

PROJECT NUMBER: 1008766  
 APPLICATION NUMBER: 11DRB-70212

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

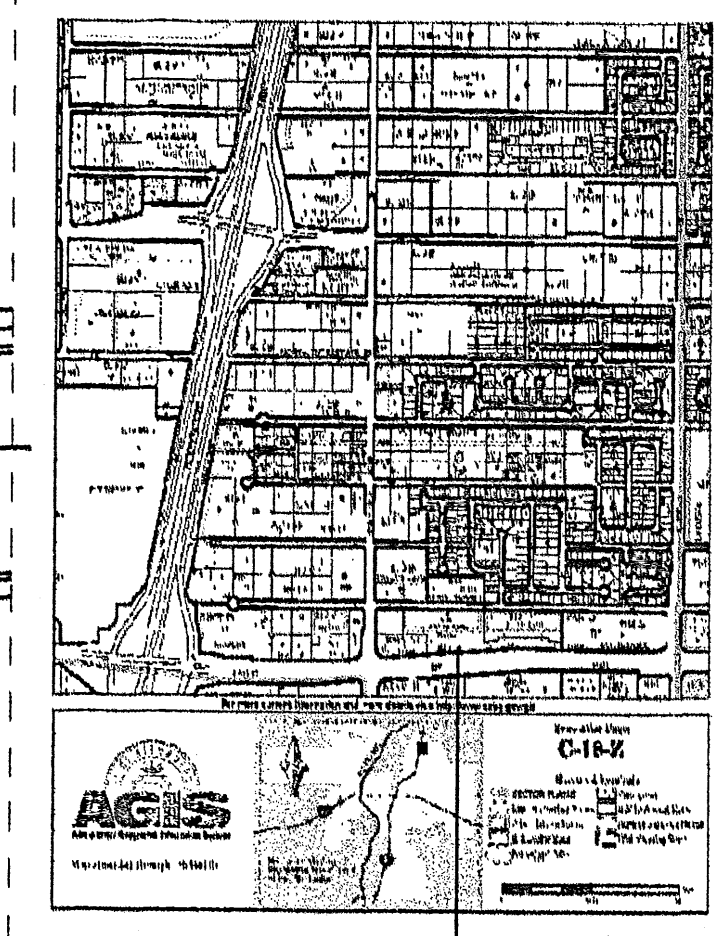
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	01-25-12
DRB ABCWIA ENGINEER	01/11/12
City Engineer	11/11/12
Parks and Recreation Department	1-11-12
Environmental Health Department	2-8-12
Spill Waste Management	2-8-12
DRB Coordinator, Planning Department	2-8-12

\* Environmental Health, if necessary

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**PASEO DEL NORTE**  
 (VARIABLE WIDTH R/W - ACCESS CONTROLLED)  
 SITE PLAN FOR SUBDIVISION  
 SCALE: 1"=20'



**PROJECT VICINITY MAP**

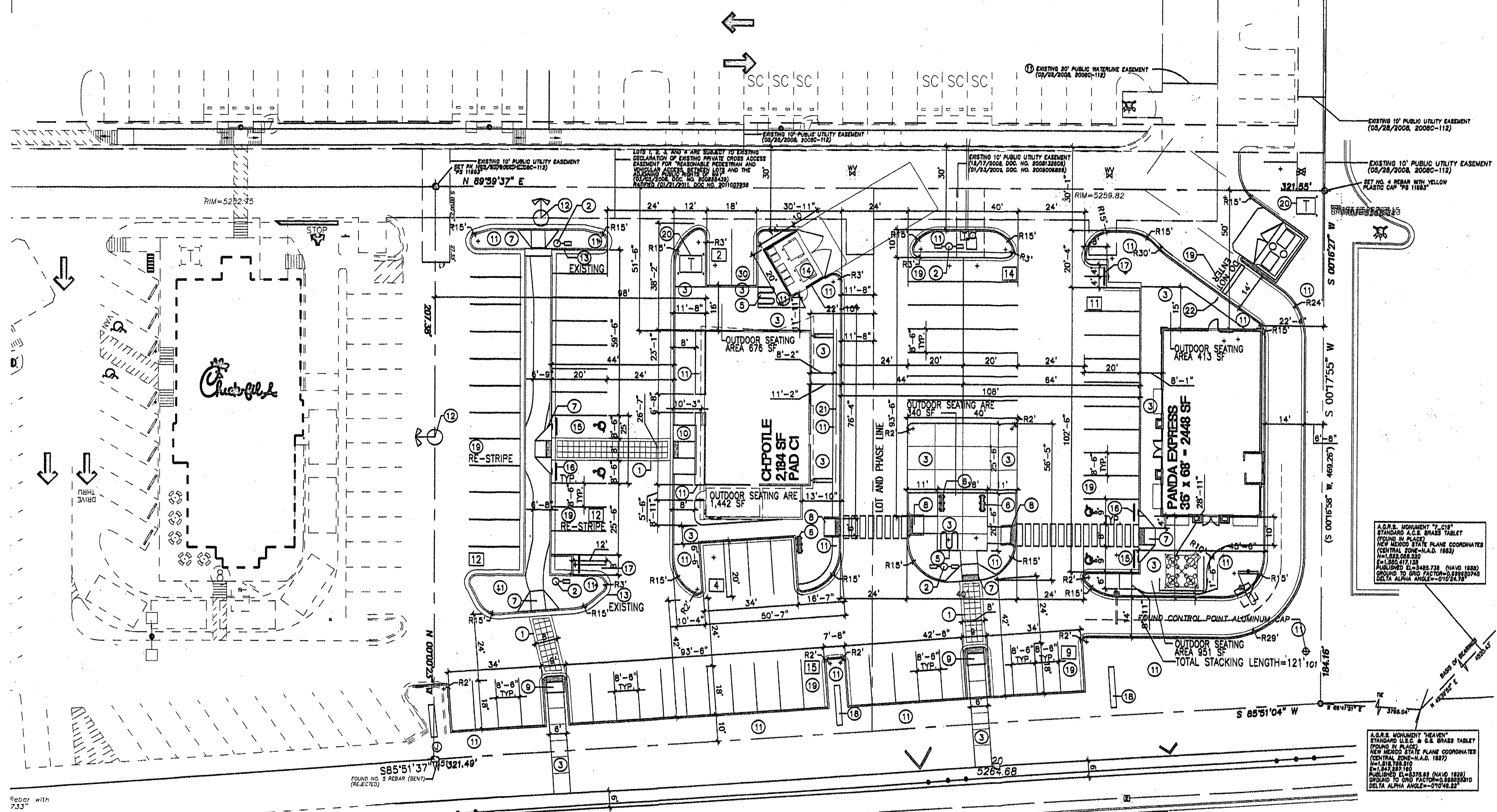
SITE DATA TABLE	CHIPOTLE	SITE DATA TABLE	PANDA EXPRESS
LEGAL DESCRIPTION	ALBUQUERQUE WEST, UNIT 2 LOT 4-A-1-A	LEGAL DESCRIPTION	ALBUQUERQUE WEST, UNIT 2 LOT 4-A-1-A
TOTAL ACREAGE:	32,043 sf (CHIPOTLE PARCEL)	TOTAL ACREAGE:	30,881 sf (PANDA PARCEL)
EXISTING ZONING:		EXISTING ZONING:	
BUILDING SIZE:	2,184 SF TOTAL	BUILDING SIZE:	2,448 SF TOTAL
PROPOSED USES:	SIT DOWN FOOD USE	PROPOSED USES:	DRIVE THRU FOOD USE
TOTAL PARKING PROVIDED:	45 SPACES	TOTAL PARKING PROVIDED:	33 SPACES
TOTAL PARKING REQ:	30 SPACES	TOTAL PARKING REQ:	30 SPACES
HC PROVIDED:	2 H.C (INCLUDING 2 VAN ACCESSIBLE)	HC PROVIDED:	2 H.C (INCLUDING 2 VAN ACCESSIBLE)
HC REQUIRED:	2 H.C SPACES	HC REQUIRED:	2 H.C SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES	BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES	BIKE SPACES REQUIRED:	2 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 SPACES	MOTORCYCLE SPACES PROVIDED:	2 SPACES
MOTORCYCLE SPACES REQUIRED:	2 SPACES	MOTORCYCLE SPACES REQUIRED:	2 SPACES

**MODULUS ARCHITECTS**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-866-224-2161

**DEL NORTE PLAZA**  
 N.E.C. OF SAN PEDRO AND PASEO DEL NORTE  
 ALBUQUERQUE, N.M.

PROJECT TITLE: DEL NORTE PLAZA  
 CLIENT: N.E.C. OF SAN PEDRO AND PASEO DEL NORTE  
 ARCHITECT: MODULUS ARCHITECTS  
 JOB NO.: MSW  
 DRAFTER: MSW  
 DATE: \_\_\_\_\_  
 SCALE: AS NOTED  
 SHEET: **SP1**

2791-2001



PROJECT NUMBER: 1008766  
 APPLICATION NUMBER: 11DAB-70178

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

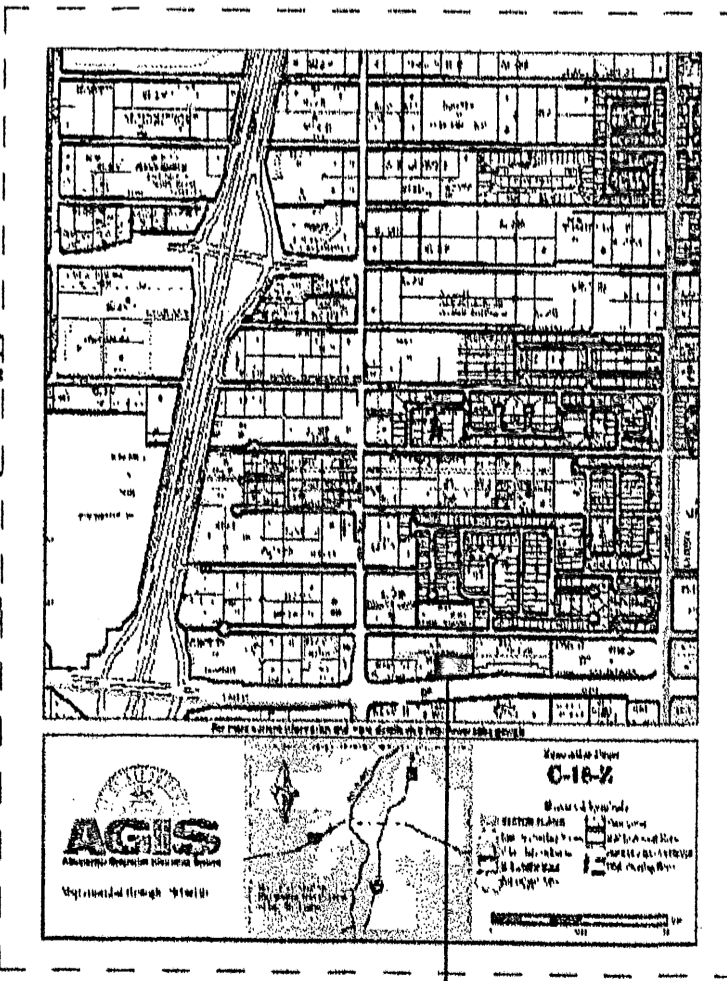
Traffic Engineering/Transportation Division	01-25-12
Date	01/18/12
DRB ALBUQUA ENGINEER	11/11/12
Date	1-11-12
City Engineer	
Environmental Health Department	
Date	2-8-12
Solid Waste Management	
Date	2-8-12
DRB Chairperson, Planning Department	
Date	

\* Environmental Health, if necessary

- KEYED NOTE:
- 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 7/A1.1
  - LIGHT POLE LOCATION RE: DETAIL 3/A1.1
  - CONC. SIDEWALK RE: DET 14/A1.1  
RE: SITE PLAN FOR JOINT LAYOUT
  - HANDICAP RAMP RE: CIVIL FOR COA STD DETAIL
  - INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)  
RE: DETAIL 11/A1.2
  - BENCH LOCATION RE: DETAIL 3/A1.2
  - HANDICAP RAMP RE: 15/A1.1
  - HANDICAP RAMP RE: 16/A1.1
  - HANDICAP RAMP RE: 12/A1.1
  - HANDICAP RAMP RE: 17/A1.1
  - INDICATES LANDSCAPE PLANTING AREA  
G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL  
LOCATION RE: LANDSCAPE PLAN FOR INFO
  - NOT A PART
  - 6" HIGH CONC. ISLAND RE: DET 4/A1.1  
RE: SITE GRADING PLAN FOR INFO
  - REFUSE ENCLOSURE RE: DET.4/A1.3
  - H.C PARKING STALL RE: DET 8/A1.2
  - WHEELSTOP RE: DET 5/A1.2
  - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A1.2  
FOR "MOTOR CYCLE PARKING" SIGN DETAIL
  - PROPOSED 60SF MONUMENT SIGN LOCATION
  - PAINTED STRIPPING/SIGNING AS INDICATED WITHIN SITEPLAN
  - PROPOSED TRANSFORMER LOCATION
  - SCREEN WALL FEATURE  
RE: BUILDING ELEVATIONS
  - INDICATES PROPOSED "DO NOT ENTER" SIGN LOCATION  
RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A1.2  
FOR "DO NOT ENTER" SIGN DETAIL
- NOTE:  
 ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING

**PASEO DEL NORTE**  
 (VARIABLE WIDTH R/W - ACCESS CONTROLLED)  
 SITE PLAN FOR BUILDING PERMIT

SCALE: 1"=20'



**PROJECT VICINITY MAP**

SITE DATA TABLE	CHIPOTLE
LEGAL DESCRIPTION	ALBUQUERQUE WEST, UNIT 2 LOT 4-A-1-A
TOTAL ACREAGE:	32,043 sf (CHIPOTLE PARCEL)
EXISTING ZONING:	
BUILDING SIZE:	2,184 SF TOTAL
PROPOSED USES:	SIT DOWN FOOD USE
TOTAL PARKING PROVIDED:	45 SPACES
TOTAL PARKING REQ:	30 SPACES
HC PROVIDED:	2 H.C (INCLUDING 2 VAN ACCESSIBLE)
HC REQUIRED:	2 H.C SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 SPACES
MOTORCYCLE SPACES REQUIRED:	2 SPACES

SITE DATA TABLE	PANDA EXPRESS
LEGAL DESCRIPTION	ALBUQUERQUE WEST, UNIT 2 LOT 4-A-1-A
TOTAL ACREAGE:	30,881 sf (PANDA PARCEL)
EXISTING ZONING:	
BUILDING SIZE:	2,448 SF TOTAL
PROPOSED USES:	DRIVE THRU FOOD USE
TOTAL PARKING PROVIDED:	33 SPACES
TOTAL PARKING REQ:	30 SPACES
HC PROVIDED:	2 H.C (INCLUDING 2 VAN ACCESSIBLE)
HC REQUIRED:	2 H.C SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 SPACES
MOTORCYCLE SPACES REQUIRED:	2 SPACES

REV	DATE	BY	REVISION
▲			
▲			
▲			
▲			
▲			

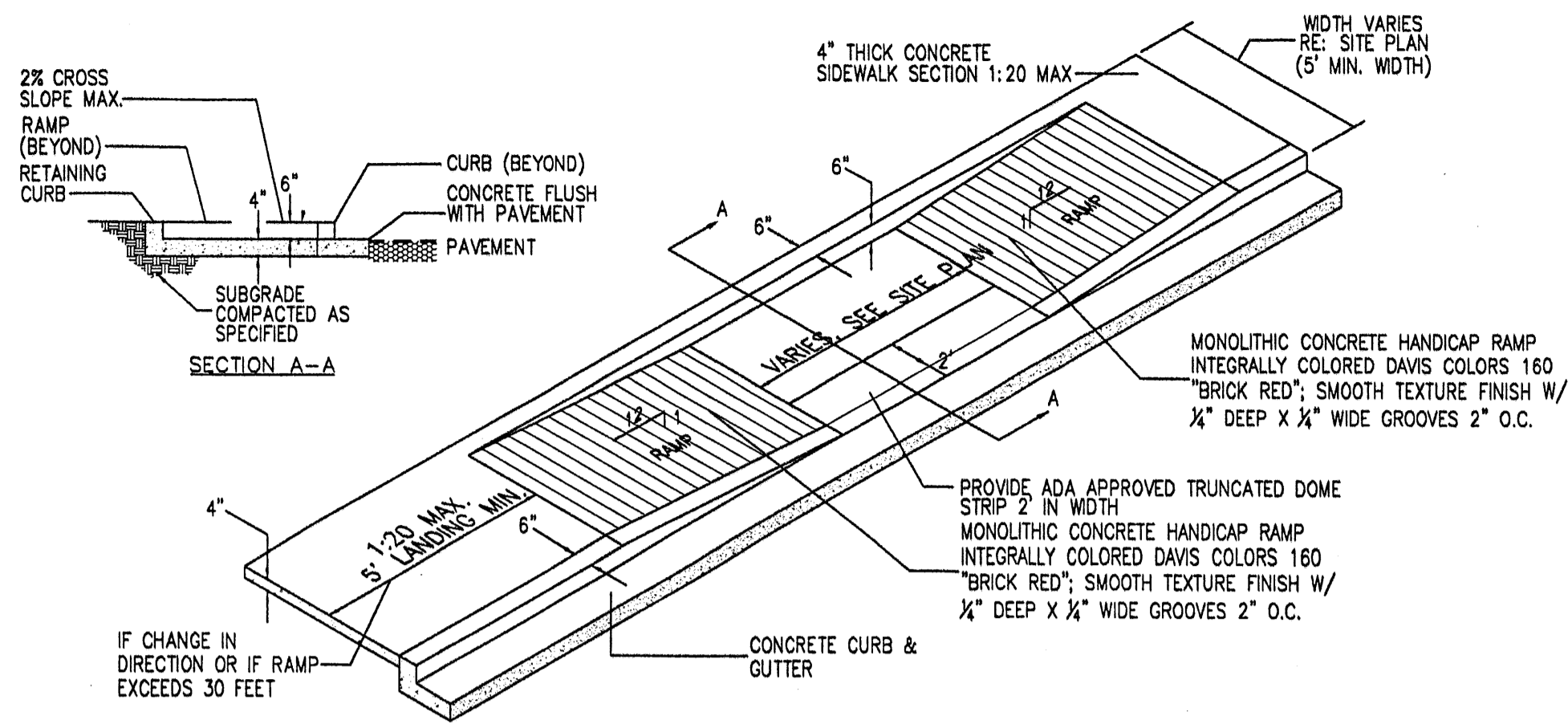
**MODULUS ARCHITECTS**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-855-224-2161

**DEL NORTE PLAZA**  
 N.E.C. OF SAN PEDRO AND PASEO DEL NORTE  
 ALBUQUERQUE, N.M.

DESIGNED BY: STEPHEN DUNBAR, AIA  
 DRAWN BY: MSH

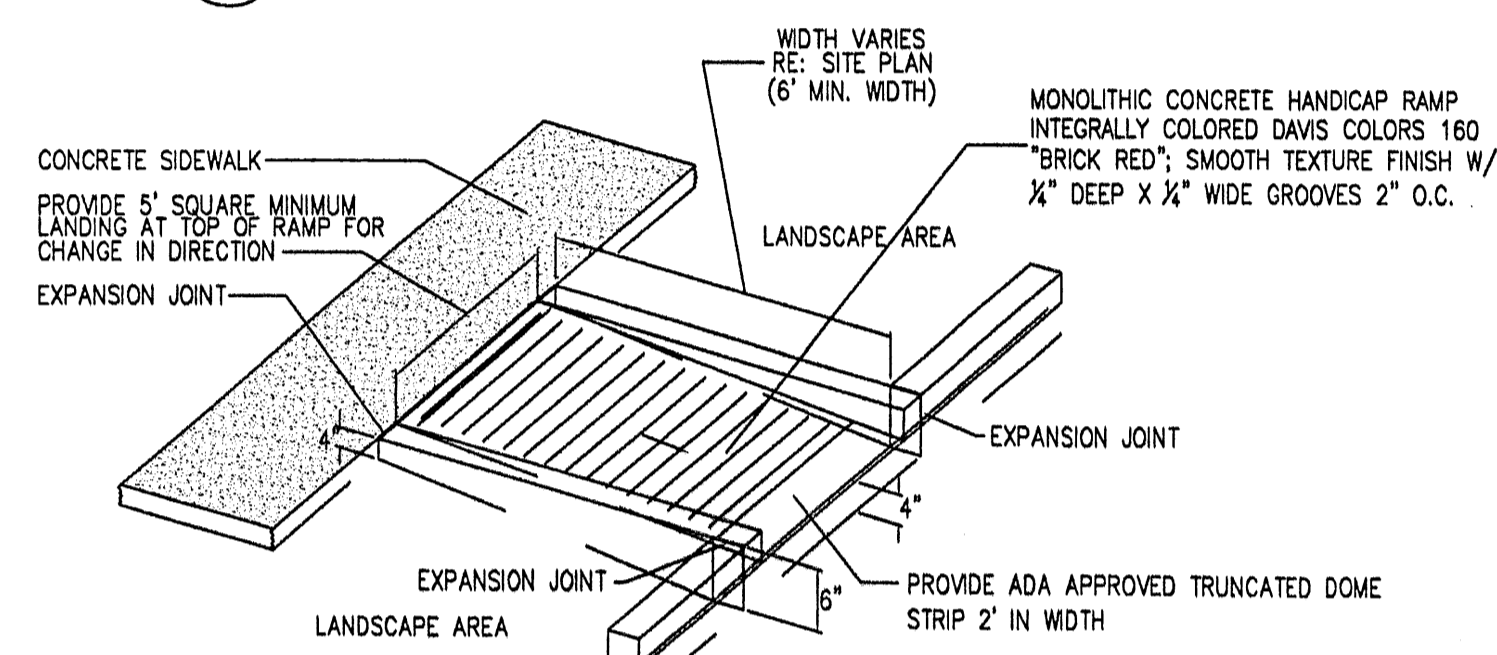
**SITE PLAN FOR BUILDING PERMIT**

DATE: \_\_\_\_\_  
 SCALE: **BP1**  
 AS NOTED



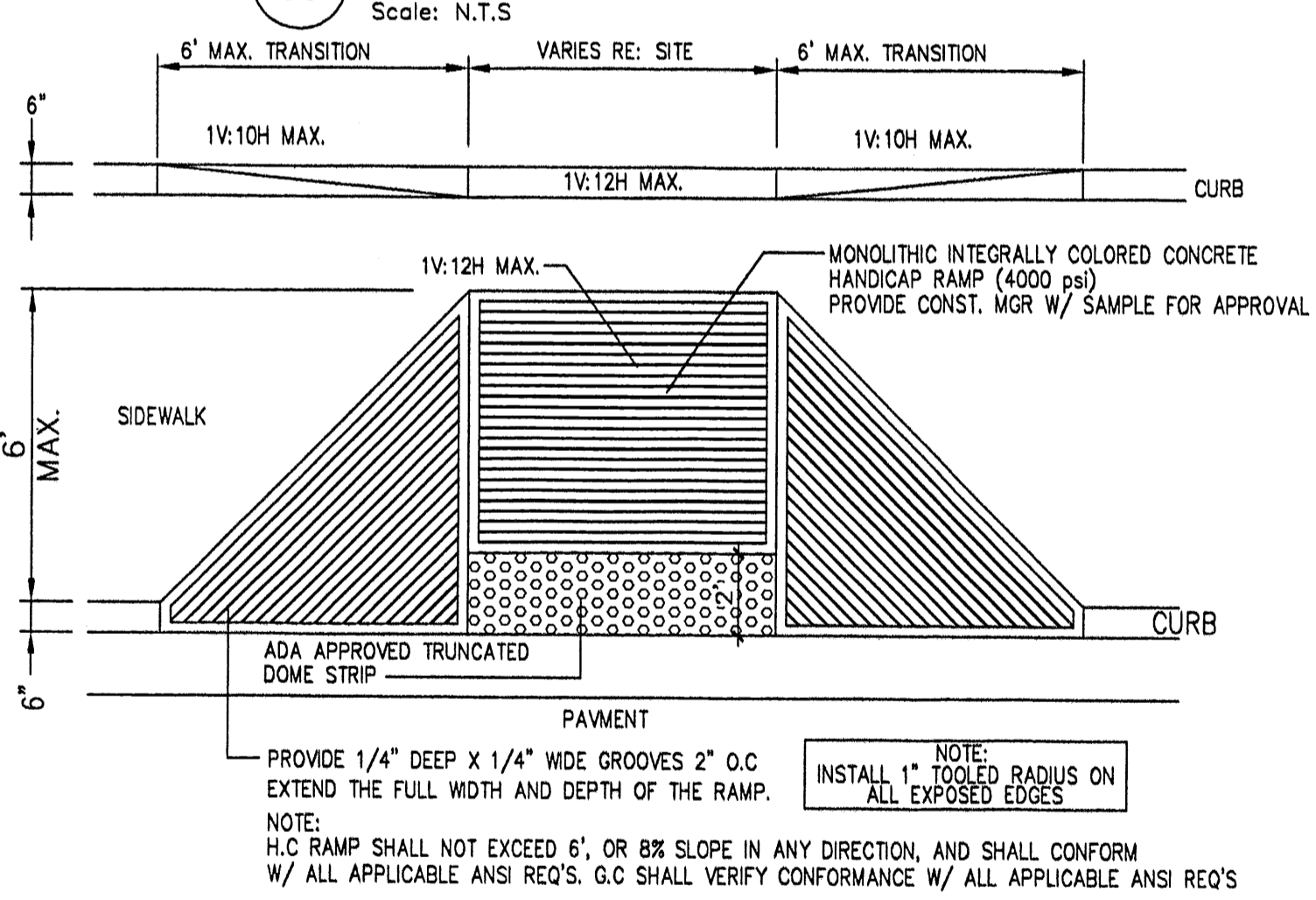
NOTE:  
H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**17 TAPERED H.C RAMP**  
Scale: N.T.S.



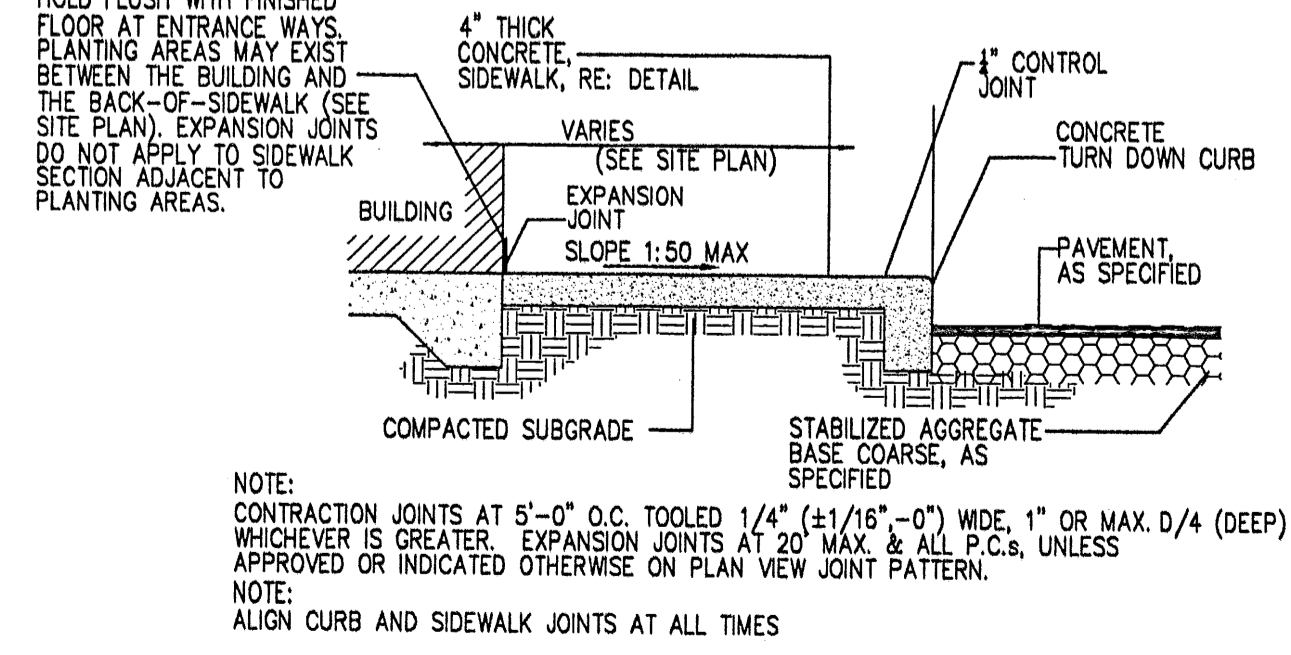
NOTE:  
H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**16 CURBED H.C RAMP**  
Scale: N.T.S.



