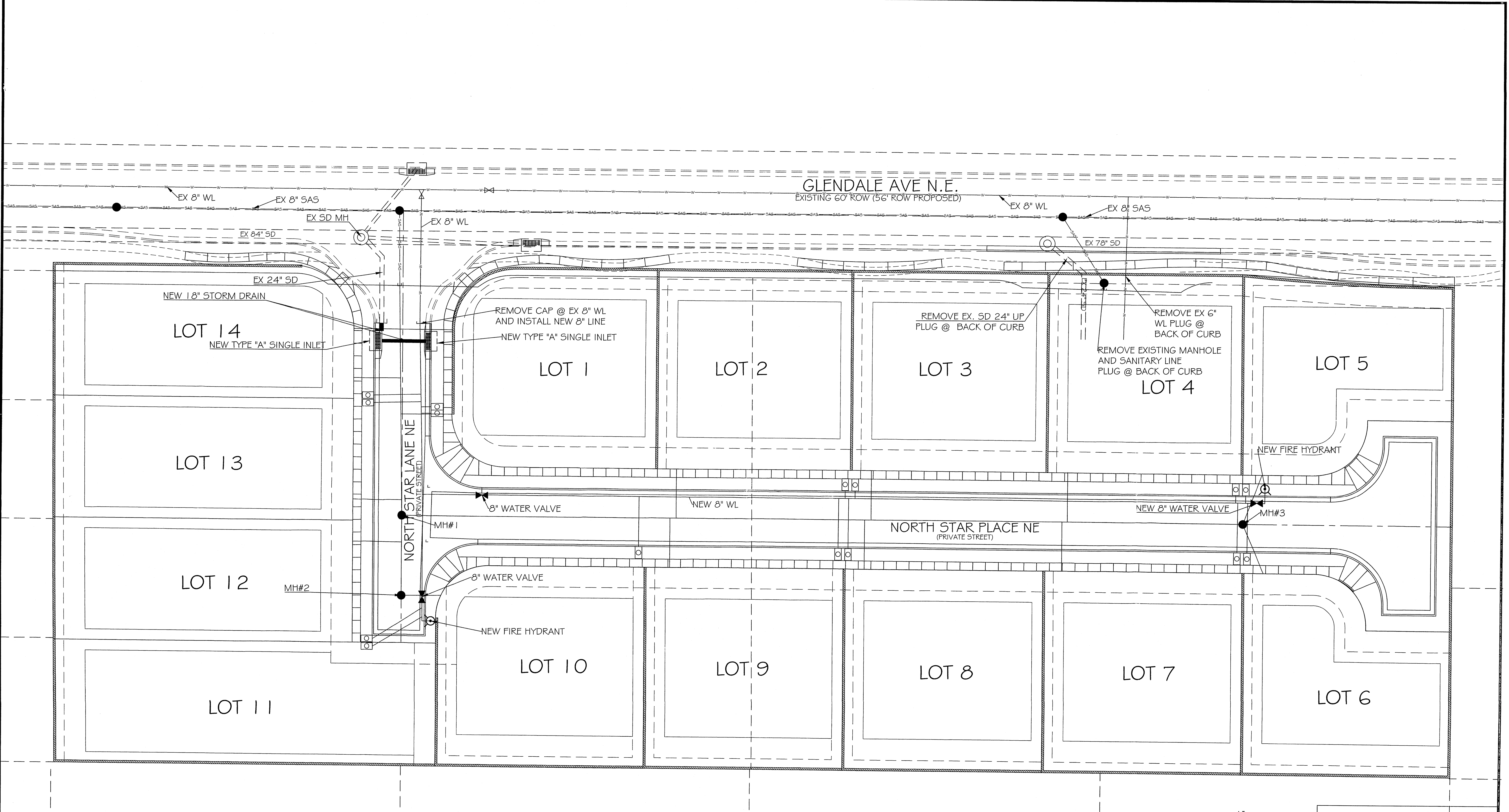
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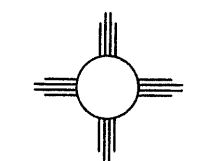


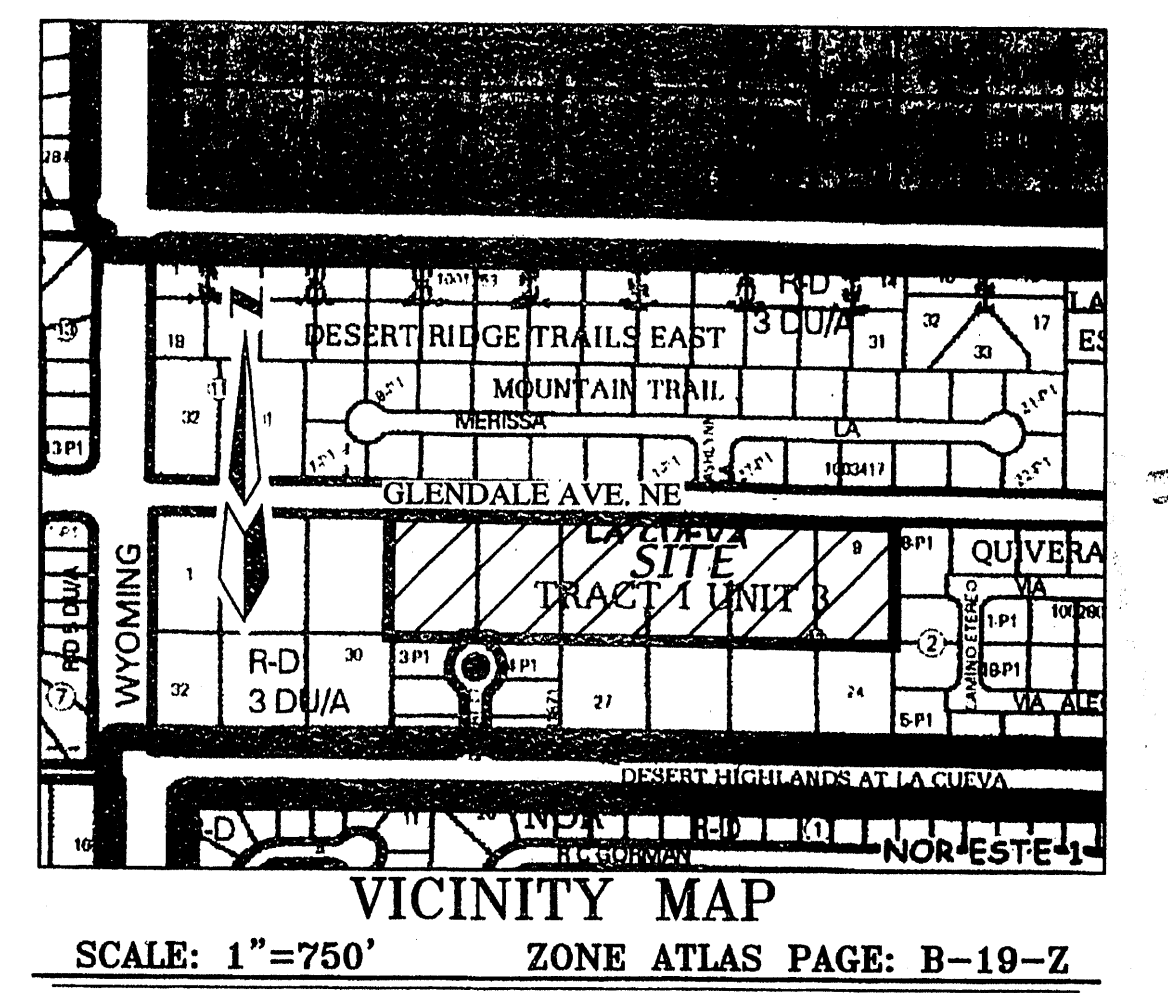
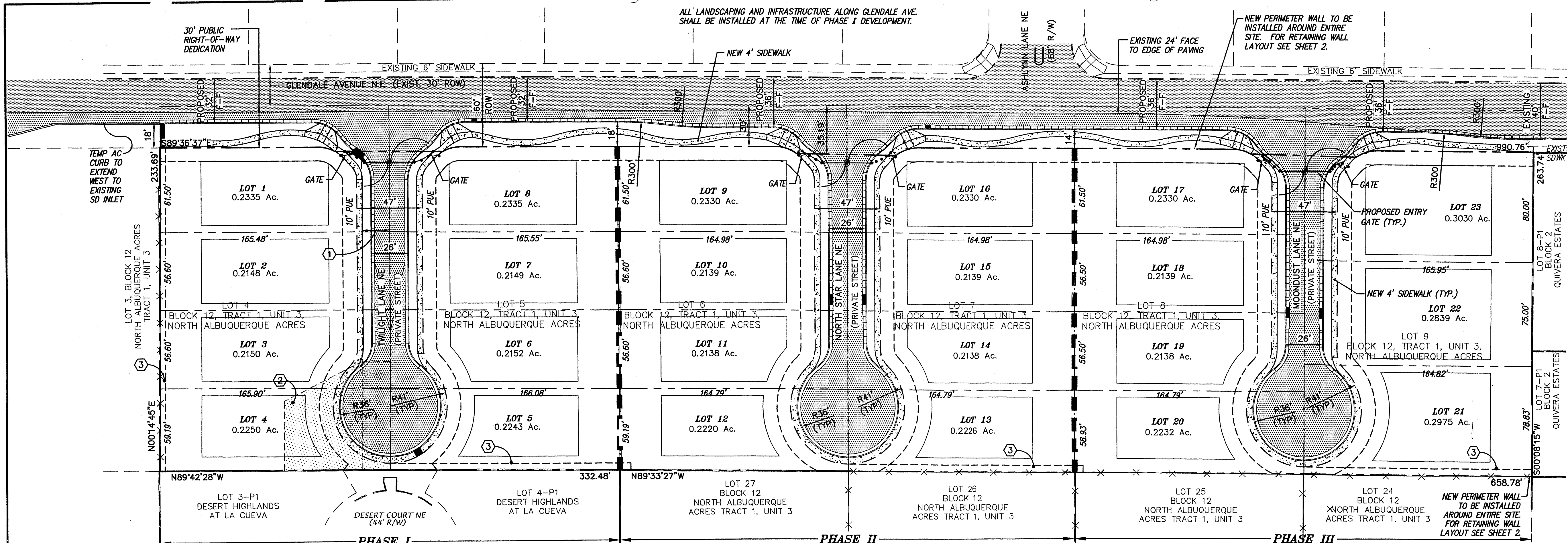
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 Rio Grande Engineering <small>1608 CENTRAL AVENUE SUITE 101 ALBUQUERQUE, NM 87104 (505) 877-0999</small>		
PROJECT TITLE		
ESTATES AT GLENDALE UNIT 2		
DRAWING TITLE		
MASTER PAVING		
SEAL	09-08-2014 JDG	PROJECT NO.
		DRAWING NO.
DRB 4.0		



 <i>Rio Grande Engineering</i> <small>1805 CENTRAL AVENUE SUITE 100 ALBUQUERQUE, NM 87105 (505) 875-7000</small>		
PROJECT TITLE: ESTATES AT GLENDALE UNIT 2		
DRAWING TITLE: MASTER UTILITY PLAN		
SEAL	09-08-2014 JDG	PROJECT NO.
		DRAWING NO. DRB 5.0



LEGAL DESCRIPTION
 A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121, together with a portion of Glendale Avenue NE and containing 5.9930 acres more or less.

THE SITE:
 The site area is presently vacant, zoned RD - 3 DU/AC, and located within the La Cueva Sector Development plan.

PROPOSED ZONE CHANGE:
 The property is to be changed to SU-1 for RD - 5 DU/AC. Allowed uses shall be as permitted in the R-T zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access: Primary access will be off Glendale Avenue with 3 new private streets, all of which will be gated.

Pedestrian Access: New sidewalk will be constructed along the south side of Glendale Avenue and new sidewalks will be installed on both side of new streets within the site. Pedestrian access into the site from Glendale is also gated.

