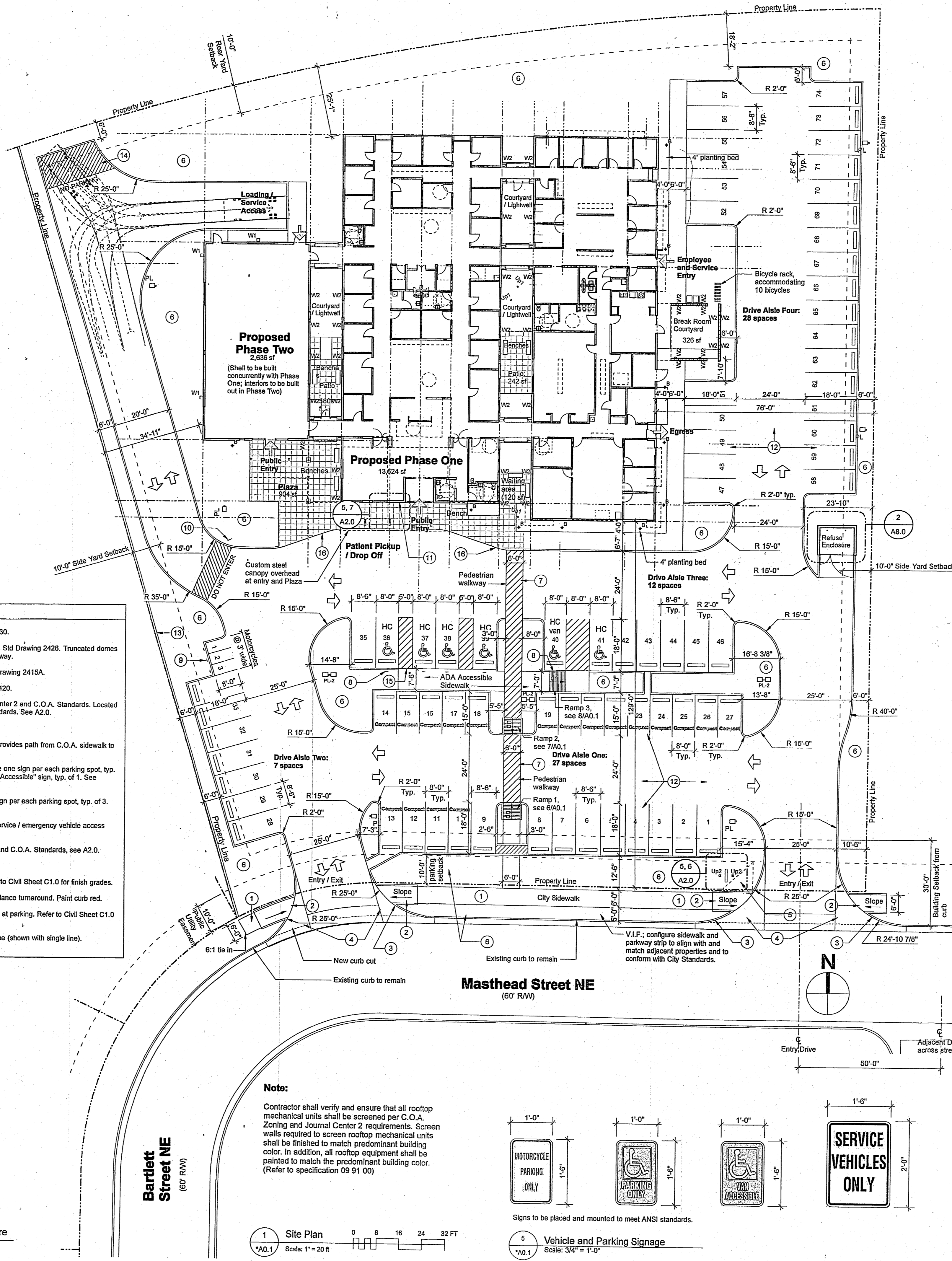
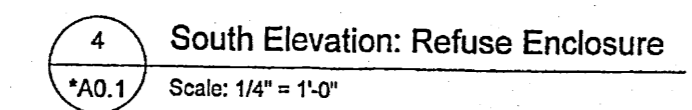
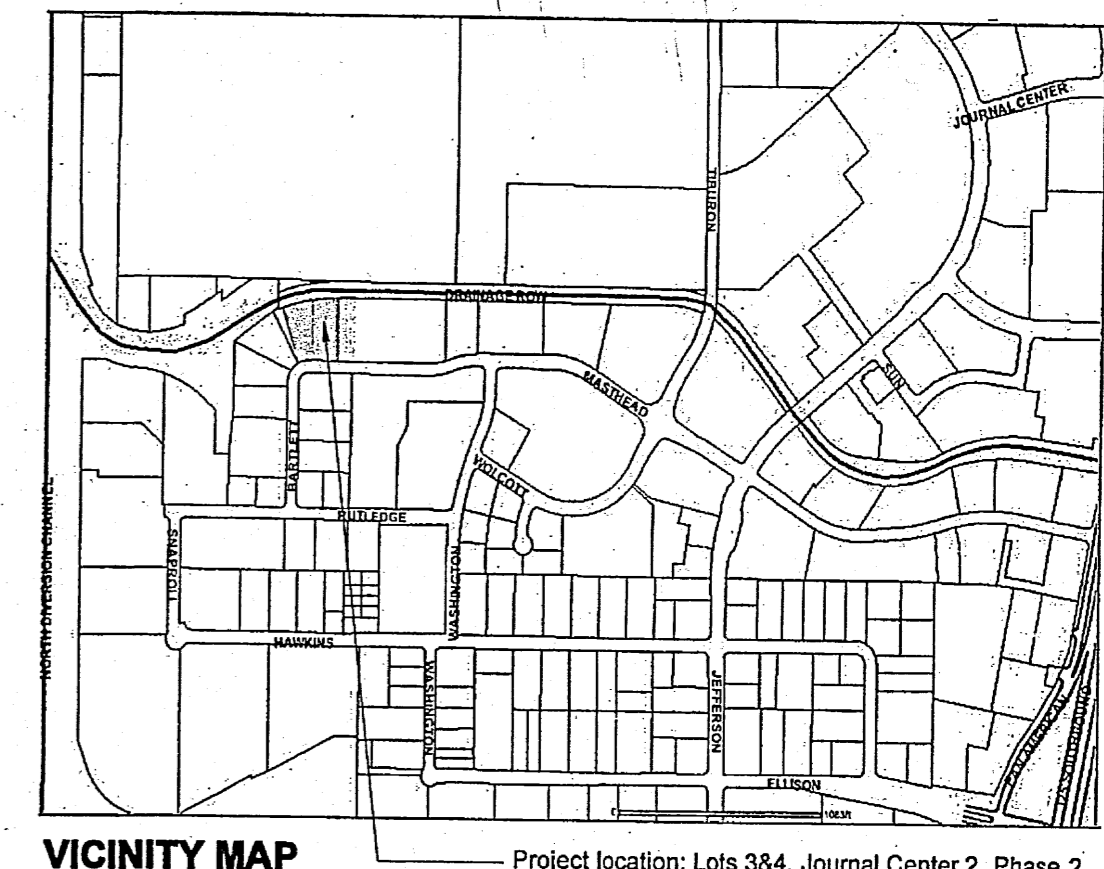
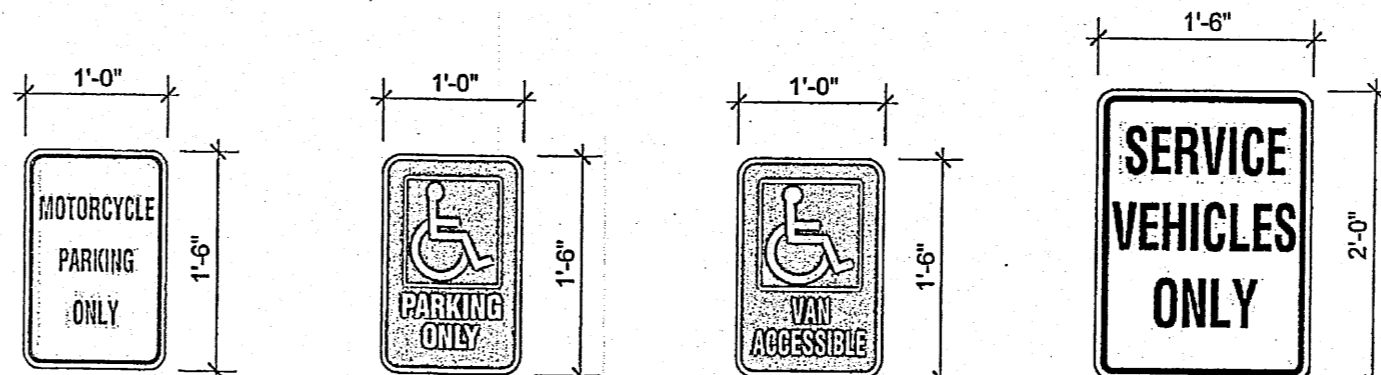