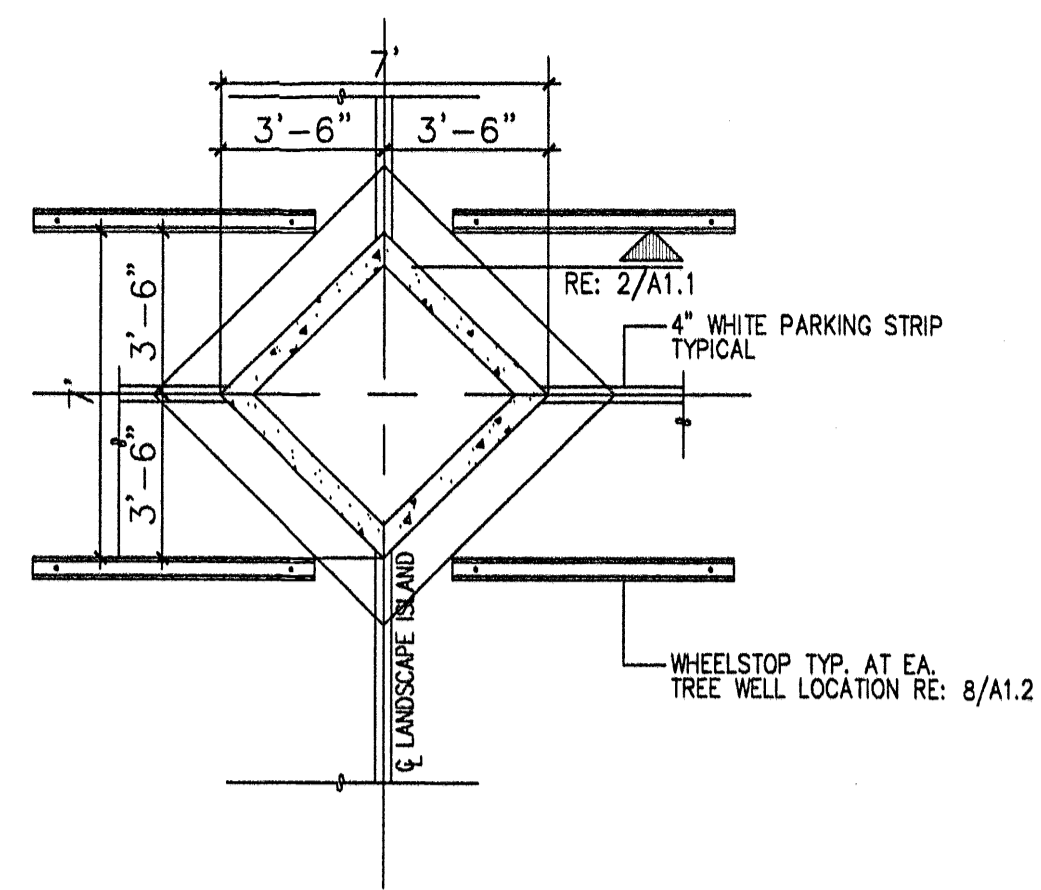
NOTE:  
H.C RAMP SHALL NOT EXCEED 6', OR 8% SLOPE IN ANY DIRECTION, AND SHALL CONFORM W/ ALL APPLICABLE ANSI REQ'S. G.C SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S

**15 FLARED H.C RAMP**  
Scale: N.T.S.

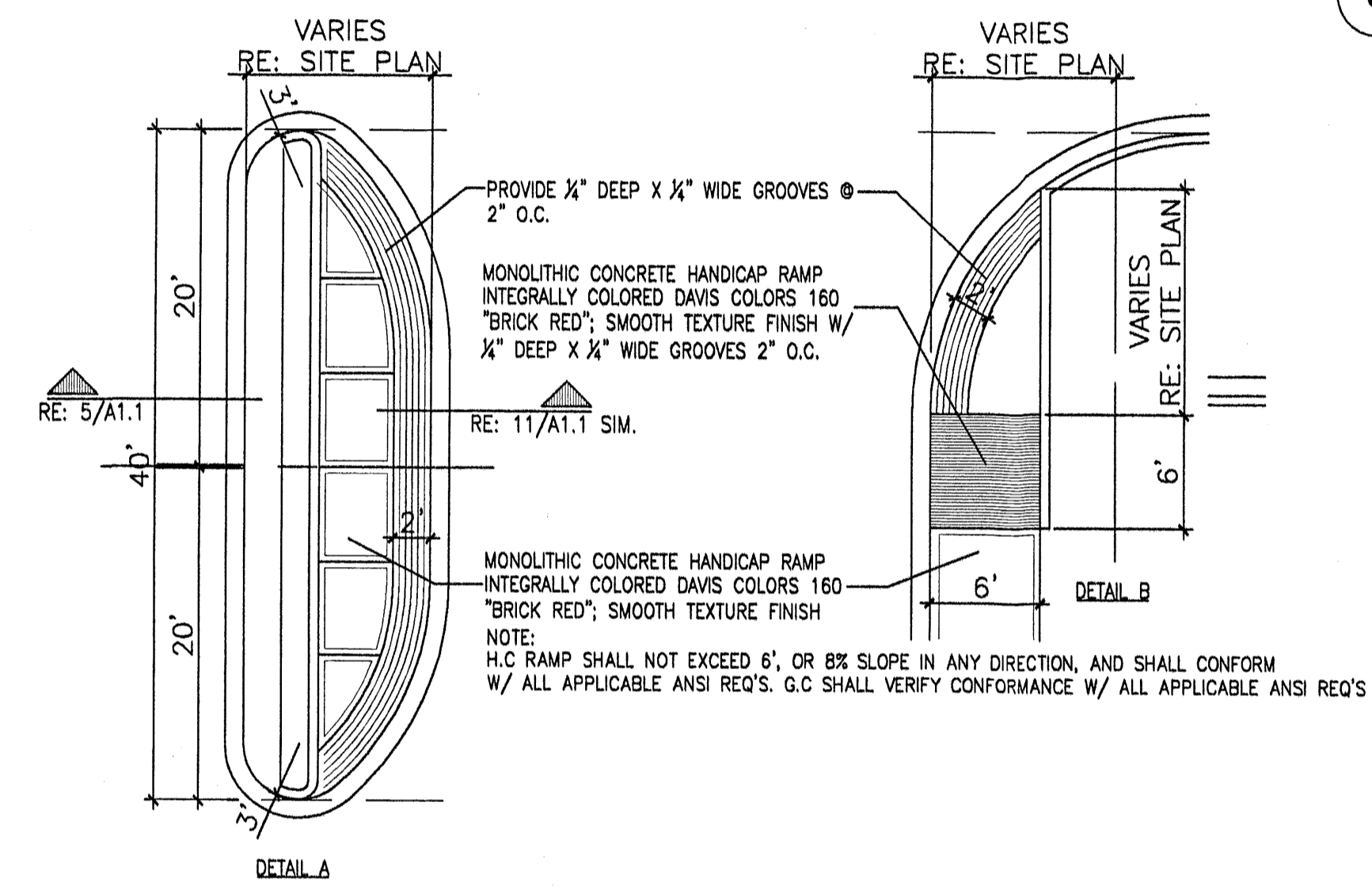


NOTE:  
CONTRACTION JOINTS AT 5'-0\"/>

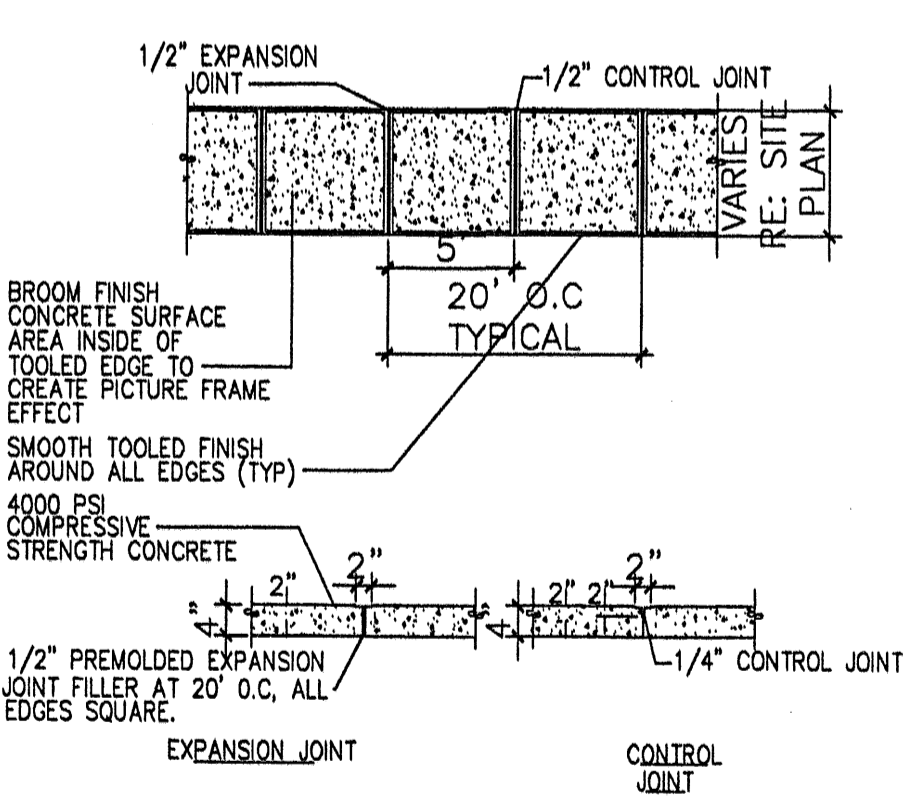
**14 SIDEWALK W/ TURNDOWN CURB SECTION**  
Scale: N.T.S.



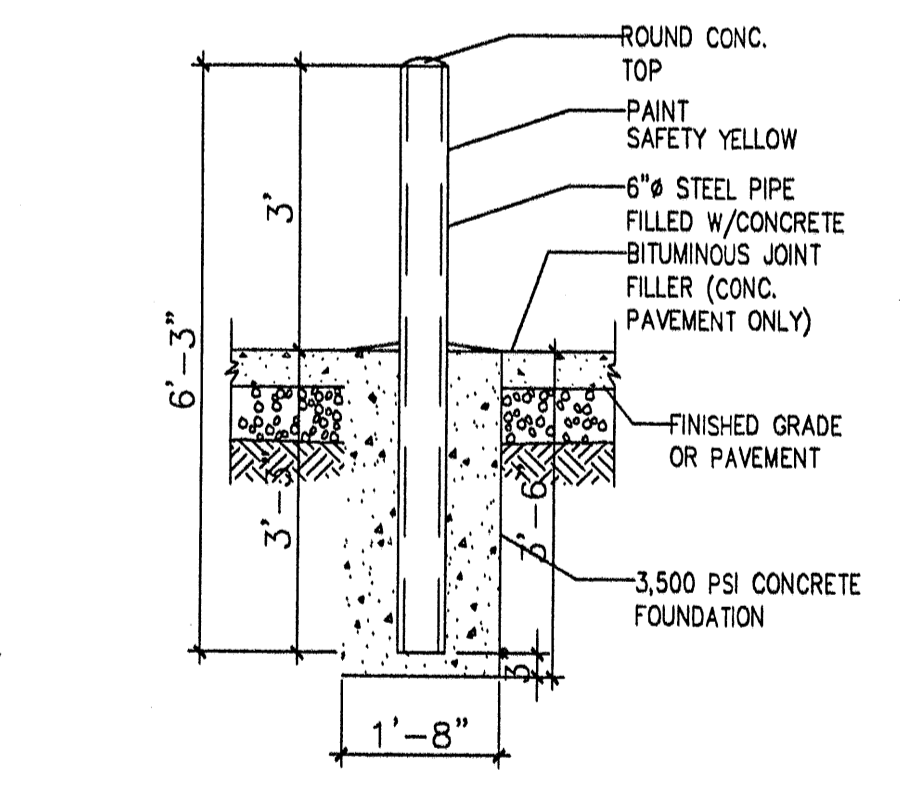
**13 DIAMOND DETAIL**  
Scale: N.T.S.



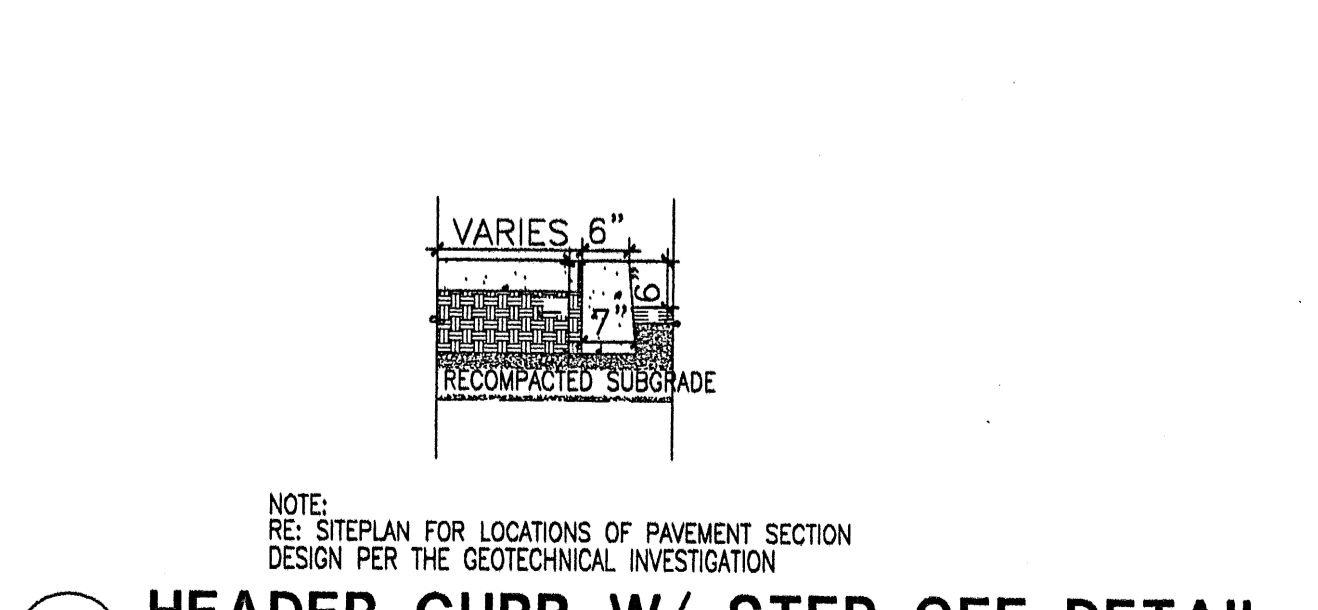
**12 TYP. END ISLAND W/ WALK**  
Scale: N.T.S.



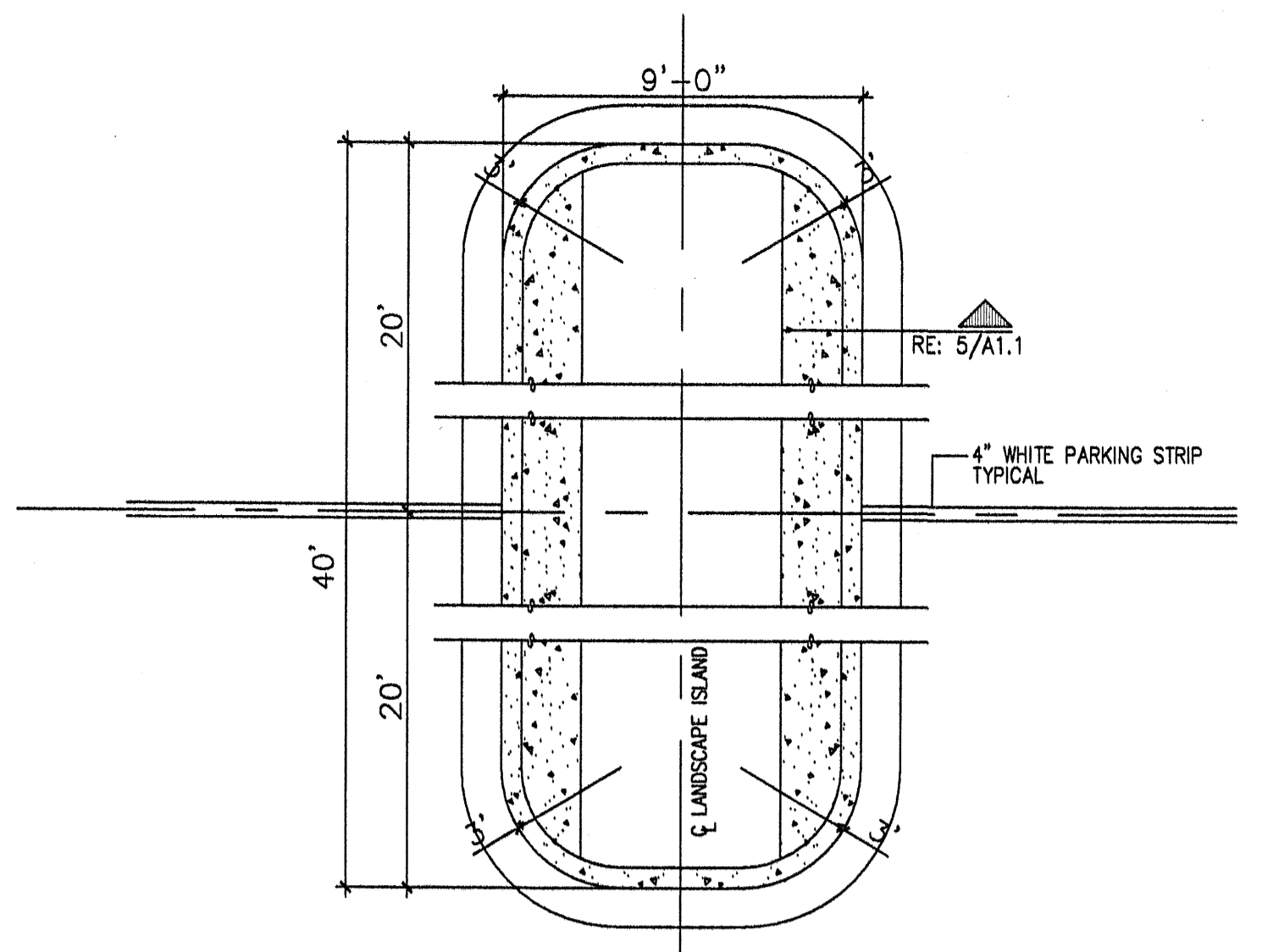
**11 TYPICAL SIDEWALK**  
Scale: N.T.S.



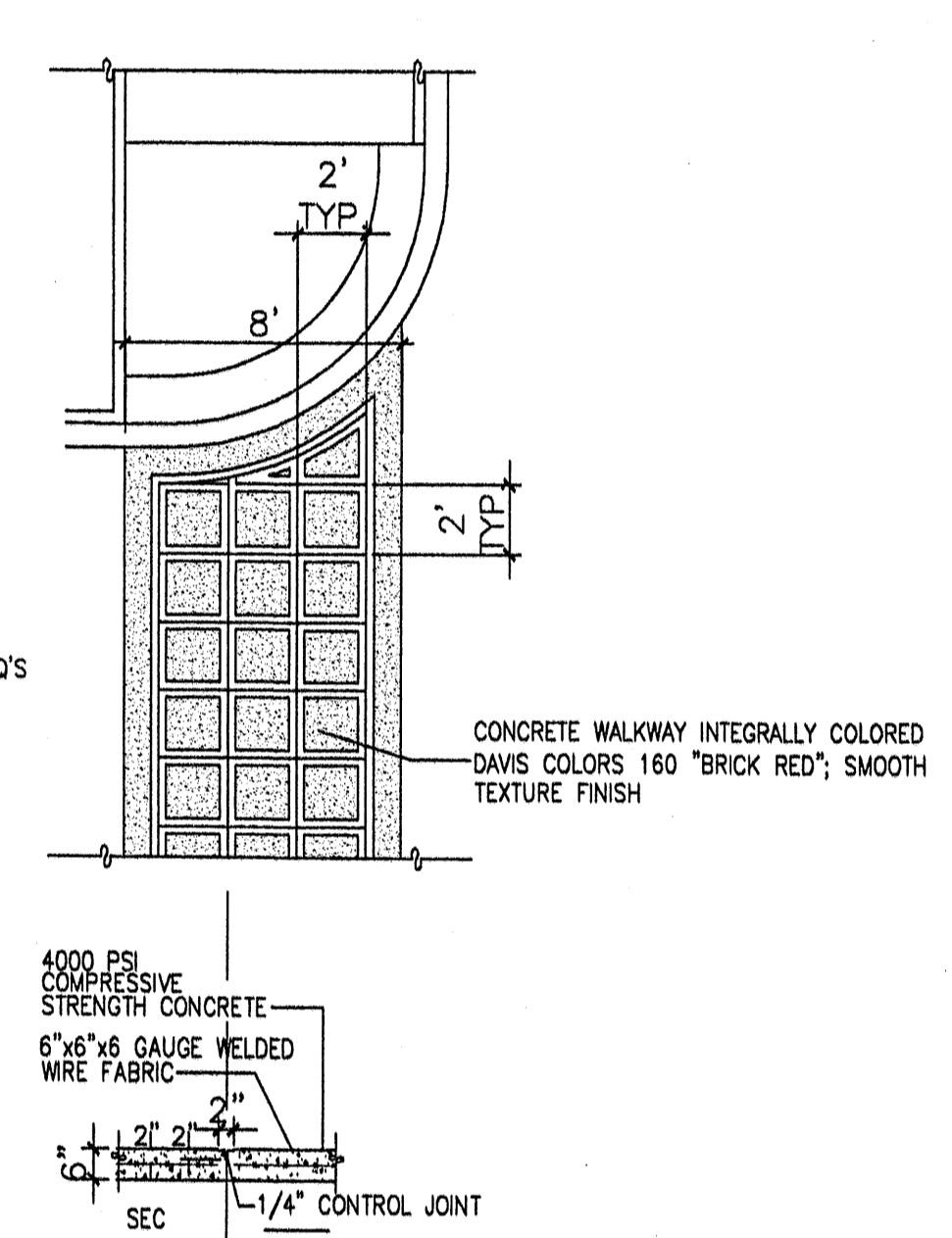
**10 BOLLARD DETAIL**  
Scale: 1/2\"/>



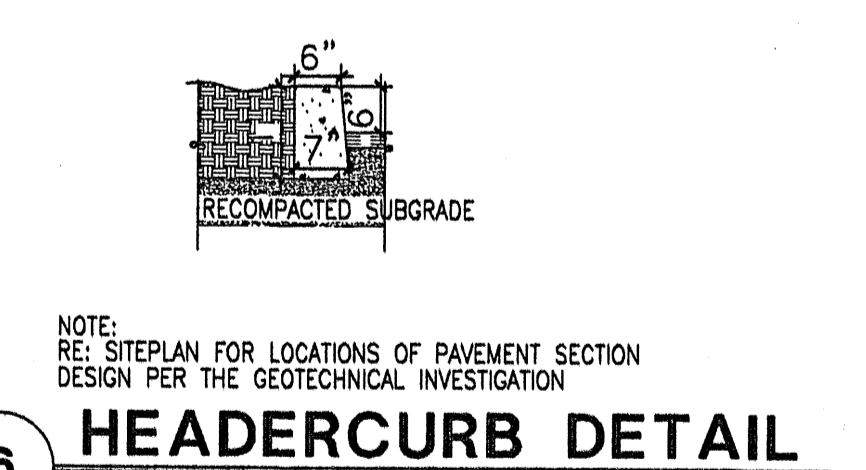
**9 HEADER CURB W/ STEP OFF DETAIL**  
Scale: N.T.S.



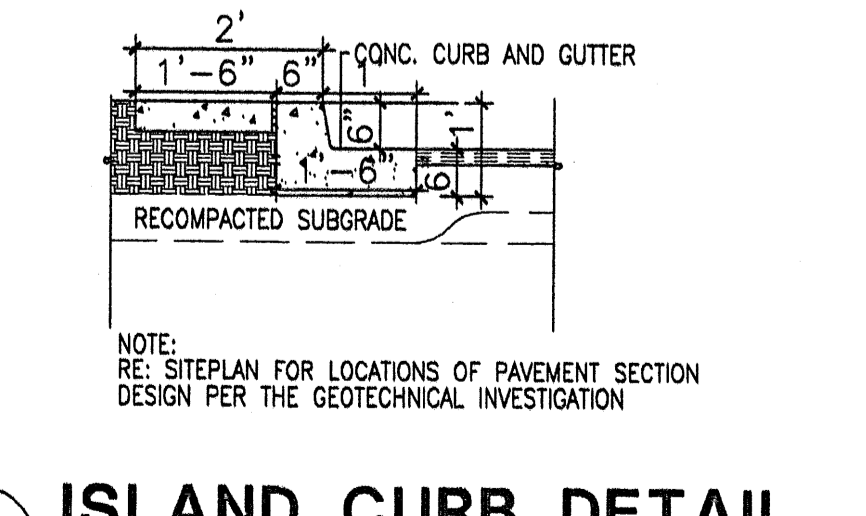
**8 ISLAND DETAIL**  
Scale: N.T.S.



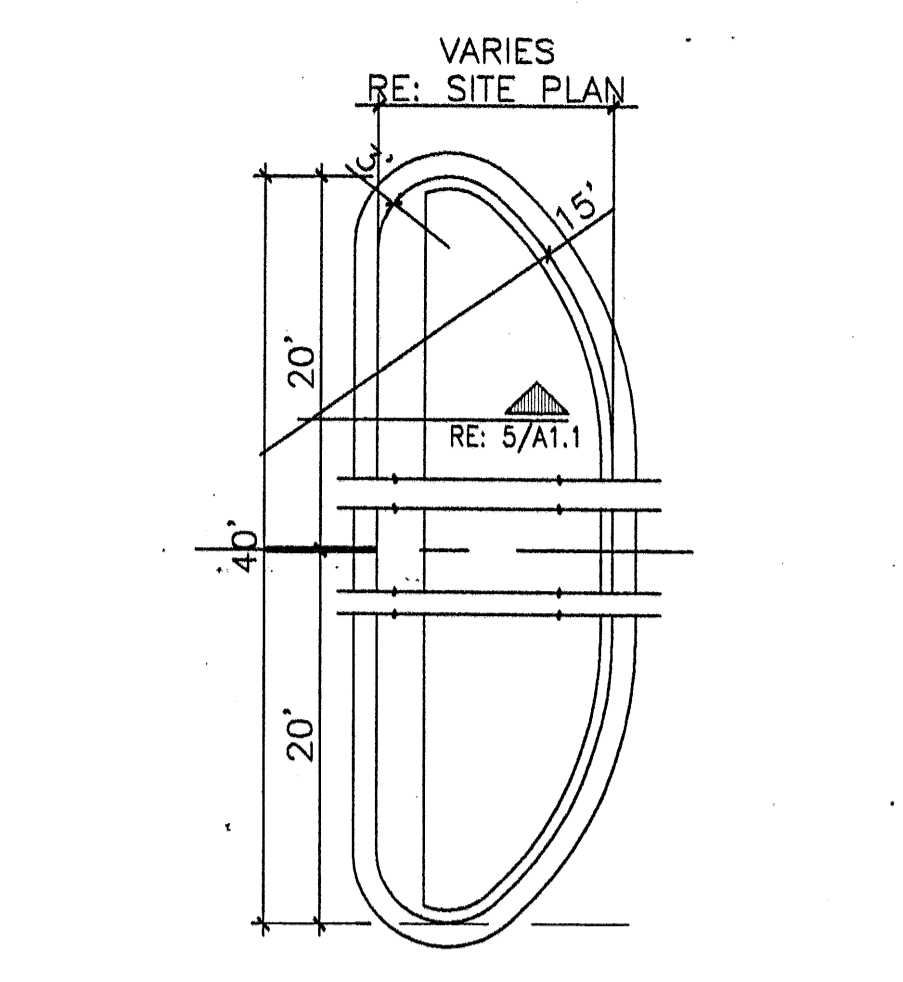
**7 TYP. CONC. CROSSWALK**  
Scale: N.T.S.