Transit Access: Route 31 and 98 run through the Alameda / Wyoming intersection approximately 1/2 mile south of site.

INTERNAL CIRCULATION REQUIREMENTS:
 Internal circulation will be via private on-site streets, build to City of Albuquerque DPM Standards.

OFF-SITE PARKING:
 Minimum number of off-street parking spaces shall be provided according to the Intermittent Parking design standard contained in the DPM.

BUILDING HEIGHTS AND SETBACKS:
 Maximum allowed building heights shall be 26 feet. Setbacks shall be in accordance with the R-T zone (see detail this sheet).

MAXIMUM TOTAL DWELLING UNITS:
 Maximum total number of residential units shall be 23.

LANDSCAPE STANDARDS:
 For Landscaping information, see Sheet 4 of this plan set. All landscaping shall comply with the City's Water Conservation Landscaping Ordinance and the Street Tree Ordinance.

OPEN SPACE:
 Minimum open space provided per dwelling shall be in accordance with the R-D zone.

APPROVALS PROCESS:
 Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to Building Permit for final approval.

APPLICATION NUMBER: _____ **PROJECT NUMBER:** 1008656

City Approvals:

<i>W.C. [Signature]</i>	04/05/12
Traffic Engineering, Transportation Division	Date
<i>Allan Porter</i>	04/25/12
Utilities Development	Date
<i>Carol S. Dumont</i>	4-25-12
Parks and Recreation Department	Date
<i>Quito C. [Signature]</i>	4-25-12
City Engineer	Date
<i>Paul [Signature]</i>	7-27-12
DRB Chairperson, Planning Department	Date

SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Estates at Glendale. The La Cueva Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all. All new construction shall be consistent with applicable La Cueva Sector plan Design Guidelines and the DPM.

I ARCHITECTURAL STANDARDS

- The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
- Typical building styles within this development shall be Contemporary Pueblo, Southwestern Tuscan, Spanish, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
- Roofs may be flat, pitched, or combination of both, and they may consist of rusted corrugated metal, tile, concrete tile, wood shake, or clay tile. Roof colors must be of low reflecting, subtle, neutral or earth-toned browns, grays, and greens. Asphalt shingles are not allowed.
- Exterior finishes on all new homes shall be stucco, wood, stone, cultured stone, or a combination thereof, that is to be limited to white or earth-toned shades of brown, tan or sage green.
- Accent materials may consist of rock, wood, tile, or brick. Front doors, window frames and related trim may be shades of white, blue, brown, or green. All vinyl or metal window frames must be recessed a minimum of 2" if they are adjacent to stucco or stone, unless they are wood-encased.
- Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.

II LIGHTING STANDARDS

- Site lighting shall be in accordance with Area Lighting Regulations of the Zoning Code (Section 14-16-3-9) and in accordance with the City's DPM.
- The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

III LANDSCAPE STANDARDS

- Front Yard Minimum**
 - Accent Trees at least 1-1/2" caliper or 10 feet high at the time of planting, unless in the R/W.
 - Shrubs (minimum 5 gallon)
 - Shrubs (minimum 1 gallon)
 - Landscape Boulders (3' x 3' minimum)
 - Shade Tree in R/W at least 1-1/2" caliper or 10 feet high at the time of planting
- Accentuating "river rock" and bark mulch or pecan shells are also permitted in front yard landscaping.
- At a minimum, all front yard landscaping shall be required to contain Pueblo Rose, Santa Fe brown, river rock, or similar type rock over filter fabric for all yard areas that are not covered with living vegetative groundcover.
- Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- The Glendale Ave. landscape buffer shall be a minimum of 14-feet in width, which would change on a foot by foot basis depending on the road width.

IV WALLS

- Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code.
- Perimeter walls shall be colored or consist of a colored scheme and constructed of split-face concrete masonry topped with a continuous cap.
- Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- Maximum wall heights shall be 6 feet, unless they are retaining walls.
- Walls shall not be allowed within the clear-sight triangle.

V UTILITIES

- All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground.
- Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies and PNM's Electric Service Guide.

VI OFF-STREET PARKING

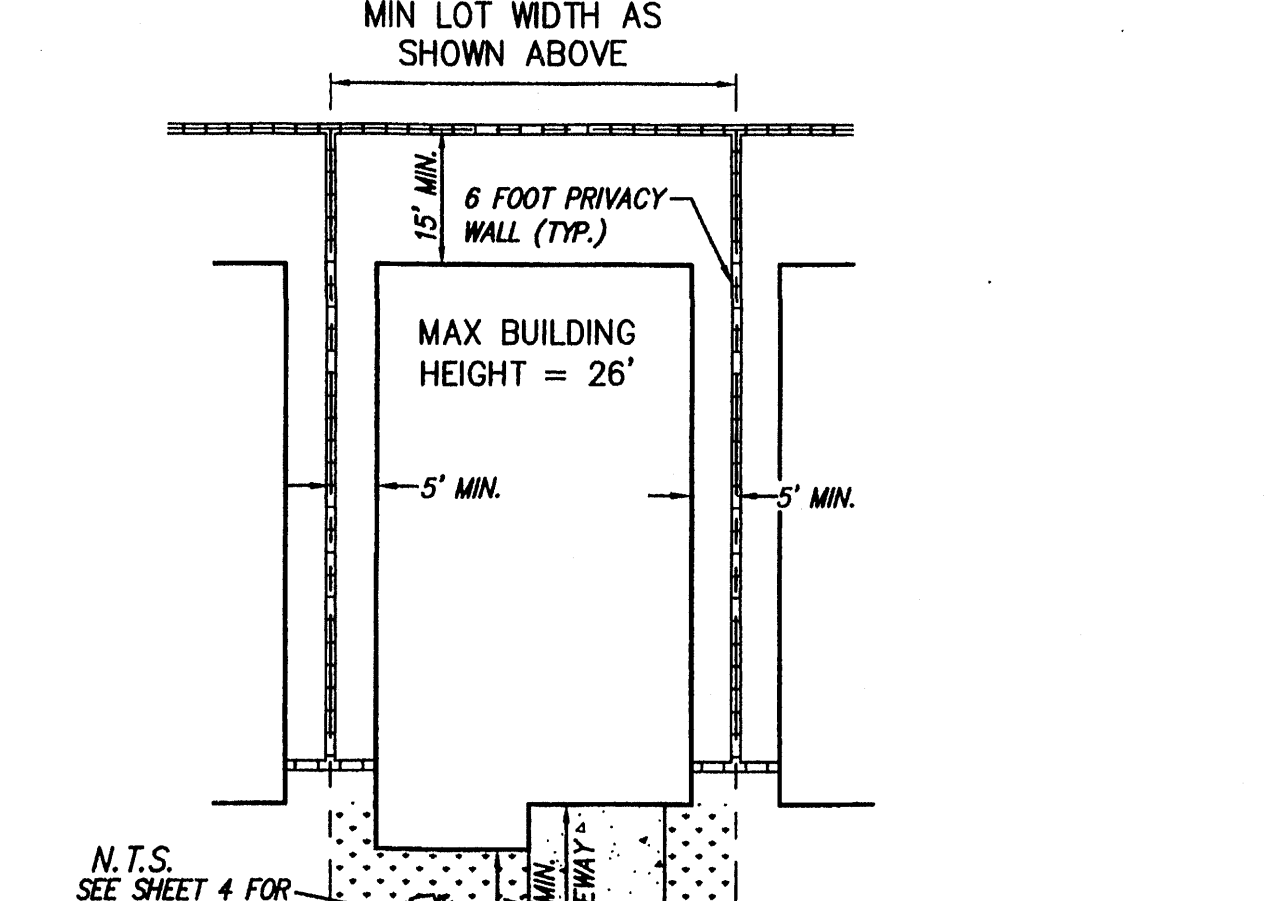
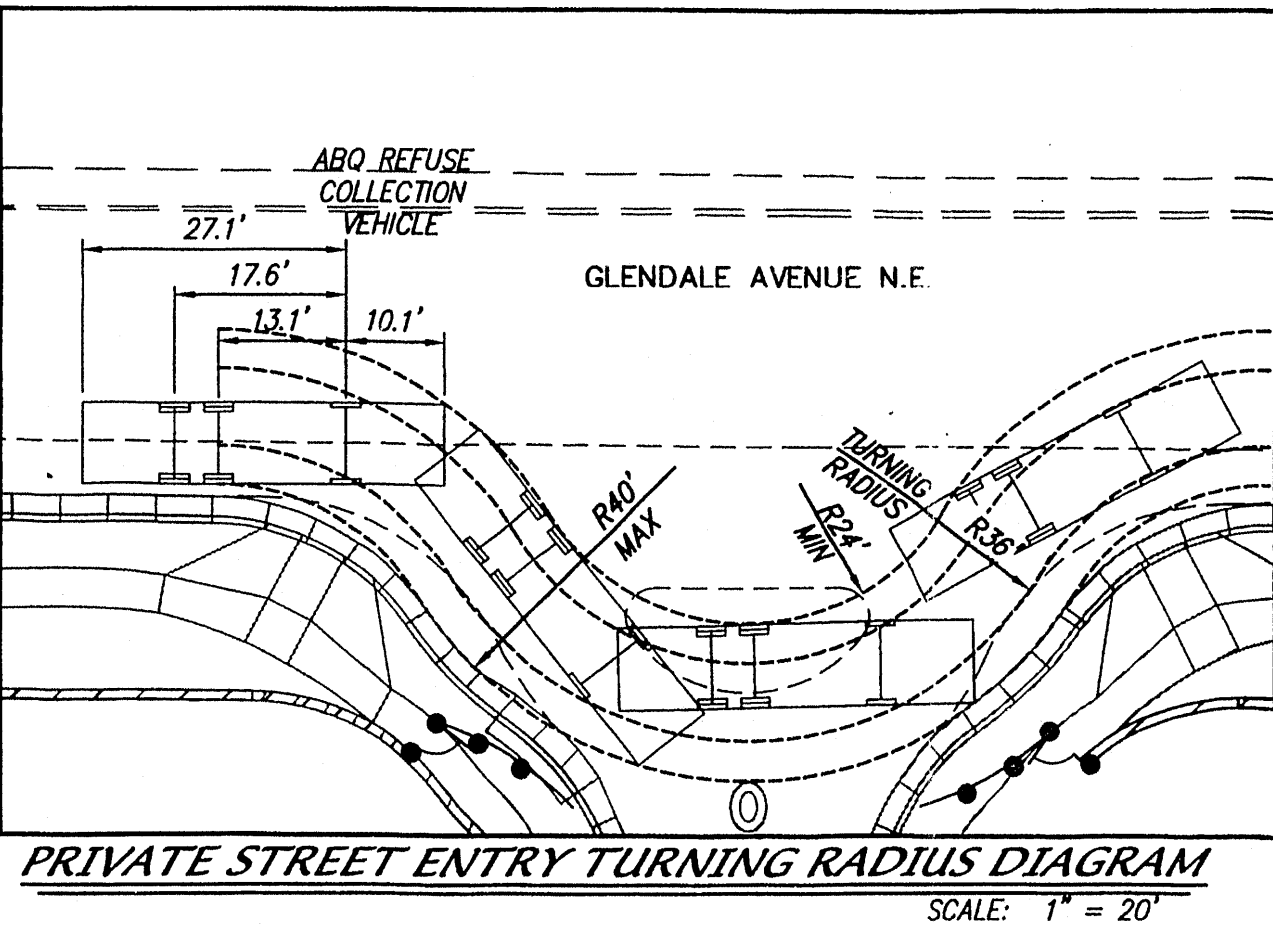
- Off-street parking shall be provided in accordance with Section 14-16-3-1 of the Zoning Code (General Parking Regulations).

VII OPEN SPACE

- Open space shall be provided on each lot in accordance with Section 14-16-3-8 of the Zoning Code (Detached Open Space Regulations).