- Drawing Notes**
- Construct new sidewalk per C.O.A. Std Drawing 2430.
  - Construct unidirectional curb access ramp per C.O.A. Std Drawing 2426. Truncated domes shall be installed at all ramps within C.O.A. right of way.
  - Construct new curb & gutter per C.O.A. Standard Drawing 2415A.
  - Construct 6" valley gutter per C.O.A. Std Drawing 2420.
  - Business and address number sign, per Journal Center 2 and C.O.A. Standards. Located outside 11'x11' clear sight triangle, per C.O.A. Standards. See A2.0.
  - Landscaped area, see Landscape Plan.
  - Striped 6' wide pedestrian walkway, typ. Walkway provides path from C.O.A. sidewalk to building entrance.
  - Signage for accessible access only parking. Provide one sign per each parking spot, typ. of 5. See 5/A1.0. At van parking spot, provide "Van Accessible" sign, typ. of 1. See 5/A1.0.
  - Signage for motorcycle only parking. Provide one sign per each parking spot, typ. of 3. See 5/A1.0.
  - Provide "Service Vehicles Only" sign, typ. of 1, at service / emergency vehicle access drive. See 5/A1.0.
  - Wall-mounted business sign, per Journal Center 2 and C.O.A. Standards, see A2.0.
  - Asphalt drive aisles and parking spots, typ.
  - Build segmental retaining wall at property line, refer to Civil Sheet C1.0 for finish grades.
  - Stripe pavement and mark "NO PARKING" at ambulance turnaround. Paint curb red.
  - Flush edge at concrete sidewalk and asphalt paving at parking. Refer to Civil Sheet C1.0 for finish grades.
  - Flush curb at paving edge at passenger drop-off zone (shown with single line).



**Note:**  
Contractor shall verify and ensure that all rooftop mechanical units shall be screened per C.O.A. Zoning and Journal Center 2 requirements. Screen walls required to screen rooftop mechanical units shall be finished to match predominant building color. In addition, all rooftop equipment shall be painted to match the predominant building color. (Refer to specification 09 91 00)



**Drawing Directory**

Sheet #1:	A0.1 Site Plan and Refuse Enclosure
Sheet #2:	L1.0 Landscape Plan
Sheet #3:	C1.0 Conceptual Grading Plan
Sheet #4:	C2.0 Conceptual Utility Plan
Sheet #5:	A2.0 Building Elevations and Signage
Sheet #6:	A3.0 Renderings

**Areas and Phasing**

Total Site Area:	78,483 sf
Circulation and Parking:	40,795 sf
Net Site Area:	62,203 sf
Landscaping:	21,408 sf (34% of Net Site Area)
Phase One Building (Medical Clinic):	13,624 sf
Phase Two Building Shell to be built concurrently with Phase One:	2,636 sf
Total Building Area:	16,160 sf
Phase Two Build-out (Interventional Nephrology Clinic):	(2,636 sf, included in total above)

**Parking Requirements**

Required parking: 5 spaces per 1 physician.  
(11 physicians) x (5 spaces) = 55 spaces required.

Spaces provided:

- Drive Aisle One: 27 spaces
- Drive Aisle Two: 7 spaces
- Drive Aisle Three: 12 spaces
- Drive Aisle Four: 28 spaces
- Total Parking Spaces: 74**

Compact spaces allowed: 25%. 74 x .25 = 18.5. Compact spaces provided: 18.

Accessible spaces required: for 51 - 100 spaces, 4 required plus 1 accessible van space.

Accessible spaces provided = 5 regular + 1 van.

Motorcycle spaces required: 3 Provided: 3

Bicycle spaces required: 1 per 20 parking spaces = 4 required. Provided: 10

**Preliminary Lighting Schedule \***

PL-PL-2	Pole light fixture for parking lot, 20' height
24"	24" tall bollard fixture for pathway and landscape accent lighting
Up1	Aimable uplight for vegetation, landscape accent lighting
Up2	In-ground uplight for signage
W1	Wall-mounted area light at loading and service area
W2	Recessed wall fixture, step light

\* Note: All fixtures will comply with Night Lighting Ordinance

**PROJECT NUMBER 1008878**

**Application Number**

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL**

<i>[Signature]</i>	10-19-11	Date
Traffic Engineering, Transportation Division		
<i>[Signature]</i>	10/19/11	Date
ABCWJA		
<i>[Signature]</i>	10/19/11	Date
Parks and Recreation Department		
<i>[Signature]</i>	10-19-11	Date
City Engineer		
Environmental Health Department (Conditional)		Date
Solid Waste Management		Date
<i>[Signature]</i>	1-20-12	Date
DRB Chairperson, Planning Department		

