

Indexing Information

SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., AS PROJECTED IN THE ELENA GALLEGOS GRANT
 SUBDIVISION: JOURNAL CENTER PHASE 2, UNIT 2
 OWNER: BUILDERS TRUST OF NM & NM HOMEBUILDERS ASSOCIATION
 UPC #101706311526330417 (LOT 3)
 UPC #101706310126430418 (LOT 4)
 UPC #101706308625630419 (LOT 5)

Plat of
Lots 3-A and 4-A
Journal Center
Phase 2 Unit 2
 City of Albuquerque
 Bernalillo County, New Mexico
 August 2011

NOTARY PUBLIC
 BUILDERS TRUST OF NM & NM
 HOMEBUILDERS ASSOCIATION

Purpose of Plat

1. CREATE 2 LOTS FROM LOTS 3, 4 AND 5 OF JOURNAL CENTER PHASE 2, UNIT 2.

Legal

LOT NUMBERED THREE (3), FOUR (4) AND FIVE (5) OF THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, (A REPLAT OF TRACT 8A-1, JOURNAL CENTER PHASE 2, UNIT 1) ALBUQUERQUE, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 10, 2003, IN PLAT BOOK 2003C, PAGE 98, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, MARKED WITH A 5/8" REBAR WITH CAP "LS 6544", WHENCE A TIE TO ACS MONUMENT "REEVES_2" BEARS N 82°44'02" W, A DISTANCE OF 1466.21 FEET;

THENCE, FROM THE POINT OF BEGINNING, S 00°18'30" W, A DISTANCE OF 310.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCELS, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF MASTHEAD STREET NE, MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, COINCIDING WITH SAID RIGHT OF WAY THE FOLLOWING TWO COURSES, N 89°33'16" W, A DISTANCE OF 169.81 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, 108.66 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 105.00 FEET, A DELTA OF 59°17'35", AND A CHORD BEARING S 60°45'58" W, A DISTANCE OF 103.88 FEET TO AN ANGLE POINT, BEING THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 5/8" REBAR;

THENCE, LEAVING SAID RIGHT OF WAY N 64°34'11" W, A DISTANCE OF 329.31 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, N 53°34'24" E, A DISTANCE OF 283.03 FEET TO AN ANGLE POINT, BEING MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, S 19°55'19" E, A DISTANCE OF 9.94 FEET TO AN ANGLE POINT, BEING MARKED WITH A 5/8" REBAR;

THENCE, 335.31 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 987.76 FEET, A DELTA OF 19°27'00", AND A CHORD BEARING N 79°46'03" E, A DISTANCE OF 333.70 FEET TO THE POINT OF BEGINNING CONTAINING 3.0003 ACRES (130,693 SQ. FT.) MORE OR LESS.

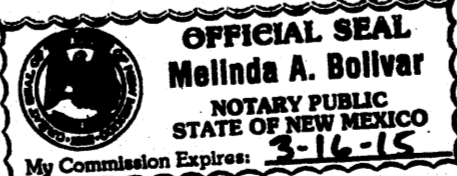
Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

JACK C. MILARCH, EXECUTIVE VICE PRESIDENT AND CEO
 NEW MEXICO HOME BUILDERS, TENANT IN COMMON

Acknowledgment

STATE OF New Mexico SS
 COUNTY OF Bernalillo
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON August 18, 2011
 BY: JACK C. MILARCH, EXECUTIVE VICE PRESIDENT AND CEO, NEW MEXICO HOME BUILDERS



NOTARY PUBLIC MY COMMISSION EXPIRES March 16, 2015

Subdivision Data

GROSS ACREAGE 3.0003 ACRES
 ZONE ATLAS PAGE NO. D-17-Z
 NUMBER OF EXISTING TRACTS 3
 NUMBER OF TRACTS CREATED 2
 MILES OF FULL WIDTH STREETS 0.00
 MILES OF HALF WIDTH STREETS 0.00
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE 0 ACRES
 DATE OF SURVEY OCTOBER 2010

Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2010.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).

Documents

1. PLAT OF RECORD FOR JOURNAL CENTER PHASE 2, UNIT 2, FILED ON APRIL 10, 2003, IN BOOK 3C, PAGE 98.
2. PLAT FOR NORTH DIVERSION & INLET CHANNELS PHASE 4, FILED ON NOVEMBER 11, 1996 IN BOOK 96C, PAGE 429.
3. TITLE COMMITMENT PROVIDED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, WITH FILE NO. 6218004292, AND AN EFFECTIVE DATE OF OCTOBER 14, 2009.

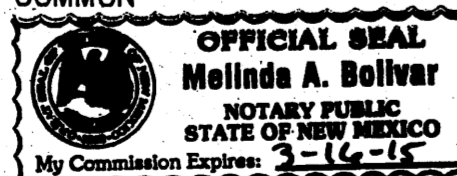
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RICK DAVIS, TRUSTEE/VICE CHAIRMAN
 BUILDERS TRUST OF NEW MEXICO, TENANT IN COMMON

Acknowledgment

STATE OF New Mexico SS
 COUNTY OF Bernalillo
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON August 18, 2011
 BY: RICK DAVIS, TRUSTEE/VICE CHAIRMAN, BUILDERS TRUST OF NEW MEXICO



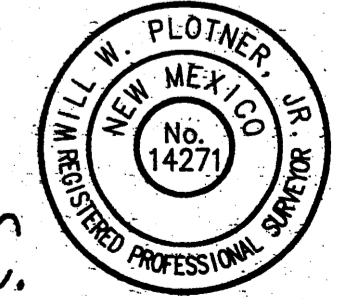
NOTARY PUBLIC MY COMMISSION EXPIRES March 16, 2015

DOCH 2011095134
 10/20/2011 10:39 AM Page: 1 of 3
 PLAT R: 325.00 B: 2011C P: 0110 M. Toulous Oliveira, Bernalillo Cour

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

WILL PLOTNER JR. 8/17/11
 WILL PLOTNER JR. DATE
 N.M.R.P.S. No. 14271



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Public Utility Easements:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**Plat of
Lots 3-A and 4-A
Journal Center
Phase 2 Unit 2
City of Albuquerque
Bernalillo County, New Mexico
August 2011**

DOC# 2011095134
10/20/2011 10:39 AM Page: 2 of 3
PLAT #: 325.00 B: 2011 C: 0110 M. Toulous Olivere, Bernalillo Cour

CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
Sheet 2 of 3
110899

**Plat of
Lots 3-A and 4-A
Journal Center
Phase 2 Unit 2
City of Albuquerque
Bernalillo County, New Mexico
August 2011**

LINE TABLE		
LINE	LENGTH	BEARING
L1	9.94'	S 19°55'19" E

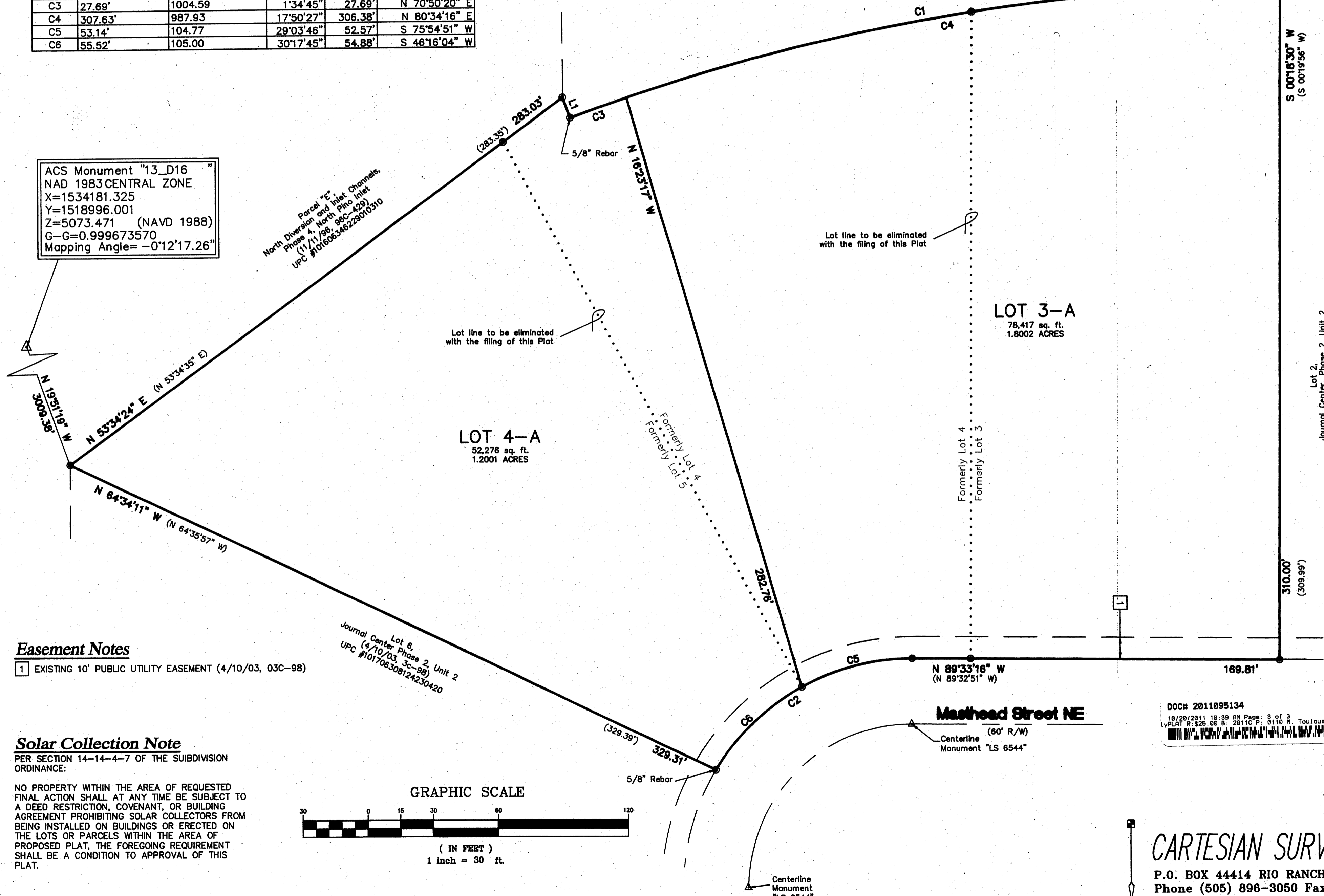
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	335.31'	987.76	19°27'00"	333.70'	N 79°46'03" E
C2	108.66'	105.00	59°17'35"	103.88'	S 60°45'58" W
C3	27.69'	1004.59	1°34'45"	27.69'	N 70°50'20" E
C4	307.63'	987.93	17°50'27"	306.38'	N 80°34'16" E
C5	53.14'	104.77	29°03'46"	52.57'	S 75°54'51" W
C6	55.52'	105.00	30°17'45"	54.88'	S 46°16'04" W

Legend
 (N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (95C-126)
 N 90°00'00" E MEASURED BEARING AND DISTANCES
 FOUND 5/8" REBAR WITH CAP "LS 6544" UNLESS INDICATED OTHERWISE
 SET BATHEY MARKER WITH CAP "LS 14271" UNLESS INDICATED OTHERWISE

ACS Monument "REEVES_2"
 NAD 1983 CENTRAL ZONE
 X=1534308.480
 Y=1516569.742
 Z=N/A (NAVD 1988)
 G-G=0.999673430
 Mapping Angle=-0°12'16.19"

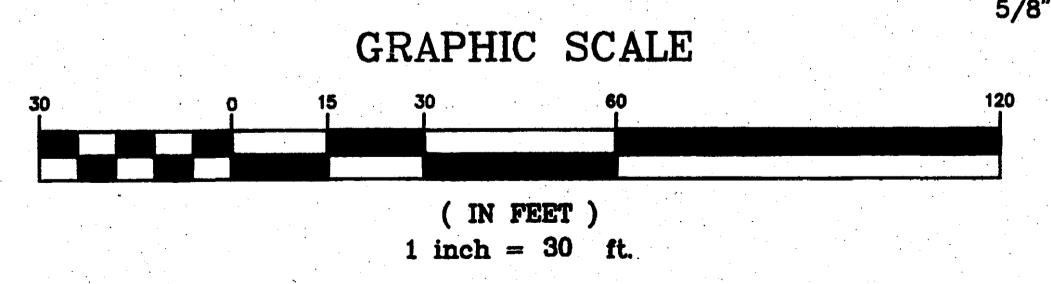
ACS Monument "13_D16"
 NAD 1983 CENTRAL ZONE
 X=1534181.325
 Y=1518996.001
 Z=5073.471 (NAVD 1988)
 G-G=0.999673570
 Mapping Angle=-0°12'17.26"

Parcel "C"
 North Diversion and Inlet Channels,
 Phase 4, North Plio Inlet
 (11/1/06, 98C-429)
 UPC #101606346229010310



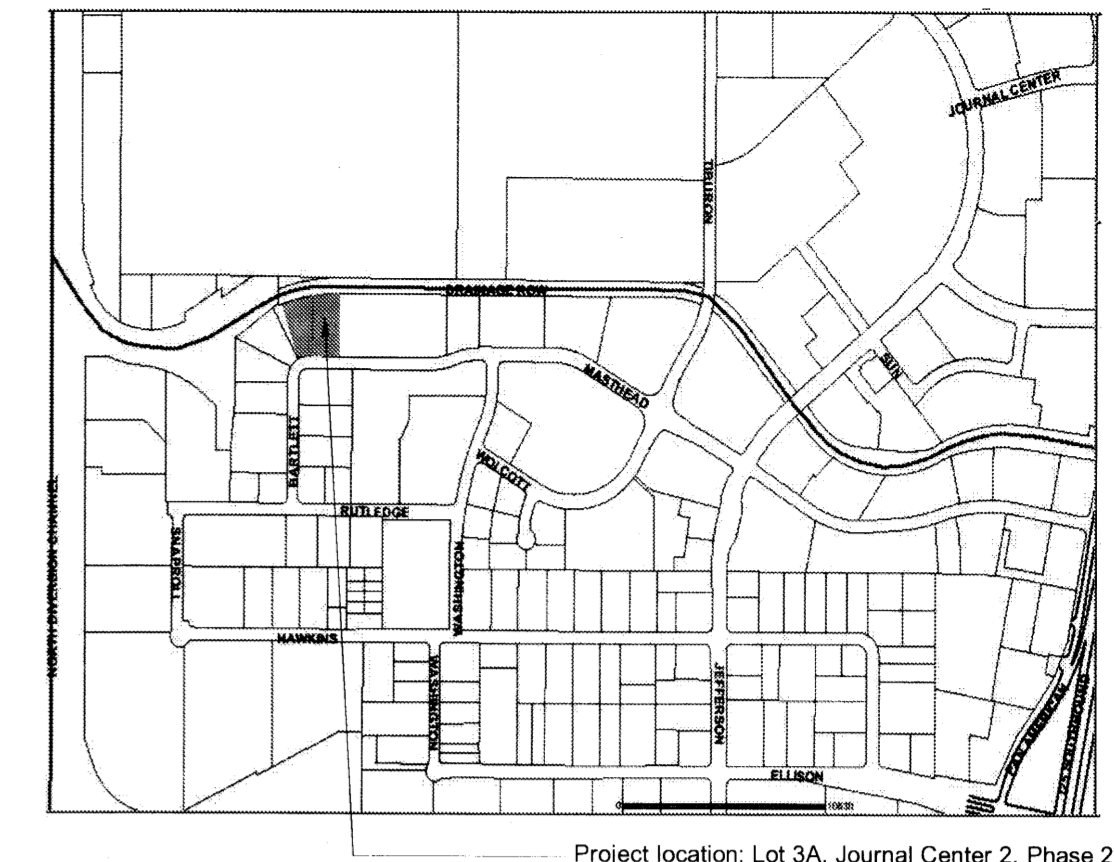
Easement Notes
 1 EXISTING 10' PUBLIC UTILITY EASEMENT (4/10/03, 03C-98)

Solar Collection Note
 PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:
 NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.



DOCH 2011095134
 10/20/2011 10:39 AM Page: 3 of 3
 PLAT R: \$25.00 B: 2011C P: 0110 M. Toulous Olivero, Bernalillo Cour

CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
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VICINITY MAP
Project location: Lot 3A, Journal Center 2, Phase 2.

Drawing Directory

Sheet #1:	A0.1	Site Plan and Refuse Enclosure
Sheet #2:	L1.0	Landscape Plan
Sheet #3:	C1.0	Conceptual Grading Plan
Sheet #4:	C2.0	Conceptual Utility Plan
Sheet #5:	A2.0	Building Elevations and Signage
Sheet #6:	A3.0	Renderings

Areas and Phasing

Total Site Area: 78,463 sf
 Circulation and Parking: 42,279 sf
 Net Site Area: 62,203 sf
 Landscaping: 19,924 sf (32% of Net Site Area)

Phase One Building (Medical Clinic): 13,524 sf
 Phase Two Building Shell to be built concurrently with Phase One): 2,636 sf
 Total Building Area: 16,160 sf

Phase Two Build-out (Interventional Nephrology Clinic): (2,636 sf, included in total above)

Parking Requirements

Required parking: 5 spaces per 1 physician.
 (11 physicians) x (5 spaces) = 55 spaces required.

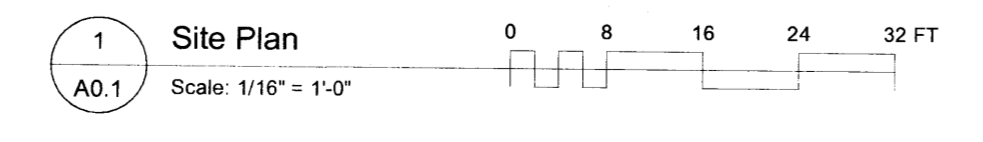
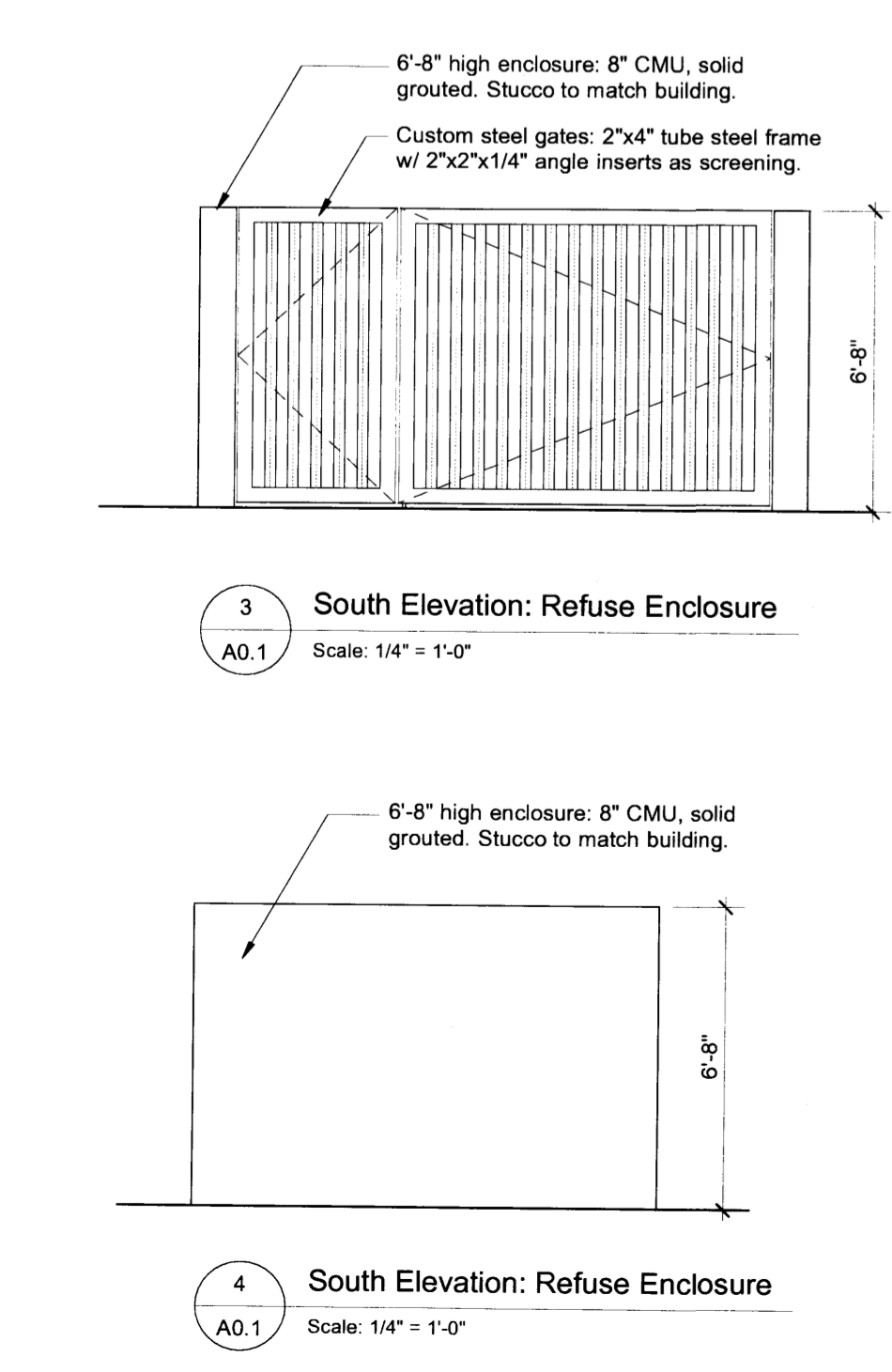
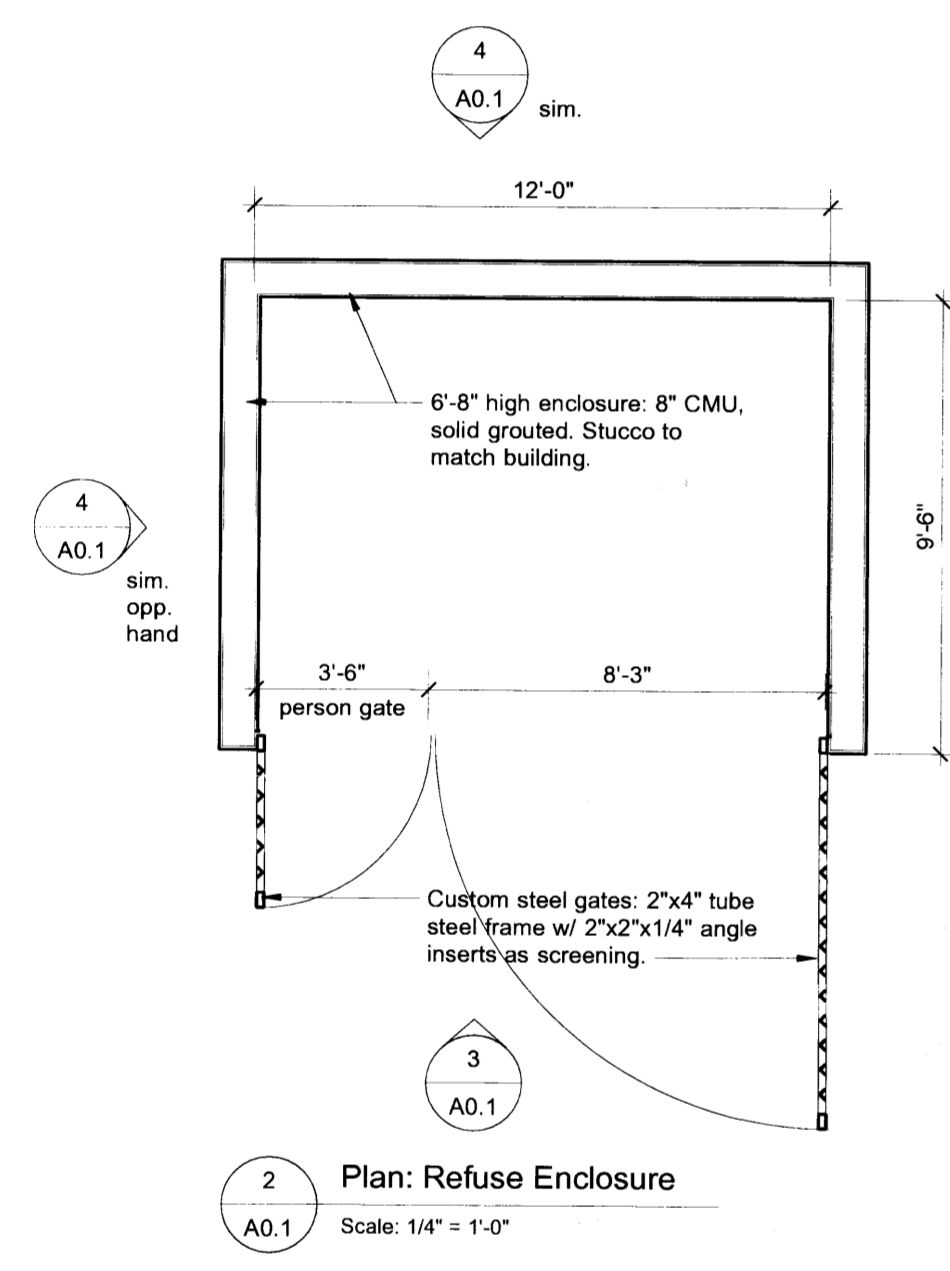
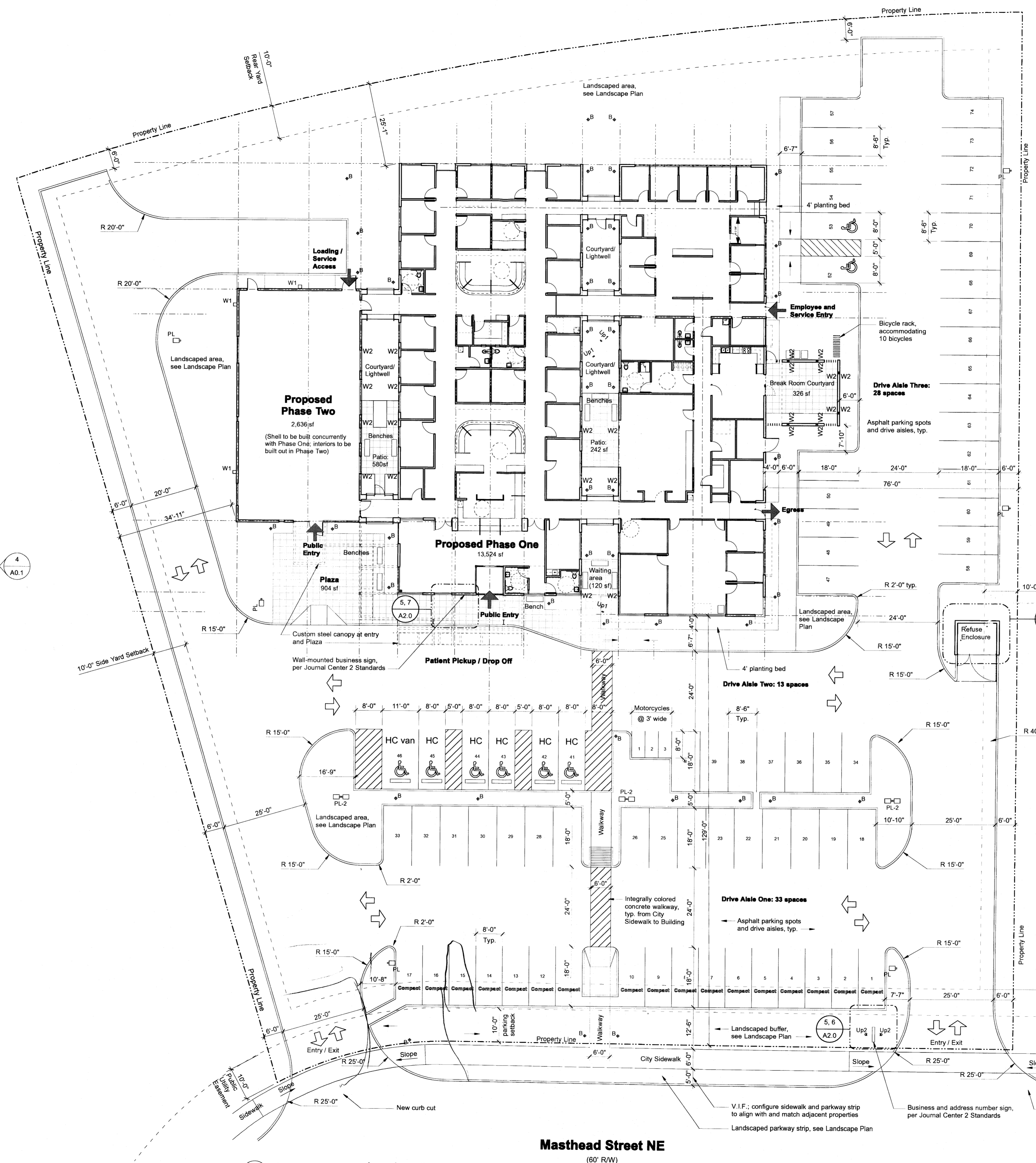
Spaces provided:
 Drive Aisle One: 33 spaces
 Drive Aisle Two: 13 spaces
 Drive Aisle Three: 28 spaces
Total Parking Spaces: 74

Accessible spaces required: for 51 - 100 spaces, 4 required plus 1 accessible van space.
 Accessible spaces provided = 7 regular + 1 van.
 Motorcycle spaces required: 3 Provided: 3
 Bicycle spaces required: 1 per 20 parking spaces = 4 required. Provided: 10

Preliminary Lighting Schedule *

- PL Pole light fixture for parking lot, 22' height
- 24" tall bollard fixture for pathway and landscape accent lighting
- Aimable uplight for vegetation, landscape accent lighting
- In-ground uplight for signage
- Wall-mounted area light at loading and service area
- Recessed wall fixture, step light

* Note: All fixtures will comply with Night Lighting Ordinance



Date Issue
 8/19/11 DRB Submittal
Damon J. ...
 ca. 10.11 - *Thompson*
 Solid Waste Mgmt Dept

August 19th, 2011
 75% Design Development

A0.1
 Site Plan

218 girard s.e., albuquerque, nm 87106
 ph (505) 255-4033 fx (505) 266-0251
dnca
Renal Medicine Associates Clinic
 3821 Masthead Street NE (Journal Center Phase 2, Unit 2)
 Albuquerque, New Mexico

PLANT LIST

Symbol	Botanical name	Common name	Installed Size	Mature Size	Water use
TREES					
	<i>Fraxinus velutina</i>	Arizona Ash	2" CAL.	40' HT x 35' W	MEDIUM+
	<i>Forestiera neomexicana</i>	New Mexico Olive	15 GAL.	15' HT x 15' W	MEDIUM
	<i>Pinus edlarica</i>	Afghan Pine	8' HT	40' HT x 18' W	MEDIUM
	<i>Cornus mas</i>	Cornelian Cherry (dogwood)	15 GAL.	15' HT x 20' W	MEDIUM+
	<i>Forestiera neomexicana</i>	New Mexico Olive	15 GAL.	15' HT x 15' W	MEDIUM
	Yaupon holly	<i>Ilex vomitoria</i>	15 GAL.	15' HT x 15' W	MEDIUM
	<i>Populus deltoides 'wisliseni'</i>	Rio Grande Cottonwood	15 GAL.	50' HT x 60' W	MEDIUM+
	<i>Quercus turbinella</i>	Shrub Live Oak	15 GAL.	6-15' HT x 20' W	MEDIUM
	<i>Chilopsis linearis</i>	Desert willow	15 GAL.	20' x 25' W	LOW
	<i>Crataegus sp.</i>	Multistem Hawthorn (variety)	8' M.S.	8' M.S.	MEDIUM/ MEDIUM+
SHRUBS - group 1 (parking lot medium)					
	<i>Cotoneaster pernyi</i>	parney cotoneaster	5 GAL.	5' HT x 5' W	LOW
	<i>Miscanthus sinensis 'gracillimus'</i>	Maidenhair grass	5 GAL.	5-7' HT x 3'4' W	MEDIUM+
	<i>Panicum virgatum 'shenadoah'</i>	Shenadoah switchgrass	3 GAL.	3-4' HT x 3-4' W	MEDIUM
SHRUBS - group 2 (parking lot low)					
	<i>Artemisia sp.</i>	Powis castle Silver sage	1 GAL.	3' HT x 3' W	LOW
	<i>Pennisetum alopecuroides 'hameln'</i>	Dwarf fountaingrass	1 GAL.	4-5' HT x 2' W	MEDIUM
	<i>Salvia spp.</i>	<i>Salvia</i> (variety)	1 GAL.	10-20" HT x 10-20" W	MEDIUM
SHRUBS - group 3 (courtyard)					
	<i>Liriope muscari</i>	Lilyturf	1 GAL.	18" HT x 18" W	MEDIUM
	<i>Boxus sempervirens</i>	Common Boxwood	1 GAL.	4' HT x 4' W	MEDIUM
	<i>Thymus serpyllum</i>	Creeping Thyme	1 GAL.	3" HT x 1' W	MEDIUM
	<i>Mahonia repens</i>	Creeping Mahonia	1 GAL.	18-24" HT x 3-4' W	MEDIUM
	<i>Chasmanthium latifolium 'River Mist'</i>	Variegated Northern Sea Oats	1 GAL.	3' HT x 3' W	MEDIUM
SHRUBS - group 4 (building perimeter)					
	<i>Andropogon scoparium 'the blues'</i>	Little Bluestem	3 GAL.	3' HT x 3' W	LOW
	<i>Miscanthus sinensis 'gracillimus'</i>	Maidenhair grass 'gracillimus'	5 GAL.	5-7' HT x 3'4' W	MEDIUM+

Decorative boulders

Sitting boulders (courtyard)

7/8" gravel mulch (pervious surface)

Crusher fines (pervious surface)

native seeding (pervious surface)

LANDSCAPE NOTES

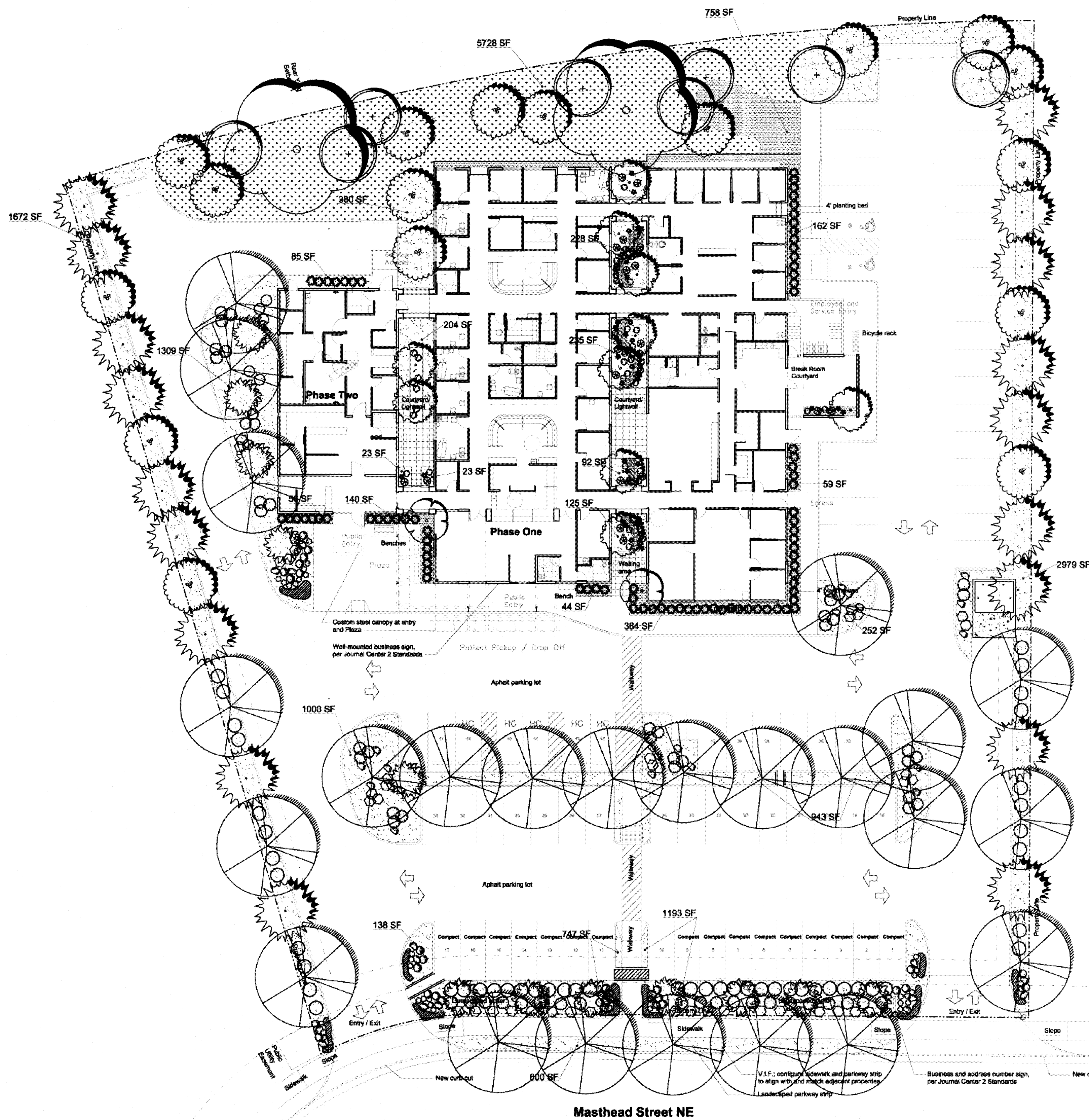
Plan is diagrammatic and approximate due to the scale of the drawing and not all individual shrubs or ground covers are shown. No planting area will be left uncovered or not top-dressed. All planting areas will be planted with trees, shrubs, or groundcovers. At maturity, plants will provide a minimum coverage of 75% of the landscape area. All plant area shall be covered with a 3" layer of aggregate or mulch.