VIII SIGNAGE

- Any signage proposed to identify the subdivision shall be provided in accordance with the Zoning Code General Sign Regulations, §14-16-3-5, and the La Cueva Sector Development Plan Design Guidelines, Sign Regulations pg. 37 13R-1 through 13R-9. The maximum individual letter size of all building mounted signs shall be two feet. No wall mounted signs are allowed on facades that face abutting residential zones.



EASEMENTS

- EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672)
- NEW PRIVATE DRAINAGE EASEMENT.

LEGEND

	NEW EASEMENT		EXISTING PAVING
	PROPERTY LINE		AREA OF EXISTING EASEMENT VACATION
	EXISTING CURB		NEW PAVEMENT
	EXISTING FENCE		PHASE BOUNDARY
	EXISTING WALL		WROUGHT IRON FENCE & GATE
	NEW SIDEWALK		
	NEW STORM DRAIN INLET		
	NEW WALL		

PLAN INDEX SHEETS

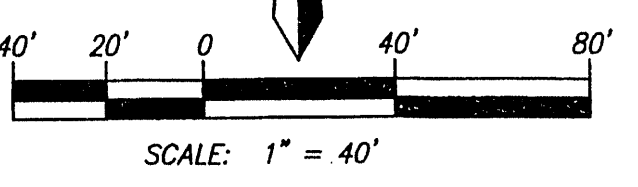
SITE PLAN FOR SUBDIVISION	1
CONCEPTUAL GRADING & DRAINAGE PLAN	2
CONCEPTUAL UTILITY PLAN	3
LANDSCAPING PLAN	4

PREPARED BY:

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

PREPARED FOR:

GLENDALE, LLC
 7101 NATALIE JANAE LANE NE CT. NE
 ALBUQUERQUE, NM 87109
 PH: (505) 315-0312



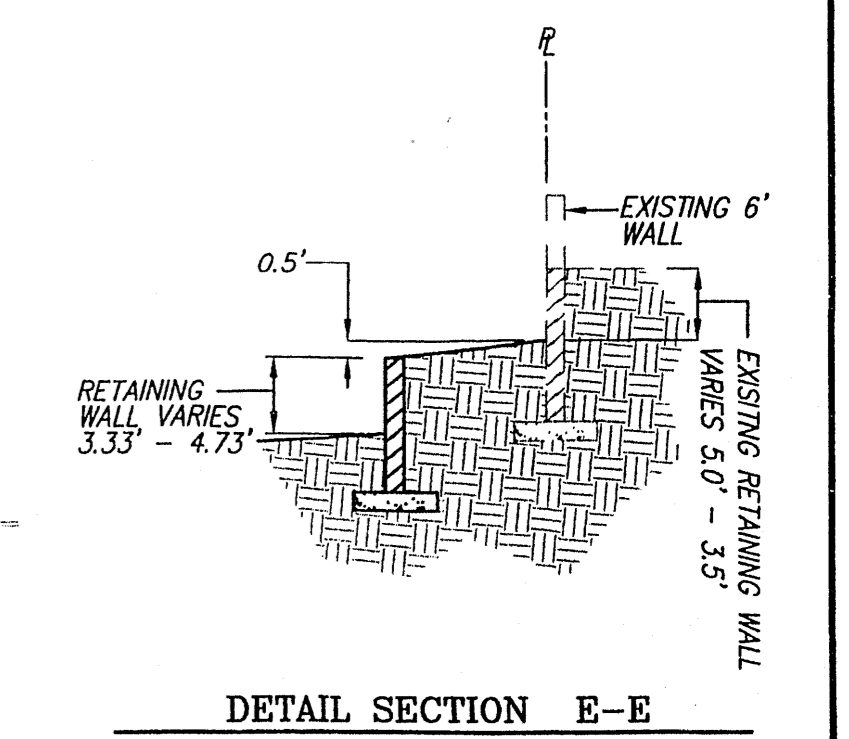
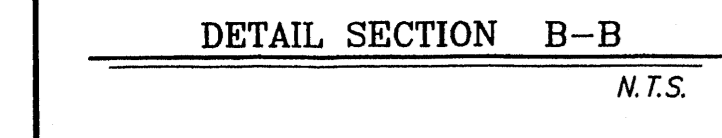
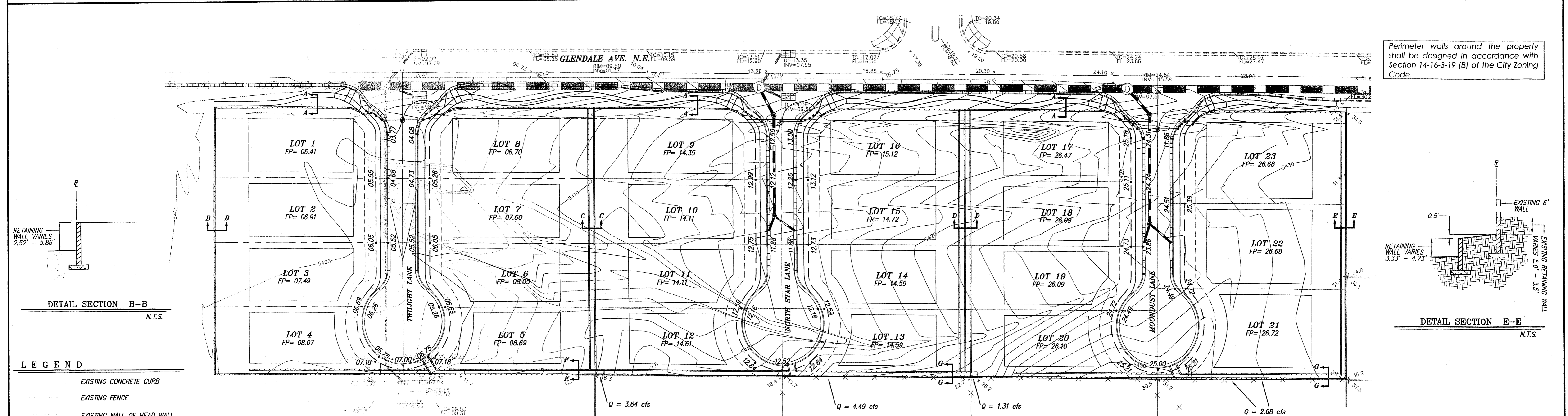
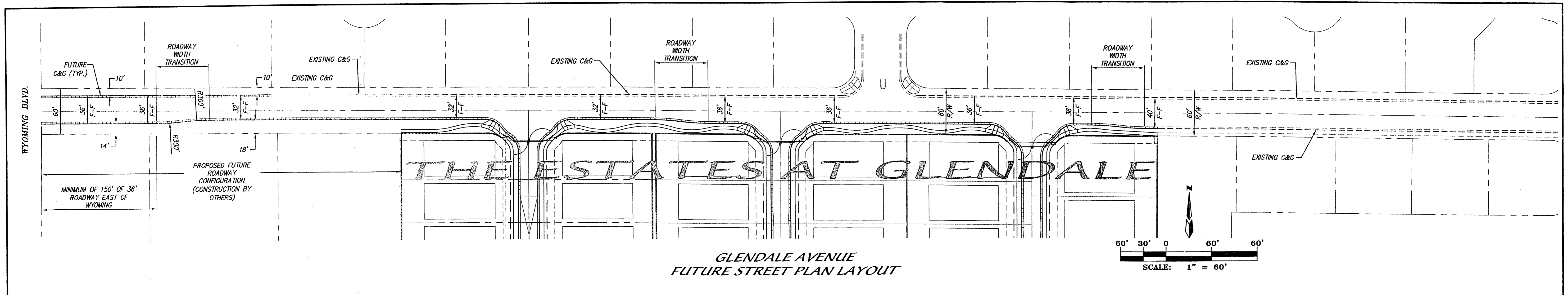
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ESTATES AT GLENDALE
SITE PLAN FOR SUBDIVISION
(SU-1 RD 5DU/AC)

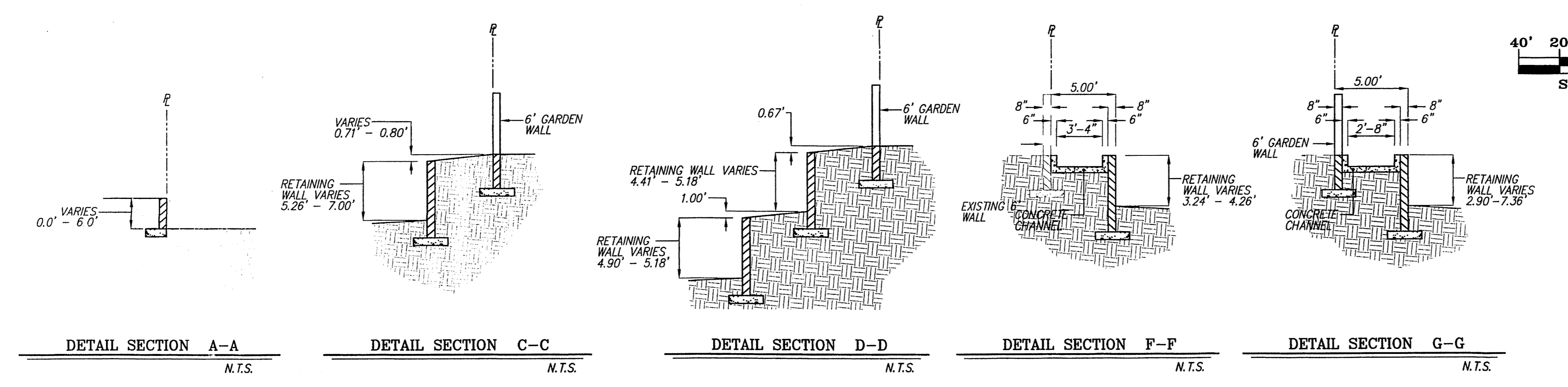
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 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

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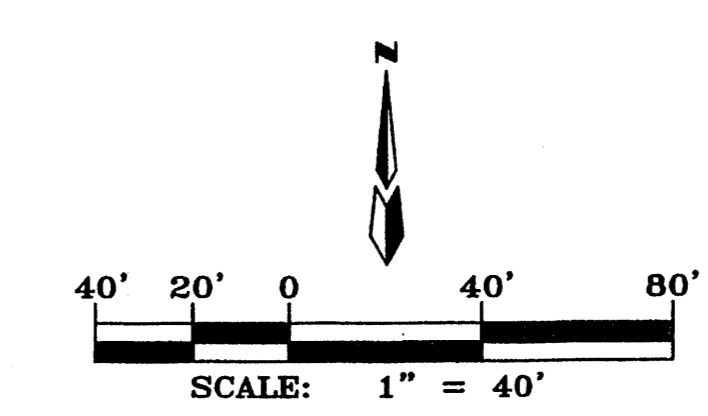
- LEGEND**
- EXISTING CONCRETE CURB
 - EXISTING FENCE
 - EXISTING WALL OF HEAD WALL
 - EXISTING TOP CURB/FLOWLINE
 - EXISTING SPOT ELEVATION
 - EXISTING DROP INLET
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING WATER VALVE
 - EXISTING CONTOUR - MAJOR
 - EXISTING CONTOUR - MINOR
 - NEW LOT LINES
 - NEW SIDEWALK
 - NEW STANDARD CURB & GUTTER
 - NEW MEDIAN CURB & GUTTER
 - NEW RETAINING WALL
 - NEW GARDEN WALL
 - NEW STORMDRAIN
 - NEW STORMDRAIN MANHOLE
 - NEW SPOT ELEVATION



UPON COMPLETION OF ONSITE GRADING OPERATIONS ALL DISTURBED SURFACES ON THE SITE SHALL BE STABILIZED WITH NATIVE SEED AND IRRIGATED WITH A TEMPORARY IRRIGATION SYSTEM TO ESTABLISH THE NEW VEGETATION.