**Renal Medicine Associates Clinic**  
 3821 Masthead Street NE (Journal Center Phase 2, Unit 2)  
 Albuquerque, New Mexico  
 dnca 218 girard s.e., albuquerque, nm 87106  
 ph (505) 255-4933 fx (505) 266-0251  
 Date Issue  
 8/19/11 DRB Submittal  
 10/05/11 Revisions per DRB Hearing  
 10/12/11 Revisions per DRB Hearing  
 September 8th, 2011  
**A0.1**  
 Site Plan



PLANT LIST

Symbol	Botanical name	Common name	Installed Size	Mature Size	Water use
<b>TREES</b>					
	<i>Fraxinus velutina</i>	Arizona Ash	2" CAL.	40' HT x 35' W	MEDIUM+
	<i>Forestiera neomexicana</i>	New Mexico Olive	15 GAL.	15' HT x 15' W	MEDIUM
	<i>Pinus eldarica</i>	Afghan Pine	8' HT	40' HT x 18' W	MEDIUM
	<i>Cornus mas</i>	Cornelian Cherry (dogwood)	15 GAL.	15' HT x 20' W	MEDIUM+
	<i>Forestiera neomexicana</i>	New Mexico Olive	15 GAL.	15' HT x 15' W	MEDIUM
	Yaupon holly	<i>Ilex vomitoria</i>	15 GAL.	15' HT x 15' W	MEDIUM
	<i>Populus deltoides 'wisliseni'</i>	Rio Grande Cottonwood	15 GAL.	50' HT x 60' W	MEDIUM+
	<i>Quercus turbinella</i>	Shrub Live Oak	15 GAL.	6-15' HT x 20' W	MEDIUM
	<i>Chilopsis linearis</i>	Desert willow	15 GAL.	20' HT x 25' W	LOW
	<i>Crataegus sp.</i>	Multistem Hawthorn (variety)	8' M.S.	15' HT x 15' W	MEDIUM/ MEDIUM+
<b>SHRUBS - group 1 (parking lot medium)</b>					
	<i>Cotoneaster pernyi</i>	Parney Cotoneaster	5 GAL.	8' HT x 10' W	LOW
	<i>Fallugia paradoxa</i>	Apache Plume	5 GAL.	6' HT x 6' W	LOW
	<i>Miscanthus sinensis 'gracillimus'</i>	Maidenhair Grass	5 GAL.	5-7' HT x 3'-4' W	MEDIUM+
	<i>Panicum virgatum 'shenandoah'</i>	Shenandoah Switchgrass	3 GAL.	3-4' HT x 3-4' W	MEDIUM
<b>SHRUBS - group 2 (parking lot low)</b>					
	<i>Artemisia sp.</i>	Powis castle Silver sage	1 GAL.	2' HT x 5' W	LOW
	<i>Pennisetum alopecuroides 'hameln'</i>	Dwarf fountaingrass	1 GAL.	4-5' HT x 2' W	MEDIUM
	<i>Salvia spp.</i>	<i>Salvia</i> (variety)	1 GAL.	10-20' HT x 10-20" W	MEDIUM
<b>SHRUBS - group 3 (courtyard)</b>					
	<i>Liriope muscari</i>	Lilyturf	1 GAL.	18" HT x 18" W	MEDIUM
	<i>Boxus sempervirens</i>	Common Boxwood	1 GAL.	4' HT x 4' W	MEDIUM
	<i>Thymus serpyllum</i>	Creeping Thyme	1 GAL.	3" HT x 1' W	MEDIUM
	<i>Mahonia repens</i>	Creeping Mahonia	1 GAL.	18-24" HT x 3-4' W	MEDIUM
	<i>Chasmanthium latifolium 'River Mist'</i>	Variegated Northern Sea Oats	1 GAL.	3' HT x 3' W	MEDIUM
<b>SHRUBS - group 4 (building perimeter)</b>					
	<i>Andropogon scoparium 'the blues'</i>	Little Bluestem	3 GAL.	3' HT x 3' W	LOW
	<i>Miscanthus sinensis 'gracillimus'</i>	Maidenhair grass 'gracillimus'	5 GAL.	5-7' HT x 3'-4' W	MEDIUM+

- BOULDERS**
- Decorative boulders

- HATCH LEGEND**
- 7/8" gravel mulch (pervious surface)
  - Crusher fines (pervious surface)
  - native seeding (pervious surface)
  - 4"-6" angular cobble (pervious surface)

LANDSCAPE NOTES

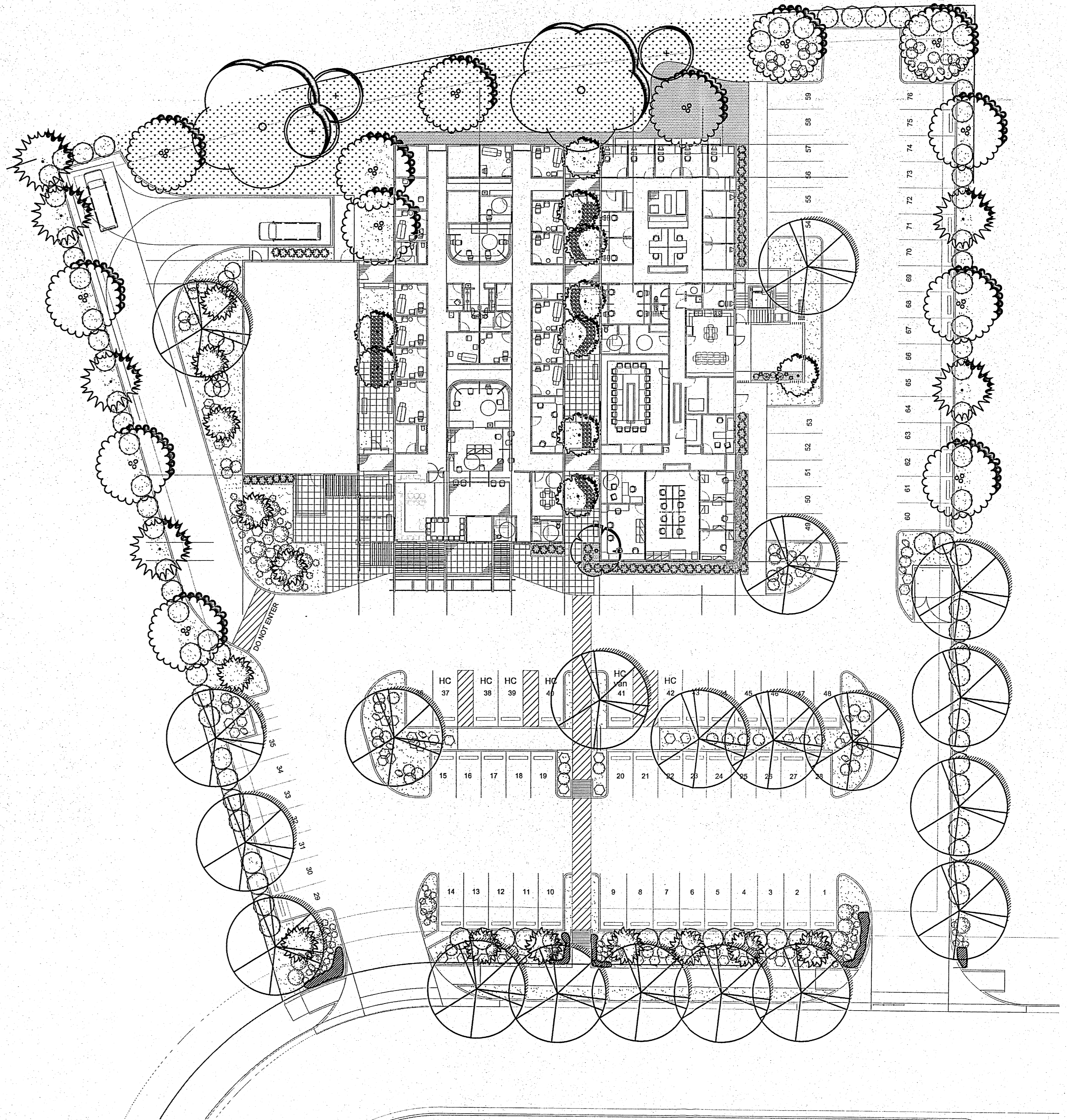
Plan is diagrammatic and approximate due to the scale of the drawing and not all individual shrubs or ground covers are shown. No planting area will be left uncovered or not top-dressed. All planting areas will be planted with trees shrubs, or groundcovers. At maturity, plants will provide a minimum coverage of 75% of the landscape area. All plant area shall be covered with a 3" layer of aggregate or mulch.