STATEMENT OF COMPLIANCE WITH WATER CONSERVATION ORDINANCES:
Intent of plan is to conform to the landscape requirements of Journal center 2 as well as all city ordinances and codes relating to landscape requirements, including the Water Conservation and Water Waste Ordinance (C_ORD 18-1995).

DESCRIPTION OF IRRIGATION SYSTEM:
An automatic underground irrigation system will be designed and installed to serve all new plant materials. Trees and shrubs will be irrigated with a low-flow bubbler and/or drip emitter system. Native seeding on north end will be irrigated with pop-up rotors until established.

MAINTENANCE RESPONSIBILITY:
All responsibility for maintenance shall lie with the Owner/developer.

DETAILS:
Backflow prevention and tree wells will be constructed following City of Albuquerque standard specifications details for public works construction. Please reference the following:
Backflow prevention detail-DWG. 2701
Tree well detail-DWG. 2714



Scale: 1" = 20'

LANDSCAPE CALCULATIONS

Total Site = 78,463 s.f.
Building Area = 16,160 s.f.
Net Site Area = 62,203 s.f.
Landscape Area Provided = 19,924 s.f.
(32% of Net Site Area)

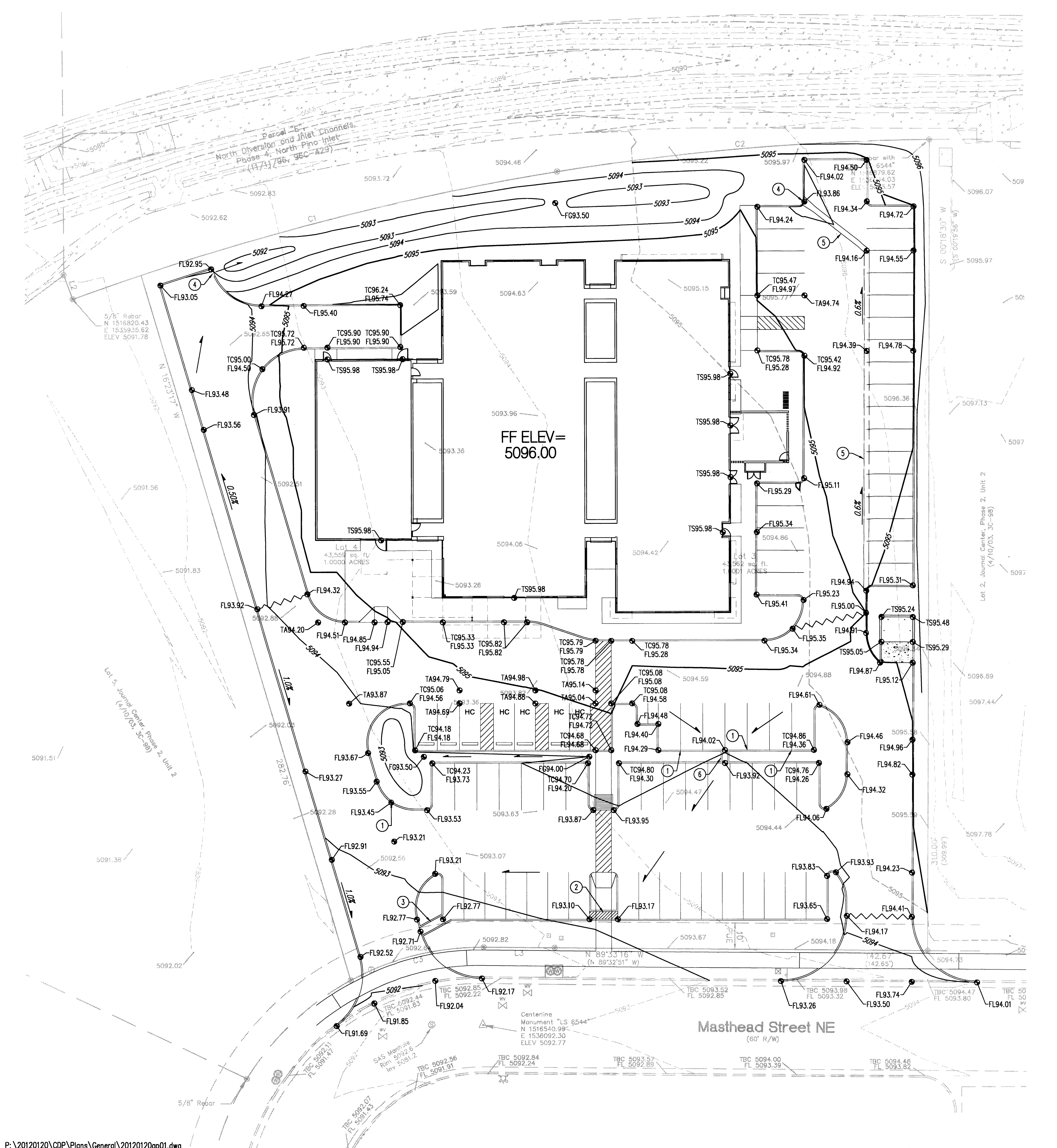
218 girard s.e., albuquerque, nm 87106
ph (505) 255-4033 fx (505) 266-0251

Renal Medicine Associates Clinic
Journal Center
Albuquerque, New Mexico

Date Issue

August 19th, 2011
100% Schematic Design

L1.0
Landscape Plan



LEGEND

- PROPERTY LINE
- 5093 EXISTING GROUND SPOT ELEVATION
- 95.32 PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TS=TOP OF SIDEWALK
EX=EXISTING, FG=FINISHED GRADE
- S=2.0% PROPOSED DIRECTION OF FLOW
- ▬ WATER BLOCK
- 5.0% PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB
- - - EASEMENT

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GRADING KEYED NOTES

1. INSTALL 12" WIDE CURB OPENING.
2. INSTALL 36" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
3. INSTALL 36" WIDE CONCRETE RIBBON CHANNEL.
4. INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
5. INSTALL 24" WIDE CONCRETE VALLEY GUTTER.
6. INSTALL 24" WIDE CONCRETE RIBBON CHANNEL.

Date _____ Issue _____

August 18th, 2011

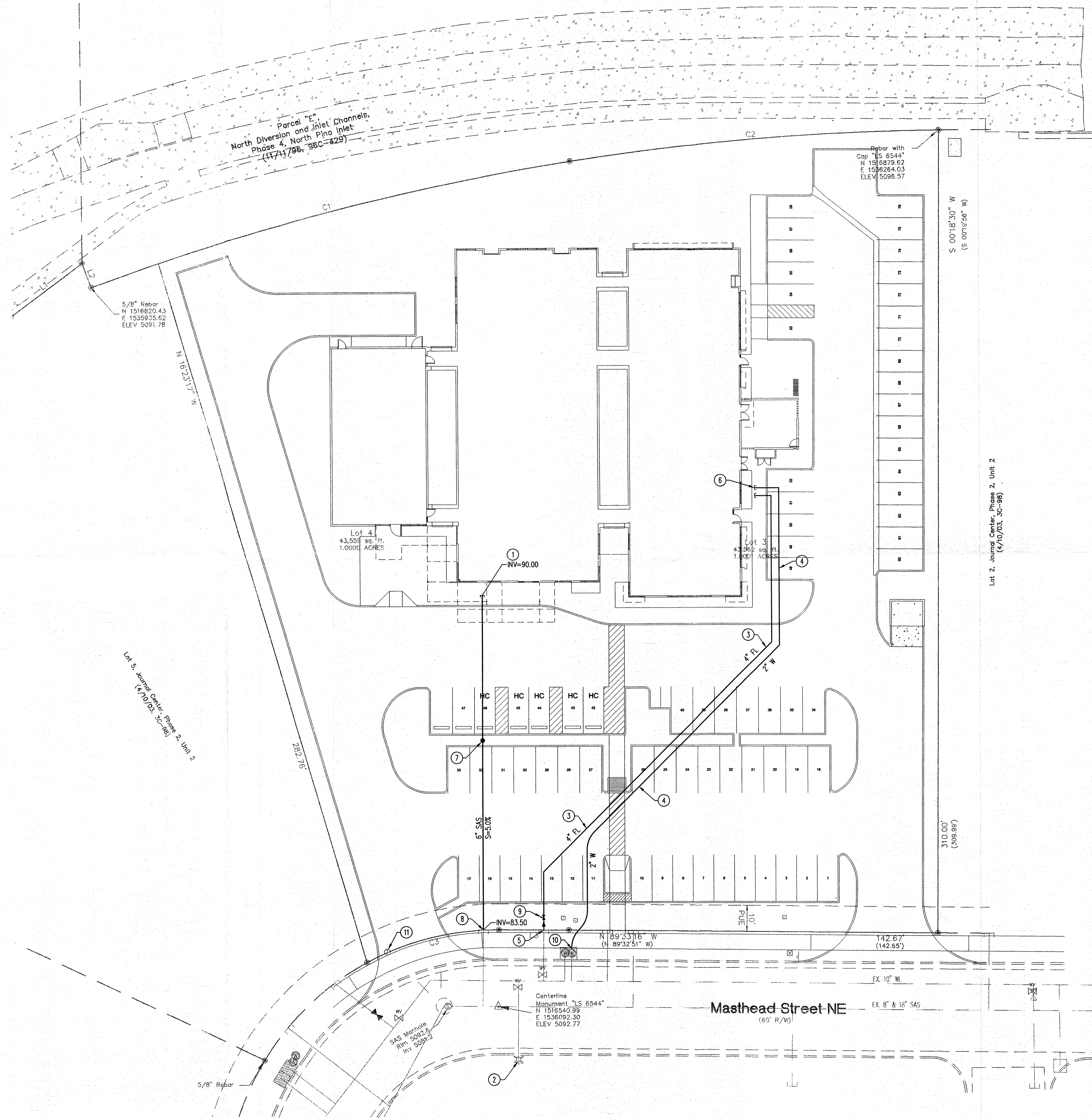
100% Schematic Design

Bohannon & Huston

C1.0
Conceptual Grading Plan

218 girard s.e., albuquerque nm, 87106
 ph (505) 265-4033 fx (505) 266-0251
dnca

Renal Medicine Associates Clinic
 Journal Center
 Albuquerque, New Mexico



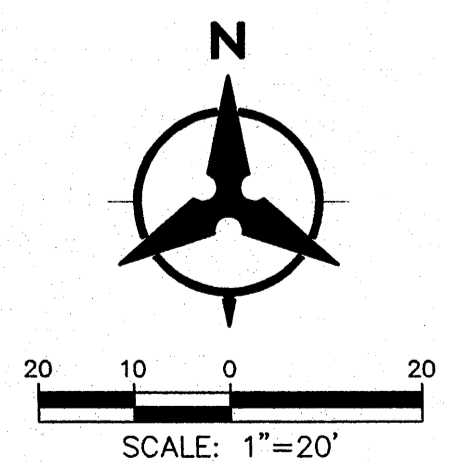
UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

UTILITY KEYED NOTES

1. 6" SANITARY SEWER SERVICE, SEE PLUMBING PLANS FOR CONTINUATION.
2. EXISTING FIRE HYDRANT.
3. 4" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL. FIRE LINE PIPE JOINTS AND MECHANICAL JOINTS SHALL BE RESTRAINED FOR ENTIRE LENGTH. PROVIDE 3' MINIMUM COVER.
4. NEW 2" WATER LINE. CONNECT TO EXISTING METER SERVICE.
5. CONNECTION TO EXISTING 6" FIRE LINE STUB.
6. NEW 2" DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT.
8. CONNECT TO EXISTING 6" SAS SERVICE LINE.
9. 6"x4" REDUCER AND POST INDICATOR VALVE.
10. EXISTING 1 1/2" WATER SERVICE LINE AND METER BOX. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF METER.
11. ADJUST EXISTING TELECOM MANHOLE FRAME & COVER TO PROPOSED GRADE.

AFD PLANS CHECKING OFFICE
 924-3611
APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
R.C. [Signature] 8-18-11
 SIGNATURE & DATE



Date _____ Issue _____

dnca

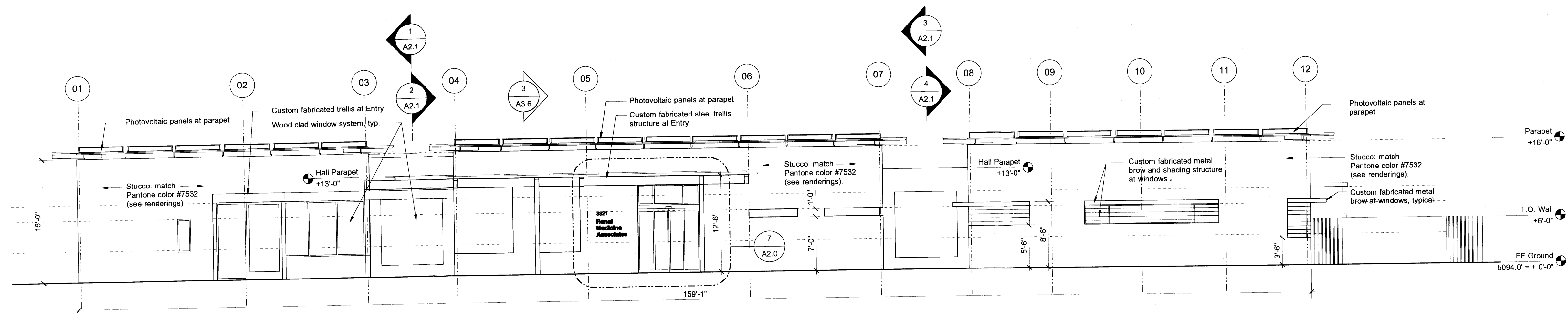
Renal Medicine Associates Clinic
 Journal Center
 Albuquerque, New Mexico

July 8th, 2011

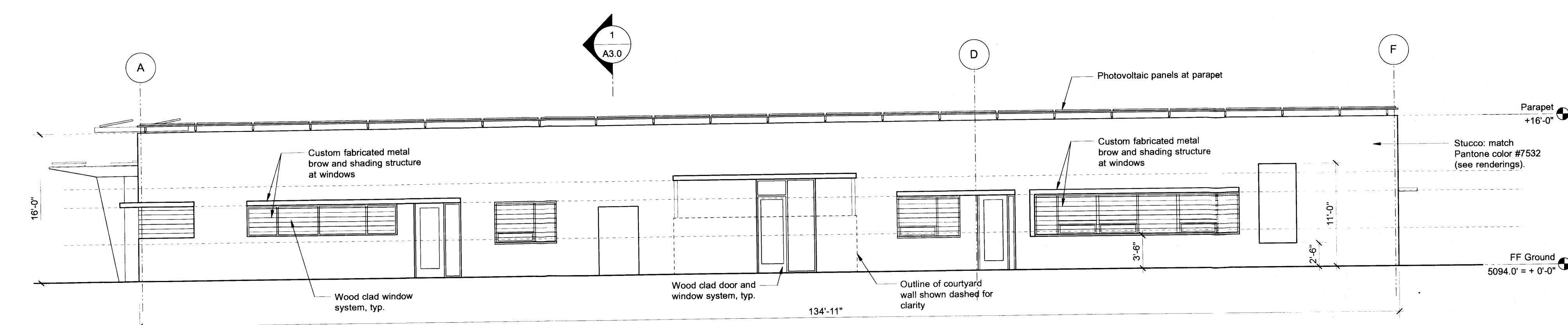
100% Schematic Design

Bohannon & Huston

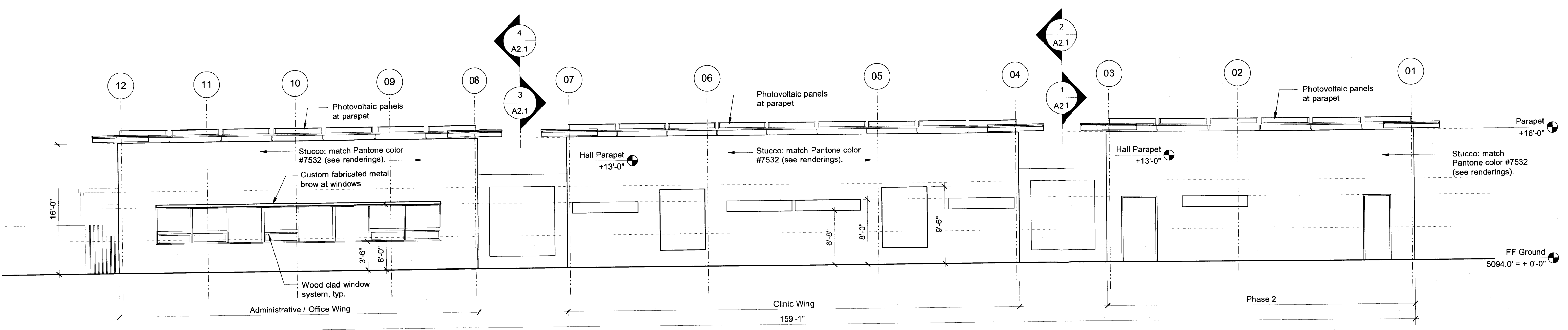
C2.0
 Conceptual Utility Plan



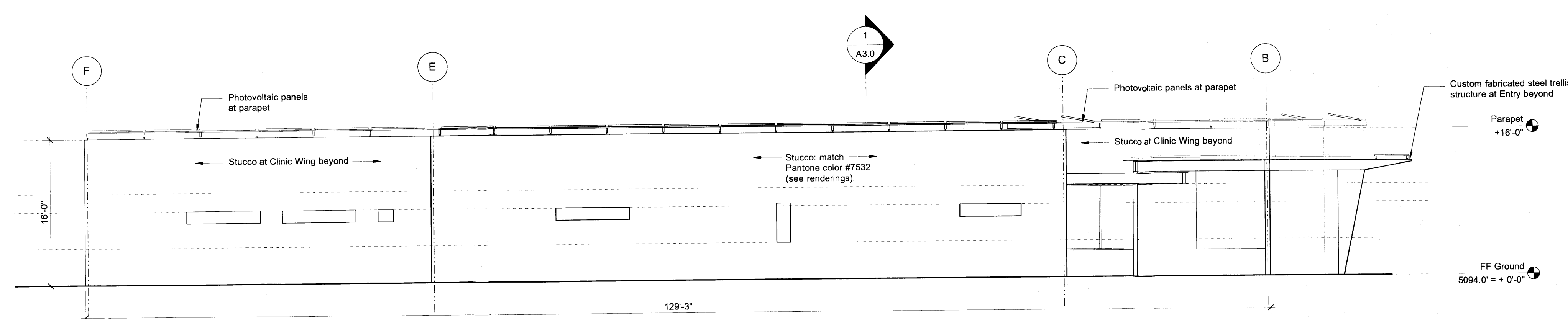
1 South Elevation
A2.0
Scale: 1/8" = 1'-0"



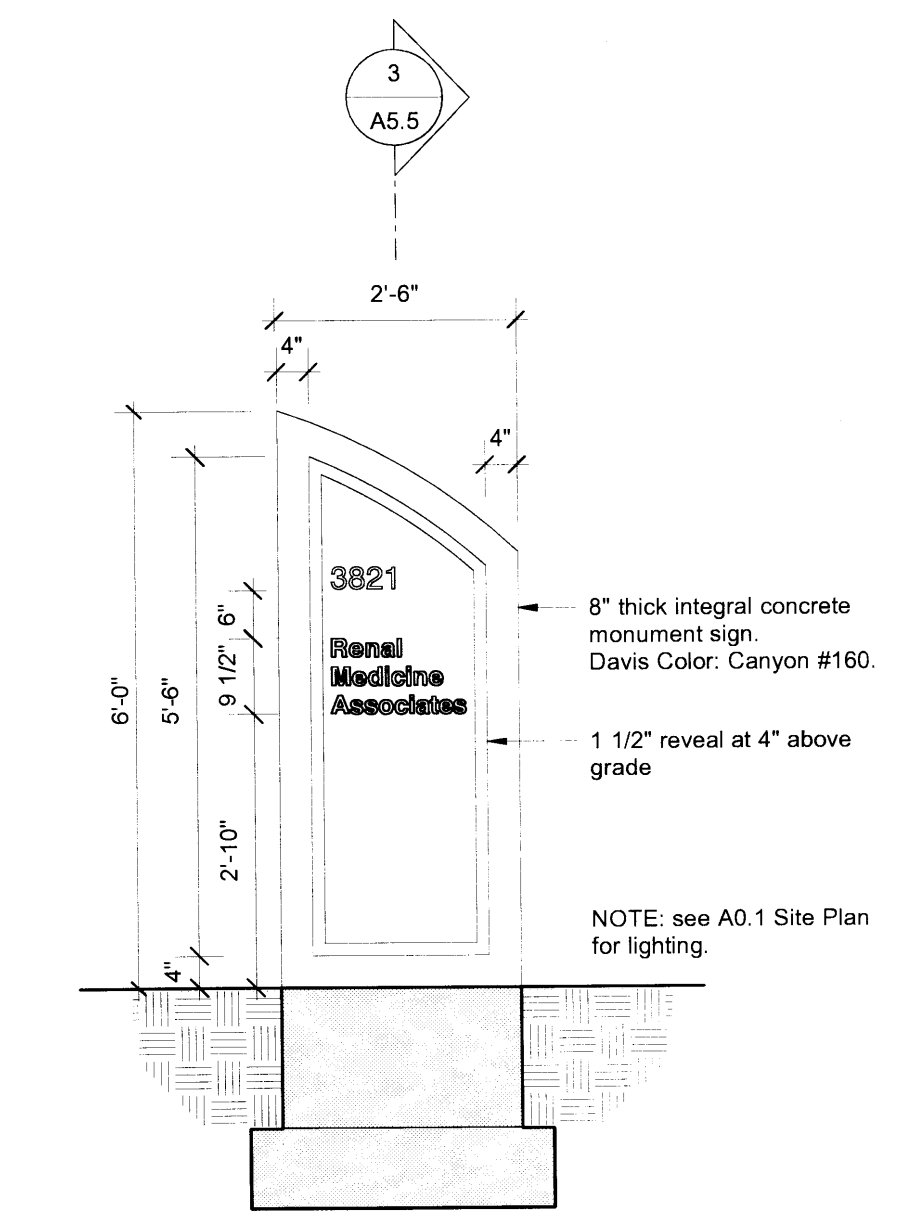
2 East Elevation - Administrative / Office Wing
A2.0
Scale: 1/8" = 1'-0"



3 North Elevation
A2.0
Scale: 1/8" = 1'-0"

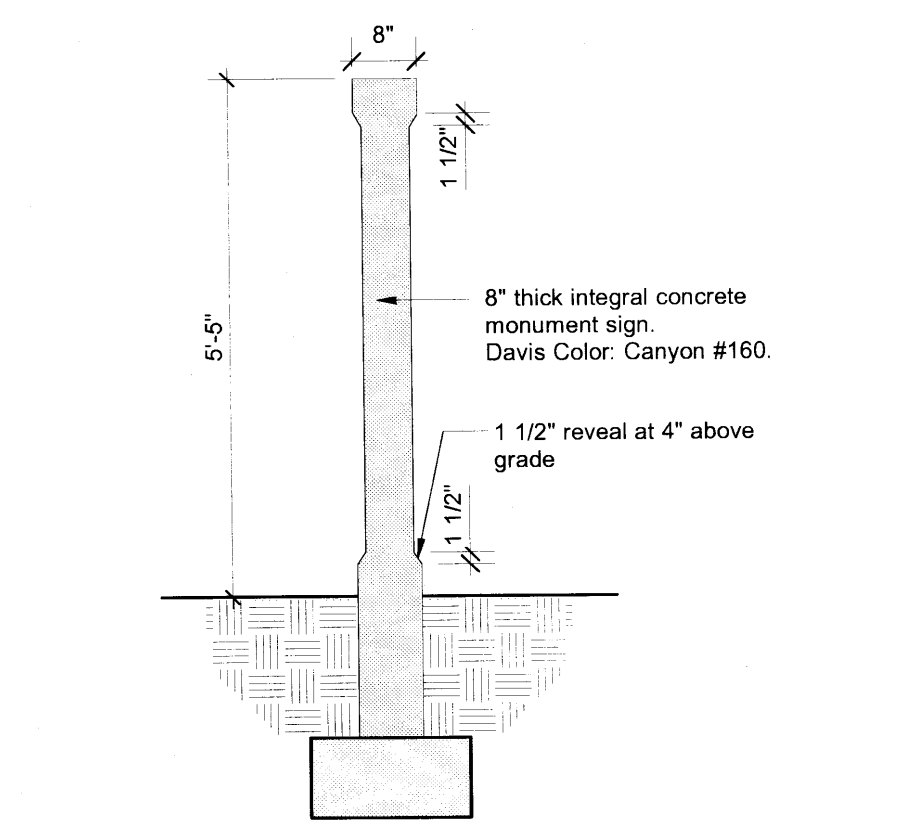


4 West Elevation
A2.0
Scale: 1/8" = 1'-0"

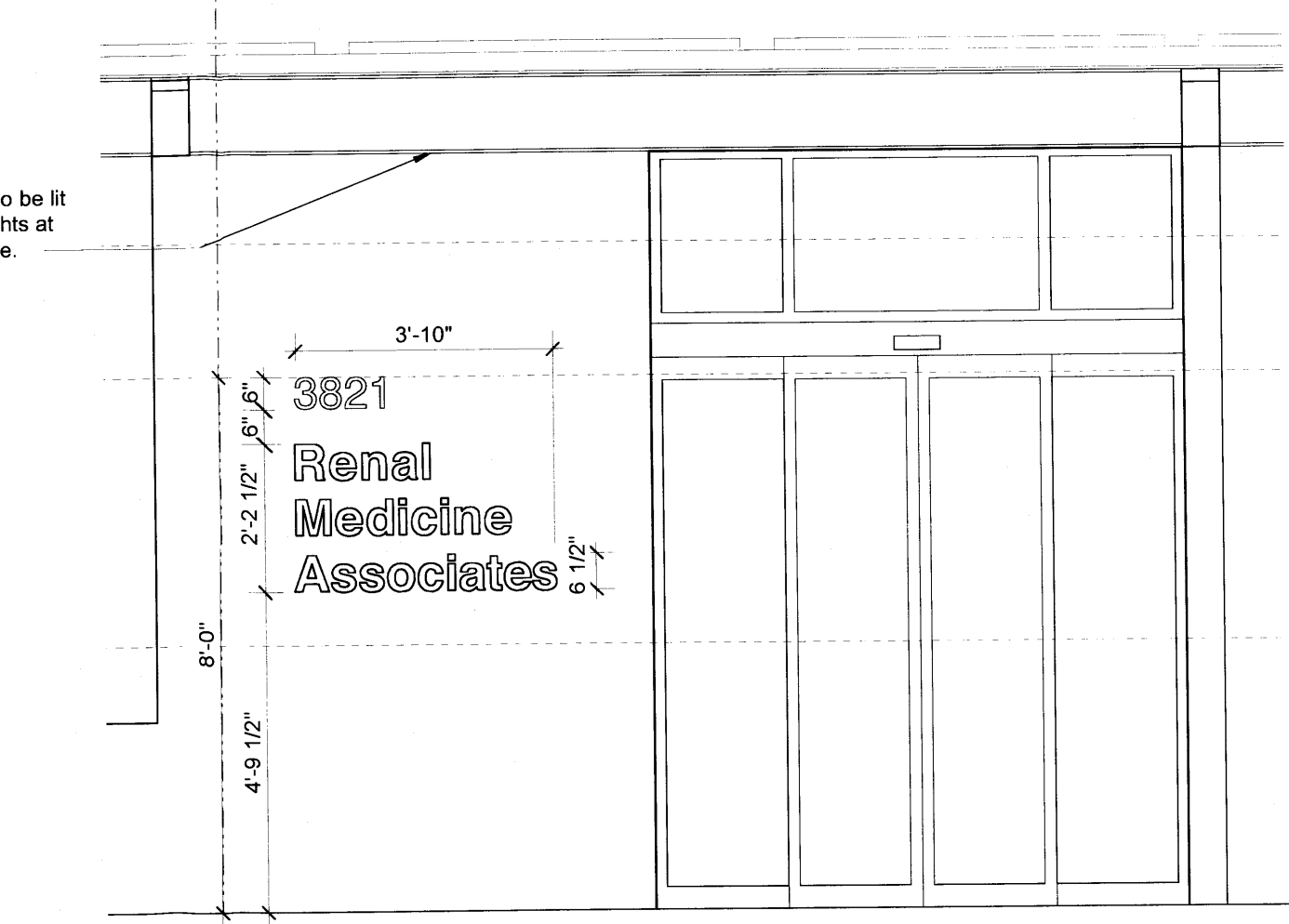


5 Building Identification Sign at Street
A2.0
Scale: 1/2" = 1'-0"

1/4" Flat Cut Aluminum Letters
Natural Satin Finish
Flush Mounted with Blind Stud and Pattern
Text Height 2.5" (Visibility 65)

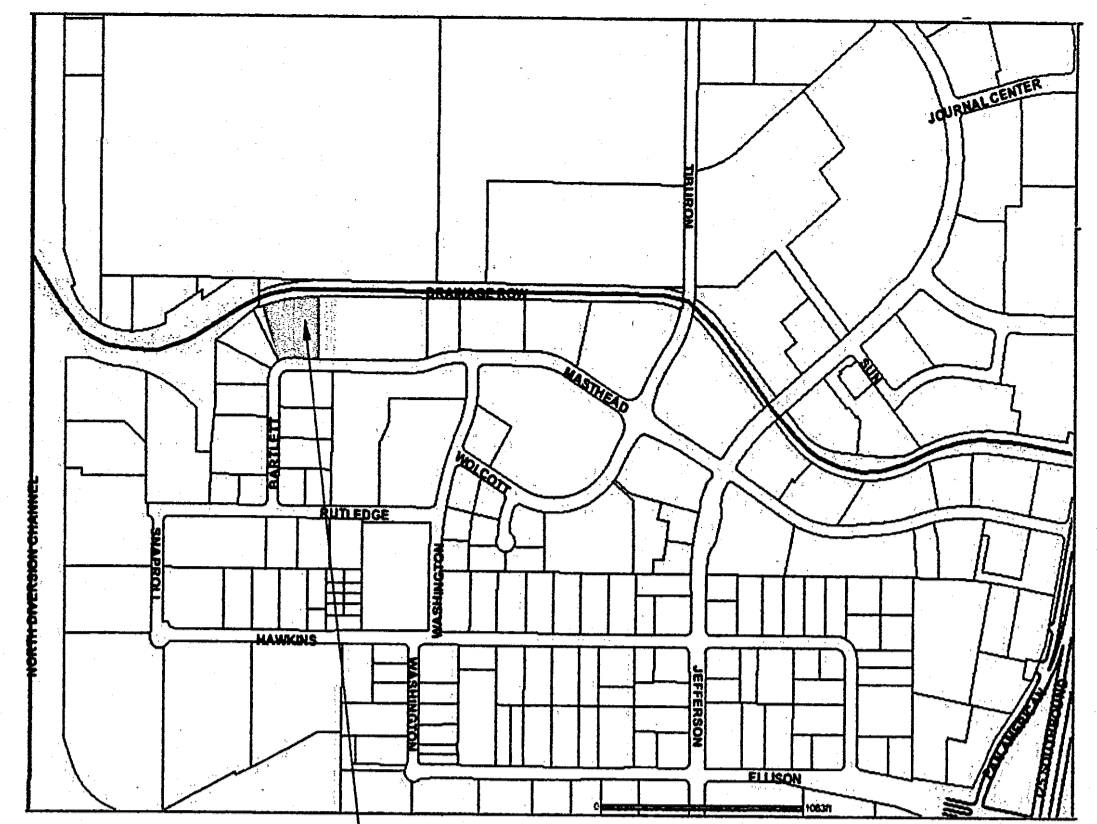


6 Building Section - Identification Sign at Street
A2.0
Scale: 1/2" = 1'-0"



7 South Exterior Entry Door Sign
A2.0
Scale: 3/8" = 1'-0"

1/4" Flat Cut Aluminum Letters
Natural Satin Finish
Flush Mounted with Blind Stud and Pattern
Text Height 6 1/2" (Visibility 160)



VICINITY MAP Project location: Lots 384, Journal Center 2, Phase 2.