DRAINAGE MANAGEMENT PLAN

THIS SITE WILL ALLOW FREE DISCHARGE TO THE EXISTING DRAINAGE SYSTEM IN GLENDALE AVE. OFFSITE DRAINAGE FROM PRIVATE PROPERTY LOCATED SOUTH OF THIS DEVELOPMENT WILL BE ALLOWED TO FLOW THROUGH THE PRIVATE LOTS IN THIS DEVELOPMENT IN CONCRETE-LINED SIDEYARD SWALES WITH PRIVATE DRAINAGE EASEMENTS THAT WILL CONVEY THE DRAINAGE TO THE NEW PRIVATE STREETS, WHICH WILL THEN DRAIN INTO THE EXISTING 84" ROP IN GLENDALE AVE. VIA 7 NEW INLETS BEING CONSTRUCTED AT VARIOUS LOCATIONS WITHIN THIS PROJECT. THERE IS 30 FEET OF GRADE CHANGE ACROSS THIS SITE IN AN EAST - WEST DIRECTION.

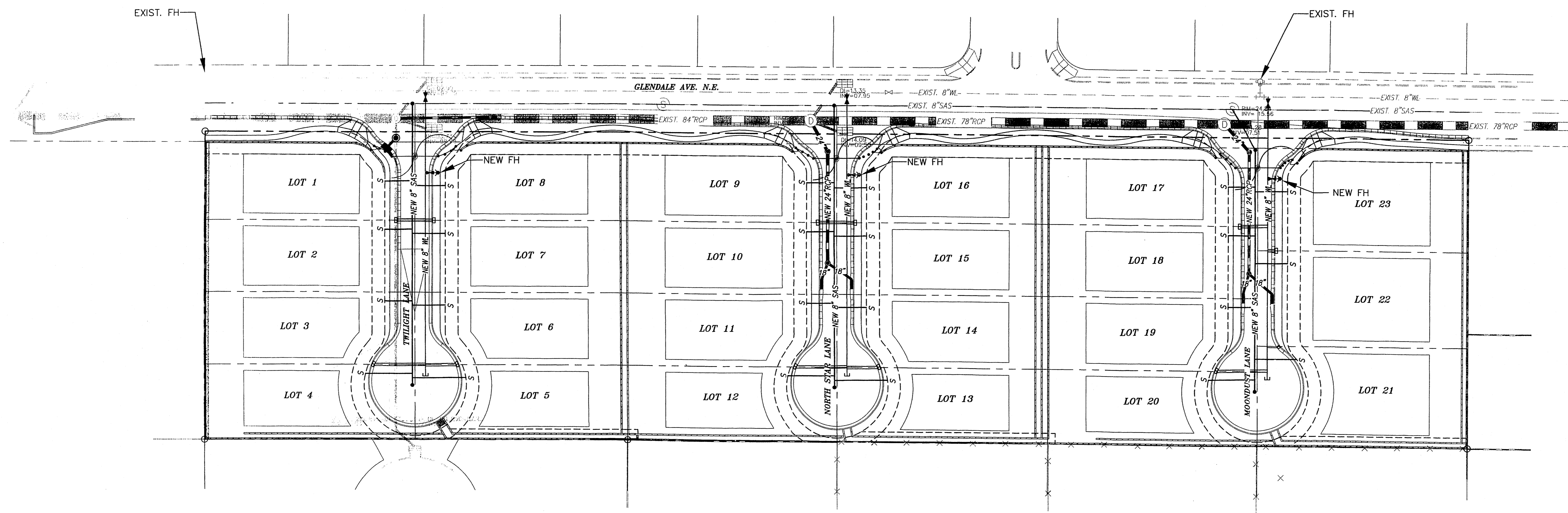


**THE ESTATES AT GLENDALE
CONCEPTUAL GRADING &
DRAINAGE PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

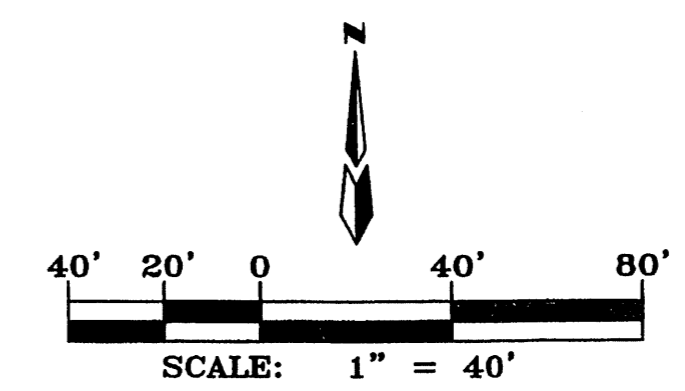
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

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Scale: AS SHOWN	Date: 01-04-12	Job: A11004	



LEGEND

EXISTING CONCRETE CURB	---	NEW LOT LINES	•	NEW SAS MANHOLE	○
EXISTING FENCE	---	NEW SIDEWALK	—S	NEW SAS SERVICE	—S
EXISTING WALL OF HEAD WALL	---	NEW STANDARD CURB & GUTTER	—8" WL	NEW WATERLINE	—W
EXISTING DROP INLET	---	NEW MEDIAN CURB & GUTTER	—W	NEW FIRE HYDRANT	—F
EXISTING FIRE HYDRANT	---	NEW RETAINING WALL	—R	NEW BEND	—B
EXISTING SANITARY SEWER MANHOLE	○	NEW GARDEN WALL	—G	NEW GATE VALVE	—GV
EXISTING STORM DRAIN MANHOLE	○	NEW STORMDRAIN	—SD	NEW DBL WATER METER	—DM
EXISTING WATER VALVE	○	NEW STORMDRAIN MANHOLE	○		
	—8" SAS	NEW SAS	—S		



THE ESTATES AT GLENDALE
CONCEPTUAL MASTER
UTILITY PLAN

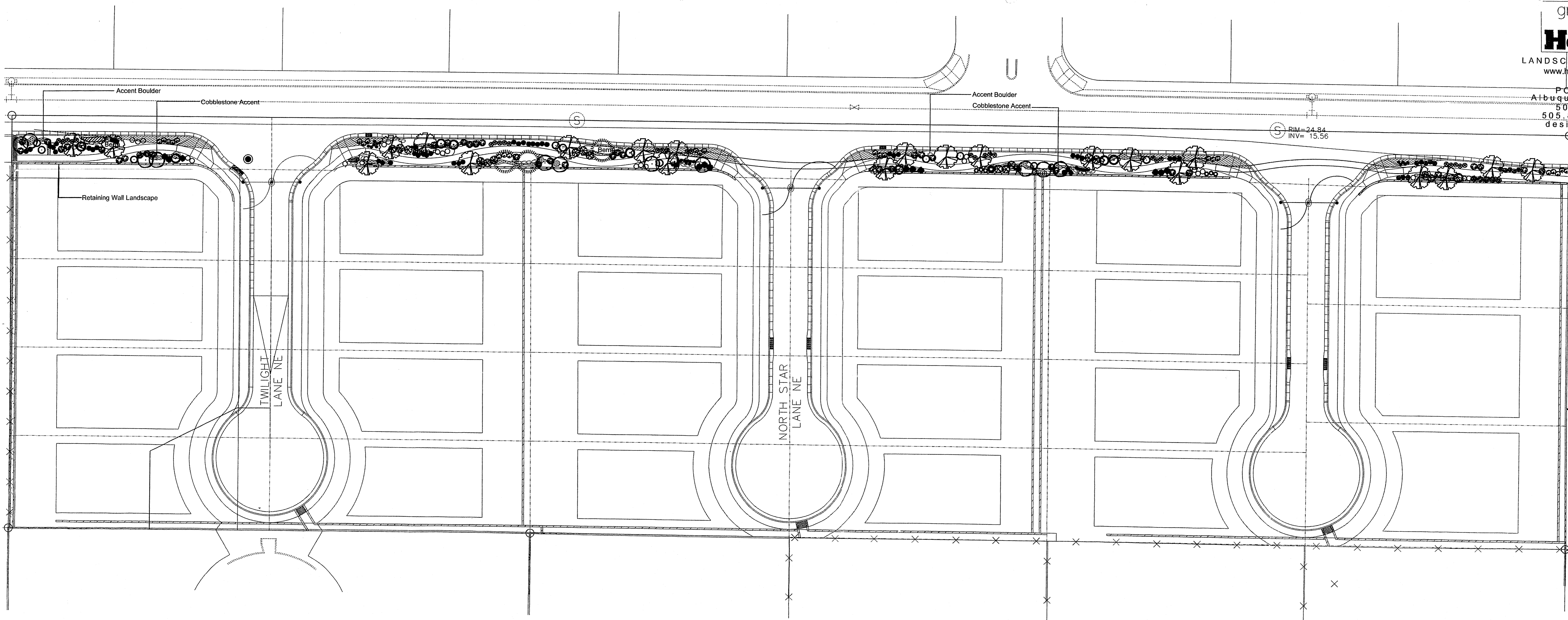
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(505)828-2200, FAX (505)797-9539