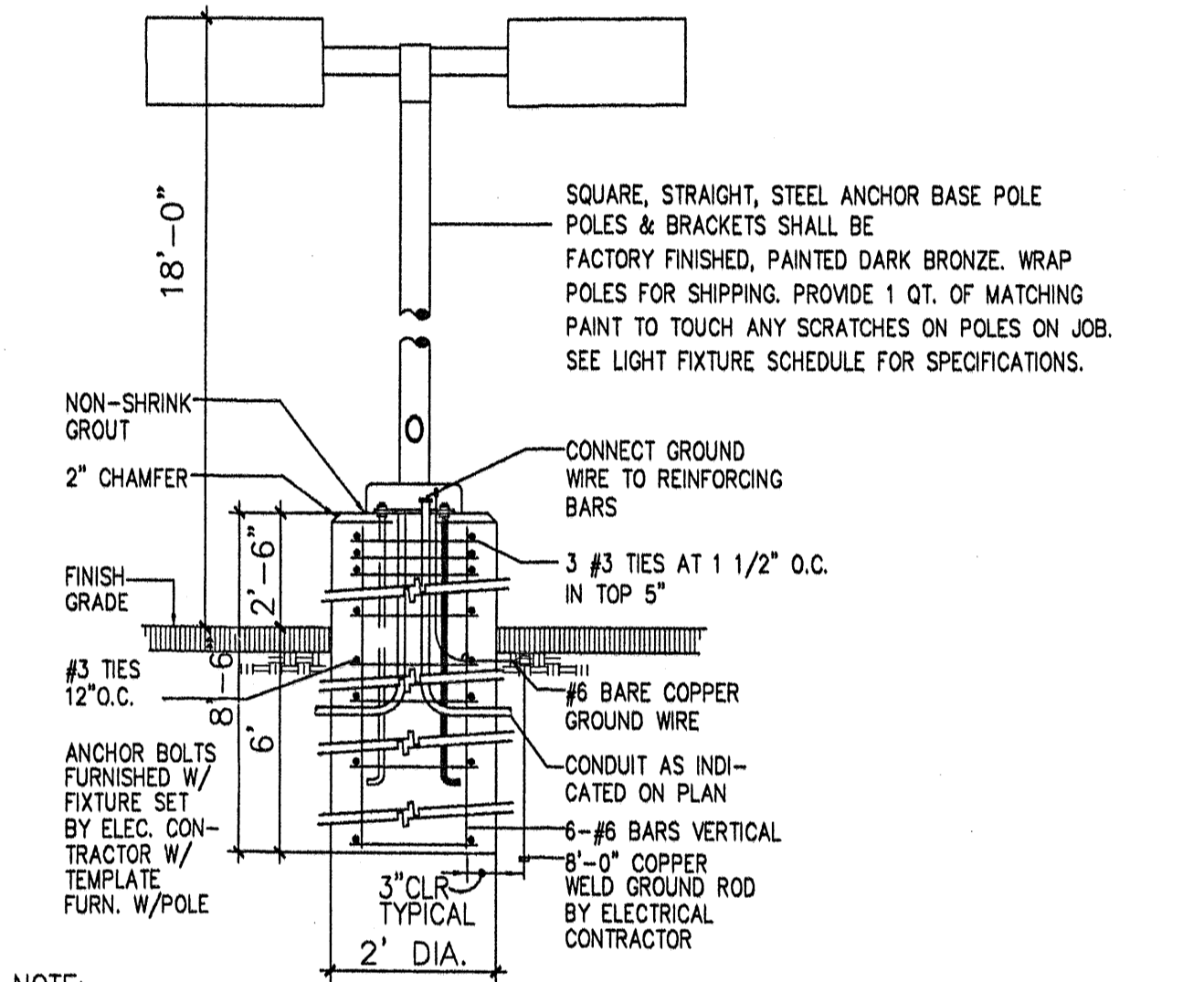
**6 HEADERCURB DETAIL**  
Scale: N.T.S.



**5 ISLAND CURB DETAIL**  
Scale: N.T.S.

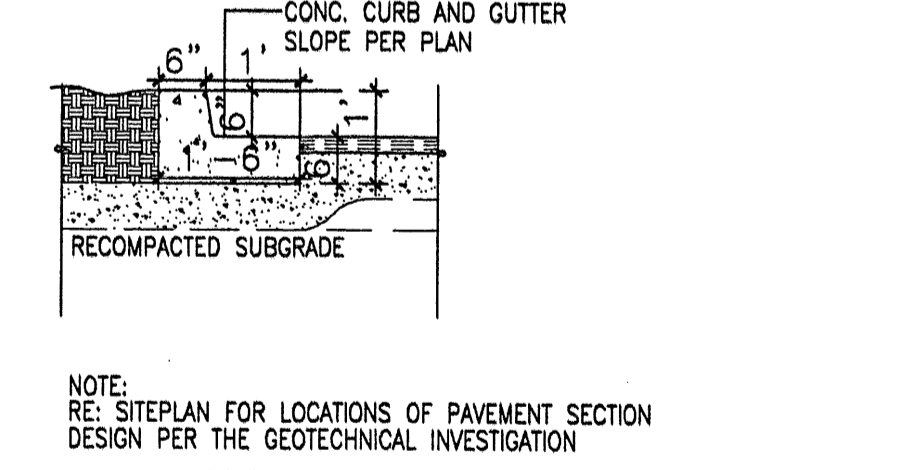


**4 END ISLAND DETAIL**  
Scale: N.T.S.



NOTE:  
1. MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY, FIXTURES, POLE, BASE, SHALL WITH STAND MIN. 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY, WHICH EVER IS GREATER.  
2. CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS  
3. SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22'.  
GENERAL CONTRACTOR SHALL VERIFY W/ ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL

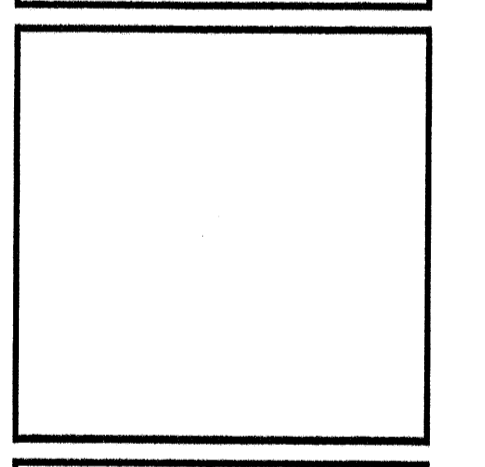
**3 LIGHT POLE DETAIL**  
Scale: N.T.S.



**2 TYP. CURB DETAIL**  
Scale: N.T.S.

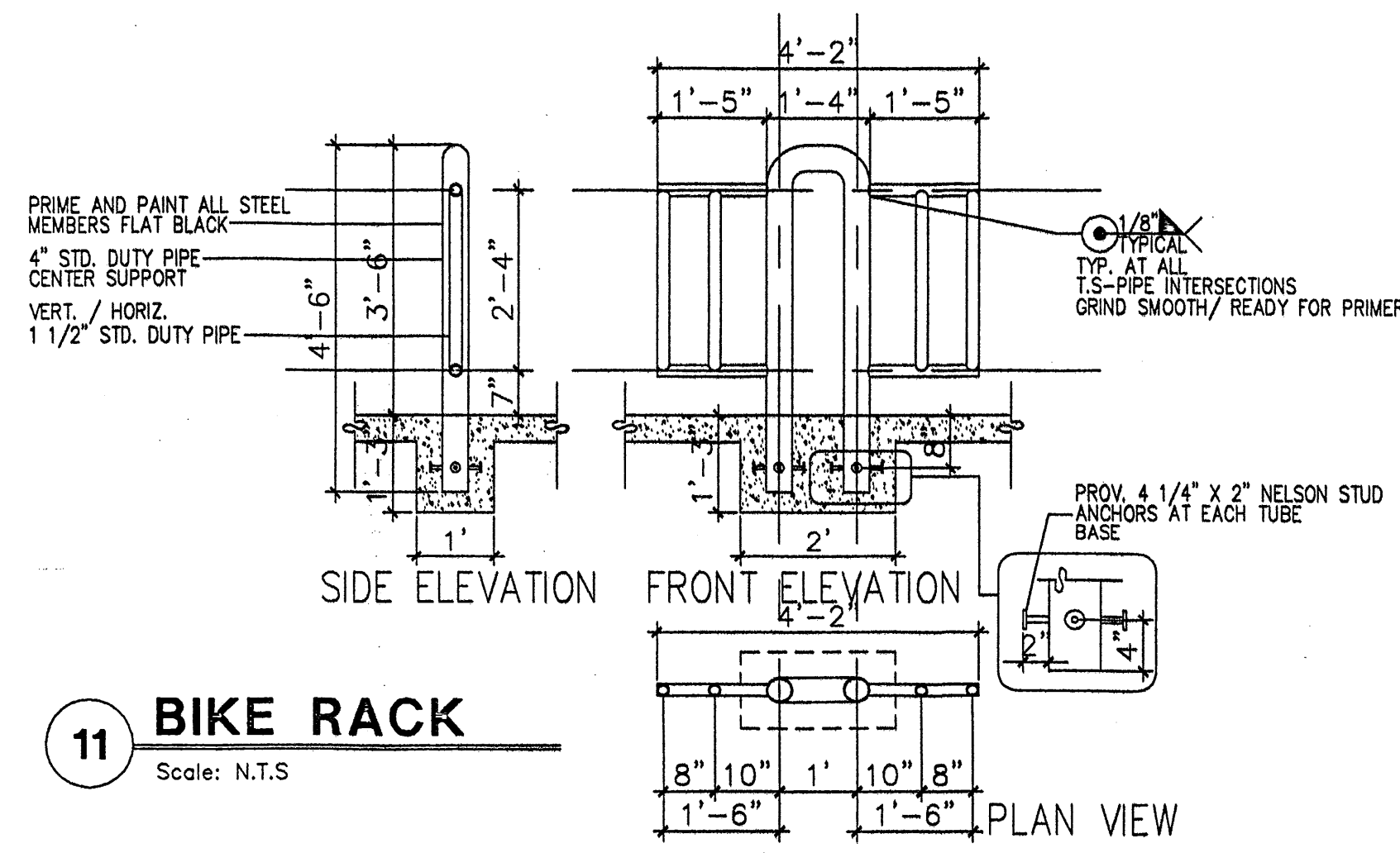
REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161

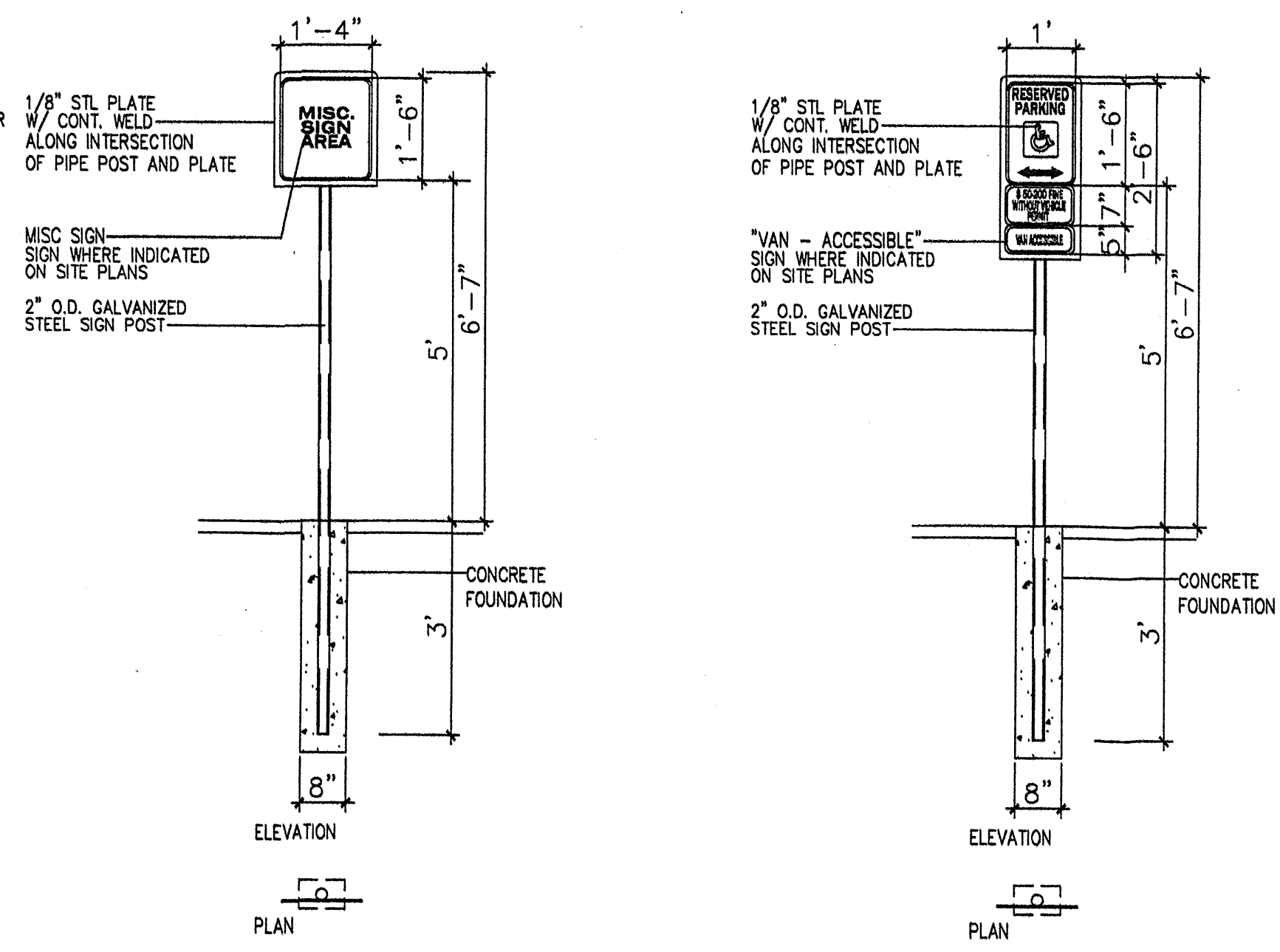


PROJECT TITLE	CHIPOTLE N.E.C. OF SAN PEDRO AND PASEO DEL NORTE ALBUQUERQUE, N.M.	DRAWN BY:	MSW
PROJECT MANAGER	STEPHEN DUNBAR, AIA	JOB NO.	
SHEET TITLE	SITE DETAILS		

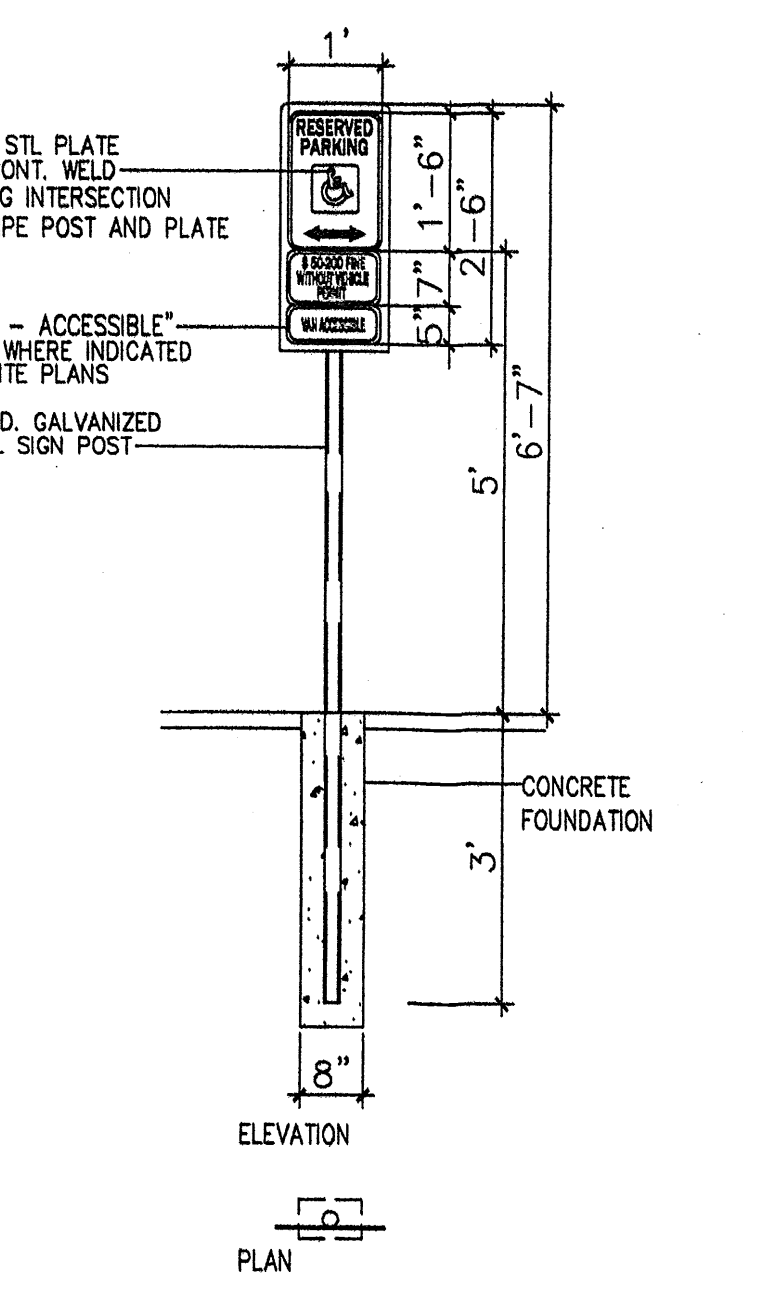
DATE:		SHEET:	
SCALE:	AS NOTED	A11	



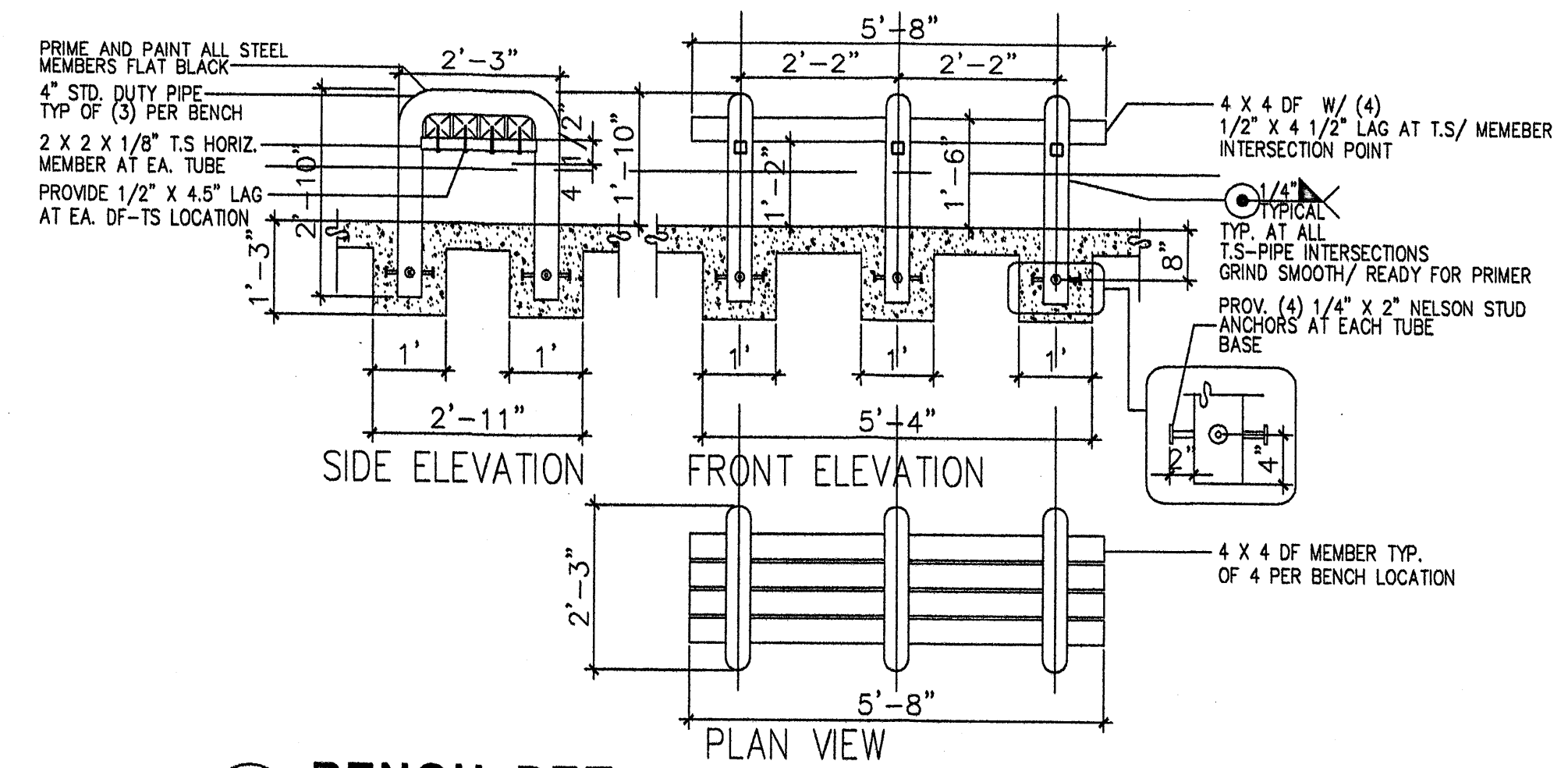
**11 BIKE RACK**  
Scale: N.T.S



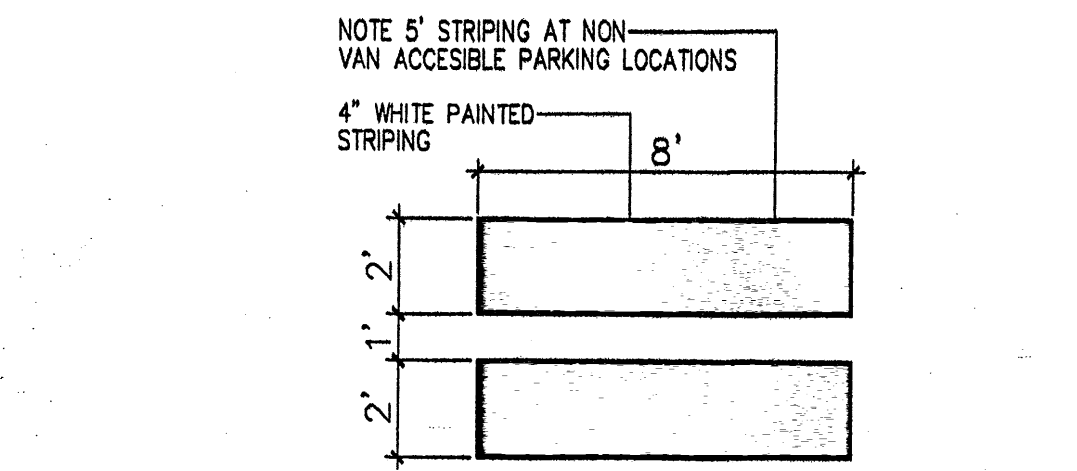
**7 MISC SIGNAGE**  
Scale: N.T.S



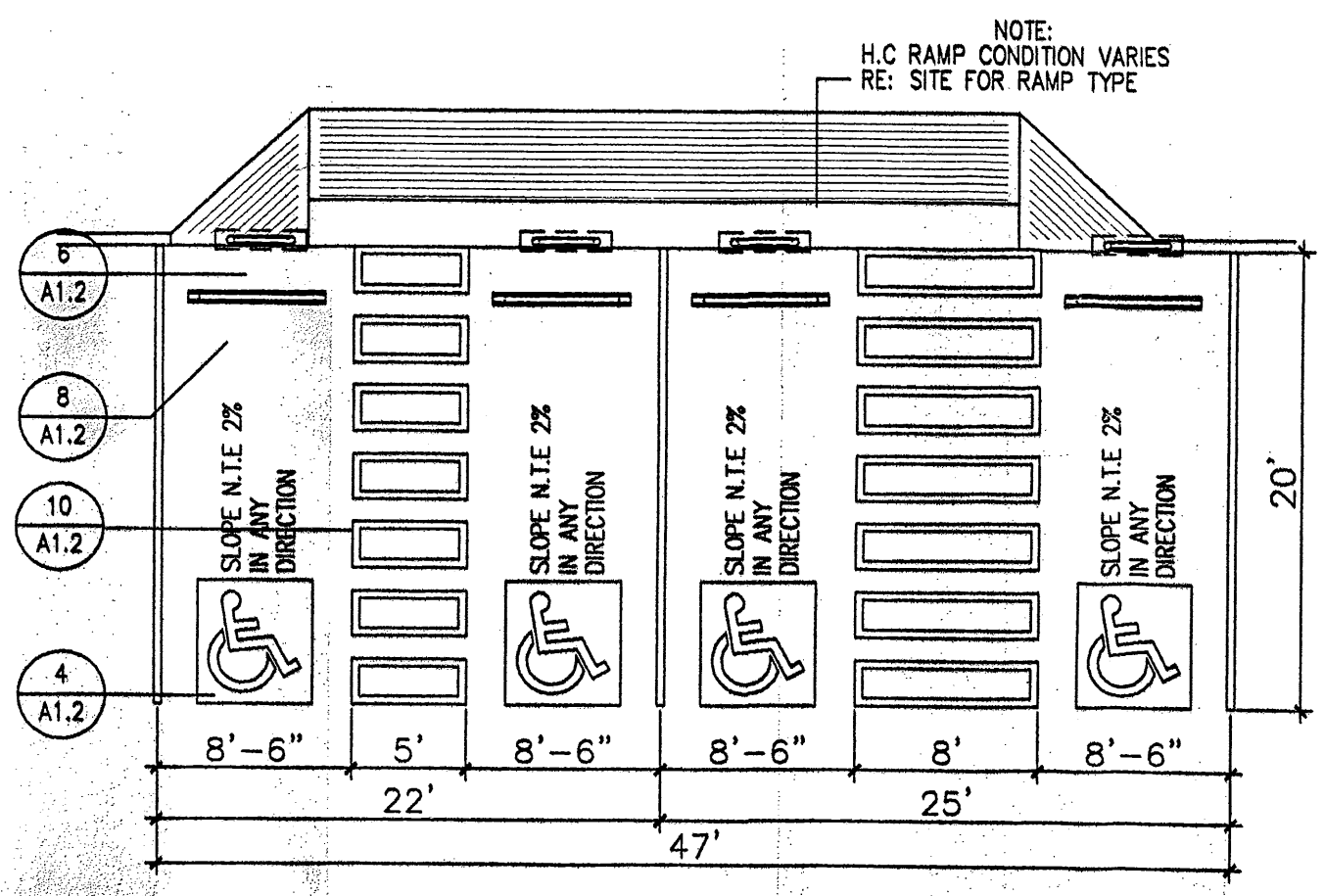
**6 H.C SIGNAGE**  
Scale: N.T.S



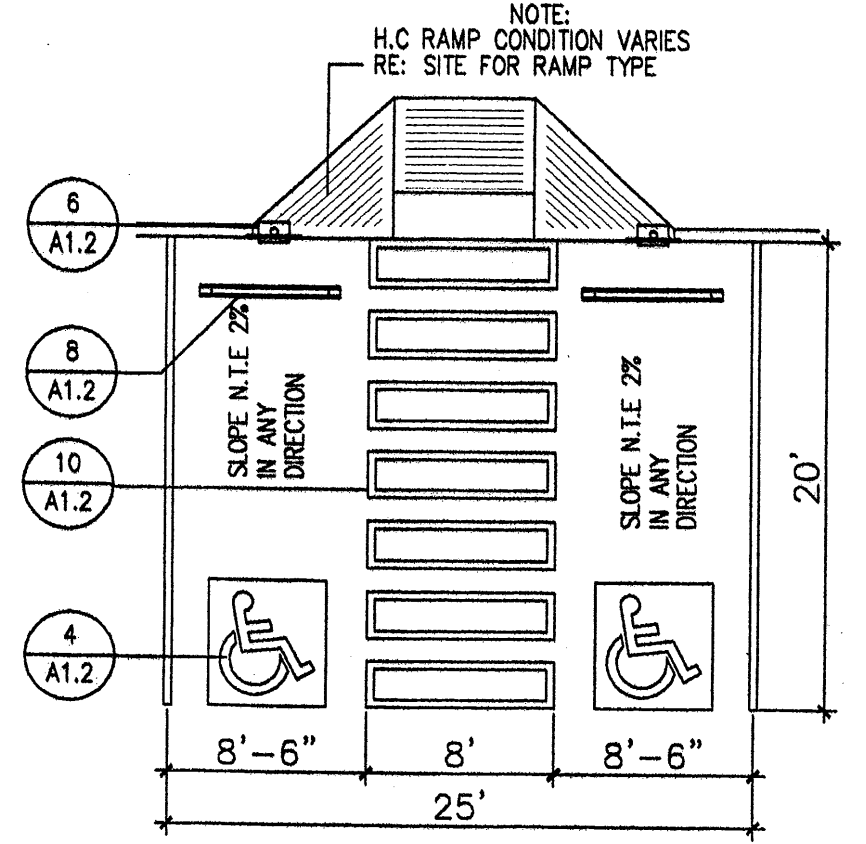
**3 BENCH DET.**  
Scale: N.T.S



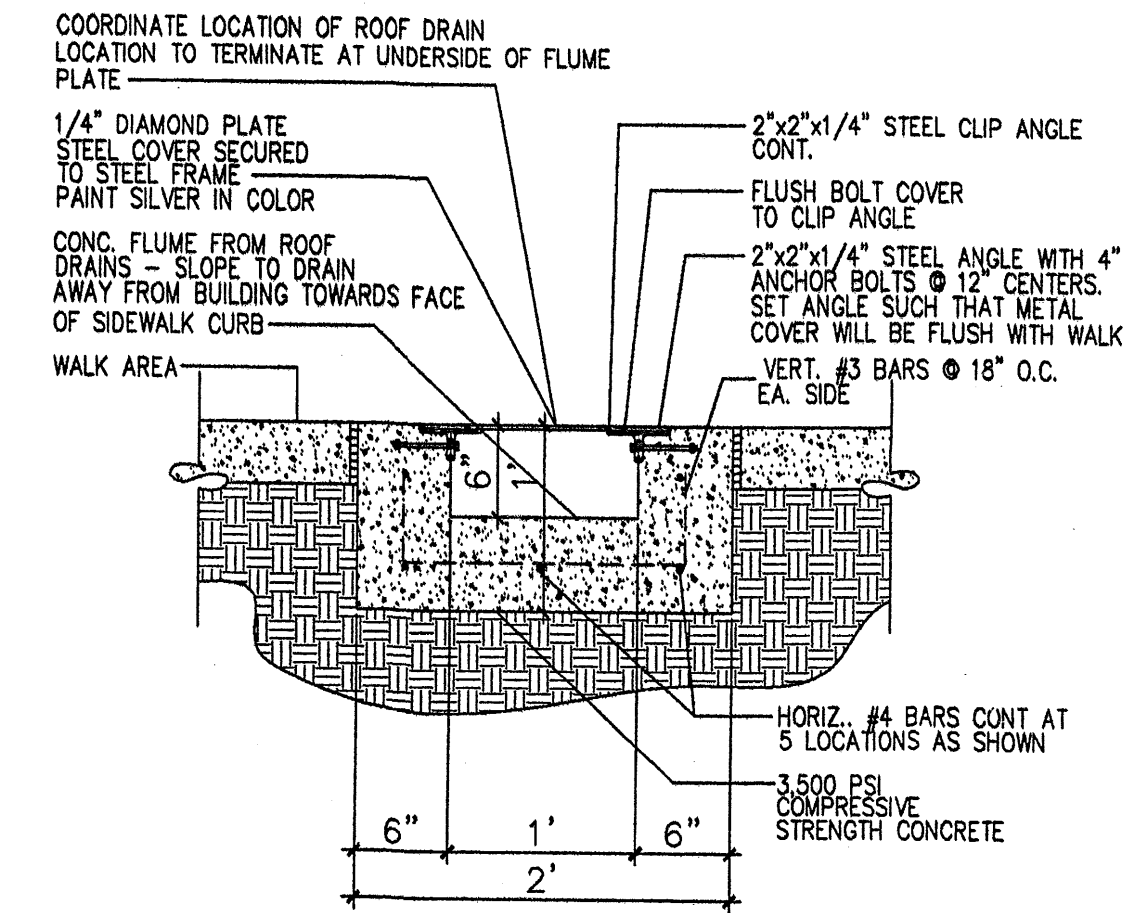
**10 H.C PARKING-WALK PAINT DETAIL**  
Scale: N.T.S