Drawing Directory

- Sheet #1: A0.1 Site Plan and Refuse Enclosure
- Sheet #2: L1.0 Landscape Plan
- Sheet #3: C1.0 Conceptual Grading Plan
- Sheet #4: C2.0 Conceptual Utility Plan
- Sheet #5: A2.0 Building Elevations and Signage
- Sheet #6: A3.0 Renderings

Areas and Phasing

Total Site Area: 78,463 sf
 Circulation and Parking: 42,279 sf
 Net Site Area: 62,203 sf
 Landscaping: 19,924 sf (32% of Net Site Area)

Phase One Building (Medical Clinic): 13,524 sf
 Phase Two Building Shell to be built concurrently with Phase One: 2,636 sf
 Total Building Area: 16,160 sf

Phase Two Build-out (Interventional Nephrology Clinic): (2,636 sf, included in total above)

Parking Requirements

Required parking: 5 spaces per 1 physician.
 (11 physicians) x (5 spaces) = 55 spaces required.

Spaces provided:

- Drive Aisle One: 28 spaces
- Drive Aisle Two: 7 spaces
- Drive Aisle Three: 12 spaces
- Drive Aisle Four: 28 spaces
- Total Parking Spaces: 75**

Compact spaces allowed: 25%. 75 x .25 = 18.75. Compact spaces provided: 18.

Accessible spaces required: for 51 - 100 spaces, 4 required plus 1 accessible van space.

Accessible spaces provided = 5 regular + 1 van.

Motorcycle spaces required: 3 Provided: 3

Bicycle spaces required: 1 per 20 parking spaces = 4 required. Provided: 10

Preliminary Lighting Schedule *

- PL-PL-2 Pole light fixture for parking lot, 20' height
- B 24" tall bollard fixture for pathway and landscape accent lighting
- Up1 Aimable uplight for vegetation, landscape accent lighting
- Up2 In-ground uplight for signage
- W1 Wall-mounted area light at loading and service area
- W2 Recessed wall fixture, step light

* Note: All fixtures will comply with Night Lighting Ordinance

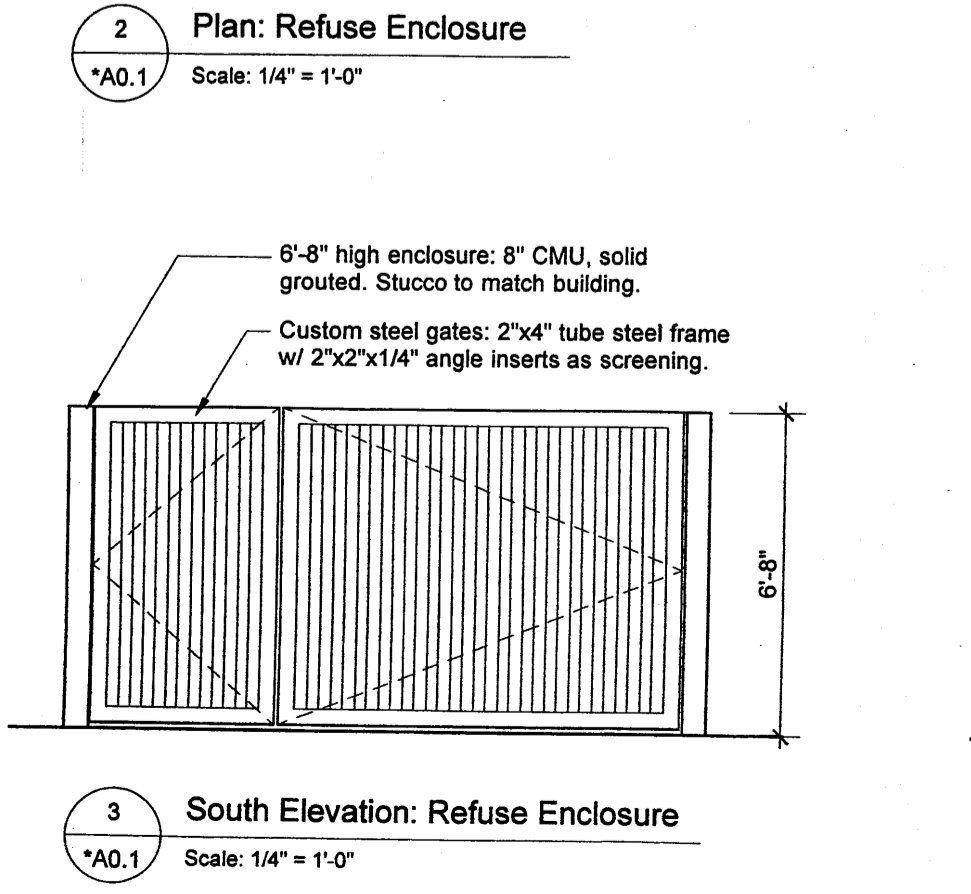
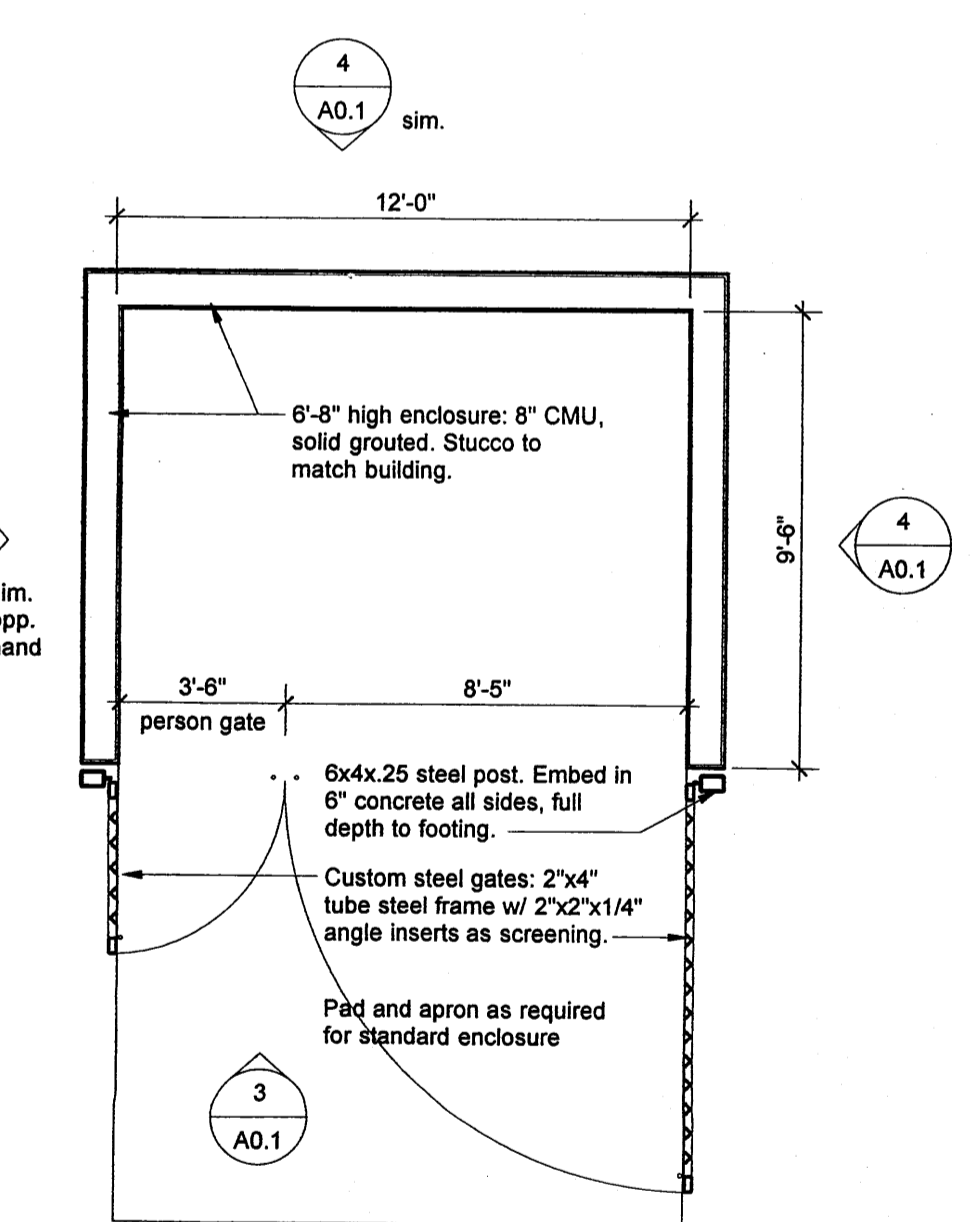
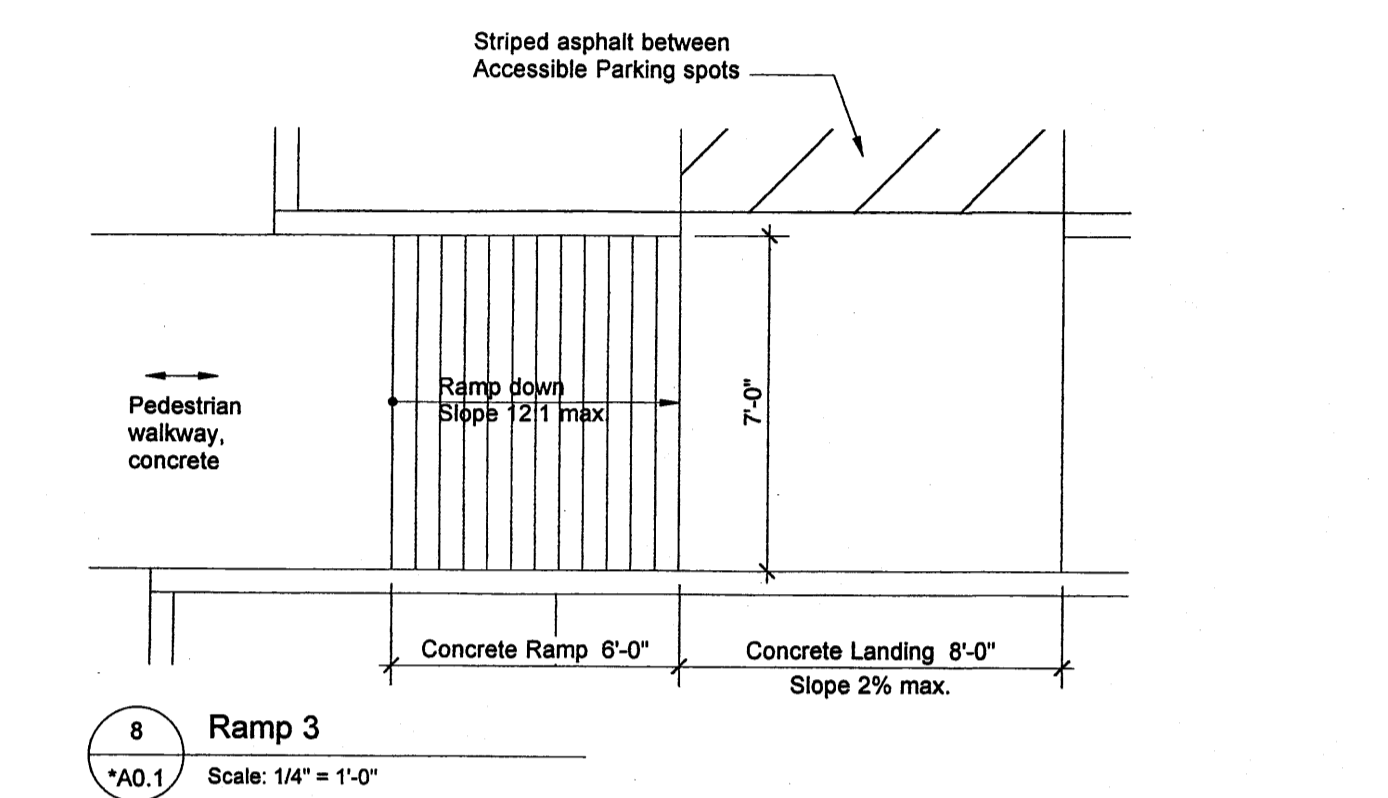
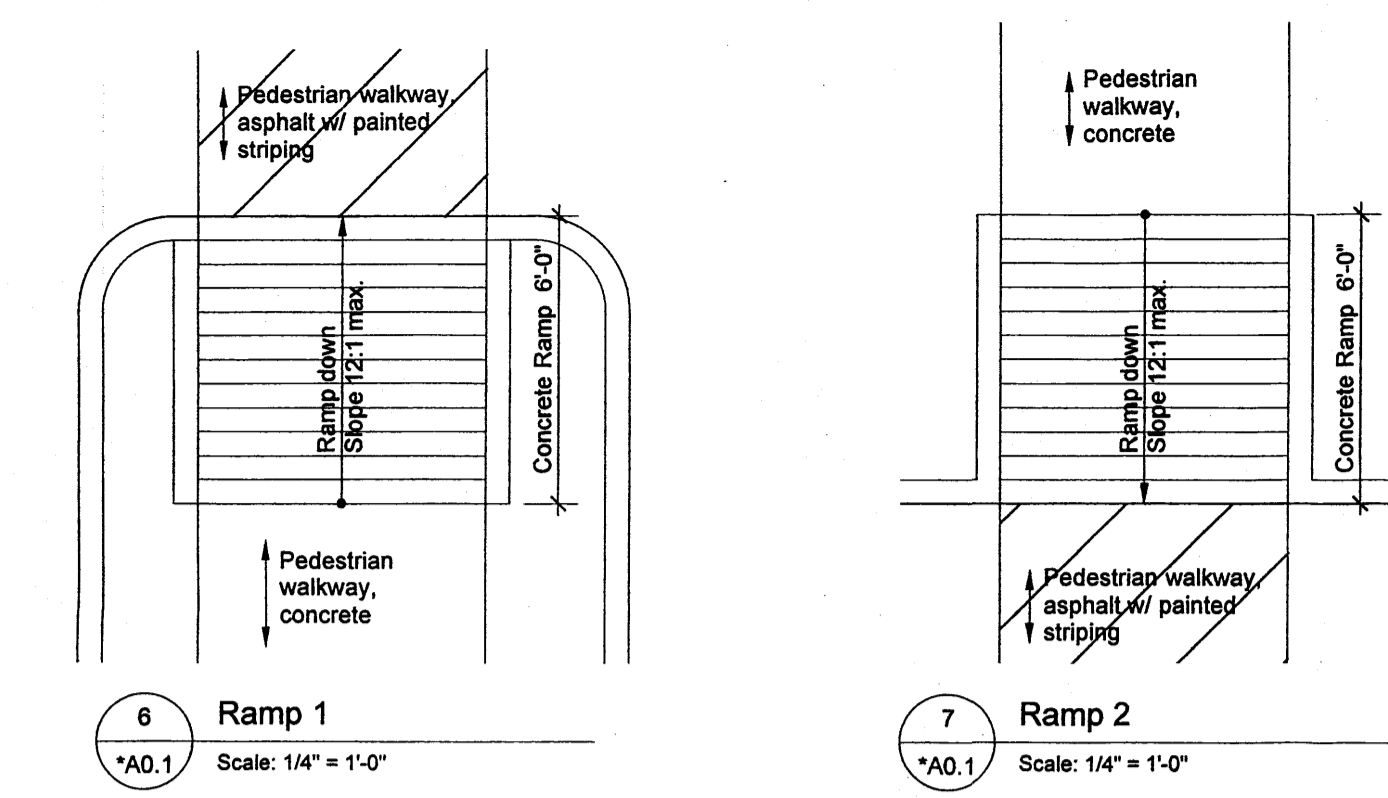
PROJECT NUMBER _____
Application Number _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

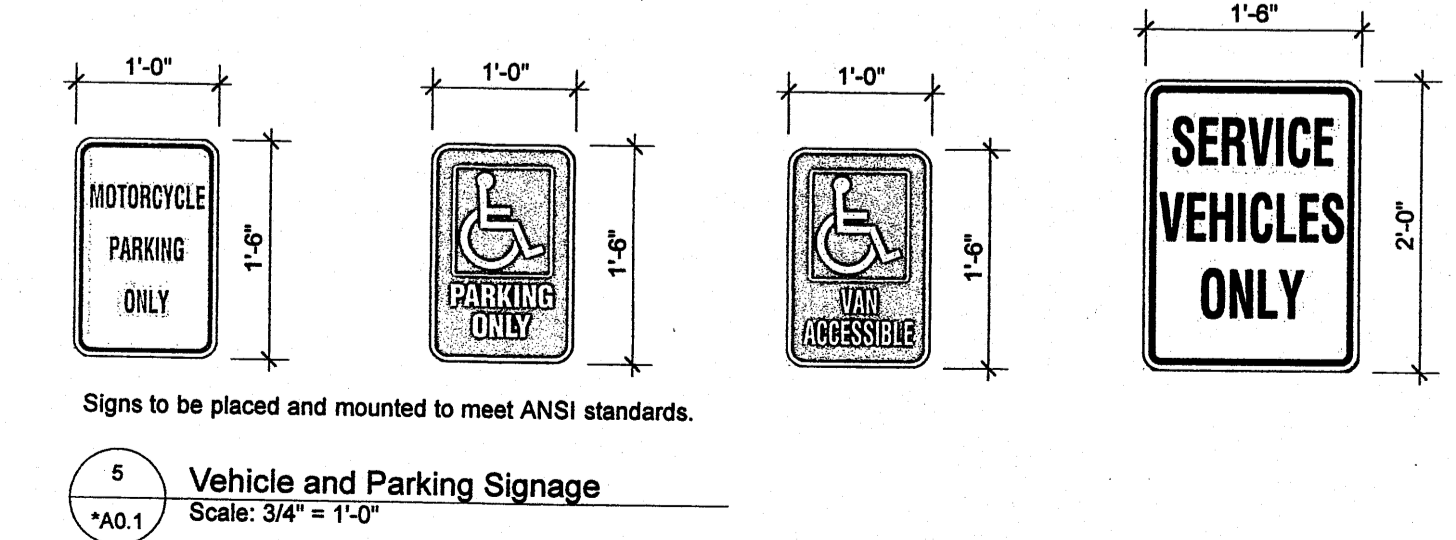
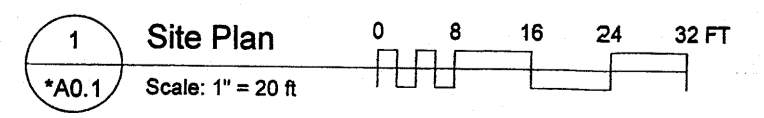
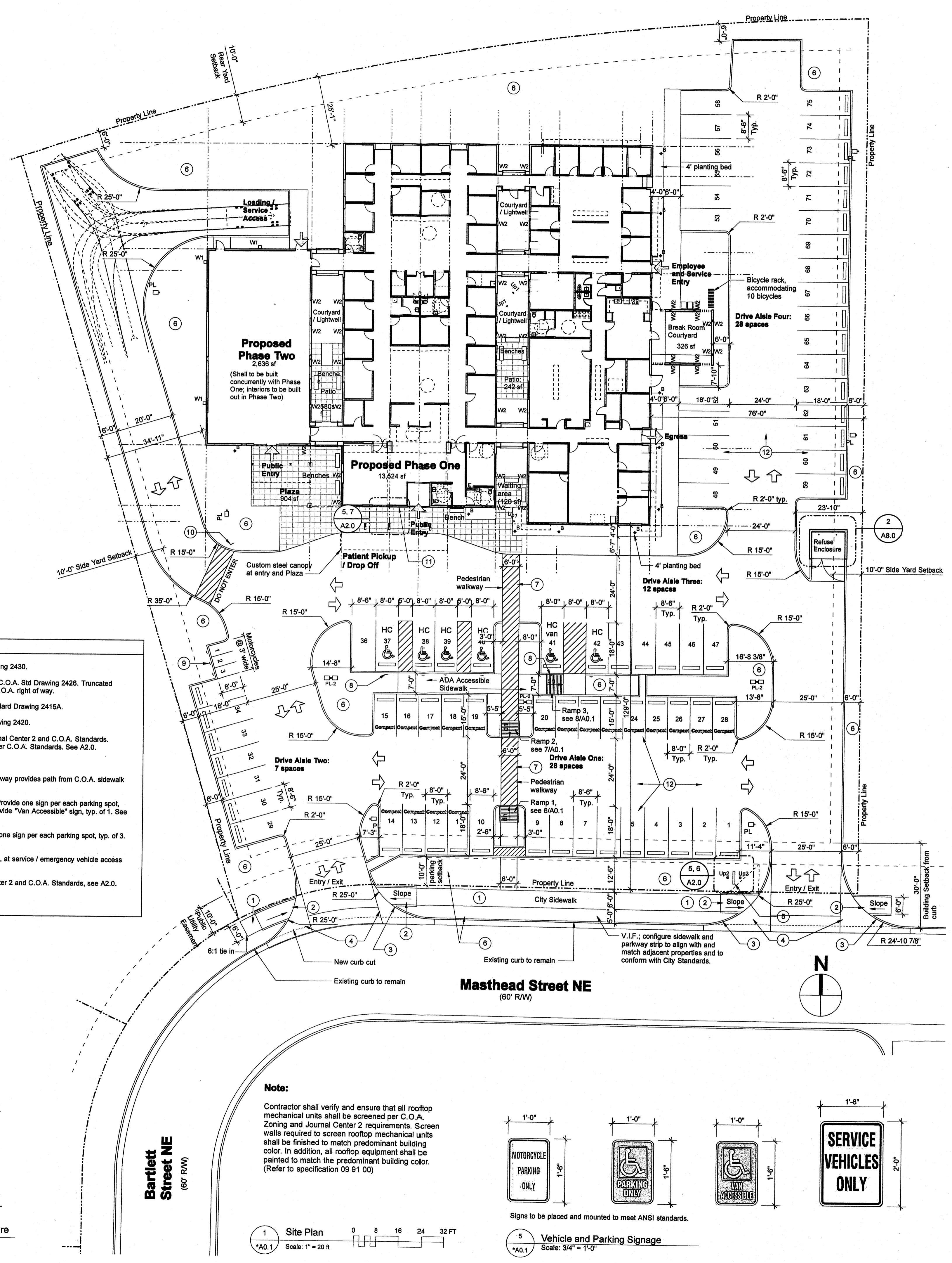
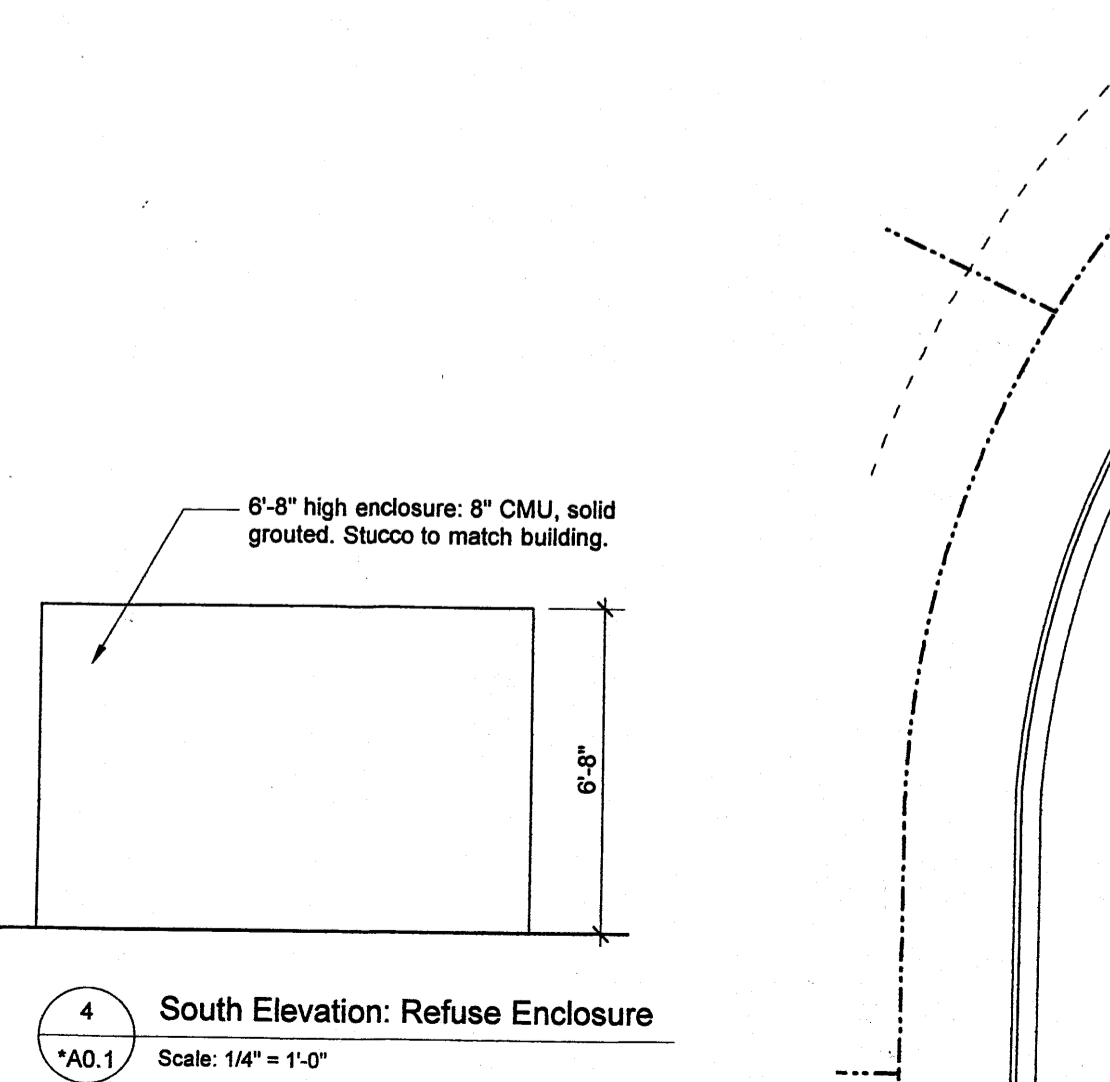
DRB SITE DEVELOPMENT PLAN APPROVAL

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____ Issue _____
Parks and Recreation Department	Date _____ 8/19/11 DRB Submittal
	Date _____ 10/05/11 Revisions per DRB Hearing
City Engineer	Date _____
* Environmental Health Department (Conditional)	Date _____ September 8th, 2011
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

Renal Medicine Associates Clinic
 3821 Masthead Street NE (Journal Center Phase 2, Unit 2)
 Albuquerque, New Mexico
 dnca



- Drawing Notes**
- Construct new sidewalk per C.O.A. Std Drawing 2430.
 - Construct undirection curb access ramp per C.O.A. Std Drawing 2426. Truncated domes shall be installed at all ramps within C.O.A. right of way.
 - Construct new curb & gutter per C.O.A. Standard Drawing 2415A.
 - Construct 6" valley gutter per C.O.A. Std Drawing 2420.
 - Business and address number sign, per Journal Center 2 and C.O.A. Standards. Located outside 11'x11' clear sight triangle, per C.O.A. Standards. See A2.0.
 - Landscaped area, see Landscape Plan.
 - Striped 6' wide pedestrian walkway, typ. Walkway provides path from C.O.A. sidewalk to building entrance.
 - Signage for accessible access only parking. Provide one sign per each parking spot, typ. of 5. See 5/A1.0. At van parking spot, provide "Van Accessible" sign, typ. of 1. See 5/A1.0.
 - Signage for motorcycle only parking. Provide one sign per each parking spot, typ. of 3. See 5/A1.0.
 - Provide "Service Vehicles Only" sign, typ. of 1, at service / emergency vehicle access drive. See 5/A1.0.
 - Wall-mounted business sign, per Journal Center 2 and C.O.A. Standards, see A2.0.
 - Asphalt drive aisles and parking spots, typ.