**STATEMENT OF COMPLIANCE WITH WATER CONSERVATION ORDINANCES:**  
 Intent of plan is to conform to the landscape requirements of Journal center 2 as well as all city ordinances and codes relating to landscape requirements, including the Water Conservation and Water Waste Ordinance (C\_ORD 18-1995).

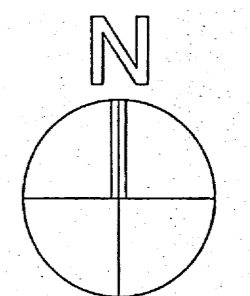
**DESCRIPTION OF IRRIGATION SYSTEM:**  
 An automatic underground irrigation system will be designed and installed to serve all new plant materials. Trees and shrubs will be irrigated with a low-flow bubbler and/or drip emitter system. Native seeding on north end will be irrigated with pop-up rotors until established.

**MAINTENANCE RESPONSIBILITY:**  
 All responsibility for maintenance shall lie with the Owner/developer.

**DETAILS:**  
 Backflow prevention and tree wells will be constructed following City of Albuquerque standard specifications details for public works construction. Please reference the following:  
 Backflow prevention detail-DWG. 2701  
 Tree well detail-DWG. 2714



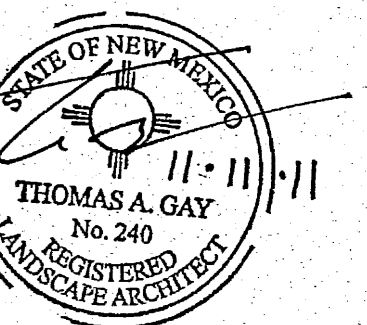
Total Site = 78,463 s.f.  
 Building Area = 16,160 s.f.  
 Net Site Area = 62,203 s.f.  
 Landscape Area Provided = 20,519 s.f.  
 (approximately 33% of Net Site Area)



dnca  
 218 girard s.e., albuquerque, nm 87106  
 ph (505) 255-4033 fx (505) 266-0251