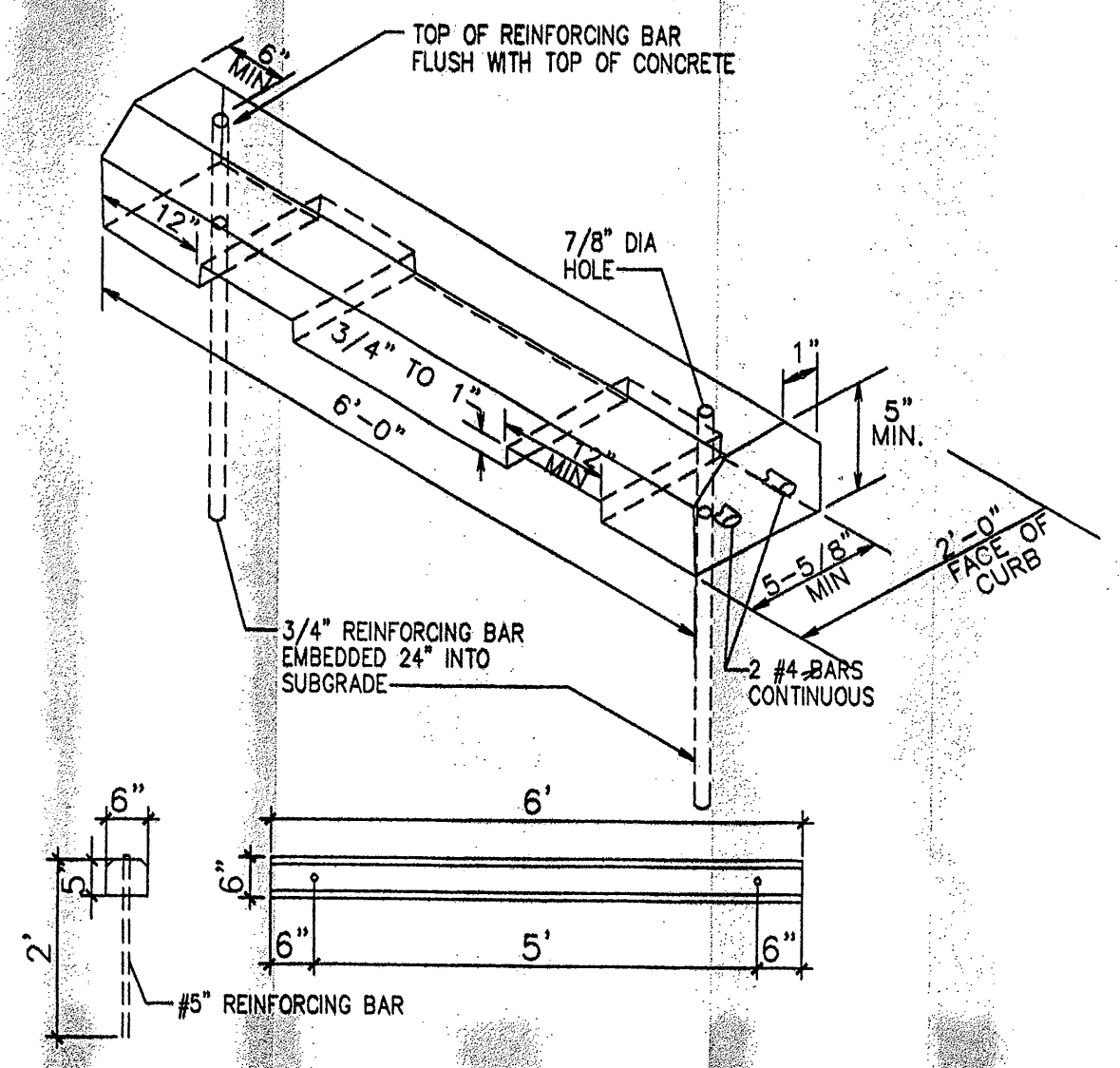
**9 H.C PARKING(DUAL CONFIGURATION)**  
Scale: N.T.S



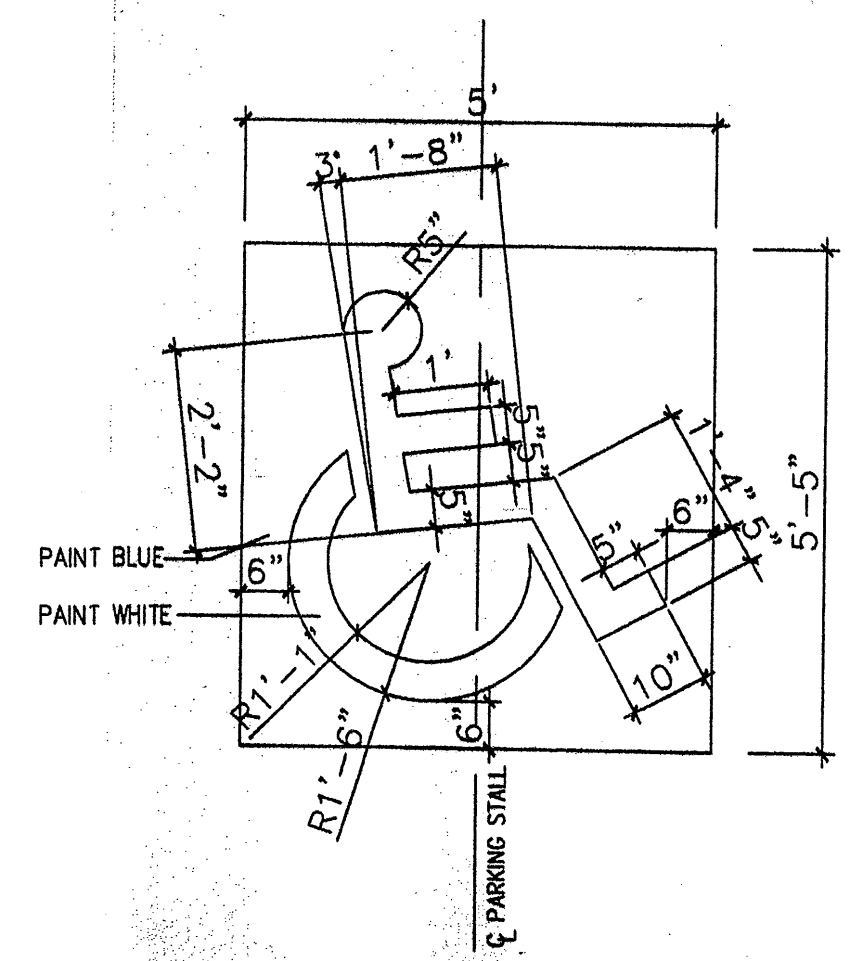
**5 H.C PARKING(VAN ACCESIBLE ONLY)**  
Scale: N.T.S



**2 CONC. FLUME DETAIL**  
Scale: N.T.S



**8 H.C WHEELSTOP**  
Scale: 1/2"=1'-0"



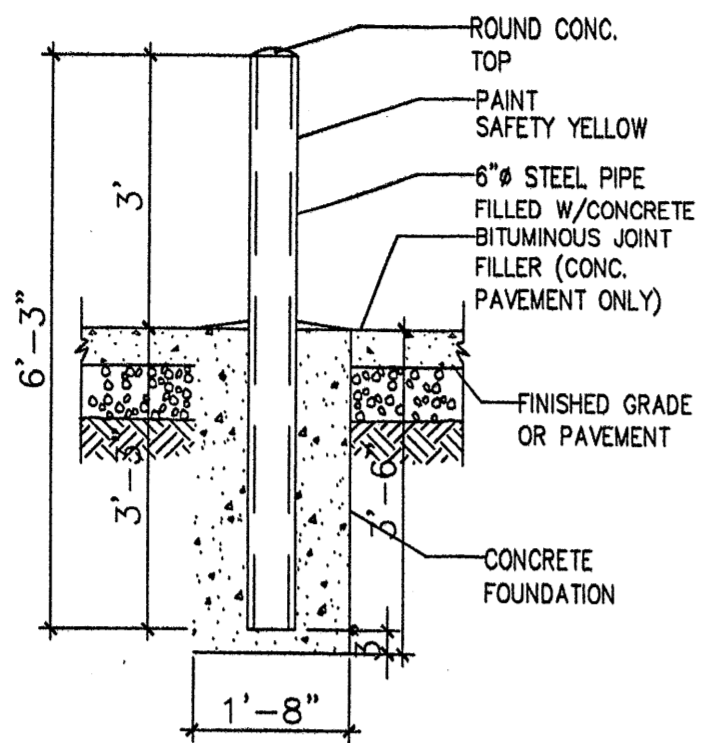
**4 H.C SIGNAGE**  
Scale: 1/2"=1'-0"

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-866-224-2161

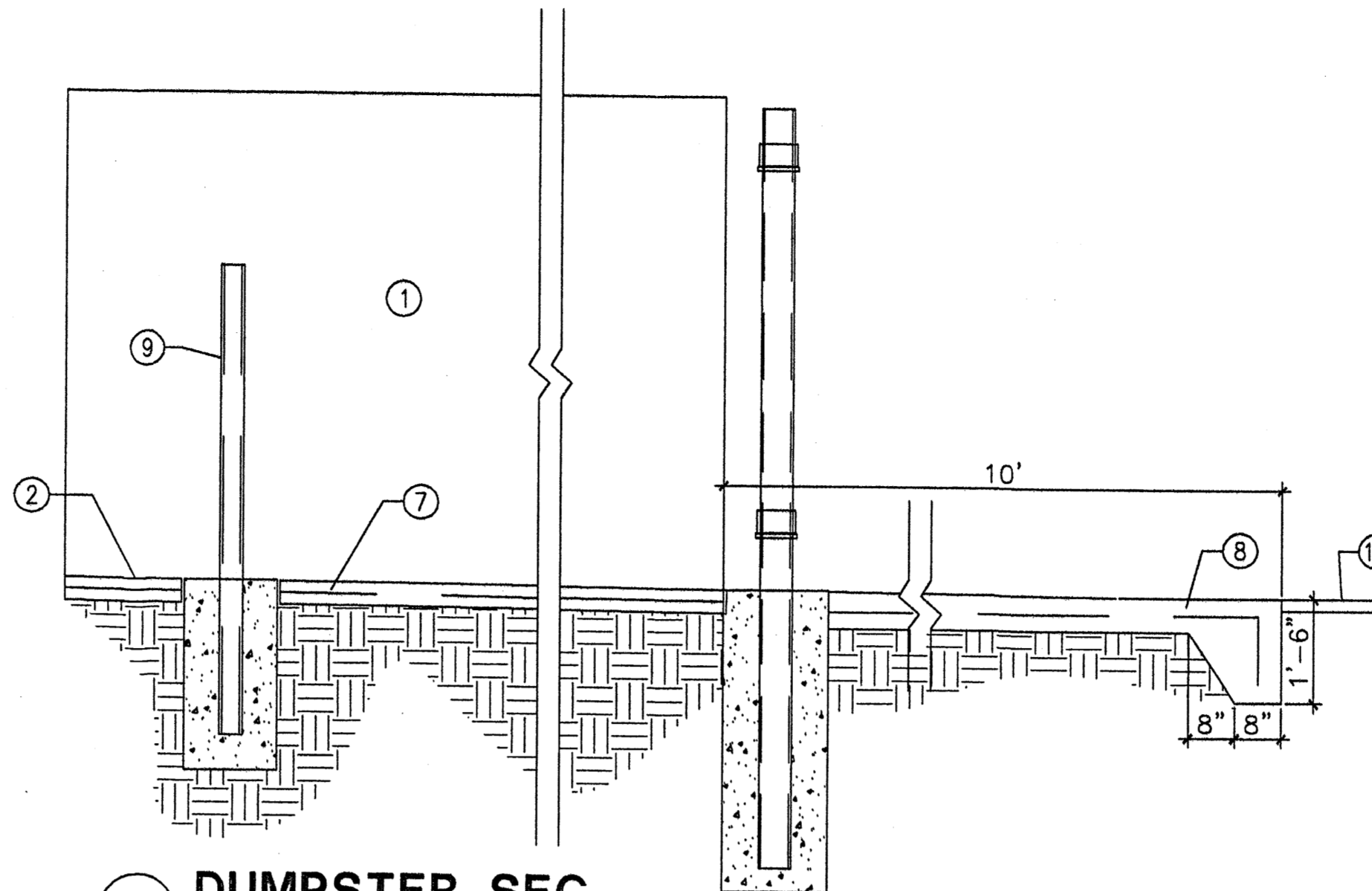
PROJECT TITLE	CHIPOTLE	PROJECT NUMBER	STEPHEN DUNBAR, AIA
CLIENT	N.E.C. OF SAN PEDRO AND PASEO DEL NORIE	DRAWN BY:	MSW
LOCATION	ALBUQUERQUE, N.M.	JOB NO.	
SHEET TITLE	SITE DETAILS		

DATE:	
SCALE:	A1.2
AS NOTED	



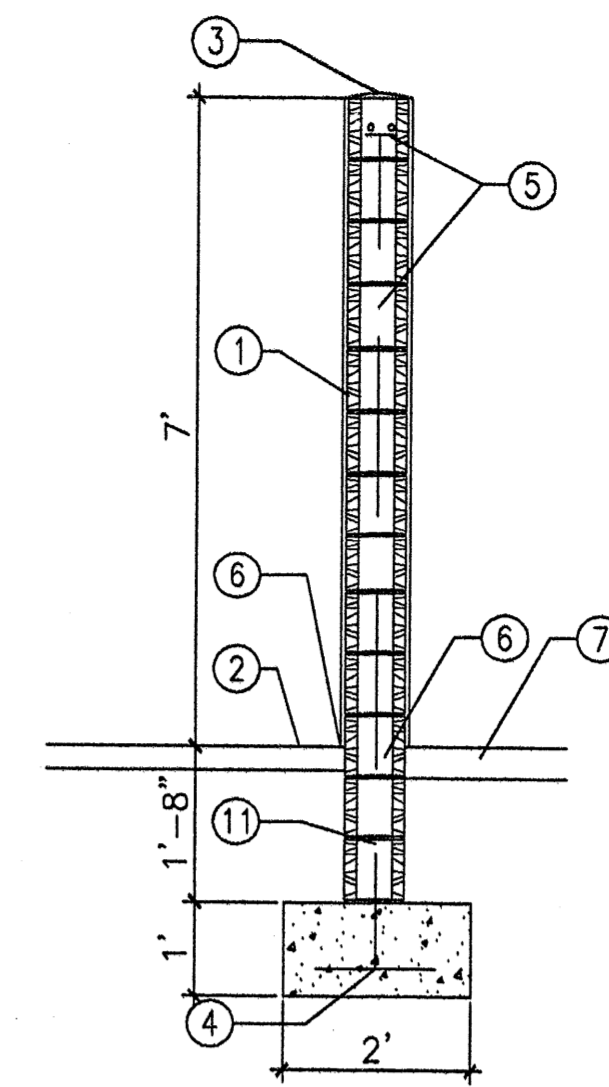
**1 BOLLARD DETAIL**

Scale: 1/2"=1'-0"



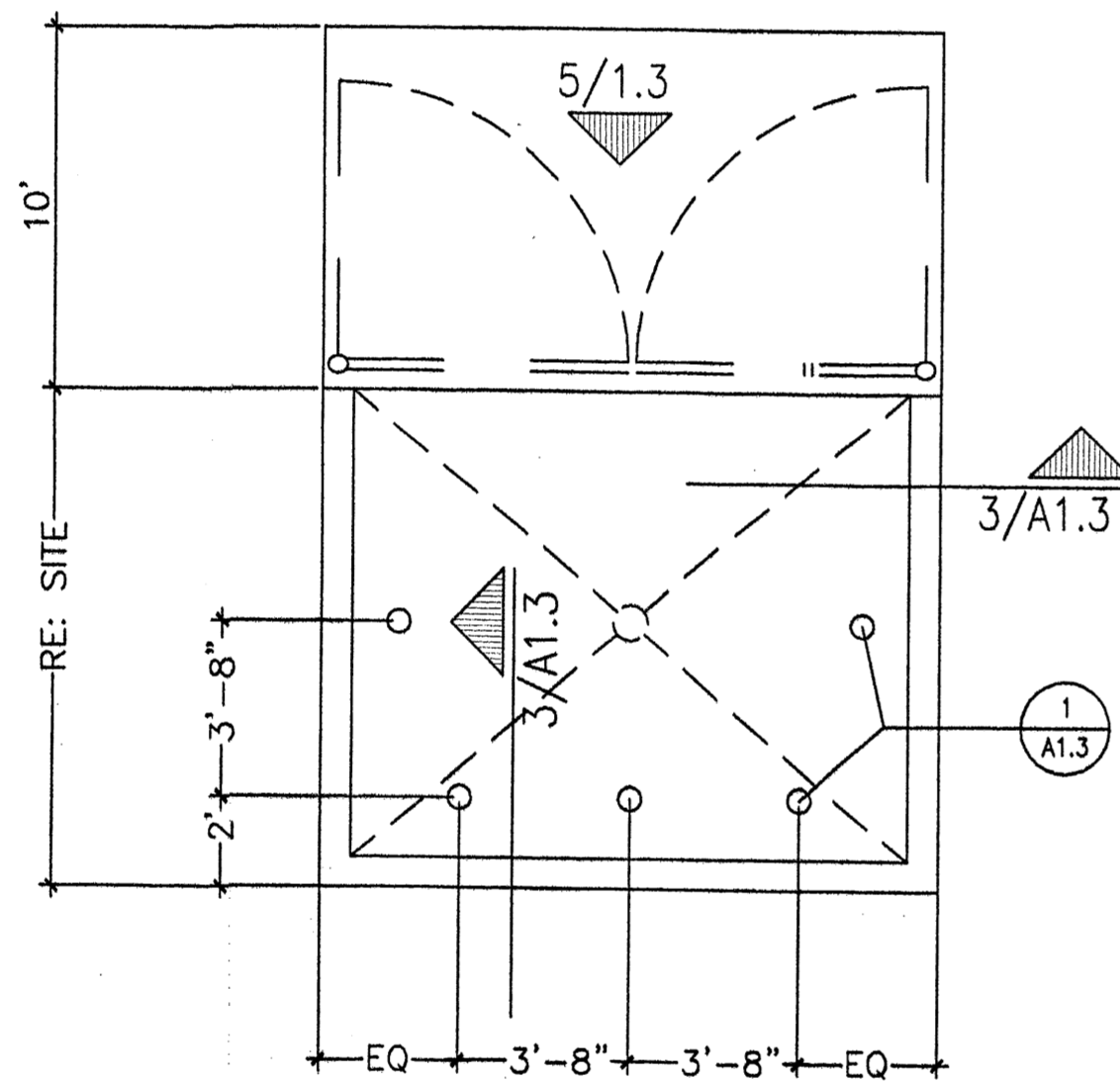
**2 DUMPSTER SEC**

Scale: 1/2"=1'-0"



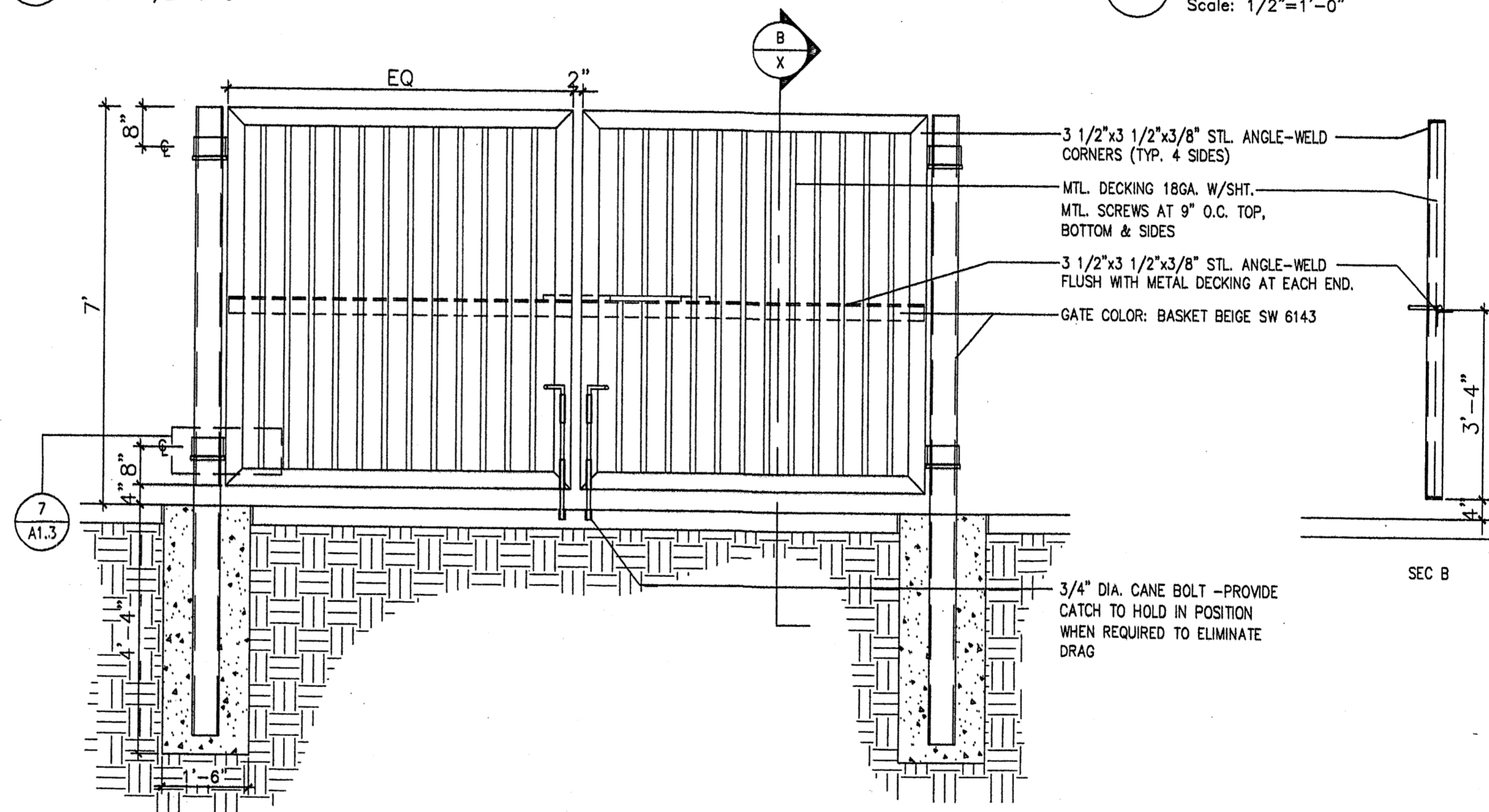
**3 DUMPSTER SEC**

Scale: 1/2"=1'-0"



**4 DUMPSTER PLAN**

Scale: 1/2"=1'-0"



**5 GATE ELEV.**

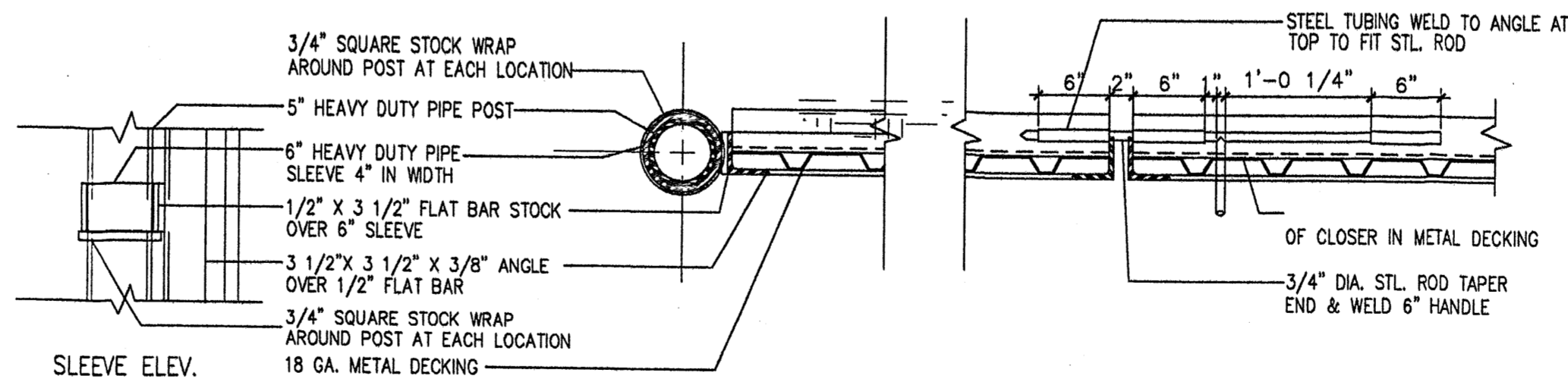
Scale: 1/2"=1'-0"

**KEYED NOTES**

1. 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR: MATCH BLDG-BASE COLOR
2. FINISH GRADE.
3. SLOPE STUCCO CAP.
4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
5. 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS; #5 BARS @ 32" O.C. VERTICAL, GROUT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
6. 1/2" EXPANSION JOINT MATERIAL
7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M.
8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W.M W/ TURNDOWN EDGE.
9. 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH STUCCO FINISH.
10. ASPHALT PAVING
11. GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

**6 ENCLOSURE NOTES**

Scale: N.T.S.