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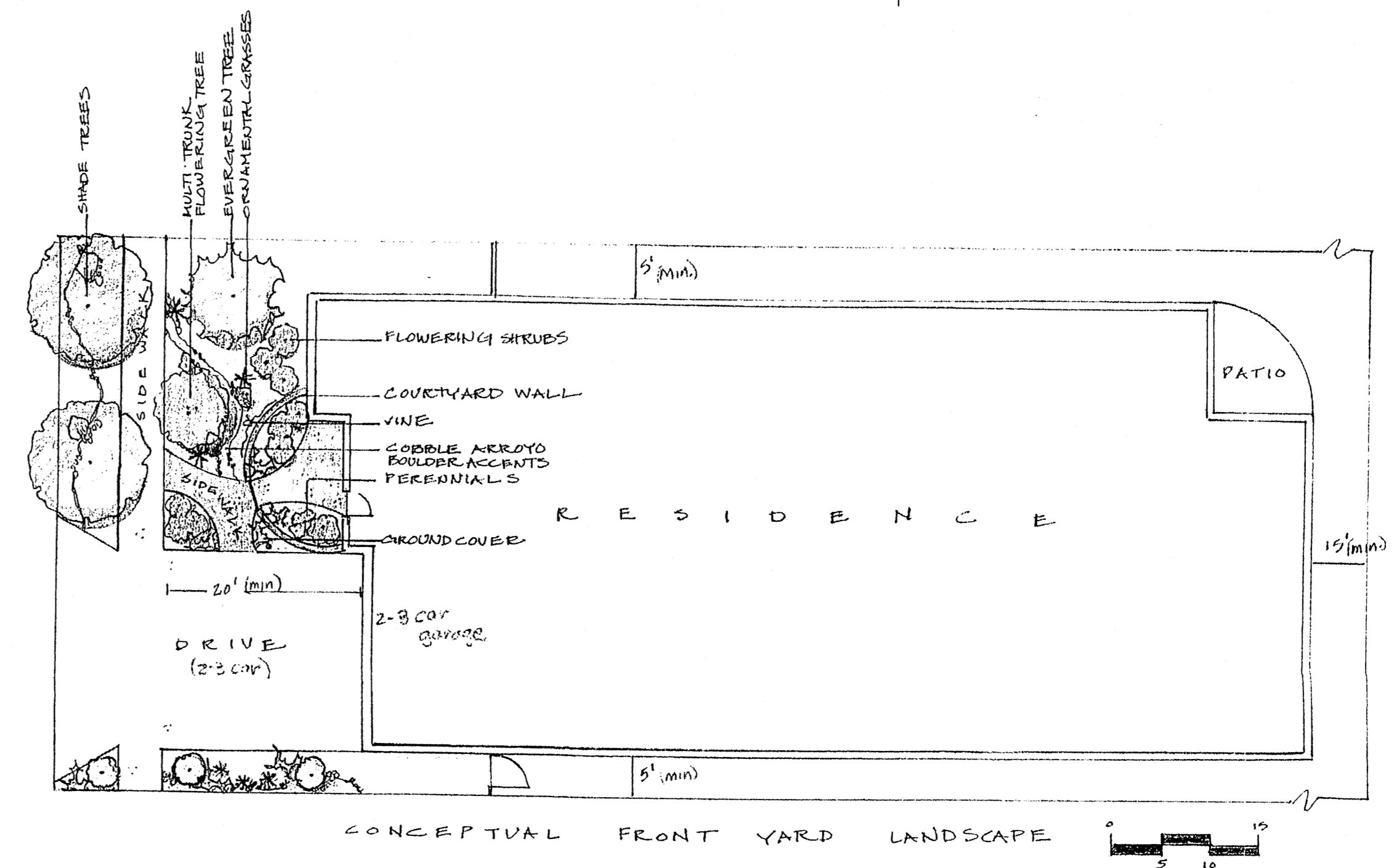
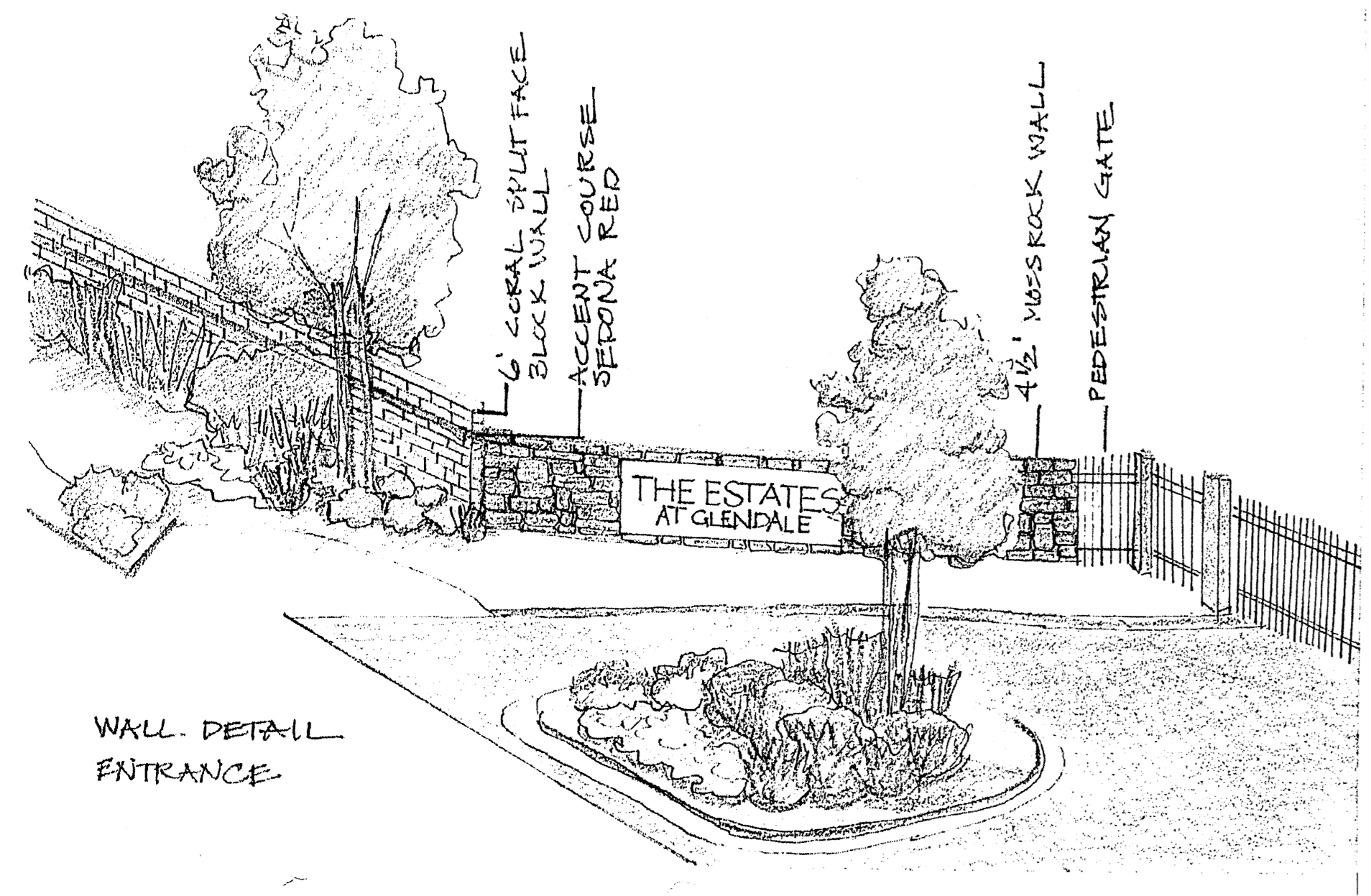


Date: 3/9/11
Revisions:
▲ 3/21/11
▲ 4/8/11
▲ 11/09/11
▲ 3/16/12
▲ 4/23/12
▲ 5/4/12
Drawn by: JC
Reviewed by: GM

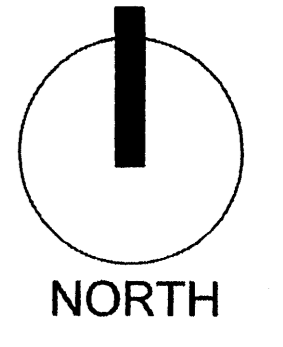


PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
22		Betula Birch	2" B&B	Medium
11		Populus Aspen/Multi Trunk	2" B&B	Medium
9		Pinus, Picea Bosnian Pine, Dwarf Spruce	5'-6"	Medium
3		Pinus, Cedrus, Picea Ponderosa Pine, Blue Atlas Cedar, Blue Spruce	5'-6"	Medium
Shrubs/Groundcovers				
36		Achillea filipendulina Moonshine Yarrow	1-Gal	Medium
6		Centranthus Jupiter's Beard	1-Gal	Medium
28		Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	Low+
25		Nepeta mussini Giant Catmint	1-Gal	Medium
14		Perovskia atriplicifolia Russian Sage	1-Gal	Medium
11		Pinus mugo Mugo Pine	5-Gal	Medium
39		Potentilla fruticosa Shrubby Cinquefoil	5-Gal	Medium+
3		Rosmarinus Rosemary	5-Gal	Low+
24		Lavandula Lavender	5-Gal	Low+
Ornamental Grasses				
17		Calamagrostis acutiflora Karl Foerster Grass	5-Gal	Medium
19		Muhlenbergia capillaris 'Regal Mist' Regal Mist	5-Gal	Medium
19		Liriope Mondo Grass	1-Gal	Low +
1		Miscanthus Maiden Grass	5-Gal	Low +
Perennials				
TBD		California Poppy/ Columbine	Flats/Seed/4" pots	



The Estates at Glendale
Albuquerque, New Mexico

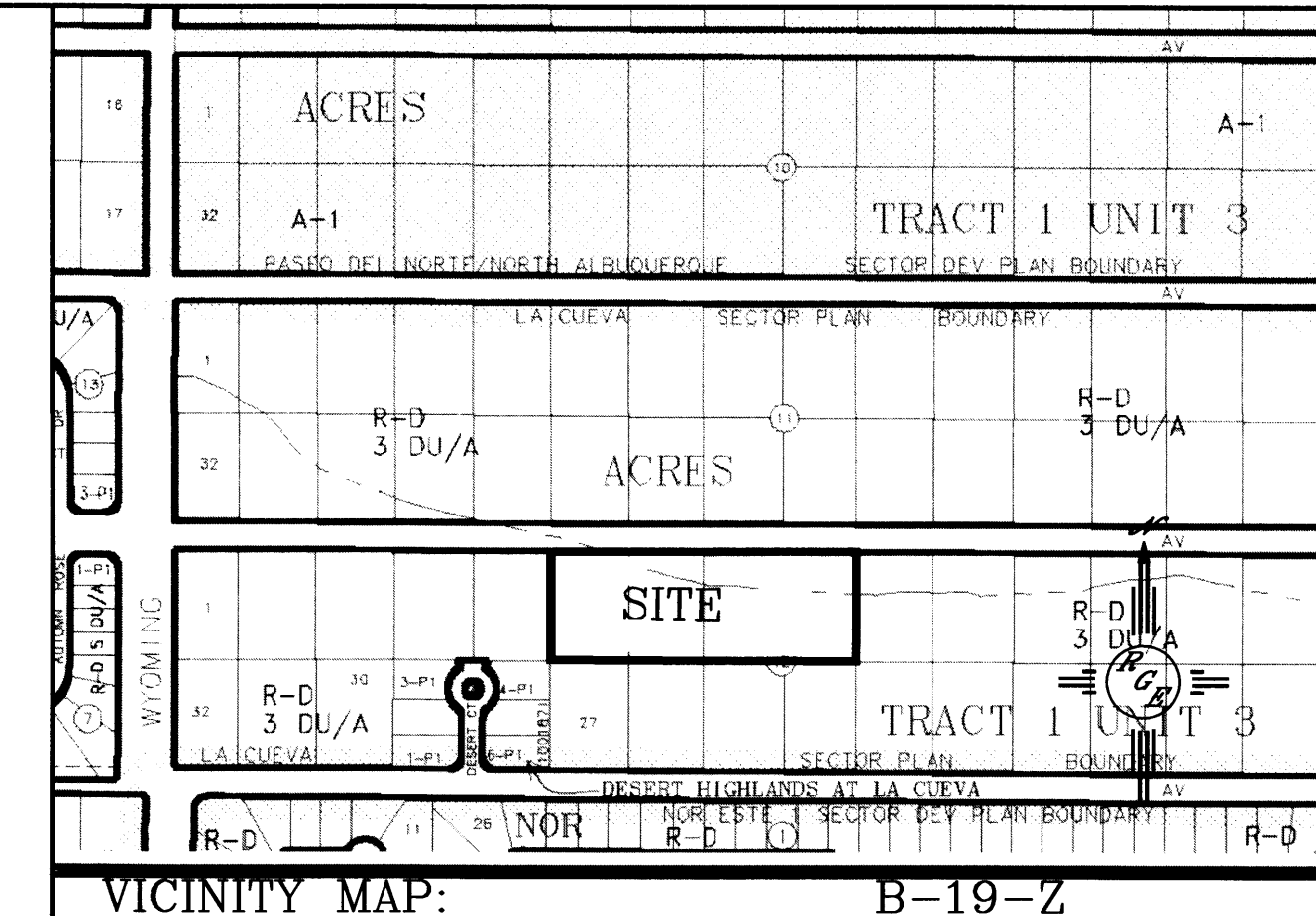
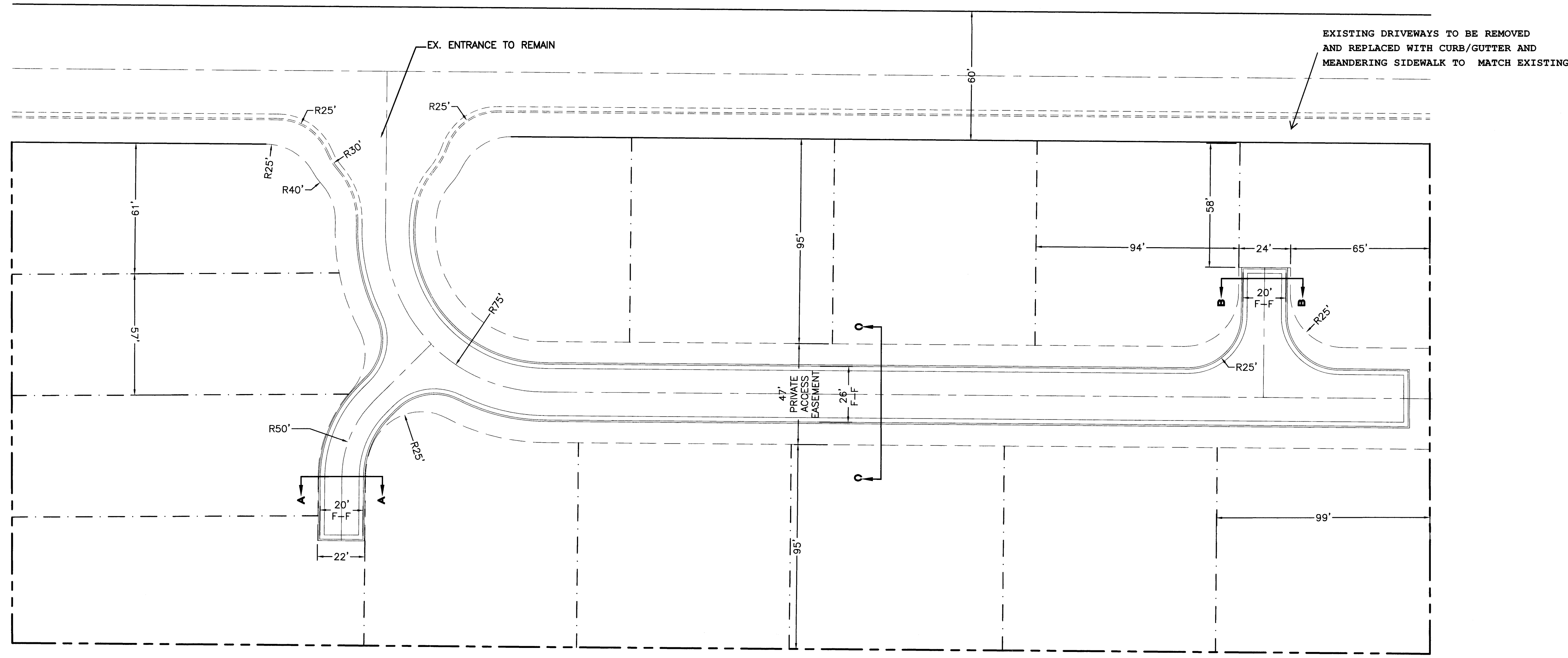