**Renal Medicine Associates Clinic**  
 Journal Center  
 Albuquerque, New Mexico

Date Issue

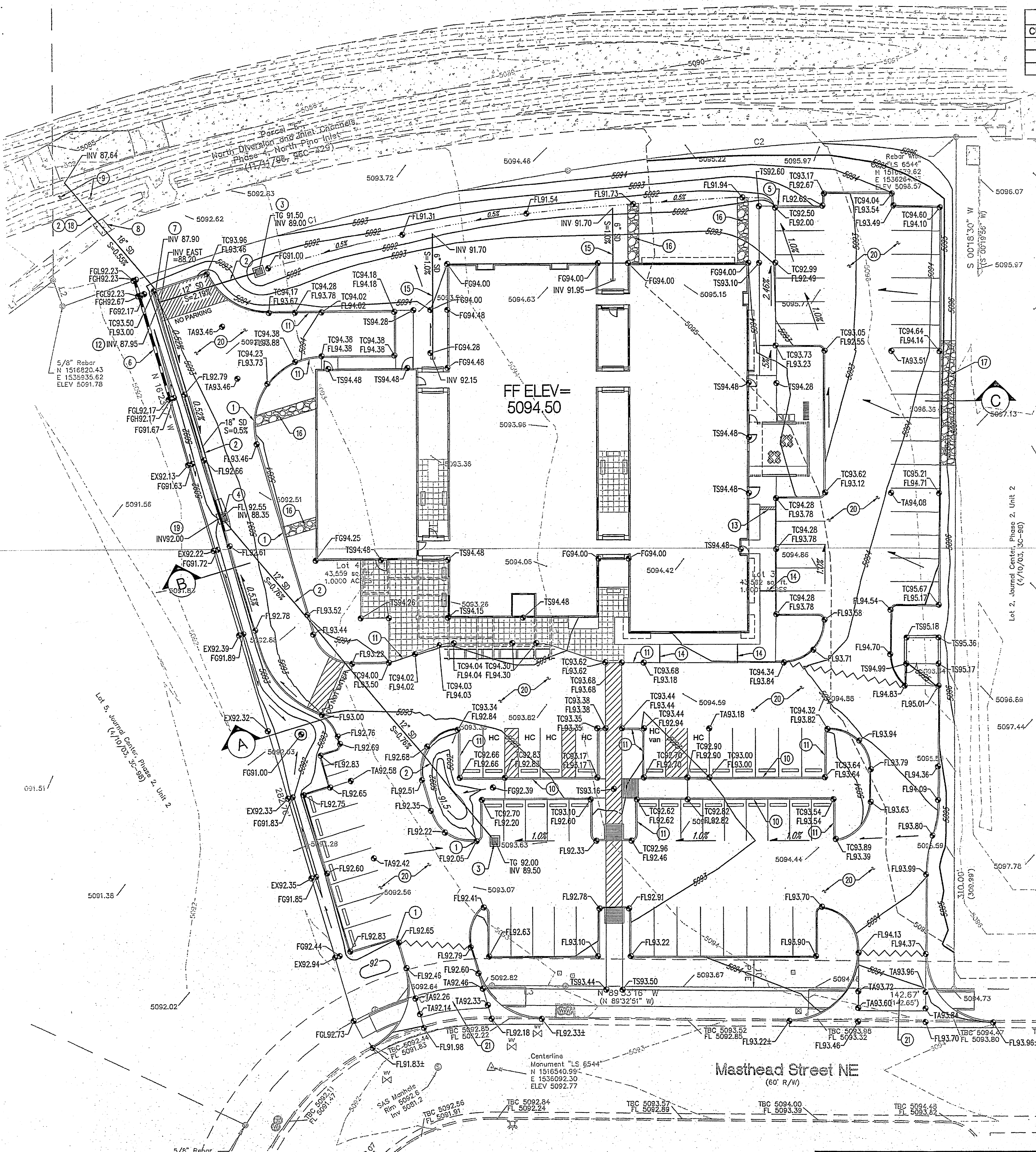


August 19th, 2011

100% Schematic Design

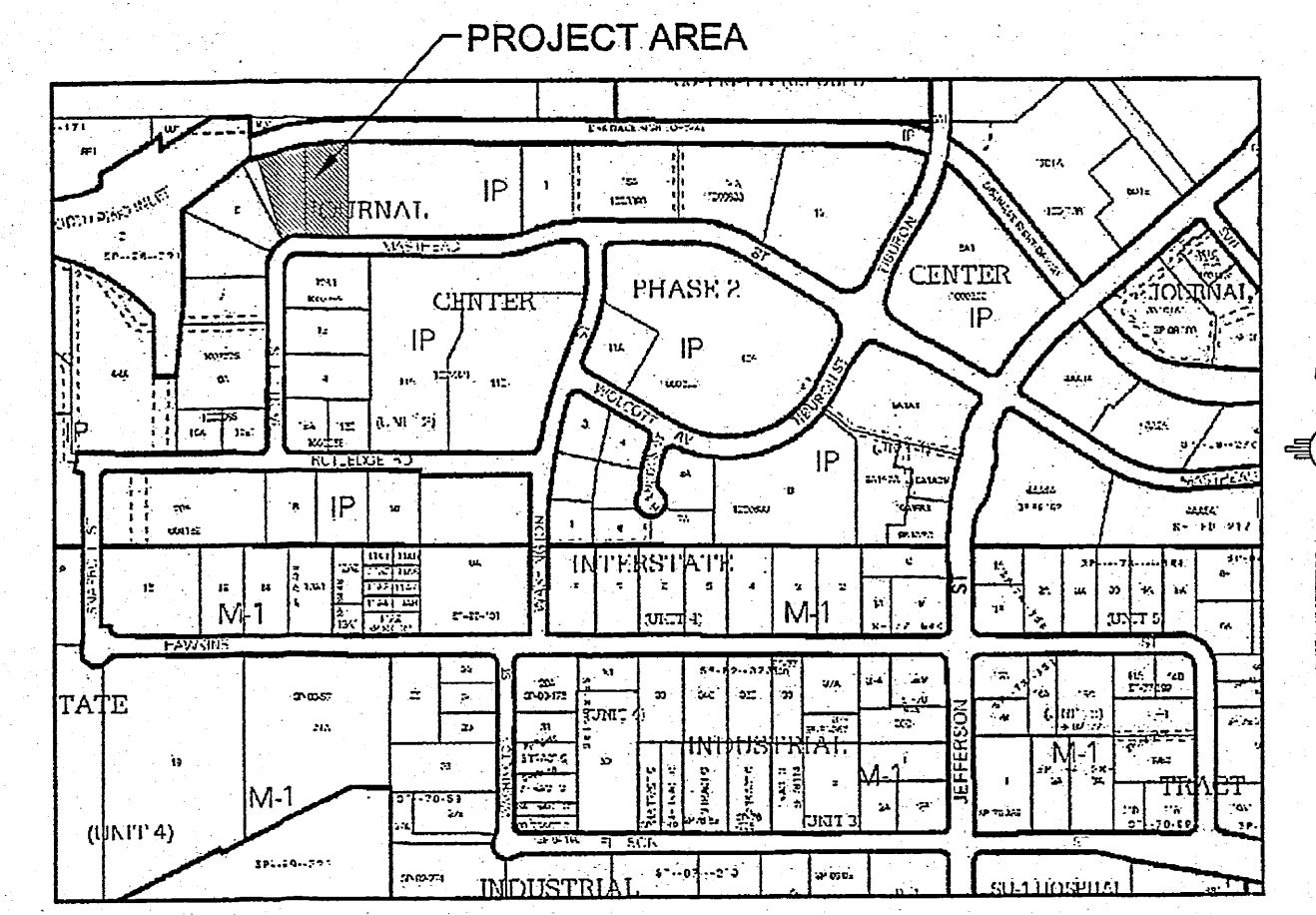
**L1.0**  
 Landscape Plan





PROPERTY BOUNDARY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	987.76'	192.00'	11°08'13"	N 75°36'40" E	191.69'
C2	987.76'	143.32'	8°18'47"	N 85°20'10" E	143.19'
C3	105.00'	53.14'	28°59'50"	S 75°54'51" W	52.57'

PROPERTY BOUNDARY LINE TABLE		
LINE	LENGTH	BEARING
L1	34.19	N 53°34'24" E
L2	9.94	S 19°55'19" E
L3	27.14	N 89°33'16" W



VICINITY MAP  
ZONE ATLAS PAGE D-17-7

- LEGEND**
- PROPERTY LINE
  - - - 5093 EXISTING CONTOURS
  - 5096.35 EXISTING GROUND SPOT ELEVATION
  - 95.32 PROPOSED SPOT ELEVATION  
TC=TOP OF CURB, FL=FLOW LINE  
TS=TOP OF SIDEWALK  
EX=EXISTING, FG=FINISHED GRADE
  - S=2.0% PROPOSED DIRECTION OF FLOW
  - WATER BLOCK
  - 5095 PROPOSED INDEX CONTOURS
  - PROPOSED INTER CONTOURS
  - PROPOSED CURB
  - EASEMENT