**7 GATE POST/SLIDE BOLT DET.**

Scale: 1"=1'-0"

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

**MODULUS ARCHITECTS**  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 338-1499 FAX (505) 338-1498  
 TOLL FREE 1-866-224-2161

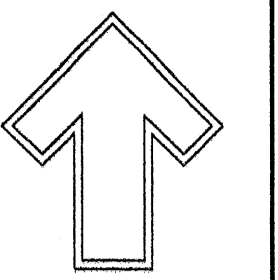
PROJECT TITLE  
**CHIPOTLE**  
 N.E.C. OF SAN PEDRO AND PASEO DEL NORTE  
 ALBUQUERQUE N.M.

PROJECT MANAGER  
 STEPHEN DUNBAR, AIA

JOB NO.  
 DRAWN BY:  
 MSW

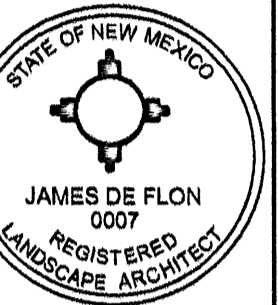
SHEET TITLE  
**SITE DETAILS**

DATE:	Sheet:
SCALE:	<b>A13</b>
AS NOTED	



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

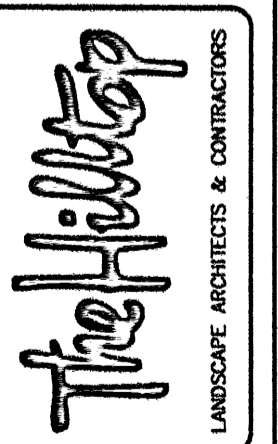
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

PASEO DEL NORTE & SAN PEDRO N.E. CORNER  
CHIPOTLE RESTAURANT & PANDA EXPRESS LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. The user agrees to indemnify and hold the contractor harmless from any and all claims or damages that may be asserted against the contractor in connection with the use of the plan.



DRAWN BY CMU  
REVISION #  
DATE 7-15-11

SHEET # L1 OF L2

### CHIPOTLE PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

#### SHADE TREES

- COMMON HACKBERRY 4  
*Celtis occidentalis*  
2" Cal., 12-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) Oef

#### ORNAMENTAL TREES

- CHITALPA 4  
*Chilopsis x Catalpa*  
2" Cal., 12-14" Inst./30' x 30' maturity  
Water (M) Allergy (L) Oef

#### DESERT ACCENTS

- PALM YUCCA 3  
*Yucca faxonii*  
4-5" Inst./15' x 6' maturity  
Water (L) Allergy (L) Oef
- COCOTILLO 1  
*Fouquieria splendens*  
4-6" Inst./15' x 10' maturity  
Water (L) Allergy (L) Oef
- BEARGRASS 2  
*Nolina microcarpa*  
3 Gal., 18"-3' Inst./5' x 6' maturity  
Water (L+) Allergy (L) 26ef
- BLUE SOTOL 6  
*Dasylirion wheeleri*  
18"-3' Inst./5' x 5' maturity  
Water (L+) Allergy (L) 25ef
- BANANA YUCCA 2  
*Yucca baccata*  
5 Gal., 18"-3' Inst./4' x 5' maturity  
Water (L) Allergy (L) 25ef
- AGAVE 14  
*Agave spp.*  
14"-18" Inst./4' x 4' maturity  
Water (L+) Allergy (L) 16ef
- RED YUCCA 18  
*Hesperaloe parviflora*  
5 Gal., 18"-3' Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16ef
- PRICKLY PEAR 12  
*Opuntia macrocentra*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (L) Allergy (L) 9ef

#### SHRUBS/ORNAMENTAL GRASSES

- SPANISH BROOM 4  
*Genista hispanica*  
5 Gal., 2'-4" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100ef
- INDIAN HAWTHORN 5  
*Raphiolepis indica*  
5 Gal., 18"-3' Inst./6' x 6' maturity  
Water (M) Allergy (L) 26ef
- SCOTCH BROOM 5  
*Cytisus scoparius*  
5 Gal., 18"-3' Inst./4' x 4' maturity  
Water (M) Allergy (L) 16ef
- MUGO PINE 5  
*Pinus mugo*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 9ef
- REGAL MIST 6  
*Muhlenbergia capillaris*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 9ef
- POTENTILLA 3  
*Potentilla fruticosa*  
1 Gal., 3'-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 9ef
- WILDFLOWER 18  
1 Gal., 3'-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 45ef

#### GROUNDCOVERS

- HONEYSUCKLE 24  
*Lonicera japonica 'Halliana'*  
1 Gal., 6'-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144ef  
Unstaked-Groundcover

#### HARDSCAPES

- OVERSIZED GRAVEL & BOULDERS
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

\* DENOTES EVERGREEN PLANT MATERIAL

### PANDA EXPRESS PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

#### SHADE TREES

- COMMON HACKBERRY 5  
*Celtis occidentalis*  
2" Cal., 12-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) Oef

#### ORNAMENTAL TREES

- CHITALPA 4  
*Chilopsis x Catalpa*  
2" Cal., 12-14" Inst./30' x 30' maturity  
Water (M) Allergy (L) Oef

#### DESERT ACCENTS

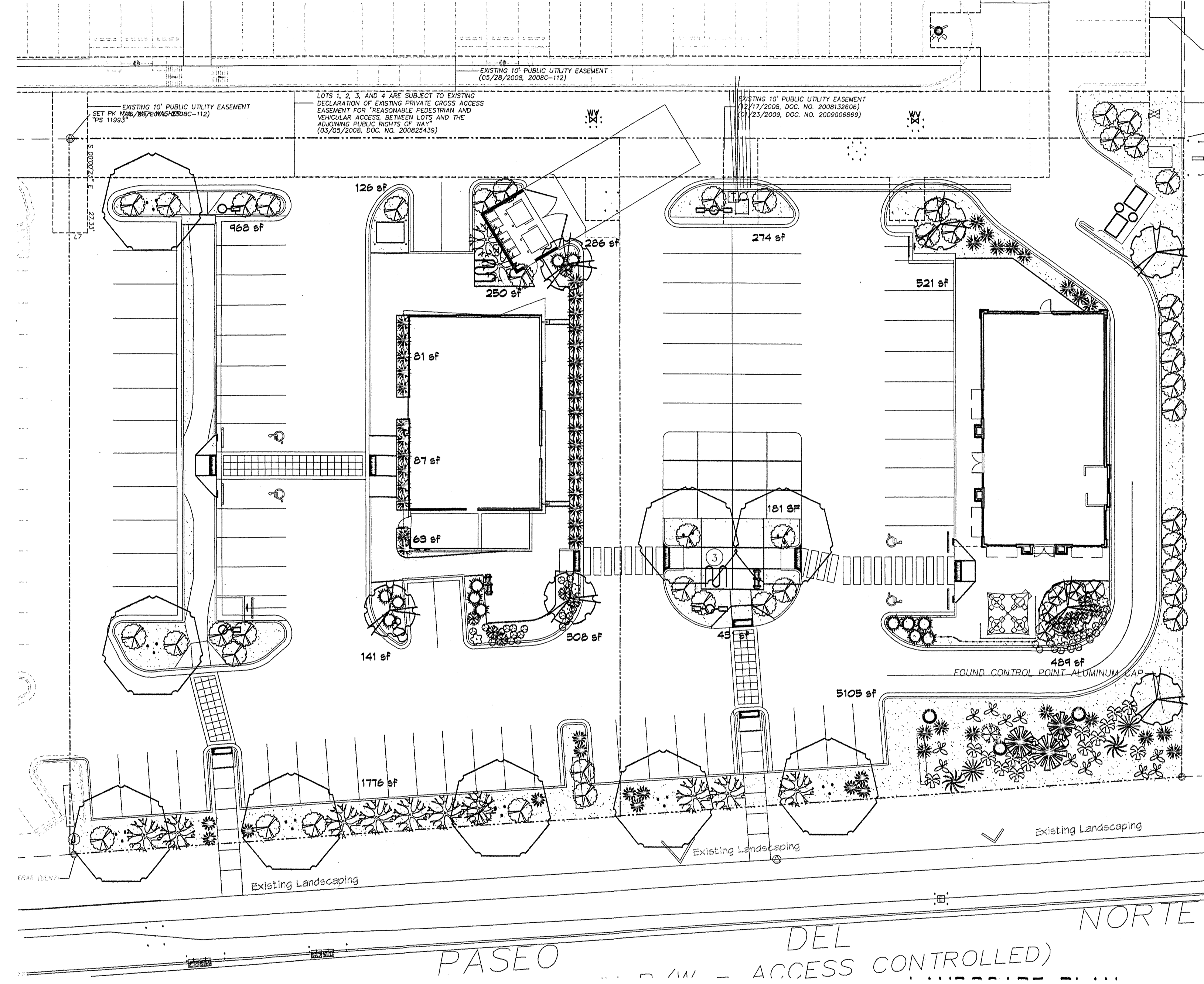
- BLUE SOTOL 6  
*Dasylirion wheeleri*  
18"-3' Inst./3' x 5' maturity  
Water (L+) Allergy (L) 25ef
- SPANISH BROOM 5  
*Genista hispanica*  
5 Gal., 2'-4" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100ef
- RED YUCCA 30  
*Hesperaloe parviflora*  
5 Gal., 18"-3' Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16ef
- SCOTCH BROOM 5  
*Cytisus scoparius*  
5 Gal., 18"-3' Inst./4' x 4' maturity  
Water (M) Allergy (L) 16ef
- POTENTILLA  
*Potentilla fruticosa*  
1 Gal., 3'-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 9ef
- WILDFLOWER 18  
1 Gal., 3'-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 45ef

#### GROUNDCOVERS

- HONEYSUCKLE 20  
*Lonicera japonica 'Halliana'*  
1 Gal., 6'-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144ef  
Unstaked-Groundcover

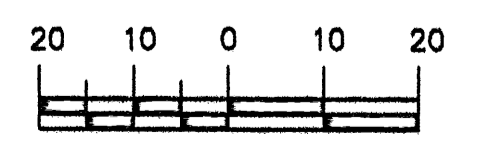
#### HARDSCAPES

- OVERSIZED GRAVEL & BOULDERS
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- \* DENOTES EVERGREEN PLANT MATERIAL



FOR CALCULATIONS, DETAILS AND NOTES, SEE SHEET L2

### GRAPHIC SCALE



SCALE: 1"=20'

**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.  
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.  
 Santa Fe Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (30' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**CHIPOTLE**  
 STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street PASO DEL NORTE  
 Required 6 Provided 6 EXISTING

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
 Required 5 Provided 5

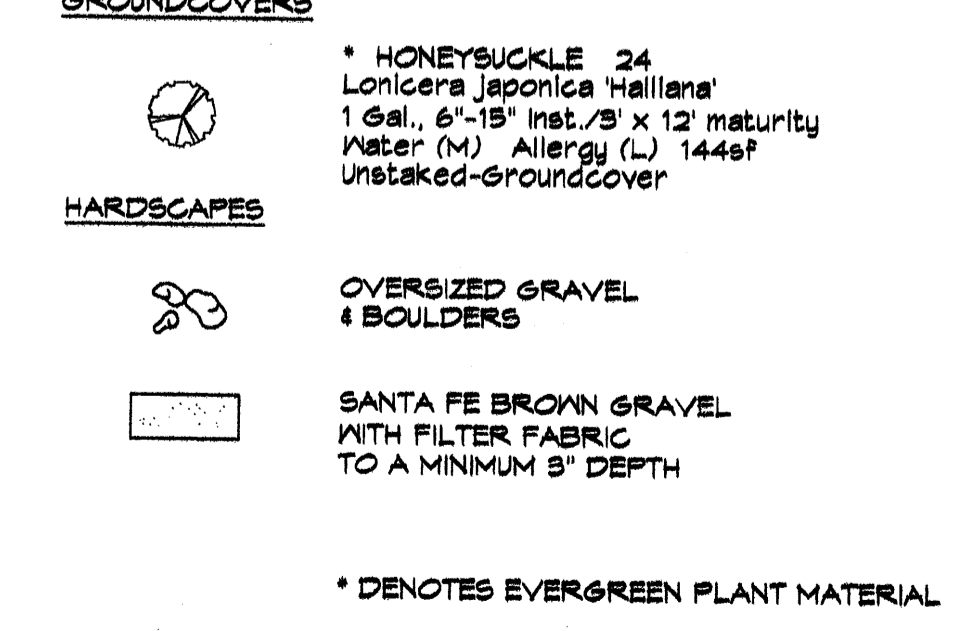
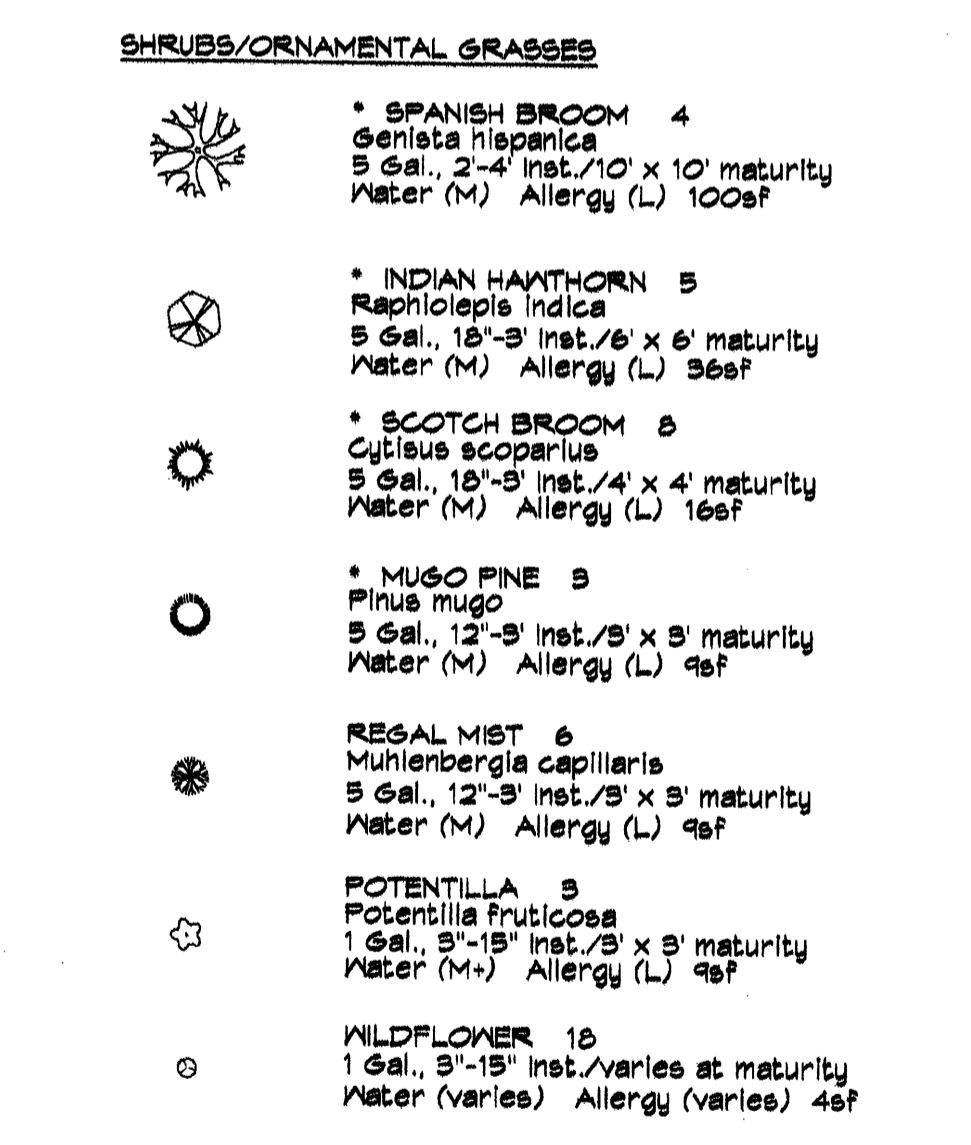
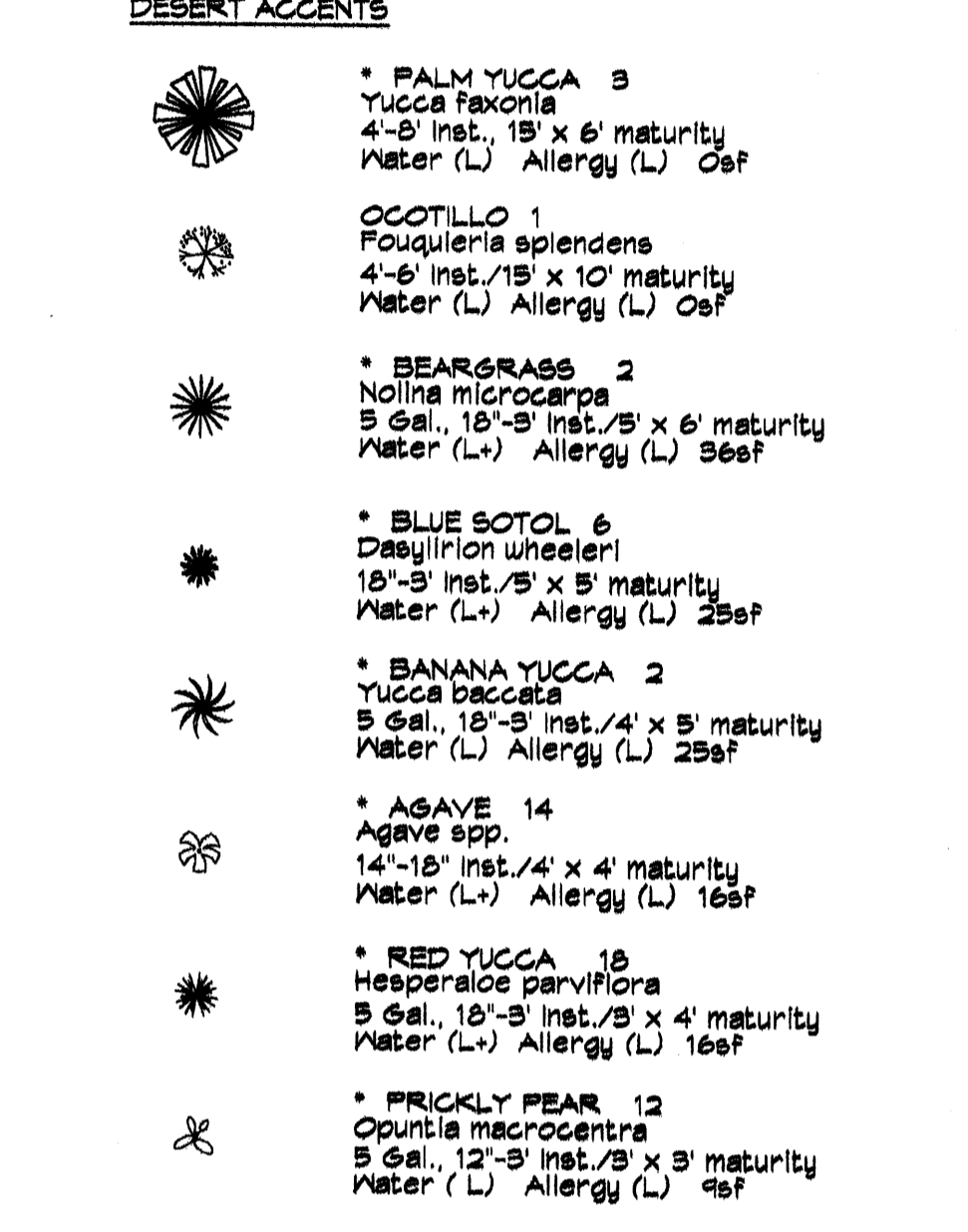
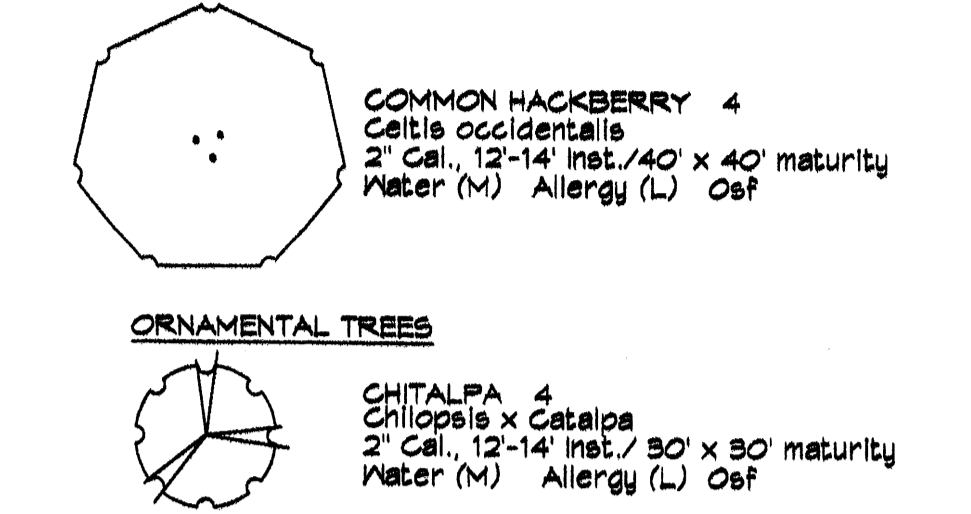
**NOTE TO CLIENT:**  
 Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE CALCULATIONS**

	CHIPOTLE	PANDA EXPRESS
TOTAL LOT AREA	52043 square feet	30882 square feet
TOTAL BUILDINGS AREA	2184 square feet	2448 square feet
NET LOT AREA	29859 square feet	28434 square feet
LANDSCAPE REQUIREMENT	19%	15%
TOTAL LANDSCAPE REQUIREMENT	4478 square feet	4265 square feet
TOTAL BED PROVIDED	4086 square feet	7001 square feet
GROUND COVER REQ.	75% square feet	75% square feet
TOTAL GROUND COVER REQUIREMENT	3064 square feet	5250 square feet
TOTAL GROUND COVER PROVIDED	3942 (29%) square feet	3942 (75%) square feet
TOTAL PONDING AREA	0 square feet	0 square feet
TOTAL SOD AREA (max. 20% of landscape required)	0 square feet	0 square feet
TOTAL EXISTING BED AREA	2099 square feet	2541 square feet
TOTAL LANDSCAPE PROVIDED	6149.0000 square feet	4542.0000 square feet

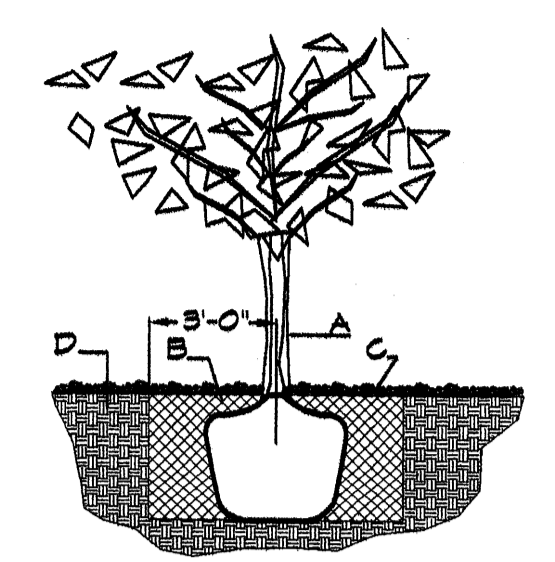
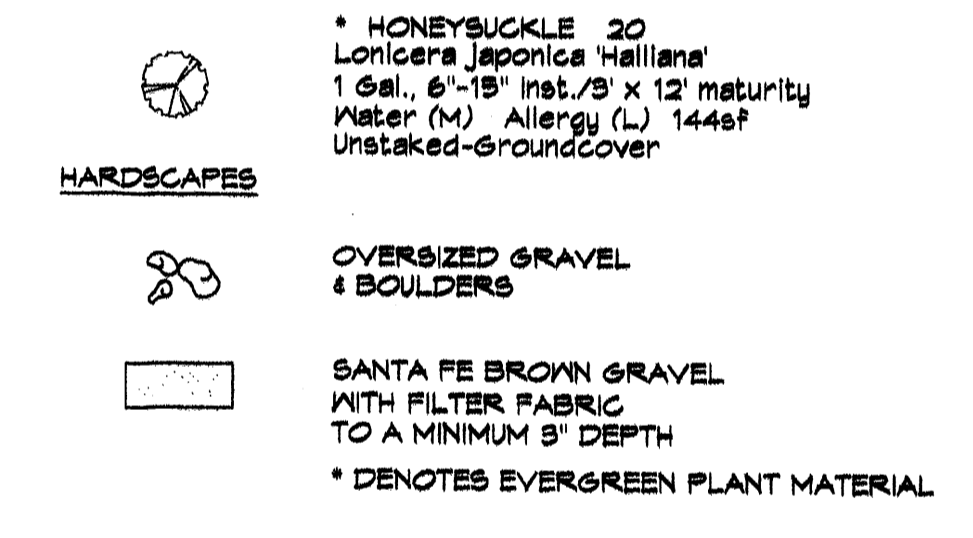
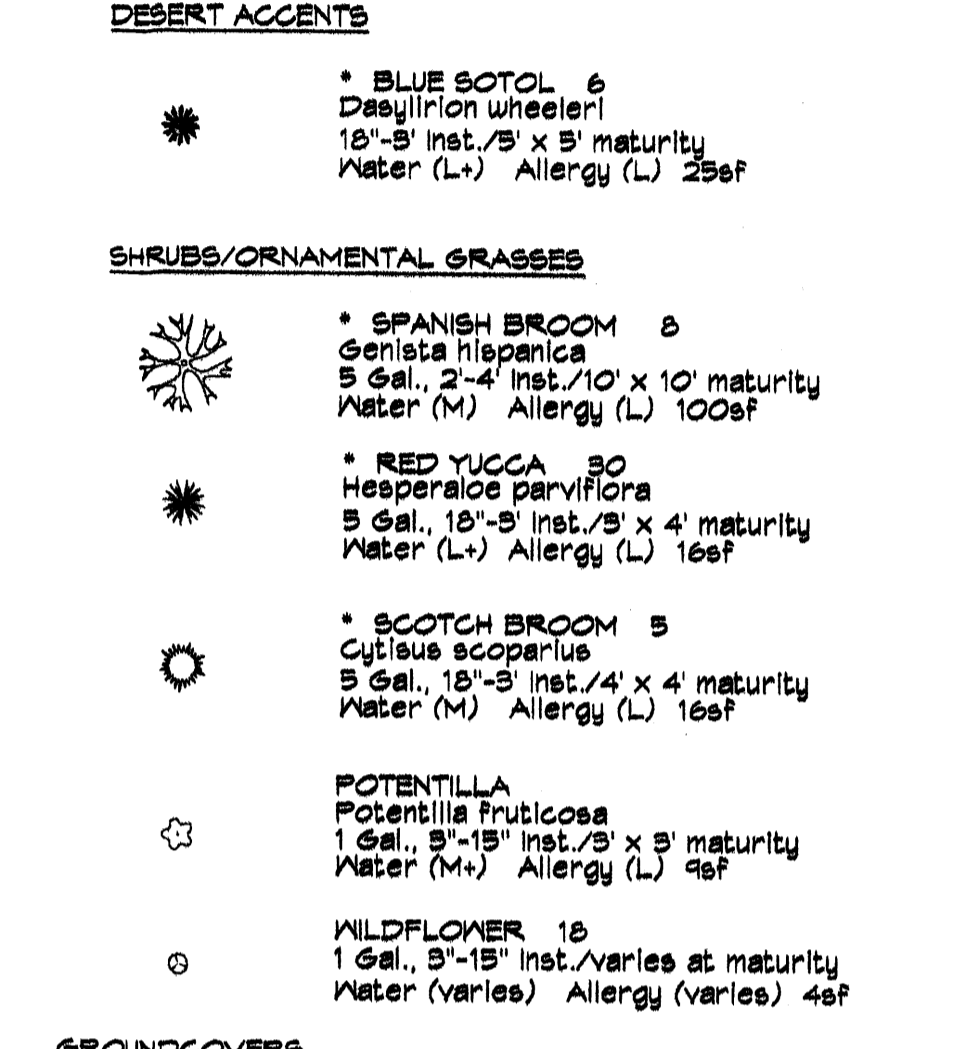
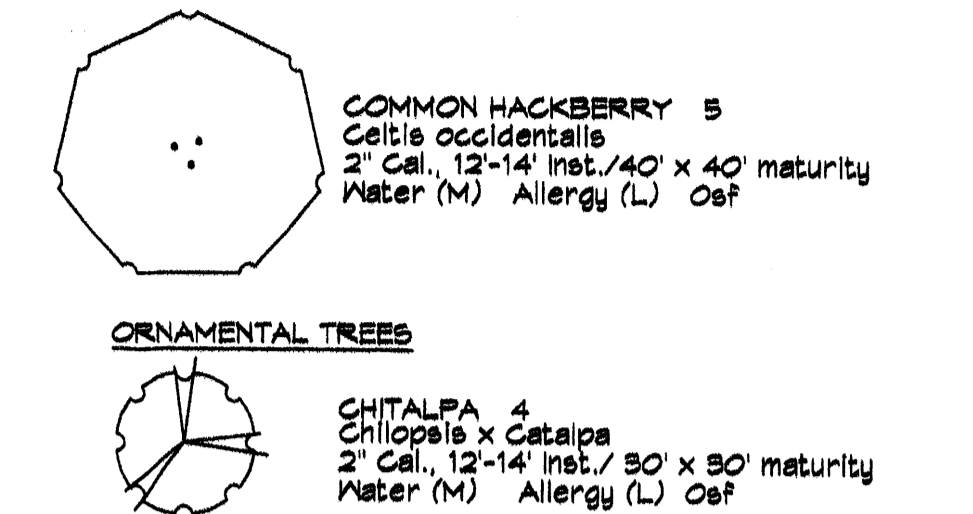
**CHIPOTLE PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.