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Landscape Plan

Sheet Number:

LS-01

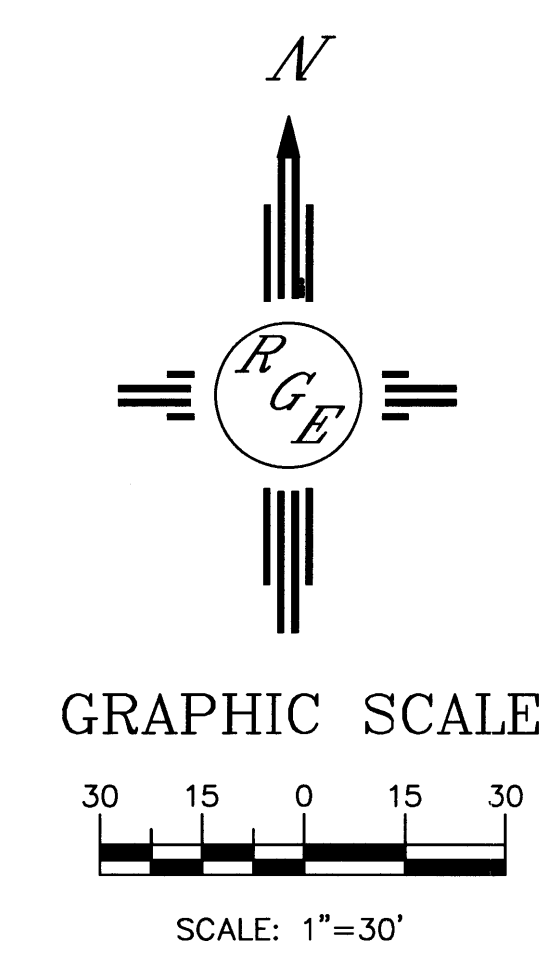
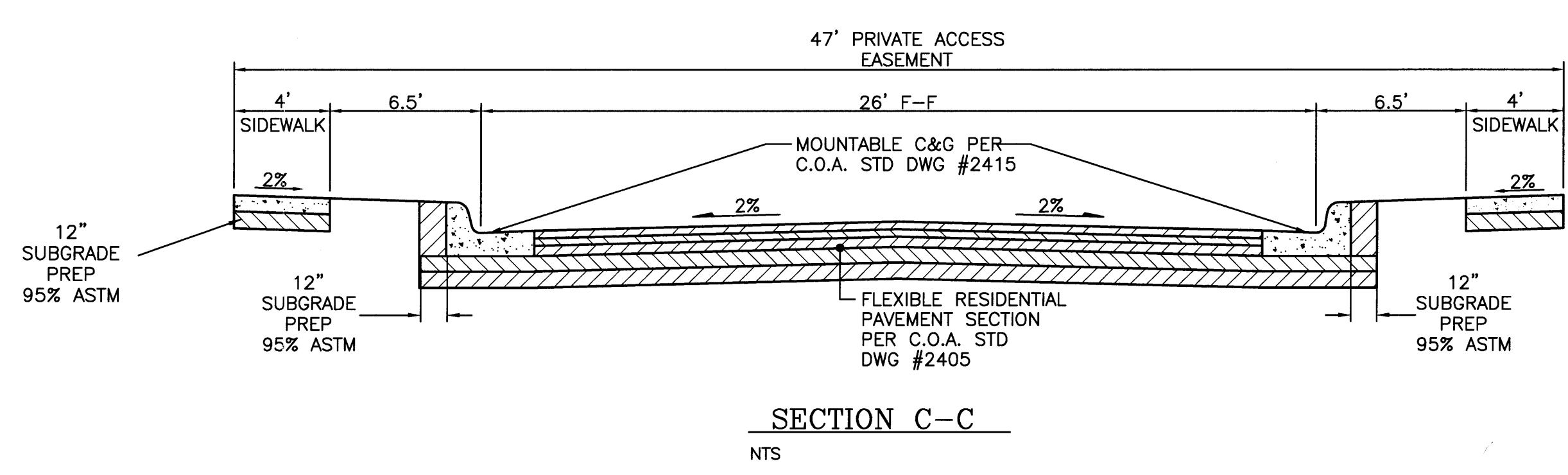
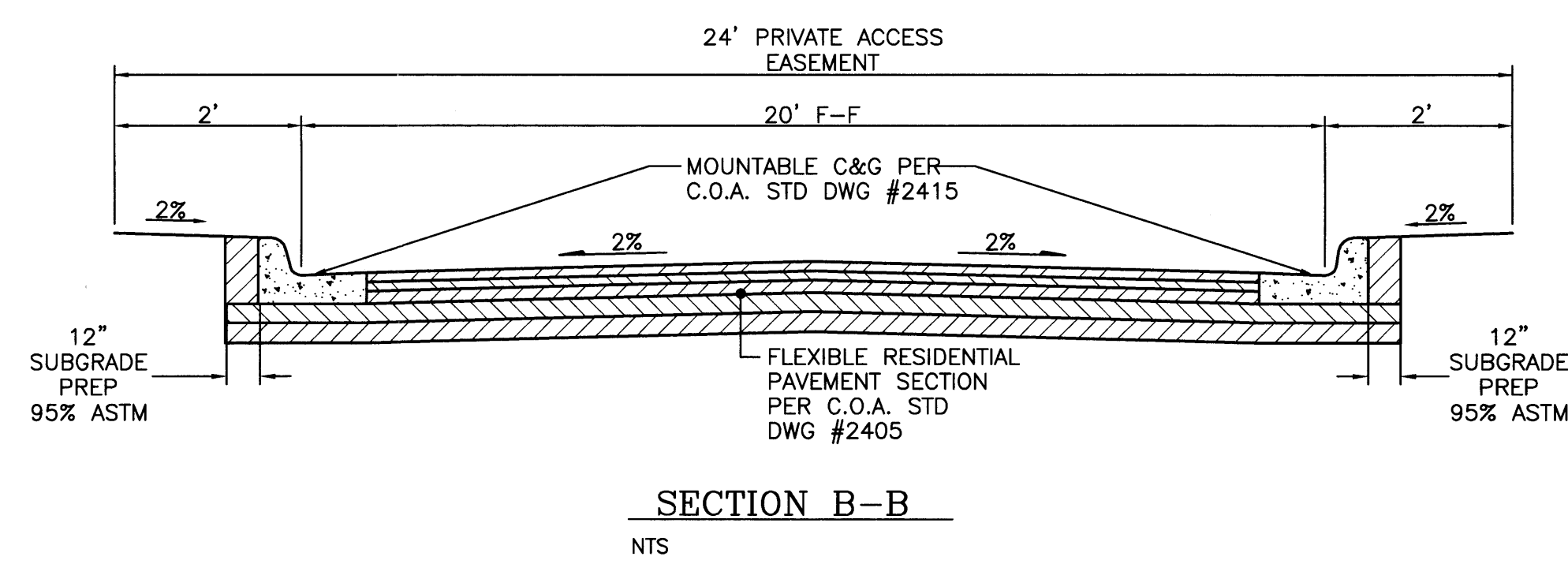
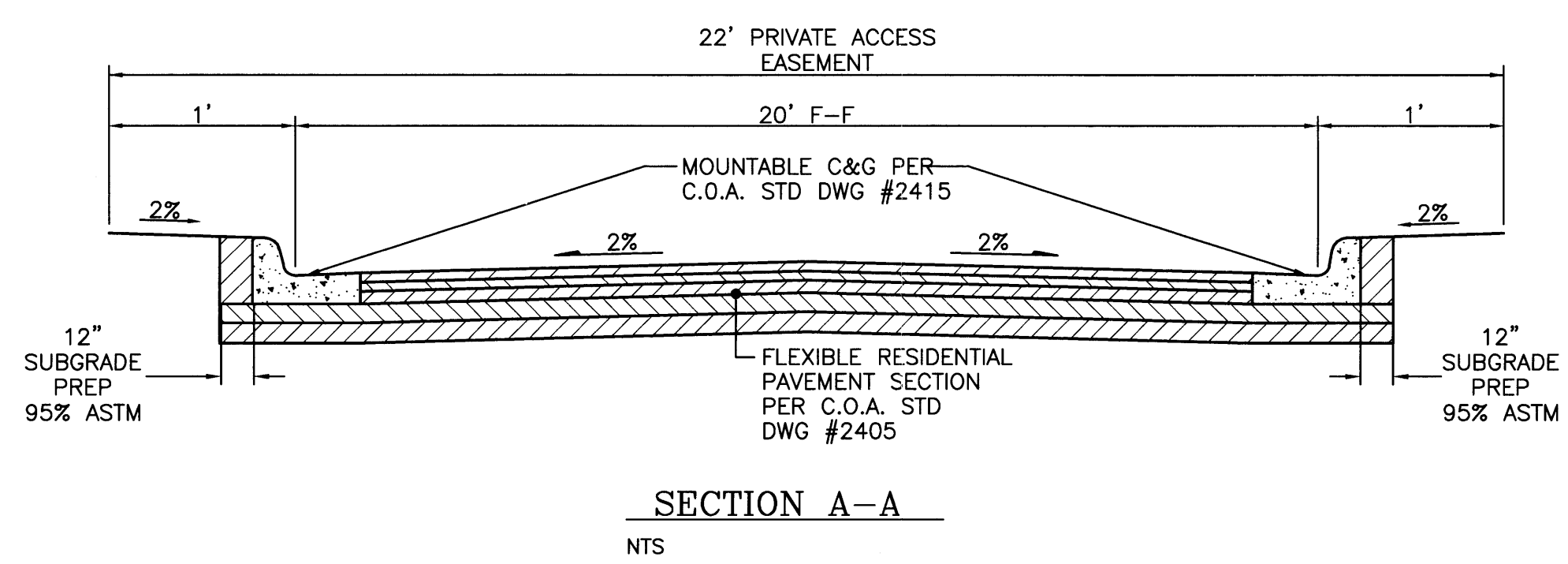


LEGAL DESCRIPTION
 TRACT A & B, ESTATES AT GLENDALE
 EXISTING ACREAGE=3.53 ACRES
 DENSITY=3.95

- LEGEND**
- PROPOSED SNGL. "A" INLET
 - EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - FUTURE CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED 6' SIDEWALK
 - CENTERLINE
 - RIGHT-OF-WAY
 - LOT LINES