**GRADING KEYED NOTES**

1. INSTALL 12" WIDE CURB OPENING.
2. INSTALL STORM DRAIN. SEE PLAN FOR SIZE, SLOPE & INVERT ELEVATIONS.
3. INSTALL TYPE 'D' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
4. INSTALL TYPE 'C' SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
5. INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
6. BUILD SEGMENTAL RETAINING WALL AT PROPERTY LINE.
7. INSTALL 22.5' PRE-FABRICATED BEND.
8. SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL FOR INSTALLATION OF NEW STORM DRAIN. MATCH EXISTING. SEE DETAIL ON SHEET C3.0.
9. SAW-CUT, REMOVE & REPLACE EXISTING CONCRETE CHANNEL & HEADER CURB AT TOP OF CHANNEL. SEE AMAFCA STD DETAILS 102 & 104 FOR RCP CHANNEL PENETRATION.
10. INSTALL FLUSH CURB.
11. TRANSITION FROM FLUSH CURB TO 6" CURB.
12. INSTALL 18"x18"x12" PRE-FABRICATED TEE.
13. INSTALL 8" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
14. INSTALL 3" SCHEDULE 40 PVC PIPE THROUGH CURB.
15. INSTALL 6" STORM DRAIN. SEE PLAN FOR SLOPE AND INVERT ELEVATIONS. SEE PLUMBING PLAN FOR CONTINUATION.
16. INSTALL CRUSHED ROCK DRAINAGE SWALE. SEE SECTION 'D' ON SHEET C3.0 FOR DETAILS.
17. INSTALL 4"-6" CRUSHED ROCK, 12" DEEP, IN AREAS GREATER THAN 3:1 SLOPE. PLACE OVER FILTER FABRIC.
18. ALL STORM DRAIN PIPE WITHIN AMAFCA RIGHT OF WAY SHALL BE RCP.
19. INSTALL 6" DIA PVC SLEEVE THROUGH BACK OF INLET BOX.
20. INSTALL ASPHALT PAVEMENT SECTION PER DETAIL ON SHEET C3.0.
21. PROVIDE PEDESTRIAN ROUTE ACROSS DRIVEWAY. 6' WIDE BY 2% CROSS SLOPE (MAX).

**GENERAL NOTES**

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SAID PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

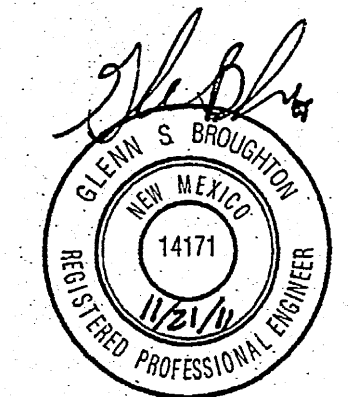
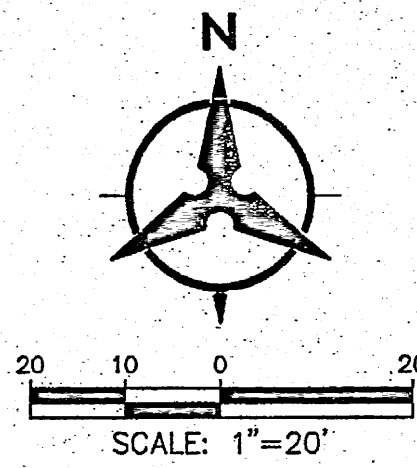
**LEGAL DESCRIPTION**

LOT 3A JOURNAL CENTER PHASE 2 UNIT 2

**SITE ADDRESS**

3821 MASTHEAD NE  
ALBUQUERQUE, NM 87109

NOTE: AS A CONDITION OF APPROVAL FOR TEMPORARY AND PERMANENT CERTIFICATE OF OCCUPANCY, A GRADING AND DRAINAGE CERTIFICATION MUST BE SUBMITTED TO THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT FOR APPROVAL. THE CONTRACTOR IS RESPONSIBLE TO RETAIN A SURVEYOR LICENSED IN NEW MEXICO TO OBTAIN AS BUILT SURVEY DATA AND RETAIN AN ENGINEER LICENSED IN NEW MEXICO TO PREPARE/CERTIFY AND SUBMIT THE GRADING CERTIFICATION TO THE CITY FOR APPROVAL.