**PANDA EXPRESS PLANT LEGEND**

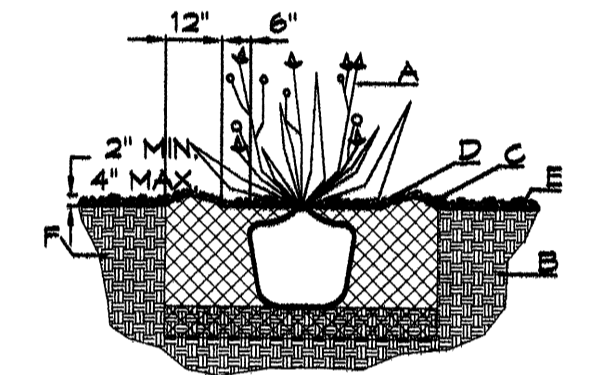
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.



**TREE PLANTING DETAIL**

**GENERAL NOTES:**  
 1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
 2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE EXCEEDED BY ONLY ONE INCH LAYER OF SOIL.  
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**  
 A. TREE  
 B. BACKFILL WITH EXISTING SOIL.  
 C. 3" DEPTH OF GRAVEL MULCH.  
 D. UNDISTURBED SOIL.

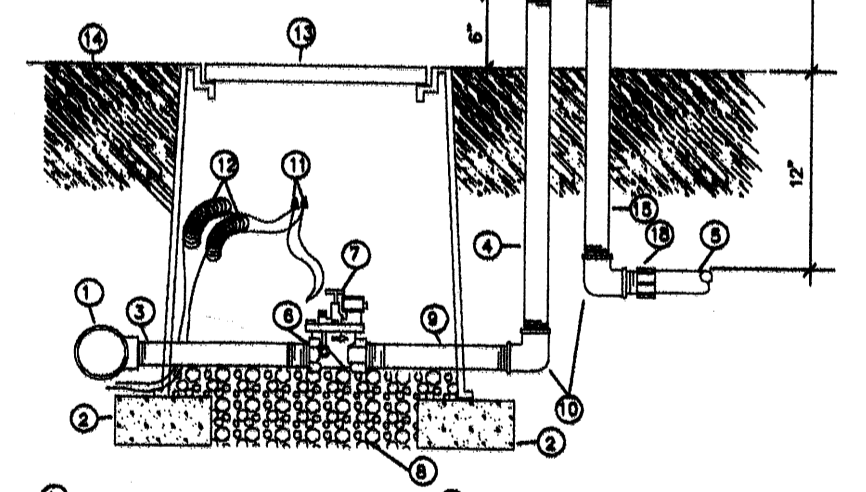
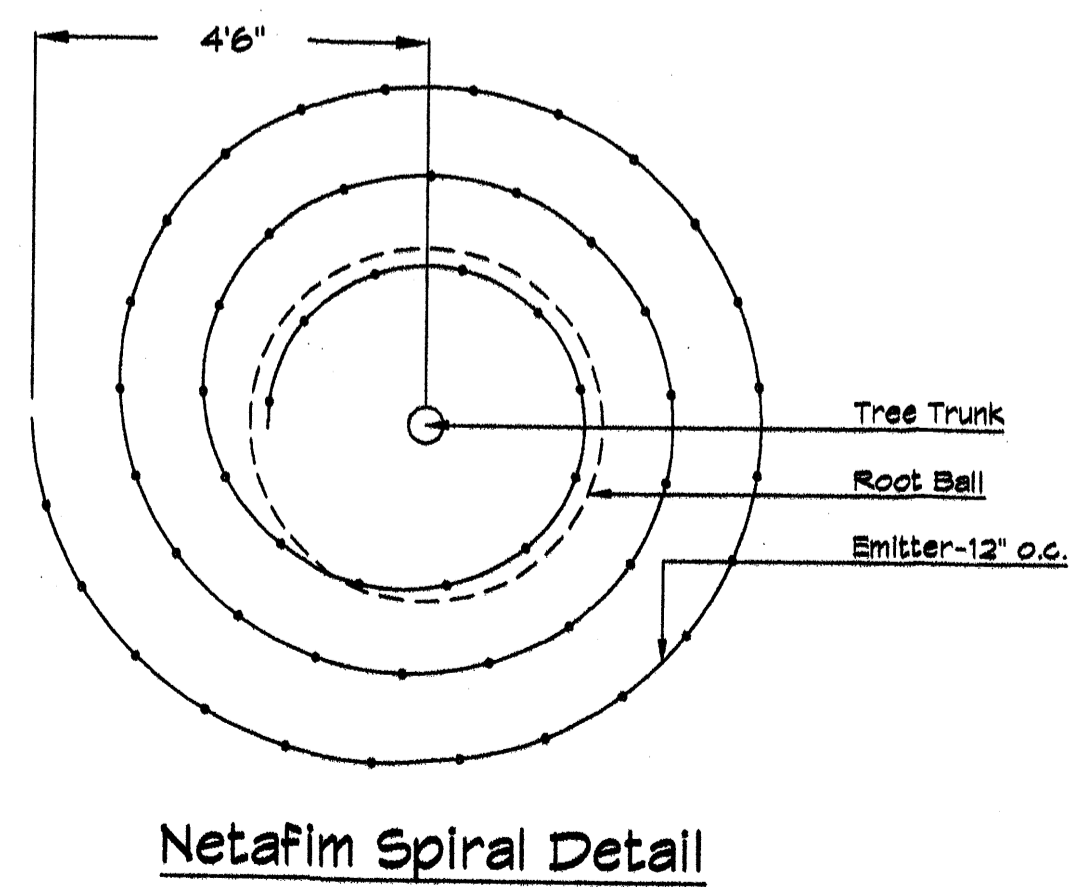
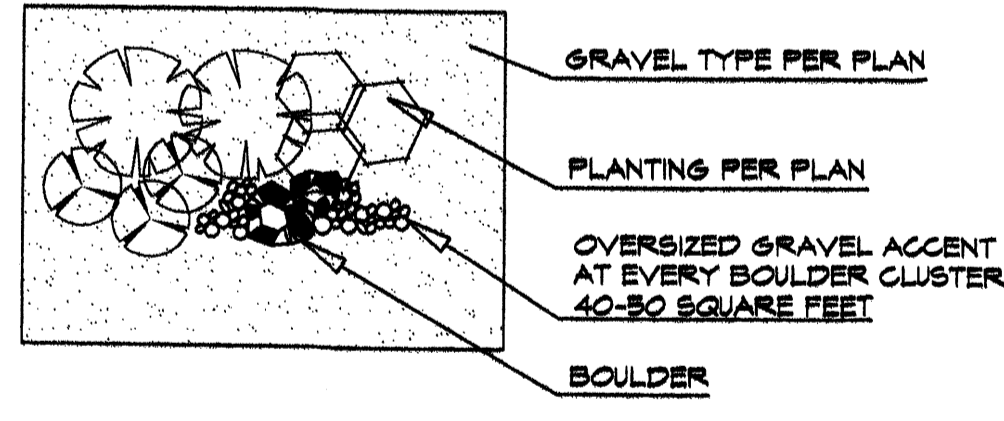


**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**  
 1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**  
 A. SHRUB  
 B. BACKFILL WITH EXISTING SOIL.  
 C. EARTH BERM AROUND WATER RETENTION BASIN.  
 D. 3" DEPTH OF GRAVEL MULCH.  
 E. FINISH GRADE.  
 F. UNDISTURBED SOIL.

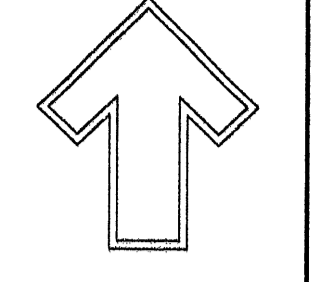
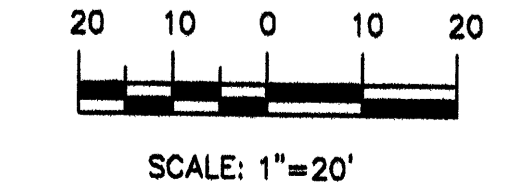
**GRAVEL ACCENT DETAIL**



- 1 MAINLINE FITTING
- 2 CUI BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 FINISH GRADE
- 6 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 7 REDUCER BUSHING
- 8 AUTOMATIC VALVE (SEE LEGEND)
- 9 GRAVEL
- 10 GALVANIZED NIPPLE
- 11 GALVANIZED ELBOW
- 12 WATERPROOF WIRE CONNECTOR
- 13 WIRE EXPANSION LOOPS
- 14 VALVE BOX
- 15 FINISH GRADE
- 16 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 17 ATMOSPHERIC VACUUM BREAKER
- 18 GALVANIZED STREET ELL
- 19 TEE NIPPLE OR MALE ADAPTER

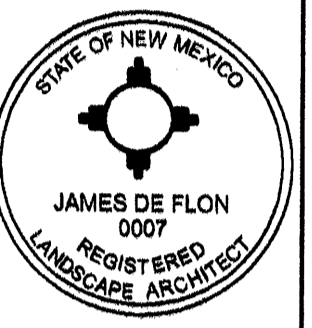
AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER  
 N.T.A.

**GRAPHIC SCALE**



Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cmj@hilltoplandscaping.com

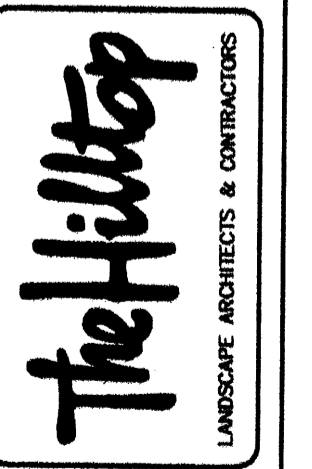
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

DEL NORTE PLAZA  
 N.E. CORNER PASO DEL NORTE AND SAN PEDRO  
 CHIPOTLE RESTAURANT & PANDA EXPRESS  
 LANDSCAPE PLAN

All notes, plans, specifications, drawings, and reports prepared by The Hilltop are the property of The Hilltop. The Hilltop reserves the right to reproduce, distribute, or otherwise use any part of this work in any form, without limitation, for any purpose. This is an original design and must not be released or copied unless approved in writing by The Hilltop. (under plan)

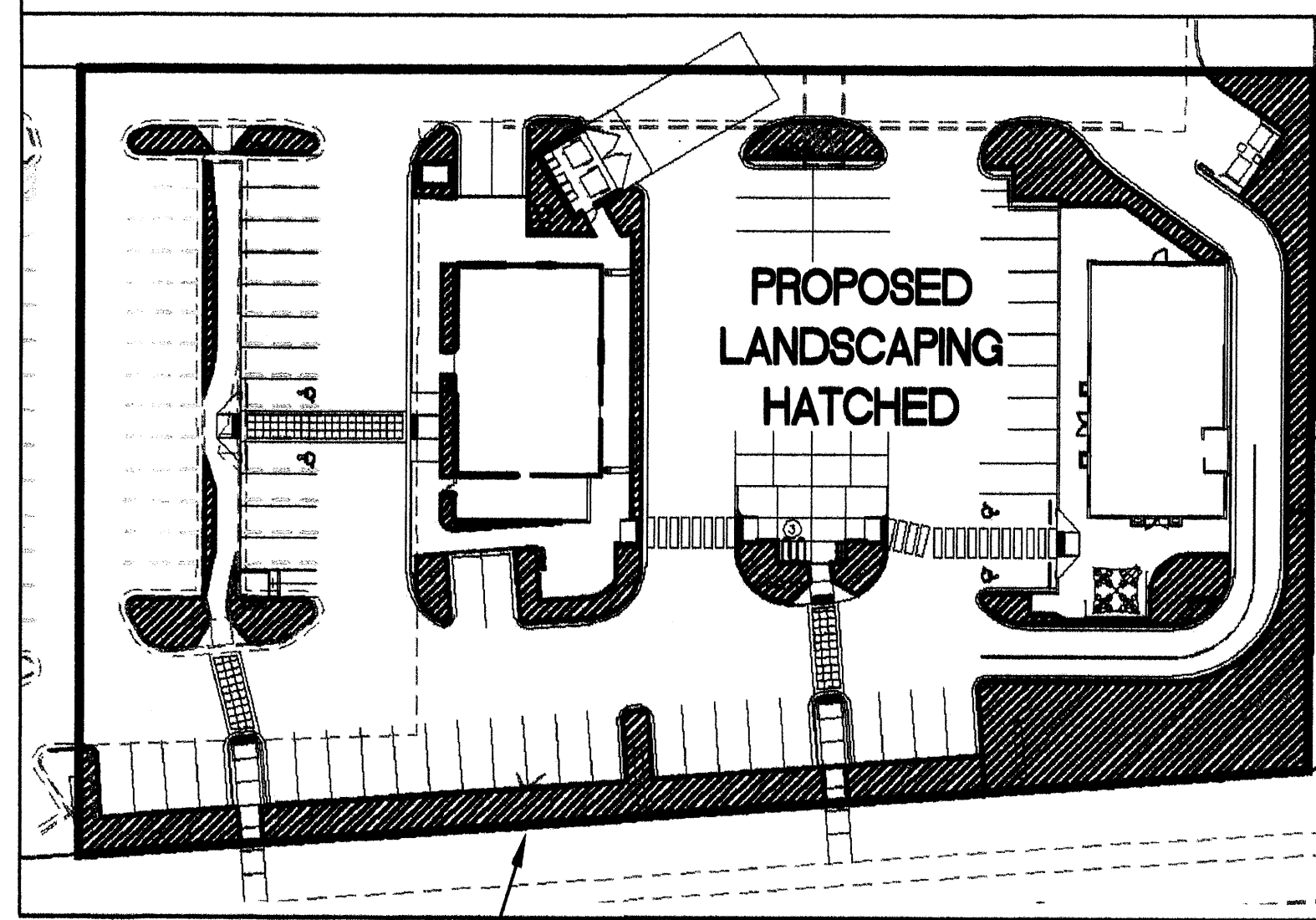


DRAWN BY CMJ  
 REVISION #  
 DATE 7-15-11

SHEET #  
 L2 OF L2

FOR LANDSCAPING LAYOUT, SEE SHEET L1

### LAND TREATMENT EXHIBIT



BOUNDARY USED FOR CALCULATIONS

### CALCULATIONS

**CALCULATIONS: Del Norte Plaza : Dec. 2, 2011**  
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan, 1993

**ON-SITE**  
 AREA OF SITE: 59105.5 SF = 1.4 Ac.  
 100-year, 6-hour

**DEVELOPED FLOWS:**

Treatment SF	%
Area A = 0	0%
Area B = 4728.44	8%
Area C = 5319.495	9%
Area D = 49057.565	83%
Total Area = 59105.5	100%

**EXCESS PRECIP:**  
 Precip. Zone 3  
 E<sub>A</sub> = 0.66  
 E<sub>B</sub> = 0.92  
 E<sub>C</sub> = 1.29  
 E<sub>D</sub> = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
 Weighted E =  $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Developed E = 2.15 in.

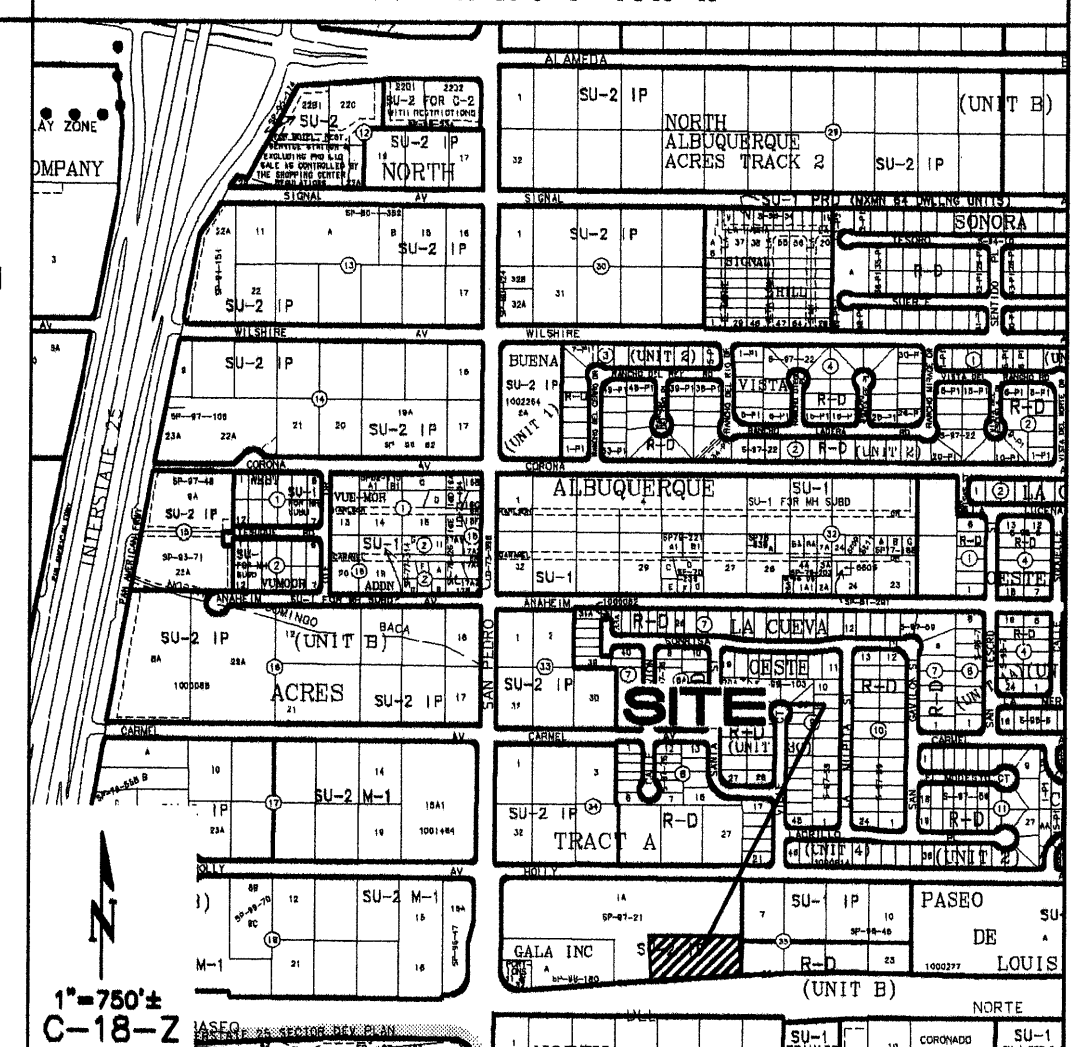
On-Site Volume of Runoff: V<sub>3h</sub> = E<sub>A</sub> \* A / 12  
 Developed V<sub>3h</sub> = 10582 CF

On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>PA</sub>A<sub>A</sub> + Q<sub>PB</sub>A<sub>B</sub> + Q<sub>PC</sub>A<sub>C</sub> + Q<sub>PD</sub>A<sub>D</sub> / 43,560  
 For Precipitation Zone 3  
 Q<sub>PA</sub> = 1.87      Q<sub>PB</sub> = 3.45  
 Q<sub>PC</sub> = 2.60      Q<sub>PD</sub> = 5.02  
 Developed Q<sub>p</sub> = 6.4 CFS

### GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNLESS OTHERWISE NOTED, MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1%.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PREVENT ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB 3/4 ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, SURFICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS TO EXISTING SHALL BE SMOOTH.
- ALL FRACTURED FACE ROCK EROSION PROTECTION (F.F. ROCK) TO BE 8" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.).
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

### VICINITY MAP



### PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP C-18. THE SITE IS BOUND TO THE EAST BY DEVELOPED COMMERCIAL PROPERTY, TO THE WEST BY SAN PEDRO BLVD., TO THE NORTH HOLLY AVE. AND TO THE SOUTH BY PASEO DEL NORTE BLVD.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE TWO COMMERCIAL BUILDINGS WITH ASSOCIATED ASPHALT, PARKING AND LANDSCAPING.

LEGAL: A PORTION OF LOT 4, DEL NORTE PLAZA, ALBUQUERQUE, N.M.

BENCHMARK: ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "HEAVEN", PUBLISHED ELEVATION (FEET) = 5378.235 (NAVD 1988)

TEMPORARY BENCHMARKS: SEE **TB** THIS SHEET.

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNAILLO COUNTY FIRM MAP #137, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. THIS MAP ALSO INDICATES A '1% ANNUAL CHANCE FLOOD DISCHARGE' CONTAINED IN THE PASEO DEL NORTE STORM DRAIN SYSTEM ADJACENT TO THIS PROPERTY.

DRAINAGE PLAN CONCEPT:  
 BASED ON THE 'REVISED DRAINAGE REPORT FOR PACIFIC PASEO, ALBUQUERQUE, NM' PREPARED BY TIERRA WEST, LLC DATED JULY 2006 (STAMP DATE 11/1/06), THE PROPOSED IMPROVEMENTS ARE LOCATED WITHIN DRAINAGE BASIN E. THIS BASIN IS IDENTIFIED AS A 3.98 ACRE BASIN WHICH IS PERMITTED TO DISCHARGE 15.04 CFS (+4.5 CFS/AC) TO HOLLY BLVD. AT THE WEST ENTRANCE OF THE PACIFIC PASEO PROPERTY. THE AREA DEFINED FOR DEVELOPMENT IS APPROXIMATELY 1.4 ACRES SO THE ALLOWABLE FREE DISCHARGE IS (1.4 AC \* 4.5 CFS/AC) = 6.3 CFS. THIS DISCHARGE WILL PASS INTO THE HOLLY AVENUE / SAN PEDRO DRIVE STORM SEWER SYSTEM. THE REMAINING 0.1 CFS WILL BE CAPTURED WITHIN THE SITES DEPRESSED LANDSCAPED AREAS AS NOTED.

ENGINEER: FRED C. ARFMAN, PE  
 ISAACSON & ARFMAN, P.A.  
 128 MONROE ST NE, ABO, NM 87108  
 PHONE: (505) 268-8828

SURVEYOR: LARRY W. MEDRANO  
 PRECISION SURVEYS, INC.  
 5571 MIDWAY PARK PLACE, N.E., ABO, NM 87199  
 PHONE: (505) 856-5700

### KEYED NOTES

- EXISTING PAVEMENT TO REMAIN. SAWCUT / REMOVE / REPLACE AS NECESSARY TO ENSURE TRANSITION BETWEEN EXISTING AND PROPOSED IS SMOOTH AND POSITIVE DRAINAGE IS UNIMPEDED.
- CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PAVEMENT TYPE, EXTENTS, SECTIONS, LAYOUT, ETC.
- CONSTRUCT CURB AND GUTTER THIS AREA. SEE ARCHITECTURAL FOR SITE DETAILS.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR SITE DETAILS.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION AND DETAILS. NOTE: VERTICAL RISE VARIES (2" TO 6"). SEE PLANS FOR ELEVATIONS AT BASE AND AT TOP OF RAMPS.
- ALL ROOF DISCHARGE TO BE DISCHARGED DIRECTLY ONTO SURFACE ON ALL SIDES OF BUILDING. SEE ARCHITECTURAL AND PLUMBING PLANS FOR SPECIFIC ROOF DISCHARGE INFORMATION WITHIN 5' OF BUILDING. PROVIDE FRACTURED FACE ROCK EROSION PROTECTION (SEE GENERAL NOTE H.) AT OUTLETS LOCATED WITHIN LANDSCAPED AREAS.
- CONSTRUCT 1' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236 TO PASS FLOW.
- PEDESTRIAN ACCESS TO ADA STANDARDS. MAX. SLOPE = 5%. MAX. CROSS-SLOPE = 2%.
- EXISTING COVERED SIDEWALK CULVERT. CONTRACTOR TO CLEAR ANY OBSTRUCTION TO DRAINAGEWAY.
- PROVIDE SHALLOW DEPRESSION (4" TO 6" DEEP) WITHIN LANDSCAPING THIS AREA TO CAPTURE STORMWATER.
- PROVIDE FRACTURED FACE ROCK EROSION PROTECTION (SEE GENERAL NOTE H.) ALL AREAS EXCEEDING 3:1 SLOPE.
- CONSTRUCT STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE. SEE ARCHITECTURAL FOR DETAILS INCLUDING RAILING.
- SEE ARCHITECTURAL FOR VISUAL DESIGNATION AT EDGE OF RAISED PLAZA (PAINTED YELLOW, ALTERNATE MATERIAL, ETC.).
- IF TRANSITION GRADE IS > 3:1, CONSTRUCT SLOPED CONCRETE APPROX TO TRANSITION BETWEEN PROPOSED CURB AND EXISTING CONCRETE PAD THIS AREA.

### LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- ◆ 78.3± EXISTING ELEVATION (±) PROVIDED FOR GEN. INFO.

**NOT APPROVED FOR CONSTRUCTION**

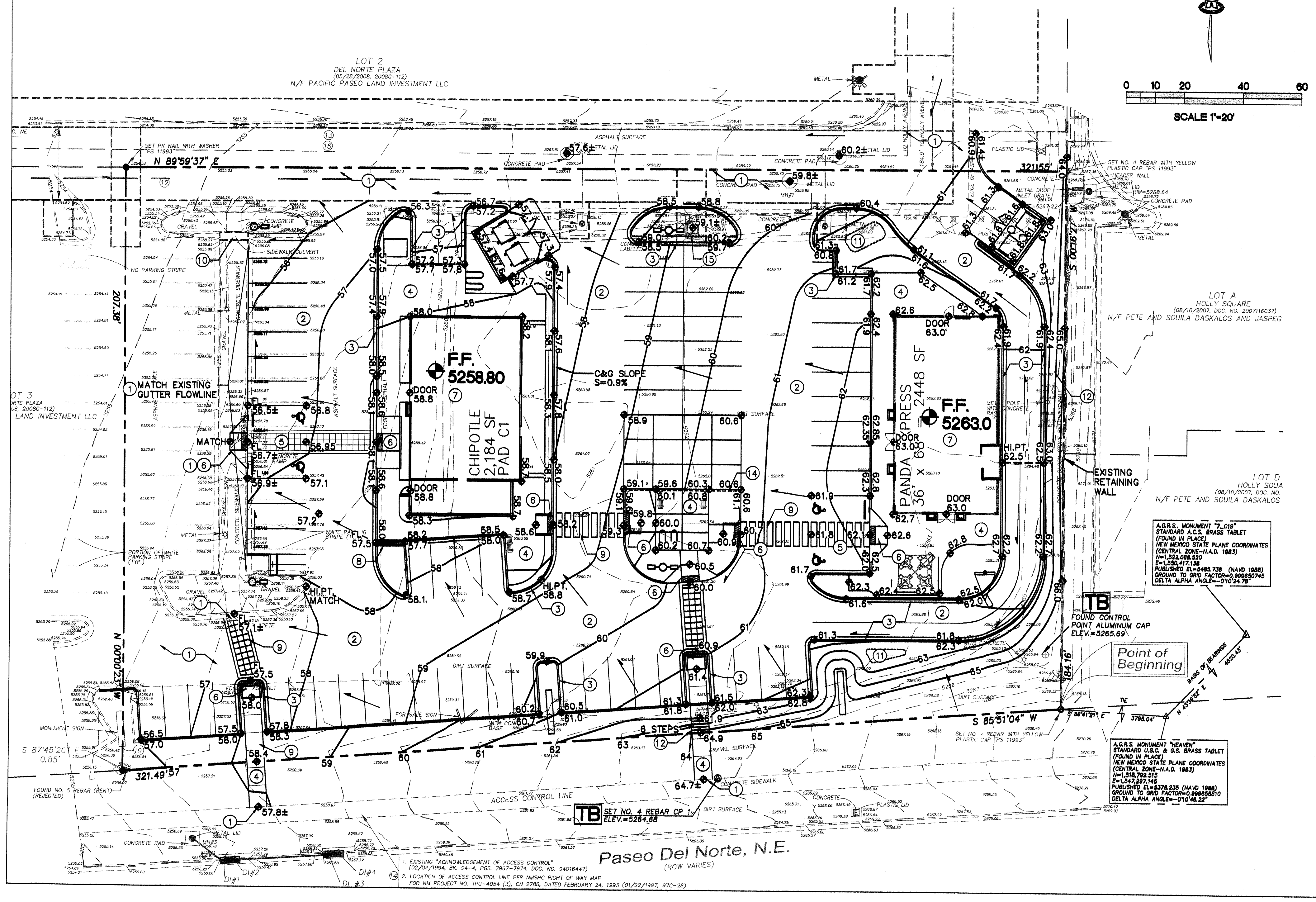
**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 PH. 505-268-8828 www.isaacteam.com

1859 CG-101.dwg Dec 09, 2011

**LOT 4 DEL NORTE PLAZA**  
 MODULUS ARCHITECTS

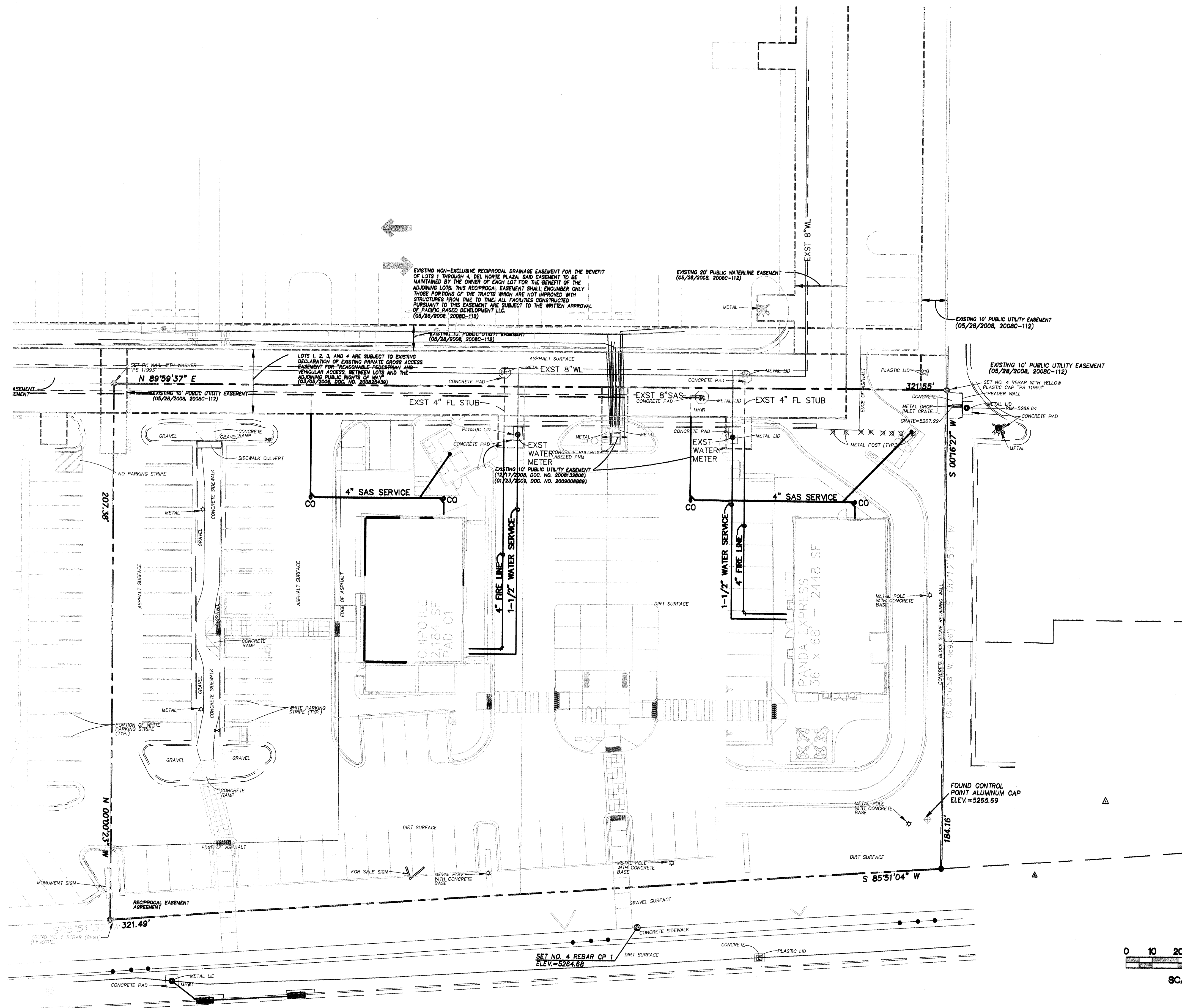
### GRADING AND DRAINAGE PLAN

Date:	No. Revision	Date	Job No.
12/02/11			1859
Drawn By:	BUJ		CG-101
Chk By:	FCA		SH. OF










○ KEYED NOTES



LEGEND

-  WATER METER & BOX
-  GATE VALVE W/ VALVE BOX
-  FIRE HYDRANT
-  WATER LINE W/ FITTING
-  SAS SERVICE LINE

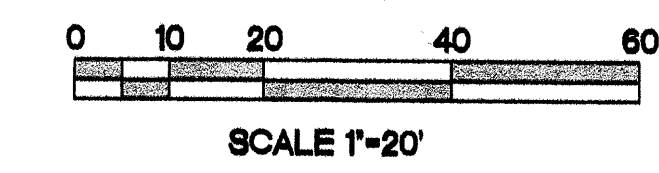
**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.isaifca.com  
 1859 CU-101.dwg Nov 08,2011

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

**LOT 4  
 DEL NORTE PLAZA  
 MODULUS ARCHITECTS**

**CONCEPTUAL UTILITY PLAN**

Date:	By:	Checked:	Drawn:	Job No.
07/18/11	BJB	FCA	FCA	1859
				<b>CG-101</b>
				<b>SH. OF</b>



**Design Proposal for:**  
**CHIPOTLE MEXICAN GRILL**  
**Paseo Del Norte**

Sign Type: \_\_\_\_\_ Elevations

Date: 2-17-11

Drawn by: Michele D.

Account Manager: Rob K.

Project Manager: \_\_\_\_\_

Design/ Estimate #: 26726

File Name: North & South Elevations



1 NORTH ELEVATION  
1.0

SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION  
1.0

SCALE: 1/8"=1'-0"

**Client Approval**

Signature \_\_\_\_\_

Date \_\_\_\_\_

NOTE: Please ensure all red line changes are noted on this drawing prior to returning it to ADCON. Subsequent to ADCON incorporating the red line changes requested on this drawing, any further changes will result in additional billing at the rate of \$86 per hour.

- Approved
- Approved As Noted
- Revise And Resubmit

Production Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Project Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Account Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Printed By: \_\_\_\_\_ Date \_\_\_\_\_

Copied By: \_\_\_\_\_ Date \_\_\_\_\_

Revision Notes:

new elevations

Seg. No. 0 \*TBD\*

W.O. No. 000000

Rev. No. A Date: 4-13-11  
By: MLD

Sheet No. 1.0

**Design Proposal for:**  
**CHIPOTLE MEXICAN GRILL**  
**Paseo Del Norte**

Sign Type: \_\_\_\_\_ Elevations

Date: 4-8-11

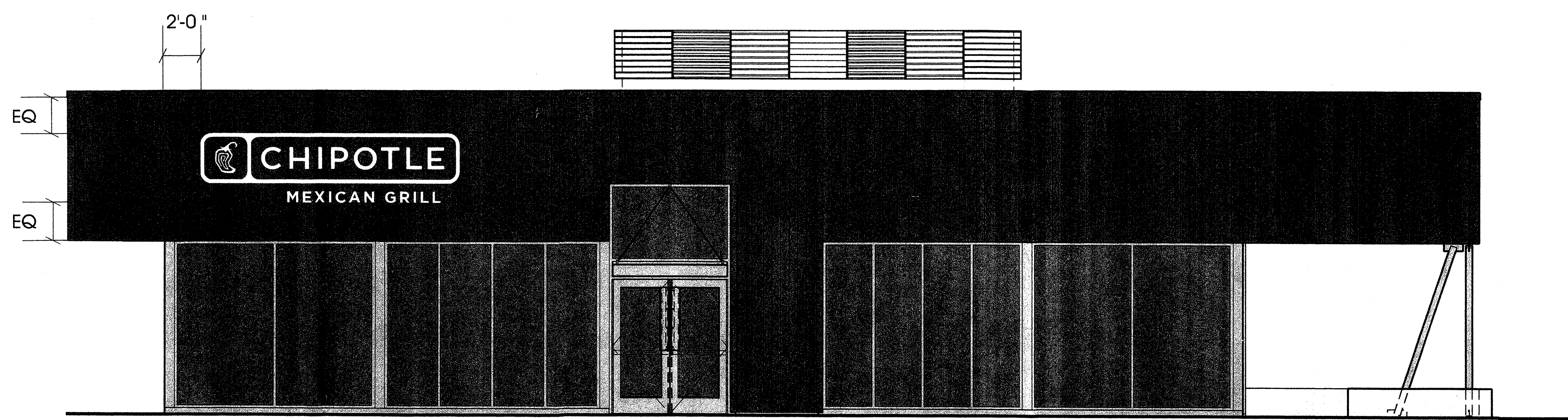
Drawn by: Michele D.

Account Manager: Rob K.

Project Manager:

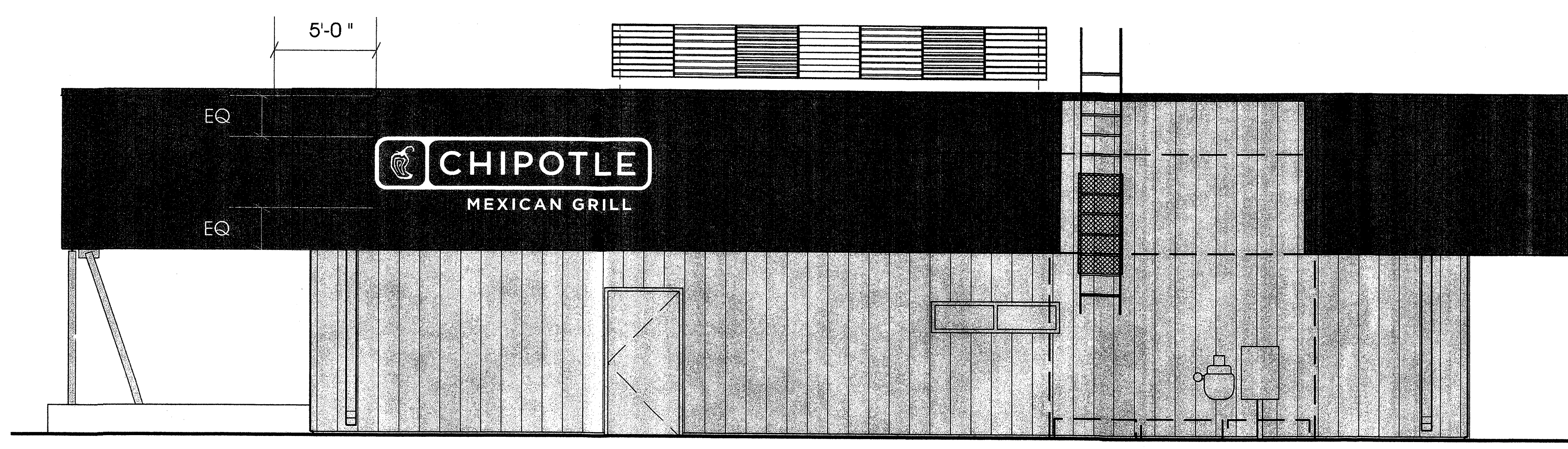
Design/ Estimate #: 26726

File Name: East & West Elevations



**1** WEST ELEVATION  
**1.1**

SCALE: 1/8"=1'-0"



**2** EAST ELEVATION  
**1.1**

SCALE: 1/8"=1'-0"

**Client Approval**

Signature \_\_\_\_\_

Date \_\_\_\_\_

NOTE: Please ensure all red line changes are noted on this drawing prior to returning it to ADCON. Subsequent to ADCON incorporating the red line changes requested on this drawing, any further changes will result in additional billing at the rate of \$86 per hour.

- Approved
- Approved As Noted
- Revise And Resubmit

Production Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Project Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Account Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Printed By: \_\_\_\_\_ Date: \_\_\_\_\_

Copied By: \_\_\_\_\_ Date: \_\_\_\_\_

Revision Notes:  
new elevations

Seg. No. **0** \*TBD\*

W.O. No. **0000000**

Rev. No. **B** Date: 4-12-11  
By: MLD

Sheet No. **1.1**

**EXTERIOR PAINT SCHEDULE**

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(P126)	SHERWIN-WILLIAMS	SW 2856	HARVEST GOLD	SATIN, LATEX	BUILDING BODY
(P131)	SHERWIN-WILLIAMS	SW 6076	TURKISH COFFEE	SATIN, LATEX	BUILDING TRIM
(ST-7)	OWENS-CORNING	SW 7639	CSV-20007	CARAMEL COUNTRY LEDGESTONE	PILASTERS, TOWERS, WAINSCOT
(ST-7S)	OWENS-CORNING	SW 7639	CSV-444988	MOCHA	TRIM PIECE AT TOP OF WAINSCOT

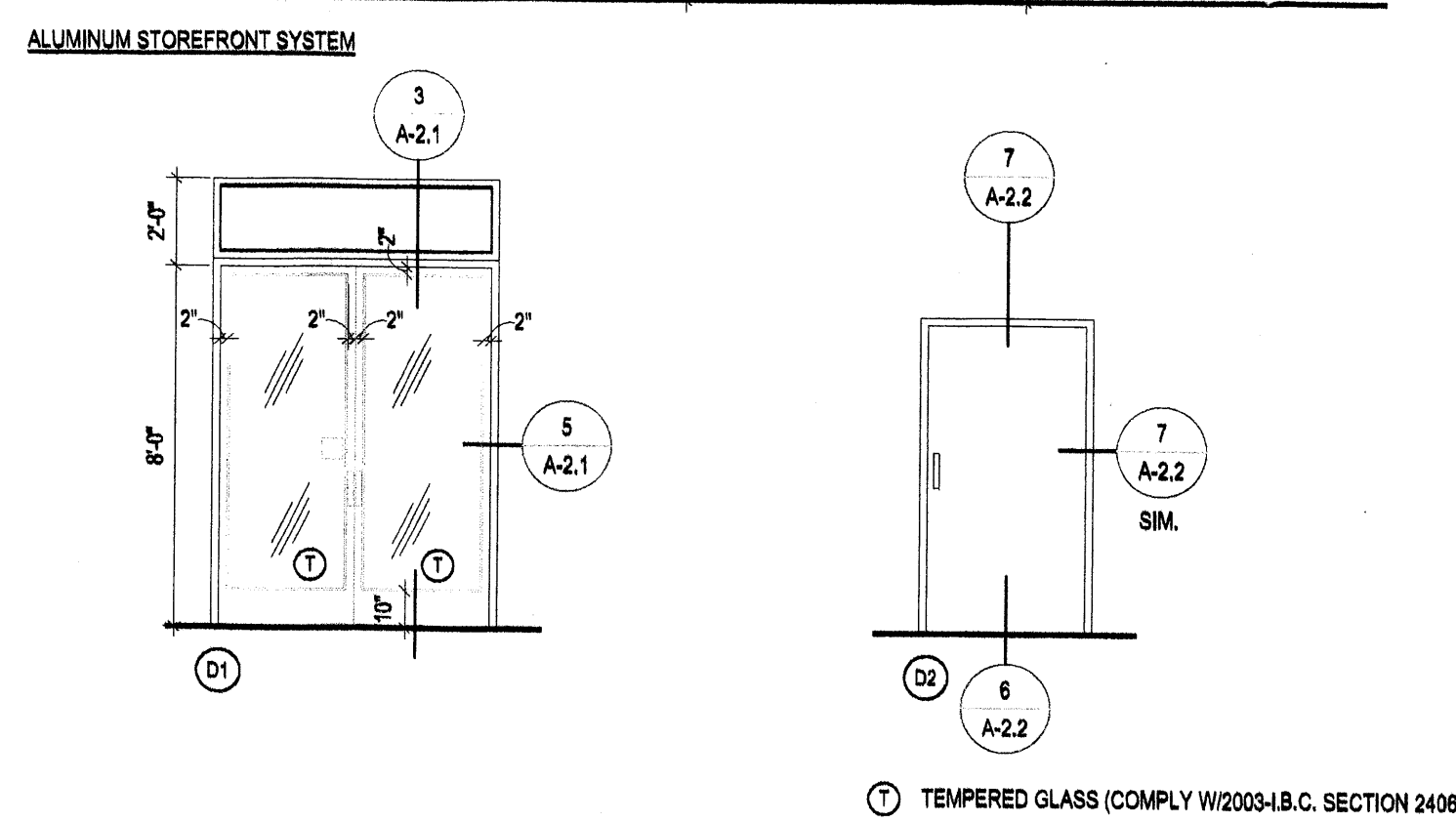
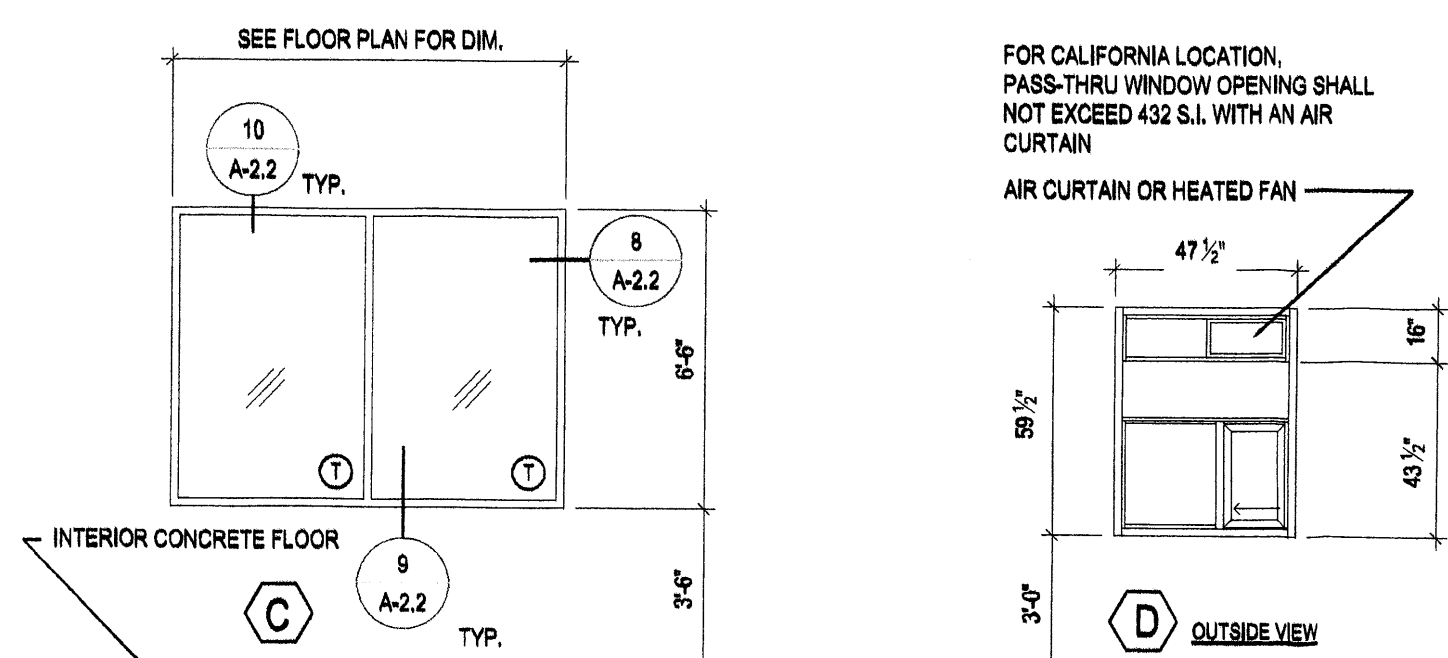
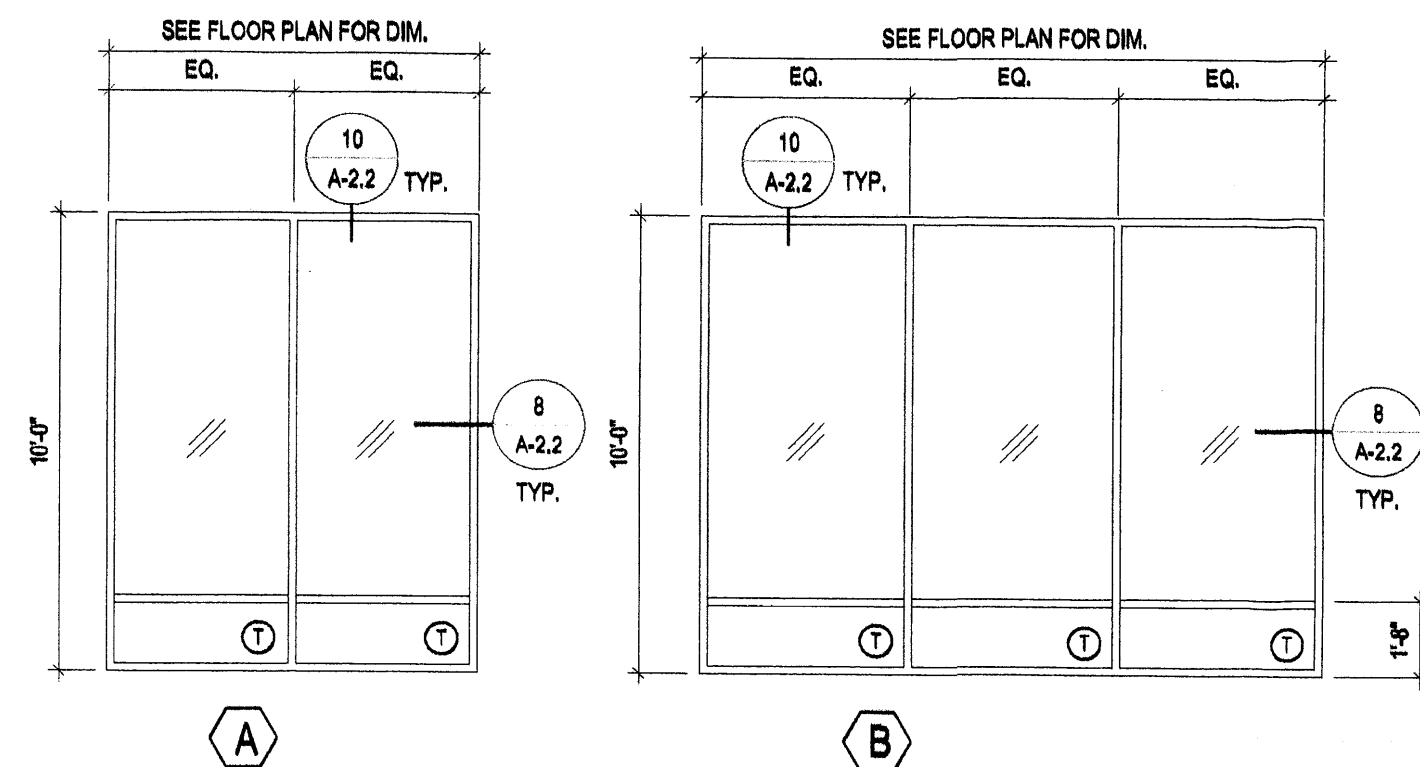
CONTACT PERSON IS KATHY A. MANNON  
PHONE: 1-866-315-5081  
EMAIL: Kathy.Mannon@owenscorning.com

EIFS-1	DRYVIT SYSTEMS, INC.	PRISMATIC COPPER	REFLECTIT SANDPEBBLE FINE DPR	COPPER BAND
CONTACT PERSON IS BOB DAZEL @ DRYVIT SYSTEMS PHONE: 734-243-6301				

**WINDOW SCHEDULE**

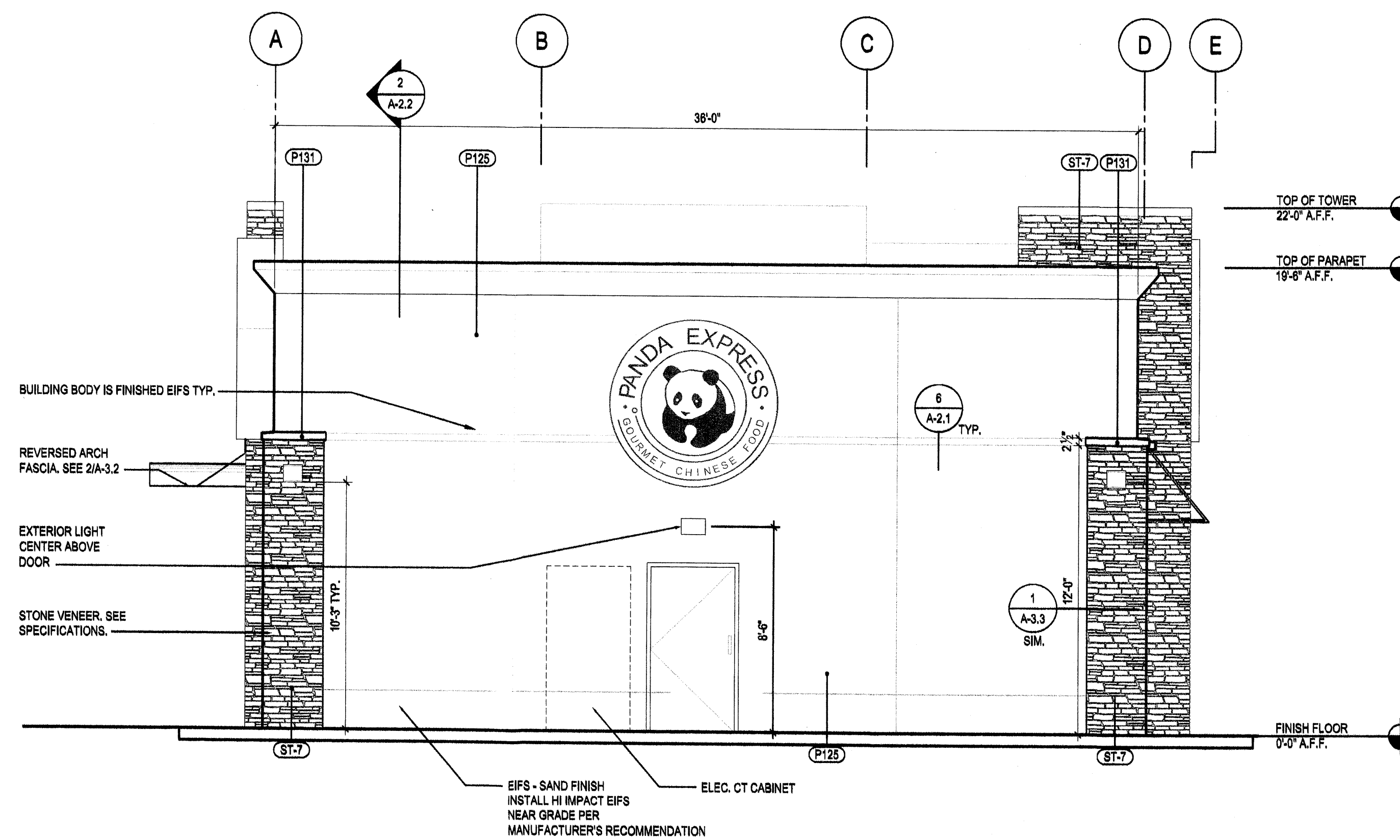
A20-WS08 01/15

SYM	WIDTH	HEIGHT	GLASS	FRAME	REMARKS
(A)	8'-6"	10'-0"	TEMPERED GLASS	CLEAR ANOD. ALUM.	DOUBLE GLAZED, LOW E
(B)	13'-8"	10'-0"	TEMPERED GLASS	CLEAR ANOD. ALUM.	DOUBLE GLAZED, LOW E
(C)	8'-6"	6'-6"	TEMPERED GLASS	CLEAR ANOD. ALUM.	DOUBLE GLAZED, LOW E
(D)	47.5"	59.5"	TEMPERED GLASS	CLEAR ANOD. ALUM.	QUIK-SERV, MODEL SST-4860 STEVE BERT, 800-388-6307

