

PARADISE RV-PARK

Avalon Road / Leonidas Lane

Albuquerque, NM. 87120

Design Review Board (DRB) Submittal
Site Plan For Development Building Permit

Project No. _____

May 5, 2011

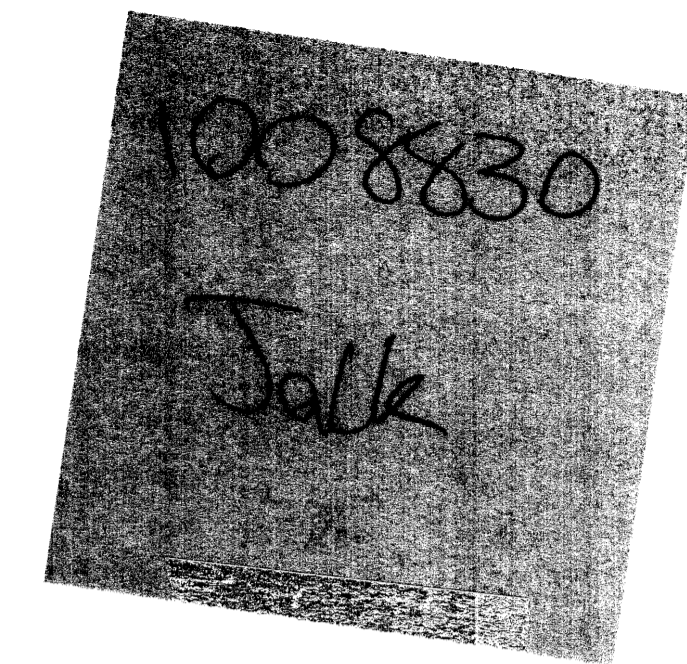


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PROJECT DATA

LEGAL DESCRIPTION

PRELIMINARY PLAT
TRACTS 3E ROW TWO (2), UNIT A WEST OF WESTLAND
WITHIN THE TOWN OF ATRISCO GRANT SECT. 20,
T 1 ON. R2E. N14PM
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MARCH 1998

AREA SUMMARY

GROSS BUILDING AREA

TOTAL GROSS BUILDING AREA = 1,800 SF PHASE I
PROPOSED FUTURE EXPANSION = 1,600 SF PHASE II
6- LOG CABINS @ 468 SF EACH = 2,808 SF. PHASE I

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2006
EXISTING ZONE: SU-1 C2 INCLUDING CAMP
GROUND
ZONING: SU-1
ZONE ATLAS MAP: K-8-Z

PARKING REQUIREMENTS

1. (52'-0") LARGE RV SPACES =45
 2. (38'-6") MEDIUM RV SPACES =21
- TOTAL =66

PARKING TABULATION

TOTAL PARKING PROVIDED =29 PARKING SPACES
ACCESSIBLE PARKING REQUIRED =2 PARKING SPACES
ACCESSIBLE PARKING PROVIDED =4 PARKING SPACES
MOTORCYCLE PARKING PROVIDED =4 PARKING SPACES

BIKE TABULATION

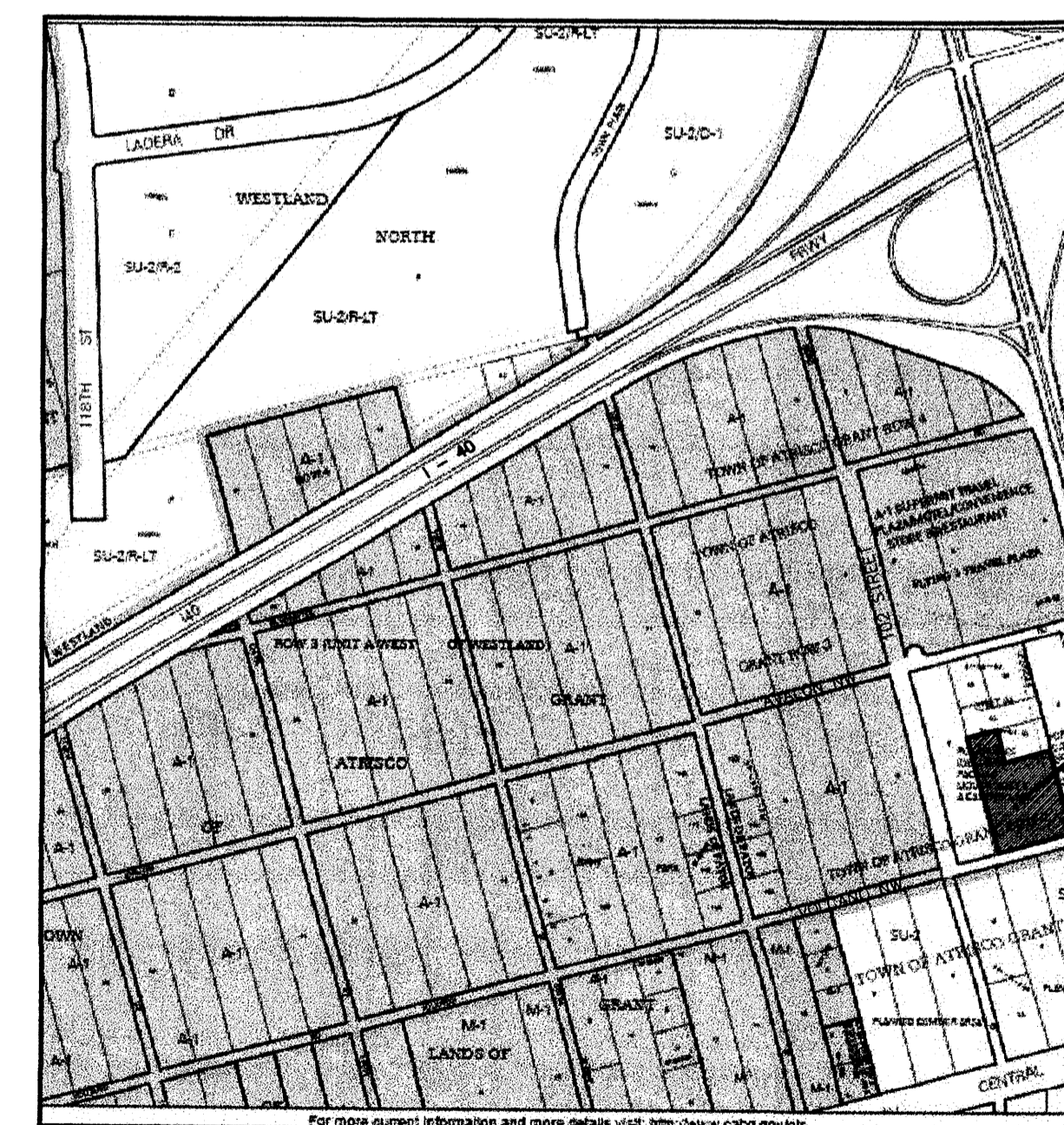
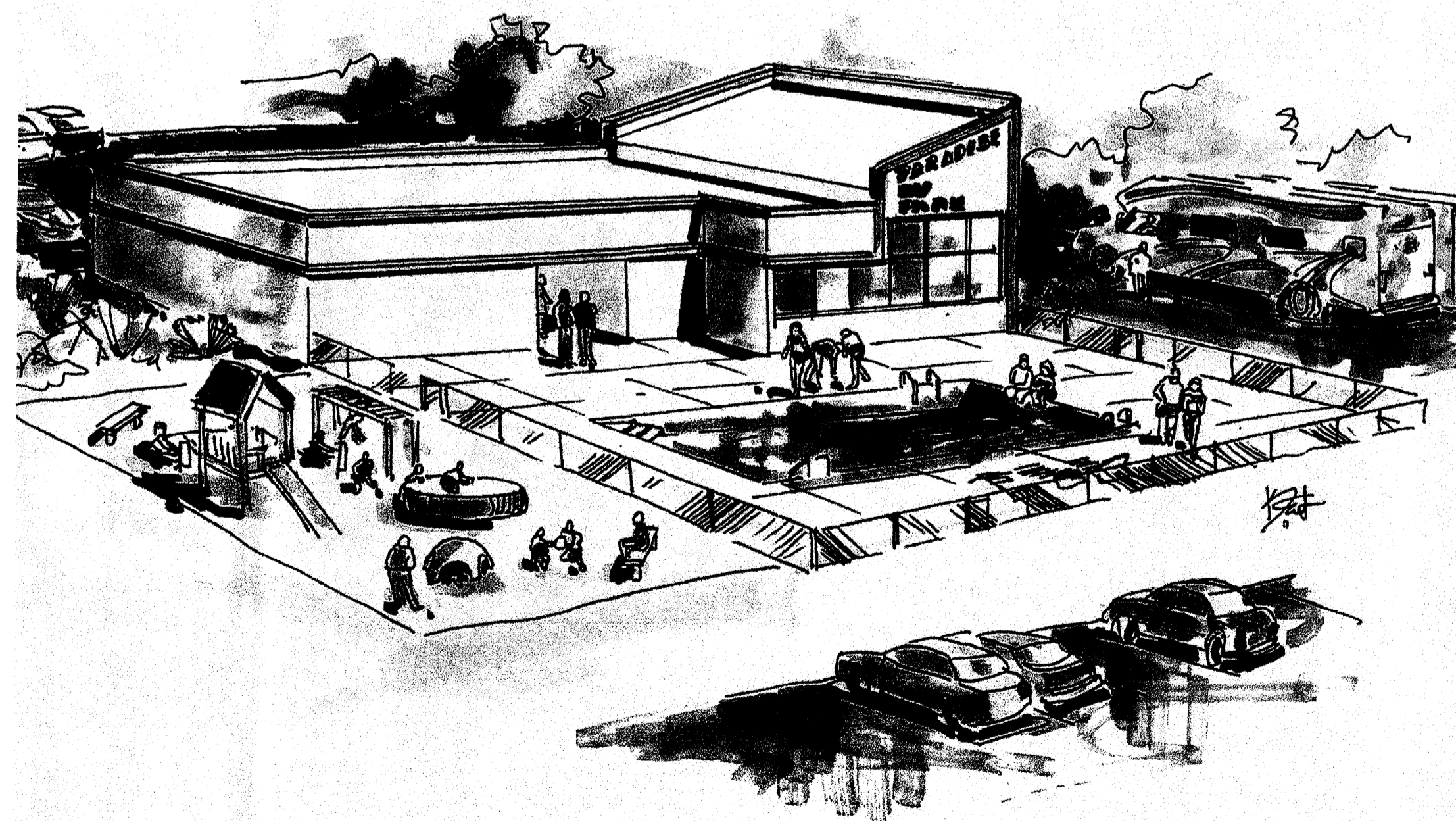
1 BIKE RACK PROVIDED FOR 4 BIKES
BIKE RACK REQD. = 1 FOR 20 CARS = 2 BIKES
BIKE RACK PROVIDED 1 RACK FOR 4 BIKES

PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
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FAX: (505) 243-1561
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CIVIL: LARRY READ & ASSOCIATES
4800 JUAN TABO SUITE C
ALBUQUERQUE, NEW MEXICO 87112
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LANDSCAPE: HILLTOP
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FAX: (505) 898-7737
email: cnd@hilltoplandscaping.com



SITE
LOCATION

COVER SHEET

Afra Construction & Design
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Tel: 505.242.1745
Fax: 505.242.1737

Paradise RV Park
Avalon Rd / Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

CS-1

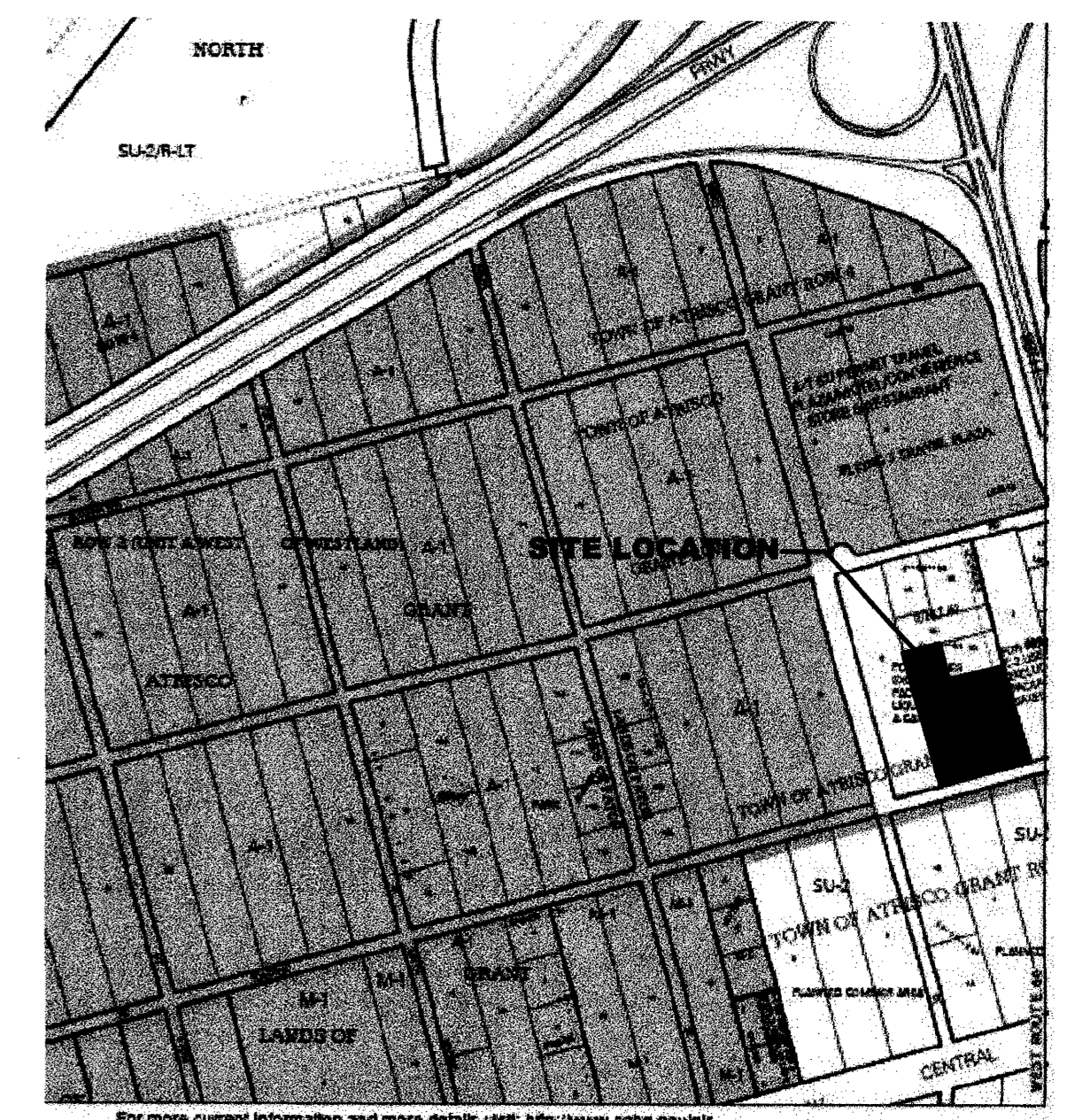
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LOCATION MAP
ZONE ATLAS: K-8-Z N.T.S.



GENERAL NOTES

- ↔ VEHICULAR INGRESS/EGRESS POINTS
- PROPERTY LINE



VICINITY MAP
ZONE ATLAS: K-8-Z N.T.S.

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____

WATER UTILITY DEPARTMENT DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____

SOLID WASTE MANAGEMENT DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____

**SITE DEVELOPMENT FOR BUILDING PERMIT APPROVAL
EXISTING ZONING + LAND USE**

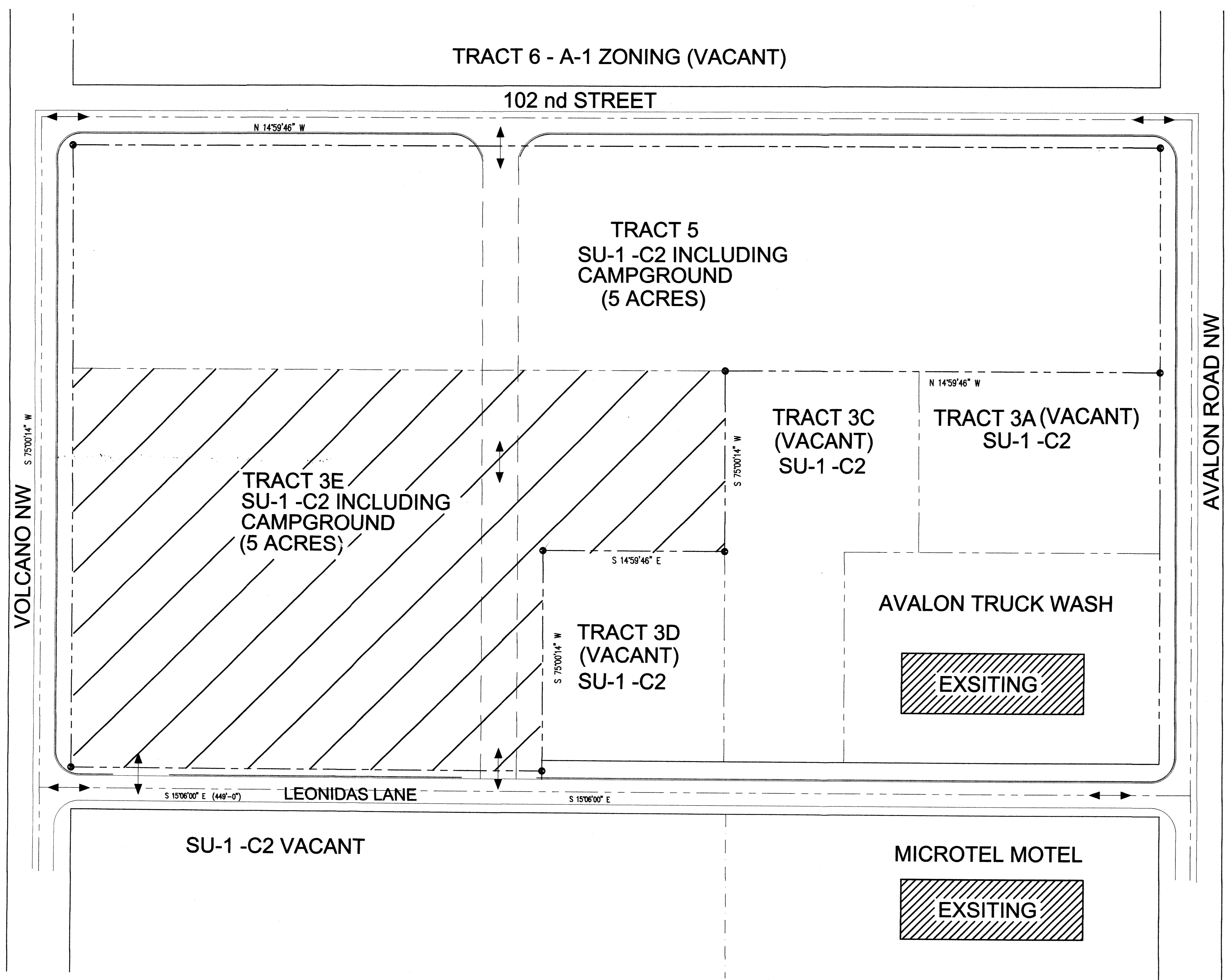
Afra Construction & Design
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SP-1

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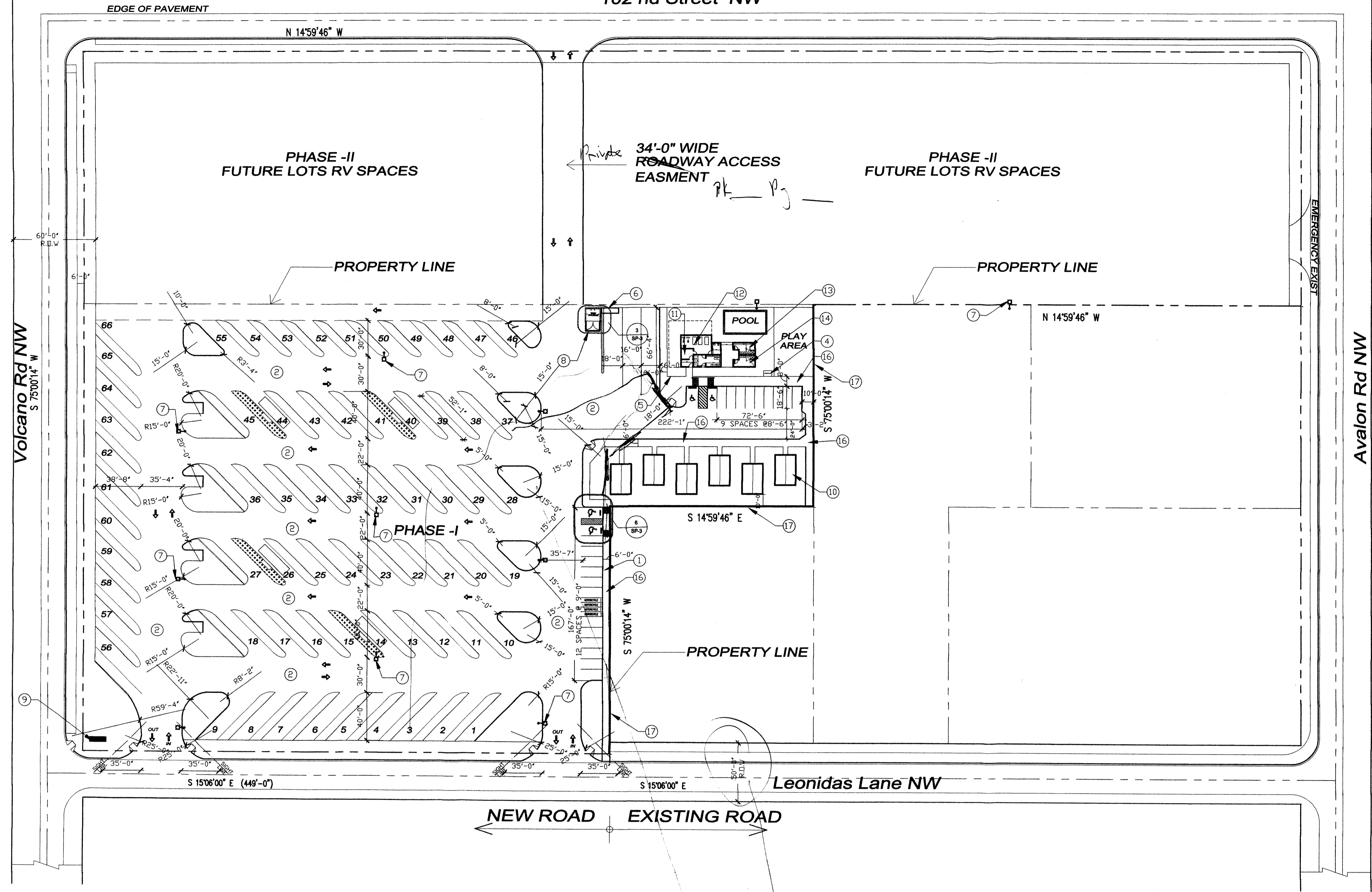


SITE PLAN
SCALE: 1"=50'-0"

AVALON ROAD NW

VOLCANO NW

102 nd Street NW



KEYED NOTES

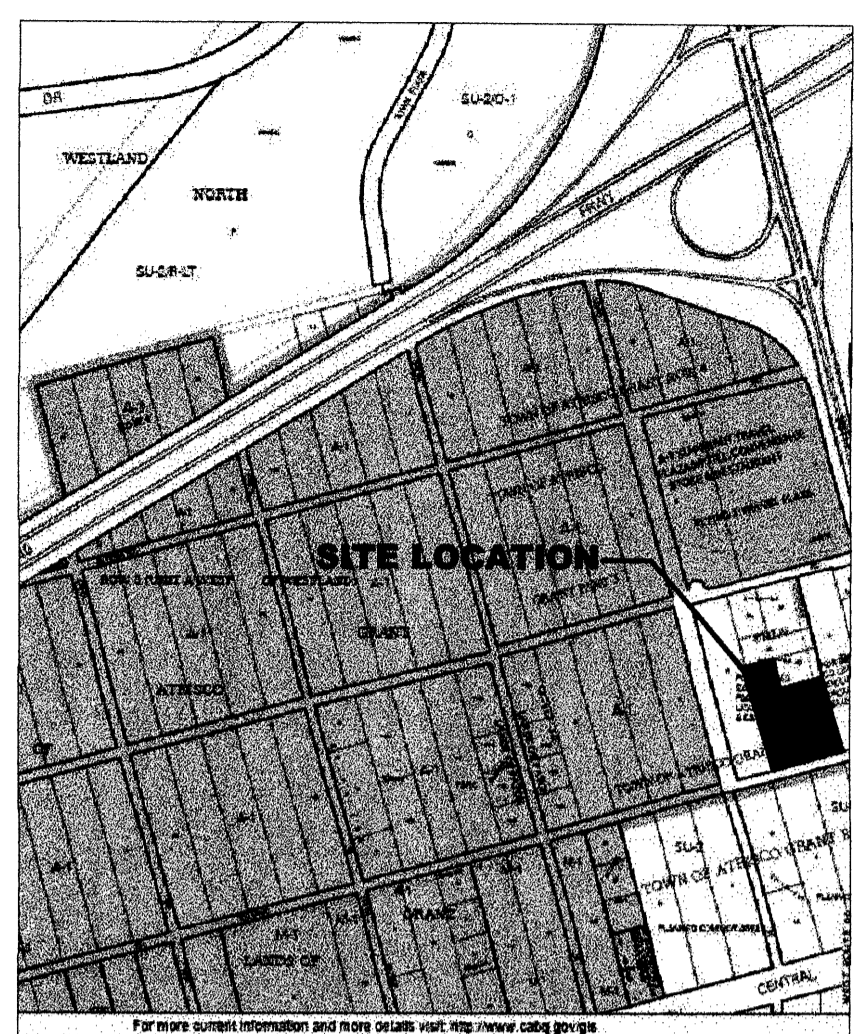
1. CONCRETE CURB- SEE DETAIL 2/SP-3.
2. ASPHALT PAVING.
3. ADA PARKING SEE 6/SP-3.
4. BIKE RACK - SEE DETAIL 1/SP-3.
5. PROVIDE SIDEWALK, SLOPE 1:50 AWAY FROM BUILDING, 1" CONTROL JOINTS AT 8'-0" O.C., 1/2" EXPANSION JOINT AT 20'-0" O.C.
6. RECYCLE PAD 5'-0"x15'-0", FENCED.
7. PARKING LOT LIGHTING - SEE DETAIL 4/SP-3.
8. TRASH ENCLOSURE - SEE DETAIL 3/SP-3.
9. PYLON SIGN SEE DETAIL 9/SP-3.
10. PRE-FABRICATED LOG HOUSE 468 SF.EA ON PERMANENT FOUNDATION REF. TO 7/A-01 FOR ELEV.
11. OFFICE.
12. WORK-OUT AREA.
13. WOMEN RESTROOM.
14. MEN RESTROOM.
15. LAUNDRY & VENDING.
16. 6'-0" WIDE CONCRETE SIDE WALK
17. 6'-0" TALL CMU WALL REFER DETAIL 12/SP3

OPM STANDARD NOTE:

1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG.2441).

GENERAL NOTES

- A. BUILDING MOUNTED SIGNAGE: 6% OF THE FACADE AREA. LETTERS TO BE BACK LIGHTED.
- B. THE TOP OF ALL ROOF TOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW OF THE PROPERTY LINE OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOF TOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF SCREENED WALL.
- C. ALL INTERNAL SIDE WALKS TO BE MIN. 6'-0" WIDE



LOCATION MAP
ZONE ATLAS: K-8-Z

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

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IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=50'-0"

GRAPHIC SCALE
SCALE: 1"=50'

NOTE:
MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.

NOTE:
SITE LIGHTING TO COMPLY WITH CITY OF ALBUQUERQUE STANDARD

Private
Yacoda Pille

RV- PARKING SPACES

1. (52'-0") LARGE RV SPACES =45
 2. (38'-6") MEDIUM RV SPACES =21
- TOTAL =66

PARKING TABULATION

TOTAL PARKING PROVIDED =29 PARKING SPACES
ACCESSIBLE PARKING REQUIRED =2 PARKING SPACES
ACCESSIBLE PARKING PROVIDED =4 PARKING SPACES
MOTORCYCLE PARKING PROVIDED =4 PARKING SPACES

BIKE TABULATION

3 BIKE RACKS PROVIDED
3 BIKES EACH

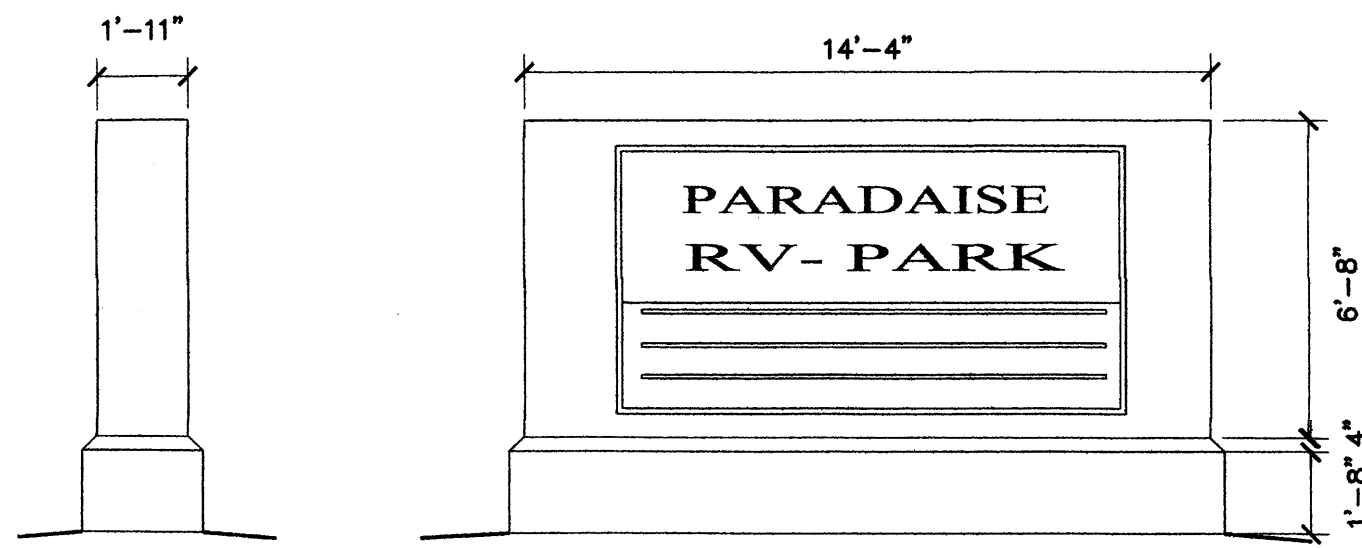
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Afra Construction & Design
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Fax 505.242.1737

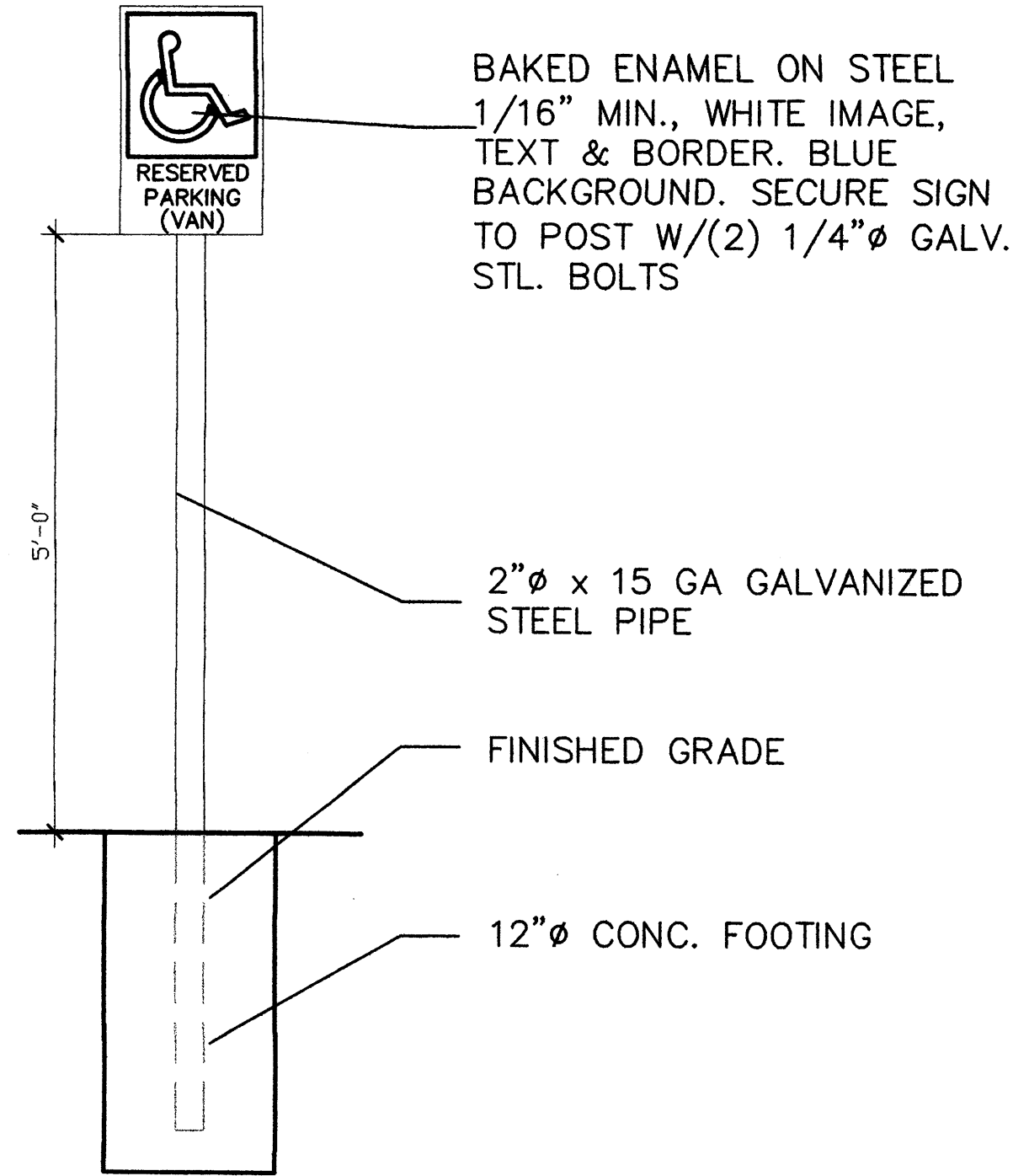
Paradise RV Park
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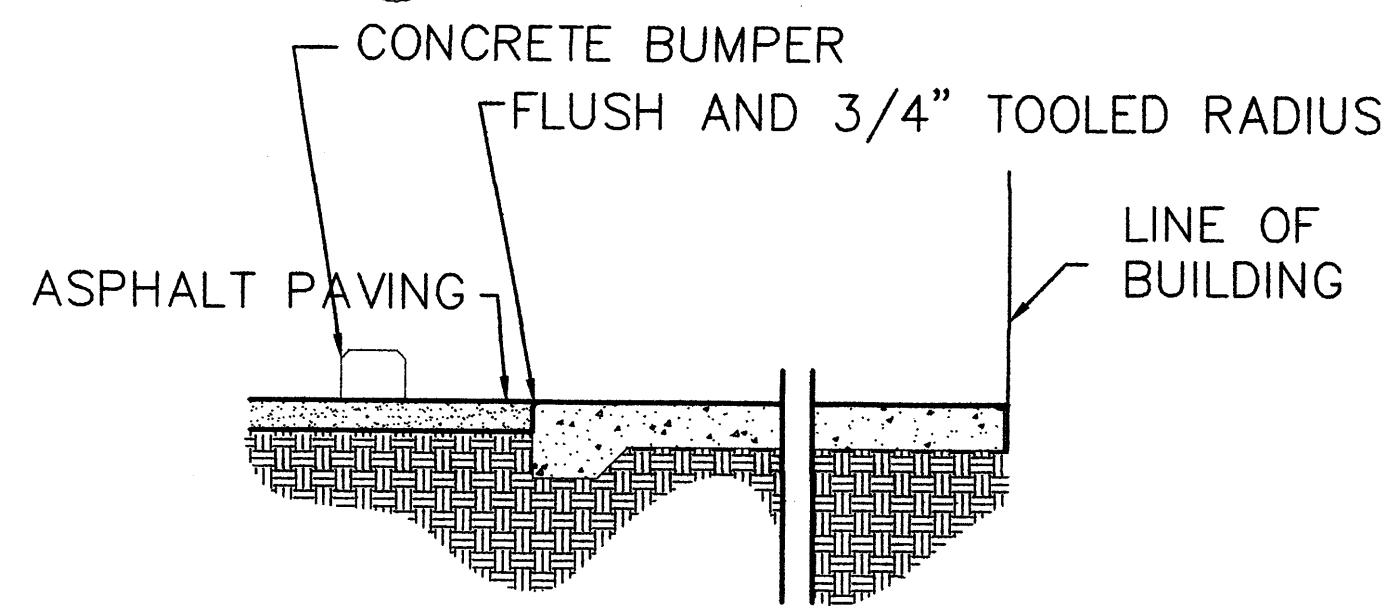
SP-2
05.05.2011



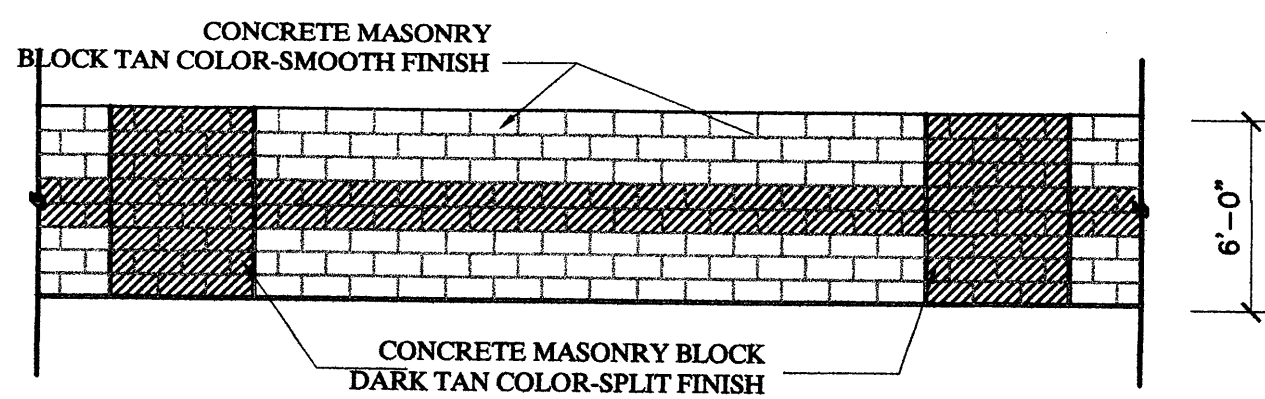
9 MONUMENT SIGN 50 S.F.
SP-3 SCALE: 1/4"=1'-0"



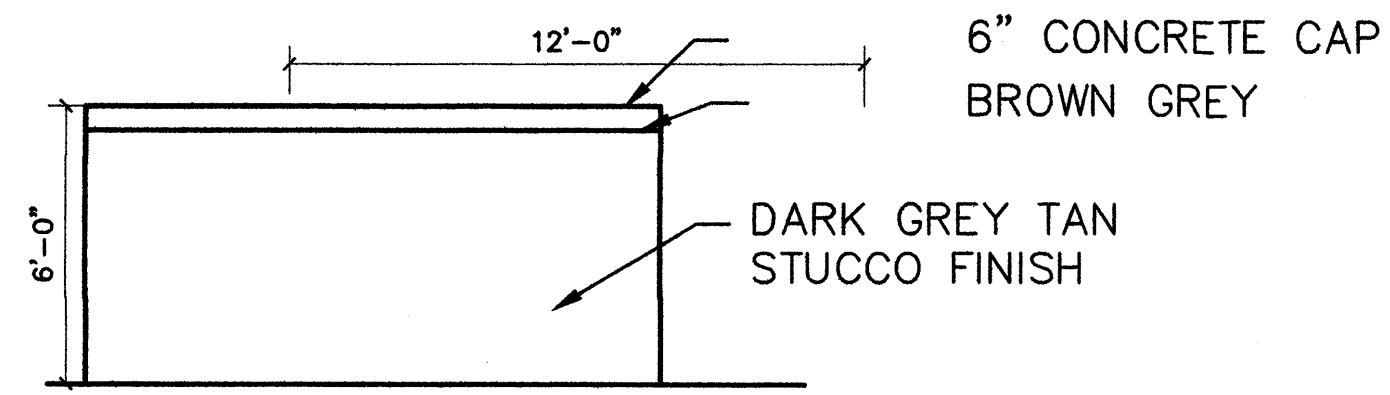
10 ADA SIGN
SP-3 SCALE: 1/2"=1'-0"



