



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 29, 2011

**Project# 1008844**  
11DRB-70155 VACATION OF PUBLIC UTILITY EASEMENTS

HIGH MESA CONSULTING GROUP agent(s) for ALBUQUERQUE PUBLIC SCHOOLS request(s) the referenced/ above action(s) for all or a portion of **PROPOSED TRACT A, SANDIA HIGH SCHOOL** zoned R-1, located on the northeast corner of the intersection of CANDELARIA RD NE and PANNSYLVANIA ST NE containing approximately 51.32 acre(s). (G-19)

At the June 29, 2011 Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance. Utility companies must acknowledge via signature on the Final Plat.

### CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by July 14, 2011 in the manner described below.

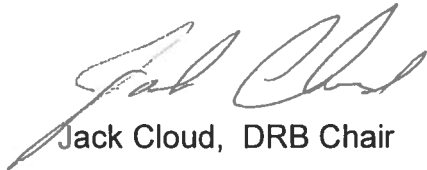
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Cc: High Mesa Consulting Group – 6010-B Midway Park Blvd. NE  
Cc: APS – Facilities, Design & Construction – 915 Oak Street SE –  
Albuquerque, NM 87106  
Marilyn Maldonado  
file



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

September 7, 2011

**Project# 1008844**

11DRB-70239 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL  
11DRB-70240 SIDEWALK VARIANCE

HIGH MESA CONSULTING GROUP agent(s) for ALBUQUERQUE PUBLIC SCHOOLS - FACILITIES, DESIGN & CONSTRUCT request(s) the above action(s) for all or a portion of Lot(s) UNPLATTED LANDS OF ALBUQUERQUE PUBLIC SCHOOLS, **PROPOSED TRACT A, SANDIA HIGH SCHOOL** zoned R-1, located on 7801 CANDELARIA RD NE containing approximately 51.3218 acre(s). (G-19)

At the September 7, 2011 Development Review Board meeting, with the signing of the infrastructure list dated 9/7/11 the preliminary plat was approved. Final plat was deferred pending completion of sidewalk on Delwood Road. The sidewalk variance was approved as shown on exhibit in the planning file.

If you wish to appeal this decision, you must do so by September 22, 2011, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

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Jack Cloud, DRB Chair

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