A0.1
 Site Plan

PLANT LIST

Symbol	Botanical name	Common name	Installed Size	Mature Size	Water use
TREES					
	Fraxinus velutina	Arizona Ash	2" CAL.	40' HT x 35' W15' HT x 15' W40' HT x 18' W 15' HT x 20' W	MEDIUM+
	Forestiera neomexicana Pinus eldaricaCornus mas	New Mexico Olive	15 GAL.8' HT15 GAL. 15 GAL. 15 GAL. 15 GAL.15 GAL.	50' HT x 60' W	MEDIUM MEDIUM
	Chilopsis linearisCrateagus sp.Cotoneaster perneyi	Afghan Pine	15 GAL.15 GAL.		MEDIUM+ MEDIUM MEDIUM
	Fallugia paradoxa Miscanthus sinensus 'gracillimus'Panicum virgatum 'shenandoah'Artemesia sp.Pennisetum alopecuroides 'hameln' Salvia spp.	Cornelian Cherry (dogwood) New Mexico Olive Ilex vomitoria Rio Grande Cottonwood Shrub Live Oak	15 GAL.	6-15' HT x 20' W	MEDIUM+
	Liriope muscariBoxus sempervirensThymus serpyllumMahonia repensChasmanthium latifolium 'River Mist' Andropogon scoparium 'the blues'Miscanthus sinensus 'gracillimus'	Desert willow	8' M.S.	20' HT x 25' W	
		Multistem Hawthorn (variety)	5 GAL. 5 GAL. 5 GAL. 3 GAL.	15' HT x 15' W	MEDIUM
		Parney Cotoneaster Apache Plume Maidenhair Grass Shenandoah SwitchgrassPowis castle Silver sage Dwarf fountaingrassSalvia (variety)LilyturfCommon BoxwoodCreeping ThymeCreeping MahoniaVariegated Northern Sea OatsLittle BluestemMaidenhair grass 'gracillimus	1 GAL. 1 GAL. 1 GAL.1 GAL. 1 GAL. 1 GAL. 1 GAL.3 GAL. 5 GAL.	8' HT x 10' W 6' HT x 6' W 5-7' HT x 3'4' W 3-4' HT x 3-4' W2' HT x 5' W 4-5' HT x 2' W 10-20" HT x 10-20" W 18" HT x 18" W 4' HT x 4' W 3" HT X 1' W 18-24" HT X 3-4' W 3' HT X 3' W3' HT X 3' W 5-7' HT x 3'4' W	MEDIUM/ MEDIUM+ LOW LOW LOW MEDIUM+ MEDIUM
		SHRUBS - group 1 (parking lot medium)			
		SHRUBS - group 2 (parking lot low)			LOW MEDIUM MEDIUM
		SHRUBS - group 3 (courtyard)			MEDIUM MEDIUM MEDIUM MEDIUM
		SHRUBS - group 4 (building perimeter)			LOW MEDIUM+

LANDSCAPE NOTES

Plan is diagrammatic and approximate due to the scale of the drawing and not all individual shrubs or ground covers are shown. No planting area will be left uncovered or not top-dressed. All planting areas will be planted with trees shrubs, or groundcovers. At maturity, plants will provide a minimum coverage of 75% of the landscape area. All plant area shall be covered with a 3" layer of aggregate or mulch.

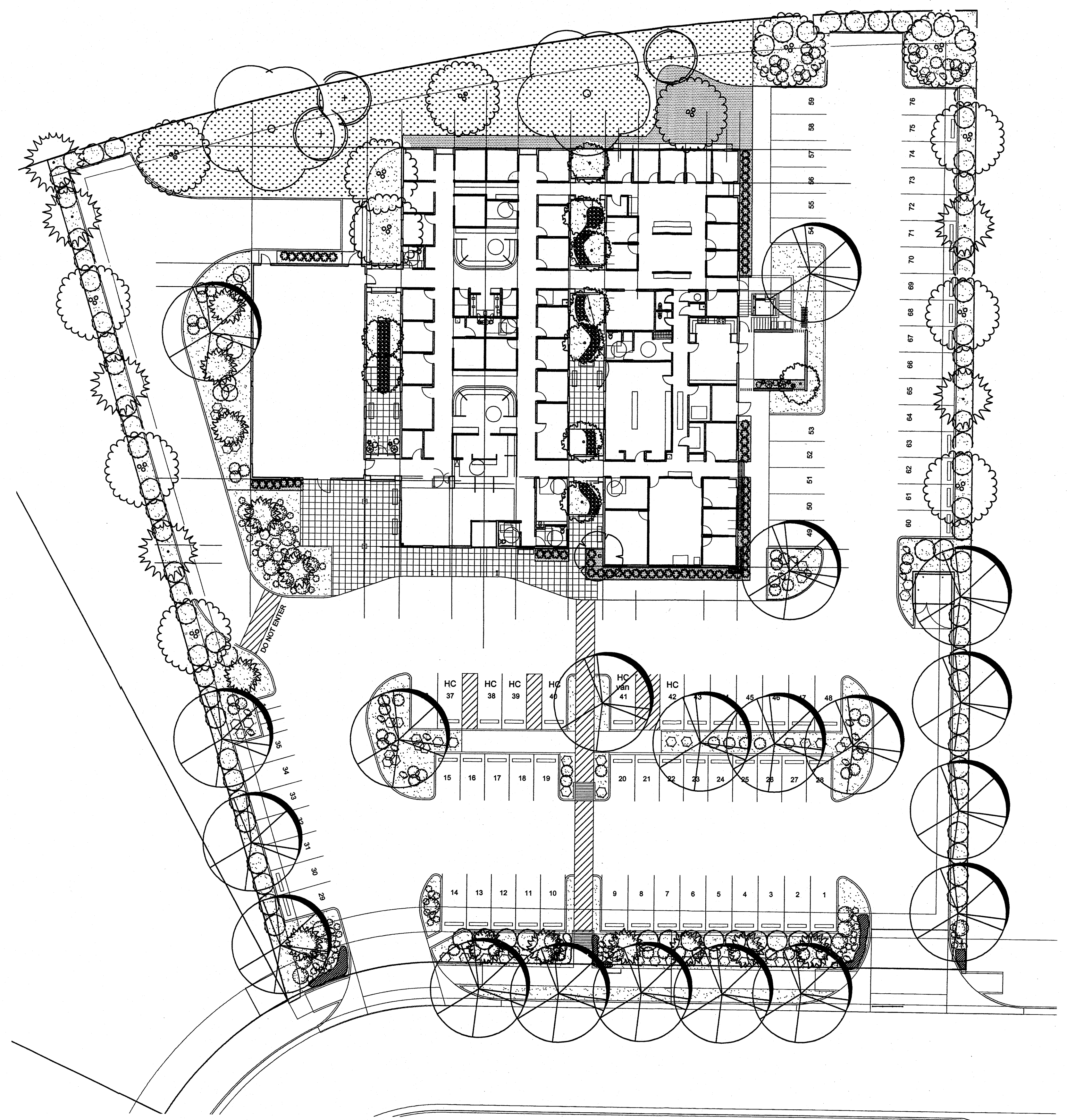
STATEMENT OF COMPLIANCE WITH WATER CONSERVATION ORDINANCES:
 Intent of plan is to conform to the landscape requirements of Journal center 2 as well as all city ordinances and codes relating to landscape requirements, including the Water Conservation and Water Waste Ordinance (C_ORD 18-1995).

DESCRIPTION OF IRRIGATION SYSTEM:
 An automatic underground irrigation system will be designed and installed to serve all new plant materials. Trees and shrubs will be irrigated with a low-flow bubbler and/or drip emitter system. Native seeding on north end will be irrigated with pop-up rotors until established.

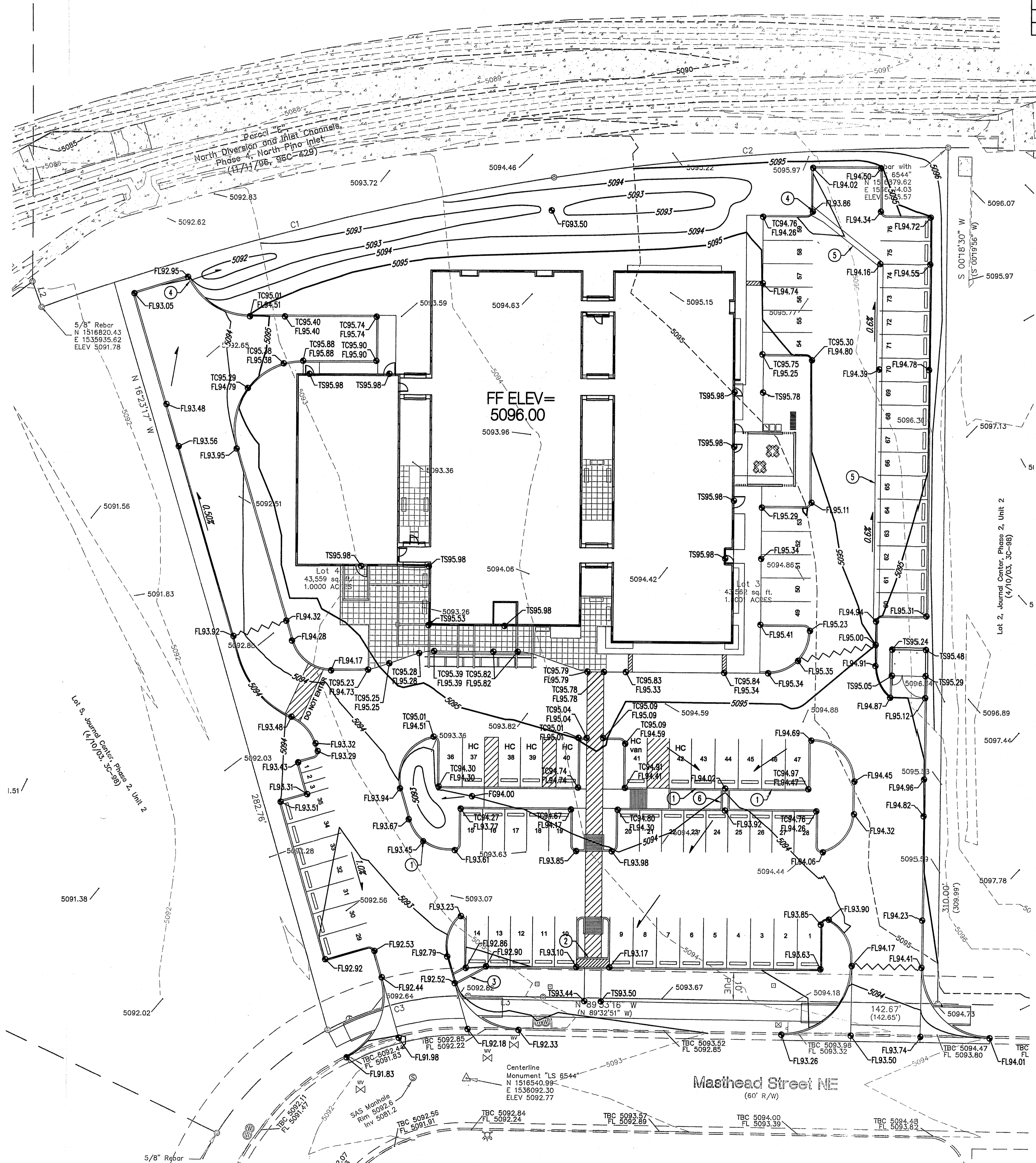
MAINTENANCE RESPONSIBILITY:
 All responsibility for maintenance shall lie with the Owner/developer.

DETAILS:
 Backflow prevention and tree wells will be constructed following City of Albuquerque standard specifications details for public works construction. Please reference the following:
 Backflow prevention detail—DWG. 2701
 Tree well detail—DWG. 2714

- Decorative boulders
- Sitting boulders (courtyard)
- 7/8" gravel mulch (pervious surface)
- Crusher fines (pervious surface)
- native seeding (pervious surface)
- 4"-6" angular cobble (pervious surface)

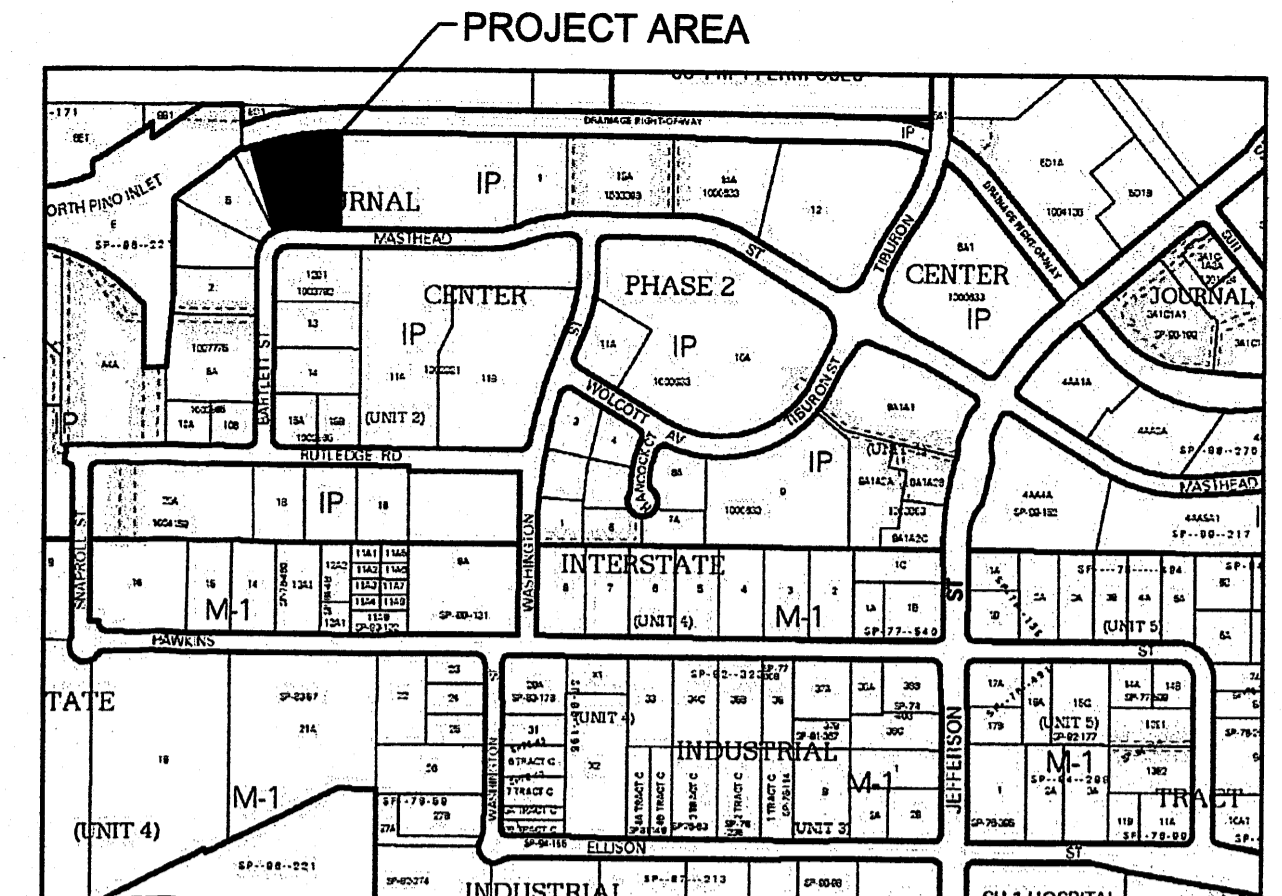


LANDSCAPE CALCULATIONS
 Total Site = 78,463 s.f.
 Building Area = 16,160 s.f.
 Net Site Area = 62,203 s.f.
 Landscape Area Provided = 19,924 s.f.
 (32% of Net Site Area)



PROPERTY BOUNDARY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	987.76'	192.00'	11°08'13"	N 75°36'40" E	191.69'
C2	987.76'	143.32'	8°18'47"	N 85°20'10" E	143.19'
C3	105.00'	53.14'	28°59'50"	S 75°54'51" W	52.57'

PROPERTY BOUNDARY LINE TABLE		
LINE	LENGTH	BEARING
L1	34.19	N 53°34'24" E
L2	9.94	S 19°55'19" E
L3	27.14	N 89°33'16" W



VICINITY MAP
ZONE ATLAS PAGE D-17-2

LEGEND

- PROPERTY LINE
- - - 5093 - - - EXISTING CONTOURS
- 95.32 EXISTING GROUND SPOT ELEVATION
- 95.32 PROPOSED SPOT ELEVATION
- TS- TOP OF CURB, FL- FLOW LINE, EX- EXISTING, FG- FINISHED GRADE
- S=2.0% PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- 5.0% PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB
- - - EASEMENT

GRADING KEYED NOTES

1. INSTALL 12" WIDE CURB OPENING.
2. INSTALL 36" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
3. INSTALL 36" WIDE CONCRETE RIBBON CHANNEL.
4. INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
5. INSTALL 24" WIDE CONCRETE VALLEY GUTTER.
6. INSTALL 24" WIDE CONCRETE RIBBON CHANNEL.

LEGAL DESCRIPTION

LOT 3A JOURNAL CENTER PHASE 2 UNIT 2
(PENDING PLATTING ACTION)

SITE ADDRESS

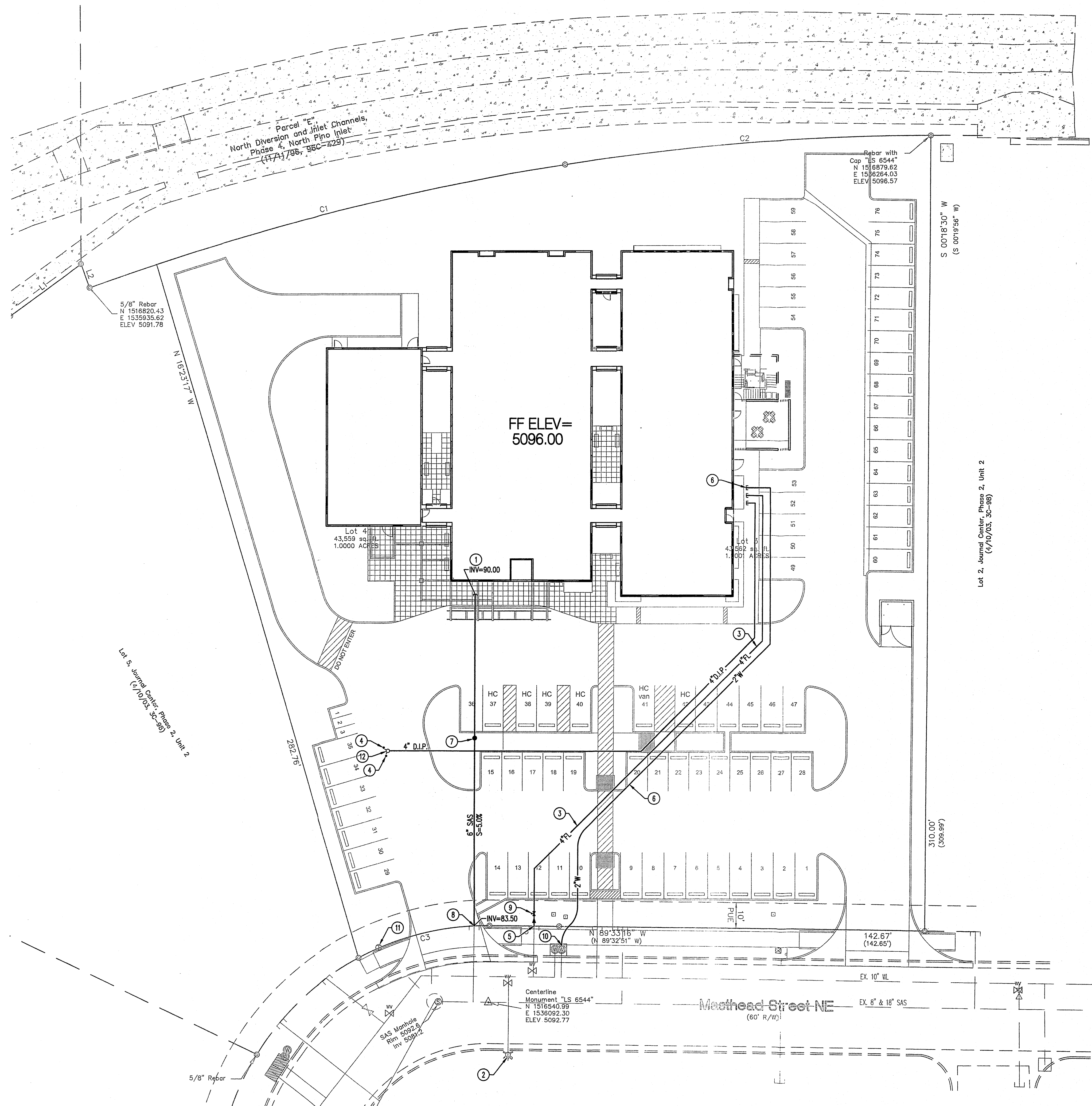
3821 MASTHEAD NE
ALBUQUERQUE, NM 87109

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (E.G., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

UTILITY KEYED NOTES

1. 6" SANITARY SEWER SERVICE, SEE PLUMBING PLANS FOR CONTINUATION.
2. EXISTING FIRE HYDRANT.
3. 4" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FIRE LINE PIPE JOINTS AND MECHANICAL JOINTS SHALL BE RESTRAINED FOR ENTIRE LENGTH. PROVIDE 3' MINIMUM COVER.
4. INSTALL BOLLARD.
5. CONNECTION TO EXISTING 6" FIRE LINE STUB.
6. NEW 2" DOMESTIC WATER SERVICE TO BUILDING. CONNECT TO EXISTING METER SERVICE. BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT.
8. CONNECT TO EXISTING 6" SAS SERVICE LINE.
9. 6"x4" REDUCER AND POST INDICATOR VALVE.
10. EXISTING 1 1/2" WATER SERVICE LINE AND METER BOX. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF METER.
11. ADJUST EXISTING TELECOM MANHOLE FRAME & COVER TO PROPOSED GRADE.
12. REMOVE FIRE DEPARTMENT CONNECTION WITH 4" CLASS 350 D.I.P. EXTEND TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.

LEGEND

---	PROPERTY LINE
- - -	EXISTING EASEMENT
---	EXISTING SAS
---	EXISTING WATER LINE
⊙	EXISTING WATER METER
⊠	EXISTING CAP
⊗	EXISTING VALVE
⊗	EXISTING FIRE HYDRANT
⊙	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER LINE
•	PROPOSED CLEANOUT
⊕	PROPOSED REMOTE FIRE DEPARTMENT CONNECTION (FDC)
---	PROPOSED WATER LINE
⊕	PROPOSED POST INDICATOR VALVE
⊕	PROPOSED REDUCER
---	PROPOSED FIRE LINE
⊕	PROPOSED CAP

Date Issue

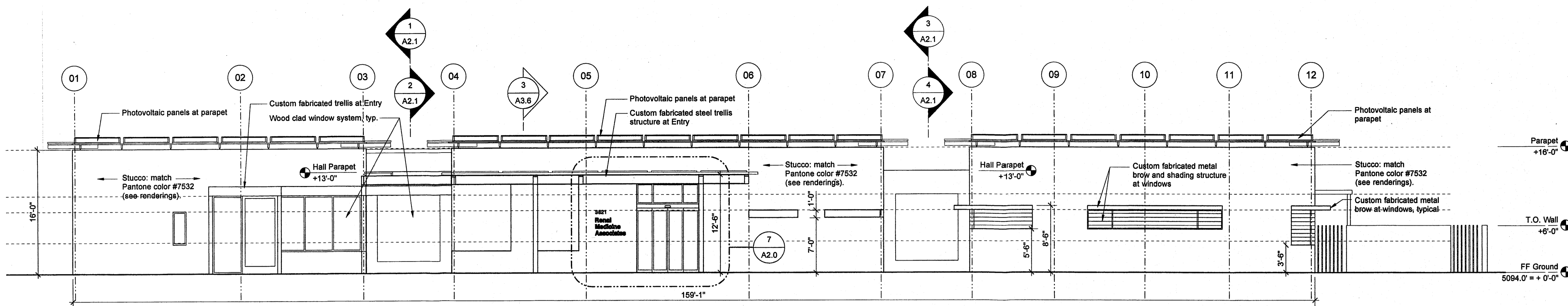
Renal Medicine Associates Clinic
Journal Center
Albuquerque, New Mexico

dnca
218 Alameda, Albuquerque, NM 87106
ph (505) 255-4033 fx (505) 266-0251

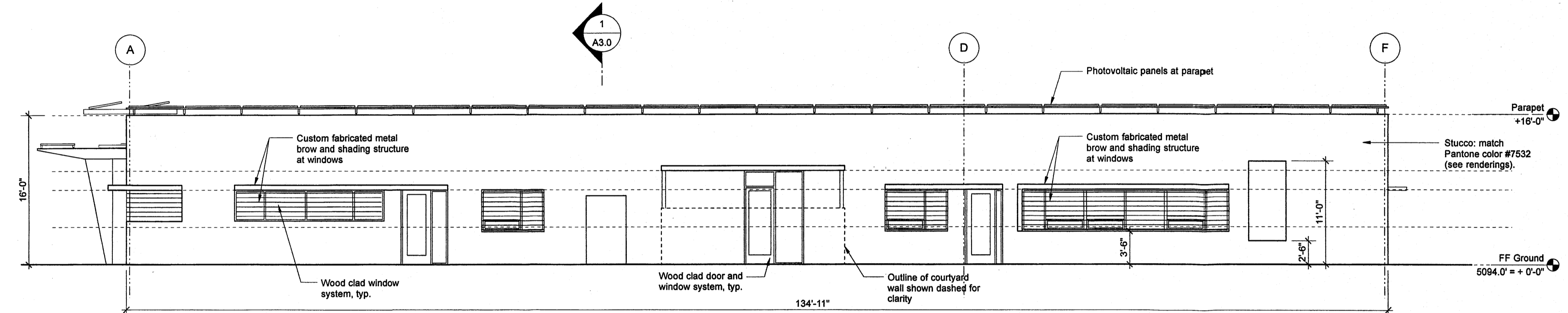
October 5, 2011

Bohannon & Huston

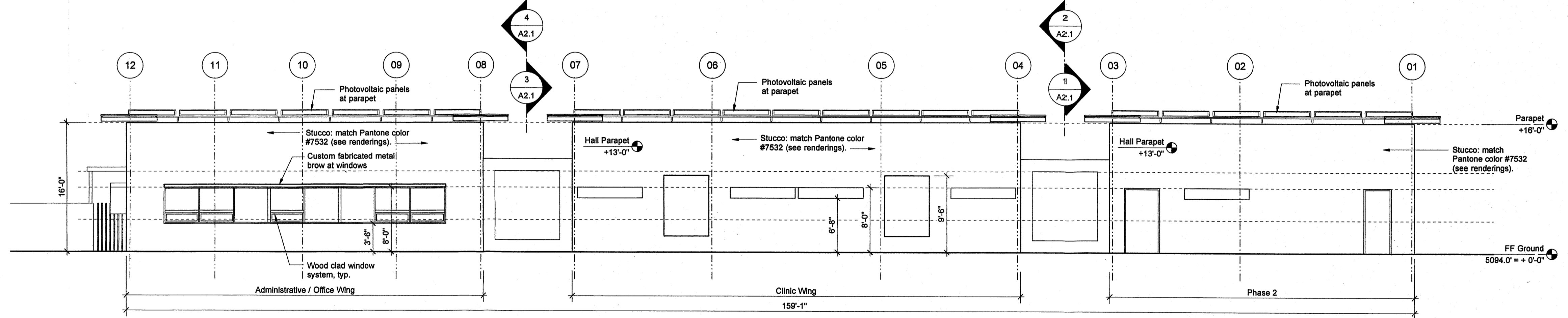
C2.0
Conceptual Utility Plan



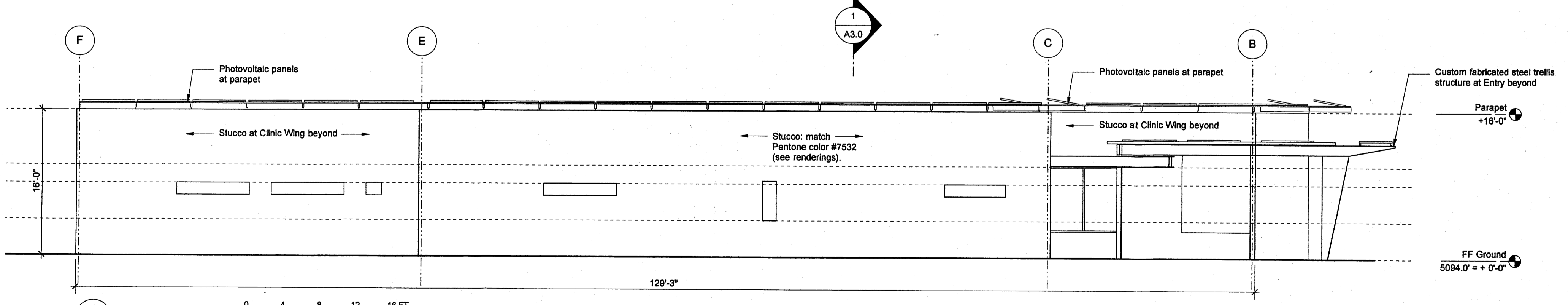
1 South Elevation
A2.0
Scale: 1/8" = 1'-0"



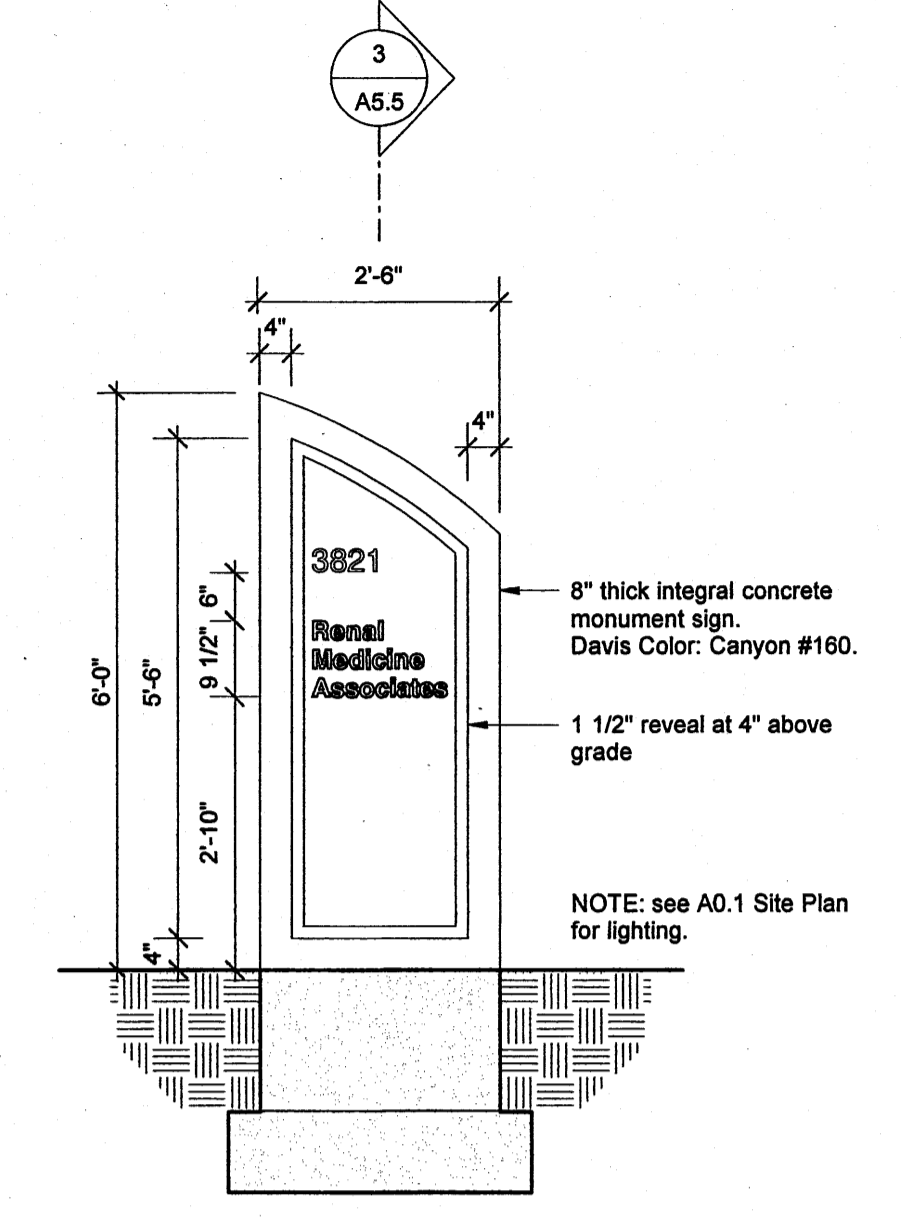
2 East Elevation - Administrative / Office Wing
A2.0
Scale: 1/8" = 1'-0"



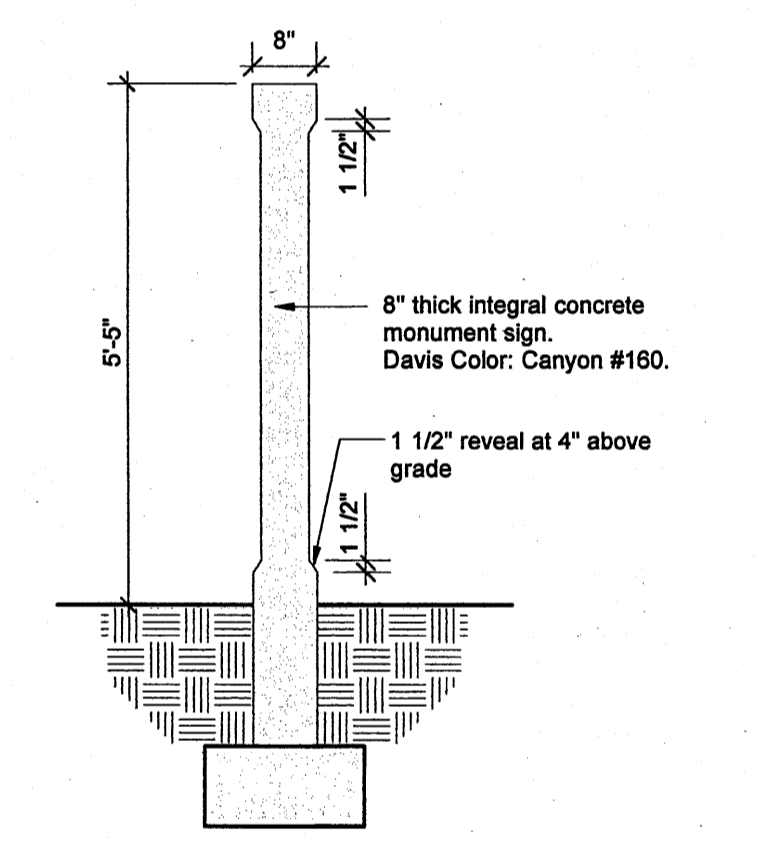
3 North Elevation
A2.0
Scale: 1/8" = 1'-0"