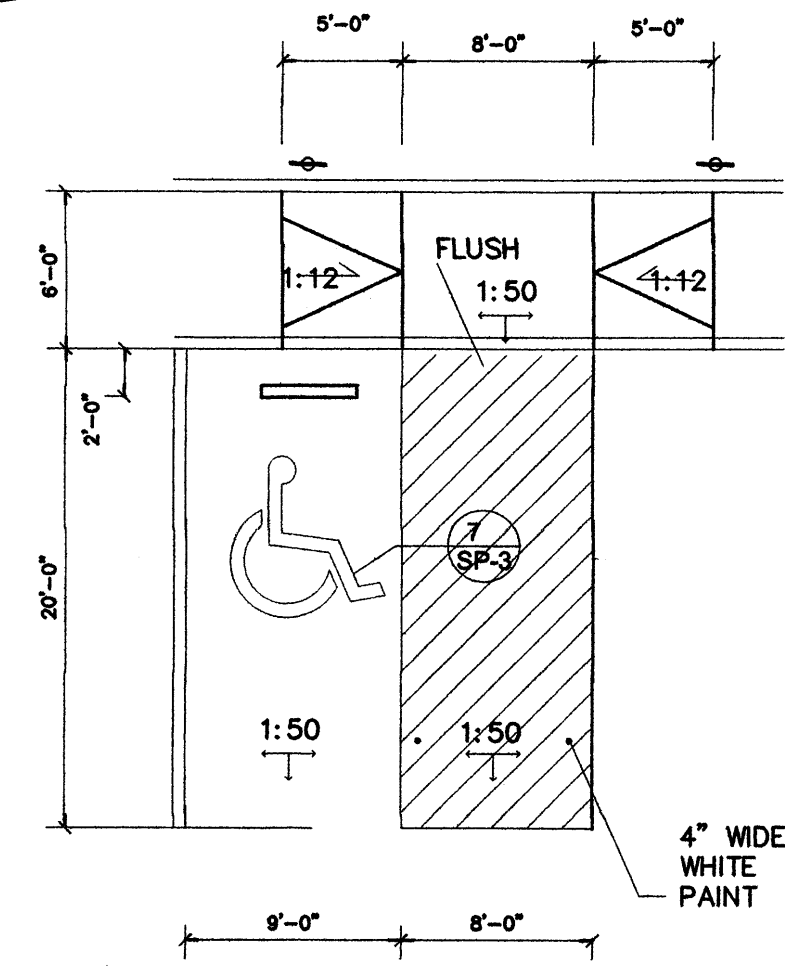
11 BUMPER DETAIL
SP-3 SCALE: 1/2"=1'-0"



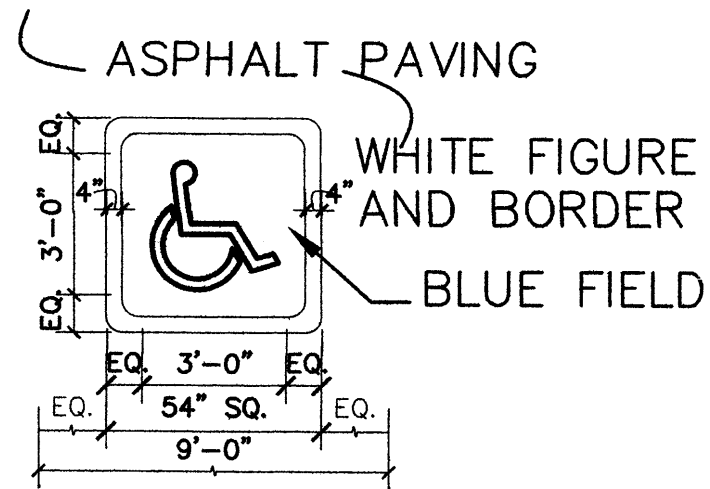
12 BLOCK WALL ELEVATION
SP-3 SCALE: 3/16"=1'-0"



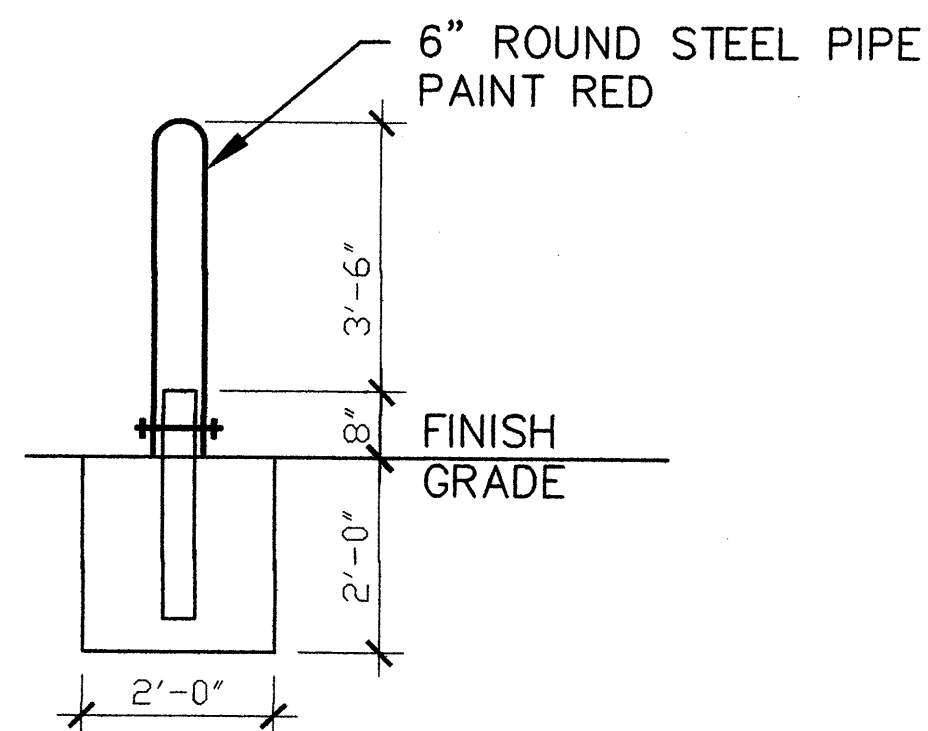
5 TYPICAL SIDE ELEVATION AT TRASH ENCLOSURE
SP-3 SCALE: 1/4"=1'-0"



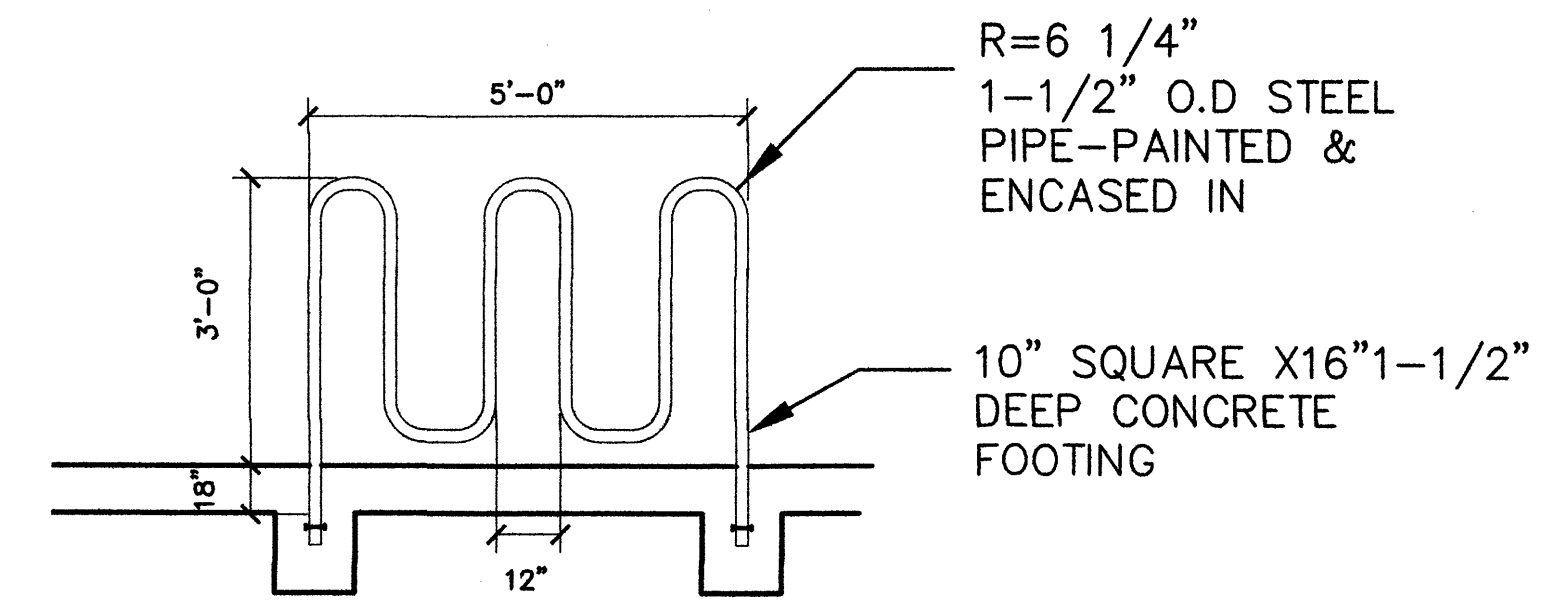
6 CAR ACCESSIBLE STALL
SP-3 SCALE: 1/8"=1'-0"



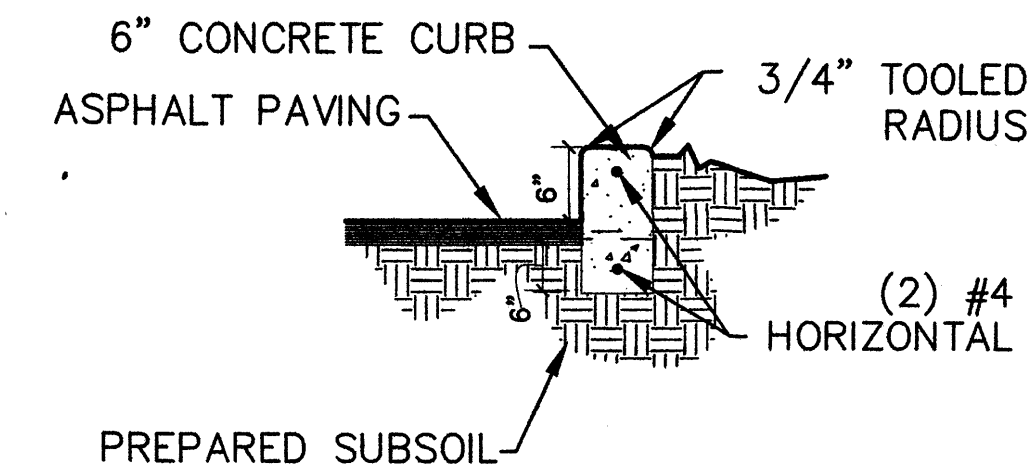
7 ACCESSIBLE PAVING SIGN
SP-3 SCALE: 1/4"=1'-0"



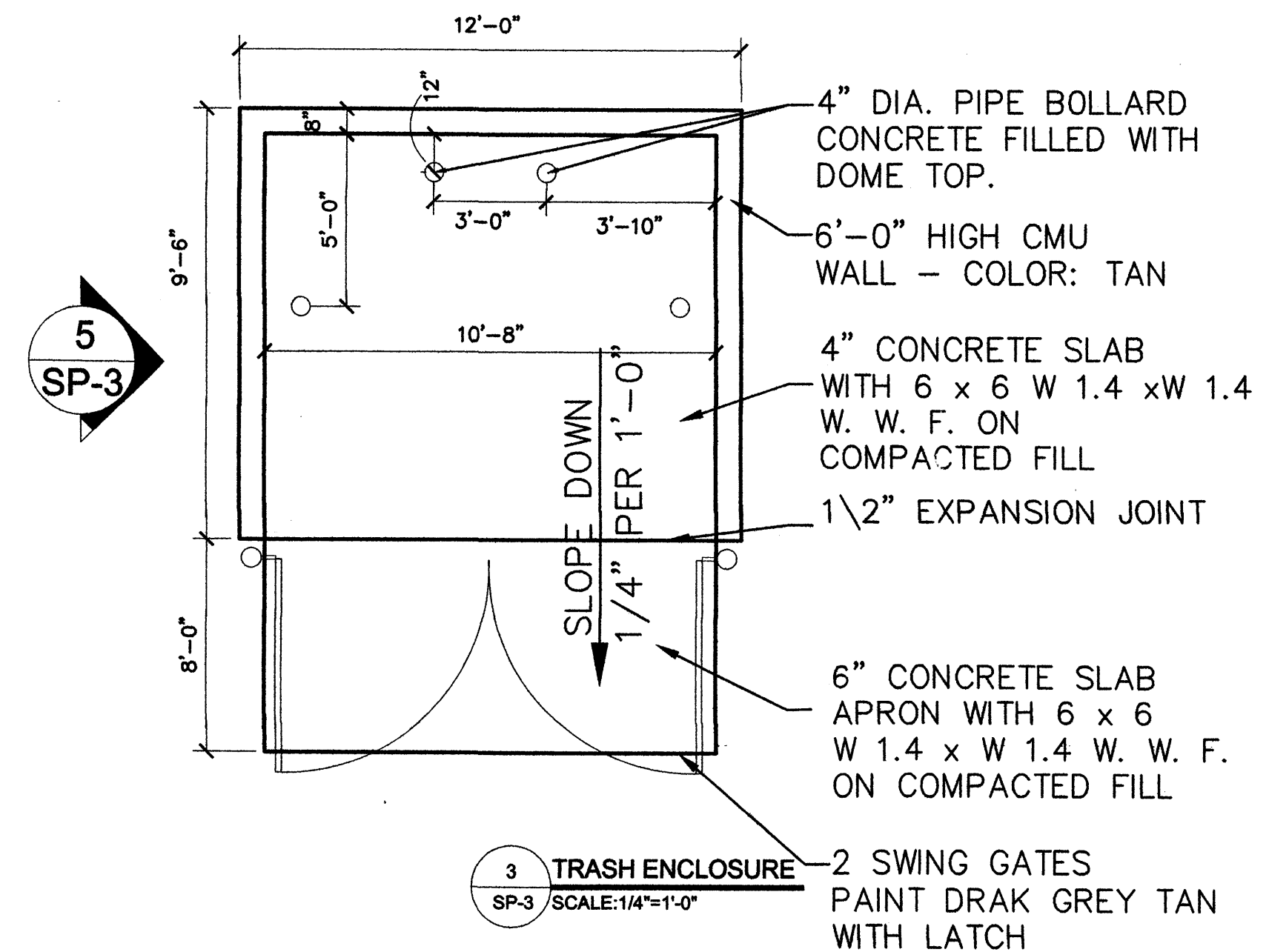
8 SLEEVED BOLLARD DETAIL
SP-3 SCALE: 1/2"=1'-0"



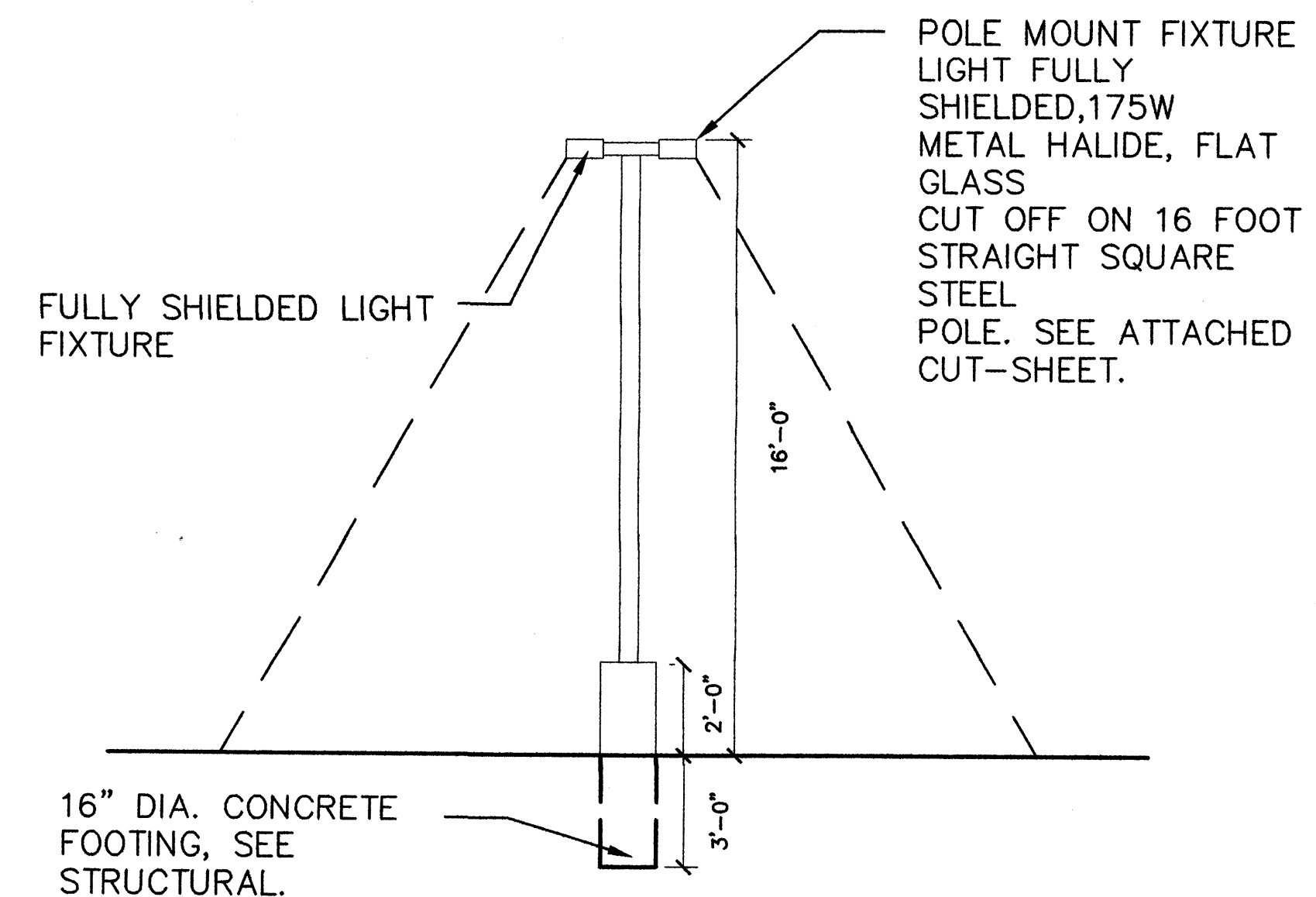
1 BIKE RACK
SP-3 SCALE: 1/2"=1'-0"



2 LANDSCAPE DETAIL
SP-3 SCALE: 3/4"=1'-0"



3 TRASH ENCLOSURE
SP-3 SCALE: 1/4"=1'-0"



4 SITE LIGHT
SP-3 SCALE: 1/4"=1'-0"

KEYED NOTES

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DETAILS

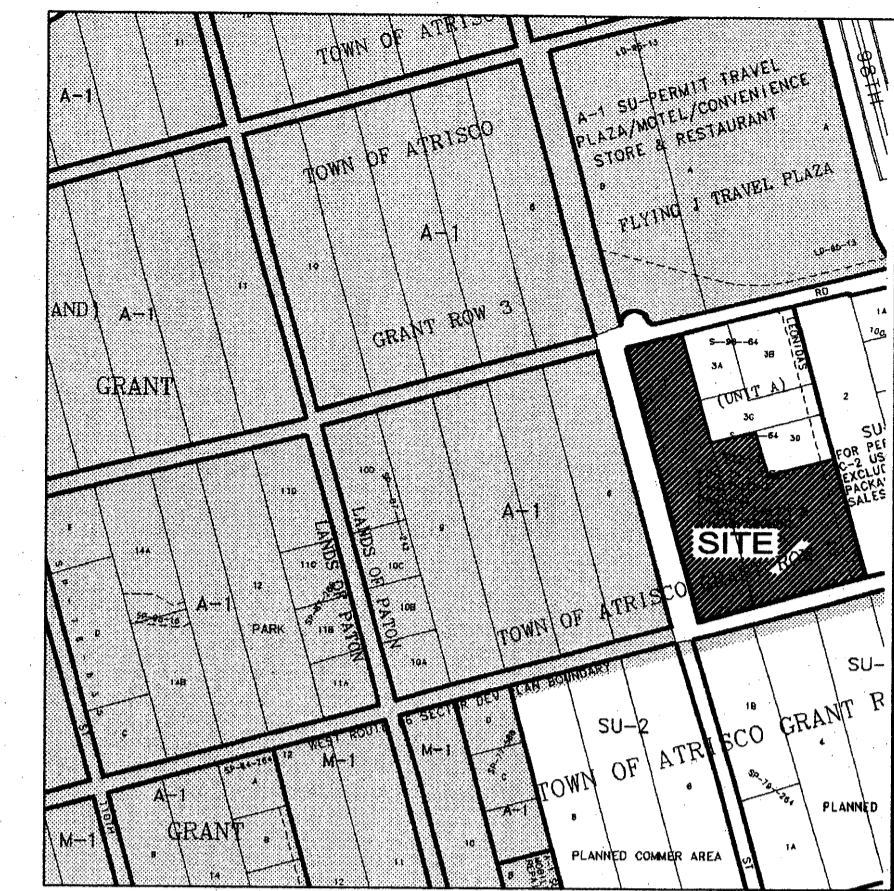
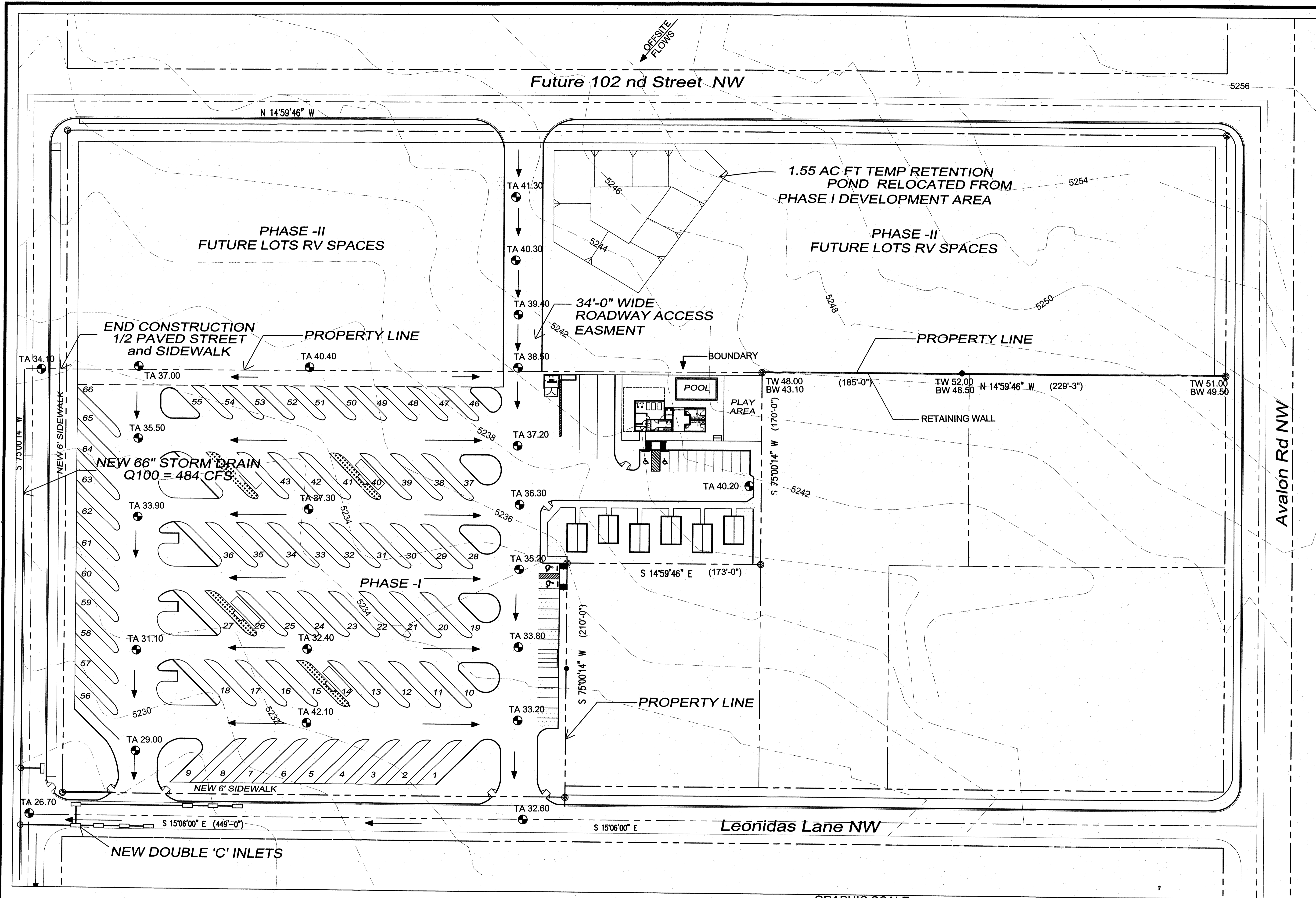
Afra Construction & Design
2501 Yale Blvd, Suite 102
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Fax: 505.242.1737

Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
1			
2			
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4			

SP-3

05.05.2011



VICINITY MAP ZONE ATLAS K-8

KEYED NOTES

LEGEND

- PROPERTY LINE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- PROPOSED DIRECTION OF FLOW
- ⊕ SPOT ELEVATION (5245)
- - - EXISTING CONTOUR LINE
- ▨ RETAINING WALL
- ▬▬▬ PROPOSED CURB + GUTTER

CONCEPTUAL GRADING PLAN

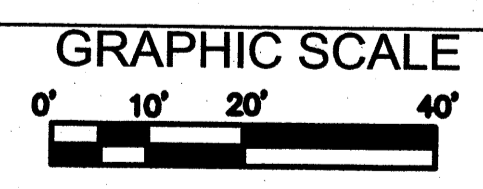
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1			
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C-01
 05.05.2011

CONCEPTUAL GRADING PLAN
 SCALE: 1"=40'-0"



KEY NOTE

- (A) EXISTING 8" SAS
- (B) NEW 10" WATER LINE
- (C) NEW 6" SAS
- (D) NEW 4"-6" WATER LINE
- (E) EXISTING 10" WATER LINE
- (F) EXISTING 8" SAS
- (G) NEW 4"-6" SAS

LEGEND

- MANHOLE
- CLEAN OUT

102 nd Street NW

EDGE OF PAVEMENT

PHASE -II
FUTURE LOTS RV SPACES

PHASE -II
FUTURE LOTS RV SPACES

34'-0" WIDE
ROADWAY ACCESS
EASEMENT

CAP FOR FUTURE
EXTENSION

CAP FOR FUTURE
EXTENSION

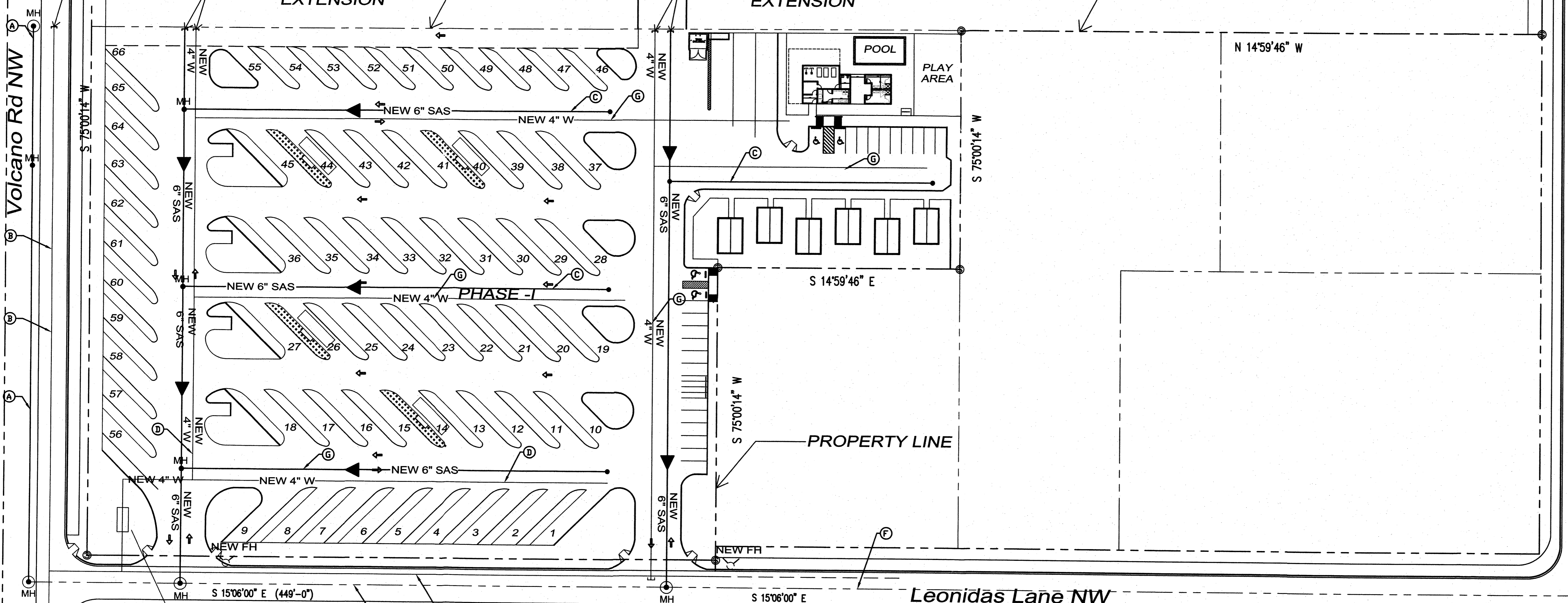
PROPERTY LINE

CAP FOR FUTURE
EXTENSION

PROPERTY LINE

Volcano Rd NW

Avalon Rd NW



N 14°59'46" W

S 75°00'14" W

S 14°59'46" E

S 75°00'14" W

PROPERTY LINE

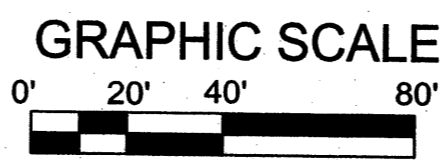
Leonidas Lane NW

S 15°06'00" E (449'-0")

S 15°06'00" E

NEW 3" WATER METER IN VAULT

CONCEPTUAL UTILITY PLAN
SCALE: 1"=40'-0"



CONCEPTUAL UTILITY PLAN

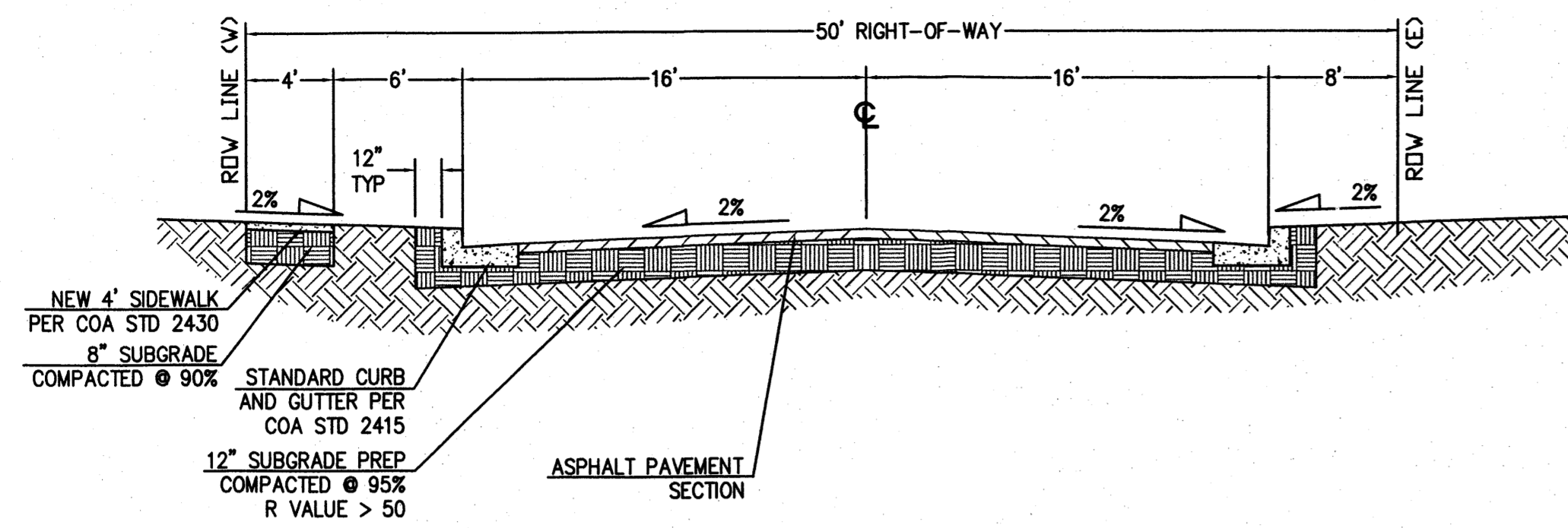
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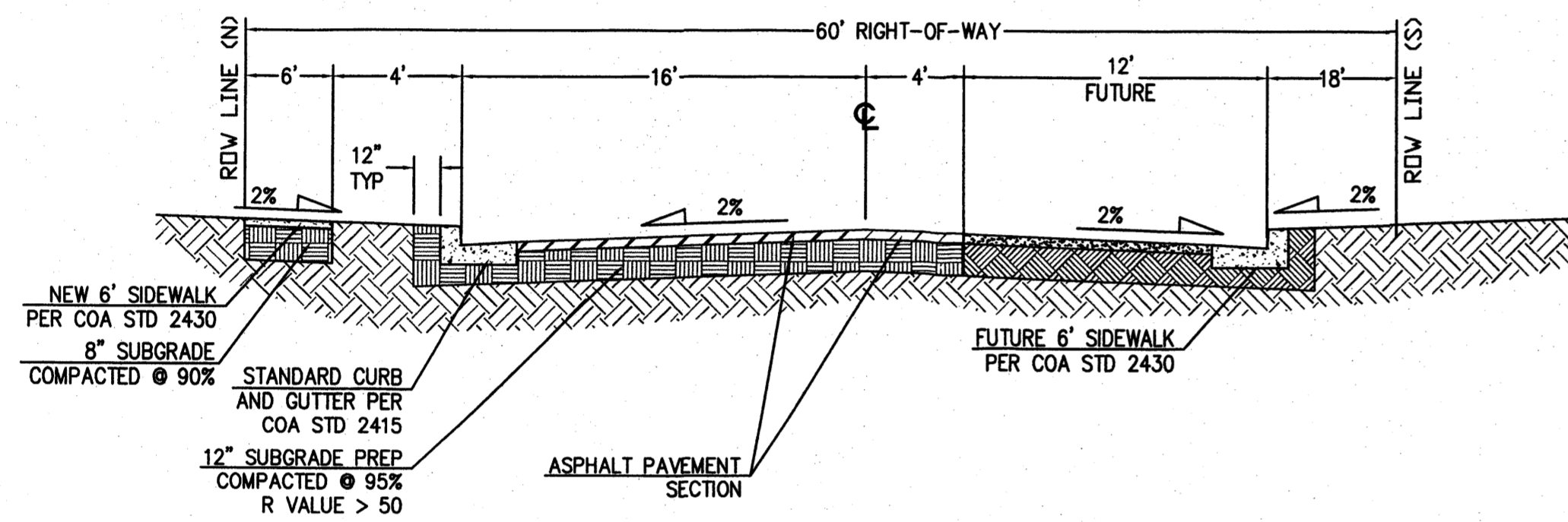
C-02

05.05.2011



LEONIDAS LANE NW North Property Line to Volcano Road NW

N. T. S.



VOLCANO ROAD NW Leonidas Lane to West Property Line

N. T. S.

TYPICAL OFFSITE ROADWAY SECTIONS

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C-03

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102 nd Street NW

EDGE OF PAVEMENT

N 14°59'46" W

PHASE -II

34'-0" WIDE ACCESS EASEMENT

PHASE -II

PROPERTY LINE

PROPERTY LINE

EMERGENCY EXIST

Volcano Rd NW
S 75°00'14" W

Avalon Rd NW

N 14°59'46" W

S 75°00'14" W

S 14°59'46" E

S 75°00'14" W

PROPERTY LINE

S 15°06'00" E (449-0°)

S 15°06'00" E

Leonidas Lane NW

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

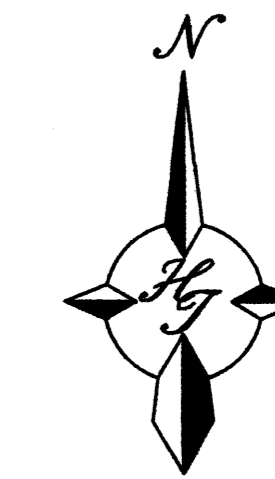
- COMMON HACKBERRY
Celtis occidentalis
2" Cal., 12-14' Inst./40' x 40' maturity
Water (M) Allergy (L) Osf
- CHITALPA
Chiropsis x Catalpa
2" Cal., 12-14' Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
- AUTUMN BLAZE MAPLE
Acer x freemanii 'Autumn Blaze'
2" Cal., 12-14' Inst./40' x 50' maturity
Water (M) Allergy (L) Osf
- SYCAMORE
Platanus spp.
2" Cal., 12-14' Inst./60' x 70' maturity
Water (M+) Allergy (H) Osf

GROUNDCOVERS

- BUFFALO JUNIPER
Juniperus sabinna 'Buffalo'
5 Gal., 24"-4' Inst./2' x 8' maturity
Water (L+) Allergy (L) 646f
- WINTER JASMINE
Jasminum nudiflorum
1 Gal., 6"-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 1446f
- TRUMPET VINE
Campsis radicans
1 Gal., 6"-15" Inst./climbing to 40'
Water (M) Allergy (L)
Unstaked-Groundcover
- BLUE CHIP JUNIPER
Juniperus horizontalis 'Blue Chip'
5 Gal., 24"-4' Inst./10' x 8' maturity
Water (L+) Allergy (H) 646f
- LADY BANK'S ROSE
Rosa banksiae
5 Gal., 24"-4' Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
- HONEYSUCKLE
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 1446f

HARDSCAPES

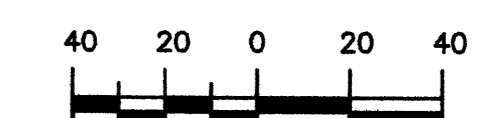
- COMMERCIAL GRADE STEEL EDGE
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 5" DEPTH
- SOD TURF WITH POP-UP HEADS
- * DENOTES EVERGREEN PLANT MATERIAL



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com

GRAPHIC SCALE



SCALE: 1"=40'

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: LEONIDAS
Required 10 Provided 10