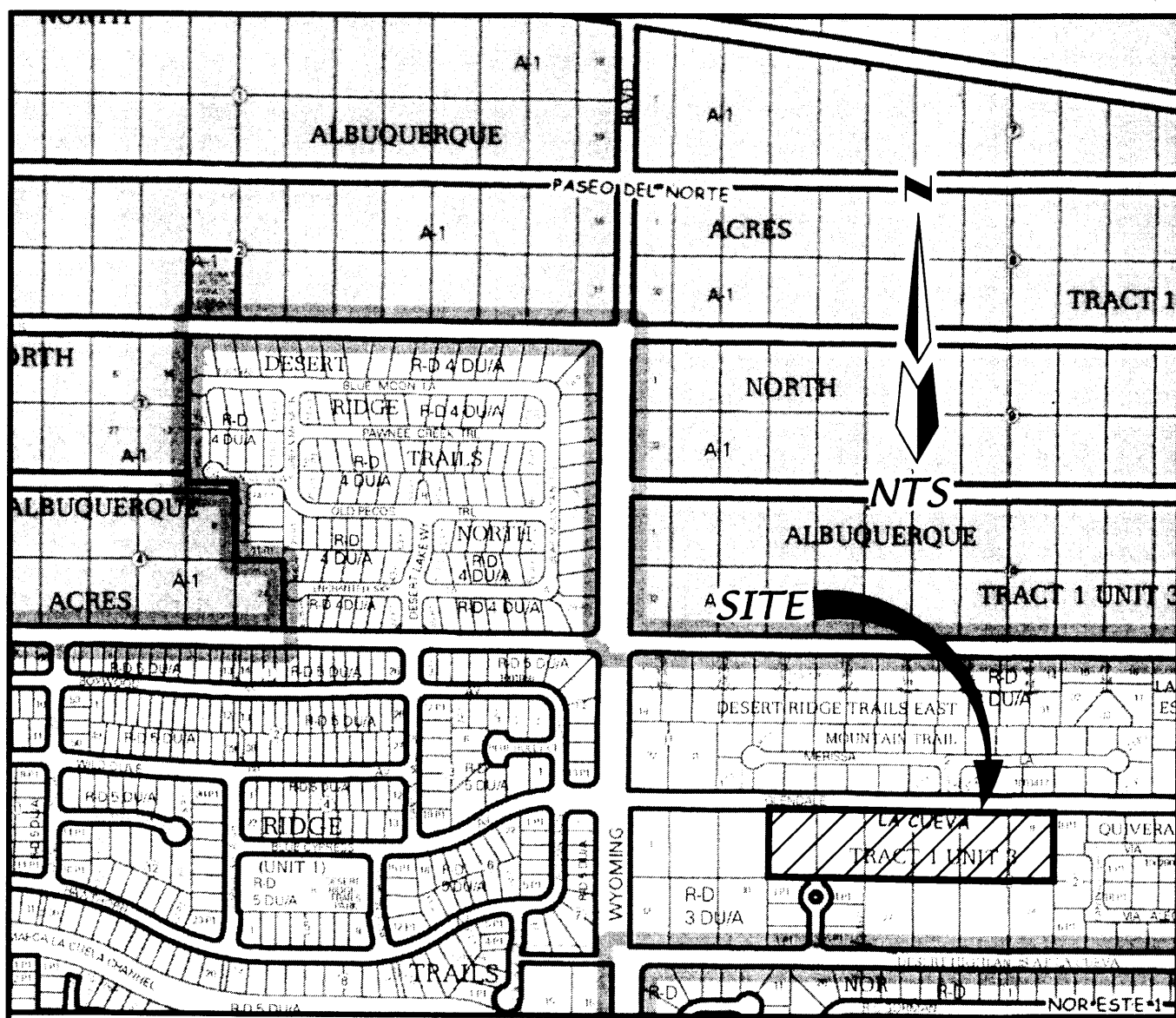
- KEYED NOTE:**
- (A) 6' VALLEY GUTTER PER C.O.A. STD DWG #2420
 - (B) STANDARD C&G PER COA STD DWG #2415A
 - (C) MOUNTABLE C&G PER COA STD DWG #2415A
 - (D) HANDICAP RAMP SEE DETAIL THIS SHEET
 - (E) 6' SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430
 - (F) 4' SIDEWALK TO BE BUILT W/THIS PROJECT PER COA STD DWG #2430

- GENERAL NOTES:**
1. EXISTING ZONING SU1 FOR RD/5DU.
 2. ALL WALL FOUNDATIONS/TOE MUST BE OUTSIDE COA ROW.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL ROADWAY SIGNS UNTIL FINAL ACCEPTANCE.



PROJECT: 1008656
 DATE: 7-16-14
 APP: 14-70233 (SK)

ENGINEER'S SEAL	GLENDALE ESTATES UNIT 2	DRAWN BY WCWJ
	SKETCH PLAT	DATE 2-08-11
DAVID SOULE P.E. #14522	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0998	2119-LAYPUT-6-01-10
		SHEET # 1
		JOB # 2119



VICINITY MAP NOT TO SCALE ZONE ATLAS: B-19-Z

SUBDIVISION DATA

GROSS ACREAGE	5.9930 Acres
ZONE ATLAS NO.	B-19-Z
NO. OF EXISTING LOTS	6
NO. OF LOTS/TRACTS CREATED	8/2
NO. OF LOTS ELIMINATED	6
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.7068 Acres
DATE OF SURVEY	February, 2011

FREE CONSENT AND DEDICATION

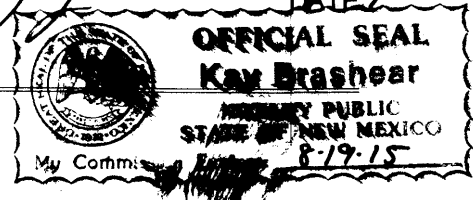
The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate the southern half of Glendale Avenue as shown hereon to the City of Albuquerque in fee simple without warranty covenants and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant private roadway easements as shown hereon and said owner(s) and/or proprietor(s) do hereby consent to the elimination of lot lines as shown hereon. Said owner(s) and/or proprietor(s) do hereby grant: all private access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: ASHTON HOMES, LLC
 BY: RANDALL SCHMILLE
 MANAGING MEMBER

Randall Schmile, Managing Member 7/19/12
 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO



This instrument was acknowledged before me on July 19, 12
 By, Randall Schmile, Managing member, Ashton Homes, LLC, New Mexico a Limited Liability Corporation, A New Mexico Corporation on behalf of said corporation

Kay Brashear August 19, 2015
 NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION

A TRACT OF LAND SITUATE, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN VOLUME D, FOLIO 121, TOGETHER WITH A PORTION OF GLENDALE AVENUE NE AND CONTAINING 5.9930 ACRES MORE OR LESS.

PURPOSE OF PLAT

1. SUBDIVIDE LOTS 4 THRU 9, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS, AND 2 TRACTS FOR FUTURE RESIDENTIAL SUBDIVISION.
2. GRANT NEW EASEMENTS AS SHOWN HEREON
3. VACATE EASEMENTS AS SHOWN HEREON
4. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON

NOTES:

1. Bearings Are New Mexico State Plane Grid Bearings (central Zone). (NAD 83).
2. Distances are ground distances.
3. Bearings and distances In parenthesis are record.
4. Basis of boundary are the following plats and documents of record entitled:
 Plat for "north Albuquerque Acres, Tract 1, Unit 3", (09-10-31, D-121) Being record of Bernalillo County, New Mexico.
5. Unless otherwise noted, all boundary corners are marked by a #5 rebar w/cap stamped "ALS LS 7719" (TYP).
6. **SOLAR NOTE:** No property within the area of this Plat shall be subject to a Deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

**PLAT FOR
 THE ESTATES AT GLENDALE, UNIT 1
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 7
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2012**

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1008656

Application Number: _____

PLAT APPROVAL

Utility Approvals:

<i>Fernando Vigil</i> Public Service Company of New Mexico	<u>8-2-12</u> Date
<i>[Signature]</i> New Mexico Gas Company	<u>8-2-2012</u> Date
<i>Rachelle [Signature]</i> Qwest Telecommunications	<u>8-2-12</u> Date
<i>[Signature]</i> Comcast	<u>8-2-12</u> Date

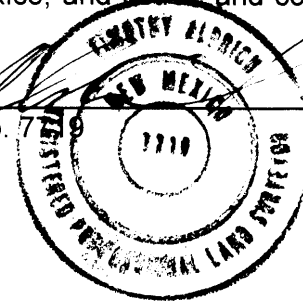
City Approvals:

<i>[Signature]</i> City Surveyor	<u>7-23-12</u> Date
Real Property Division	_____ Date
Traffic Engineering, Transportation Division	_____ Date
Albuquerque Bernalillo Water Utility Authority	_____ Date
Parks and Recreation Department	_____ Date
AMAFCA	_____ Date
City Engineer	_____ Date
DRB Chairperson, Planning Department	_____ Date

SURVEYOR'S CERTIFICATION:

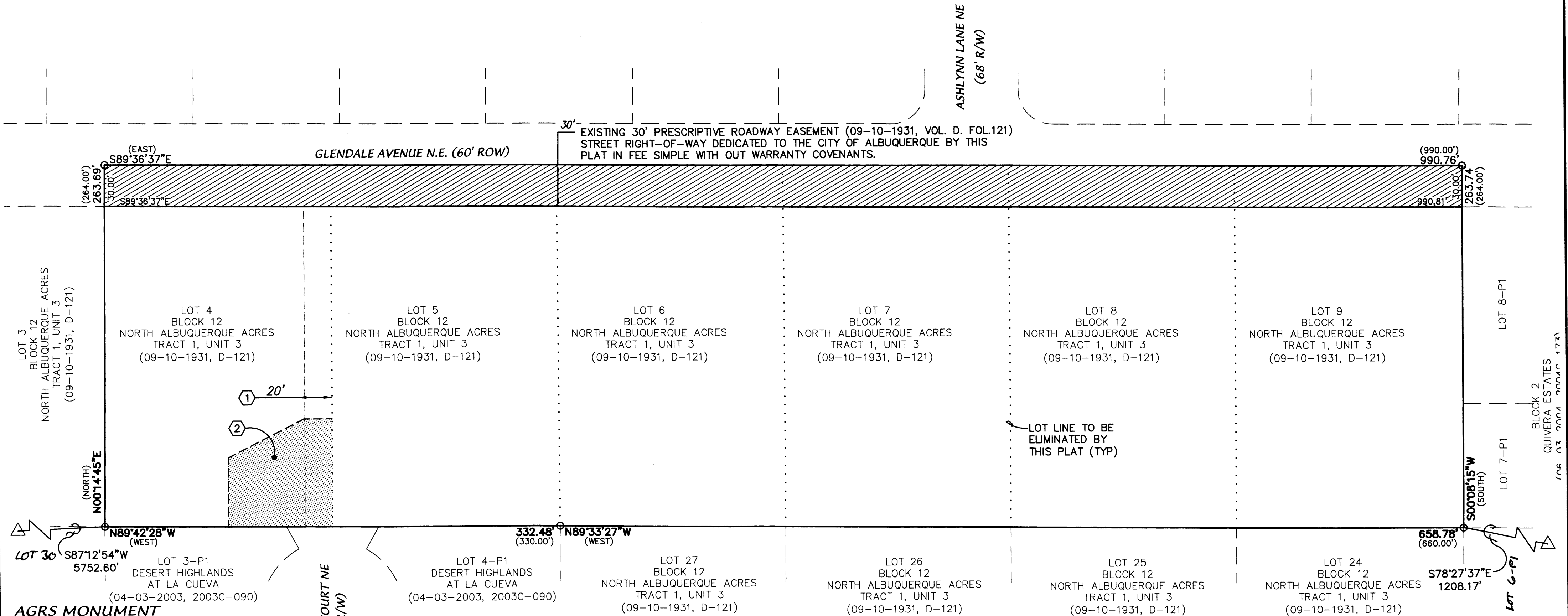
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 07/23/12
 Timothy Aldrich, P.S. No. 7110 Date