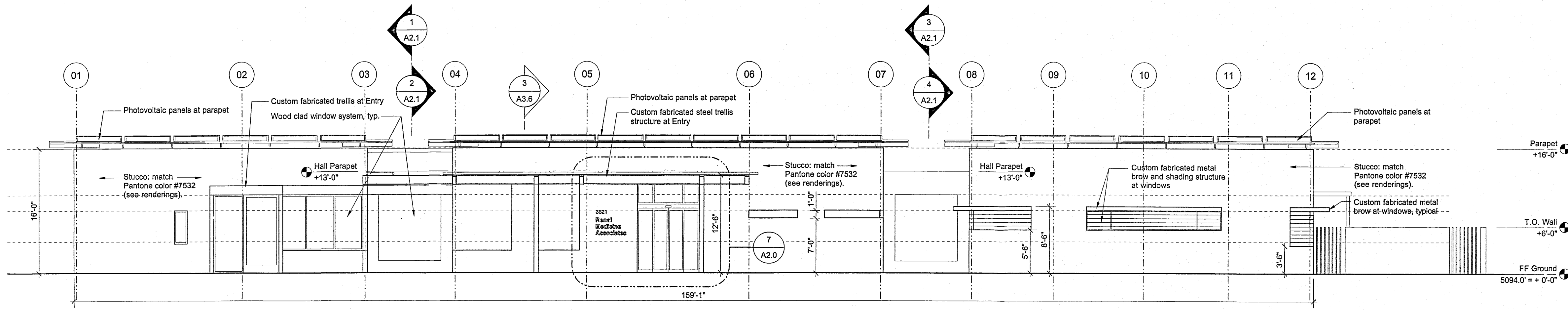
**Bohannon & Huston**

**C1.0**  
Conceptual Grading Plan

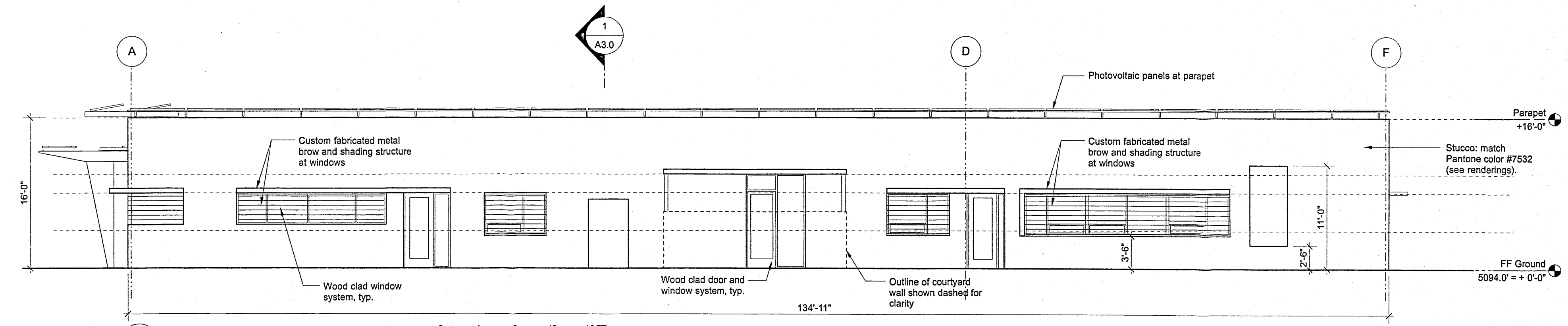




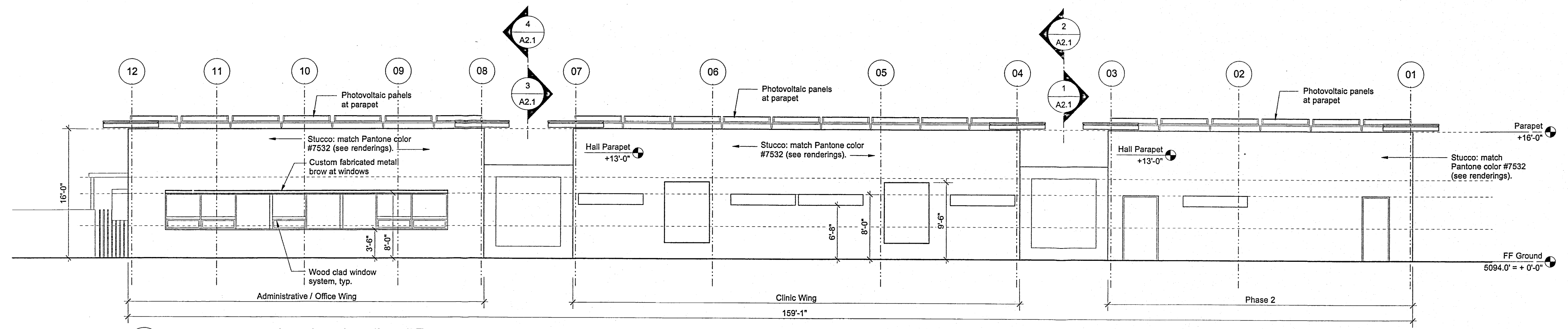




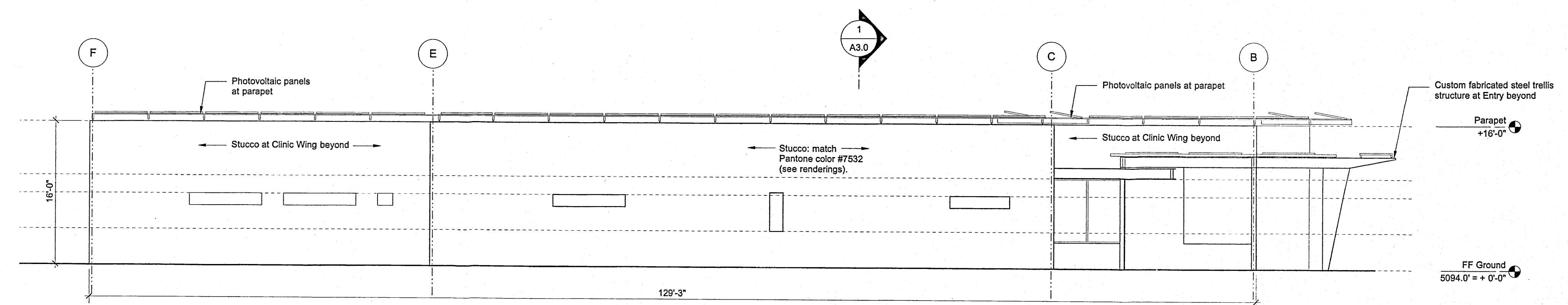
1 South Elevation  
A2.0  
Scale: 1/8" = 1'-0"



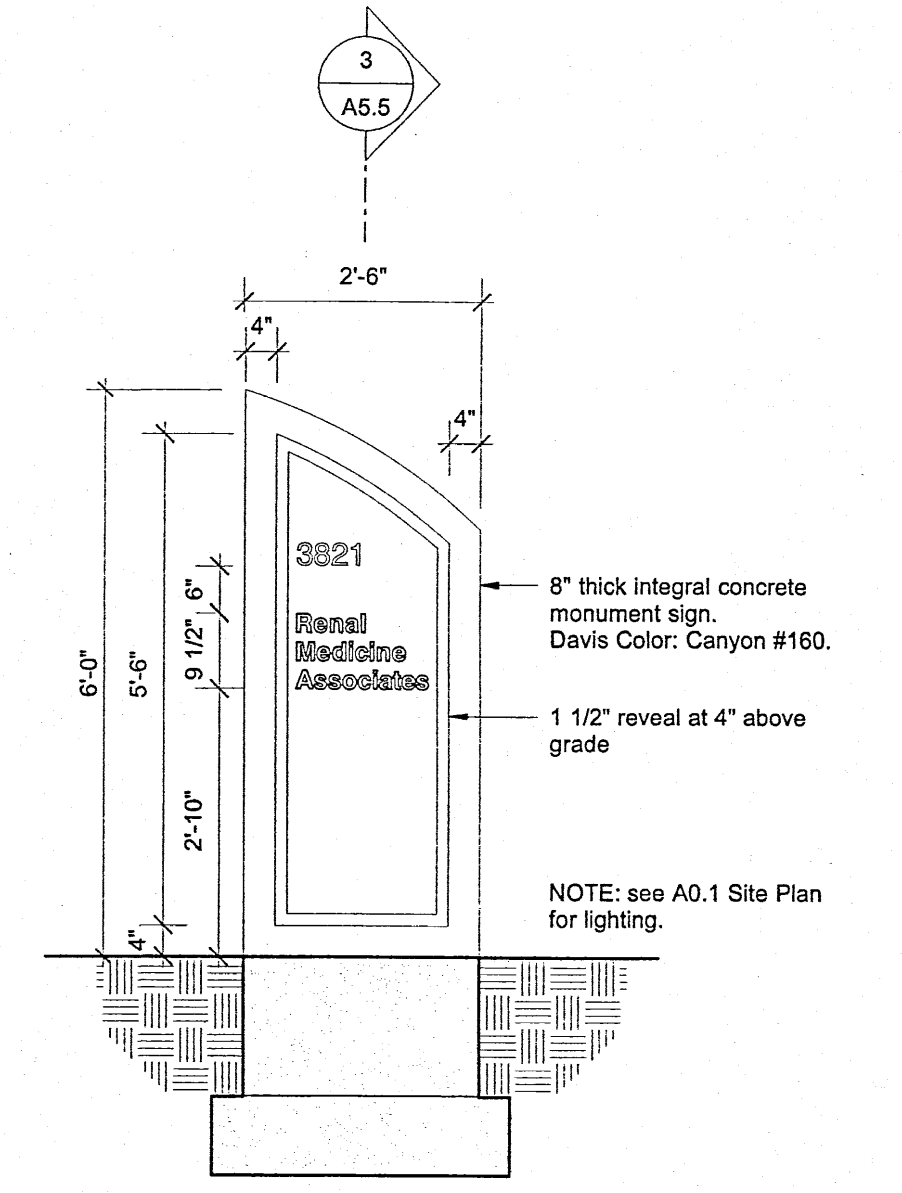
2 East Elevation - Administrative / Office Wing  
A2.0  
Scale: 1/8" = 1'-0"