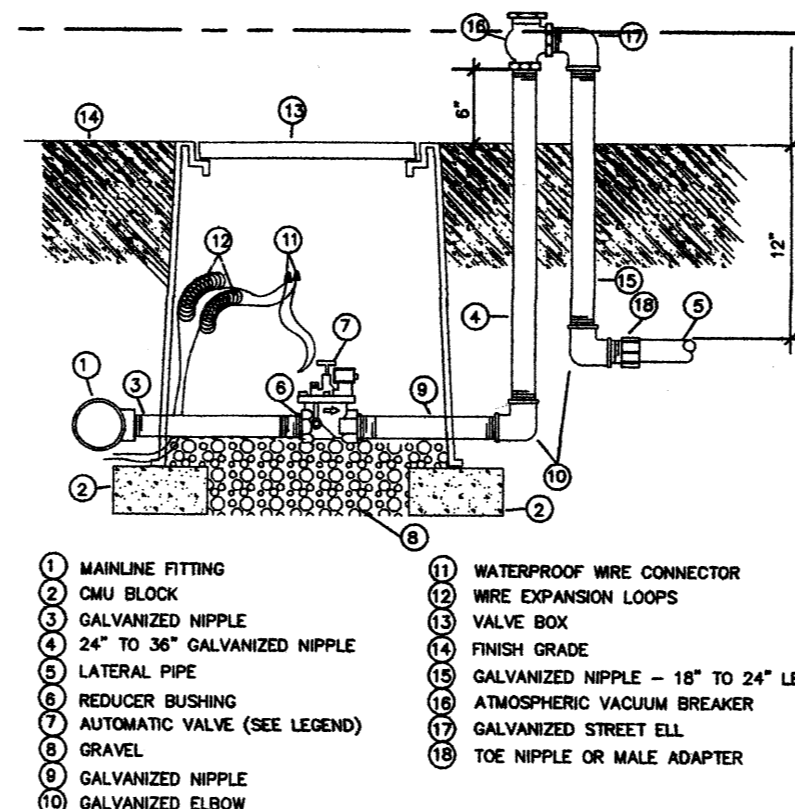
Name of Street: VOLCANO
Required 20 Provided 20

Name of Street: 102nd
Required 32 Provided 32

Name of Street: AVALON
Required 4 Provided 4

NOTE TO CLIENT:

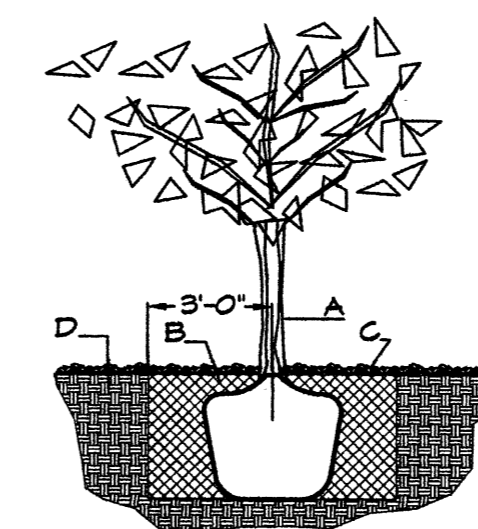
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



- 1 MAINLINE FITTING
- 2 ODU BLOCK
- 3 GALVANIZED NIPPLE
- 4 2" TO 3" GALVANIZED NIPPLE
- 5 LATERAL PIPE
- 6 REDUCER BUSHING
- 7 AUTOMATIC VALVE (SEE LEGEND)
- 8 GRAVEL
- 9 GALVANIZED NIPPLE
- 10 GALVANIZED ELBOW
- 11 WATERPROOF WIRE CONNECTOR
- 12 WIRE EXPANSION LOOPS
- 13 VALVE BOX
- 14 FINISH GRADE
- 15 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TEE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER

NTS



CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

TREE PLANTING DETAIL

NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

Afra Construction & Design

2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

Paradise RV Park
Avalon Rd/Leonidas Ln
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1	3-31-11	revised site	cmj
2	6-17-11	revised site	cmj
3			
4			

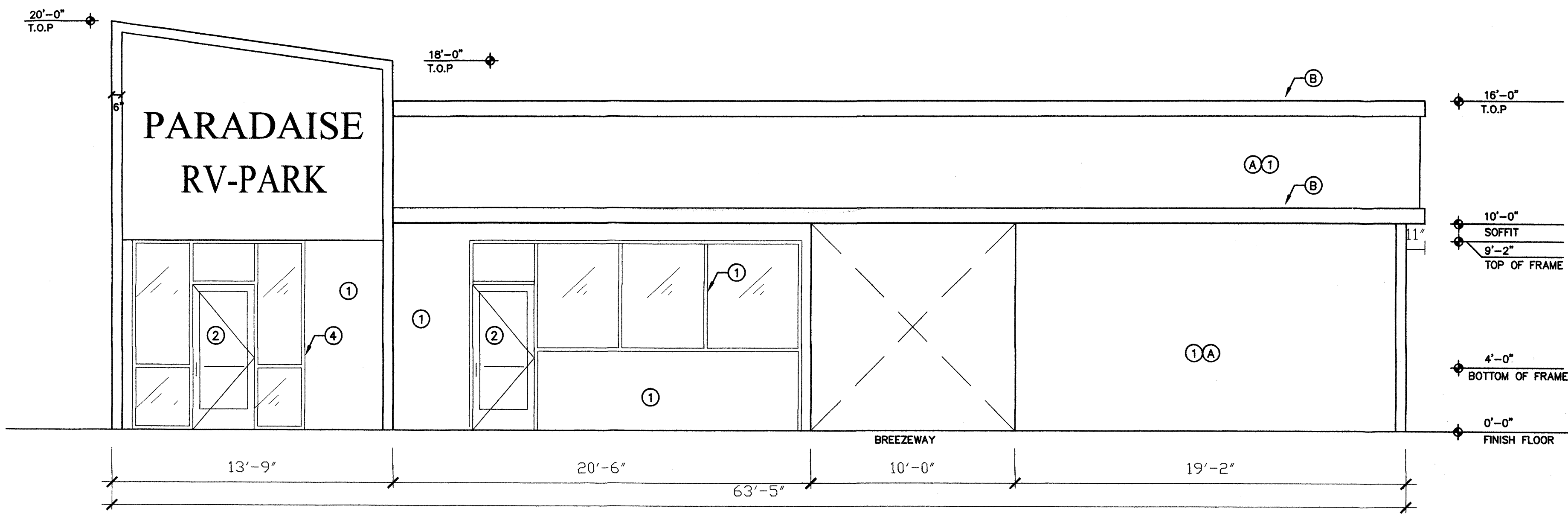
L1

KEYED NOTES

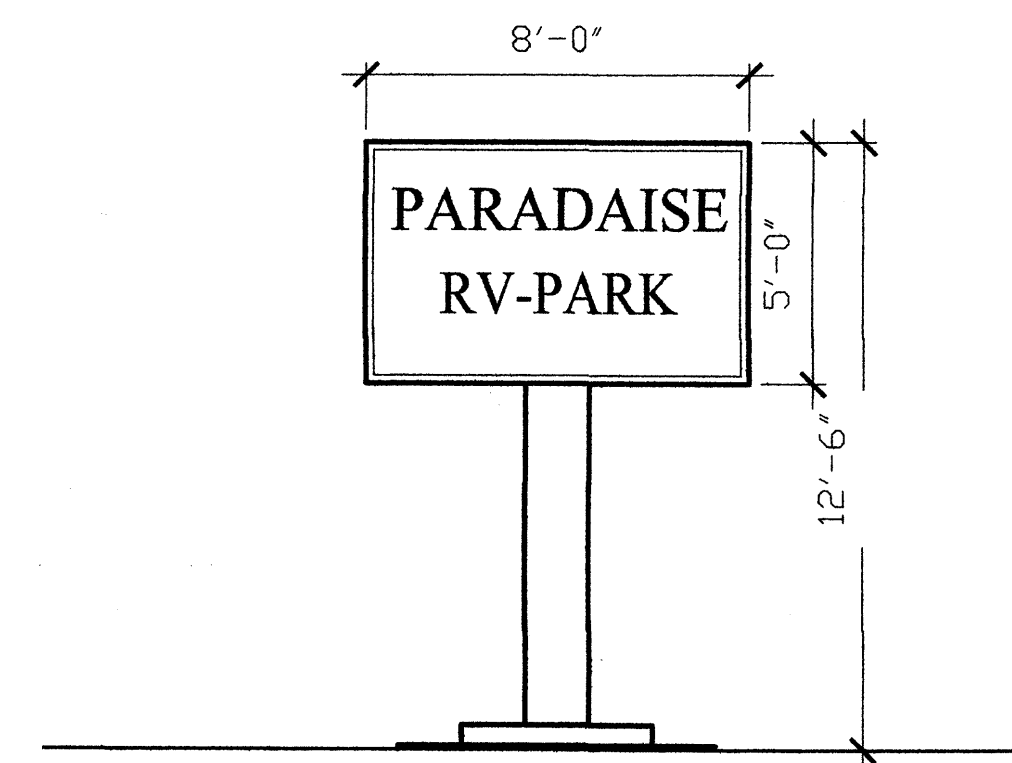
1. STUCCO SYSTEM - 3 COAT, 17 GA. STUCCO WRE, 15# BUILDING PAPER, 7/16" APA RATED SHEATHING.
2. 3'-0"x7'-0" HOLLOW METAL INSULATED DOOR FRAME, PRIME, PAINT TO MATCH STUCCO COLO, TEMPERED GLAZING.
3. 8"x8" LEADER BOX WITH 2" OVERFLOW, 4"x4" METAL DOWN SPOUT, PAINT TO MATCH STUCCO COLOR/ CONCRETE SPLASH BLOCK
4. HOLLOW METAL WINDOW FRAM, AND DOUBLE GLAZING, PRIMES, PAINT TO MATCH STUCCO.
5. REFLECTIVE ROOFING
6. ASPHALT SHINGLES BEIGE COLOR
7. CLEAR SEALED WOOD LOGS.

STUCCO COLOR

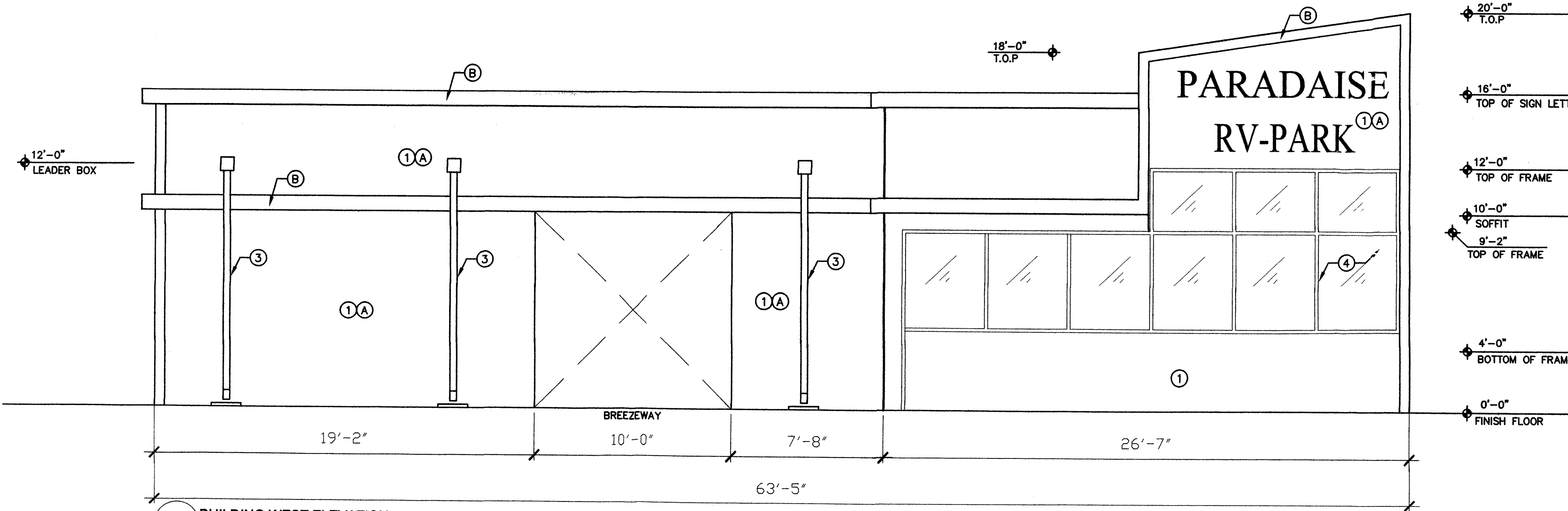
- A. DARK GREY TAN.
B. BROWN GREY



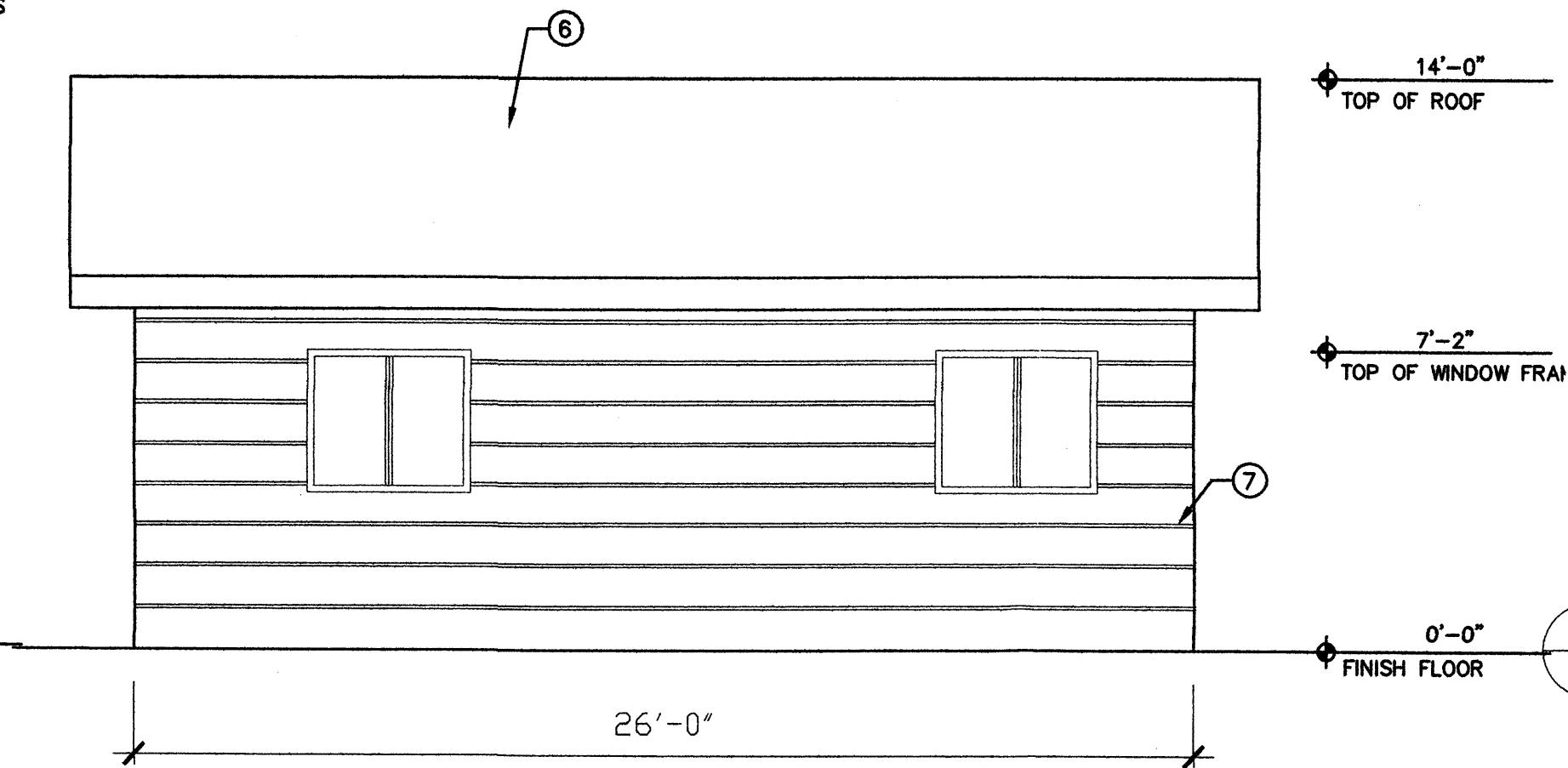
1 BUILDING EAST ELEVATION
A-01 / SCALE:1/4"=1'-0"



6 PYLON SIGN
A-01 / SCALE:1/4"=1'-0"

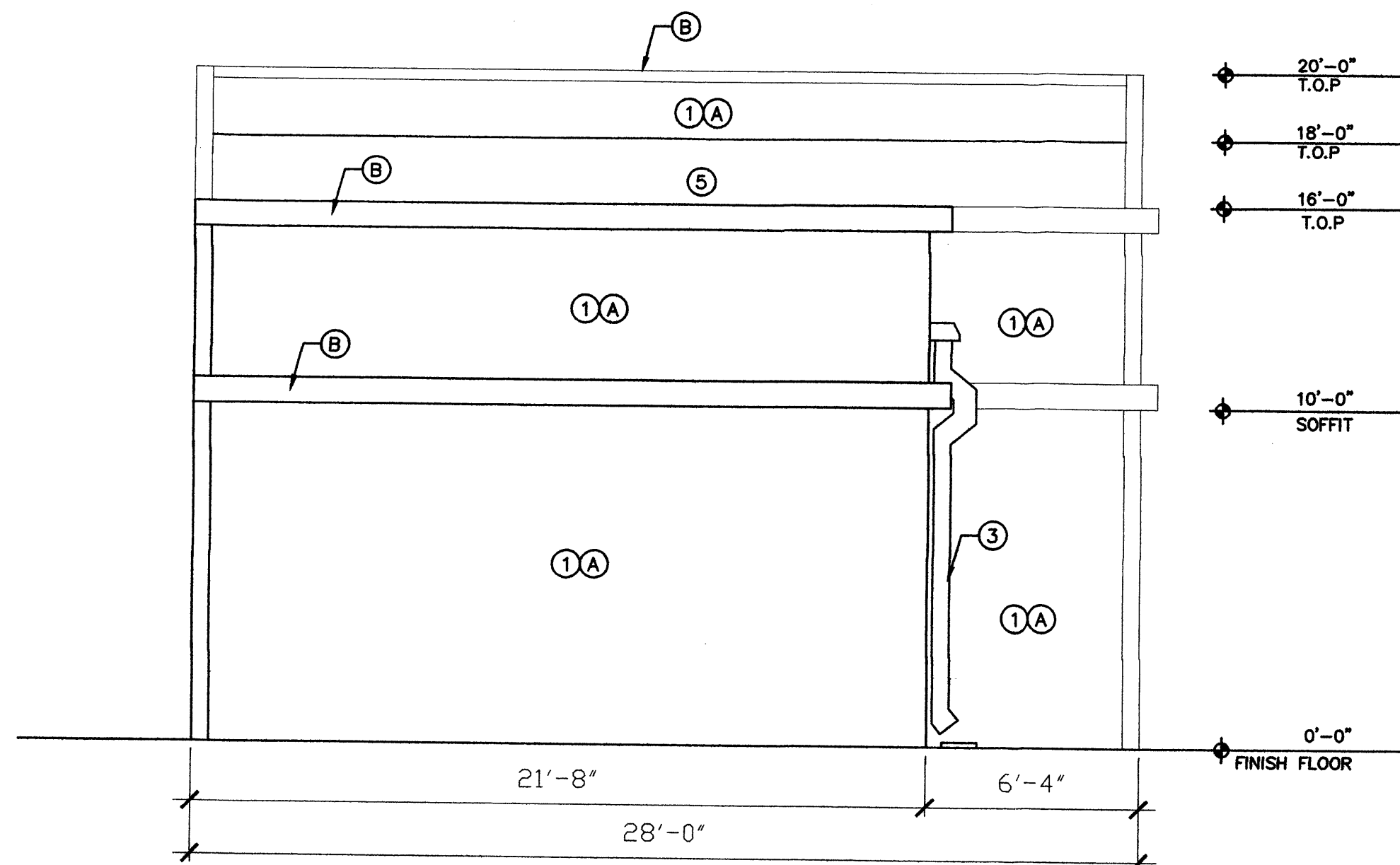


2 BUILDING WEST ELEVATION
A-01 / SCALE:1/4"=1'-0"

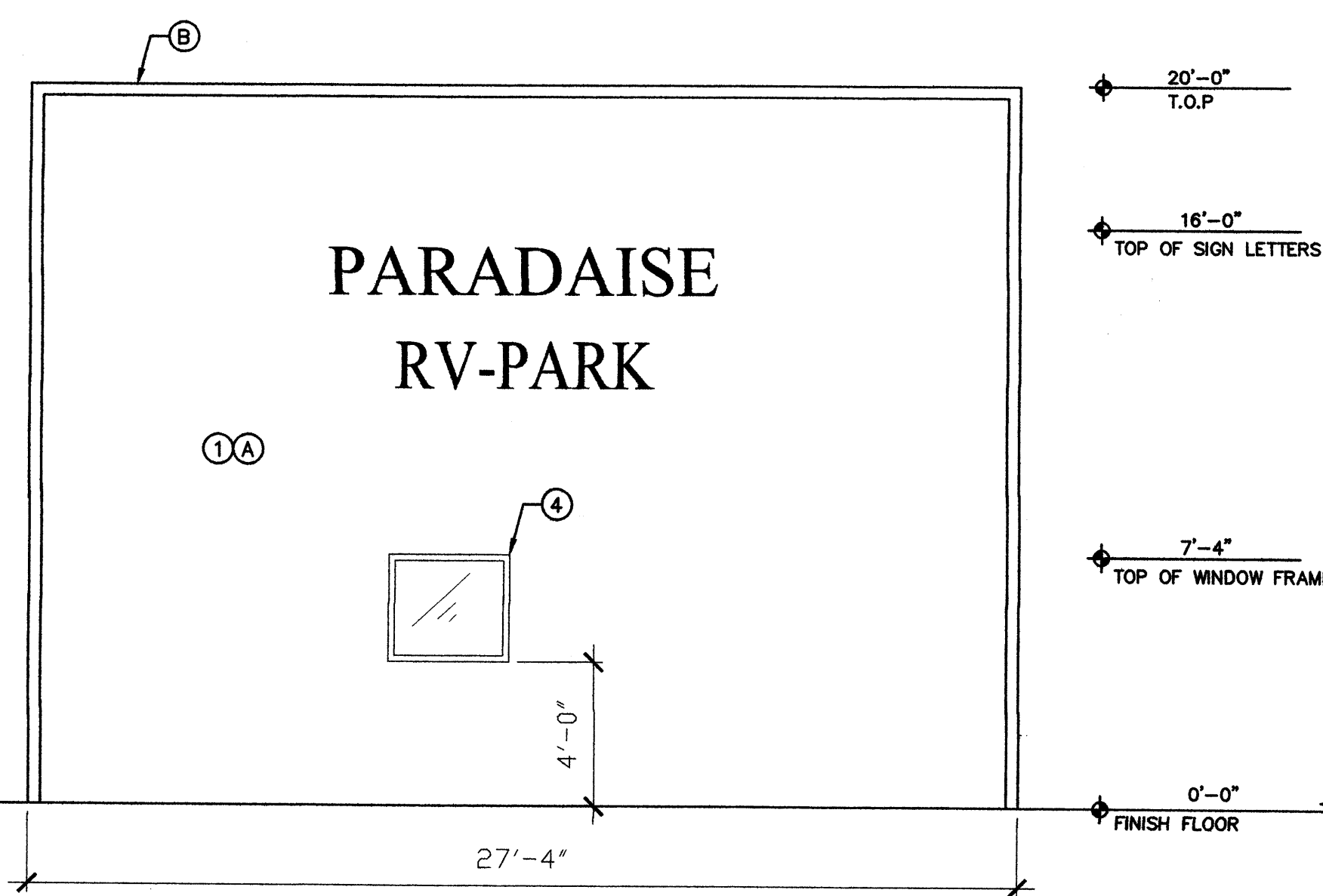


5 LOG CABIN SIDE ELEVATION
A-01 / SCALE:1/4"=1'-0"

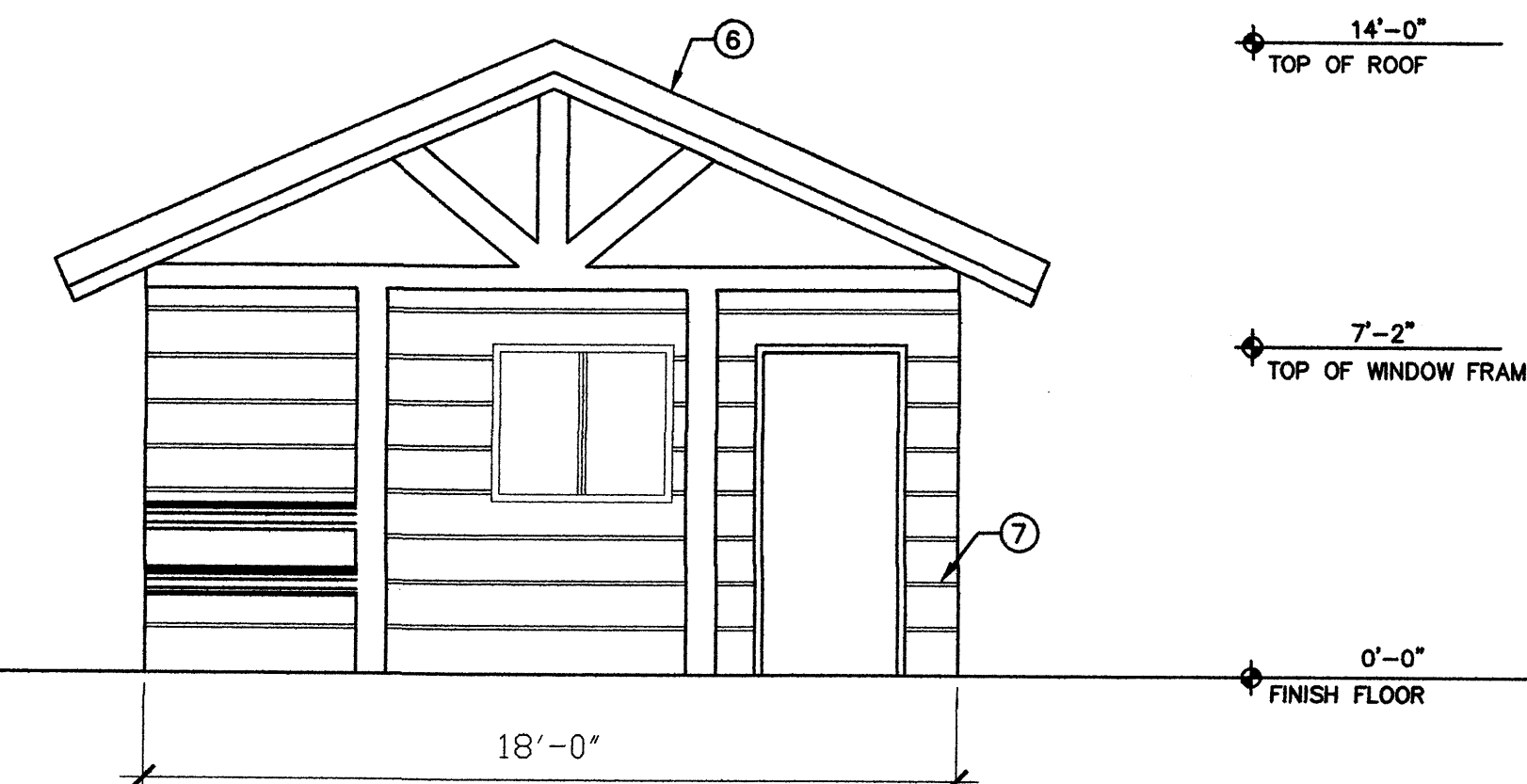
KEY MAP
N.T.S.



3 BUILDING NORTH ELEVATION
A-01 / SCALE:1/4"=1'-0"



4 BUILDING SOUTH ELEVATION
A-01 / SCALE:1/4"=1'-0"



7 LOG CABIN FRONT ELEVATION
A-01 / SCALE:1/4"=1'-0"

BUILDING ELEVATIONS

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2501 Yale Blvd. Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242-1737

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Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

A-01
05.05.2011

PARADISE RV-PARK

Avalon Road / 102nd Street NW

Albuquerque, NM. 87120

Design Review Board (DRB) Submittal
Site Development Plan For Building Permit

Project No. 1008830

April, 2012

APPROVED - AEHD	
SIGNATURE _____	DATE _____

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT-----	SP-2
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CONCEPTUAL GRADING PLAN-----	C-01
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TYPICAL OFFSITE ROADWAY SECTIONS-----	C-03
LANDSCAPE	
LANDSCAPE PLAN-----	L-1
ARCHITECTURAL	
BUILDING ELEVATIONS-----	A-01

PROJECT DATA

LEGAL DESCRIPTION
PRELIMINARY PLAT
TRACTS 3E
ROW TWO (2), UNIT A WEST OF WESTLAND
WITHIN THE TOWN OF ATRISCO GRANT SECT. 20, T10N, R2E, NMPM
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AREA SUMMARY:

GROSS BUILDING AREA: CLUB HOUSE =1500 SF
GROSS DENSITY OF RV IS 15 RV'S PER ACRE

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2009
* NFPA 1194:
STANDARD FOR RECREATIONAL VEHICLE PARKS
AND CAMPGROUNDS 2011 EDITION
* THE DEVELOPMENT SHALL COMPLY WITH THE
AREA LIGHTING REGULATIONS, 14-16-3-9 OF
THE ZONING CODE.
EXISTING ZONE: SU-1 C2 INCLUDING CAMP
GROUND
ZONING: SU-1
ZONE ATLAS MAP: K-8-Z

PROPOSED ZONE

SU-1 FOR MIXED USE TO INCLUDE RV- PARK
LODGE & RV STORAGE

PHASE I

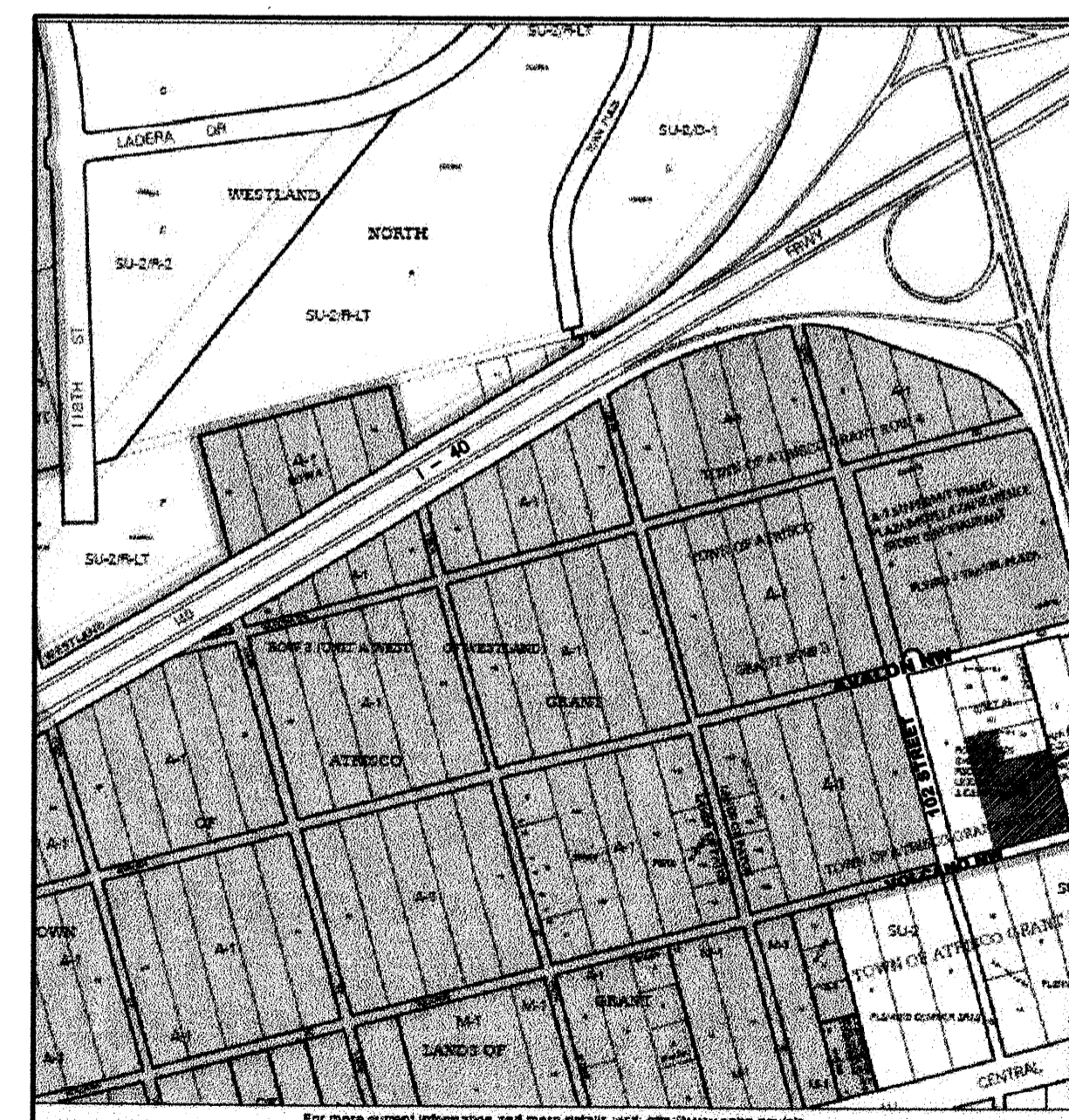
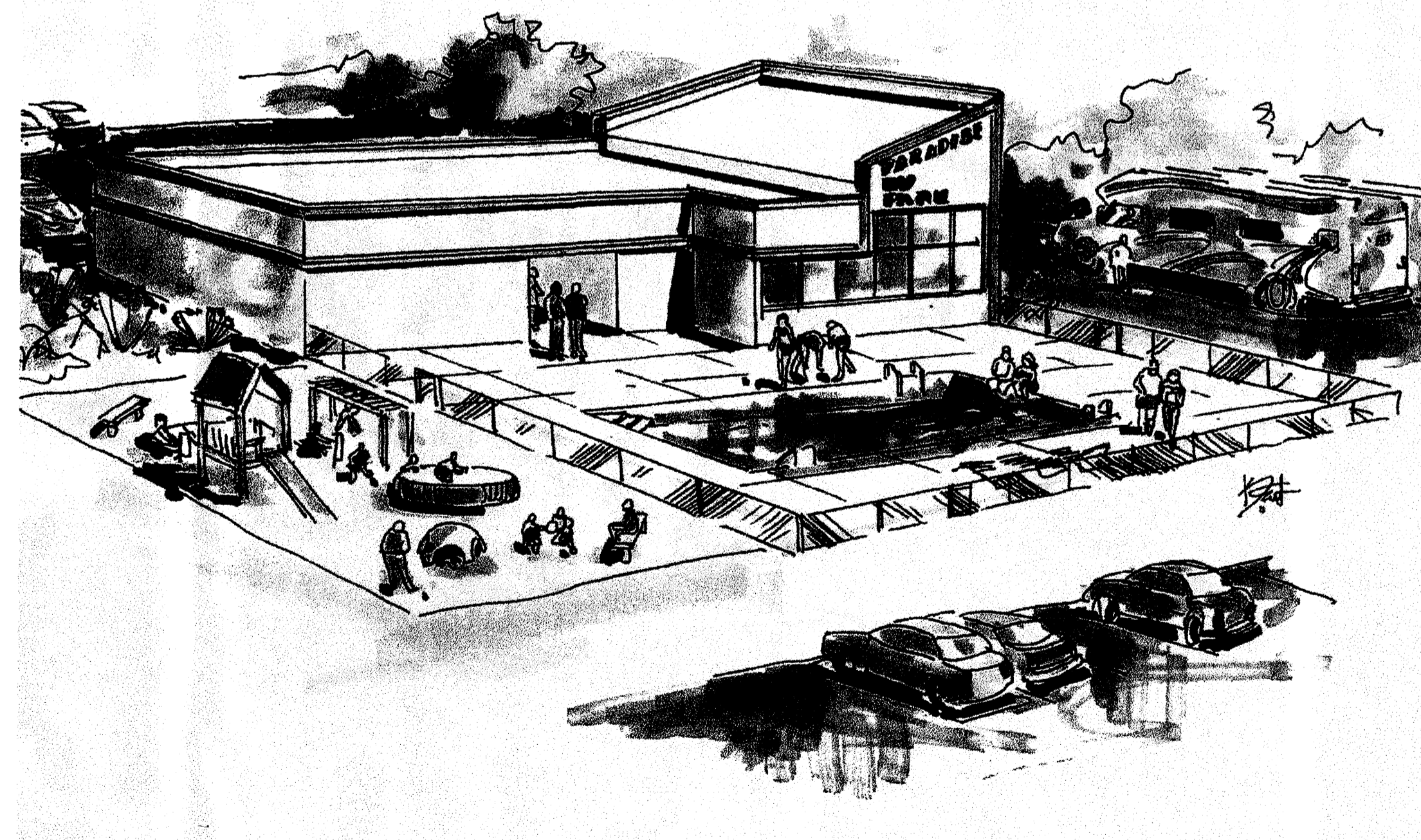
1. CLUB HOUSE & POOL
2. (52'-0") LARGE RV SPACES (L) = 45
3. (38'-6") MEDIUM RV SPACES (M) = 21
4. (30'-0") SMALL RV SPACES (S) = 8
TOTAL = 74
GROSS BUILDING AREA: CLUB HOUSE =1500SF
PARKING TABULATION
CAR PARKING SPACES =29 TOTAL
ADA PARKING SPACES =4
MOTOR CYCLE SPACES =4
BIKE RACK = 4 BIKES

PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
AFRA CONSTRUCTION AND DESIGN
2501 YALE BLVD. SUITE 102
ALBUQUERQUE, NEW MEXICO 87106
CELL: (505) 315-1482
FAX: (505) 243-1561
CONTACT: TAFAZZUL HUSSAIN, AIA
email: thussain@afradesign.com

CIVIL: LARRY READ & ASSOCIATES
4800 JUAN TABO SUITE C
ALBUQUERQUE, NEW MEXICO 87112
TEL: (505) 237-8421
FAX: (505) 237-8422
CONTACT: LARRY READ
email: lread@readengineering.com

LANDSCAPE: HILLTOP
7909 EDITH NE
ALBUQUERQUE, NEW MEXICO 87184
TEL: (505) 898-9690
FAX: (505) 898-7737
email: cnd@hilltoplandscaping.com



SITE
LOCATION

COVER SHEET

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2501 Yale Blvd. Suite 102
Albuquerque, New Mexico 87106
Tel: 505.242.1745
Fax: 505.242-1737

Paradise RV Park
Avalon Rd/ 102nd Street, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
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CS-1