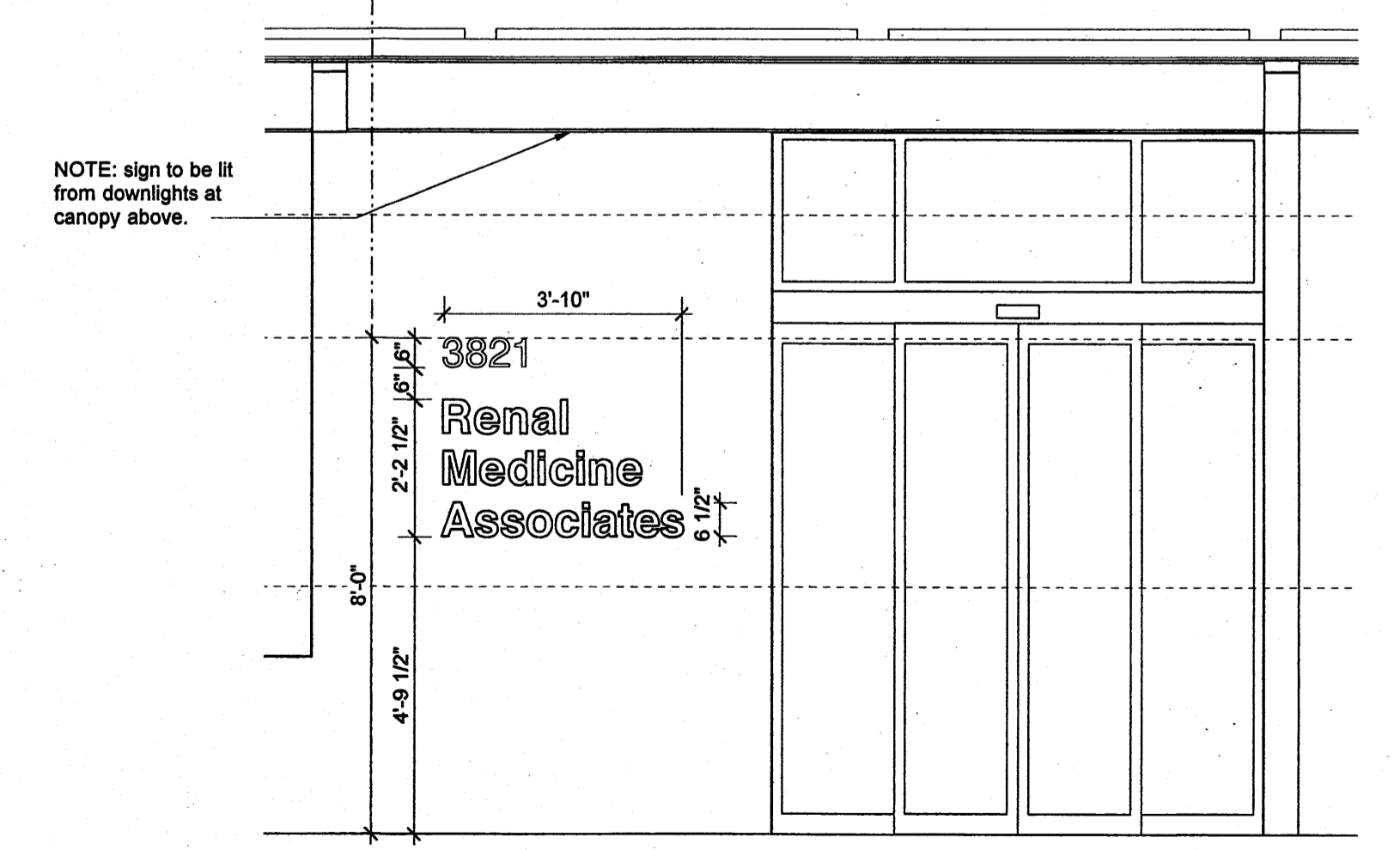
4 West Elevation
A2.0
Scale: 1/8" = 1'-0"



5 Building Identification Sign at Street
A2.0
Scale: 1/2" = 1'-0"



6 Building Section - Identification Sign at Street
A2.0
Scale: 1/2" = 1'-0"

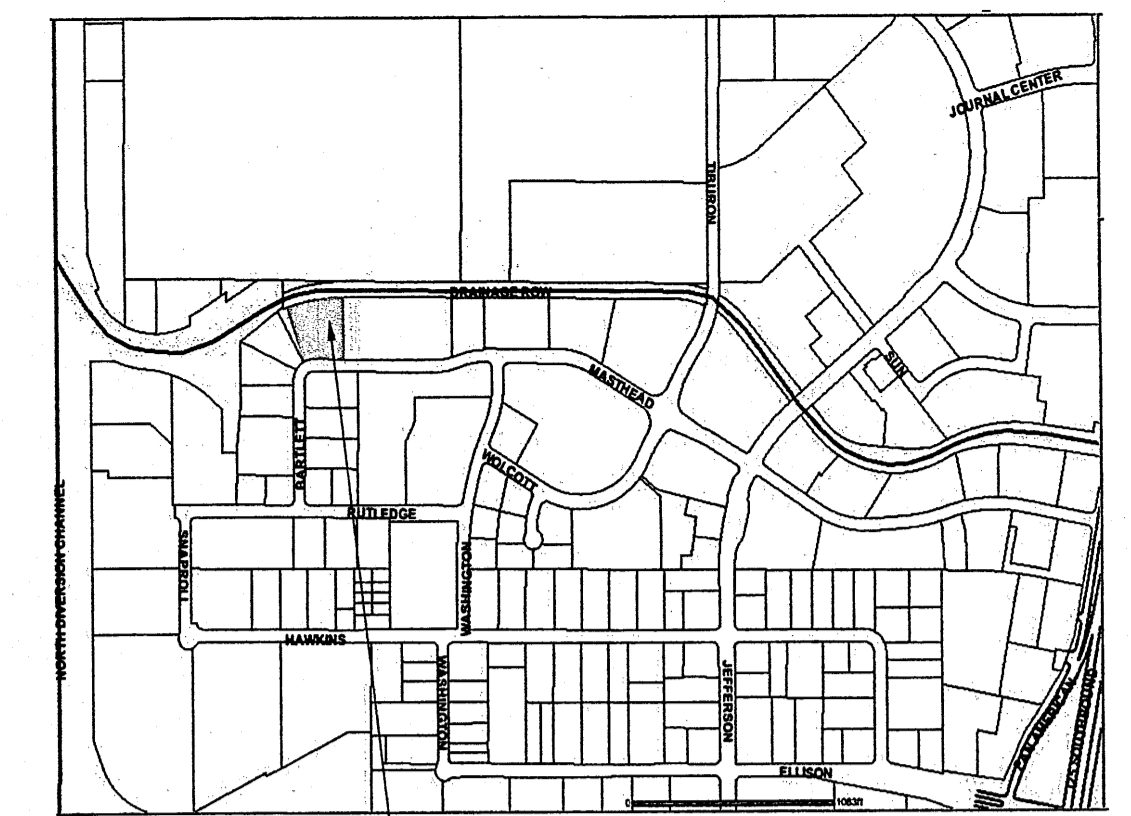


7 South Exterior Entry Door Sign
A2.0
Scale: 3/8" = 1'-0"

dnca

Renal Medicine Associates Clinic
3821 Masthead Street NE (Journal Center Phase 2, Unit 2)
Albuquerque, New Mexico

Date	Issue
8/19/11	DRB Submittal
10/05/11	DRB Re-submittal



VICINITY MAP Project location: Lots 384, Journal Center 2, Phase 2.

Drawing Directory

Sheet #1:	A0.1	Site Plan and Refuse Enclosure
Sheet #2:	L1.0	Landscape Plan
Sheet #3:	C1.0	Conceptual Grading Plan
Sheet #4:	C2.0	Conceptual Utility Plan
Sheet #5:	A2.0	Building Elevations and Signage
Sheet #6:	A3.0	Renderings

Areas and Phasing

Total Site Area:	78,463 sf
Circulation and Parking:	42,279 sf
Net Site Area:	62,203 sf
Landscaping:	19,924 sf (32% of Net Site Area)
Phase One Building (Medical Clinic):	13,524 sf
Phase Two Building (to be built concurrently with Phase One):	2,636 sf
Total Building Area:	16,160 sf
Phase Two Build-out (Interventional Nephrology Clinic):	(2,636 sf, included in total above)

Parking Requirements

Required parking: 5 spaces per 1 physician.
(11 physicians) x (5 spaces) = 55 spaces required.

Spaces provided:

- Drive Aisle One: 28 spaces
- Drive Aisle Two: 7 spaces
- Drive Aisle Three: 12 spaces
- Drive Aisle Four: 28 spaces
- Total Parking Spaces: 75**

Compact spaces allowed: 25%. 75 x .25 = 18.75. Compact spaces provided: 18.

Accessible spaces required: for 51 - 100 spaces, 4 required plus 1 accessible van space.

Accessible spaces provided = 5 regular + 1 van.

Motorcycle spaces required: 3 Provided: 3

Bicycle spaces required: 1 per 20 parking spaces = 4 required. Provided: 10

Preliminary Lighting Schedule *

PL	Pole light fixture for parking lot, 20' height
PL ₂	24" tall bollard fixture for pathway and landscape accent lighting
U ₁	Aimable uplight for vegetation, landscape accent lighting
U ₂	In-ground uplight for signage
W ₁	Wall-mounted area light at loading and service area
W ₂	Recessed wall fixture, step light

* Note: All fixtures will comply with Night Lighting Ordinance

PROJECT NUMBER _____

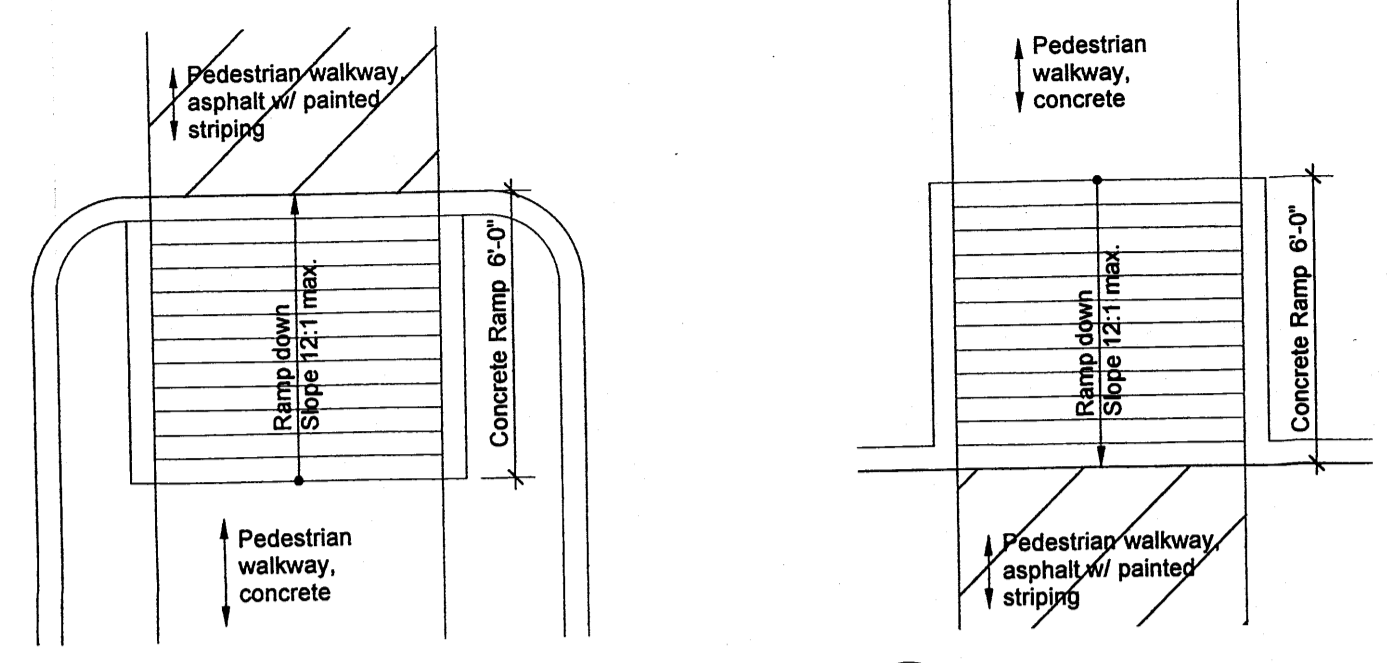
Application Number _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

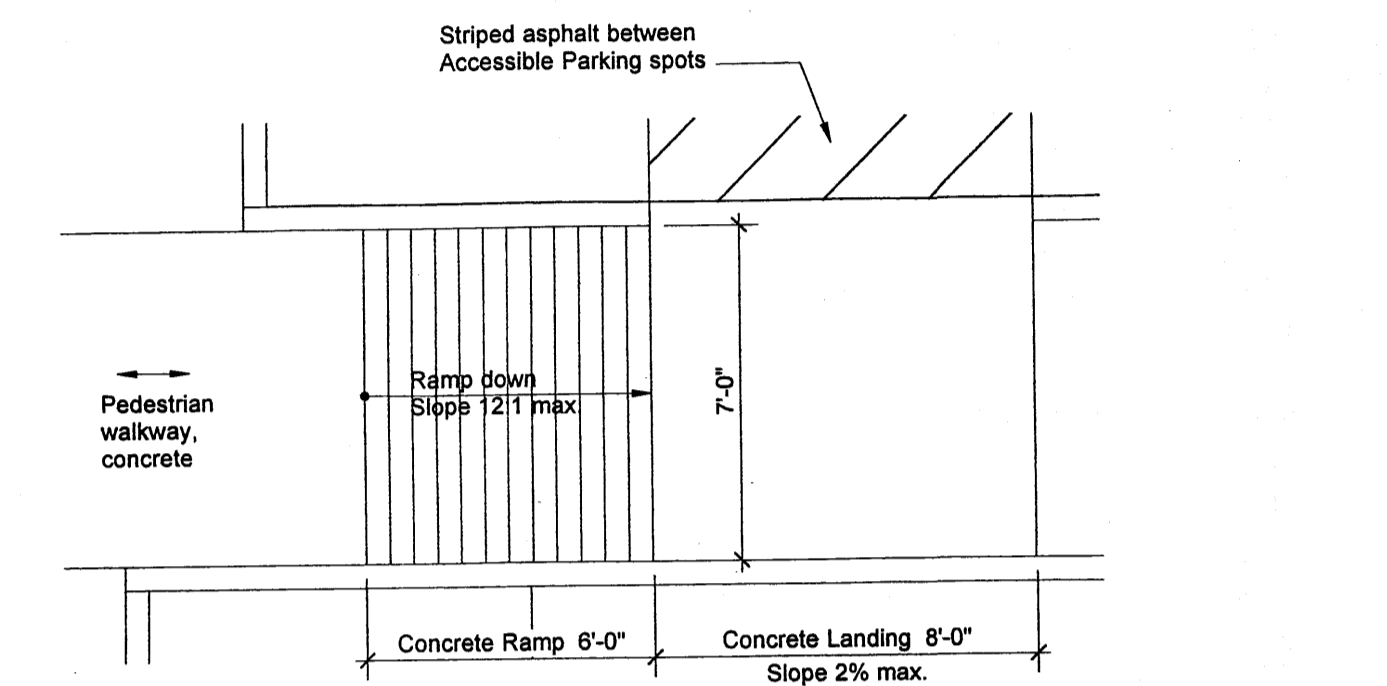
DRB SITE DEVELOPMENT PLAN APPROVAL

Traffic Engineering, Transportation Division	Date _____
ABCWUA	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Environmental Health Department (Conditional)	Date _____
Solid Waste Management	Date _____
DRB Chairperson, Planning Department	Date _____

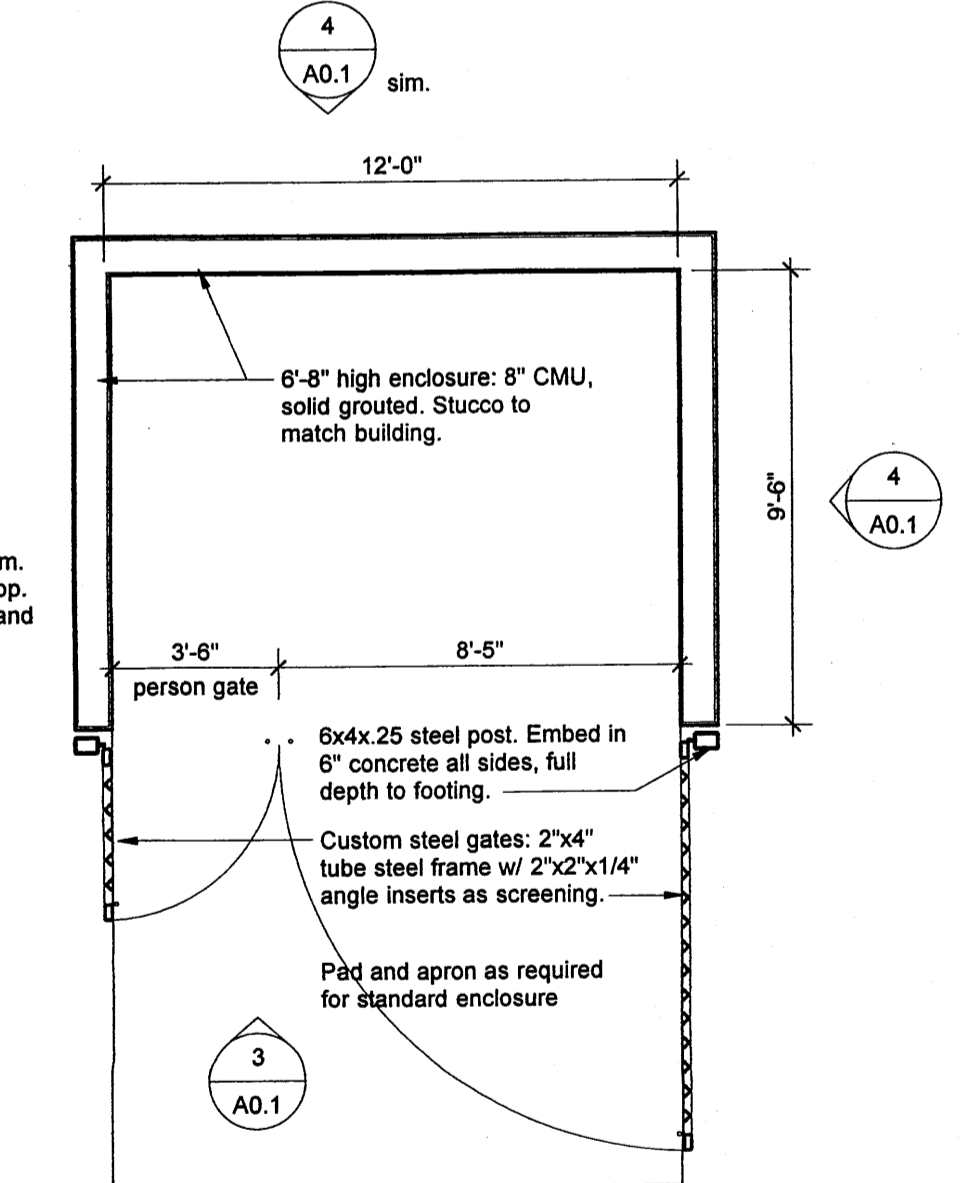
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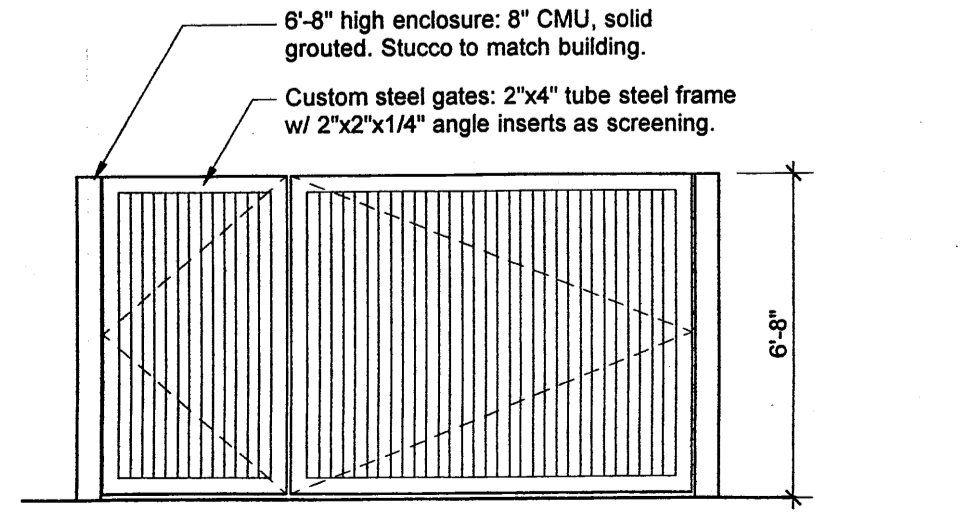
6 Ramp 1 Scale: 1/4" = 1'-0"
 7 Ramp 2 Scale: 1/4" = 1'-0"



8 Ramp 3 Scale: 1/4" = 1'-0"



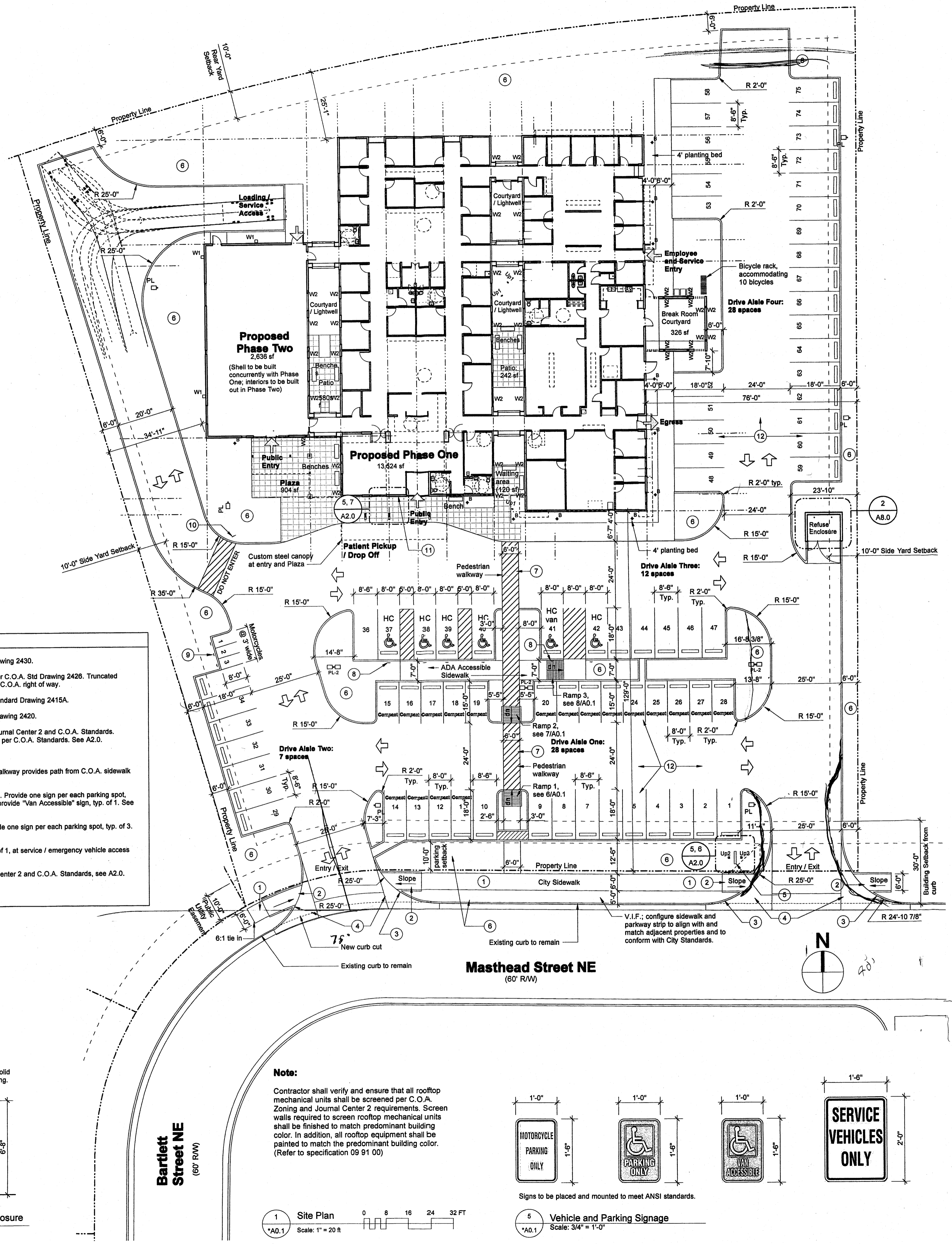
2 Plan: Refuse Enclosure Scale: 1/4" = 1'-0"



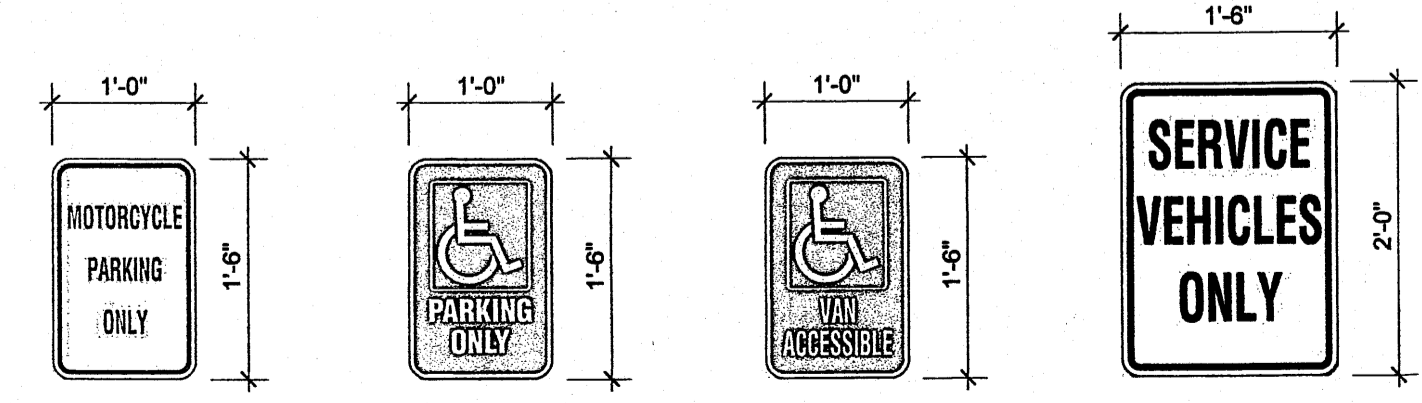
3 South Elevation: Refuse Enclosure Scale: 1/4" = 1'-0"

- Drawing Notes**
- Construct new sidewalk per C.O.A. Std Drawing 2430.
 - Construct unidirection curb access ramp per C.O.A. Std Drawing 2426. Truncated domes shall be installed at all ramps within C.O.A. right of way.
 - Construct new curb & gutter per C.O.A. Standard Drawing 2415A.
 - Construct 6" valley gutter per C.O.A. Std Drawing 2420.
 - Business and address number sign, per Journal Center 2 and C.O.A. Standards. Located outside 11'x11' clear sight triangle, per C.O.A. Standards. See A2.0.
 - Landscaped area, see Landscape Plan.
 - Striped 6' wide pedestrian walkway, typ. Walkway provides path from C.O.A. sidewalk to building entrance.
 - Signage for accessible access only parking. Provide one sign per each parking spot, typ. of 5. See 5/A1.0. At van parking spot, provide "Van Accessible" sign, typ. of 1. See 5/A1.0.
 - Signage for motorcycle only parking. Provide one sign per each parking spot, typ. of 3. See 5/A1.0.
 - Provide "Service Vehicles Only" sign, typ. of 1, at service / emergency vehicle access drive. See 5/A1.0.
 - Wall-mounted business sign, per Journal Center 2 and C.O.A. Standards, see A2.0.
 - Asphalt drive aisles and parking spots, typ.

4 South Elevation: Refuse Enclosure Scale: 1/4" = 1'-0"



Note:
 Contractor shall verify and ensure that all rooftop mechanical units shall be screened per C.O.A. Zoning and Journal Center 2 requirements. Screen walls required to screen rooftop mechanical units shall be finished to match predominant building color. In addition, all rooftop equipment shall be painted to match the predominant building color. (Refer to specification 09 91 00)



5 Vehicle and Parking Signage Scale: 3/4" = 1'-0"

1 Site Plan Scale: 1" = 20 ft

PLANT LIST

Symbol	Botanical name	Common name	Installed Size	Mature Size	Water use
TREES					
	<i>Fraxinus velutina</i>	Arizona Ash	2" CAL.	40' HT x 35' W 15' HT x 15' W	MEDIUM+
	<i>Forestiera neomexicana</i>	Pinus eldarica		40' HT x 18' W 15' HT x 20' W	MEDIUM
	<i>Forestiera neomexicana</i>	Yaupon		15' HT x 15' W	MEDIUM
	<i>Populus deltoides</i>	'wisliseni'		15' HT x 15' W	MEDIUM+
	<i>Quercus turbinella</i>				MEDIUM
	<i>Chilopsis linearis</i>	Crataegus sp.		50' HT x 60' W	MEDIUM+
	<i>Cotoneaster pernyi</i>				MEDIUM
	<i>Fallugia paradoxa</i>				MEDIUM
	<i>Miscanthus sinensis</i>	'gracillimus'	15 GAL.		MEDIUM+
	<i>Panicum virgatum</i>	'shenandoah'			MEDIUM
	<i>Artemisia sp.</i>	'Pennisetum alopecuroides			MEDIUM
	<i>Salvia spp.</i>				MEDIUM+
	<i>Liriope muscari</i>	<i>Boxus sempervirens</i>	8' M.S.	6-15' HT x 20' W	MEDIUM+
	<i>Thymus serpyllum</i>	<i>Mahonia repens</i>			MEDIUM
	<i>Chasmanthium latifolium</i>	'River Mist'		20' HT x 25' W	MEDIUM
	<i>Andropogon scoparium</i>	'the blues'			MEDIUM
	<i>Miscanthus sinensis</i>	'gracillimus'	5 GAL. 5 GAL. 5 GAL. 3 GAL.	15' HT x 15' W	MEDIUM
		Multistem Hawthorn (variety)			MEDIUM
		Parney Cotoneaster	1 GAL.		LOW
		Apache Plume	1 GAL.	8' HT x 10' W	LOW
		Maidenhair Grass	1 GAL. 1 GAL.	6' HT x 6' W	LOW
		Shenandoah Switchgrass	1 GAL.	5-7' HT x 3'4' W	MEDIUM/ MEDIUM+
		Powis castle	1 GAL.	3-4' HT x 3-4' W 2' HT x 5' W	MEDIUM/ MEDIUM+
		Silver sage	1 GAL.		MEDIUM/ MEDIUM+
		Dwarf fountaingrass	1 GAL.	4-5' HT x 2' W	MEDIUM/ MEDIUM+
		Salvia (variety)	1 GAL. 3 GAL.	10-20" HT x 10-20" W	MEDIUM/ MEDIUM+
		Lily turf	1 GAL.	18" HT x 18" W	MEDIUM/ MEDIUM+
		Common	5 GAL.	4' HT x 4' W	MEDIUM/ MEDIUM+
		Boxwood		3" HT x 1' W	LOW
		Creeping Thyme		18-24" HT x 3-4' W	LOW
		Creeping Mahonia		3' HT x 3' W 3' HT x 3' W	MEDIUM+
		Creeping Northern Sea Oats		5-7' HT x 3'4' W	MEDIUM
		Little Bluestem			MEDIUM
		Maidenhair grass			MEDIUM
		'gracillimus'			MEDIUM

SHRUBS - group 1 (parking lot medium)

SHRUBS - group 2 (parking lot low)

SHRUBS - group 3 (courtyard)

SHRUBS - group 4 (building perimeter)

- Decorative boulders
- Sitting boulders (courtyard)

- 7/8" gravel mulch (pervious surface)
- Crusher fines (pervious surface)
- native seeding (pervious surface)
- 4"-6" angular cobble (pervious surface)

LANDSCAPE NOTES

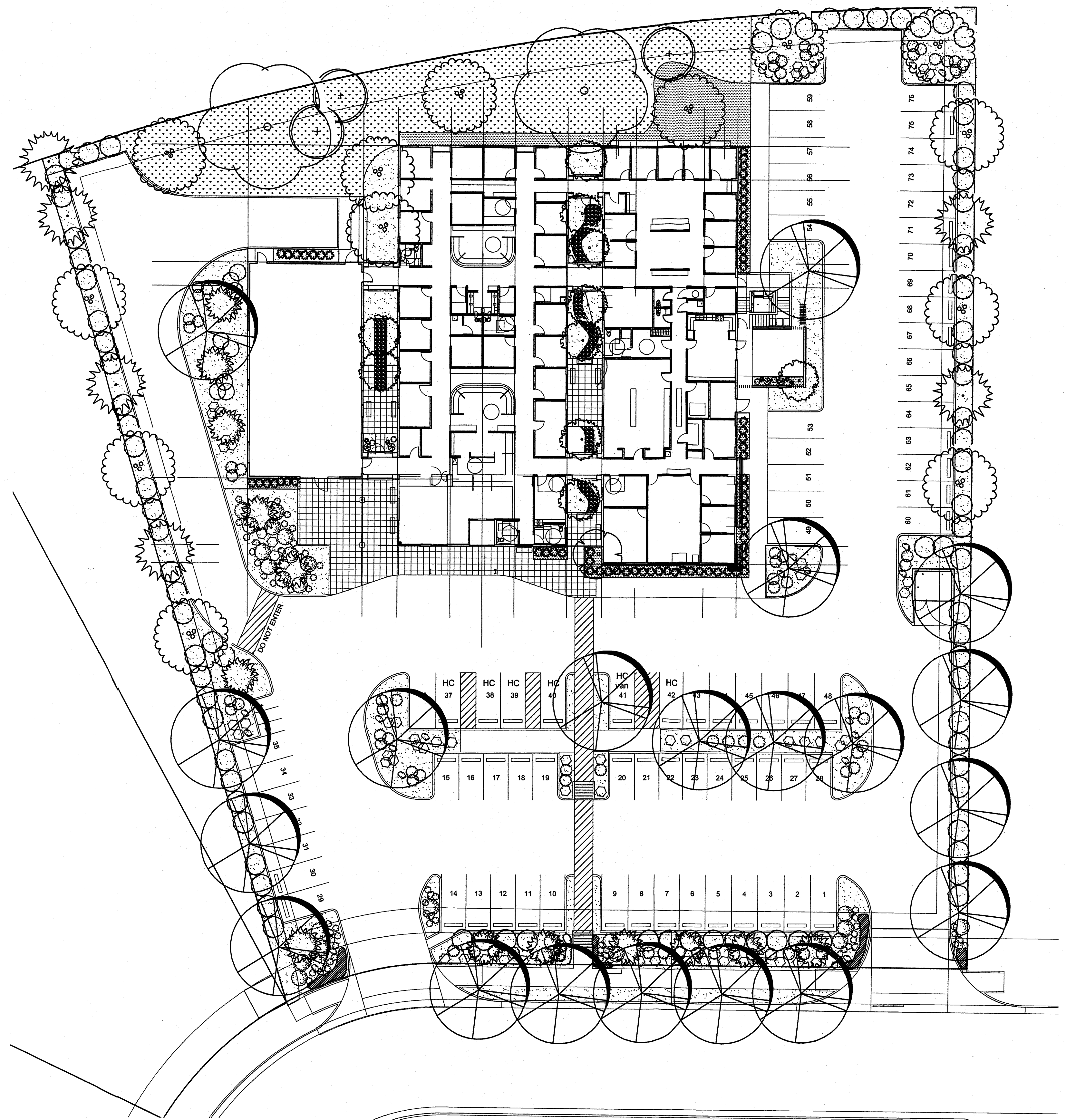
Plan is diagrammatic and approximate due to the scale of the drawing and not all individual shrubs or ground covers are shown. No planting area will be left uncovered or not top-dressed. All planting areas will be planted with trees shrubs, or groundcovers. At maturity, plants will provide a minimum coverage of 75% of the landscape area. All plant area shall be covered with a 3" layer of aggregate or mulch.