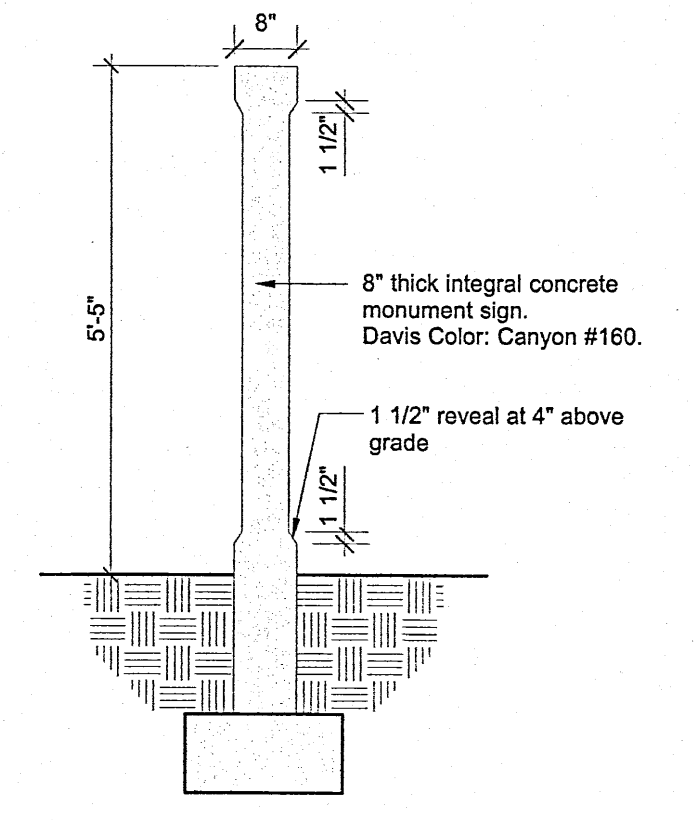
3 North Elevation  
A2.0  
Scale: 1/8" = 1'-0"



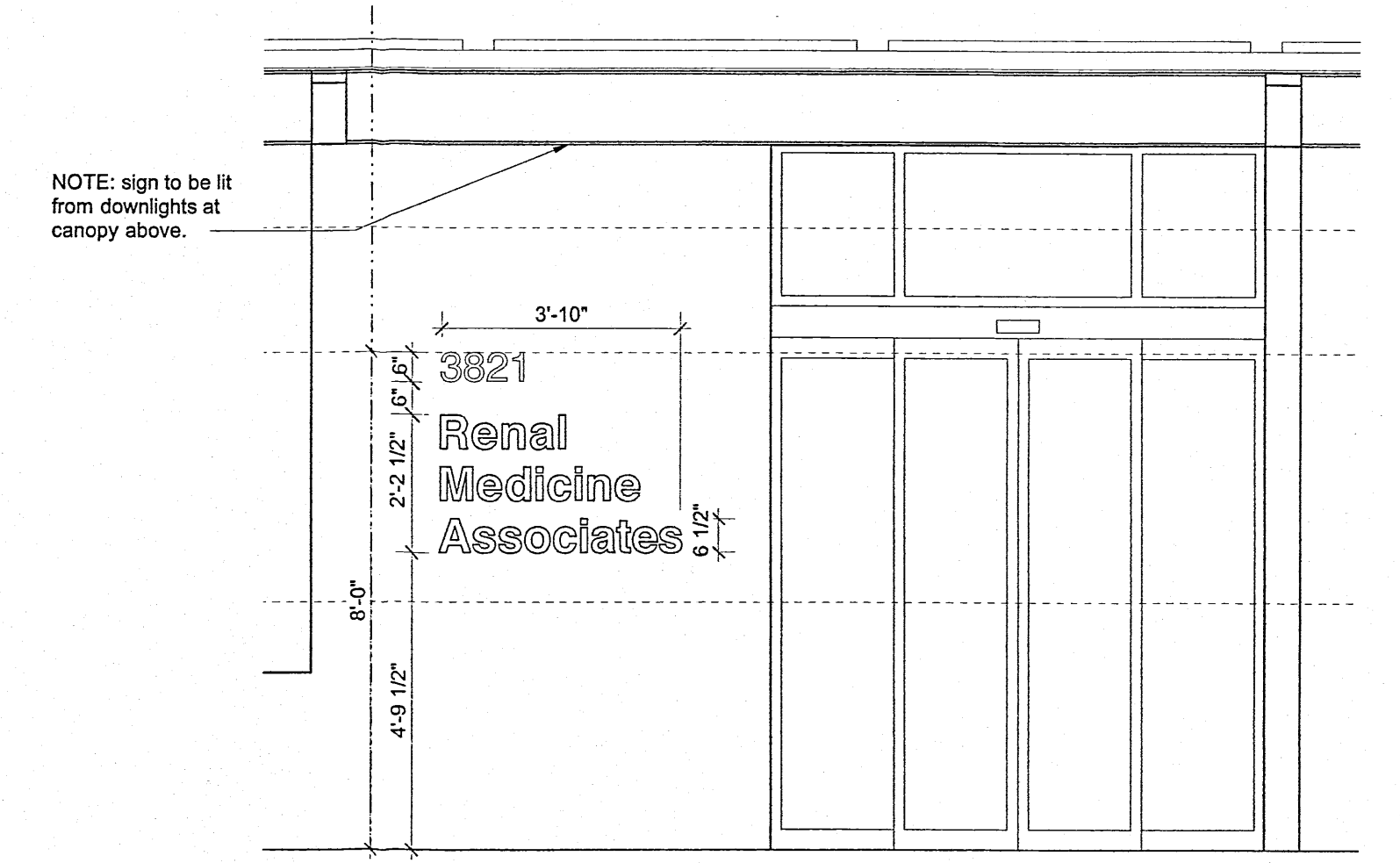
4 West Elevation  
A2.0  
Scale: 1/8" = 1'-0"



5 Building Identification Sign at Street  
A2.0  
Scale: 1/2" = 1'-0"



6 Building Section - Identification Sign at Street  
A2.0  
Scale: 1/2" = 1'-0"



7 South Exterior Entry Door Sign  
A2.0  
Scale: 3/8" = 1'-0"  
1/4" Flat Cut Aluminum Letters  
Natural Satin Finish  
Flush Mounted with Blind Stud and Pattern  
Text Height 6 1/2" (Visibility 160')

218 girard s.e. albuquerque, n.m. 87106  
ph (505) 255-4033 fx (505) 266-0251

**d m c a**  
**Renal Medicine Associates Clinic**  
3821 Masthead Street NE (Journal Center Phase 2, Unit 2)  
Albuquerque, New Mexico

Date	Issue
8/19/11	DRB Submittal
10/05/11	DRB Re-submittal

**A2.0**  
Exterior Elevations and Signage