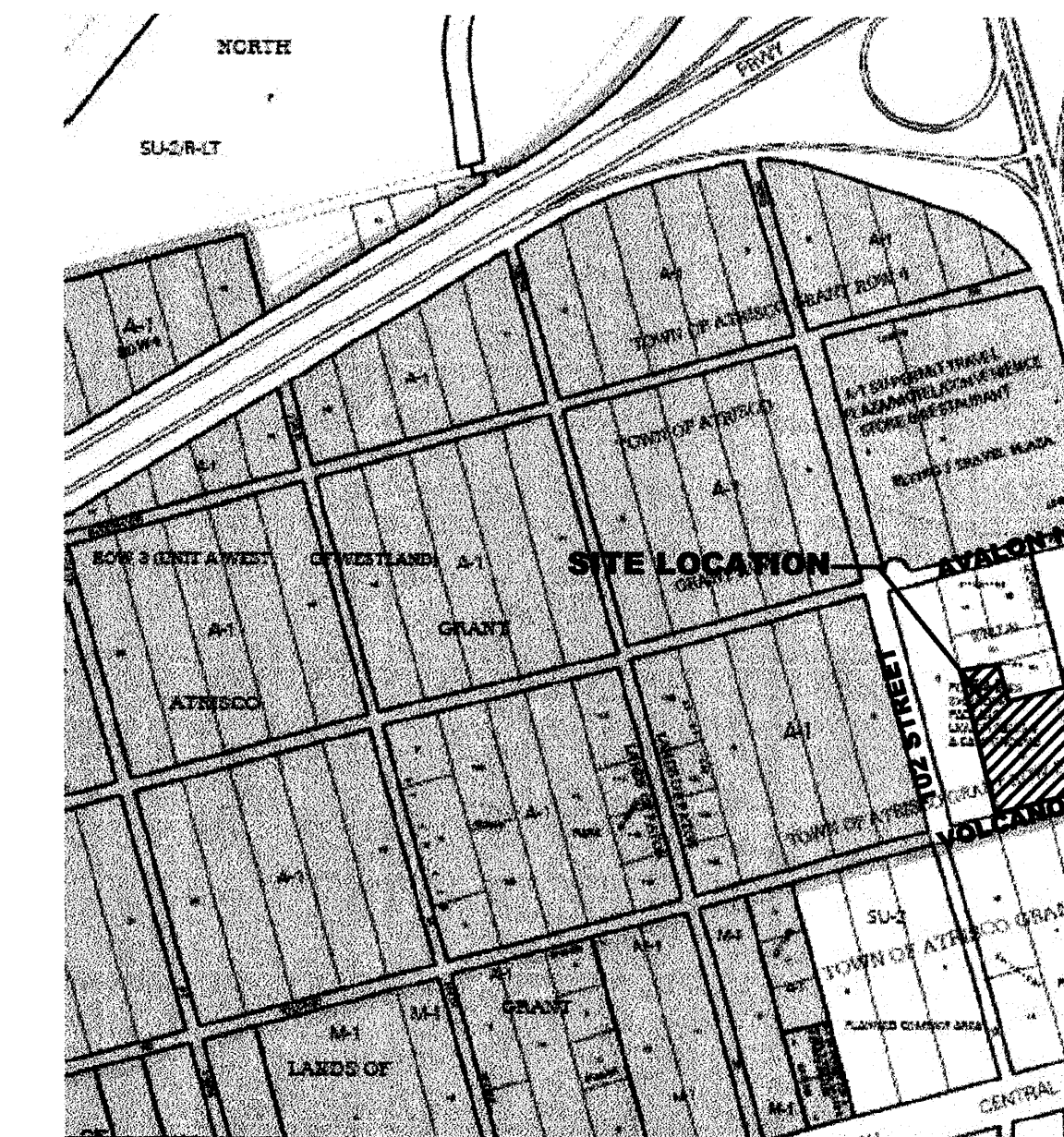
04.12.2012



GENERAL NOTES

← → VEHICULAR INGRESS/EGRESS POINTS

--- PROPERTY LINE



VICINITY MAP
ZONE ATLAS: K-8-Z N.T.S.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____

WATER UTILITY DEPARTMENT DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____

SOLID WASTE MANAGEMENT DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____

SITE DEVELOPMENT FOR BUILDING PERMIT APPROVAL

EXISTING ZONING + LAND USE

Afra Construction & Design
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Albuquerque, New Mexico 87106
Tel 505.242.1745
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Paradise RV Park
Avalon Rd/ 102nd Street, NW
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REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-1

04.12.2012

TRACT 6 - A-1 ZONING (VACANT)

102 nd STREET

34'-0" ROADWAY EASEMENT ACCESS - RECORDED IN THE COUNTY OF BERNALILLO, NM DATE: _____

TRACT 5
SU-1 -C2 INCLUDING
CAMPGROUND
(5 ACRES)
FUTURE PHASE II, III

TRACT 3C
(VACANT)
SU-1 -C2

TRACT 3A (VACANT)
SU-1 -C2

TRACT 3E
SU-1 -C2 INCLUDING
CAMPGROUND
(5 ACRES)
PHASE I

TRACT 3D
(VACANT)
SU-1 -C2

AVALON TRUCK WASH

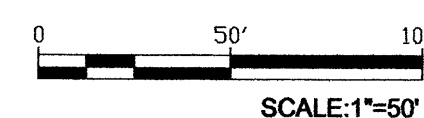
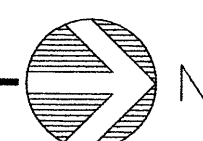
EXSITING

SU-1 -C2 VACANT

MICROTEL MOTEL

EXSITING

SITE PLAN
SCALE: 1"=50'-0"



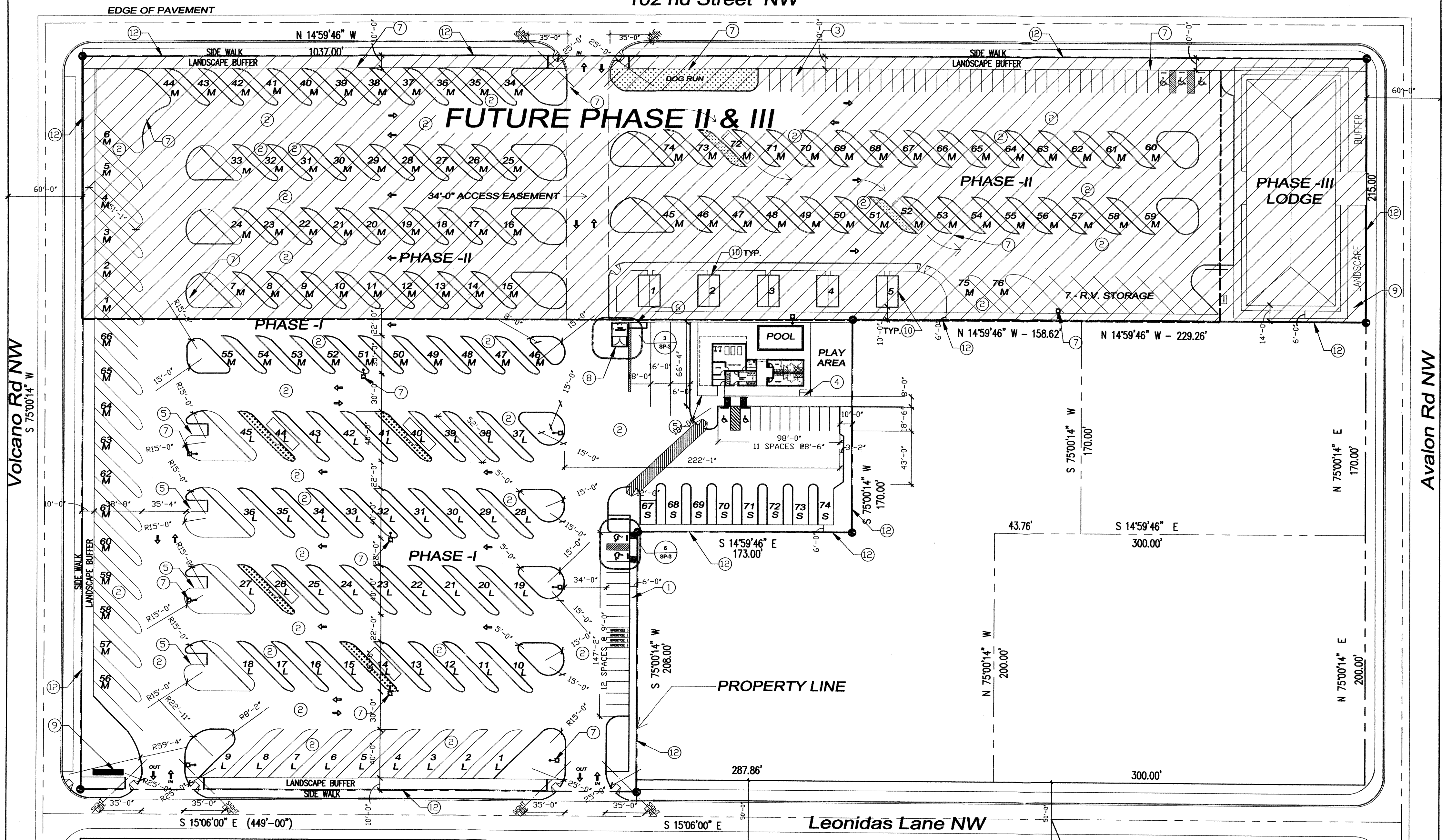
SCALE: 1"=50'

VOLCANO NW
S 75°00'14" W

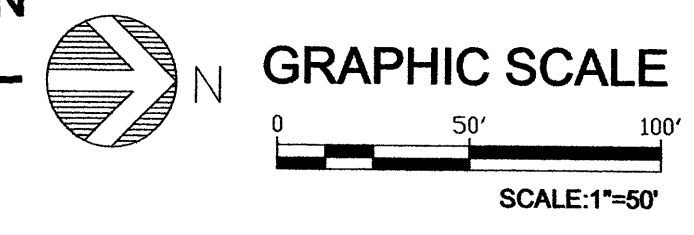
AVALON ROAD NW

LEONIDAS LANE

102 nd Street NW



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=50'-0"



KEYED NOTES

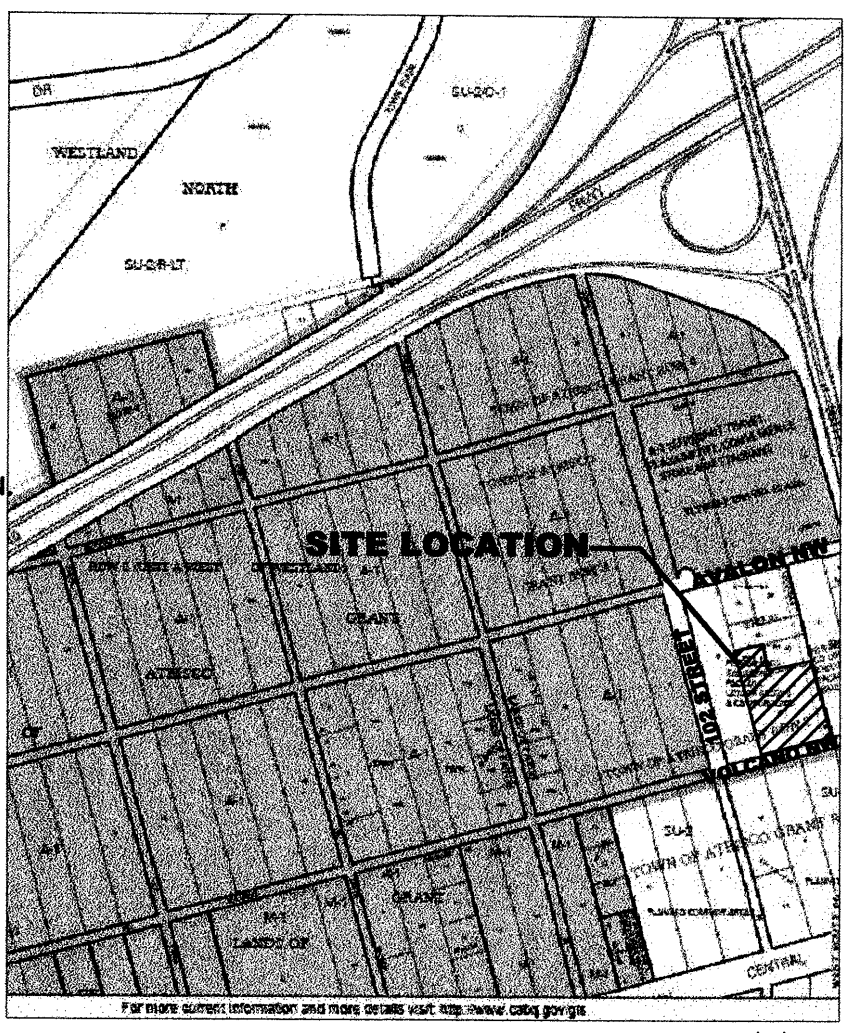
1. CONCRETE CURB- SEE DETAIL 2/A-03 PART OF PHASE I CONSTRUCTION.
2. ASPHALT PAVING PART OF PHASE I CONSTRUCTION.
3. ADA PARKING SEE 6/A-03 PART OF PHASE I CONSTRUCTION.
4. BIKE RACK FOR 4 BIKES - SEE DETAIL 1/A-03 PART OF PHASE I CONSTRUCTION.
5. PARKING SPACE.
6. RECYCLE PAD 5'-0"x15'-0", FENCED PART OF PHASE I CONSTRUCTION.
7. PARKING LOT LIGHTING - SEE DETAIL 4/A-03 PART OF PHASE I CONSTRUCTION.
8. TRASH ENCLOSURE - SEE DETAIL 3/A-03 PART OF PHASE I CONSTRUCTION.
9. PYLON SIGN SEE DETAIL 9/A-03 PART OF PHASE I CONSTRUCTION.
10. PRE-FABRICATED LOG HOUSE 468 SF. EA ON PERMANENT FOUNDATION REF. TO 3/A-01 & 4/A-01 FOR ELEV.
11. LODGE - REFER TO 1/A01 & 2/A01 FOR ELEVATIONS.
12. 8" CMU FENCE WALL 6'-0" TALL SEE DETAIL 12/AE-03
13. CONCRETE CURB.

DEP STANDARD NOTE:

1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).

PHASE I

1. CLUB HOUSE & POOL
 2. (52'-0") LARGE RV SPACES (L) = 45
 3. (38'-6") MEDIUM RV SPACES (M) = 21
 4. (30'-0") SMALL RV SPACES (S) = 8
- TOTAL = 74
- GROSS BUILDING AREA CLUB HOUSE = 1500 SF**
- PARKING TABULATION**
- CAR PARKING SPACES = 29 TOTAL
ADA PARKING SPACES = 4
MOTOR CYCLE SPACES = 4
BIKE RACK = 4 BIKES



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

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IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

NOTE: MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.

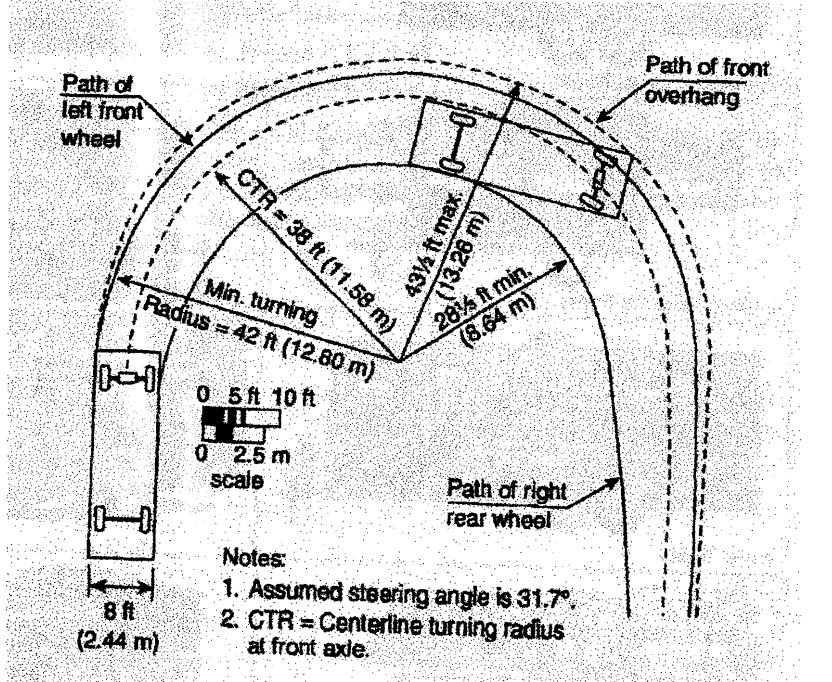
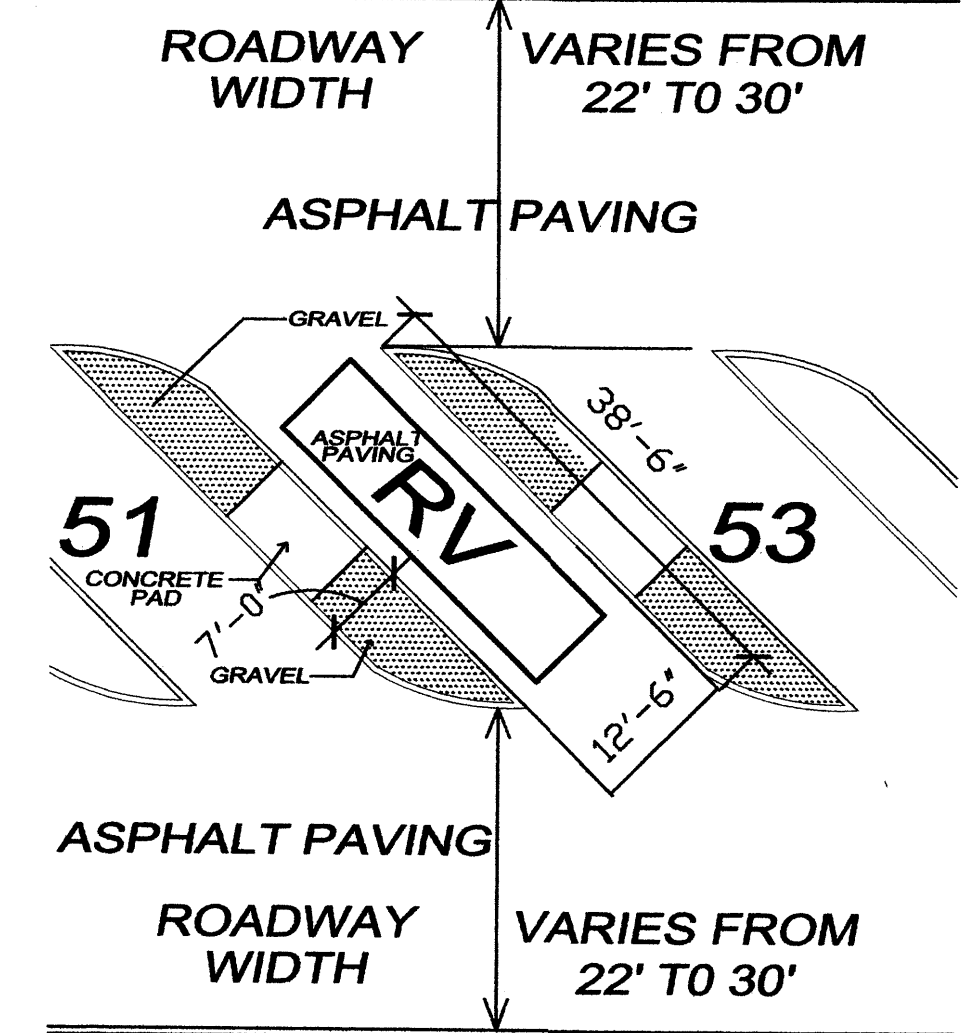
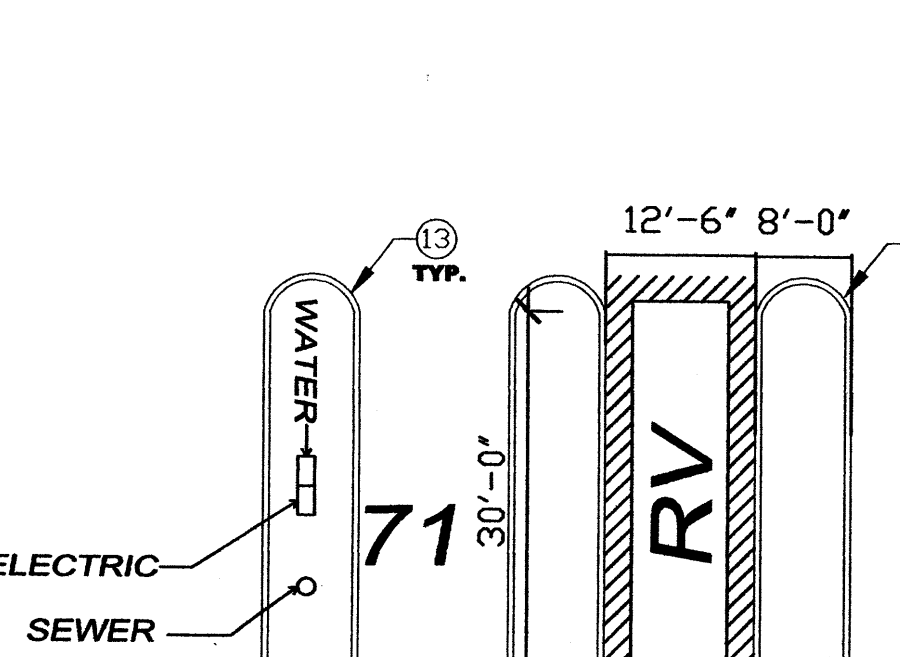
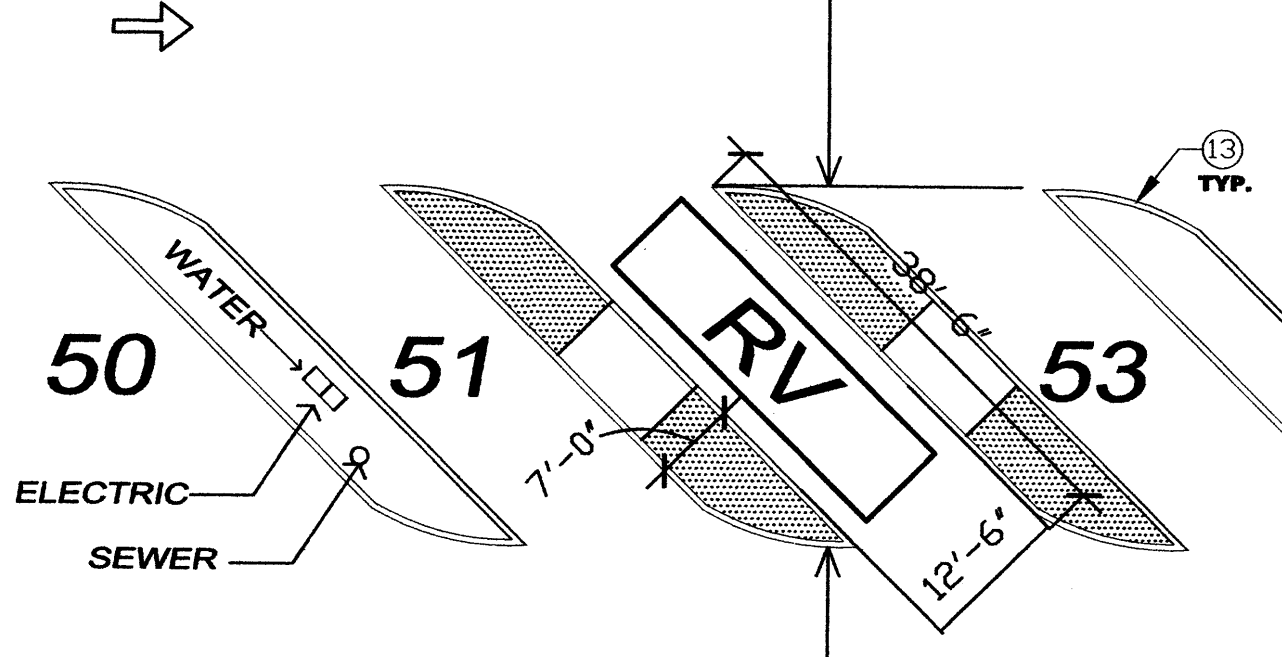
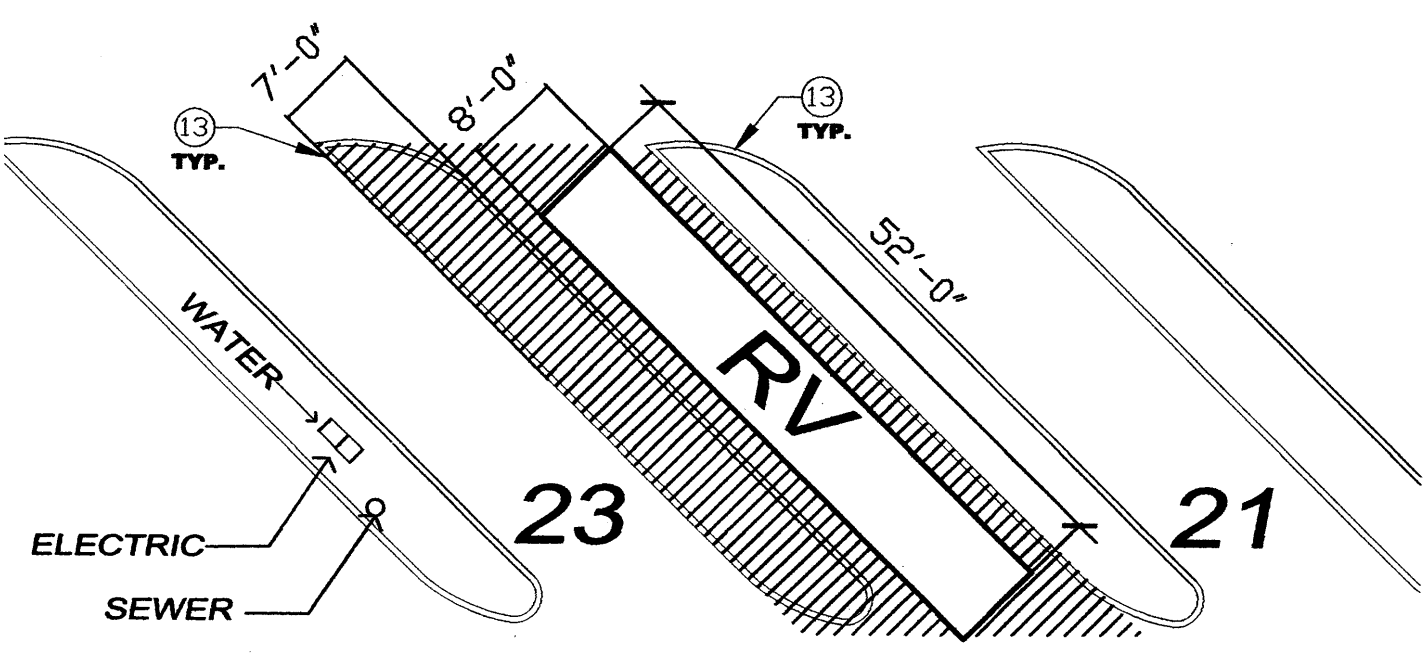
NOTE: SITE LIGHTING TO COMPLY WITH AREA LIGHTING REGULATIONS 14-16-3-9- OF THE ZONING CODE.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

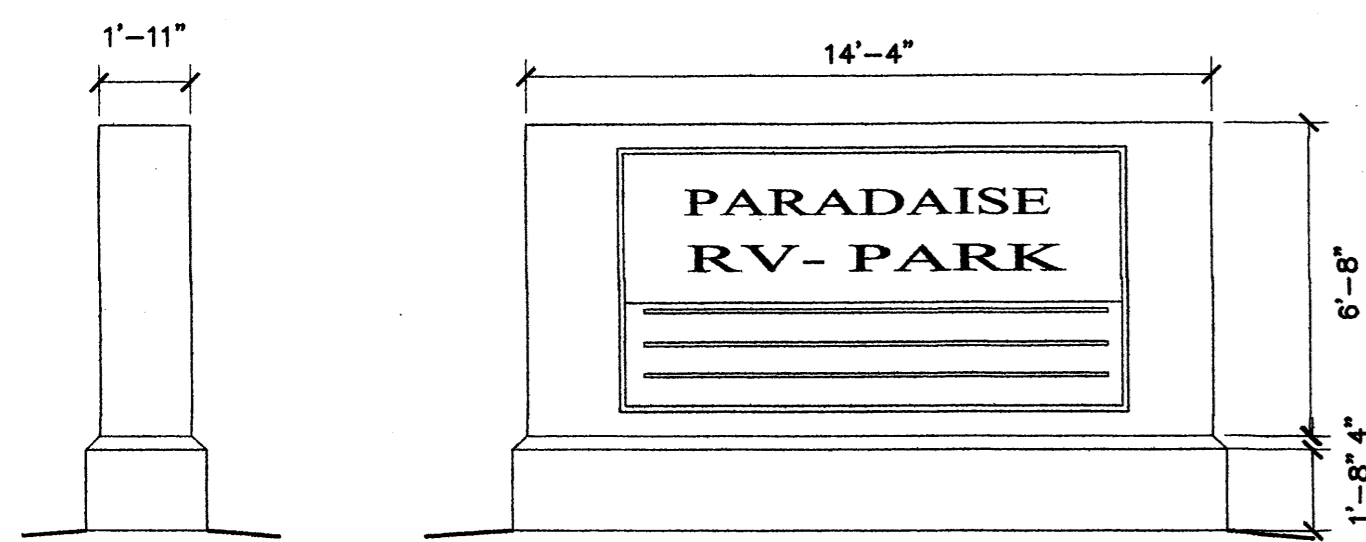
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Paradise RV Park
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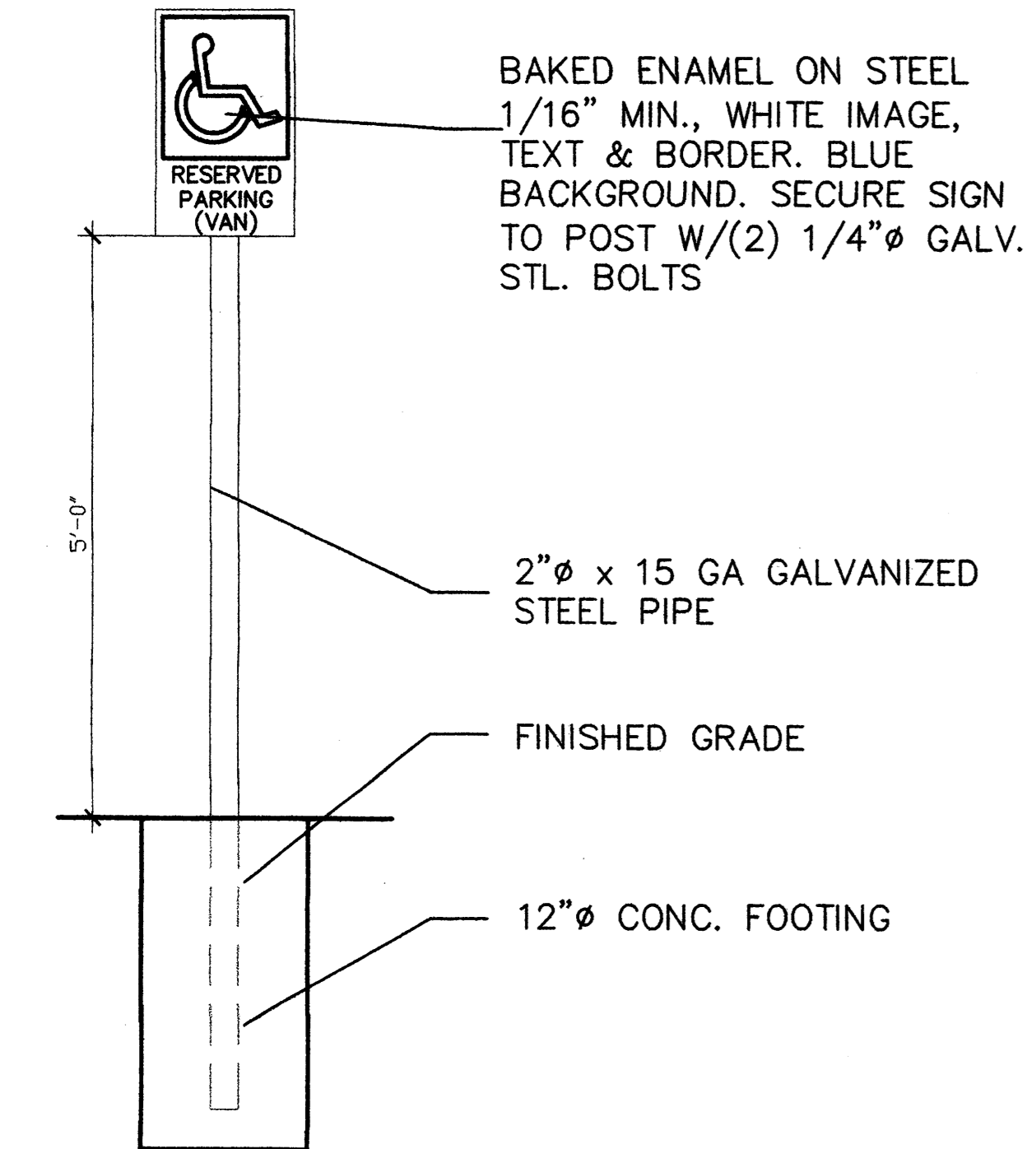
REV	DATE	DESCRIPTION	APVD
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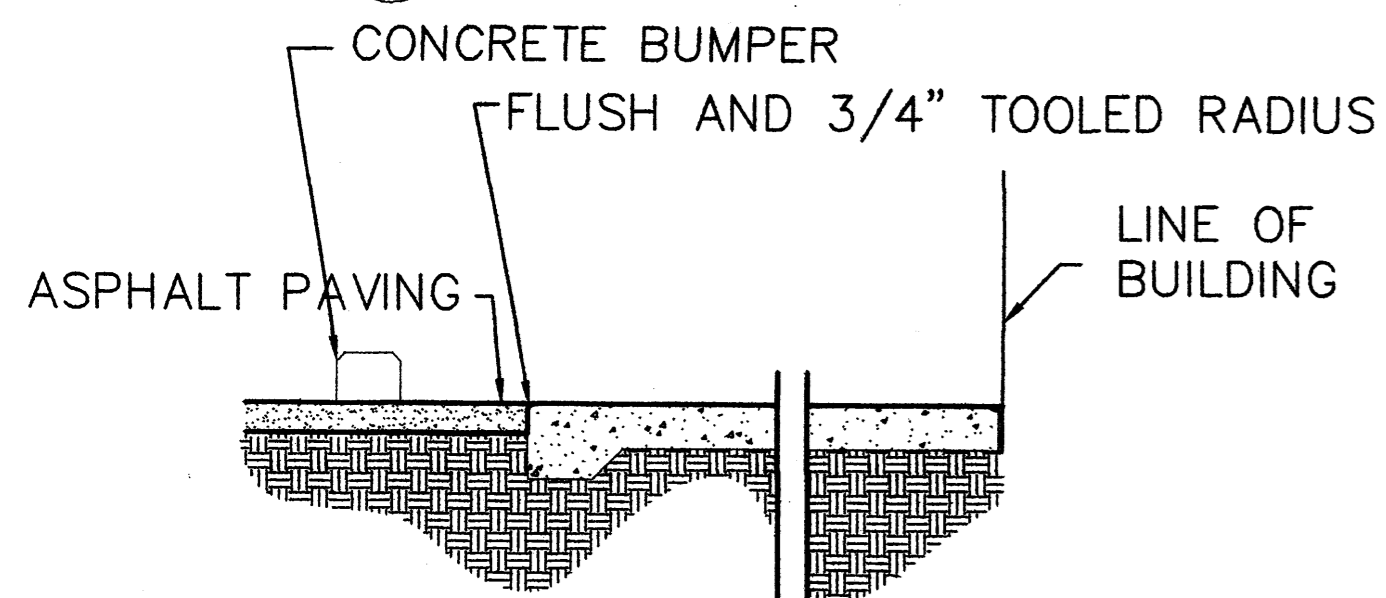
SP-2
04.12.2012



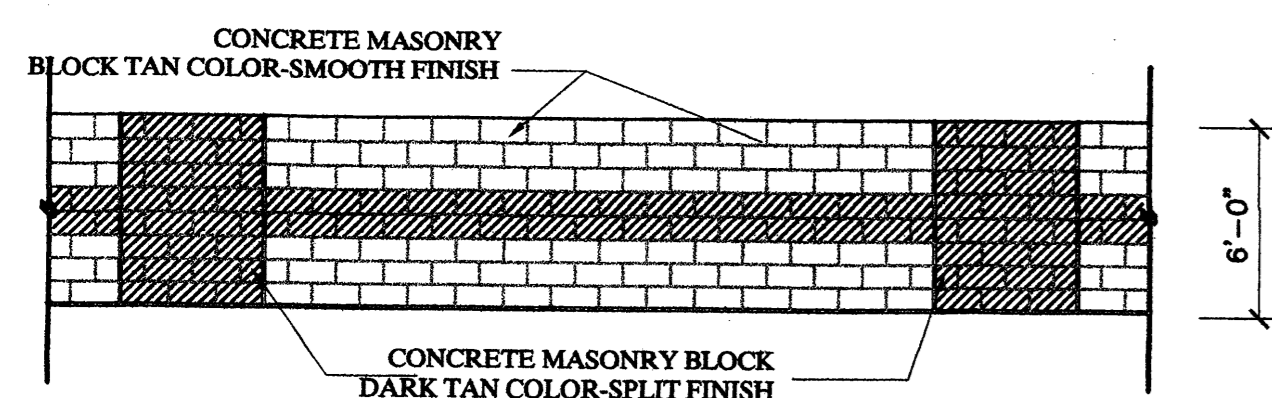
9 MONUMENT SIGN 50 S.F.
SP-3 / SCALE: 1/4"=1'-0"



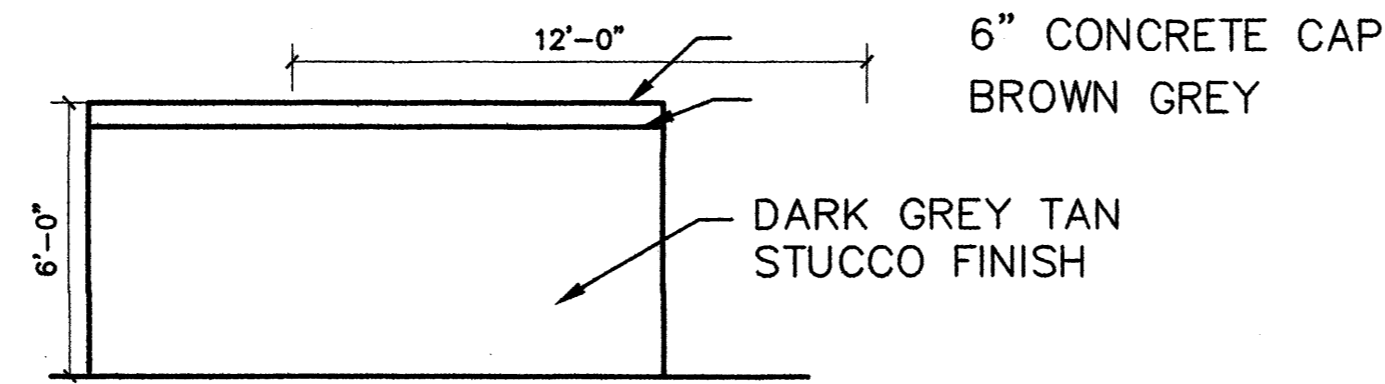
10 ADA SIGN
SP-3 / SCALE: 1/2"=1'-0"



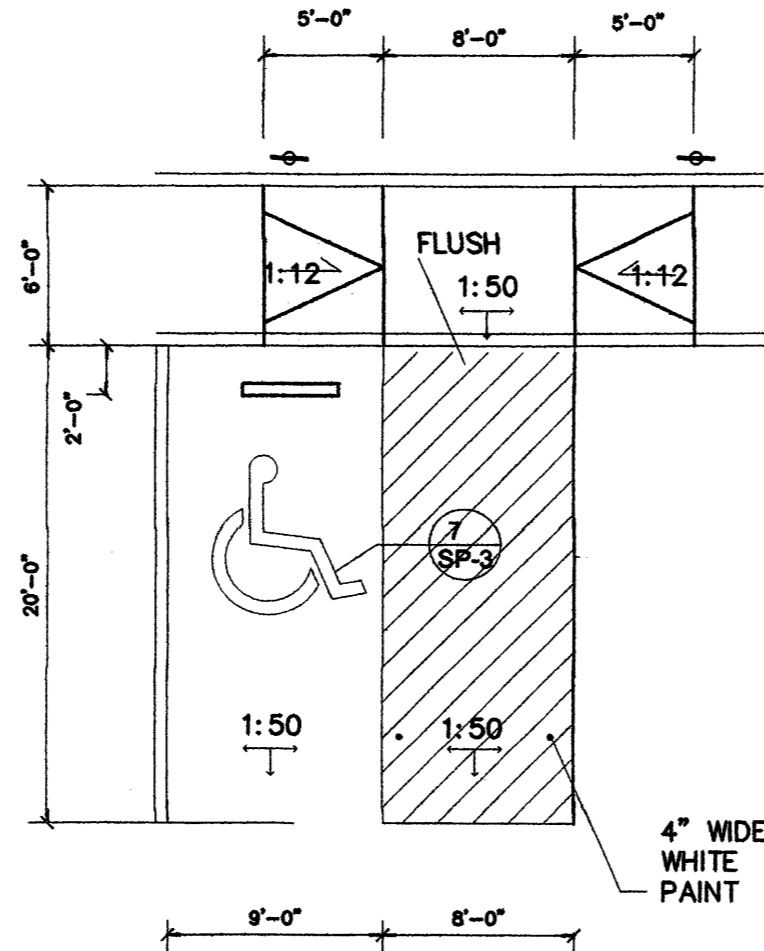
11 BUMPER DETAIL
SP-3 / SCALE: 1/2"=1'-0"