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Scale: AS SHOWN	Date: 6/20/2012	Job: A11004	



**PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1**
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 7
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2012



STATION *10-C18*
N=1524123.885 E=1542565.263
G-G=0.999665042
Δα=-00°11'19.43" CENTRAL ZONE
(NAD1983/NAVD1988)
ELEVATION=5222.090

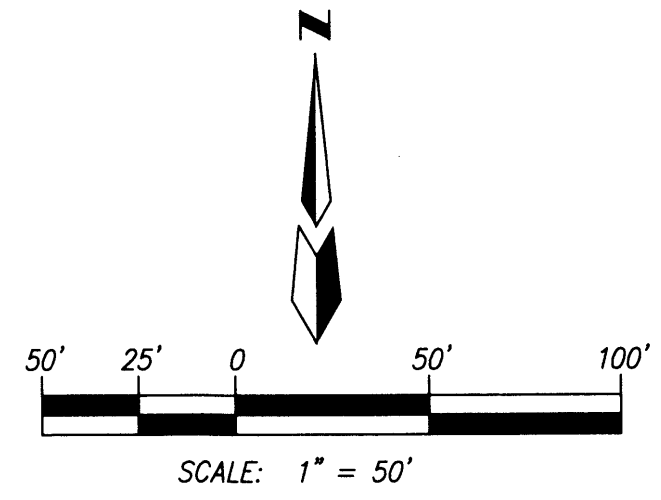
STATION *1-B20*
N=1524154.945 E=1550483.349
G-G=0.999651137
Δα=-00°10'24.45" CENTRAL ZONE
(NAD1983/NAVD1988)
ELEVATION=5477.179

LEGEND


-  LIMITS OF VACATION
-  STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT IN FEE SIMPLE (0.6824 ACRES).

EASEMENTS

- ① EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
- ② EXISTING C.O.A. TEMPORARY PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065672) TO BE VACATED



Jim [Signature]
07/23/12



A11004_FP_PLAT.dwg	Drawn: SPS	Checked: TA	Sheet 2 of 3
Scale: AS SHOWN	Date: 6/20/2012	Job: A11004	

**PLAT FOR
THE ESTATES AT GLENDALE, UNIT 1**
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 7
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2012

LEGEND



ADDITIONAL STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE BY THIS PLAT IN FEE SIMPLE WITH WARRANTY COVENANTS (0.0244 ACRES).



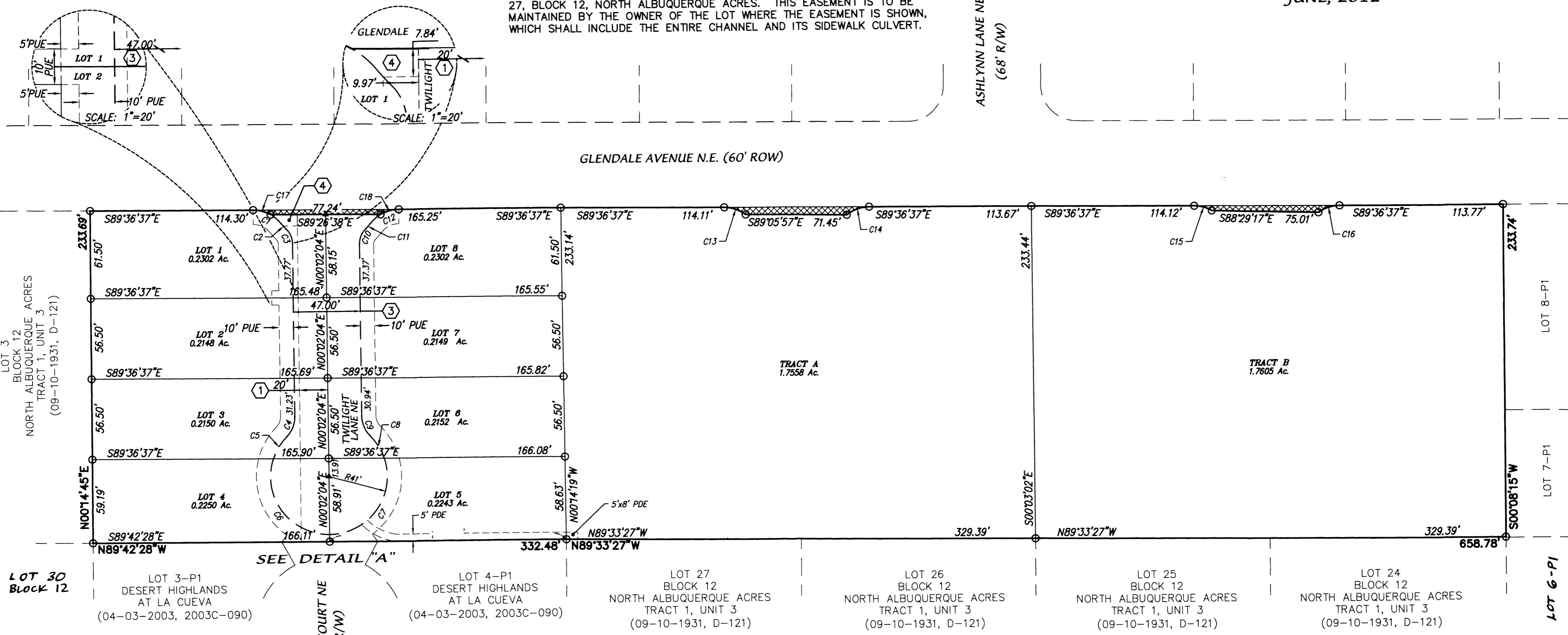
CENTER LINE MONUMENT OF PRIVATE ROADWAY.



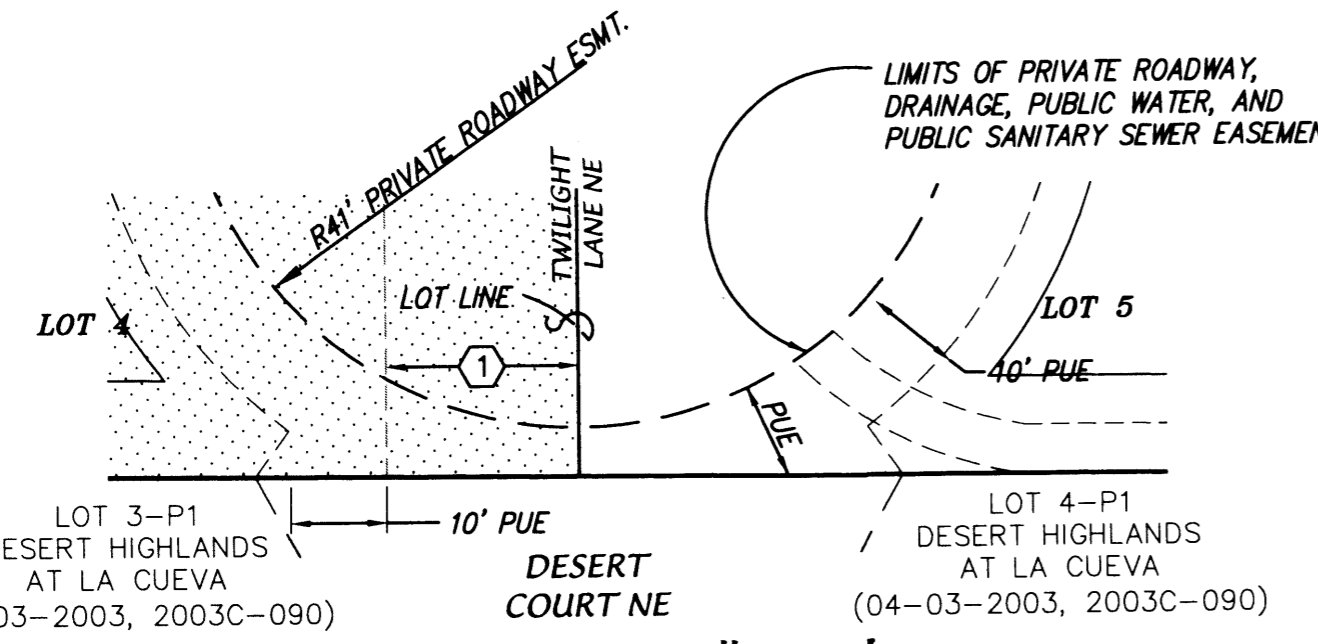
SET 5/8 REBAR WITH CAP "LS 7719".

EASEMENTS

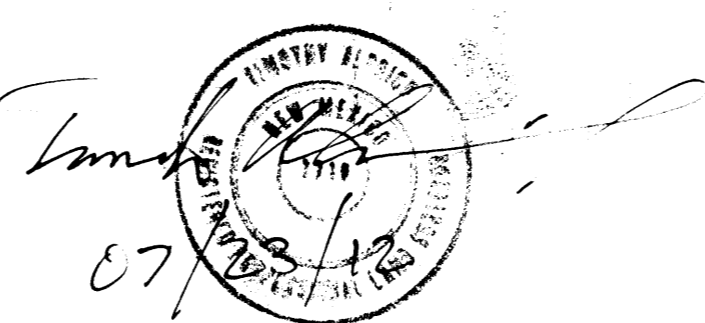
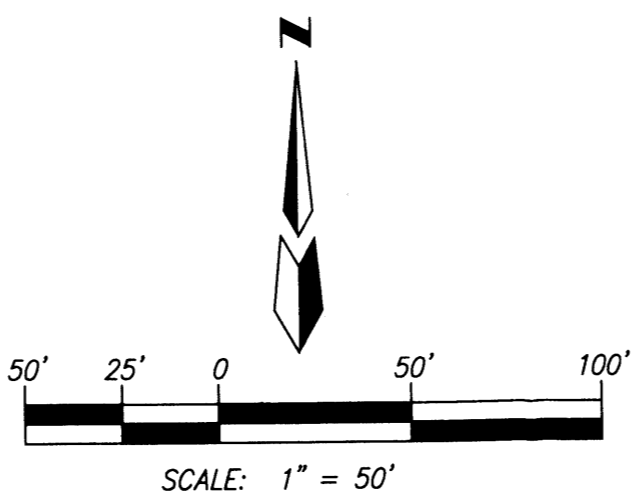
- ① EXISTING 20' C.O.A. PUBLIC DRAINAGE EASEMENT (04-22-2003, DOC. # 2003065673)
 - ③ NEW 47' PRIVATE ROADWAY, PRIVATE DRAINAGE, PUBLIC WATER, AND PUBLIC SANITARY SEWER EASEMENT.
 - ④ NEW PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- 5' PDE PRIVATE DRAINAGE EASEMENT SHOWN HEREON IS FOR THE BENEFIT OF LOT 27, BLOCK 12, NORTH ALBUQUERQUE ACRES. THIS EASEMENT IS TO BE MAINTAINED BY THE OWNER OF THE LOT WHERE THE EASEMENT IS SHOWN, WHICH SHALL INCLUDE THE ENTIRE CHANNEL AND ITS SIDEWALK CULVERT.



SEE DETAIL "A"



DETAIL "A", SCALE: 1" = 20'



PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico (PNM) for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company (NMGCO) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Communications d/b/a Century Link (QWEST) for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
- Comcast for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together

with free access to, from, and over said right-of-way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right-of-way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

DISCLAIMER In approving this plat, PNM, NMGCO, QWEST and COMCAST did not conduct a title search of the properties shown hereon.

Consequently, PNM, NMGCO, QWEST and COMCAST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

DRB NO. 1008656 CITY PROJECT NO. 702783 SHEET 3 OF 10

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Scale: AS SHOWN	Date: 6/28/2012	Job: A11004	