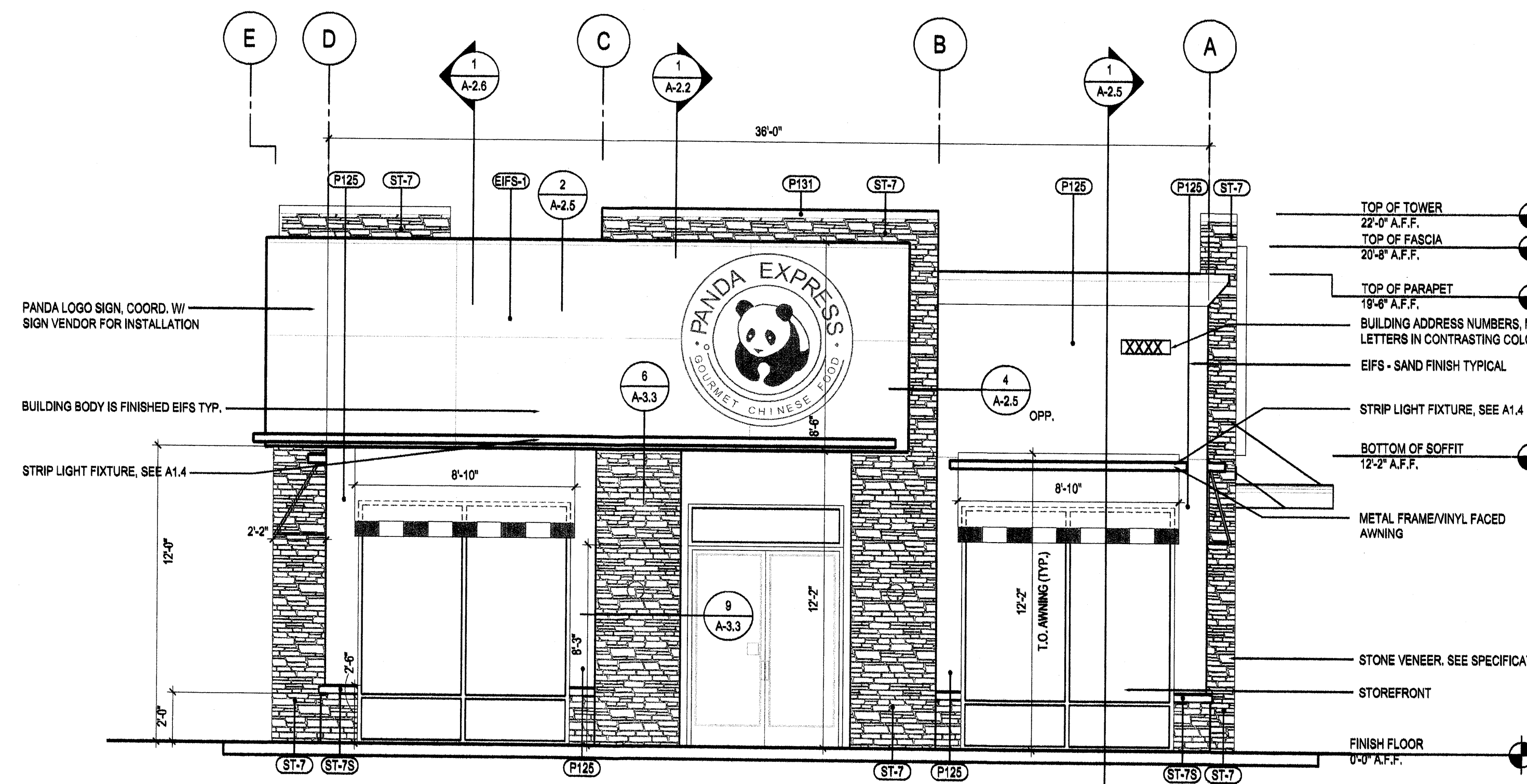


- "KAWNEER" ANODIZED CLEAR ALUMINUM WINDOW SYSTEM GLAZING TO BE DUAL GLAZ WITH 1/2" GAP, LOW-E.
- DOORS: STYLE AND RAIL, GLAZED DOORS WITH EXTRUDED ALUM. TUBULAR FRAMES. DOOR TYPE: 1-3/4" THICKNESS, CLEAR ALUMINUM FACTORY FINISH.
- WINDOW DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION INSTALLATION.
- MANUFACTURER: QUIK-SERV, MODEL SST-4860, R.O. 48" X 60"
- GLAZING U FACTOR = 1.19, SHGC = 0.83
- WINDOW SYSTEM SHALL COMPLY WITH SECTION 1714.5 AND CHAPTER 24 OF 2003 I.B.C.

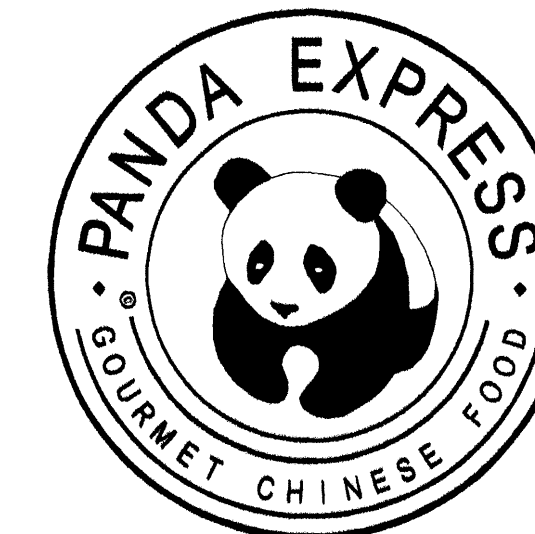
**WINDOWS AND DOORS ELEVATIONS** 3  
N.T.S. A-2.0



**NORTH ELEVATION** 1  
Scale = 1/4"=1'-0" A-2.0



**SOUTH ELEVATION** 2  
Scale = 1/4"=1'-0" A-2.0



PANDA RESTAURANT GROUP INC.  
1883 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.8898  
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

**REVISIONS:**

NO.	DESCRIPTION

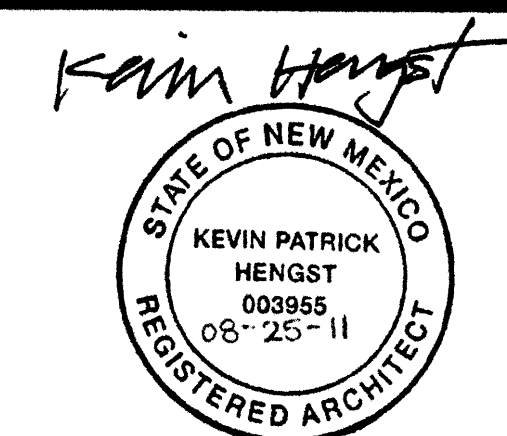
**ISSUE DATE:**

ISSUED FOR PERMIT 08-25-11

DRAWN BY: AB

PANDA PROJECT #: S8-12-D2534  
ARCH PROJECT #: 11098

**HSE**  
Hengst Streff Bajko  
Architect + Engineers  
18220 N. SCOTTSDALE RD.  
SCOTTSDALE, AZ 85264  
Tel: (602) 635-6409  
Fax: (602) 314-7550



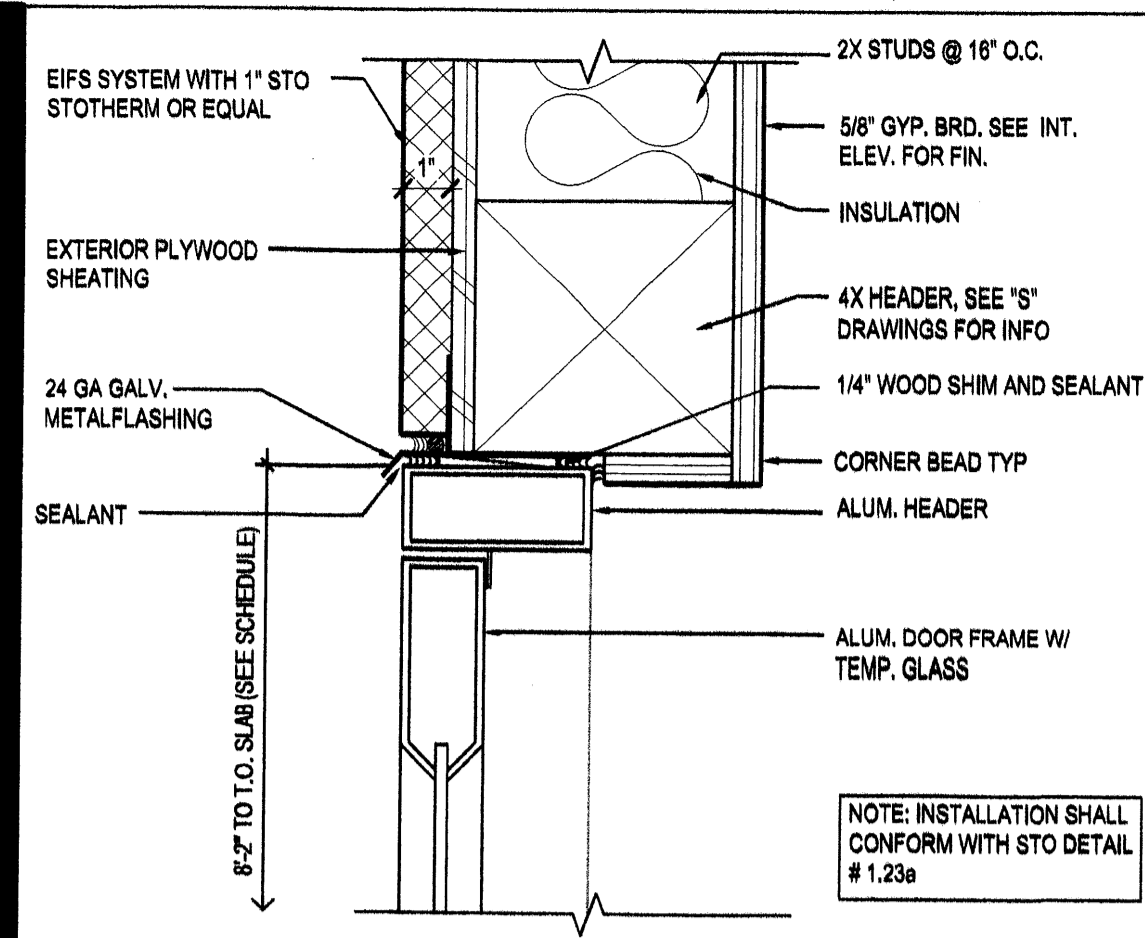
Expires 12-13-2011

**PANDA EXPRESS**  
**NE CORNER**

PASEO DEL NORTE & SAN PEDRO  
ALBUQUERQUE, NM

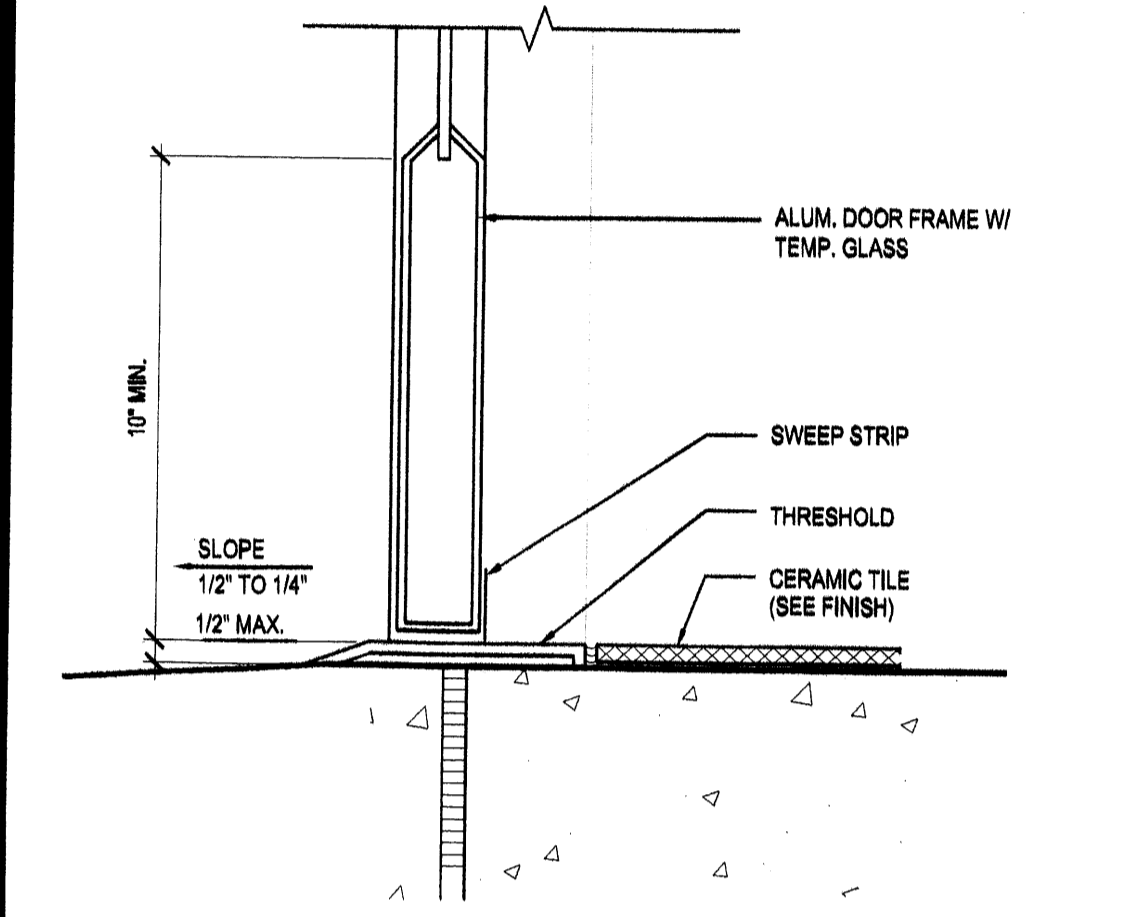
**A-2.0**

EXTERIOR  
ELEVATIONS



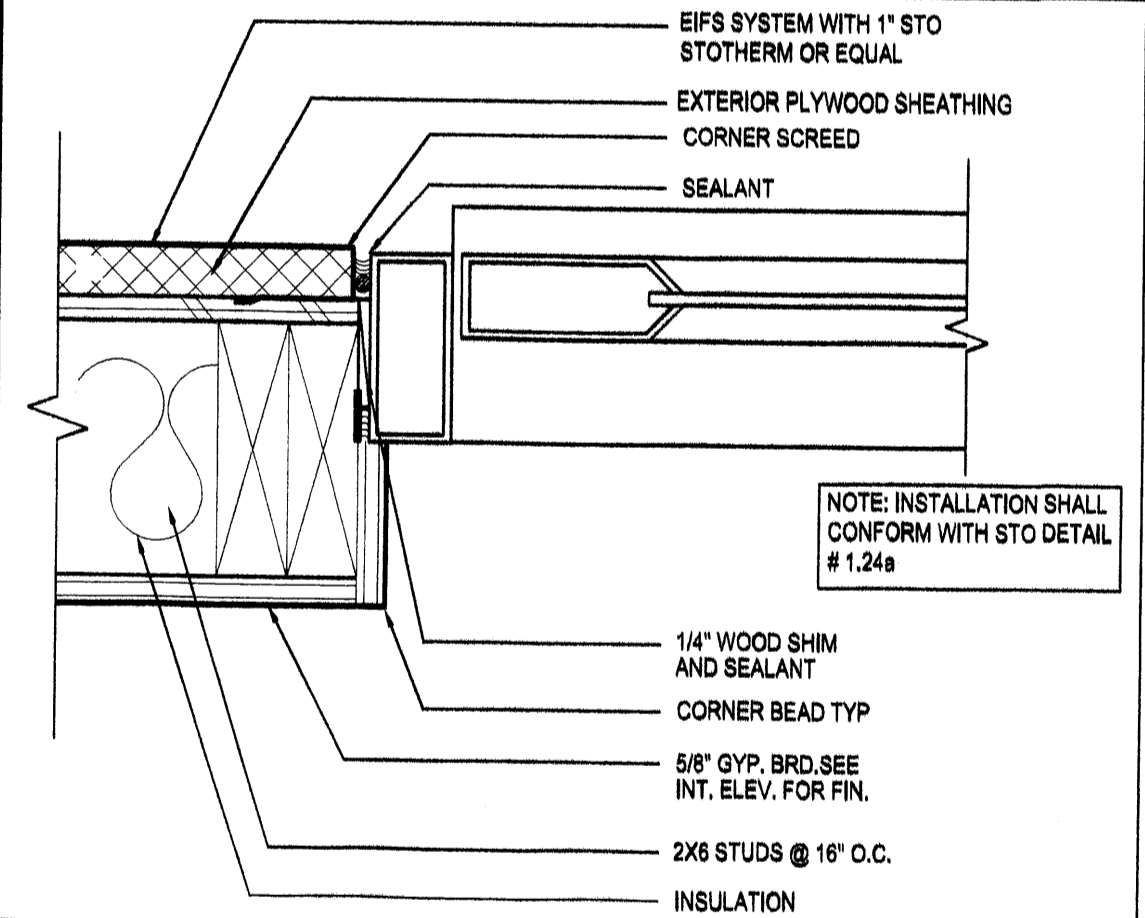
**DOOR HEAD DETAIL 3**

Scale: 3/4"=1'-0" **A-2.1**



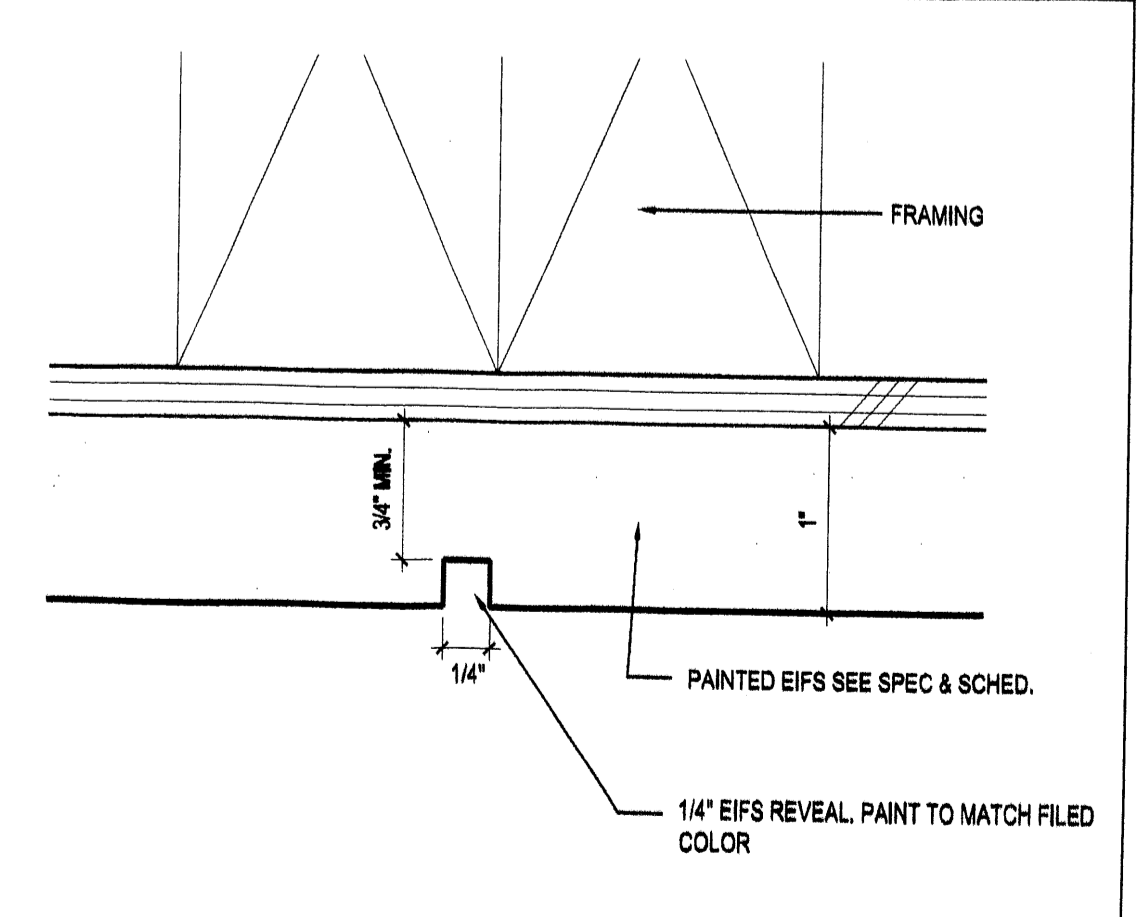
**DOOR SILL DETAIL 4**

Scale: 3/4"=1'-0" **A-2.1**



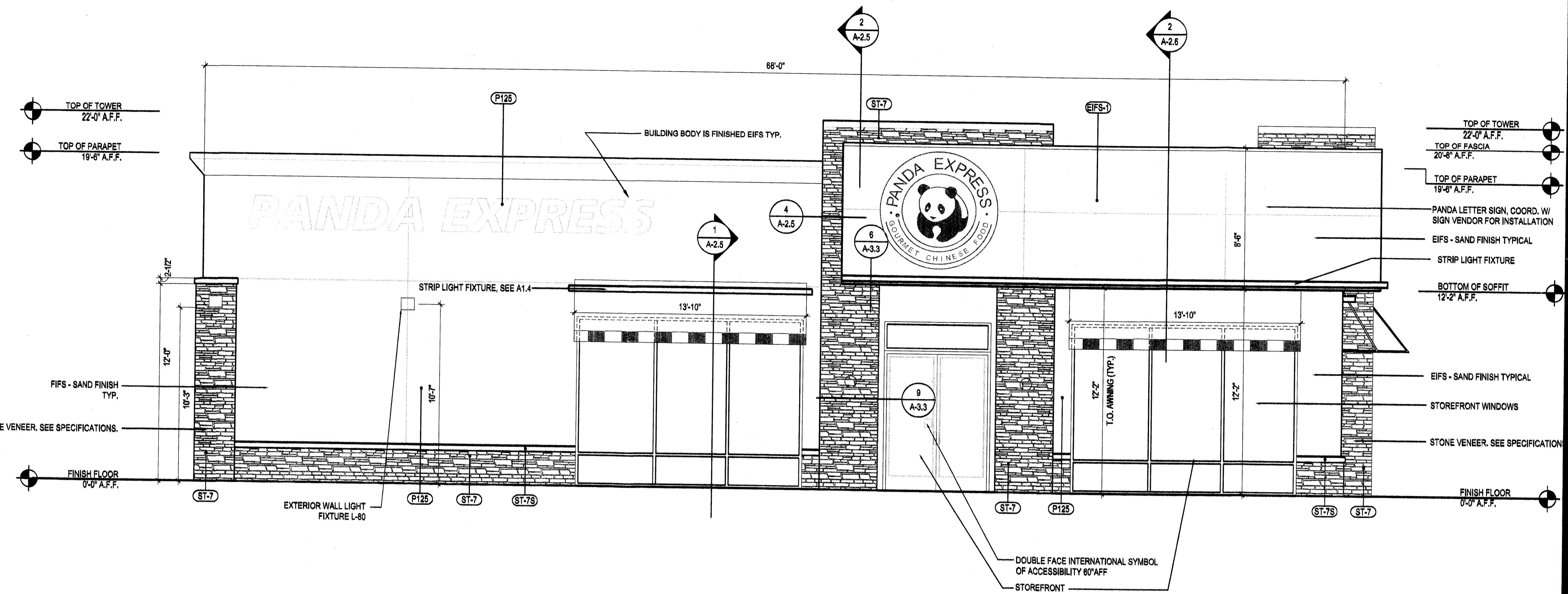
**DOOR JAMB DETAIL 5**

Scale: 3/4"=1'-0" **A-2.1**



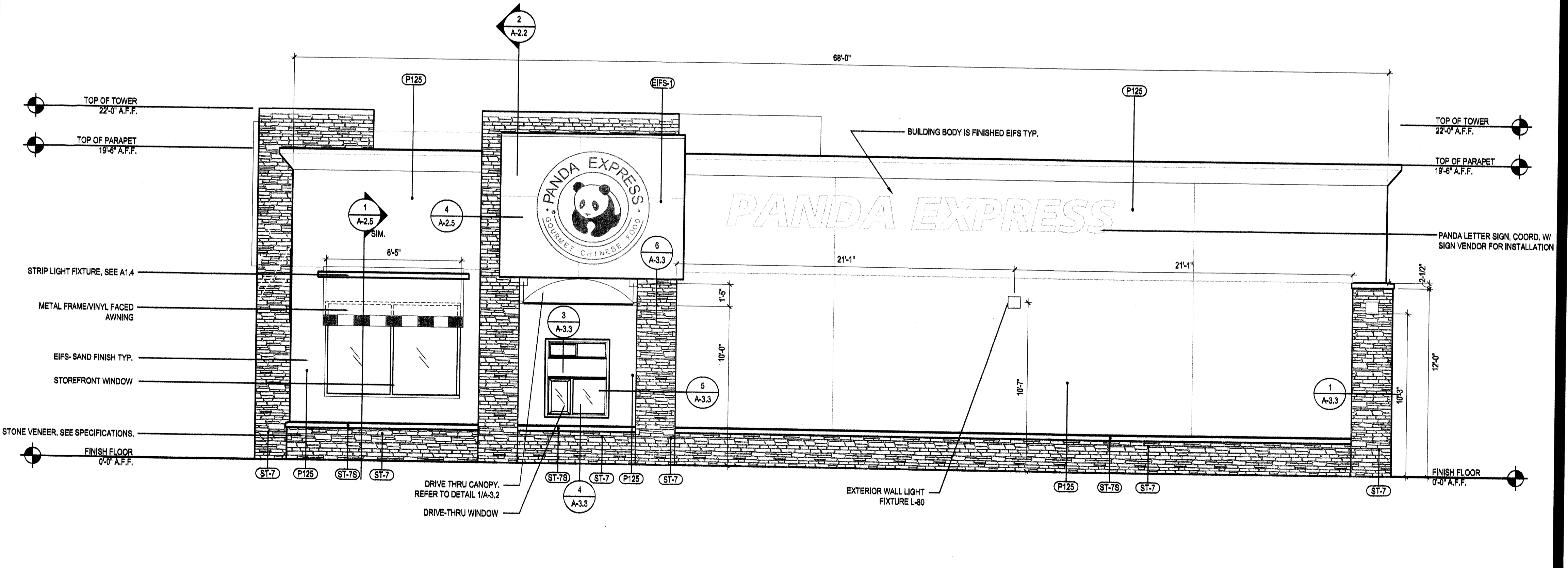
**EIFS SCREED DETAIL 6**

Scale: 1/4"=1'-0" **A-2.1**



**WEST ELEVATION 1**

Scale: 1/4"=1'-0" **A-2.1**



**EAST ELEVATION 2**

Scale: 1/4"=1'-0" **A-2.1**



PANDA RESTAURANT GROUP INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.6268

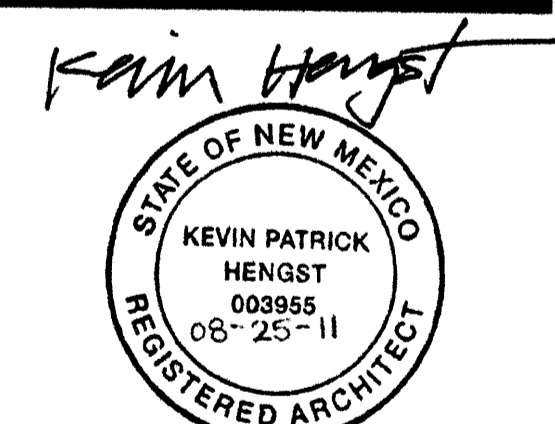
All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:


ISSUE DATE:  
1ST ISSUED FOR PERMIT 08-25-11

DRAWN BY: AB  
PANDA PROJECT #: SB-12-D2534  
ARCH PROJECT #: 11098

**HSK**  
Hengst Streff Bajko  
Architect + Engineers  
18220 N. SCOTTSDALE RD.  
SCOTTSDALE, AZ 85254  
Tel: (602) 635-8408  
Fax: (602) 314-7550



Expires 12-13-2011  
**PANDA EXPRESS**  
NE CORNER  
PASEO DEL NORTE & SAN PEDRO  
ALBUQUERQUE, NM

**A-2.1**  
EXTERIOR  
ELEVATIONS  
PROTOTYPE# SB-2448-11R1 1-11-11