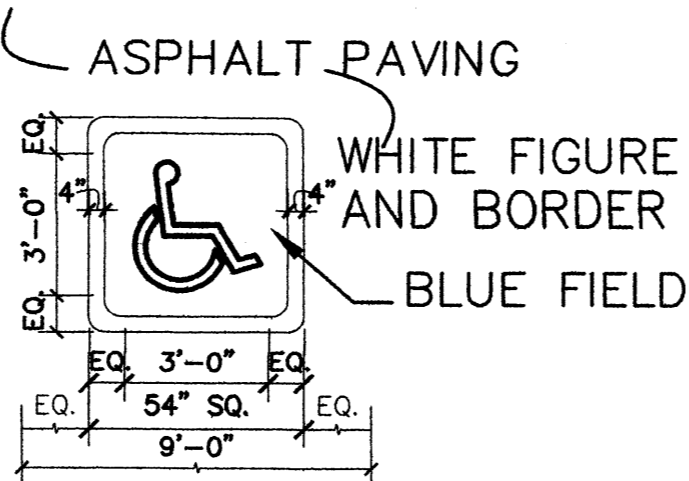
12 BLOCK WALL ELEVATION
SP-3 / SCALE: 3/16"=1'-0"



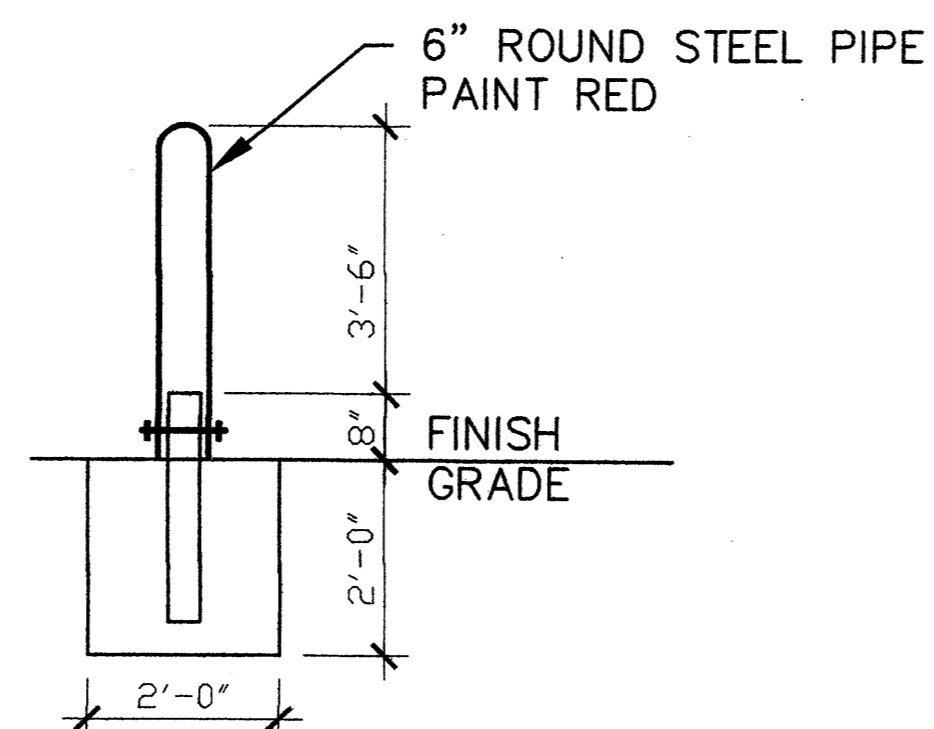
5 TYPICAL SIDE ELEVATION AT TRASH ENCLOSURE
SP-3 / SCALE: 1/4"=1'-0"



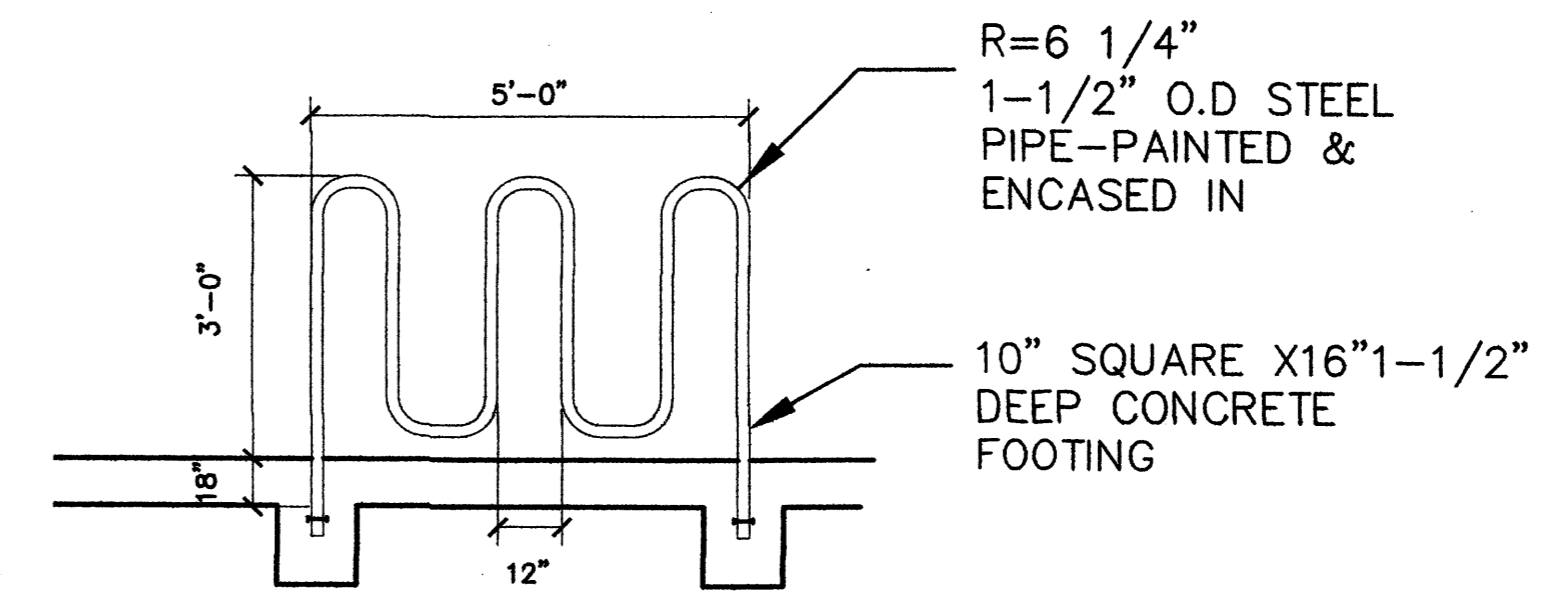
6 CAR ACCESSIBLE STALL
SP-3 / SCALE: 1/8"=1'-0"



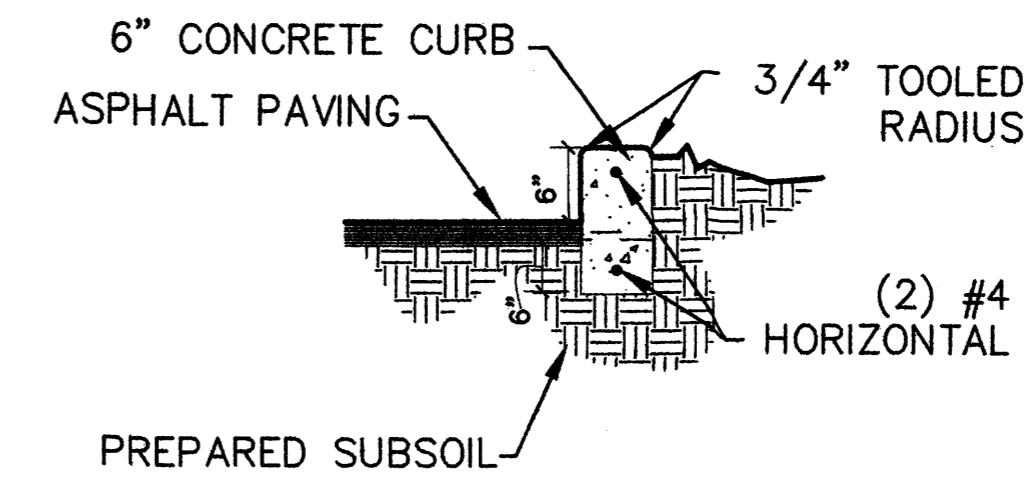
7 ACCESSIBLE PAVING SIGN
SP-3 / SCALE: 1/4"=1'-0"



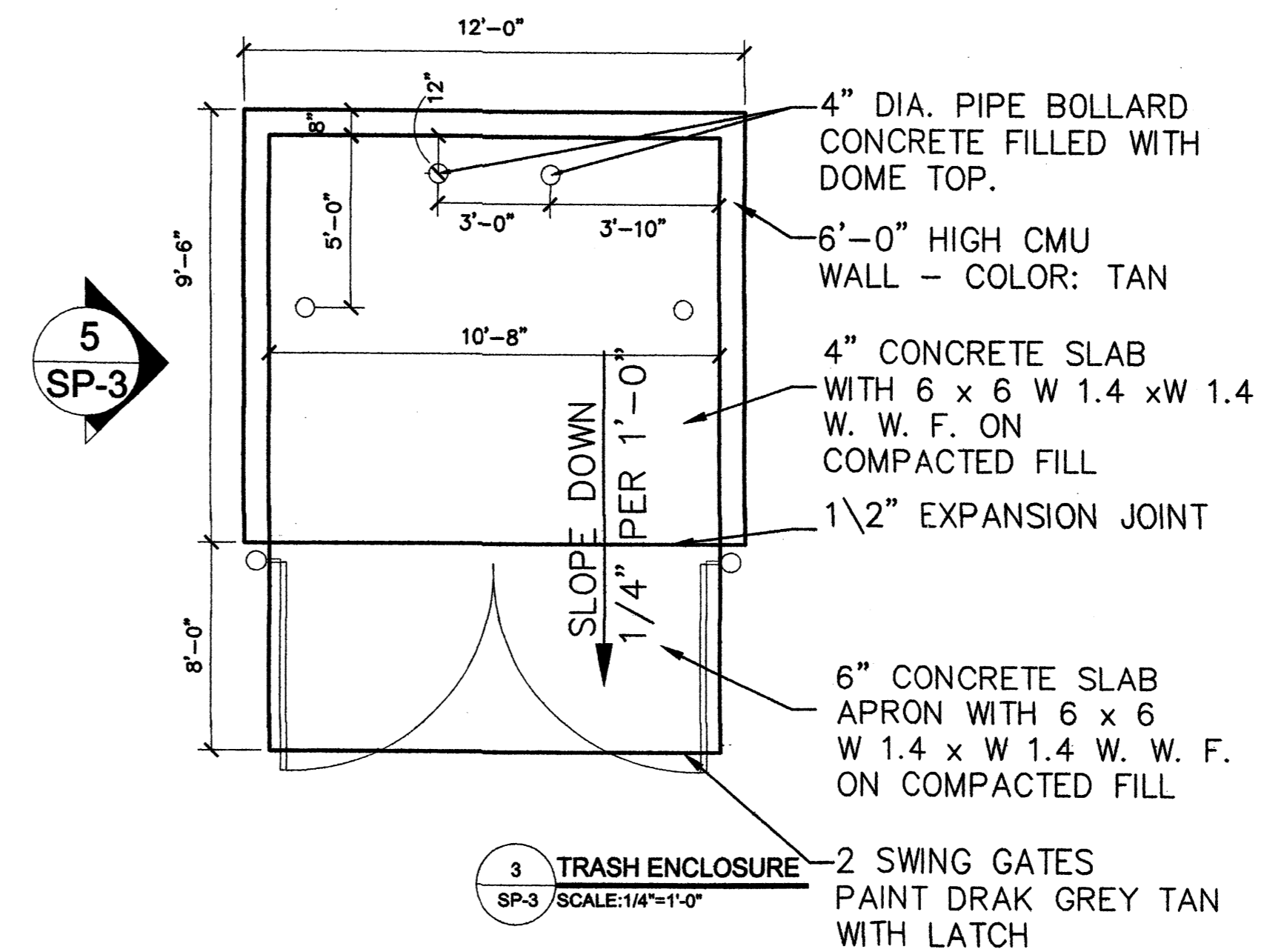
8 SLEEVED BOLLARD DETAIL
SP-3 / SCALE: 1/2"=1'-0"



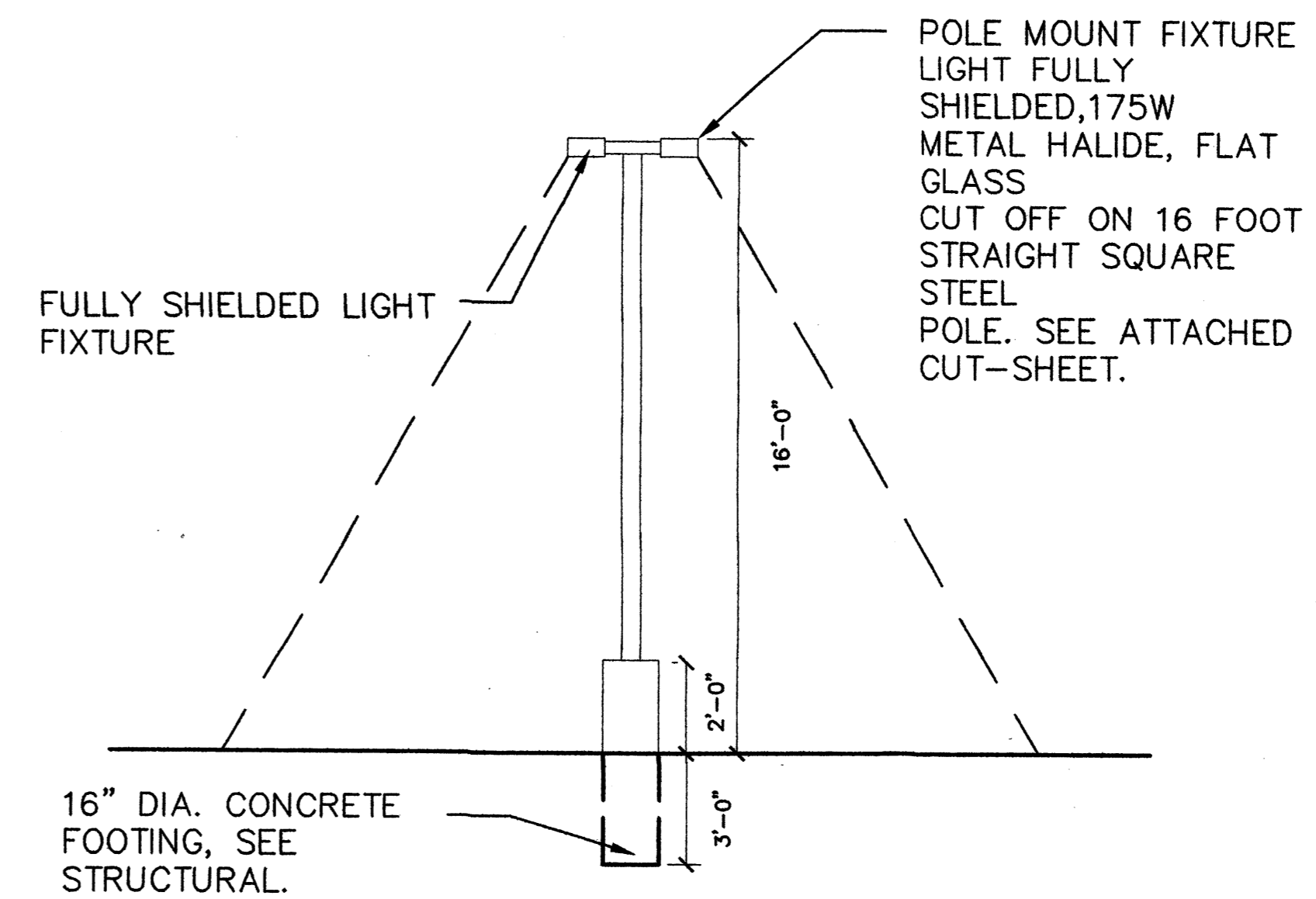
1 BIKE RACK
SP-3 / SCALE: 1/2"=1'-0"



2 LANDSCAPE DETAIL
SP-3 / SCALE: 3/4"=1'-0"



3 TRASH ENCLOSURE
SP-3 / SCALE: 1/4"=1'-0"



4 SITE LIGHT
SP-3 / SCALE: 1/4"=1'-0"

KEYED NOTES

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DETAILS

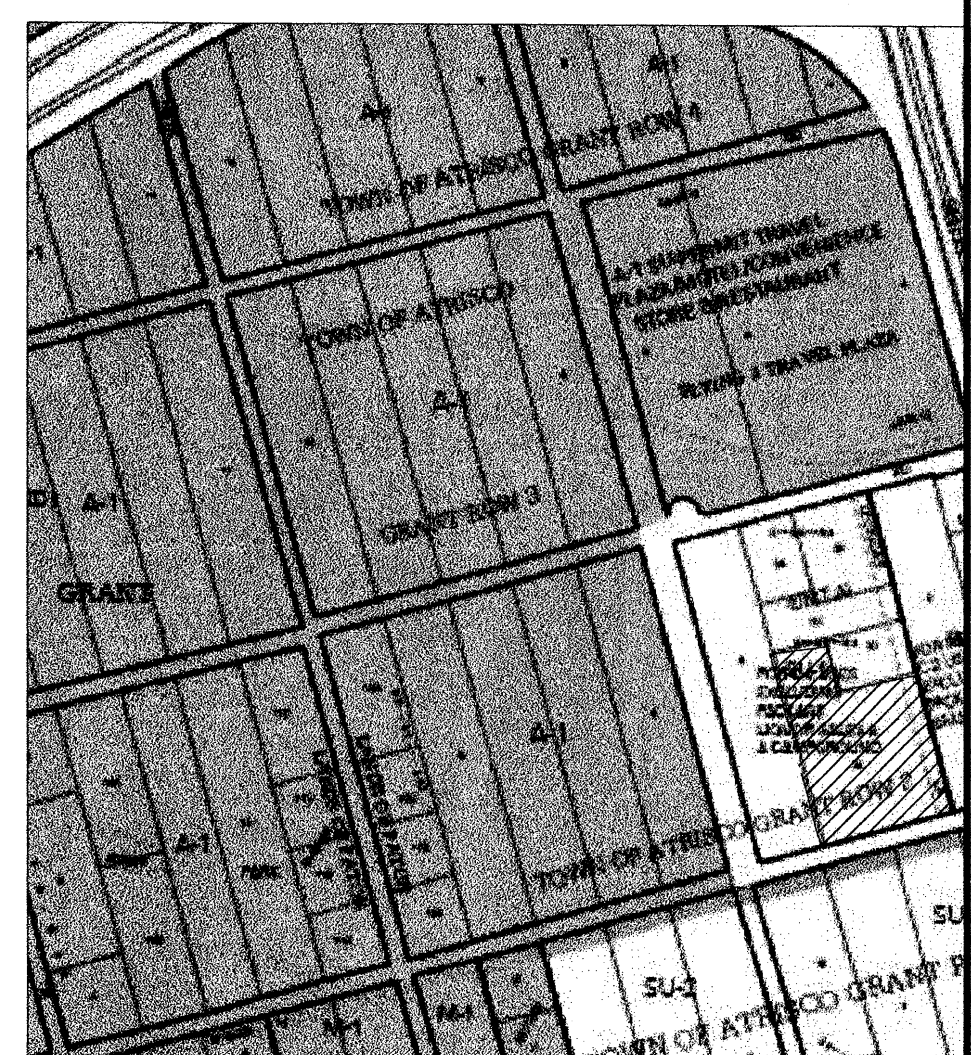
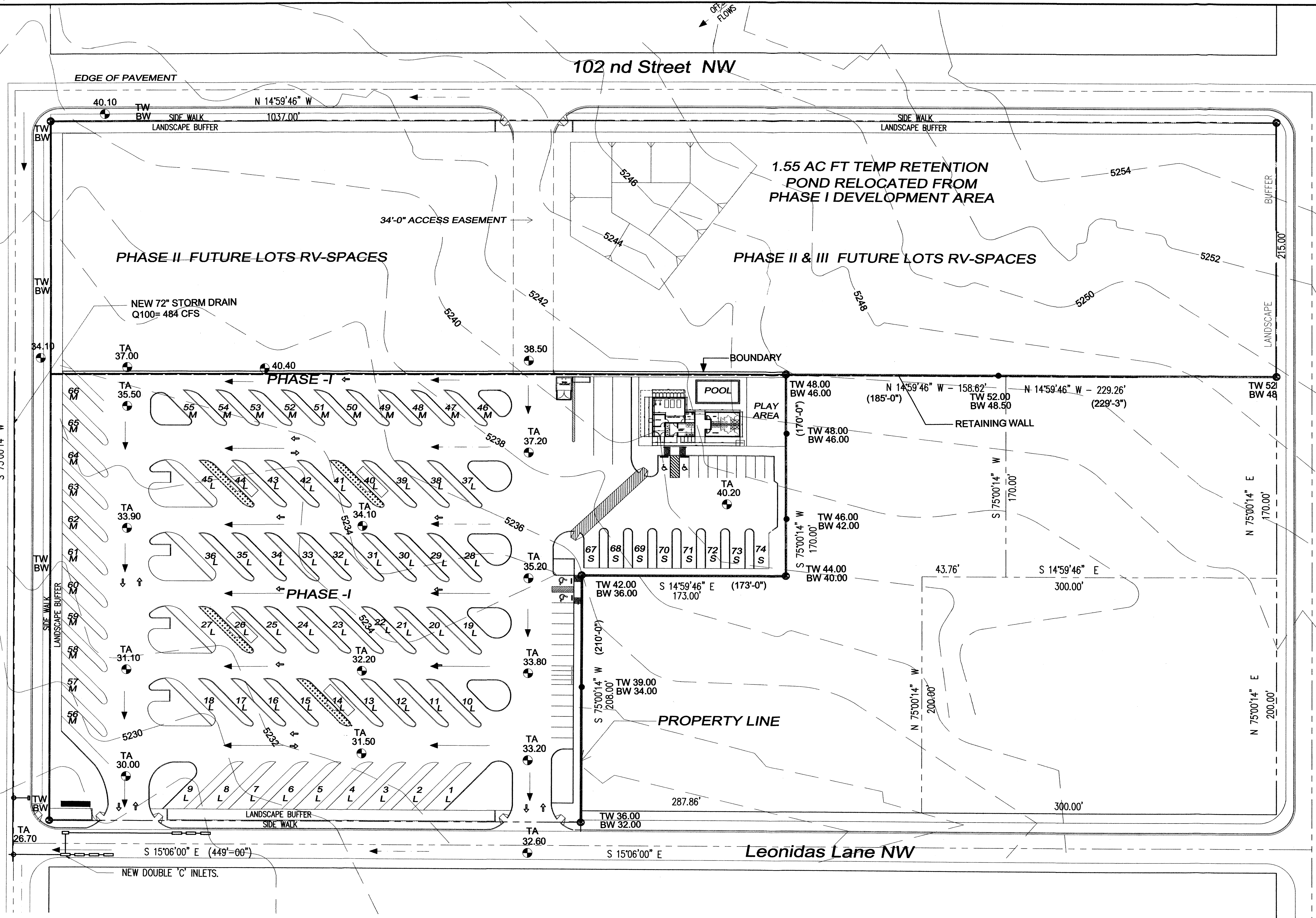
Afra Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
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Paradise RV Park
Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-3

05.05.2011



VICINITY MAP ZONE ATLAS K-8

LEGEND

- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- PROPOSED DIRECTION OF FLOW
- ⊕ SPOT ELEVATION (5245)
- EXISTING CONTOUR LINE
- ▨ RETAINING WALL
- ▬ PROPOSED CURB + GUTTER

CONCEPTUAL GRADING PLAN

Afra Construction & Design
 2501 Yale Blvd, Suite 102
 Albuquerque, New Mexico 87106
 Tel 505.242.1745
 Fax 505.242-1737

Paradise RV Park
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 Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SITE PLAN
 SCALE: 1"=40'-0"

GRAPHIC SCALE
 0' 10' 20' 40'

KEY NOTE

- (A) NEW 8" SAS
- (B) NEW 10" WATER LINE
- (C) NEW 6" SAS
- (D) NEW 4"- 6" WATER LINE
- (E) EXISTING 10" WATER LINE
- (F) EXISTING 8" SAS
- (G) NEW 4"-6" SAS

LEGEND

- MANHOLE
- CLEAN OUT

CONCEPTUAL UTILITY PLAN

Afra Construction & Design

2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel: 505.242.1745
Fax: 505.242-1737

Paradise RV Park

Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
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C-02

04.12.2012

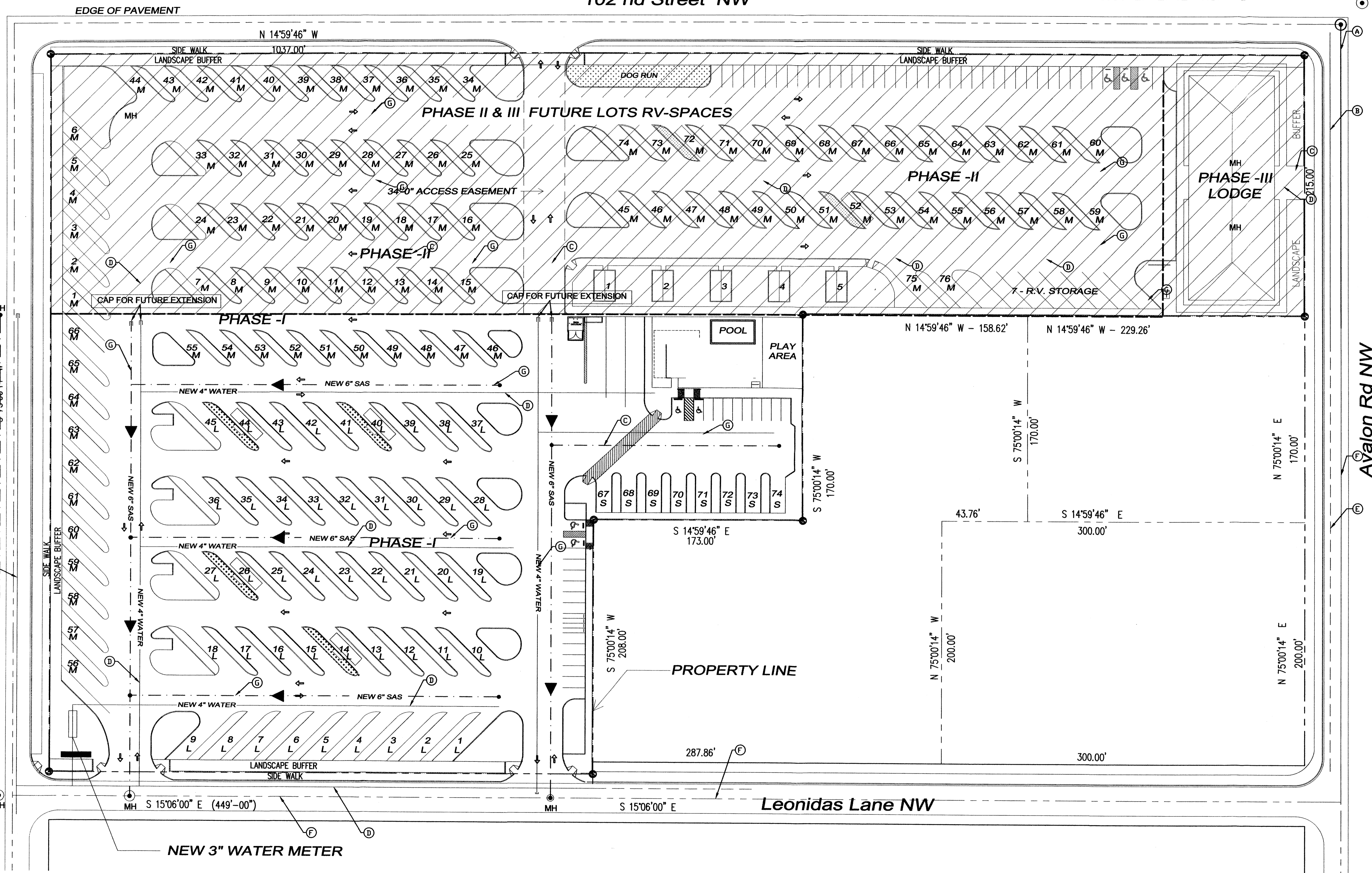
480 LF DF72" RCP-NEW

Volcano Rd NW
S 75'00"14" W

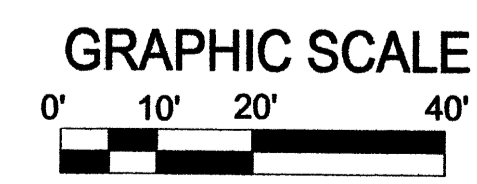
Avalon Rd NW

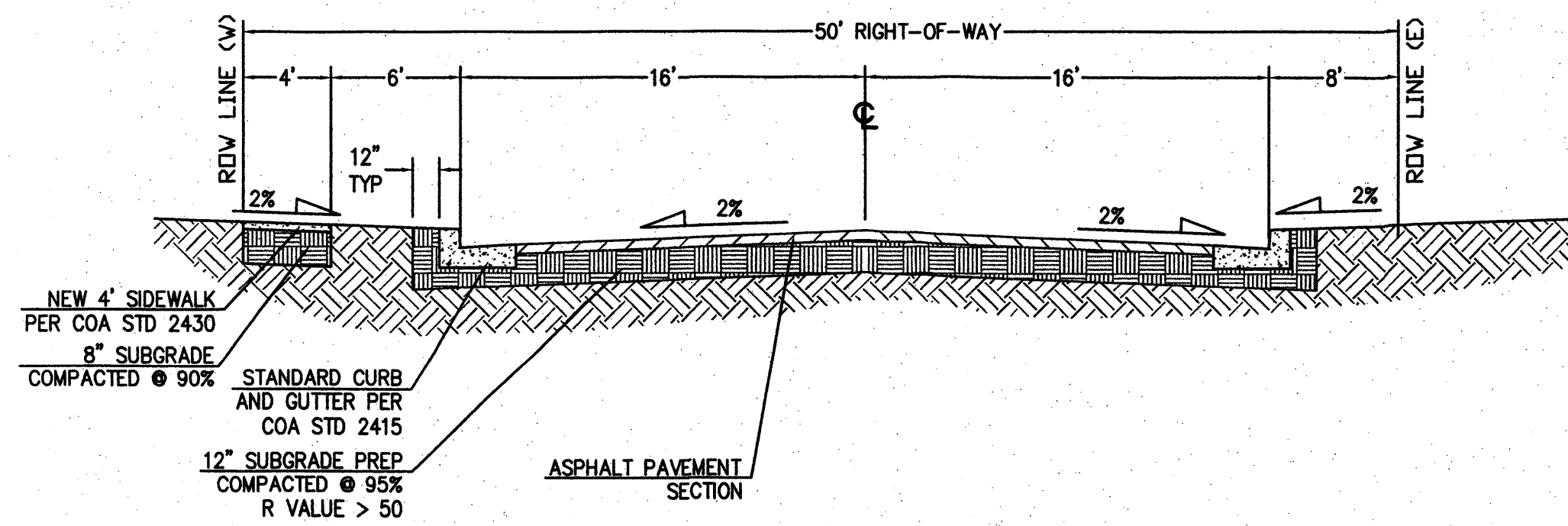
102 nd Street NW

1030 LF DF42" RCP-NEW



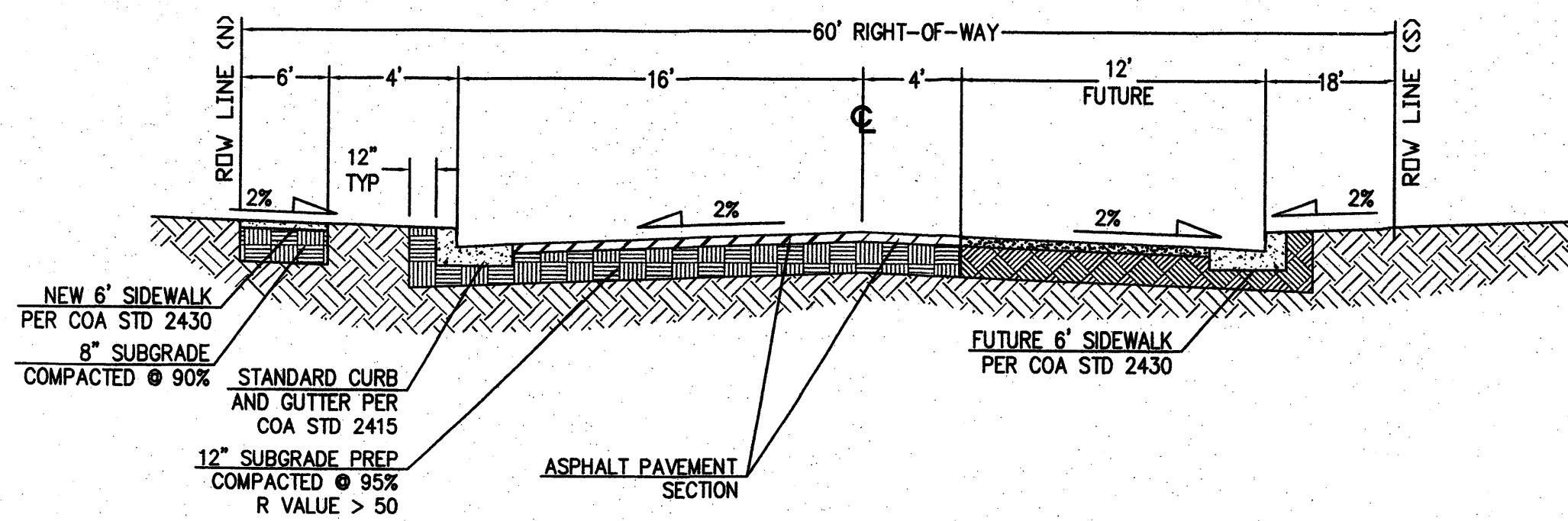
SITE PLAN
SCALE: 1"=40'-0"





LEONIDAS LANE NW North Property Line to Volcano Road NW

N. T. S.



VOLCANO ROAD NW Leonidas Lane to West Property Line

N. T. S.

TYPICAL OFFSITE ROADWAY SECTIONS

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Paradise RV Park
Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
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C-03

05.05.2011

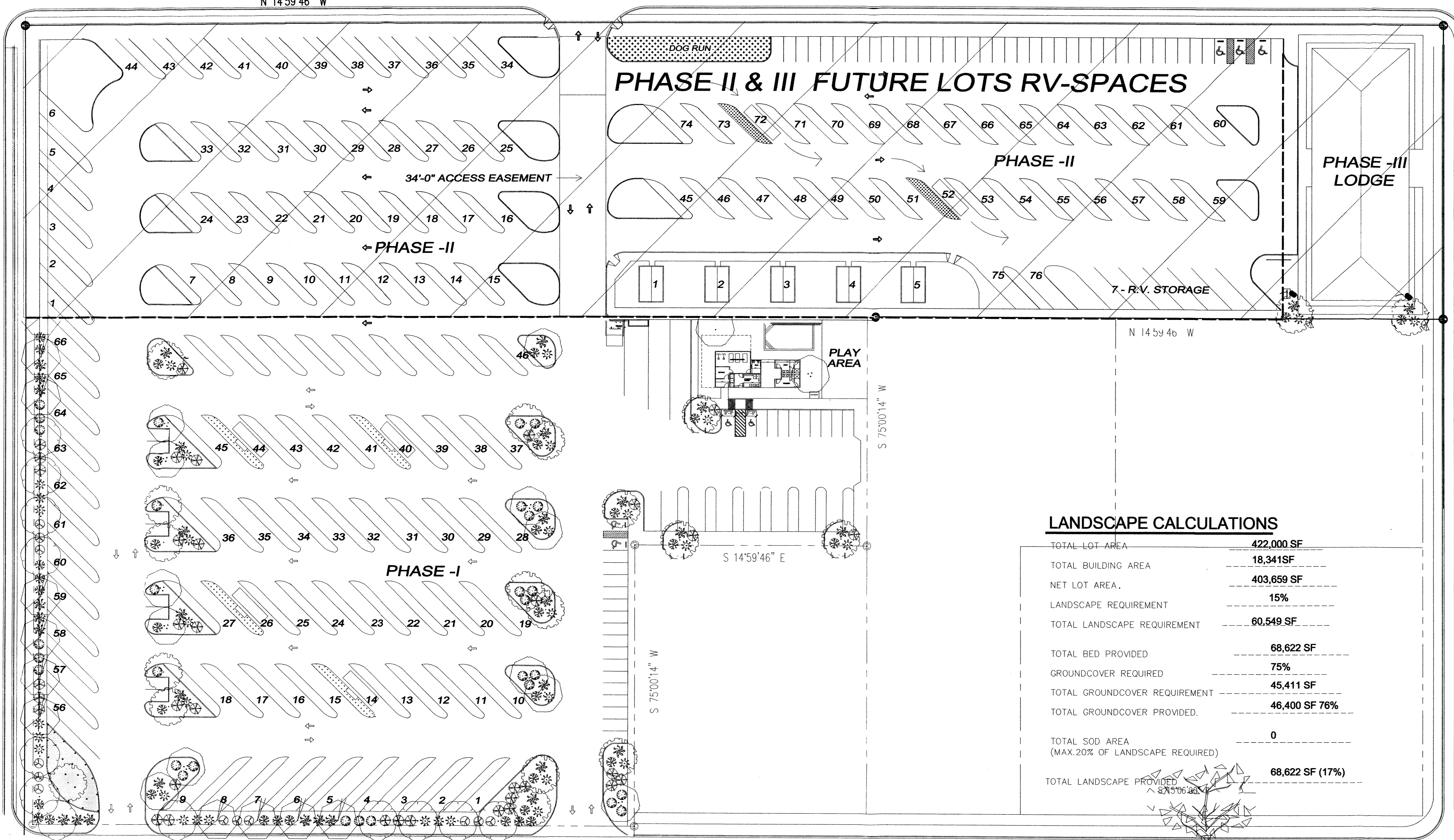
EDGE OF PAVEMENT

102 nd Street NW

N 14°59'46" W

Voicano Rd NW

Avalon Rd NW



LANDSCAPE CALCULATIONS

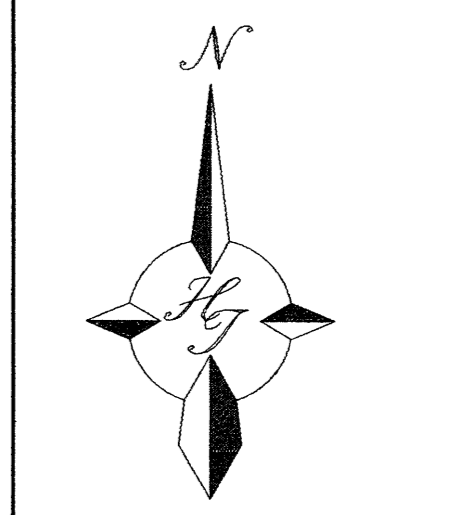
TOTAL LOT AREA	422,000 SF
TOTAL BUILDING AREA	18,341 SF
NET LOT AREA	403,659 SF
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	60,549 SF
TOTAL BED PROVIDED	68,622 SF
GROUNDCOVER REQUIRED	75%
TOTAL GROUNDCOVER REQUIREMENT	45,411 SF
TOTAL GROUNDCOVER PROVIDED	46,400 SF 76%
TOTAL SOD AREA (MAX. 20% OF LANDSCAPE REQUIRED)	0
TOTAL LANDSCAPE PROVIDED	68,622 SF (17%)