STATEMENT OF COMPLIANCE WITH WATER CONSERVATION ORDINANCES:
Intent of plan is to conform to the landscape requirements of Journal center 2 as well as all city ordinances and codes relating to landscape requirements, including the Water Conservation and Water Waste Ordinance (C_ORD 18-1995).

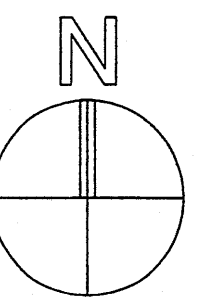
DESCRIPTION OF IRRIGATION SYSTEM:
An automatic underground irrigation system will be designed and installed to serve all new plant materials. Trees and shrubs will be irrigated with a low-flow bubbler and/or drip emitter system. Native seeding on north end will be irrigated with pop-up rotors until established.

MAINTENANCE RESPONSIBILITY:
All responsibility for maintenance shall lie with the Owner/developer.

DETAILS:
Backflow prevention and tree wells will be constructed following City of Albuquerque standard specifications details for public works construction. Please reference the following:
Backflow prevention detail—DWG. 2701
Tree well detail—DWG. 2714



LANDSCAPE CALCULATIONS
Total Site = 78,463 s.f.
Building Area = 16,160 s.f.
Net Site Area = 62,203 s.f.
Landscape Area Provided = 19,924 s.f.
(32% of Net Site Area)



Date Issue

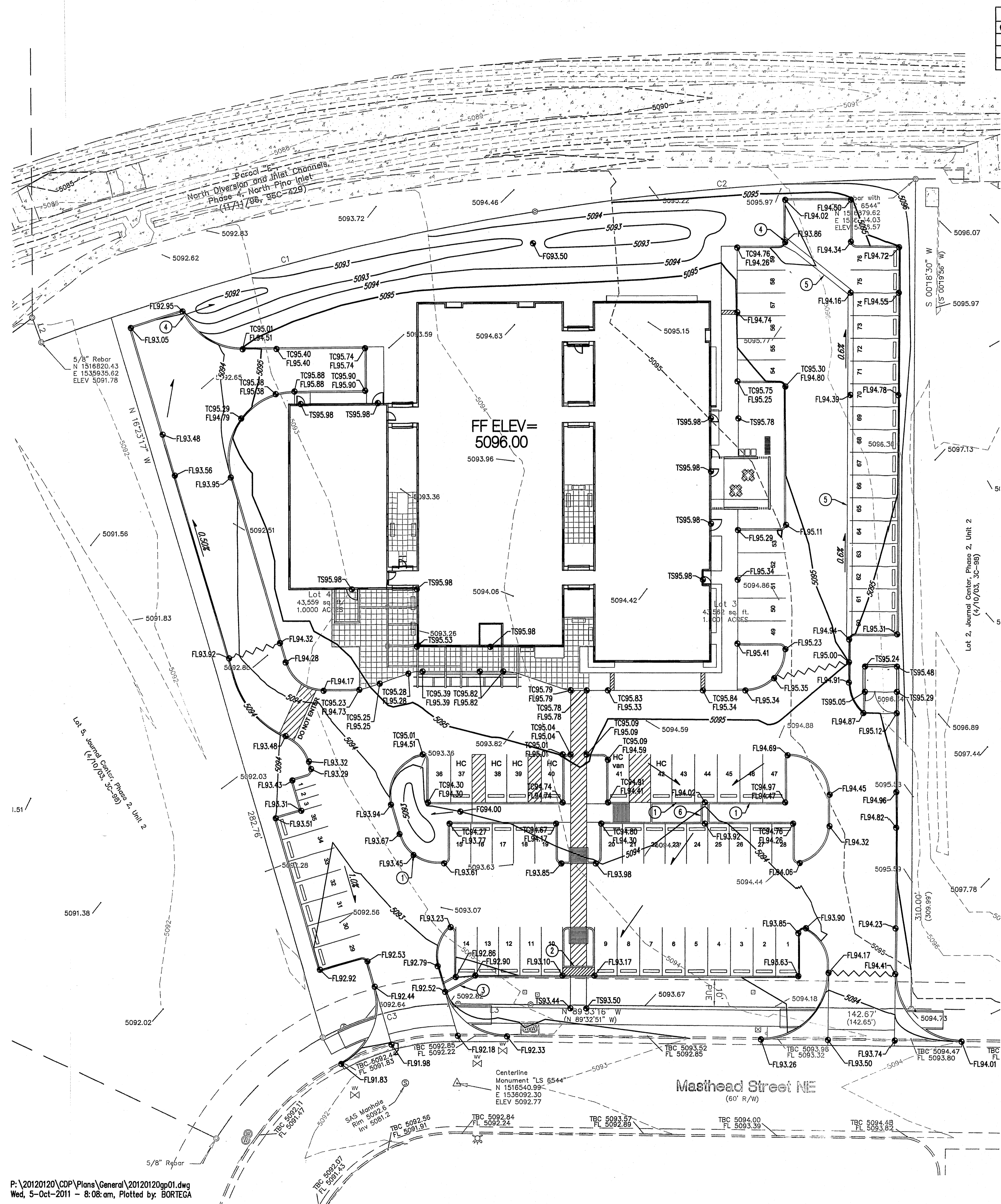
October 4th, 2011
100% Schematic Design

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dnca

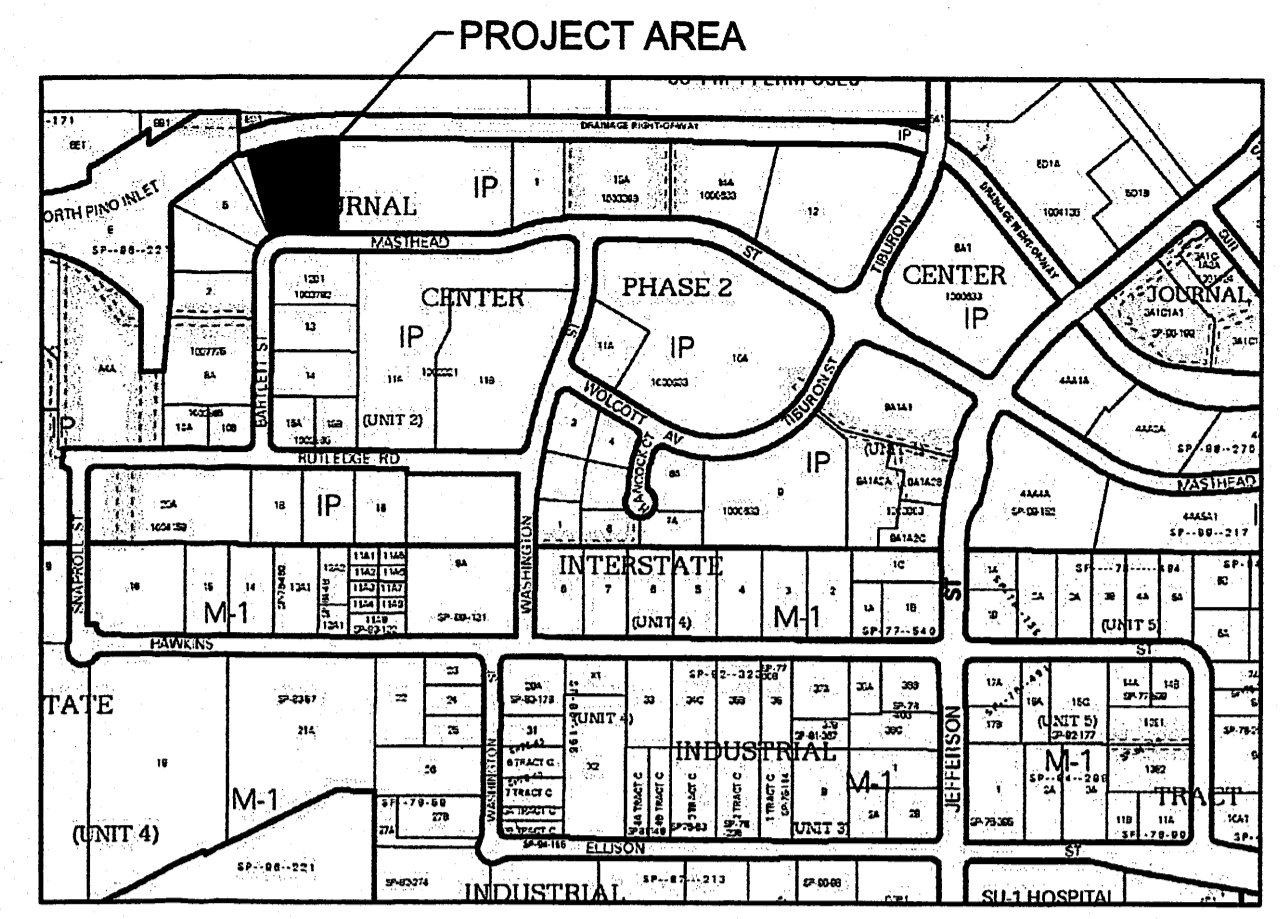
Renal Medicine Associates Clinic
Journal Center
Albuquerque, New Mexico

L1.0
Landscape Plan



PROPERTY BOUNDARY CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	987.76'	192.00'	11°08'13"	N 75°36'40" E	191.69'
C2	987.76'	143.32'	8°18'47"	N 85°20'10" E	143.19'
C3	105.00'	53.14'	28°59'50"	S 75°54'51" W	52.57'

PROPERTY BOUNDARY LINE TABLE		
LINE	LENGTH	BEARING
L1	34.19	N 53°34'24" E
L2	9.94	S 19°55'19" E
L3	27.14	N 89°33'16" W



LEGEND

- PROPERTY LINE
- - - 5093 - - - EXISTING CONTOURS
- 95.32 EXISTING GROUND SPOT ELEVATION
- 95.32 PROPOSED SPOT ELEVATION
- FL 94.02 TO-TOP OF CURB, FL-FLOW LINE
- TS 95.88 TO-TOP OF SIDEWALK
- EX 5095.57 EXISTING, FG-FINISHED GRADE
- S=2.0% PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- 5095 PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB
- - - EASEMENT

VICINITY MAP
ZONE ATLAS PAGE D-17-2

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOLOGICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE, TV GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING KEYED NOTES

- INSTALL 12" WIDE CURB OPENING.
- INSTALL 36" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
- INSTALL 36" WIDE CONCRETE RIBBON CHANNEL.
- INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
- INSTALL 24" WIDE CONCRETE VALLEY GUTTER.
- INSTALL 24" WIDE CONCRETE RIBBON CHANNEL.

LEGAL DESCRIPTION

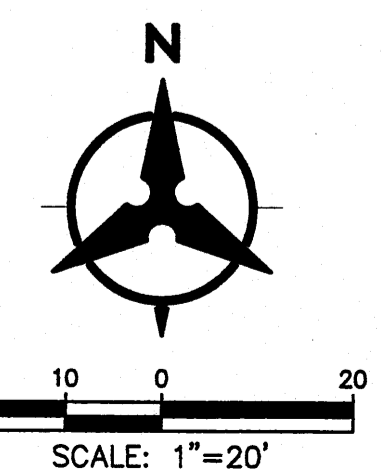
LOT 3A JOURNAL CENTER PHASE 2 UNIT 2
(PENDING PLATTING ACTION)

SITE ADDRESS

3821 MASTHEAD NE
ALBUQUERQUE, NM 87109

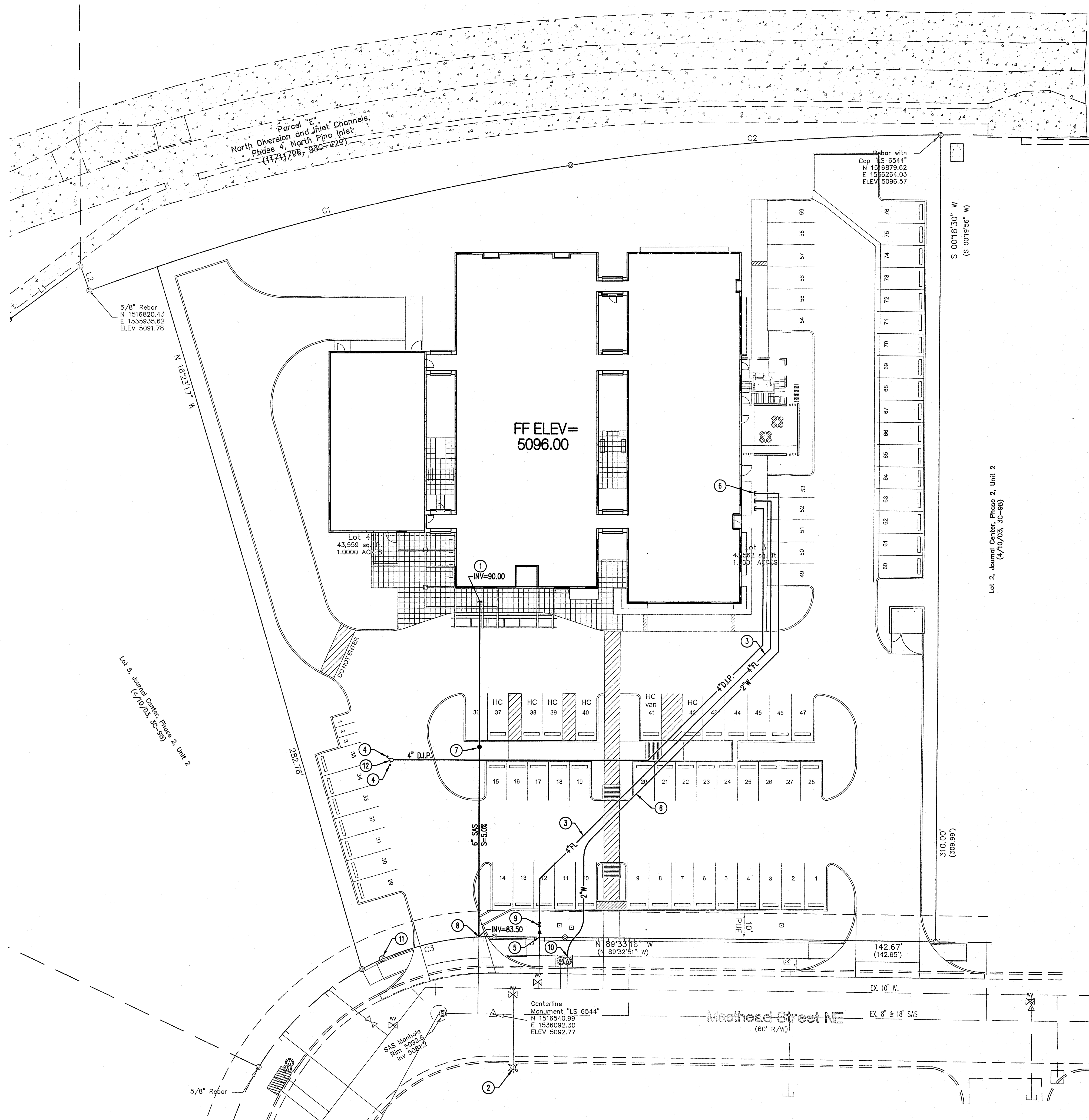
GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



Bohannon & Huston

C1.0
Conceptual Grading Plan



UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

UTILITY KEYED NOTES

1. 6" SANITARY SEWER SERVICE, SEE PLUMBING PLANS FOR CONTINUATION.
2. EXISTING FIRE HYDRANT.
3. 4" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS. BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FIRE LINE PIPE JOINTS AND MECHANICAL JOINTS SHALL BE RESTRAINED FOR ENTIRE LENGTH. PROVIDE 3" MINIMUM COVER.
4. INSTALL BOLLARD.
5. CONNECTION TO EXISTING 6" FIRE LINE STUB.
6. NEW 2" DOMESTIC WATER SERVICE TO BUILDING. CONNECT TO EXISTING METER SERVICE. BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT.
8. CONNECT TO EXISTING 6" SAS SERVICE LINE.
9. 6"x4" REDUCER AND POST INDICATOR VALVE.
10. EXISTING 1 1/2" WATER SERVICE LINE AND METER BOX. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF METER.
11. ADJUST EXISTING TELECOM MANHOLE FRAME & COVER TO PROPOSED GRADE.
12. REMOTE FIRE DEPARTMENT CONNECTION WITH 4" CLASS 350 D.I.P. EXTEND TO WITHIN 5' OF BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.

LEGEND

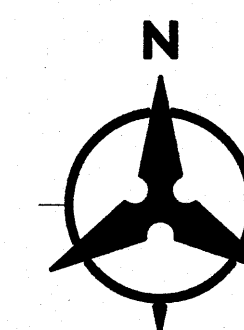
	PROPERTY LINE
	EXISTING EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING WATER METER
	EXISTING CAP
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER LINE
	PROPOSED CLEANOUT
	PROPOSED REMOTE FIRE DEPARTMENT CONNECTION (FDC)
	PROPOSED WATER LINE
	PROPOSED POST INDICATOR VALVE
	PROPOSED REDUCER
	PROPOSED FIRE LINE
	PROPOSED CAP

Date _____ Issue _____

Renal Medicine Associates Clinic
Journal Center
Albuquerque, New Mexico

dnca
218 girard s.e., albuquerque nm, 87106
ph (505) 255-4033 fx (505) 266-0251

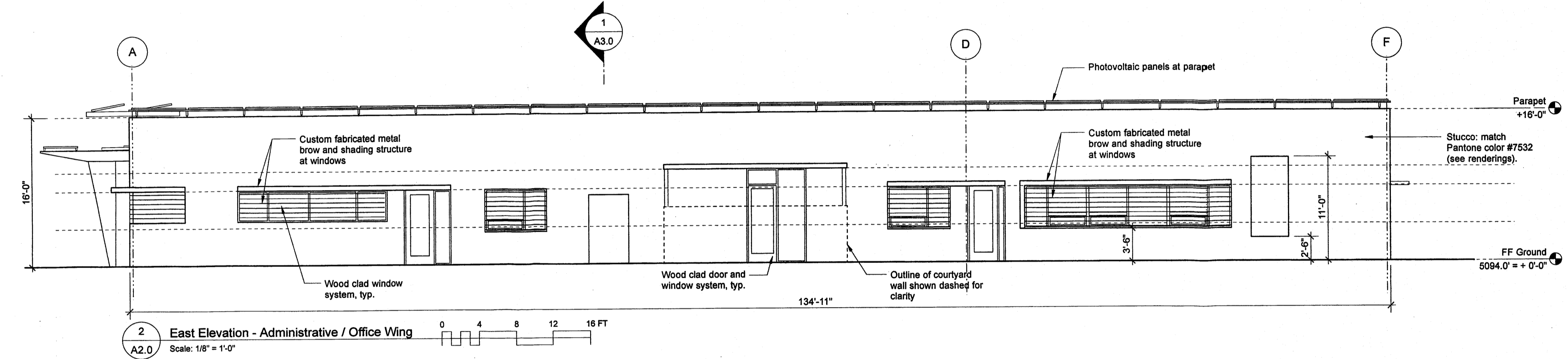
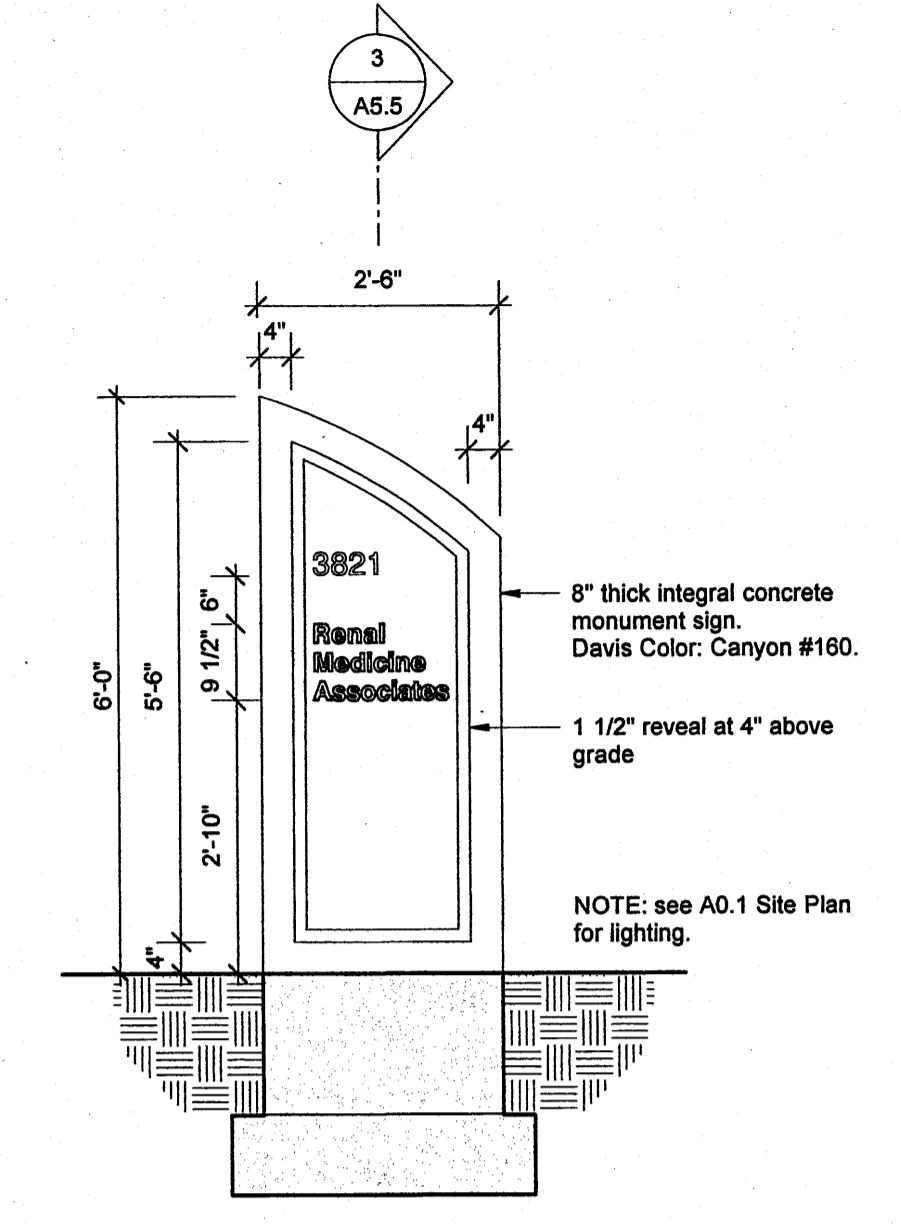
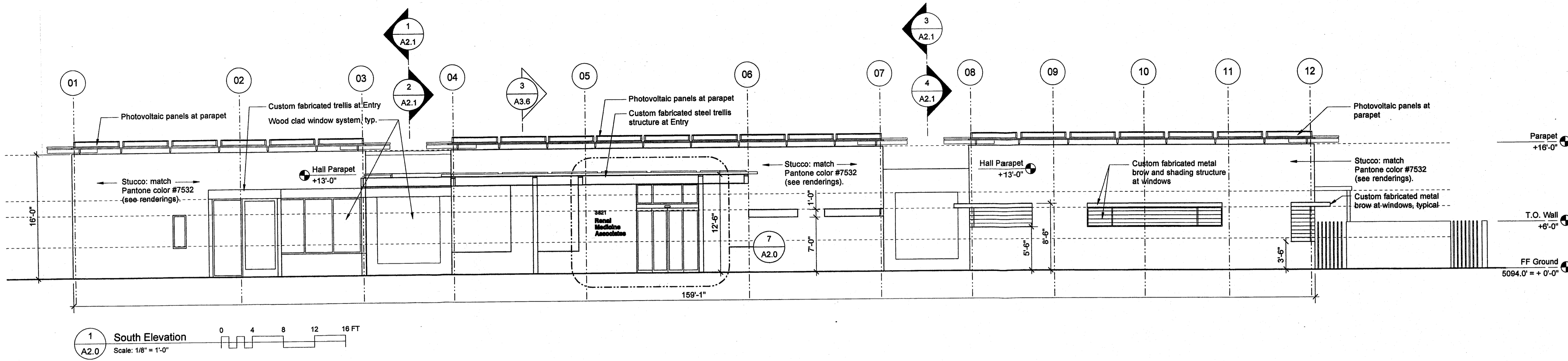
October 5, 2011



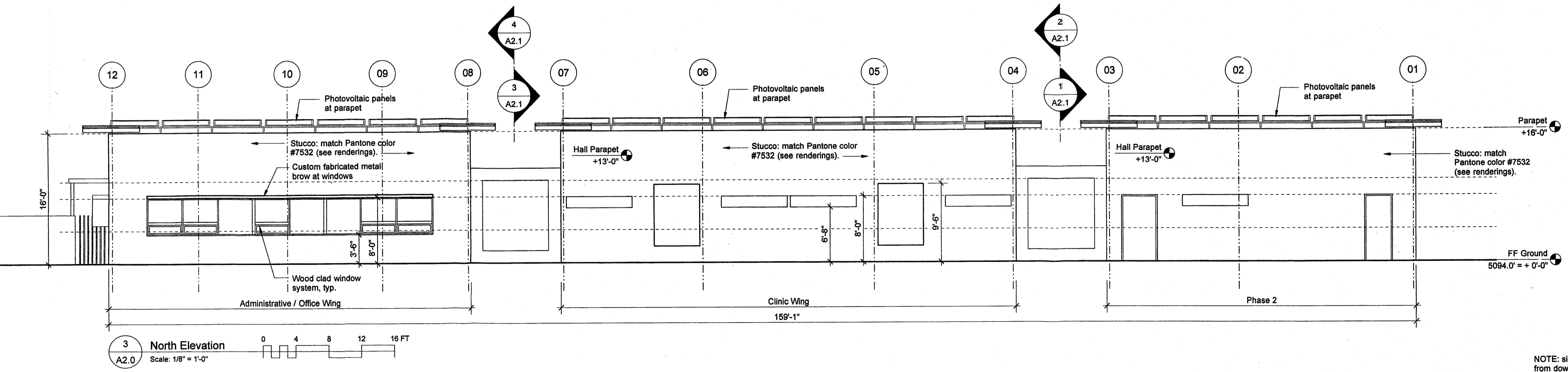
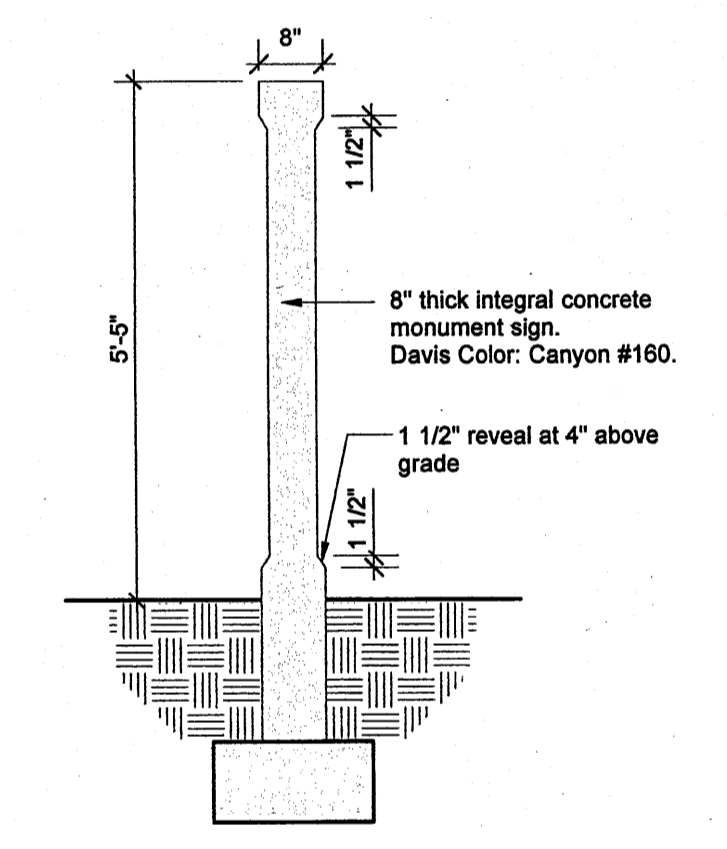
20 10 0 20
SCALE: 1"=20'