PLANT LEGEND
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- COMMON HACKBERRY
Celtis occidentalis
2' Gal., 12"-14" inst./40" x 40" maturity
Water (M) Allergy (L) OsF
- CHITALPA
Chilopsis x Catalpa
2' Gal., 12"-14" inst./30" x 30" maturity
Water (M) Allergy (L) OsF
- AUTUMN BLAZE MAPLE
Acer x Freemanii 'Autumn Blaze'
2' Gal., 12"-14" inst./40" x 50" maturity
Water (M) Allergy (L) OsF
- SYCAMORE
Platanus spp.
2' Gal., 12"-14" inst./60" x 10" maturity
Water (M+) Allergy (H) OsF

- GROUNDCOVERS**
- BUFFALO JUNIPER
Juniperus sabina 'Buffalo'
5 Gal., 24"-4" inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
 - WINTER JASMINE
Jasminum nudiflorum
1 Gal., 6"-15" inst./4" x 12" maturity
Water (L+) Allergy (L) 144sf
 - TRUMPET VINE
Campsis radicans
1 Gal., 6"-15" inst./climbing to 40'
Water (M) Allergy (L)
Unstaked-groundcover
 - BLUE CHIP JUNIPER
Juniperus horizontalis 'Blue Chip'
5 Gal., 24"-4" inst./10" x 8' maturity
Water (L+) Allergy (H) 64sf
 - LADY BANKS ROSE
Rosa banksiae
5 Gal., 24"-4" inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked groundcover
 - HONEYSUCKLE
Lonicera japonica 'Halliana'
1 Gal., 6"-15" inst./3' x 12" maturity
Water (M) Allergy (L) 144sf

- HARDSCAPES**
- COMMERCIAL GRADE STEEL DECK
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - SOD TURF WITH POP-UP HEADS
 - * DENOTES EVERGREEN PLANT MATERIAL



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

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7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

GRAPHIC SCALE

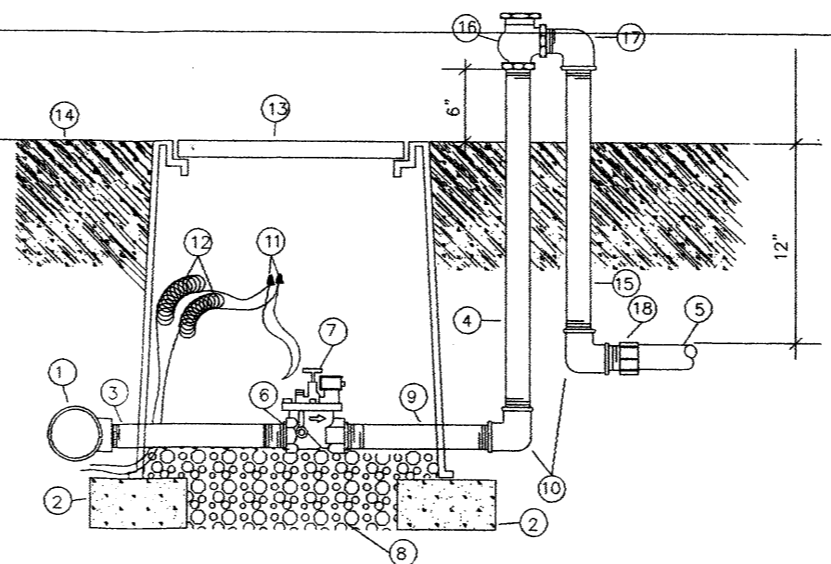
SCALE: 1"=40'

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.
It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.
Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: LEONIDAS
Required 10 Provided 10
Name of Street: VOLCANO
Required 20 Provided 20
Name of Street: 102nd
Required 32 Provided 32
Name of Street: AVALON
Required 4 Provided 4
NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

Leonidas Ln



TREE PLANTING DETAIL

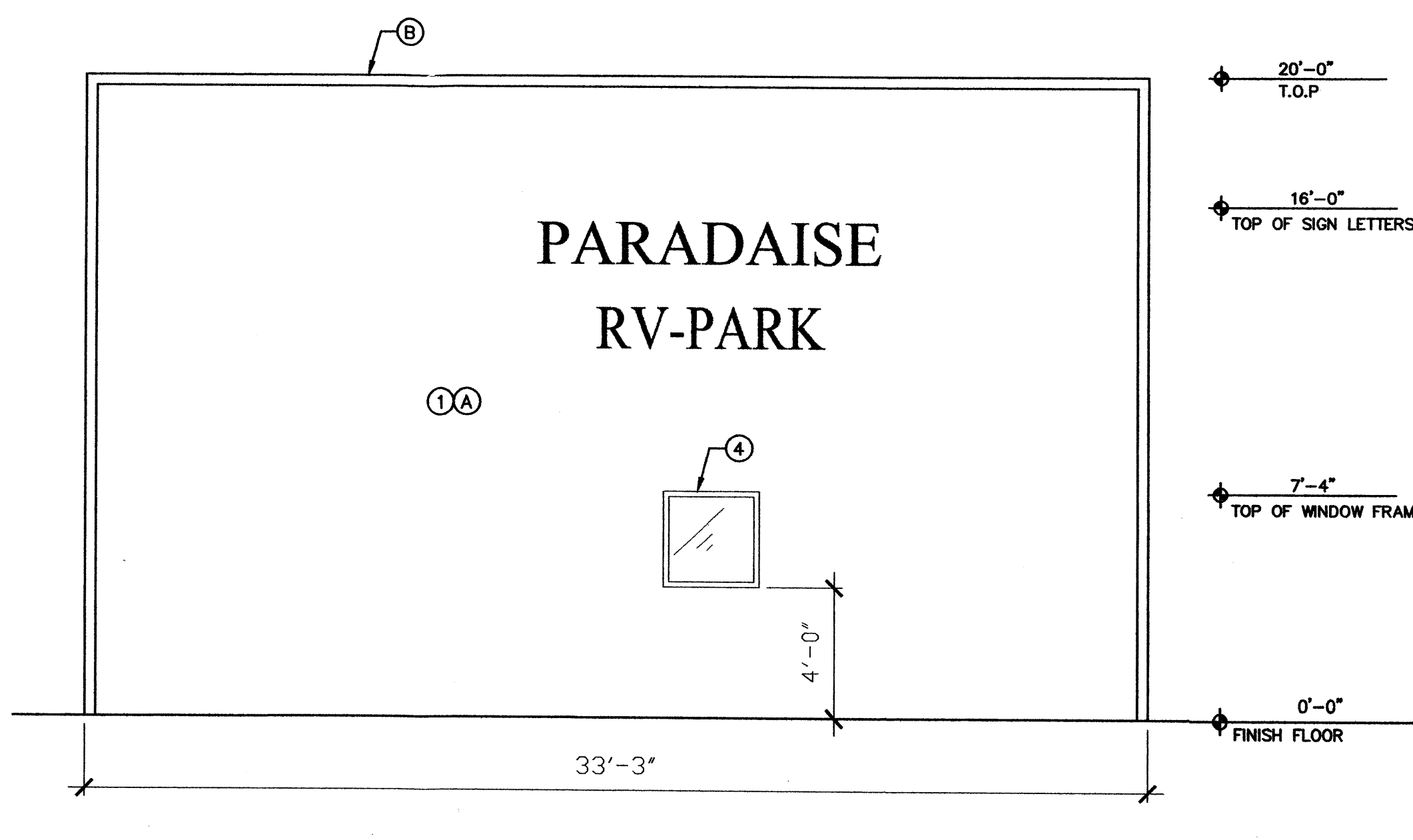
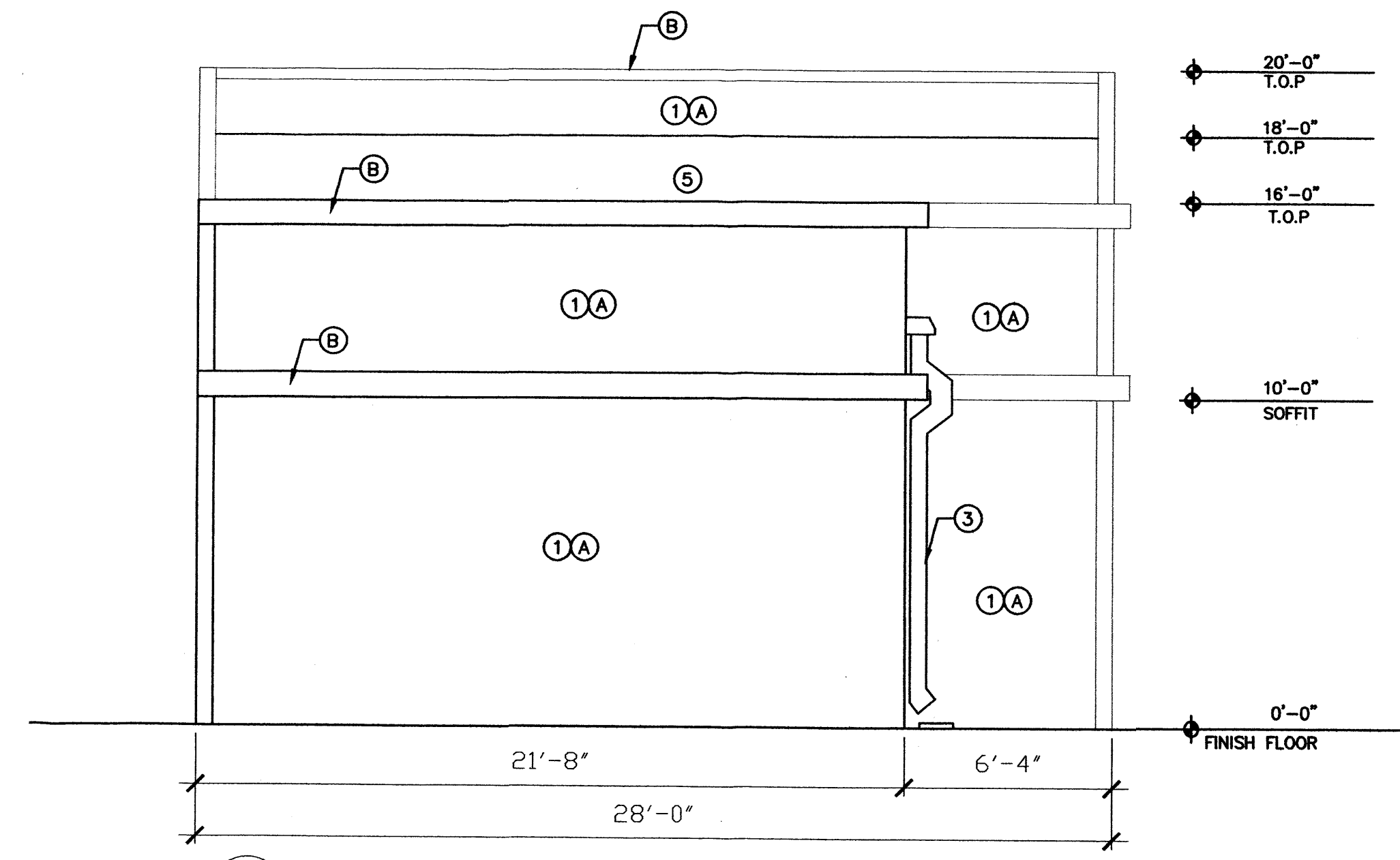
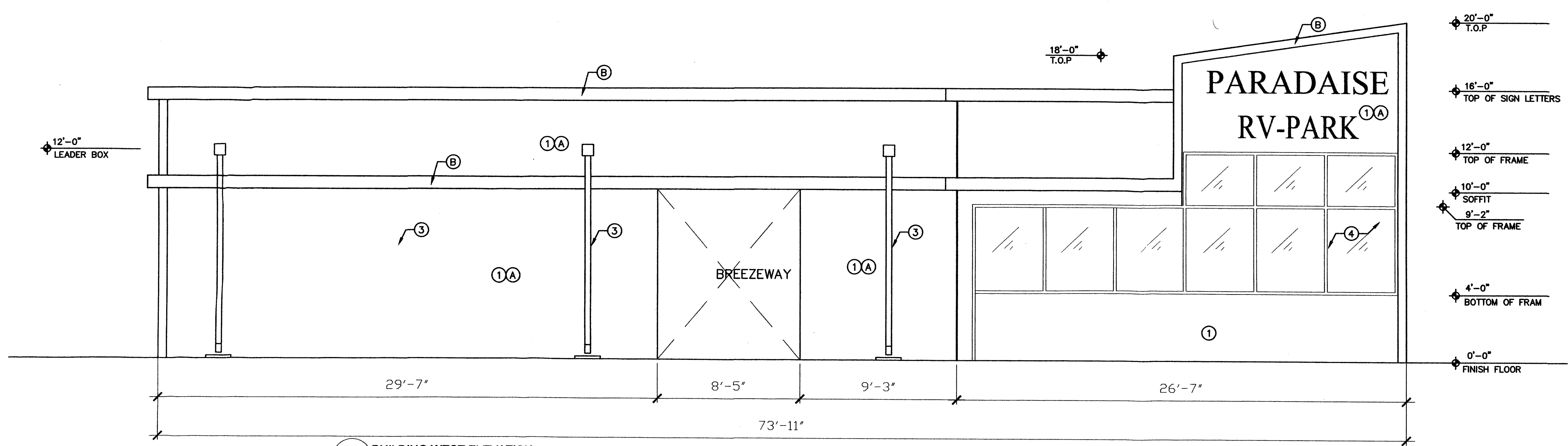
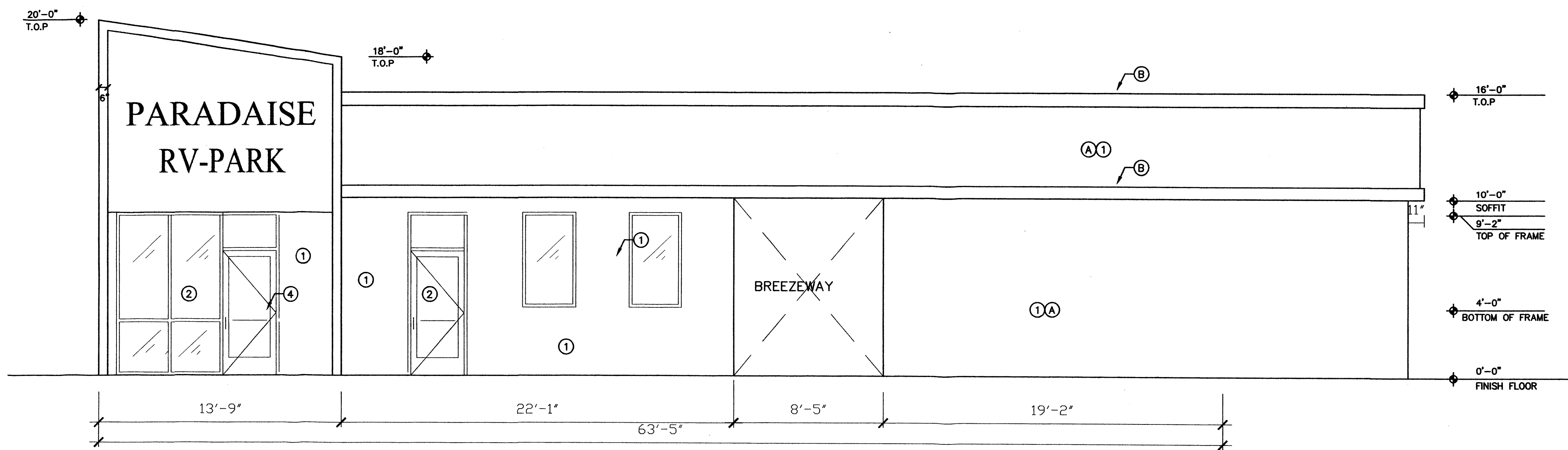
NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.

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Fax 505.242.1737

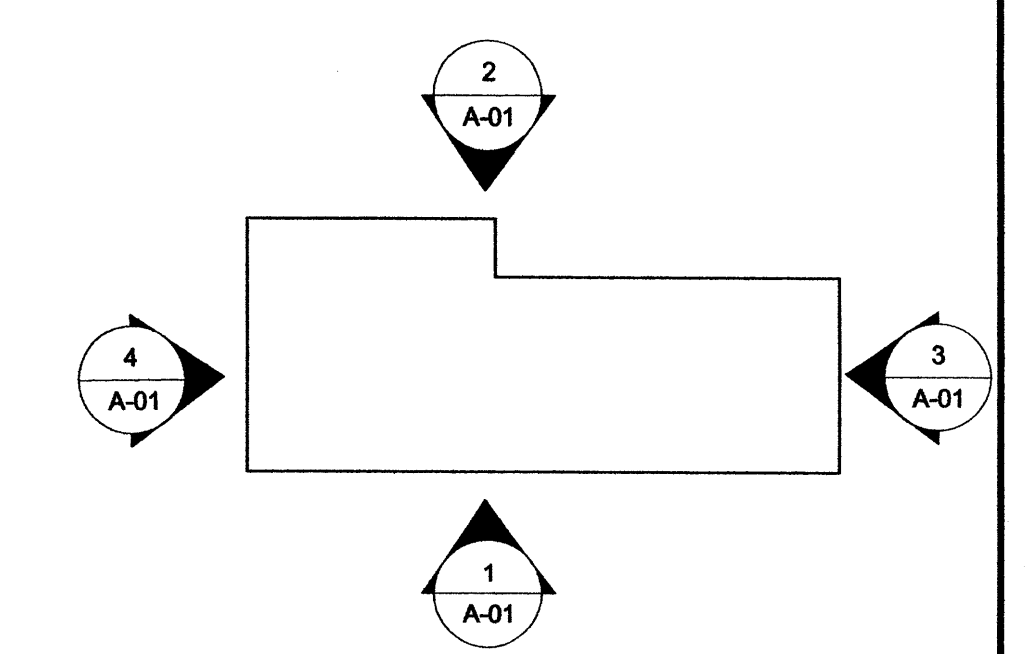
Paradise RV Park
Avalon Rd/ Leonidas Ln
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
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L1



- KEYED NOTES**
- STUCCO SYSTEM - 3 COAT, 17 GA. STUCCO WIRE, 15# BUILDING PAPER, 7/16" APA RATED SHEATHING.
 - 3'-0"x7'-0" HOLLOW METAL INSULATED DOOR FRAME, PRIME, PAINT TO MATCH STUCCO COLOR, TEMPERED GLAZING.
 - 8"x8" LEADER BOX WITH 2" OVERFLOW, 4"x4" METAL DOWN SPOUT, PAINT TO MATCH STUCCO COLOR/ CONCRETE SPLASH BLOCK
 - HOLLOW METAL WINDOW FRAME, AND DOUBLE GLAZING, PRIMES, PAINT TO MATCH STUCCO.
- STUCCO COLOR**
- A. DARK GREY TAN.
B. BROWN GREY



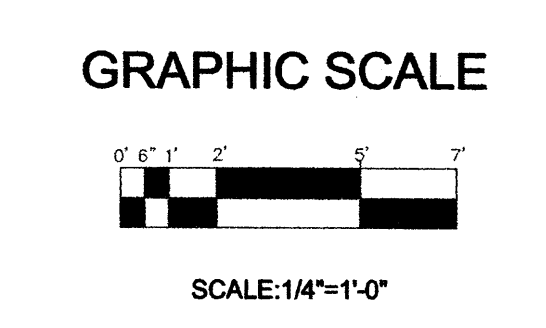
CLUB HOUSE BUILDING ELEVATIONS

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Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
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A-01
04.12.2012



PARADISE RV-PARK

Avalon Road / 102nd Street NW

Albuquerque, NM. 87120

Design Review Board (DRB) Submittal Site Development Plan For Building Permit

Project No. 1008830

JUNE , 2012

APPROVED - AEHD

SIGNATURE _____ DATE _____

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DETAILS-----	SP-2
<u>CIVIL</u>	
CONCEPTUAL GRADING PLAN-----	C-01
CONCEPTUAL UTILITY PLAN-----	C-02
TYPICAL ROADWAY SECTIONS-----	C-03
<u>LANDSCAPE</u>	
LANDSCAPE PLAN-----	L-1
<u>ARCHITECTURAL</u>	
BUILDING ELEVATIONS-----	A-01

PROJECT DATA

LEGAL DESCRIPTION
PRELIMINARY PLAT
TRACT 3E
ROW TWO (2), UNIT A WEST OF WESTLAND
WITHIN THE TOWN OF ATRISCO GRANT SECT. 20, T10N, R2E, NMPM
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AREA SUMMARY:

GROSS BUILDING AREA: CLUB HOUSE =1500 SF
GROSS DENSITY OF RV IS 15 RV'S PER ACRE

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2009
* NFPA 1194:
STANDARD FOR RECREATIONAL VEHICLE PARKS
AND CAMPGROUNDS 2011 EDITION
* THE DEVELOPMENT SHALL COMPLY WITH THE
AREA LIGHTING REGULATIONS, 14-16-3-9 OF
THE ZONING CODE.
EXISTING ZONE: SU-1 C2 INCLUDING CAMP
GROUND
ZONING: SU-1
ZONE ATLAS MAP: K-8-Z

PROPOSED ZONE

SU-1 FOR MIXED USE TO INCLUDE RV- PARK
LODGE & RV STORAGE

PHASE I

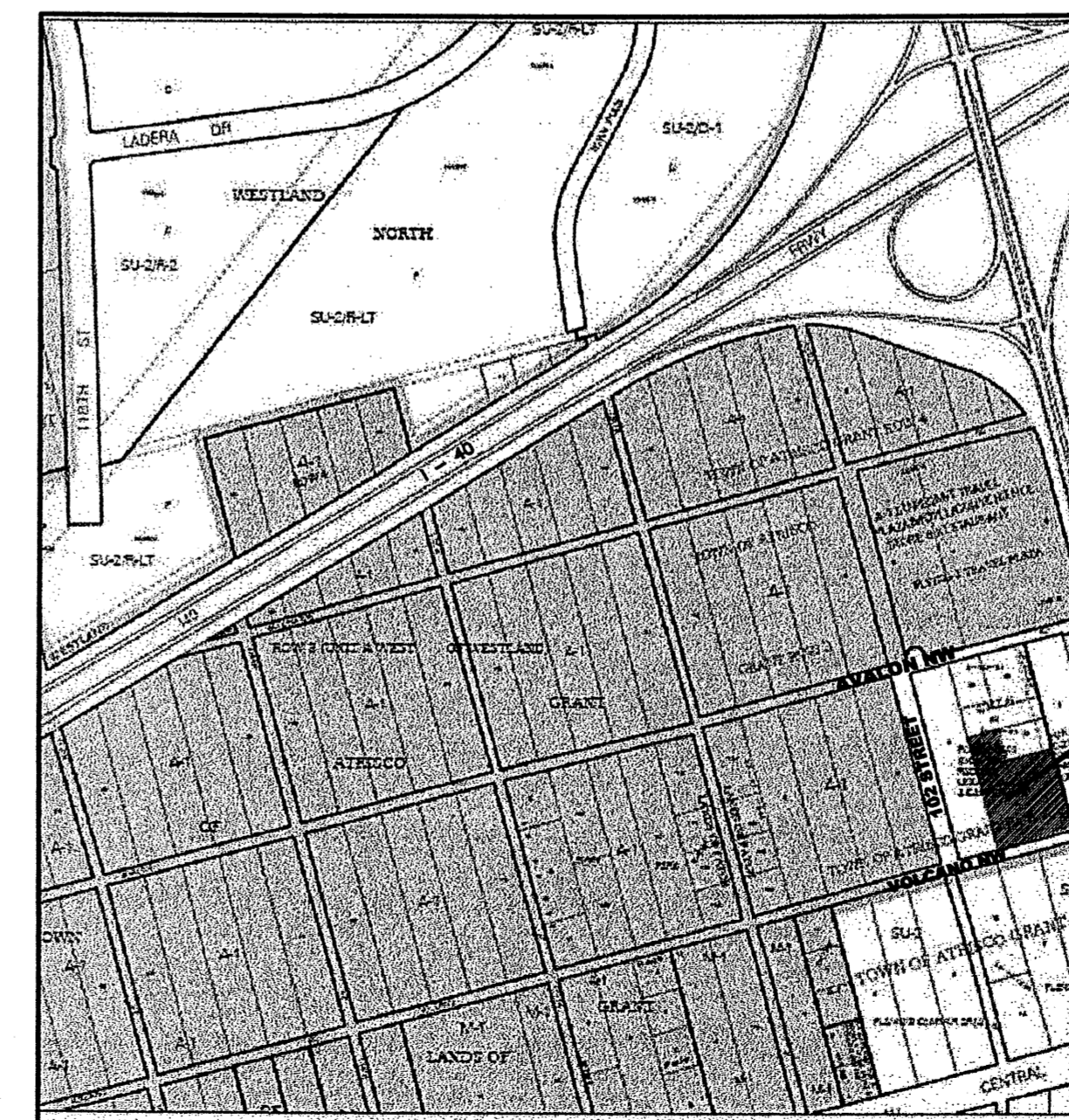
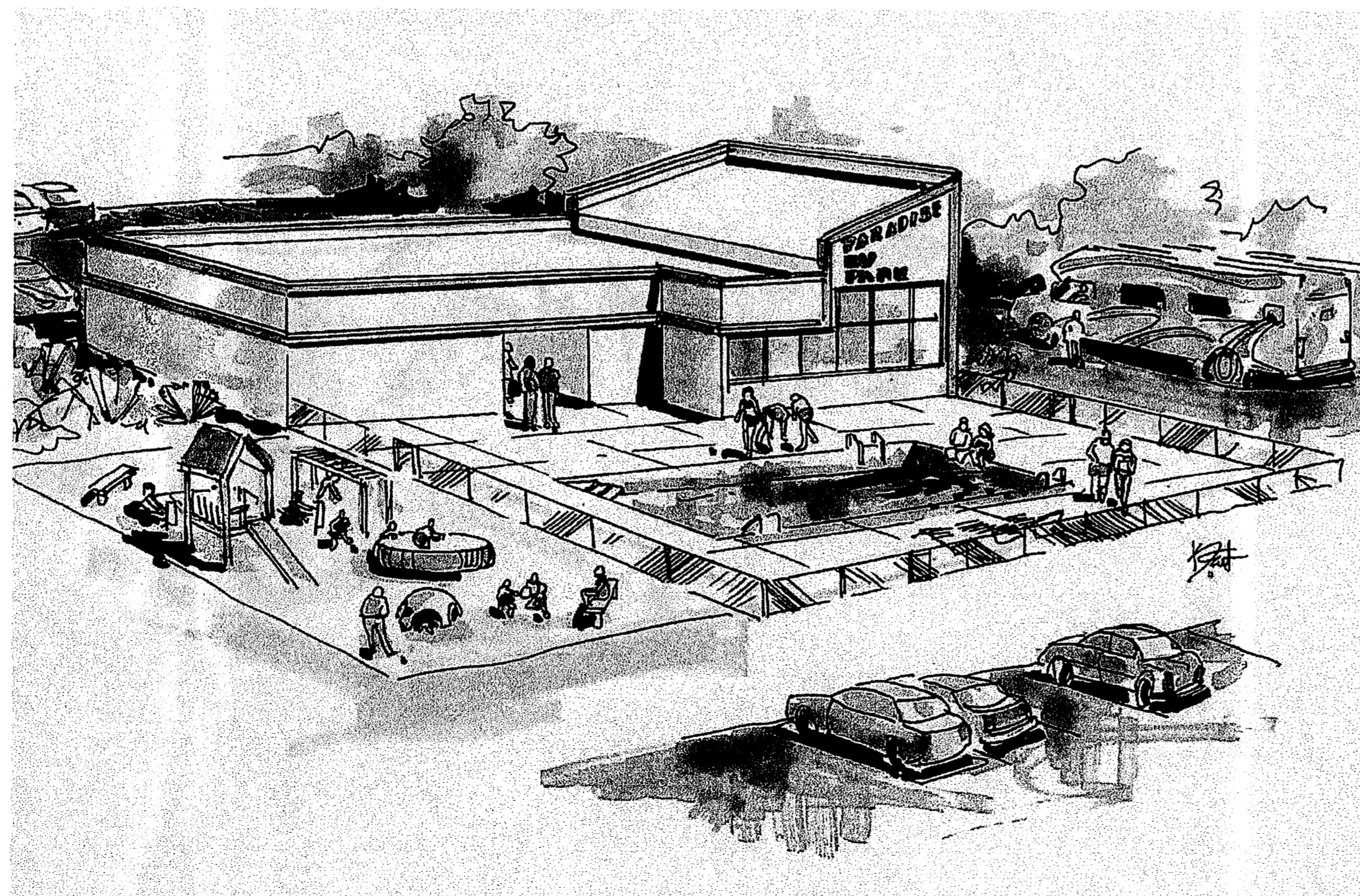
1. CLUB HOUSE & POOL
2. (52'-0") LARGE RV SPACES (L) = 36
3. (38'-6") MEDIUM RV SPACES (M) = 30
4. (30'-0") SMALL RV SPACES (S) = 8
TOTAL = 74
GROSS BUILDING AREA: CLUB HOUSE =1500SF
PARKING TABULATION
CAR PARKING SPACES =29 TOTAL
ADA PARKING SPACES =4
MOTOR CYCLE SPACES =4
BIKE RACK = 4 BIKES

PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
AFRA CONSTRUCTION AND DESIGN
2501 YALE BLVD. SUITE 102
ALBUQUERQUE, NEW MEXICO 87106
CELL: (505) 315-1482
FAX: (505) 243-1561
CONTACT: TAFAZZUL HUSSAIN, AIA
email: thussain@afradesign.com

CIVIL: LARRY READ & ASSOCIATES
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ALBUQUERQUE, NM 87107
TEL: (505) 237-8421
FAX: (505) 237-8422
CONTACT: LARRY READ
email: lread@readengineering.com

LANDSCAPE: HILLTOP
7909 EDITH NE
ALBUQUERQUE, NEW MEXICO 87184
TEL: (505) 898-9690
FAX: (505) 998-7737
email: cnd@hilltoplandscaping.com



SITE
LOCATION

COVER SHEET

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Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

Paradise RV Park
Avalon Rd/ 102nd Street, NW
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CS-1

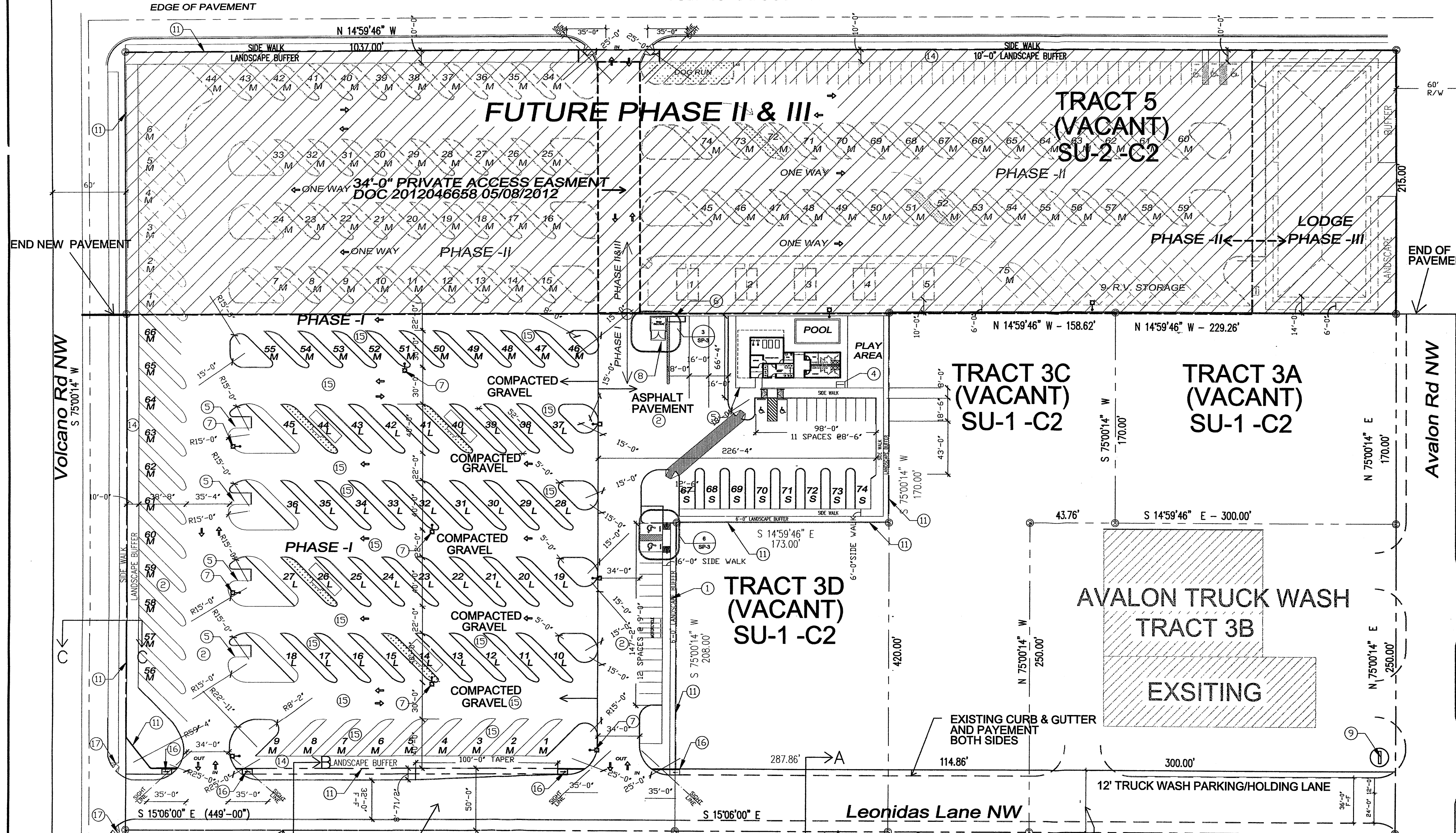
06.13.2012

LOCATION MAP
ZONE ATLAS: K-8-Z N.T.S.



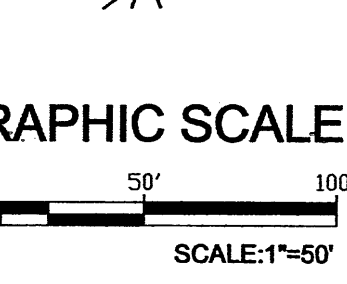
TRACT 6 (VACANT) ZONED A-1

102 nd Street NW

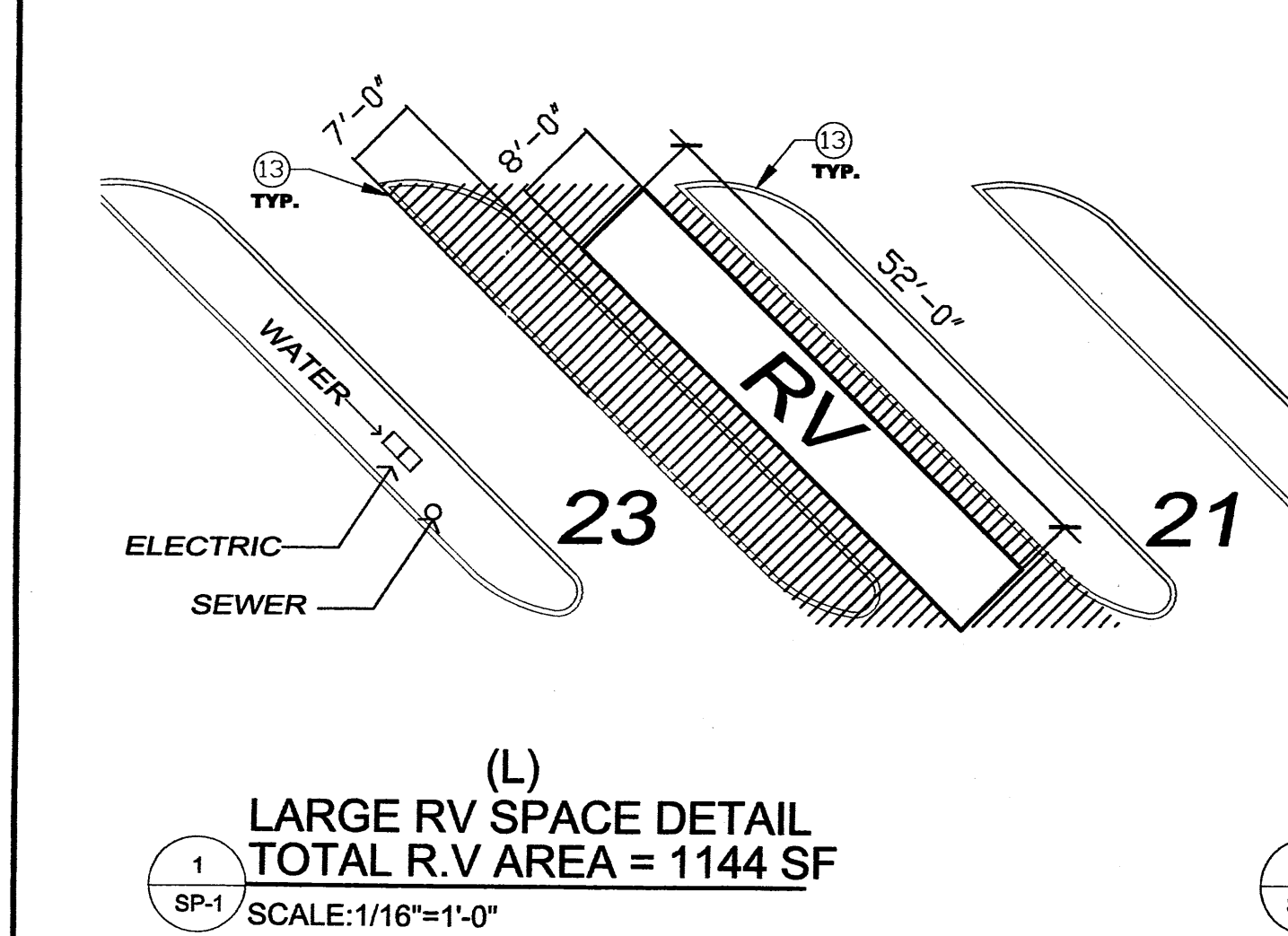


Volcano Rd NW
S 75°00'14" W

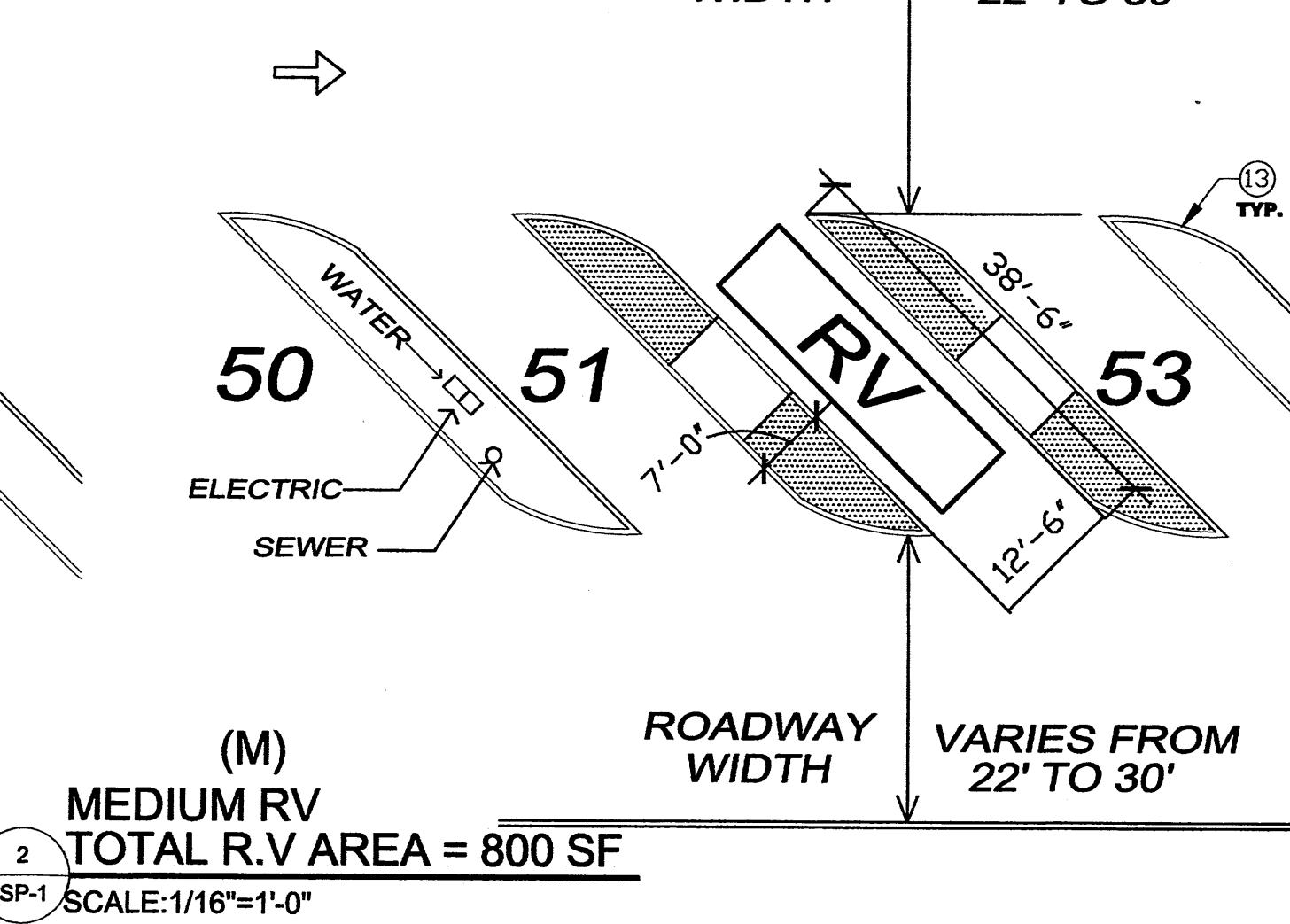
Avalon Rd NW
N 75°00'14" E



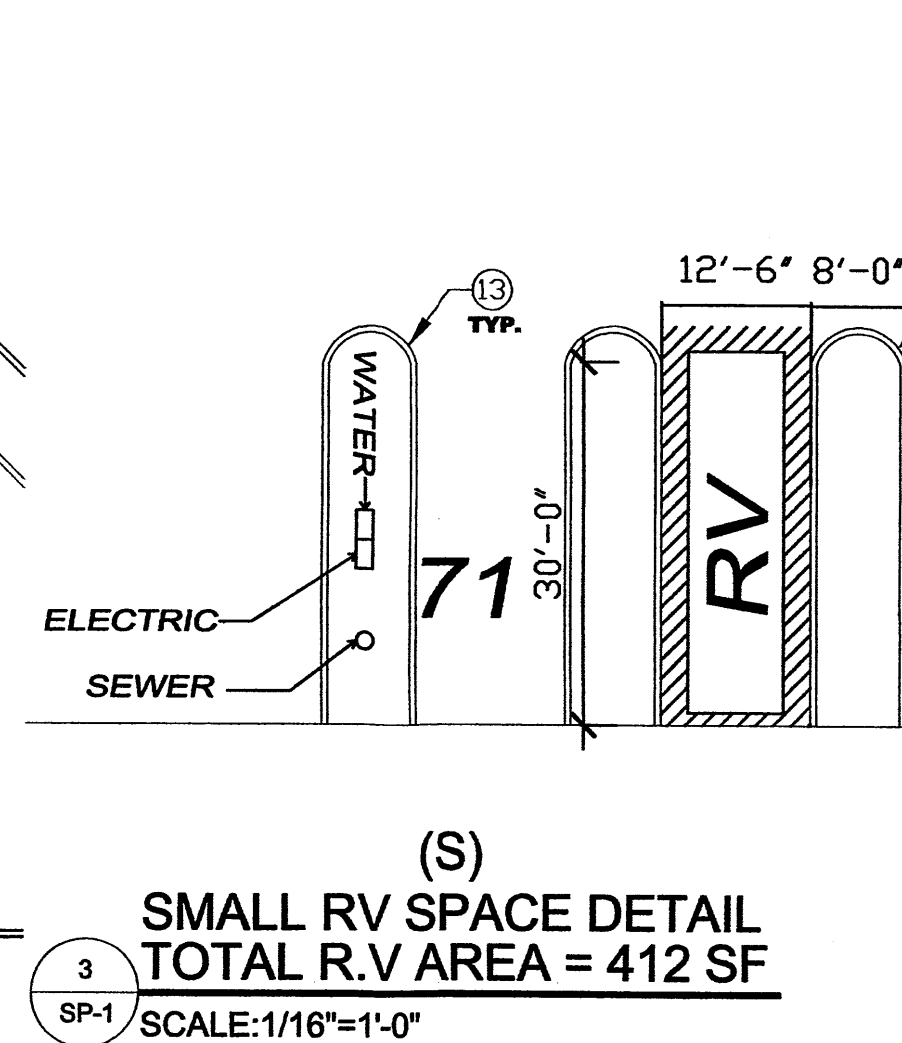
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SCALE: 1"=50'-0"



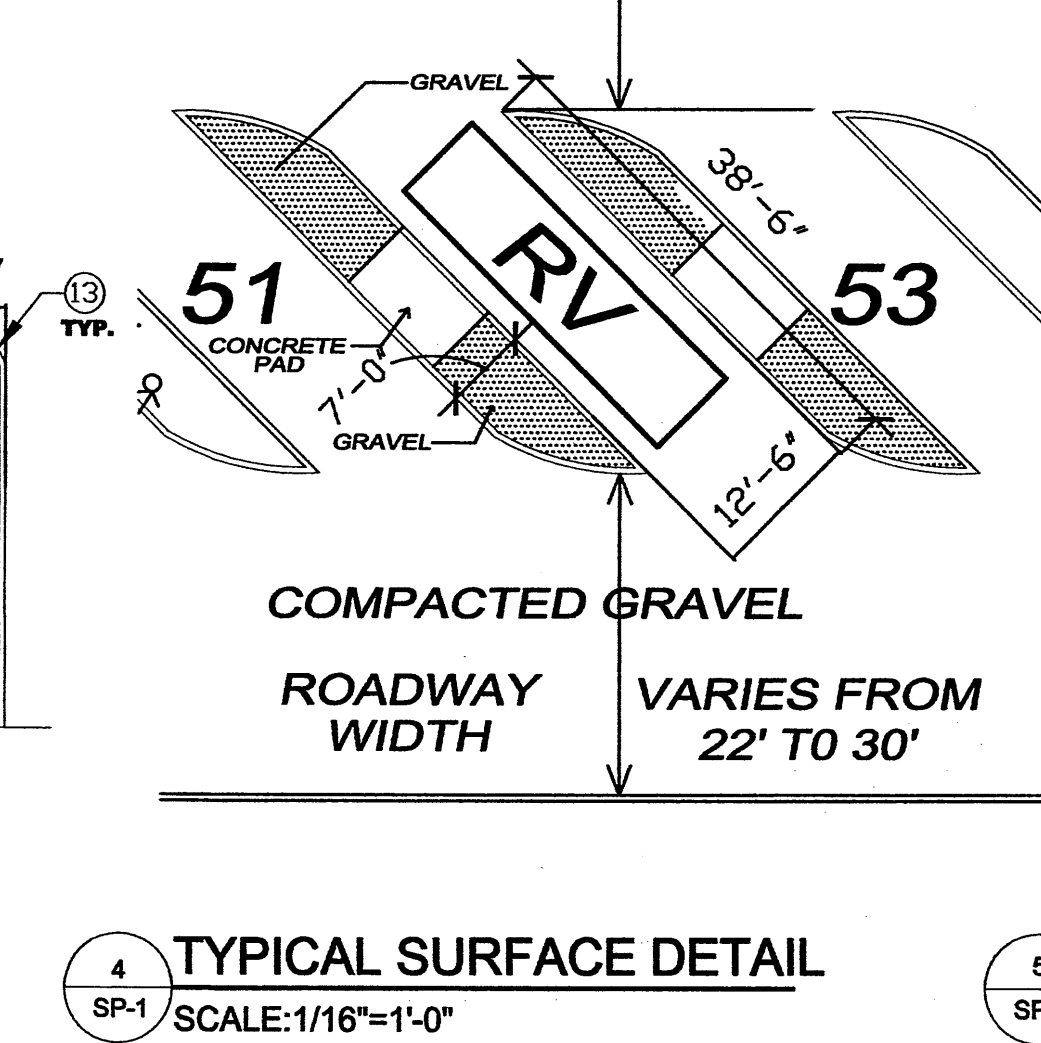
1 LARGE RV SPACE DETAIL
TOTAL R.V AREA = 1144 SF
SCALE: 1/16"=1'-0"



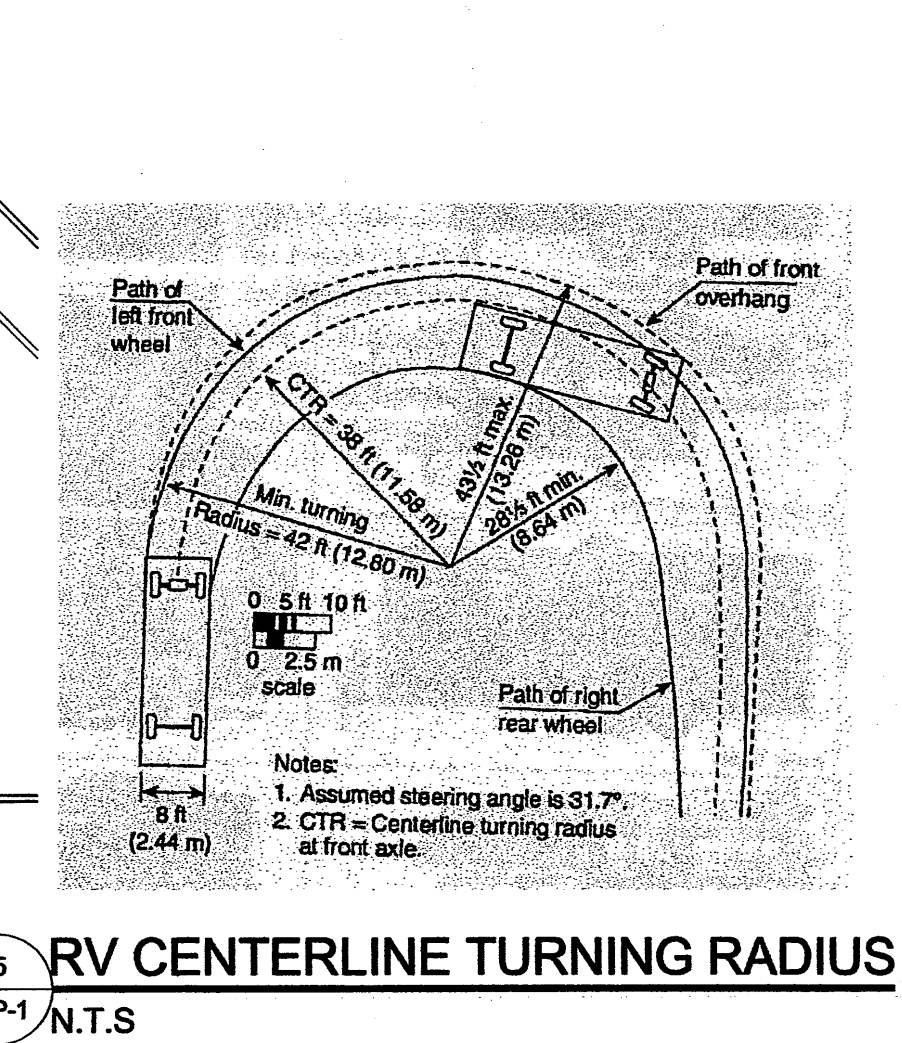
2 MEDIUM RV SPACE DETAIL
TOTAL R.V AREA = 800 SF
SCALE: 1/16"=1'-0"



3 SMALL RV SPACE DETAIL
TOTAL R.V AREA = 412 SF
SCALE: 1/16"=1'-0"



4 TYPICAL SURFACE DETAIL
SCALE: 1/16"=1'-0"



5 RV CENTERLINE TURNING RADIUS
N.T.S.

KEYED NOTES

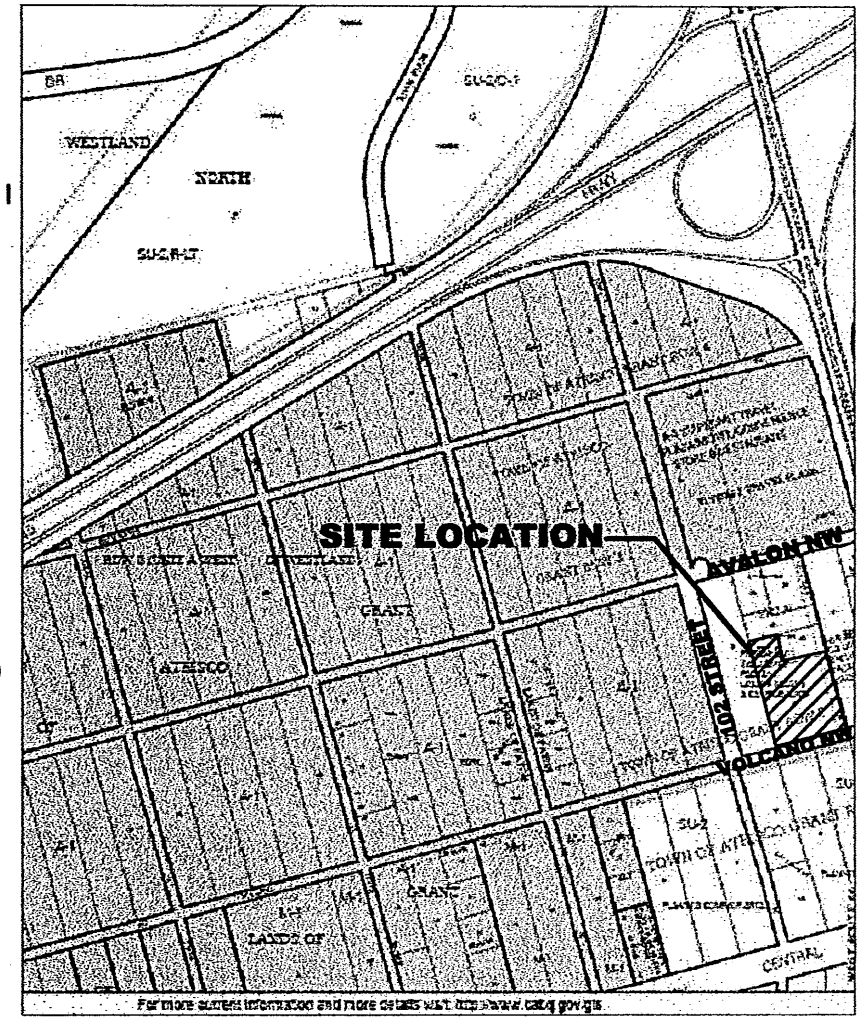
- CONCRETE CURB - SEE DETAIL 2/SP-02 PART OF PHASE I CONSTRUCTION.
- ASPHALT PAVING PART OF PHASE I CONSTRUCTION.
- ADA PARKING SEE 6/A-02 PART OF PHASE I CONSTRUCTION.
- BIKE RACK FOR 4 BIKES - SEE DETAIL 1/SP-02 PART OF PHASE I CONSTRUCTION.
- PARKING SPACE.
- RECYCLE PAD 5'-0"x15'-0", FENCED PART OF PHASE I CONSTRUCTION.
- PARKING LOT LIGHTING - SEE DETAIL 4/SP-02 PART OF PHASE I CONSTRUCTION.
- TRASH ENCLOSURE - SEE DETAIL 3/SP-02 PART OF PHASE I CONSTRUCTION.
- EXISTING PYLON SIGN SEE DETAIL 9/SP-02 PART OF PHASE I CONSTRUCTION.
- PERMANENT FOUNDATION REF. TO 3/SP-01 & 4/A-01 FOR ELEV.
- 12" 8" CMU FENCE WALL 6'-0" TALL SEE DETAIL 12/SP-02
- NOT USED
- CONCRETE CURB.
- 10 FEET LANDSCAPE BUFFER AND PUBLIC UTILITY EASEMENT (PUE)
- COMPACTED GRAVEL BASE
- BUILD UNIDIRECTIONAL WHEEL CHAIR RAMPS PER COA DWG 2426 WITH TRUNCATED DOMES.
- BUILD WHEEL CHAIR RAMPS PER COA DWG (2426, 2440 & 2441 CASE II) OFFSET TYPE WITH TRUNCATED DOMES.

PEM STANDARD NOTE:

- ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).
- THE EXISTING POND LOCATED ON TRACT 3E SHALL BE VACATED ONLY AFTER THE COMPLETION OF LEONIDAS LANE AND THE STORM DRAIN REQUIRED TO ACCOMMODATE THE FLOWS GENERATED FROM TRACTS 3A, 3B, 3C AND 3D INTO THE EXISTING CITY OF ALBUQUERQUE POND AS SHOWN ON SHEET CO-1 OF THE GRADING & DRAINAGE PLAN

PHASE I

- CLUB HOUSE & POOL
 - (52'-0") LARGE RV SPACES (L) = 36
 - (38'-6") MEDIUM RV SPACES (M) = 30
 - (30'-0") SMALL RV SPACES (S) = 8
 - TOTAL = 74
- GROSS BUILDING AREA: CLUB HOUSE = 1500 SF
- PARKING TABULATION**
- CAR PARKING SPACES = 29 TOTAL
ADA PARKING SPACES = 4
MOTOR CYCLE SPACES = 4
BIKE RACK = 4 BIKES



LOCATION MAP
ZONE ATLAS: K-8-Z

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
ORB CHAIRPERSON, PLANNING DEPARTMENT	DATE

NOTE: MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.

NOTE: SITE LIGHTING TO COMPLY WITH AREA LIGHTING REGULATIONS 14-16-3-9- OF THE ZONING CODE.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

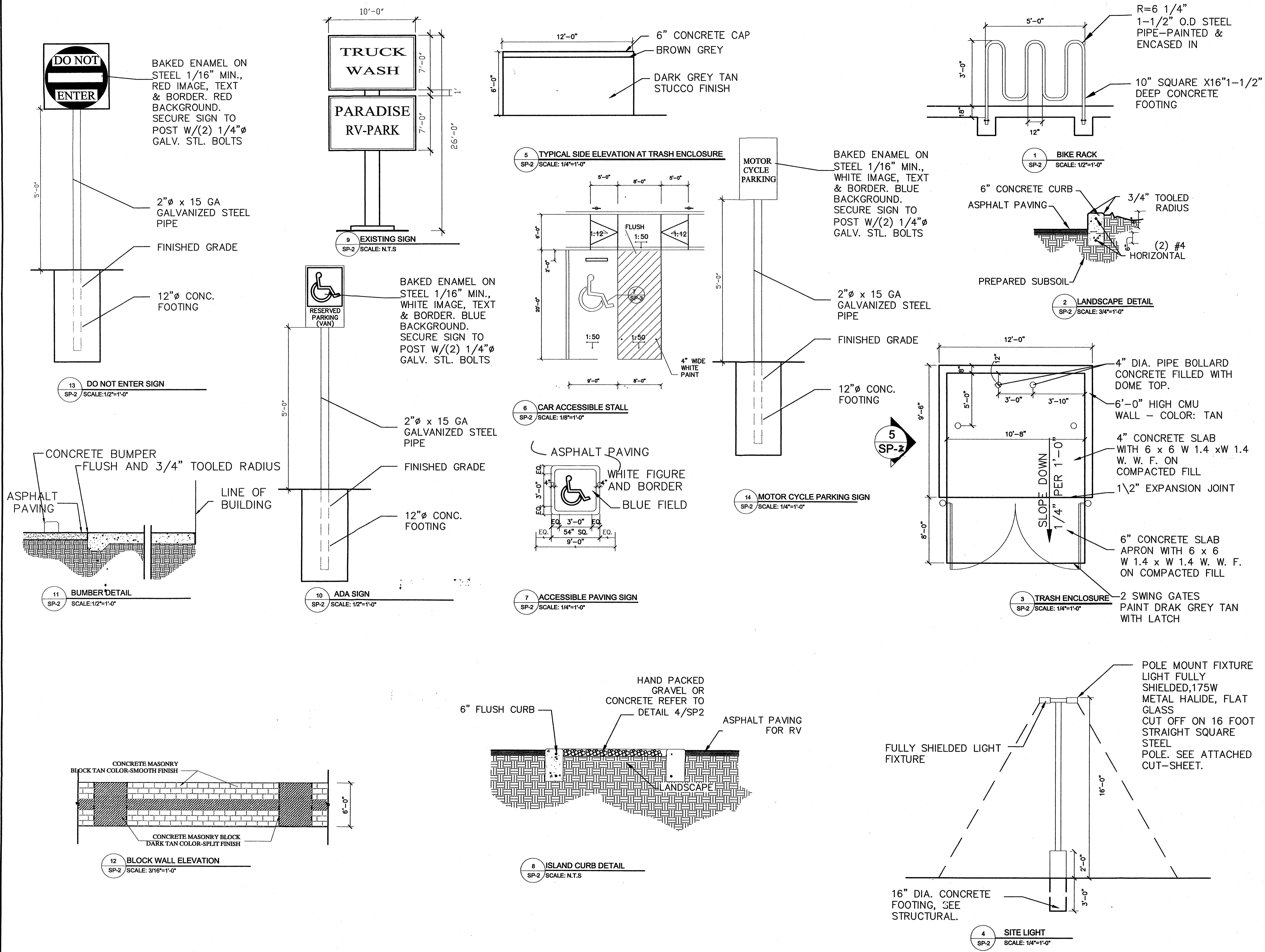
Afra Construction & Design
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Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
1			
2			
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SP-1
06.13.2012

KEYED NOTES



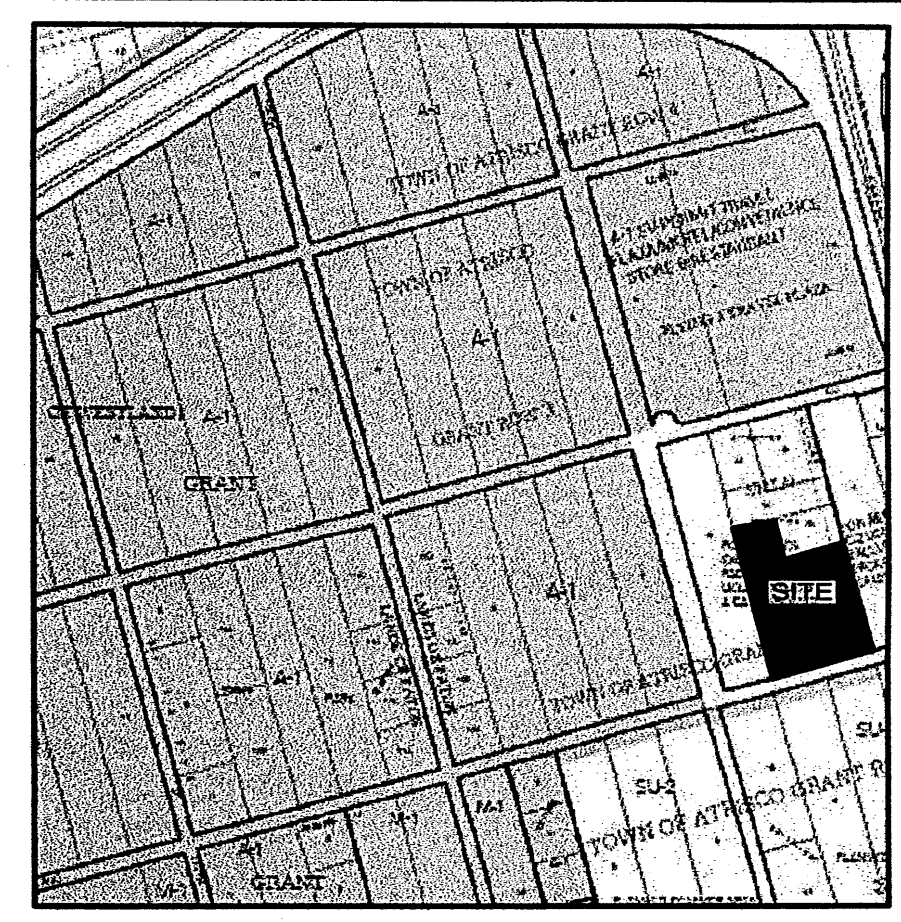
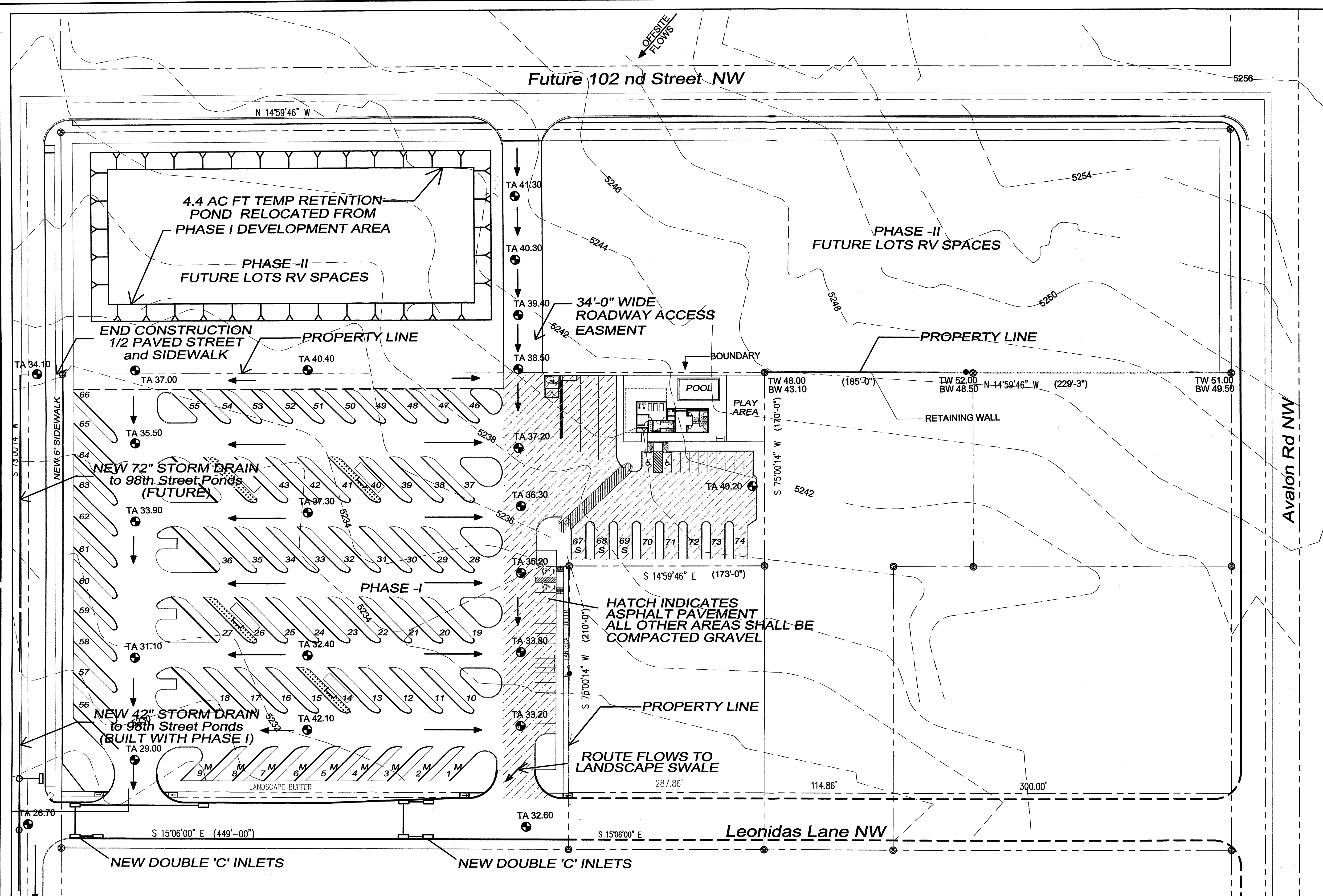
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DETAILS

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Fax 505.242.1737

Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-2
04.20.2012



VICINITY MAP ZONE ATLAS K-8

KEYED NOTES

LEGEND

- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- PROPOSED DIRECTION OF FLOW
- SPOT ELEVATION (5245)
- - - EXISTING CONTOUR LINE
- ▨ RETAINING WALL
- ▬ PROPOSED CURB + GUTTER
- PROPERTY LINE

CONCEPTUAL GRADING PLAN

Afra Construction & Design
 2501 Yale Blvd, Suite 102
 Albuquerque, New Mexico 87106
 Tel 505.242.1745
 Fax 505.242-1737

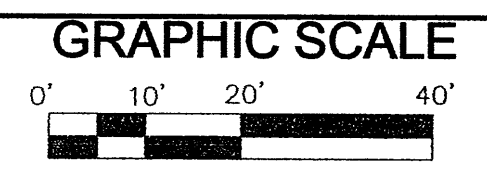
Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
1			
2			
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4			

C-01

06.13.2012

CONCEPTUAL GRADING PLAN
 SCALE: 1"=40'-0"

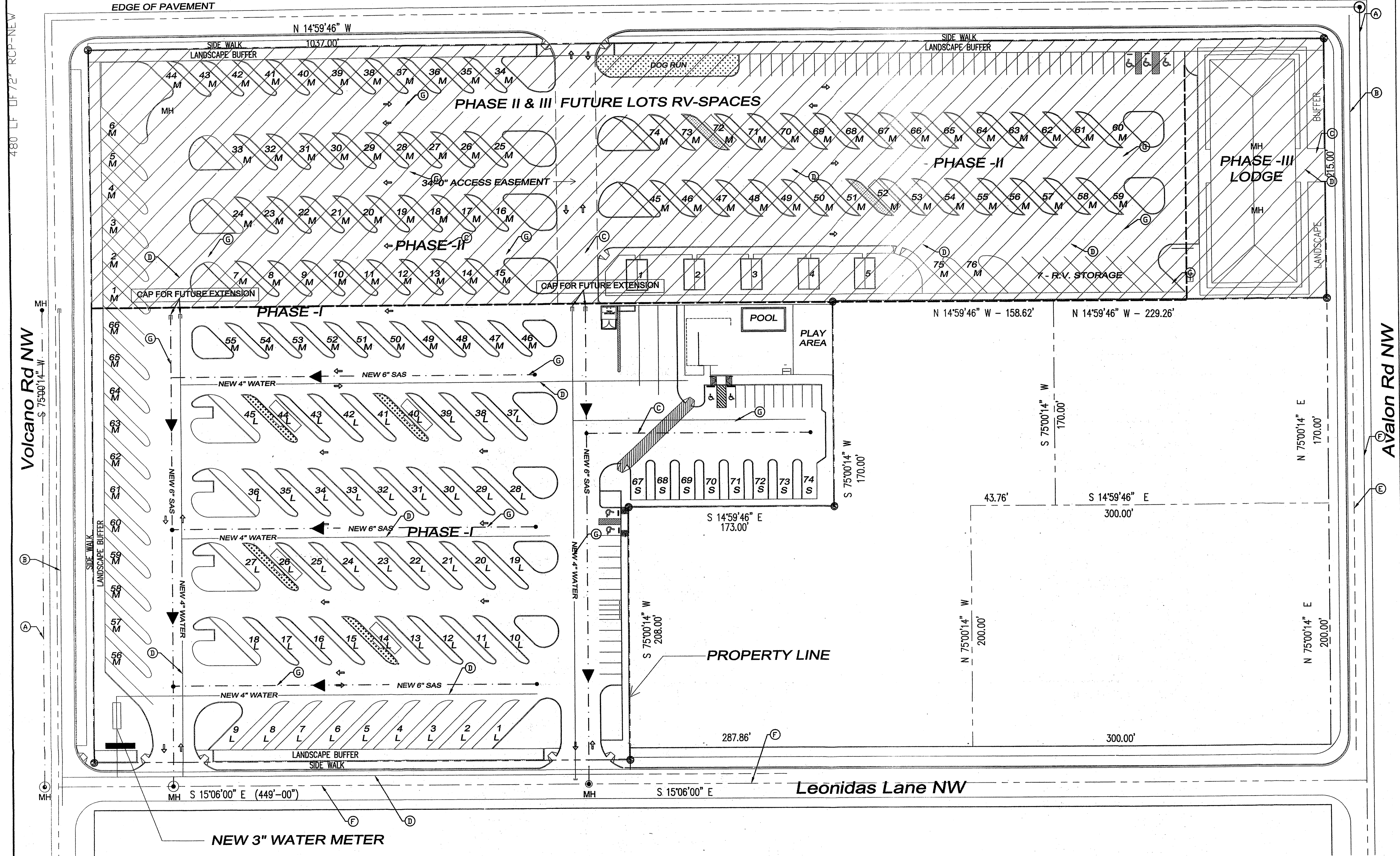


KEY NOTE

- (A) NEW 8" SAS
- (B) NEW 10" WATER LINE
- (C) NEW 6" SAS
- (D) NEW 4"- 6" WATER LINE
- (E) EXISTING 10" WATER LINE
- (F) EXISTING 8" SAS
- (G) NEW 4"-6" SAS

LEGEND

- MANHOLE
- CLEAN OUT



CONCEPTUAL UTILITY PLAN

Afra Construction & Design
 2501 Yale Blvd, Suite 102
 Albuquerque, New Mexico 87106
 Tel: 505.242.1745
 Fax: 505.242-1737

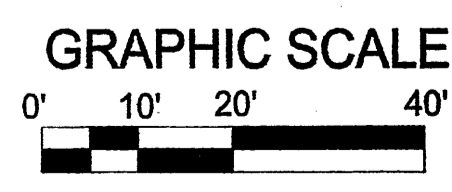
Paradise RV Park
 Avalon Rd/ Leonidas Ln, NW
 Albuquerque, NM 87120

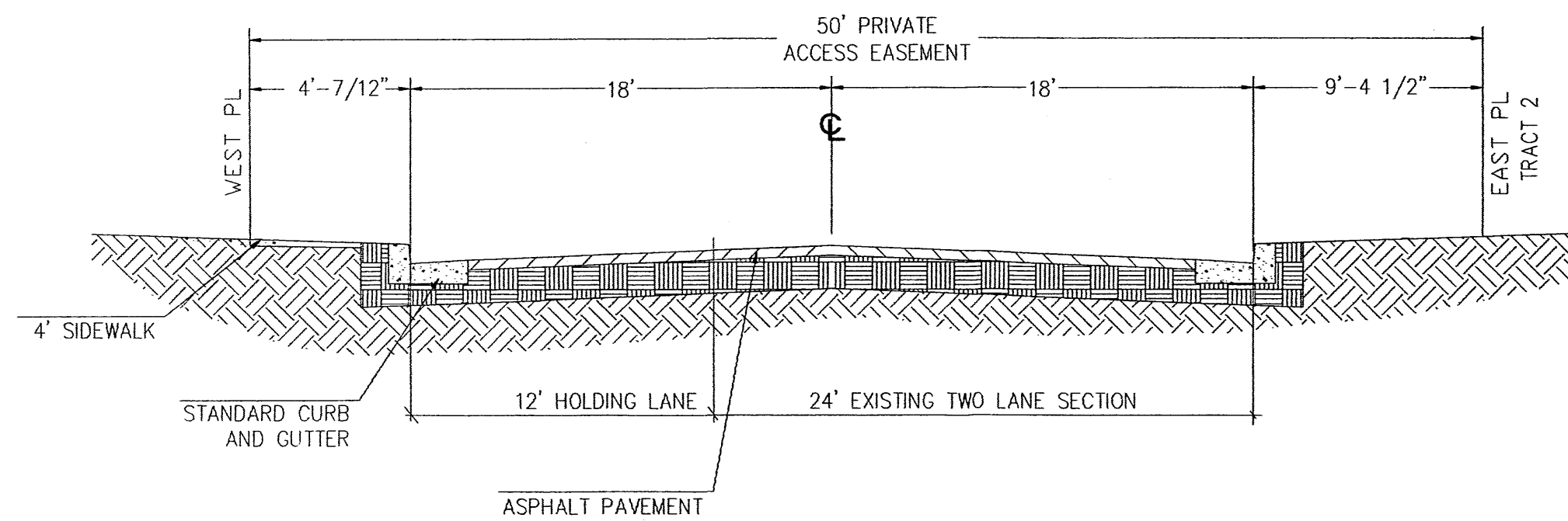
REV	DATE	DESCRIPTION	APVD
1			
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C-02

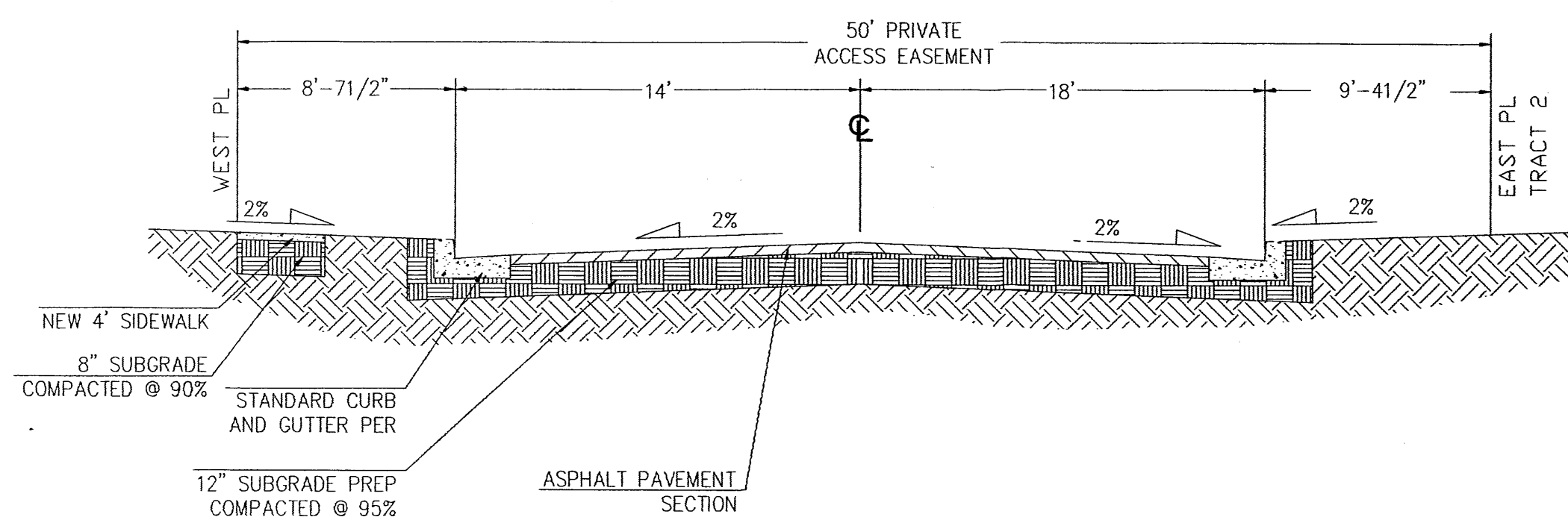
04.12.2012

SITE PLAN
 SCALE: 1"=40'-0"

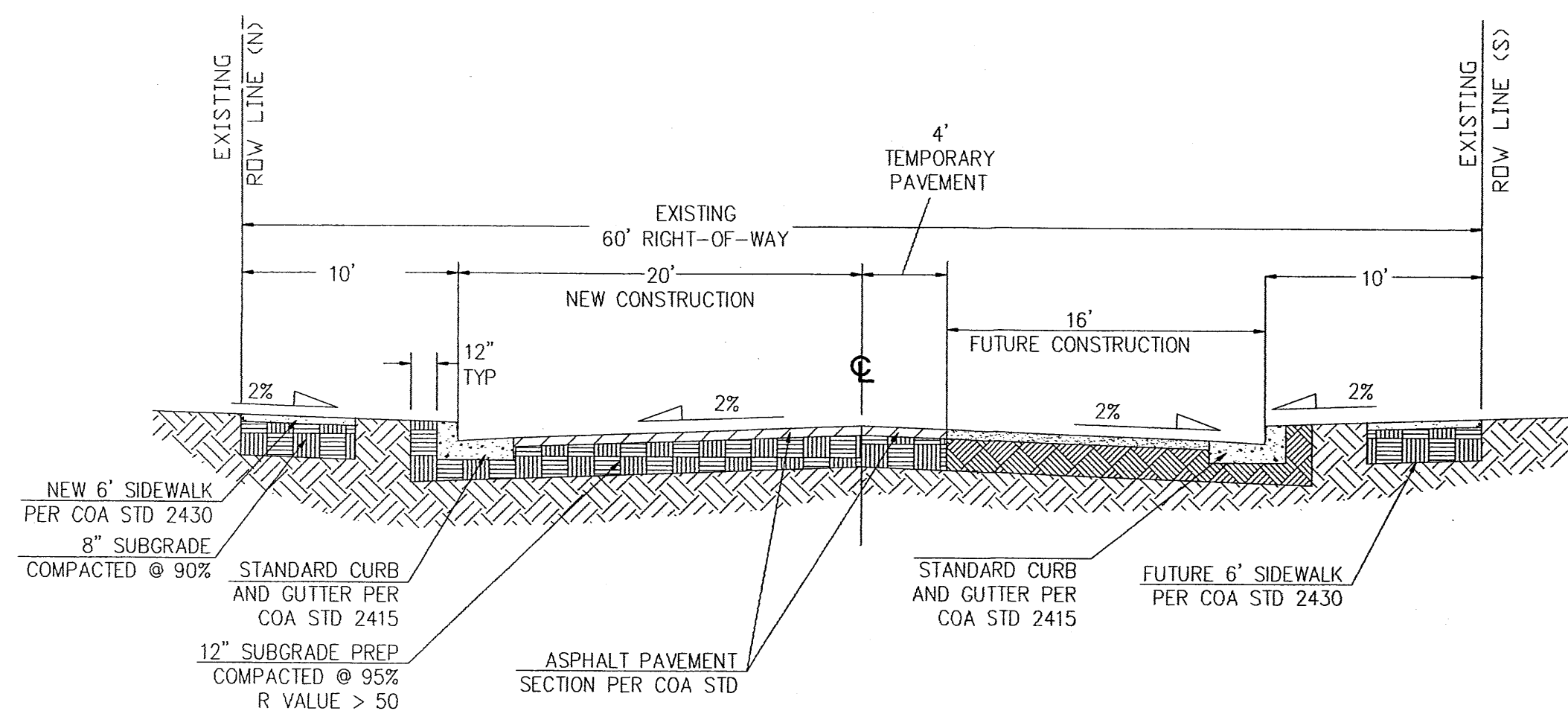




EXISTING LEONIDAS LANE TYPICAL SECTION FROM AVALON RD TO TRACT 3D (SOUTH PL)
N. T. S. SECTION A-A.