Bohannon & Huston

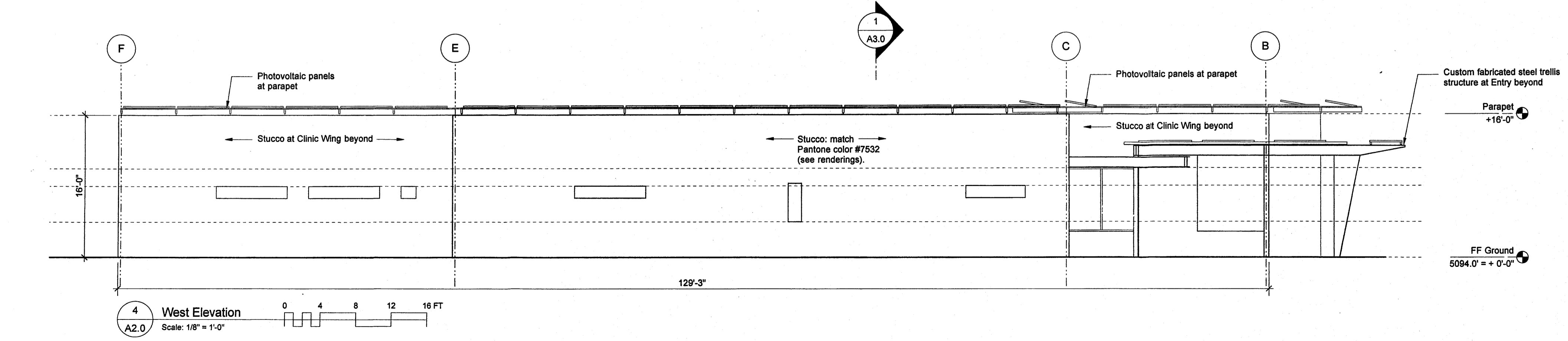
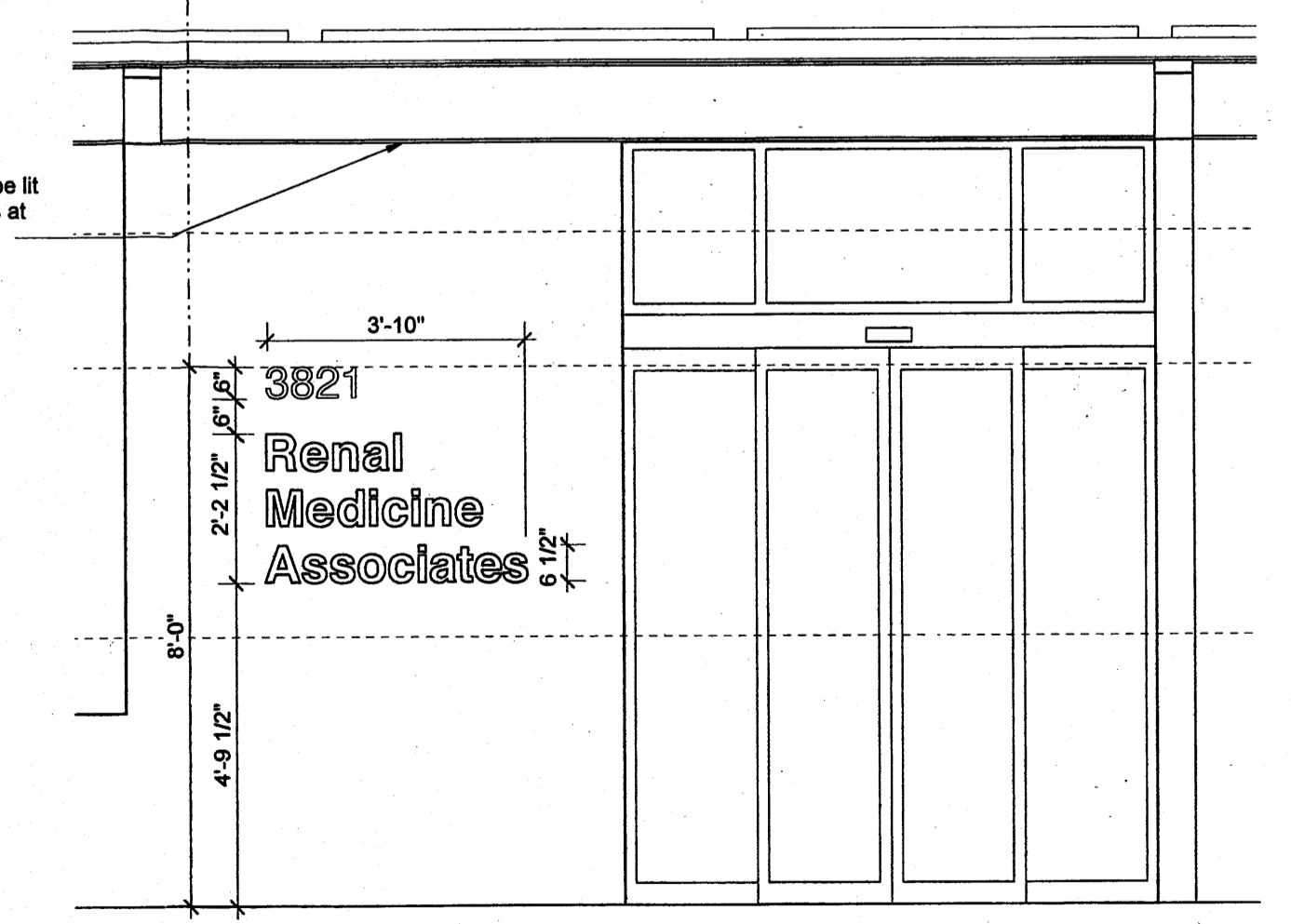
C2.0
Conceptual Utility Plan



5 Building Identification Sign at Street
Scale: 1/2" = 1'-0"
1/4" Flat Cut Aluminum Letters
Natural Satin Finish
Flush Mounted with Blind Stud and Pattern
Text Height 2.5" (Visibility 65)



6 Building Section - Identification Sign at Street
Scale: 1/2" = 1'-0"



7 South Exterior Entry Door Sign
Scale: 3/8" = 1'-0"
1/4" Flat Cut Aluminum Letters
Natural Satin Finish
Flush Mounted with Blind Stud and Pattern
Text Height 6 1/2" (Visibility 160)

218. girard s.e. albuquerque, nm 871106
 ph (505) 255-4033 fx (505) 266-0251
dnca
Renal Medicine Associates Clinic
 3821 Masthead Street NE (Journal Center Phase 2, Unit 2)
 Albuquerque, New Mexico

Date	Issue
8/19/11	DRB Submittal
10/05/11	DRB Re-submittal

A2.0
Exterior Elevations and Signage

**Plat of
Lots 3-A and 4-A
Journal Center
Phase 2 Unit 2
City of Albuquerque
Bernalillo County, New Mexico**
August 2011

LINE TABLE		
LINE	LENGTH	BEARING
L1	9.94'	S 19°55'19" E

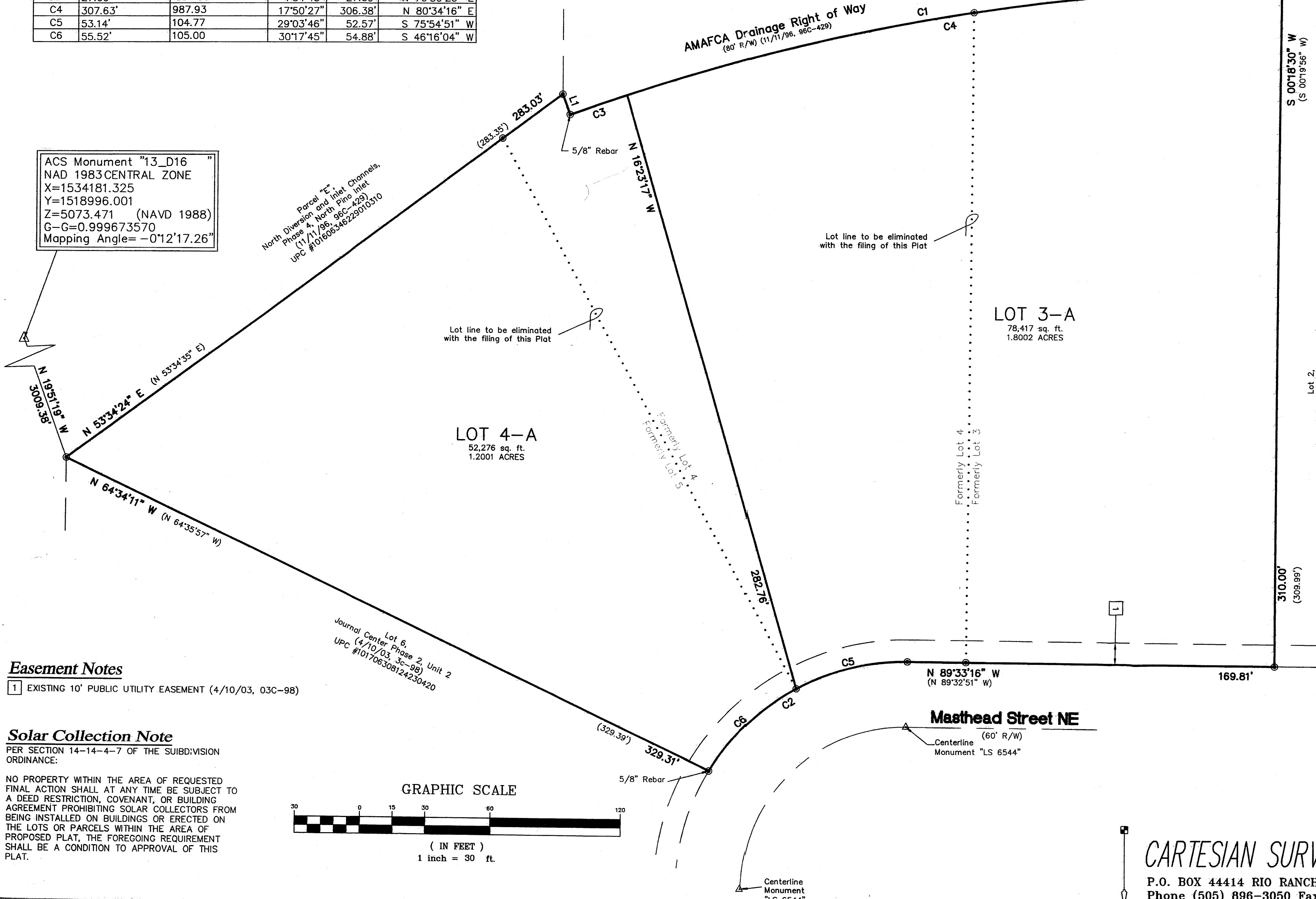
CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	335.31'	987.76	19°27'00"	333.70'	N 79°46'03" E
C2	108.66'	105.00	59°17'35"	103.88'	S 60°45'58" W
C3	27.69'	1004.59	1°34'45"	27.69'	N 70°50'20" E
C4	307.63'	987.93	17°50'27"	306.38'	N 80°34'16" E
C5	53.14'	104.77	29°03'46"	52.57'	S 75°54'51" W
C6	55.52'	105.00	30°17'45"	54.88'	S 46°16'04" W

Legend
 (N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (95C-126)
 N 90°00'00" E MEASURED BEARING AND DISTANCES
 ● FOUND 5/8" REBAR WITH CAP "LS 6544" UNLESS INDICATED OTHERWISE
 ○ SET BATHEY MARKER WITH CAP "LS 14271" UNLESS INDICATED OTHERWISE

ACS Monument "REEVES_2"
 NAD 1983 CENTRAL ZONE
 X=1534308.480
 Y=1516569.742
 Z=N/A (NAVD 1988)
 G-G=0.999673430
 Mapping Angle=-0°12'16.19"

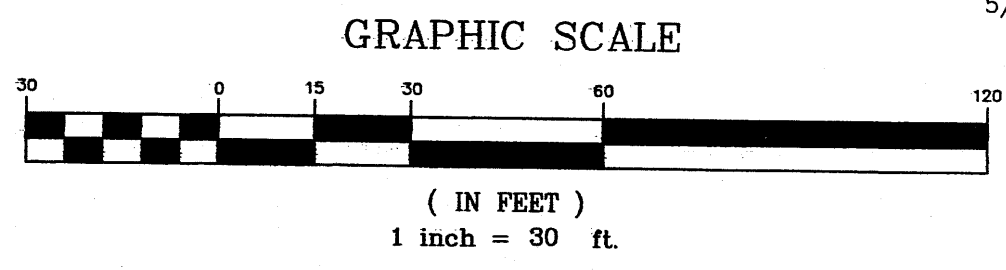
ACS Monument "13_D16"
 NAD 1983 CENTRAL ZONE
 X=1534181.325
 Y=1518996.001
 Z=5073.471 (NAVD 1988)
 G-G=0.999673570
 Mapping Angle=-0°12'17.26"

Parcel "E",
 North Diversion and Inlet Channels,
 Phase 4, North Pine Inlet
 (11/11/96, 96C-429)
 UPC #101606348223010310

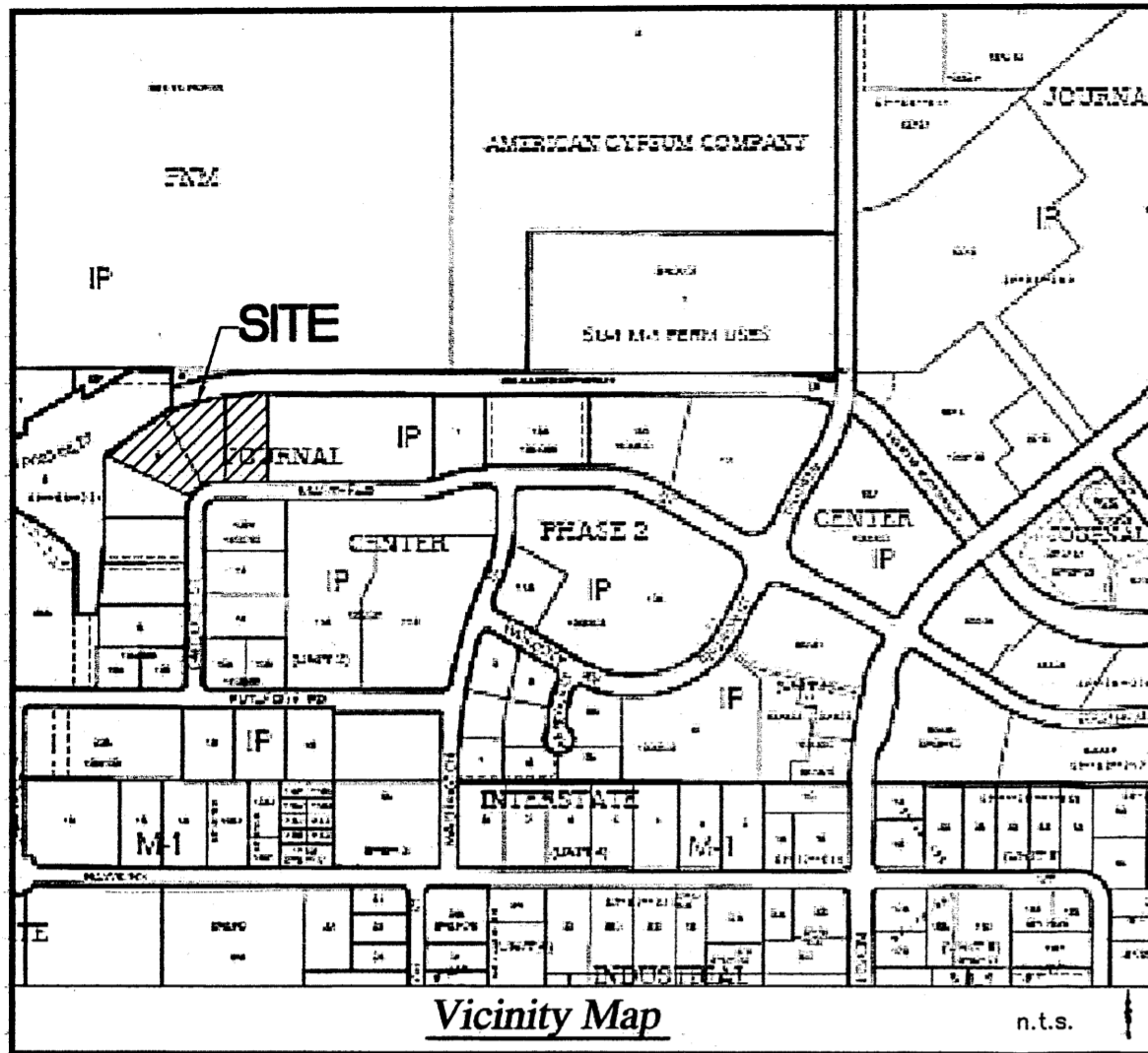


Easement Notes
 1 EXISTING 10' PUBLIC UTILITY EASEMENT (4/10/03, 03C-98)

Solar Collection Note
 PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:
 NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Indexing Information

SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST,
 N.M.P.M., AS PROJECTED IN THE ELENA GALLEGOS GRANT
 SUBDIVISION: JOURNAL CENTER PHASE 2, UNIT 2
 OWNER: BUILDERS TRUST OF NM & NM HOMEBUILDERS ASSOCIATION
 UPC #101706311526330417 (LOT 3)
 UPC #101706310126430418 (LOT 4)
 UPC #101706308625630419 (LOT 5)

Plat of
Lots 3-A and 4-A
Journal Center
Phase 2 Unit 2
City of Albuquerque
Bernalillo County, New Mexico
 August 2011

Purpose of Plat

1. CREATE 2 LOTS FROM LOTS 3, 4 AND 5 OF JOURNAL CENTER PHASE 2, UNIT 2.

Legal

LOT NUMBERED THREE (3), FOUR (4) AND FIVE (5) OF THE PLAT OF JOURNAL CENTER, PHASE 2, UNIT 2, (A REPLAT OF TRACT 8A-1, JOURNAL CENTER PHASE 2, UNIT 1) ALBUQUERQUE, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 10, 2003, IN PLAT BOOK 2003C, PAGE 98, AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL, MARKED WITH A 5/8" REBAR WITH CAP "LS 6544", WHENCE A TIE TO ACS MONUMENT "REEVES_2" BEARS N 82°44'02" W, A DISTANCE OF 1466.21 FEET;

THENCE, FROM THE POINT OF BEGINNING, S 00°18'30" W, A DISTANCE OF 310.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCELS, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF MASTHEAD STREET NE, MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, COINCIDING WITH SAID RIGHT OF WAY THE FOLLOWING TWO COURSES, N 89°33'16" W, A DISTANCE OF 169.81 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, 108.66 FEET ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 105.00 FEET, A DELTA OF 59°17'35", AND A CHORD BEARING S 60°45'58" W, A DISTANCE OF 103.88 FEET TO AN ANGLE POINT, BEING THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 5/8" REBAR;

THENCE, LEAVING SAID RIGHT OF WAY N 64°34'11" W, A DISTANCE OF 329.31 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, N 53°34'24" E, A DISTANCE OF 283.03 FEET TO AN ANGLE POINT, BEING MARKED WITH A 5/8" REBAR WITH CAP "LS 6544";

THENCE, S 19°55'19" E, A DISTANCE OF 9.94 FEET TO AN ANGLE POINT, BEING MARKED WITH A 5/8" REBAR;

THENCE, 335.31 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 987.76 FEET, A DELTA OF 19°27'00", AND A CHORD BEARING N 79°46'03" E, A DISTANCE OF 333.70 FEET TO THE POINT OF BEGINNING CONTAINING 3.0003 ACRES (130,693 SQ. FT.) MORE OR LESS.

Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

JACK C. MILARCH, EXECUTIVE VICE PRESIDENT AND CEO
 NEW MEXICO HOME BUILDERS, TENANT IN COMMON

Acknowledgment

STATE OF New Mexico SS
 COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON August 18, 2011
 BY: JACK C. MILARCH, EXECUTIVE VICE PRESIDENT AND CEO, NEW MEXICO HOME BUILDERS

Melinda A. Bolivar March 16, 2015
 NOTARY PUBLIC MY COMMISSION EXPIRES

Subdivision Data

GROSS ACREAGE. 3.0003 ACRES
 ZONE ATLAS PAGE NO. D-17-Z
 NUMBER OF EXISTING TRACTS. 3
 NUMBER OF TRACTS CREATED. 2
 MILES OF FULL WIDTH STREETS. 0.00
 MILES OF HALF WIDTH STREETS. 0.00
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE. 0 ACRES
 DATE OF SURVEY. OCTOBER 2010

Notes

1. FIELD SURVEY PERFORMED IN OCTOBER 2010.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).

Documents

1. PLAT OF RECORD FOR JOURNAL CENTER PHASE 2, UNIT 2, FILED ON APRIL 10, 2003, IN BOOK 3C, PAGE 98.
2. PLAT FOR NORTH DIVERSION & INLET CHANNELS PHASE 4, FILED ON NOVEMBER 11, 1996 IN BOOK 96C, PAGE 429.
3. TITLE COMMITMENT PROVIDED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, WITH FILE NO. 6218004292, AND AN EFFECTIVE DATE OF OCTOBER 14, 2009.

Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND HEREBY. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

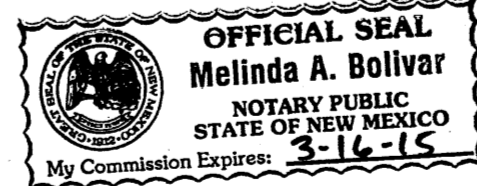
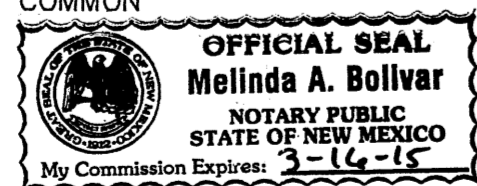
RICK DAVIS, TRUSTEE/VICE CHAIRMAN
 BUILDERS TRUST OF NEW MEXICO, TENANT IN COMMON

Acknowledgment

STATE OF New Mexico SS
 COUNTY OF Bernalillo

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON August 18, 2011
 BY: RICK DAVIS, TRUSTEE/VICE CHAIRMAN, BUILDERS TRUST OF NEW MEXICO

Melinda A. Bolivar March 16, 2015
 NOTARY PUBLIC MY COMMISSION EXPIRES



Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number _____

Application Number _____

Plat approvals:

PNM Electric Services	_____	Date
New Mexico Gas Company	_____	Date
Qwest/CenturyLink	_____	Date
Comcast	_____	Date
City approvals:		
City Surveyor	<u>[Signature]</u>	<u>8/22/11</u> Date
Traffic Engineer	_____	Date
ABCWUA	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
DRB Chairperson, Planning Department	_____	Date

Surveyor's Certificate

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

Will Plotner Jr. 8/17/11
 WILL PLOTNER JR. DATE
 N.M.R.P.S. No. 14271

CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



Public Utility Easements:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

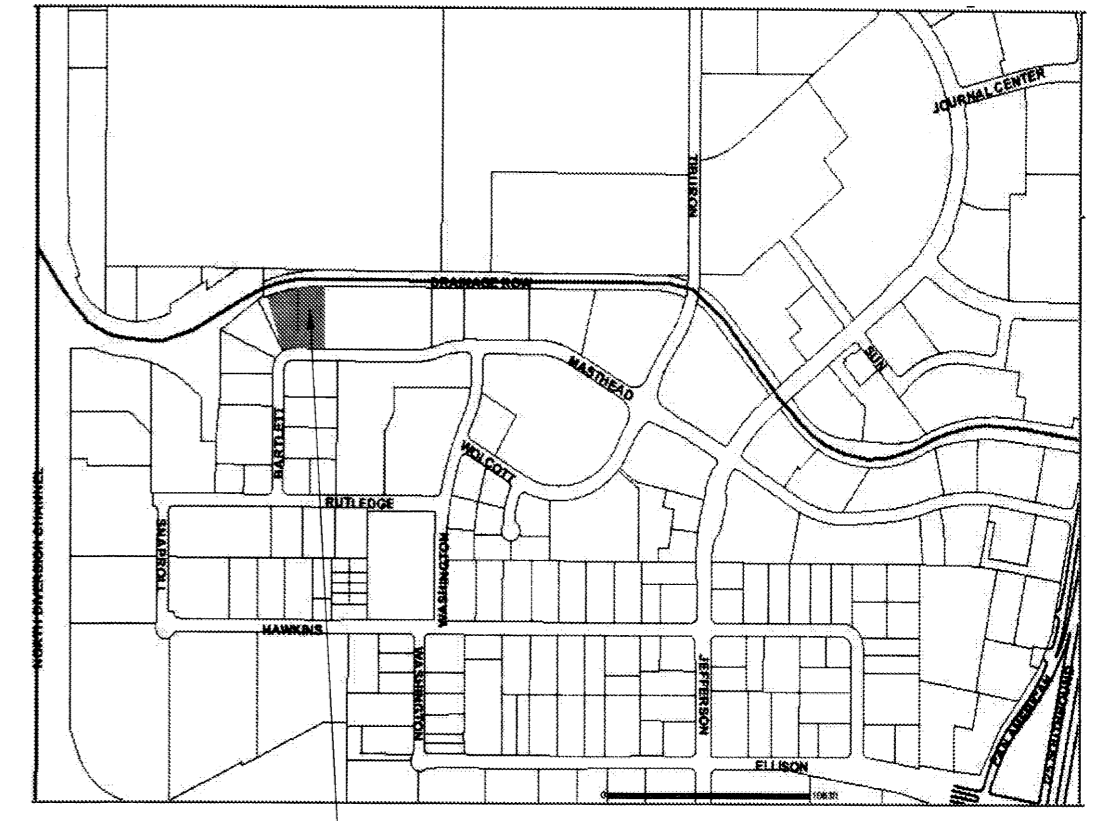
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**Plat of
Lots 3-A and 4-A
Journal Center
Phase 2 Unit 2
City of Albuquerque
Bernalillo County, New Mexico
August 2011**



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



VICINITY MAP
Project location: Lot 3A, Journal Center 2, Phase 2.

Drawing Directory

Sheet #1:	A0.1 Site Plan and Refuse Enclosure
Sheet #2:	L1.0 Landscape Plan
Sheet #3:	C1.0 Conceptual Grading Plan
Sheet #4:	C2.0 Conceptual Utility Plan
Sheet #5:	A2.0 Building Elevations and Signage
Sheet #6:	A3.0 Renderings

Areas and Phasing

Total Site Area:	78,463 sf
Circulation and Parking:	42,279 sf
Net Site Area:	62,203 sf
Landscaping:	19,924 sf (32% of Net Site Area)
Phase One Building (Medical Clinic):	13,524 sf
Phase Two Building Shell to be built concurrently with Phase One:	2,636 sf
Total Building Area:	16,160 sf
Phase Two Build-out (Interventional Nephrology Clinic):	(2,636 sf, included in total above)

Parking Requirements

Required parking: 5 spaces per 1 physician.
(11 physicians) x (5 spaces) = 55 spaces required.

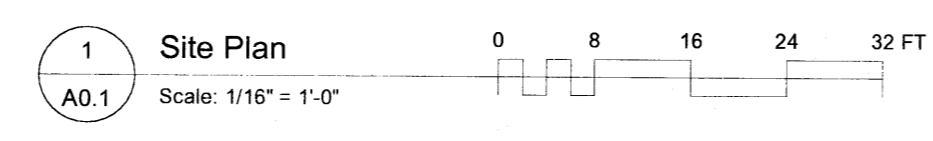
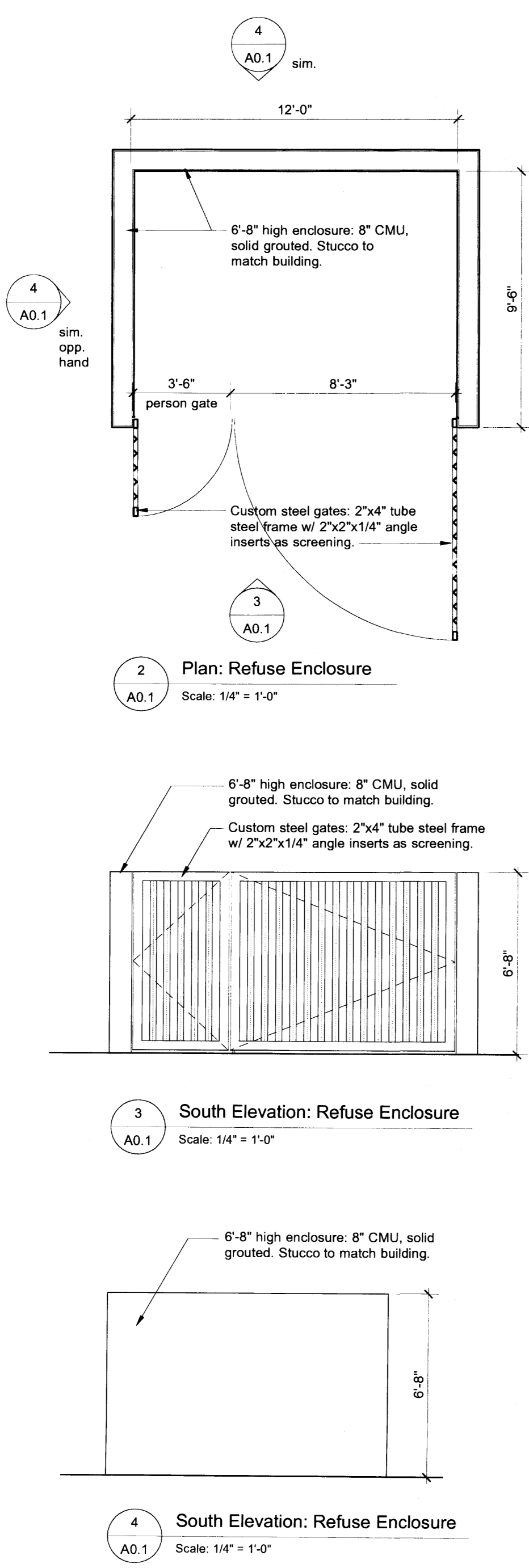
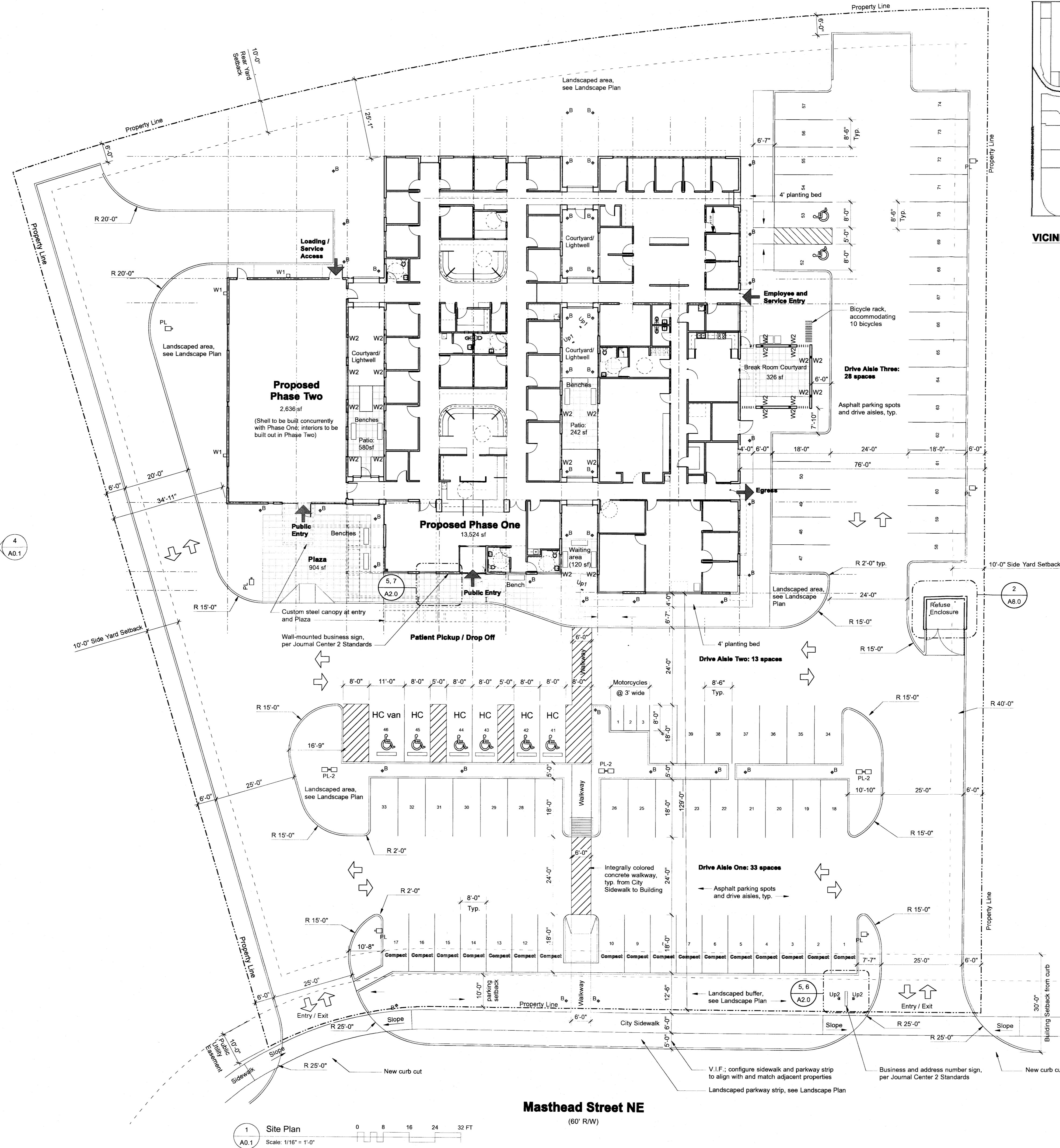
Spaces provided:
 Drive Aisle One: 33 spaces
 Drive Aisle Two: 13 spaces
 Drive Aisle Three: 28 spaces
Total Parking Spaces: 74