PROPOSED LEONIDAS LANE NW FROM NORTH PROPERTY LINE OF TRACT 3E TO VOLCANO ROAD NW
N. T. S. SECTION B-B



VOLCANO ROAD NW FROM LEONIDAS LANE TO WEST PROPERTY LINE OF TRACT 3E
N. T. S. SECTION C-C

TYPICAL OFFSITE ROADWAY SECTIONS

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Paradise RV Park

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Albuquerque, NM 87120

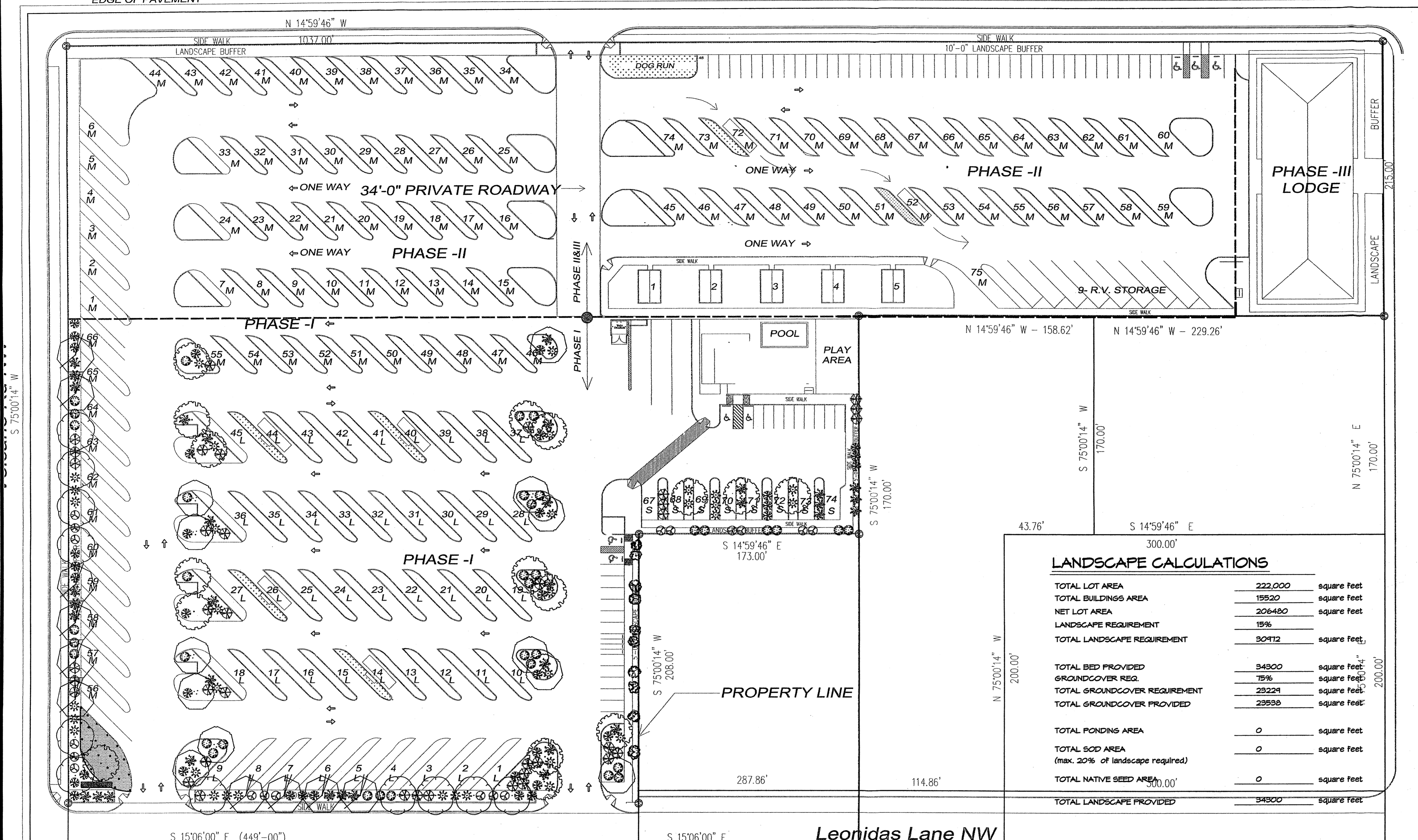
REV	DATE	DESCRIPTION	APVD
1			
2			
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4			

C-03

06.13.2012

102 nd Street NW

EDGE OF PAVEMENT



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	222,000	square feet
TOTAL BUILDINGS AREA	15520	square feet
NET LOT AREA	206480	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	30412	square feet
TOTAL BED PROVIDED	34300	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	22224	square feet
TOTAL GROUND COVER PROVIDED	23538	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	34300	square feet

PLANT LEGEND
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- COMMON HACKBERRY
Celtis occidentalis
2" Cal., 12'-14" Inst./40' x 40' maturity
Water (M) Allergy (L) Osf
- CHITALPA
Chilopsis x Catalpa
2" Cal., 12'-14" Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
- AUTUMN BLAZE MAPLE
Acer x Freemanii 'Autumn Blaze'
2" Cal., 12'-14" Inst./40' x 50' maturity
Water (M) Allergy (L) Osf
- SYCAMORE
Platanus spp.
2" Cal., 12'-14" Inst./60' x 70' maturity
Water (M+) Allergy (H) Osf

- GROUNDCOVERS**
- BUFFALO JUNIPER
Juniperus sabinna 'Buffalo'
5 Gal., 24"-4" Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
 - WINTER JASMINE
Jasminum nudiflorum
1 Gal., 6"-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
 - TRUMPET VINE
Campsis radicans
1 Gal., 6"-15" Inst./climbing to 40'
Water (M) Allergy (L)
Unstaked-Groundcover
 - BLUE CHIP JUNIPER
Juniperus horizontalis 'Blue Chip'
5 Gal., 24"-4" Inst./10' x 8' maturity
Water (L+) Allergy (H) 64sf
 - LADY BANKS ROSE
Rosa banksiae
5 Gal., 24"-4" Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
 - HONEYSUCKLE
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf

- HARDSCAPES**
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - SOD TURF WITH POP-UP HEADS
 - COMMERCIAL GRADE STEEL EDGE

* DENOTES EVERGREEN PLANT MATERIAL

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

GRAPHIC SCALE
40 20 0 20 40
SCALE: 1"=40'

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.
It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Shrubs to receive 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

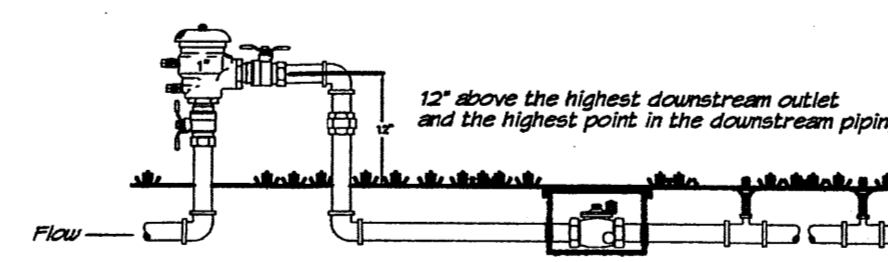
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

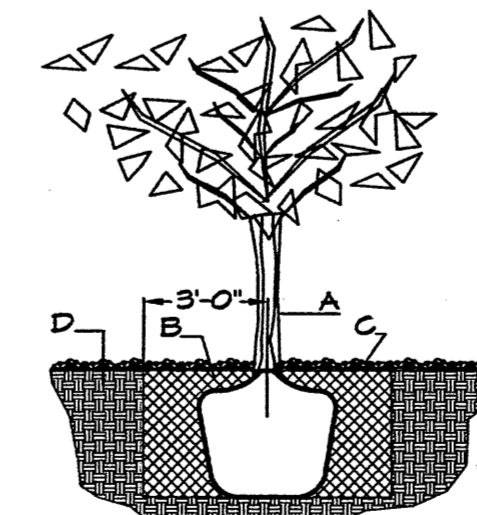
STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: LEONIDAS
Required 10 Provided 10
Name of Street: VOLCANO
Required 20 Provided 20
Name of Street: 102nd
Required 32 Provided 32
Name of Street: AVALON
Required 4 Provided 4

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



FEBCO MODEL 765
Pressure Vacuum Breaker
Outside Installation



- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.

TREE PLANTING DETAIL
NTS

GENERAL NOTES:

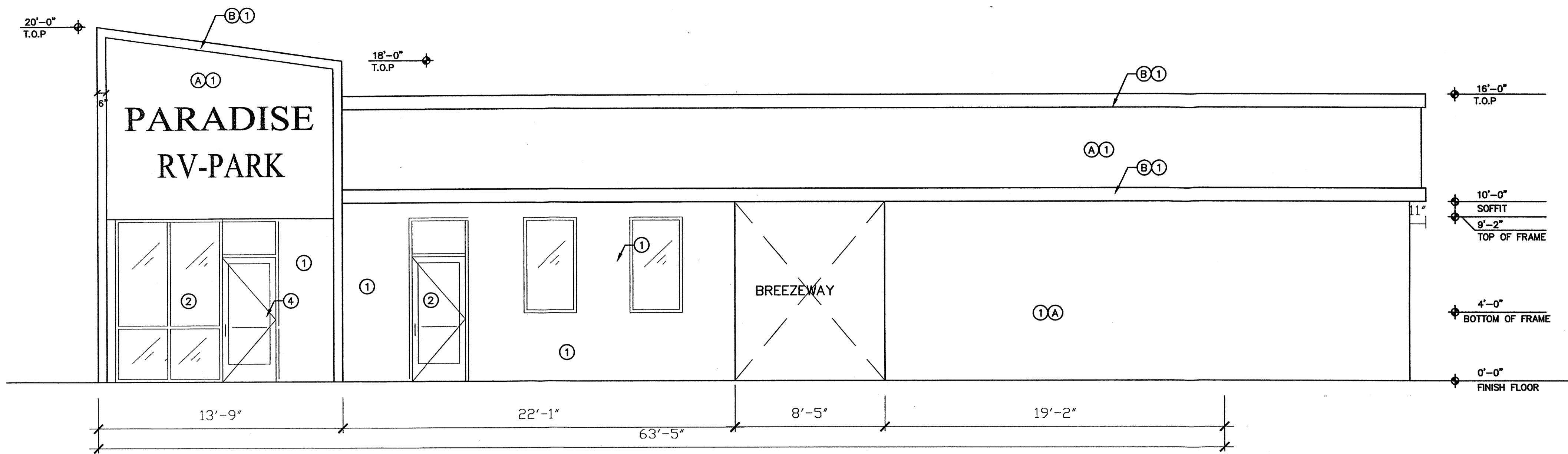
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE HAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

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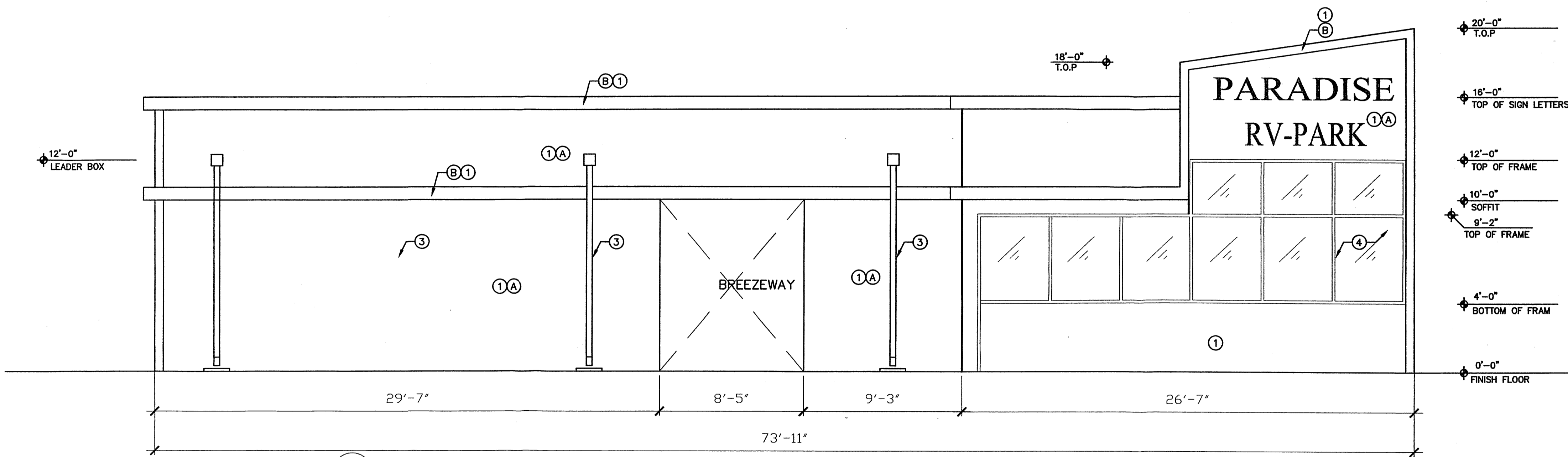
Paradise RV Park
Avalon Rd/ Leonidas Ln
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1	3-31-11	revised site	cmj
2	6-17-11	revised site	cmj
3	8-23-11	revised site	cmj
4	5-24-12	revised site	cmj

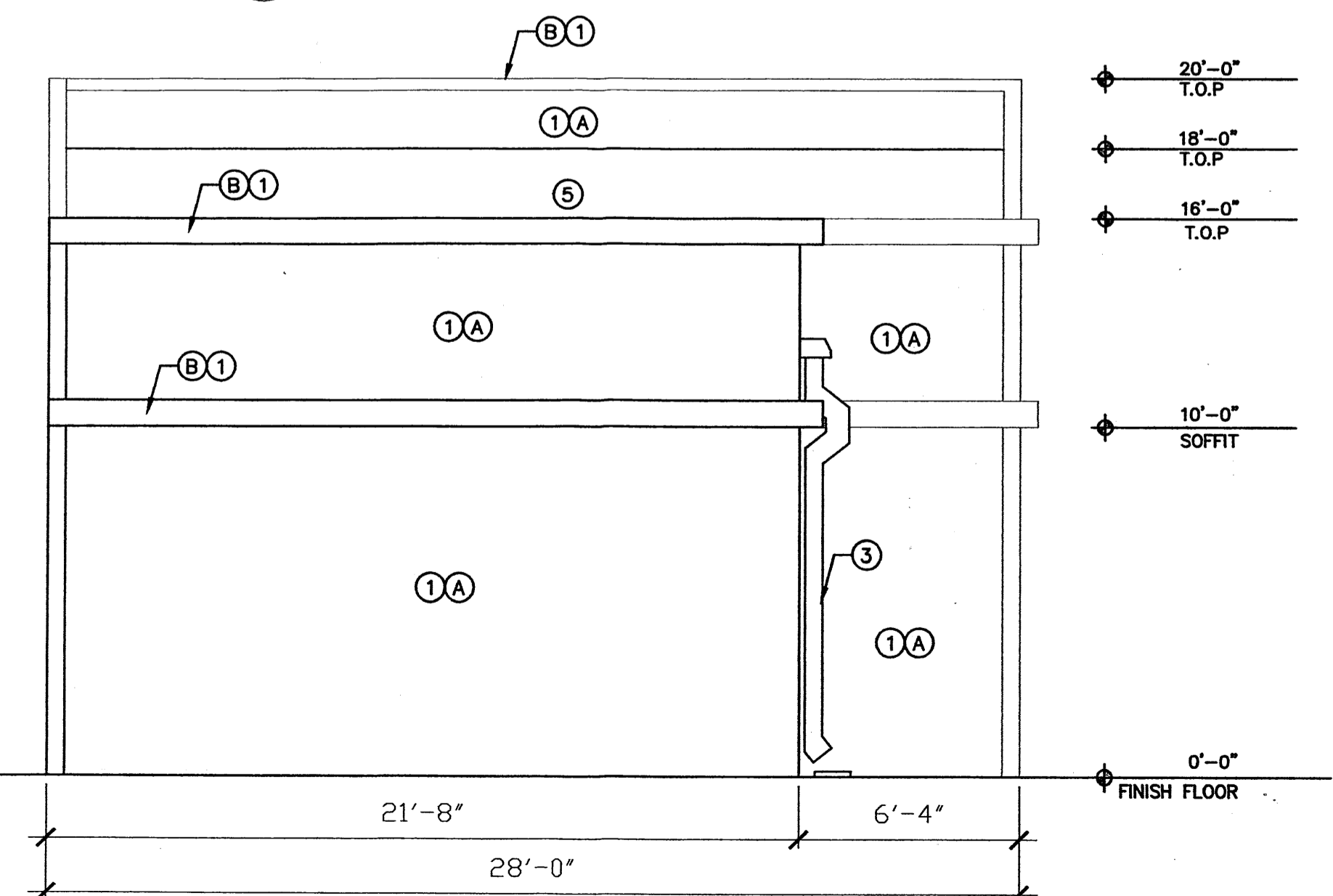
L1



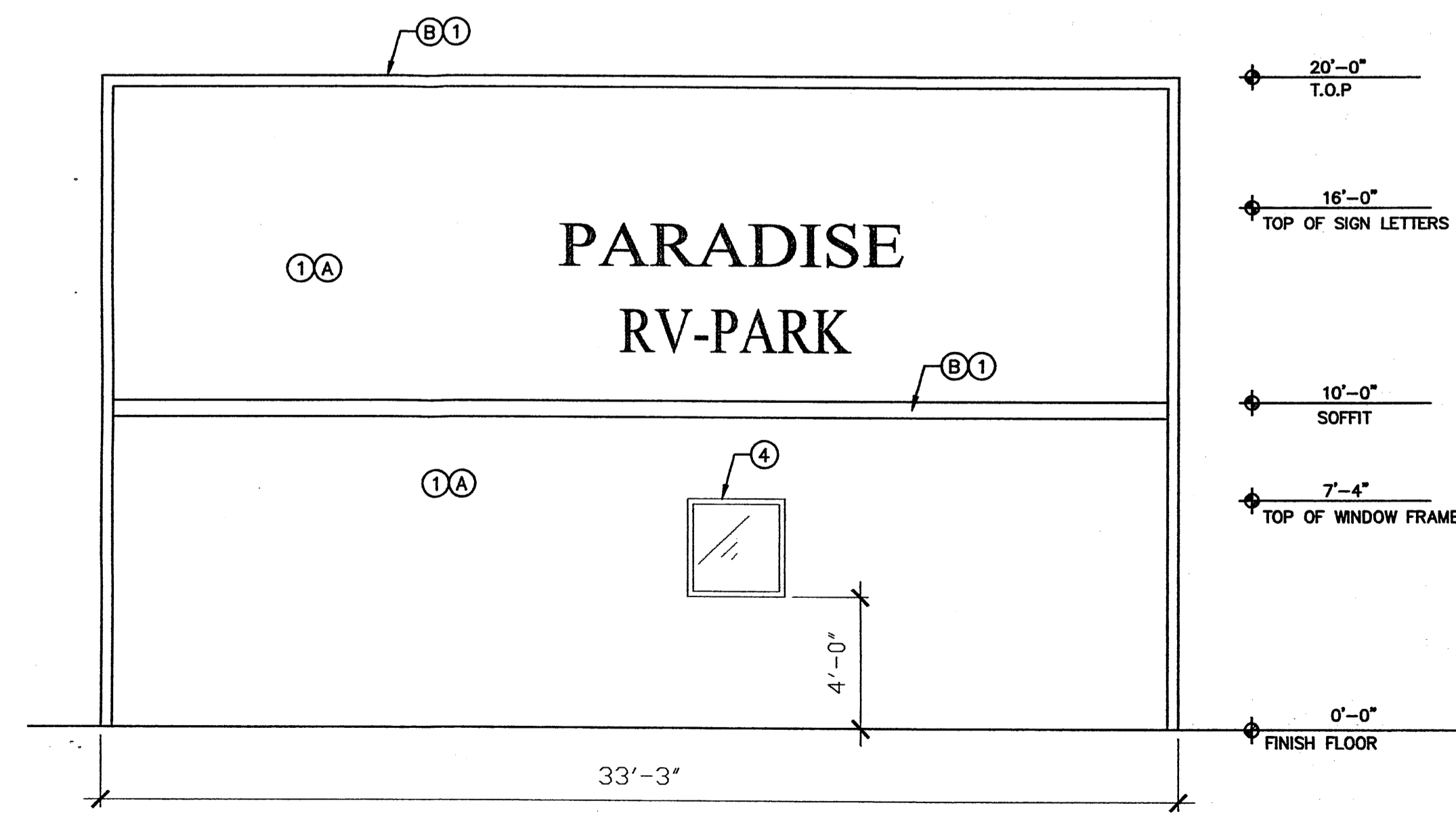
1 BUILDING EAST ELEVATION
A-01 SCALE: 1/4"=1'-0"



2 BUILDING WEST ELEVATION
A-01 SCALE: 1/4"=1'-0"



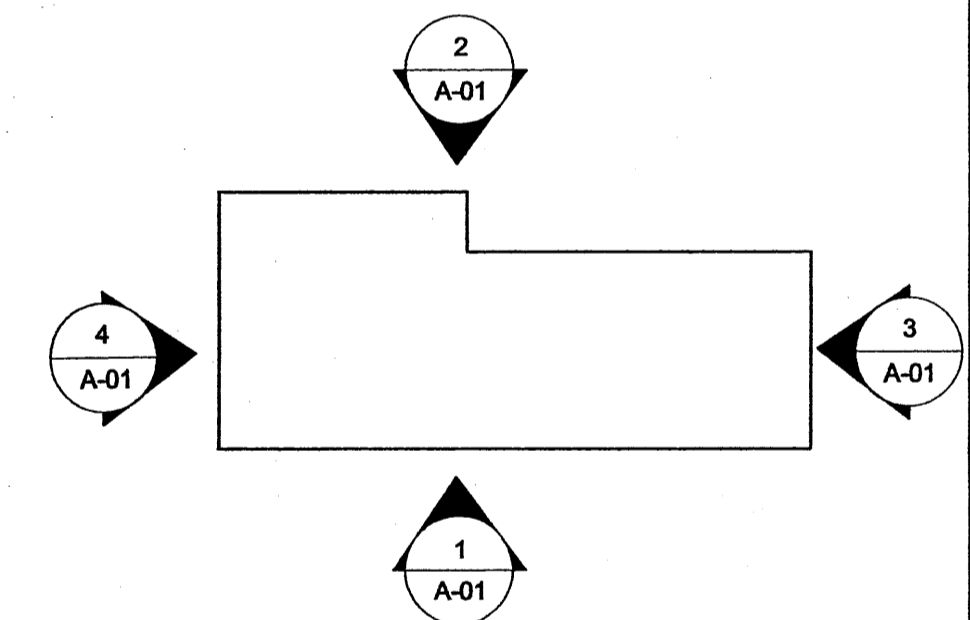
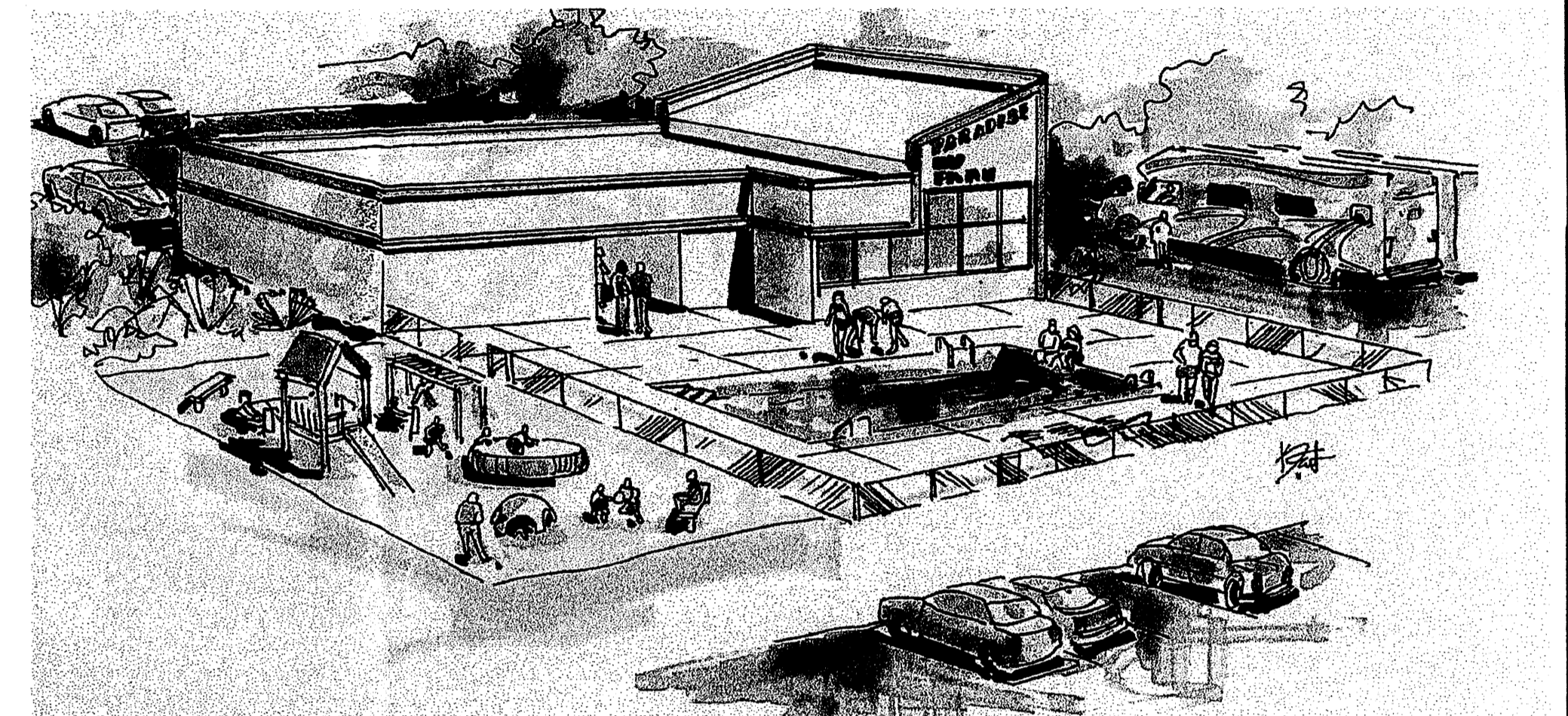
3 BUILDING NORTH ELEVATION
A-01 SCALE: 1/4"=1'-0"



4 BUILDING SOUTH ELEVATION
A-01 SCALE: 1/4"=1'-0"

- KEYED NOTES**
1. STUCCO SYSTEM - 3 COAT, 17 GA. STUCCO WIRE, 15# BUILDING PAPER, 7/16" APA RATED SHEATHING.
 2. 3'-0"x7'-0" HOLLOW METAL INSULATED DOOR FRAME, PRIME, PAINT TO MATCH STUCCO COLOR, TEMPERED GLAZING.
 3. 8"x8" LEADER BOX WITH 2" OVERFLOW, 4"x4" METAL DOWN SPOUT, PAINT TO MATCH STUCCO COLOR/ CONCRETE SPLASH BLOCK
 4. ALUMINUM WINDOW FRAME WITH DOUBLE GLAZING, BRUSHED ALUMINUM FRAME

- STUCCO COLOR**
- A. MEDIUM GREY TAN - STO COLOR # 32222
 - B. DARK BROWN GREY - STO COLOR # 32332



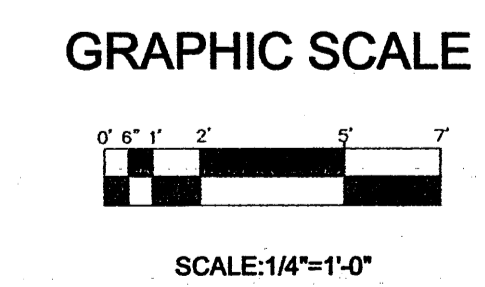
KEY MAP
N.T.S.

CLUB HOUSE BUILDING ELEVATIONS

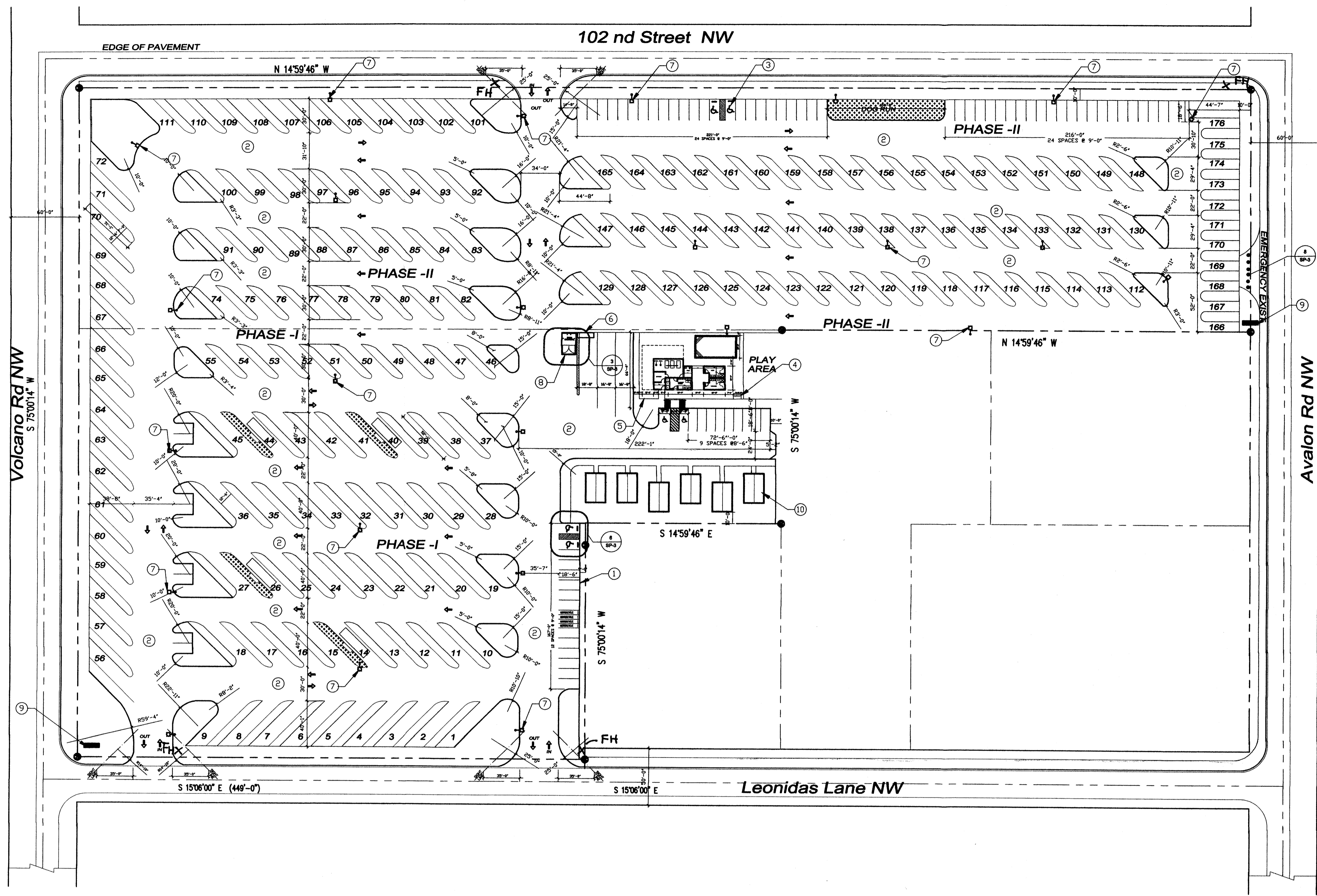
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Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			



A-01
06.13.2012



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
 SCALE: 1"=50'-0"
 GRAPHIC SCALE
 SCALE: 1"=50'

NOTE:
 MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.

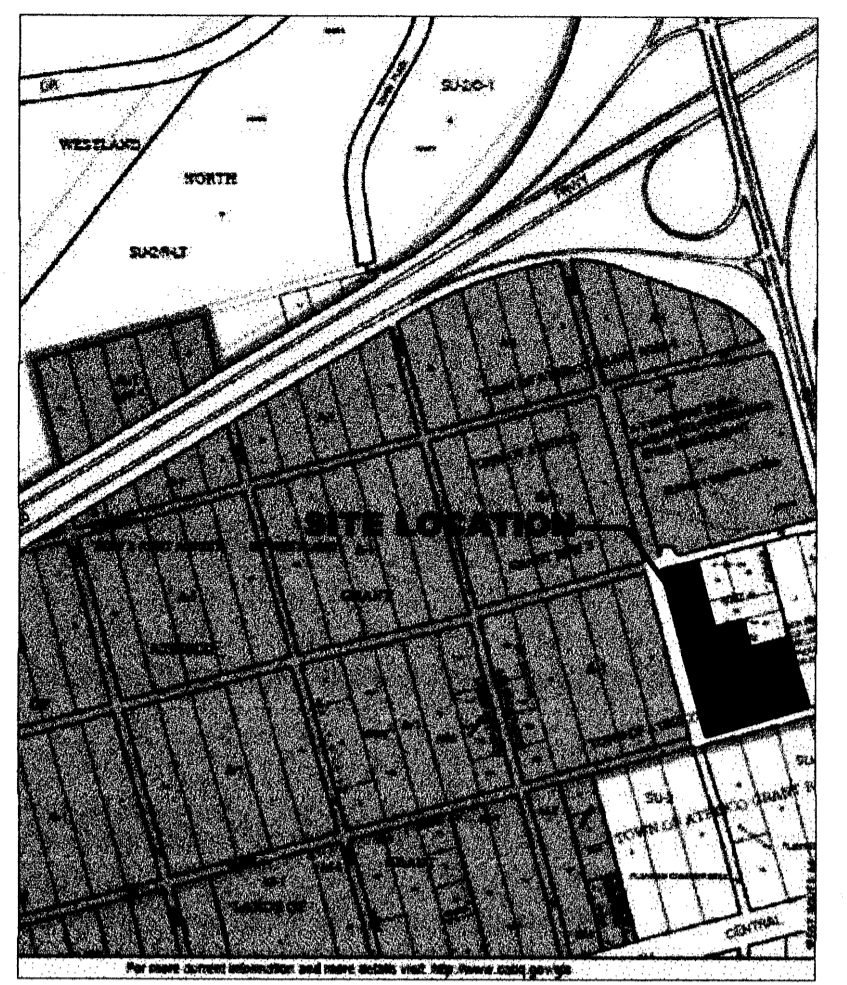
NOTE:
 SITE LIGHTING TO COMPLY WITH CITY OF ALBUQUERQUE STANDARD

KEYED NOTES

1. CONCRETE CURB - SEE DETAIL 2/SP-3.
2. ASPHALT PAVING.
3. ADA PARKING SEE 6/SP-3.
4. BIKE RACK - SEE DETAIL 1/SP-3.
5. PROVIDE SIDEWALK, SLOPE 1:50 AWAY FROM BUILDING, 1" CONTROL JOINTS AT 8'-0" O.C., 1/2" EXPANSION JOINT AT 20'-0" O.C.
6. RECYCLE PAD 5'-0" X 15'-0" FENCED.
7. PARKING LOT LIGHTING - SEE DETAIL 4/SP-3.
8. TRASH ENCLOSURE - SEE DETAIL 3/SP-3.
9. PYLON SIGN SEE DETAIL 9/SP3
10. PRE-FABRICATED LOG HOUSE 468 SF.EA ON PERMANENT FOUNDATION REF. TO 7/A-01 FOR ELEV.

CPM STANDARD NOTE:

1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG.2441).



LOCATION MAP
 ZONE ATLAS K-8-Z

GENERAL NOTES

- A. BUILDING MOUNTED SIGNAGE: 6% OF THE FACADE AREA. LETTERS TO BE BACK LIGHTED.
- B. THE TOP OF ALL ROOF TOP EQUIPMENT SHALL BE BELOW THE TOP OF PARAPET AND SCREENED FROM VIEW OF THE PROPERTY LINE OF THE SITE. ALTERNATIVELY, ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOF TOP WALLS THAT ARE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY WALLS WITH TOP OF EQUIPMENT BELOW THE TOP OF SCREENED WALL.

PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____

WATER UTILITY DEPARTMENT DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE _____

SOLID WASTE MANAGEMENT DATE _____

DRG CHAIRPERSON, PLANNING DEPARTMENT DATE _____

RV- PARKING SPACES

1. (52'-0") LARGE RV SPACES = 72
 2. (38'-6") MEDIUM RV SPACES = 95
 3. (30'-0") SMALL RV SPACES = 11
- TOTAL = 186

PARKING TABULATION

TOTAL PARKING PROVIDED = 73 PARKING SPACES
 ACCESSIBLE PARKING REQUIRED = 4 PARKING SPACES
 ACCESSIBLE PARKING PROVIDED = 6 PARKING SPACES
 MOTORCYCLE PARKING PROVIDED = 4 PARKING SPACES

BIKE TABULATION

3 BIKE RACKS PROVIDED
 3 BIKES EACH

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

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REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-2
 05.05.2011

AJD PLANS CHECKING OFFICE
 604-2011
 APPROVED FOR CONSTRUCTION
 S.S. 5/8/11