Accessible spaces required: for 51 - 100 spaces, 4 required plus 1 accessible van space.
 Accessible spaces provided = 7 regular + 1 van.
 Motorcycle spaces required: 3 Provided: 3
 Bicycle spaces required: 1 per 20 parking spaces = 4 required. Provided: 10

Preliminary Lighting Schedule *

- PL Pole light fixture for parking lot, 22' height
- B 24" tall bollard fixture for pathway and landscape accent lighting
- Up1 Aimable uplight for vegetation, landscape accent lighting
- Up2 In-ground uplight for signage
- W1 Wall-mounted area light at loading and service area
- W2 Recessed wall fixture, step light

* Note: All fixtures will comply with Night Lighting Ordinance



Date: 8/19/11 Issue: DRB Submittal

PLANT LIST

Symbol	Botanical name	Common name	Installed Size	Mature Size	Water use
TREES					
	<i>Fraxinus velutina</i>	Arizona Ash	2" CAL.	40' HT x 35' W	MEDIUM+
	<i>Forestiera neomexicana</i>	New Mexico Olive	15 GAL.	15' HT x 15' W	MEDIUM
	<i>Pinus eldarica</i>	Afghan Pine	8' HT	40' HT x 18' W	MEDIUM
	<i>Cornus mas</i>	Cornelian Cherry (dogwood)	15 GAL.	15' HT x 20' W	MEDIUM+
	<i>Forestiera neomexicana</i>	New Mexico Olive	15 GAL.	15' HT x 15' W	MEDIUM
	Yaupon holly	<i>Ilex vomitoria</i>	15 GAL.	15' HT x 15' W	MEDIUM
	<i>Populus deltoides 'wislizeni'</i>	Rio Grande Cottonwood	15 GAL.	50' HT x 60' W	MEDIUM+
	<i>Quercus turbinella</i>	Shrub Live Oak	15 GAL.	6-15' HT x 20' W	MEDIUM
	<i>Chilopsis linearis</i>	Desert willow	15 GAL.	20' x 25' W	LOW
	<i>Crataegus sp.</i>	Multistem Hawthorn (variety)	8' M.S.	8' M.S.	MEDIUM/ MEDIUM+
SHRUBS - group 1 (parking lot medium)					
	<i>Cotoneaster pernyi</i>	parney cotoneaster	5 GAL.	5' HT x 5' W	LOW
	<i>Miscanthus sinensis 'gracillimus'</i>	Maidenhair grass	5 GAL.	5-7' HT x 3'4' W	MEDIUM+
	<i>Panicum virgatum 'shenandoah'</i>	Shenandoah switchgrass	3 GAL.	3-4' HT x 3-4' W	MEDIUM
SHRUBS - group 2 (parking lot low)					
	<i>Artemisia sp.</i>	Powis castle Silver sage	1 GAL.	3' HT x 3' W	LOW
	<i>Pennisetum alopecuroides 'hameln'</i>	Dwarf fountaingrass	1 GAL.	4-5' HT x 2' W	MEDIUM
	<i>Salvia spp.</i>	Salvia (variety)	1 GAL.	10-20" HT x 10-20" W	MEDIUM
SHRUBS - group 3 (courtyard)					
	<i>Liriope muscari</i>	Lilyturf	1 GAL.	18" HT x 18" W	MEDIUM
	<i>Boxus sempervirens</i>	Common Boxwood	1 GAL.	4' HT x 4' W	MEDIUM
	<i>Thymus serpyllum</i>	Creeping Thyme	1 GAL.	3" HT x 1' W	MEDIUM
	<i>Mahonia repens</i>	Creeping Mahonia	1 GAL.	18-24" HT x 3-4' W	MEDIUM
	<i>Chasmanthium latifolium 'River Mist'</i>	Variegated Northern Sea Oats	1 GAL.	3' HT x 3' W	MEDIUM
SHRUBS - group 4 (building perimeter)					
	<i>Andropogon scoparium 'the blues'</i>	Little Bluestem	3 GAL.	3' HT x 3' W	LOW
	<i>Miscanthus sinensis 'gracillimus'</i>	Maidenhair grass	5 GAL.	5-7' HT x 3'4' W	MEDIUM+

- Decorative boulders
- Sitting boulders (courtyard)
- 7/8" gravel mulch (pervious surface)
- Crusher fines (pervious surface)
- native seeding (pervious surface)

LANDSCAPE NOTES

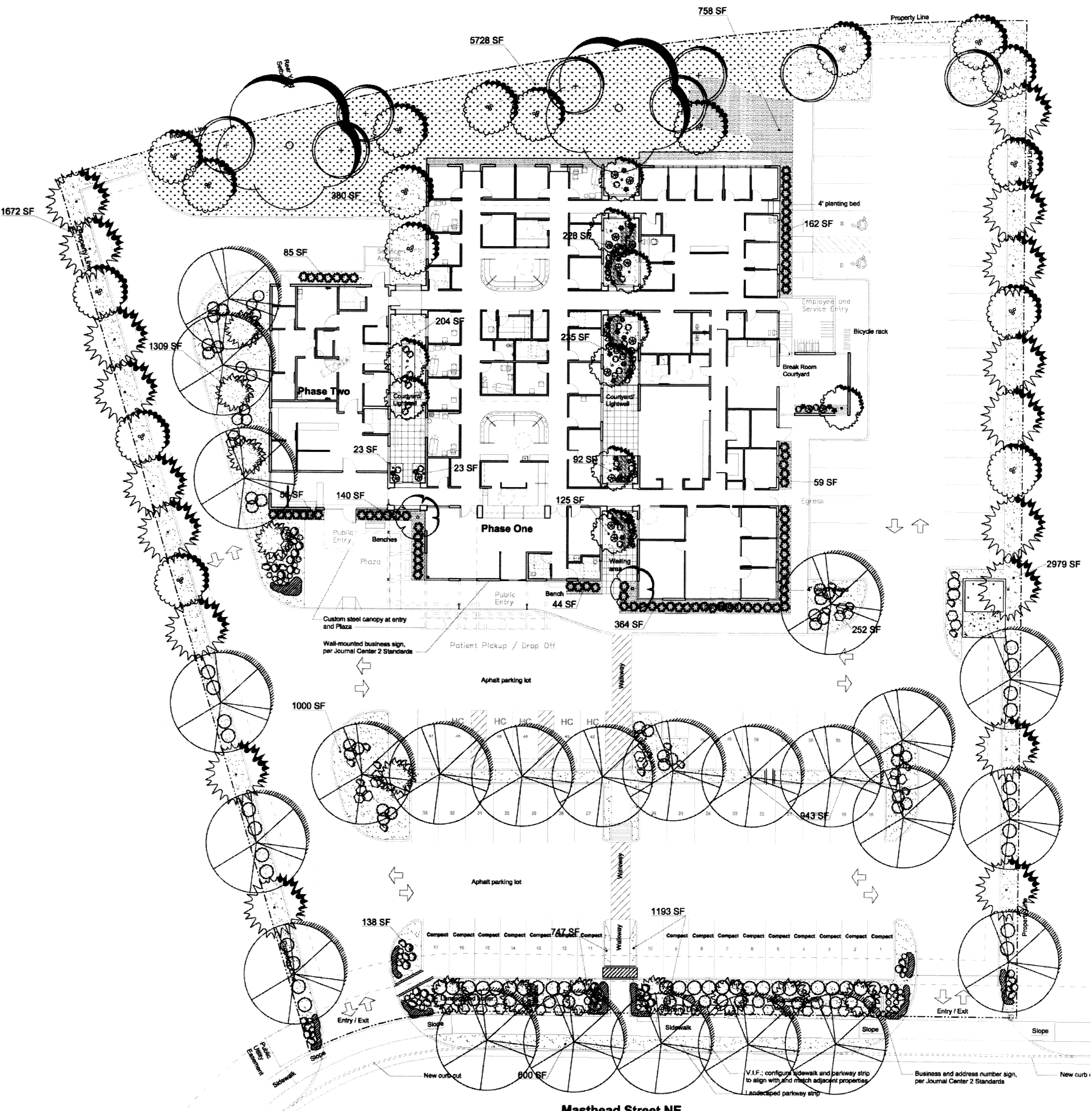
Plan is diagrammatic and approximate due to the scale of the drawing and not all individual shrubs or ground covers are shown. No planting area will be left uncovered or not top-dressed. All planting areas will be planted with trees, shrubs, or groundcovers. At maturity, plants will provide a minimum coverage of 75% of the landscape area. All plant area shall be covered with a 3" layer of aggregate or mulch.

STATEMENT OF COMPLIANCE WITH WATER CONSERVATION ORDINANCES:
 Intent of plan is to conform to the landscape requirements of Journal center 2 as well as all city ordinances and codes relating to landscape requirements, including the Water Conservation and Water Waste Ordinance (C_ORD 18-1995).

DESCRIPTION OF IRRIGATION SYSTEM:
 An automatic underground irrigation system will be designed and installed to serve all new plant materials. Trees and shrubs will be irrigated with a low-flow bubbler and/or drip emitter system. Native seeding on north end will be irrigated with pop-up rotors until established.

MAINTENANCE RESPONSIBILITY:
 All responsibility for maintenance shall lie with the Owner/developer.

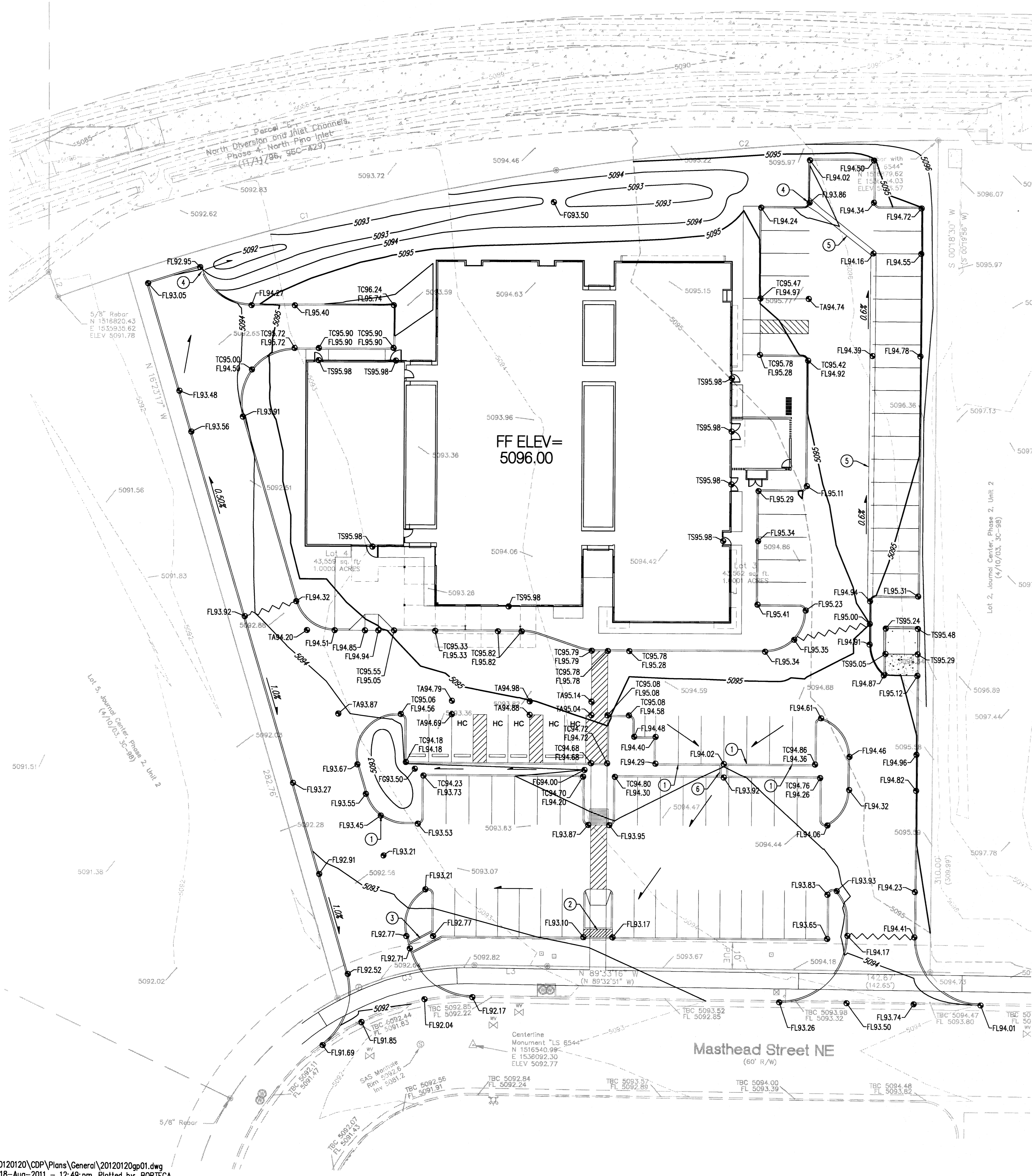
DETAILS:
 Backflow prevention and tree wells will be constructed following City of Albuquerque standard specifications details for public works construction. Please reference the following:
 Backflow prevention detail-DWG. 2701
 Tree well detail-DWG. 2714



1
A0.1 Scale: 1" = 20'

LANDSCAPE CALCULATIONS

Total Site = 78,463 s.f.
 Building Area = 16,160 s.f.
 Net Site Area = 62,203 s.f.
 Landscape Area Provided = 19,924 s.f.
 (32% of Net Site Area)



LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- 5096.36 EXISTING GROUND SPOT ELEVATION
- 95.32 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE, TS=TOP OF SIDEWALK, EX=EXISTING, FG=FINISHED GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB
- - - - - EASEMENT

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

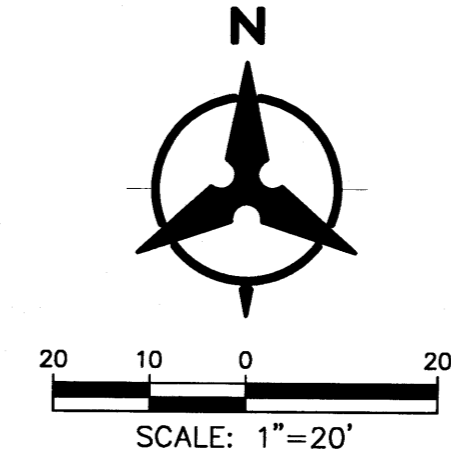
GRADING NOTES

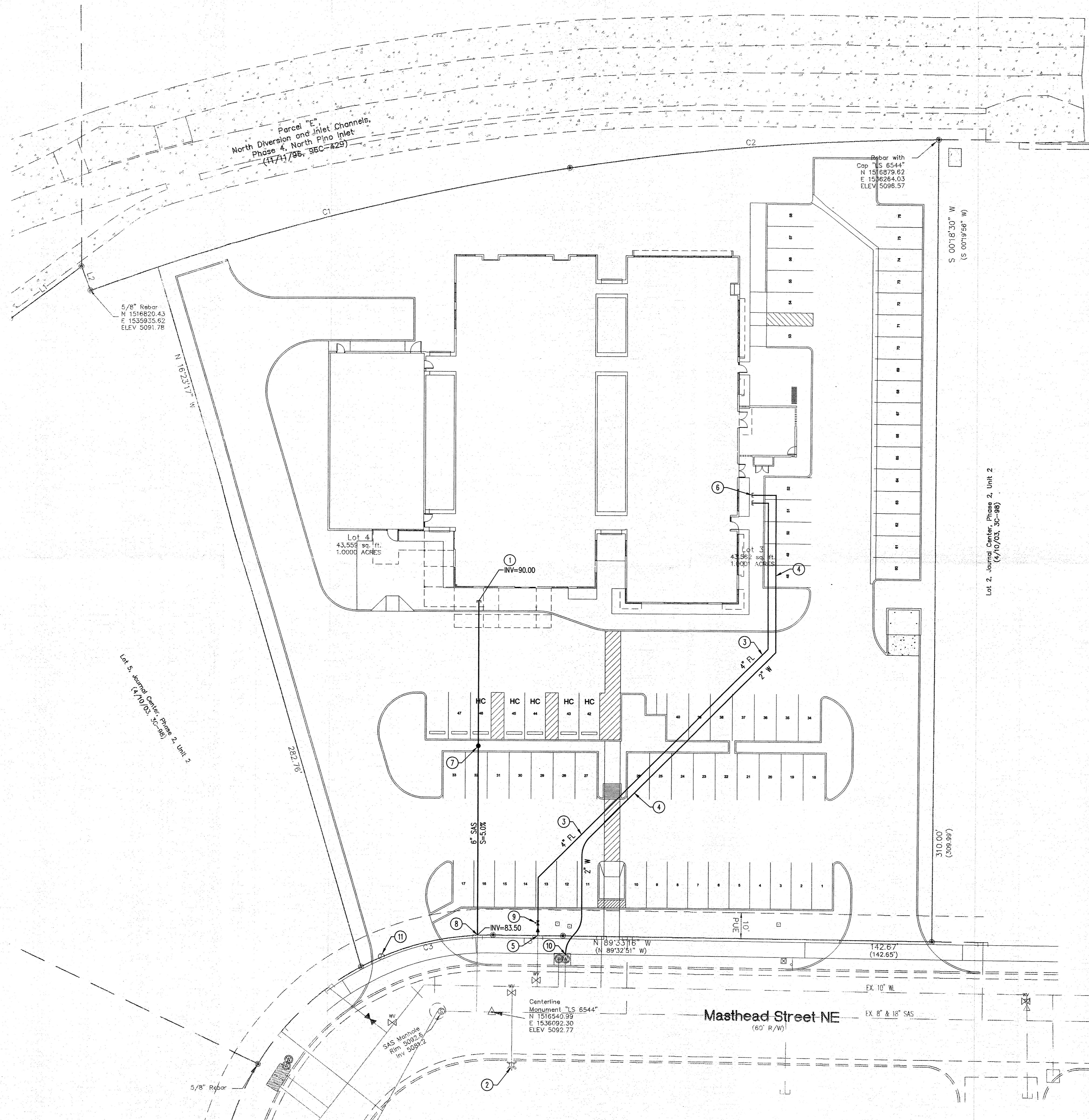
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GRADING KEYED NOTES

1. INSTALL 12" WIDE CURB OPENING.
2. INSTALL 36" WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
3. INSTALL 36" WIDE CONCRETE RIBBON CHANNEL.
4. INSTALL 36" WIDE CURB OPENING WITH WATER QUALITY SCREEN.
5. INSTALL 24" WIDE CONCRETE VALLEY GUTTER.
6. INSTALL 24" WIDE CONCRETE RIBBON CHANNEL.

Date _____ Issue _____





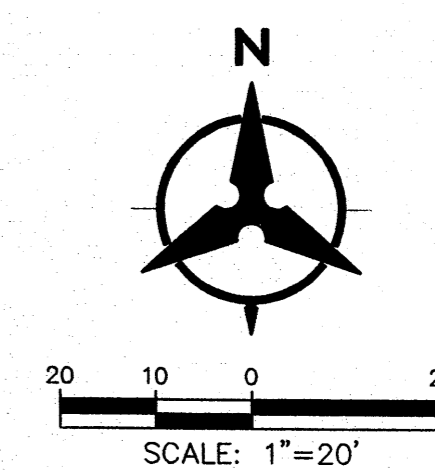
UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

UTILITY KEYED NOTES

1. 6" SANITARY SEWER SERVICE, SEE PLUMBING PLANS FOR CONTINUATION.
2. EXISTING FIRE HYDRANT.
3. 4" PRIVATE FIRE LINE SERVICE FOR BUILDING SPRINKLERS, BACKFLOW PREVENTER TO BE INSTALLED INSIDE MECHANICAL ROOM. FDC TO BE LOCATED ON BUILDING WALL. FIRE LINE PIPE JOINTS AND MECHANICAL JOINTS SHALL BE RESTRAINED FOR ENTIRE LENGTH. PROVIDE 3' MINIMUM COVER.
4. NEW 2" WATER LINE. CONNECT TO EXISTING METER SERVICE.
5. CONNECTION TO EXISTING 6" FIRE LINE STUB.
6. NEW 2" DOMESTIC WATER SERVICE TO BUILDING, BACKFLOW PREVENTER SHALL BE INSIDE MECHANICAL ROOM.
7. SANITARY SEWER CLEANOUT.
8. CONNECT TO EXISTING 6" SAS SERVICE LINE.
9. 6"x4" REDUCER AND POST INDICATOR VALVE.
10. EXISTING 1 1/2" WATER SERVICE LINE AND METER BOX. CONTRACTOR SHALL COORDINATE AND PAY FOR CITY INSTALLATION OF METER.
11. ADJUST EXISTING TELECOM MANHOLE FRAME & COVER TO PROPOSED GRADE.

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
R.E. Sanchez 8-18-11
 SIGNATURE & DATE



dnca 218 girard s.e., albuquerque nm, 87106
 ph (505) 255-4033 k (505) 266-0251

Renal Medicine Associates Clinic
 Journal Center
 Albuquerque, New Mexico

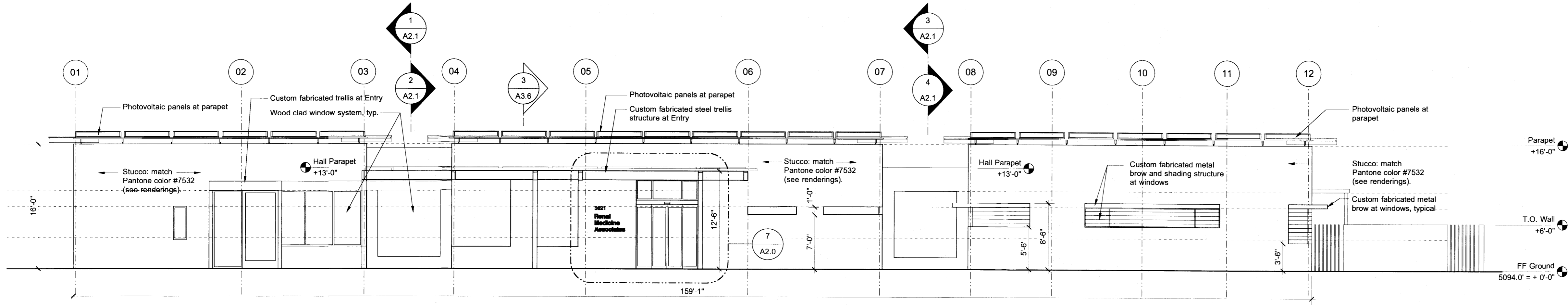
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July 8th, 2011

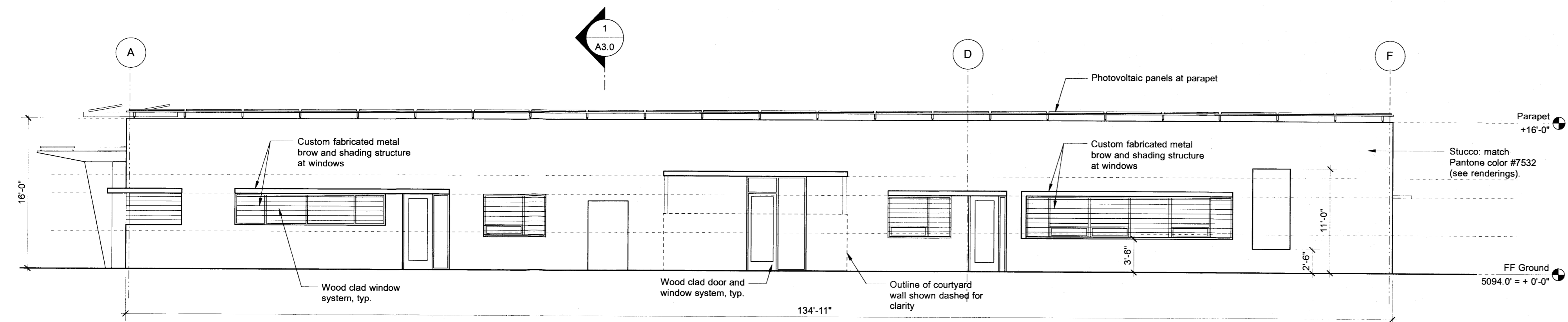
100% Schematic Design

Bohannon & Huston

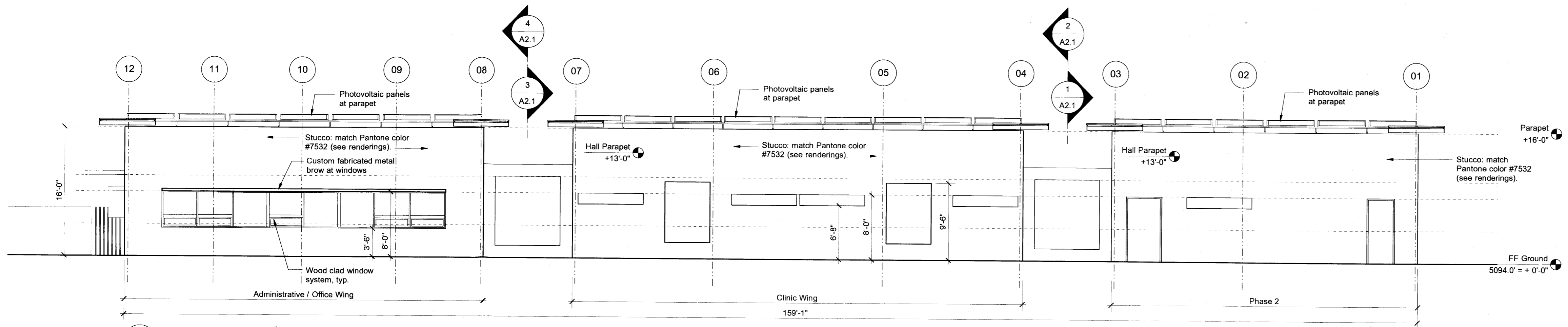
C2.0
 Conceptual Utility Plan



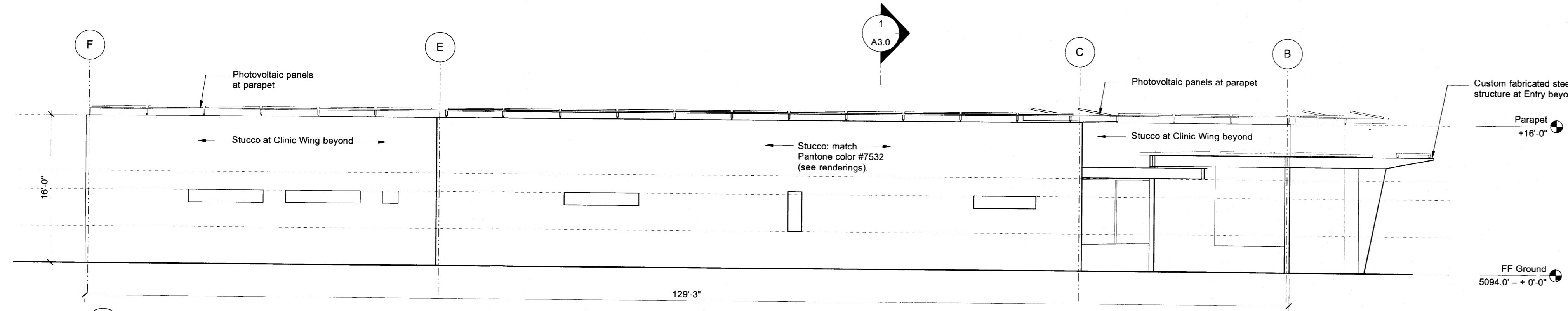
1 South Elevation
A2.0
Scale: 1/8" = 1'-0"



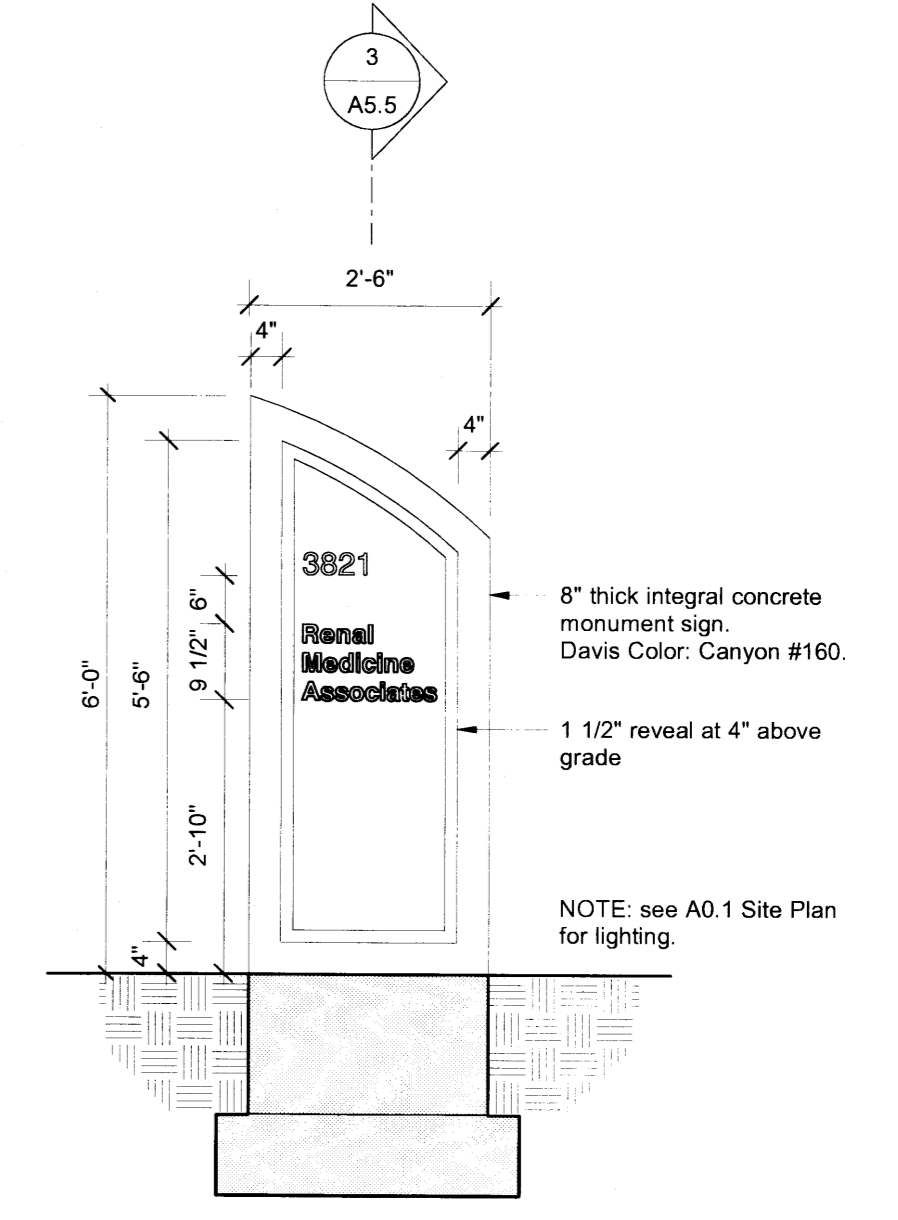
2 East Elevation - Administrative / Office Wing
A2.0
Scale: 1/8" = 1'-0"



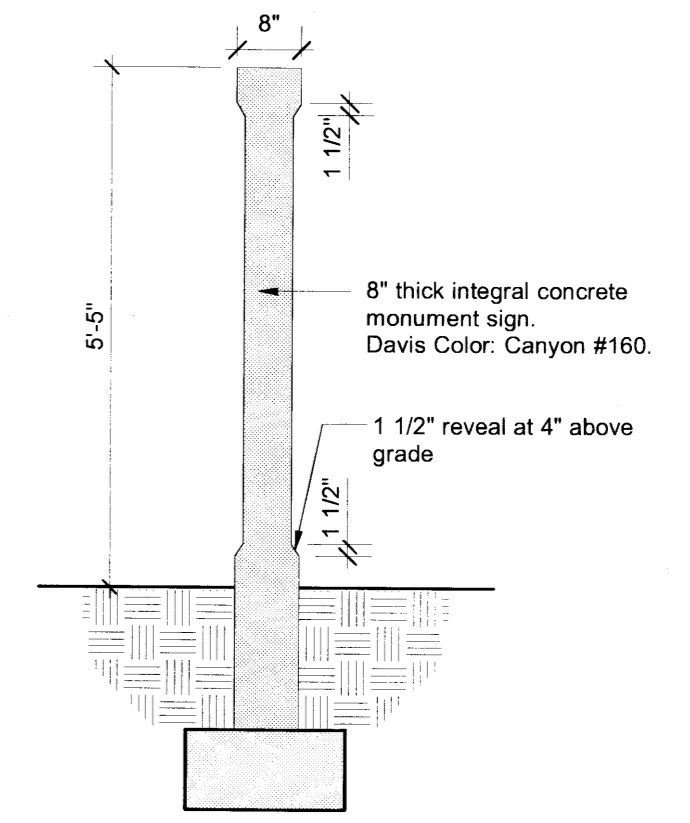
3 North Elevation
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Scale: 1/8" = 1'-0"



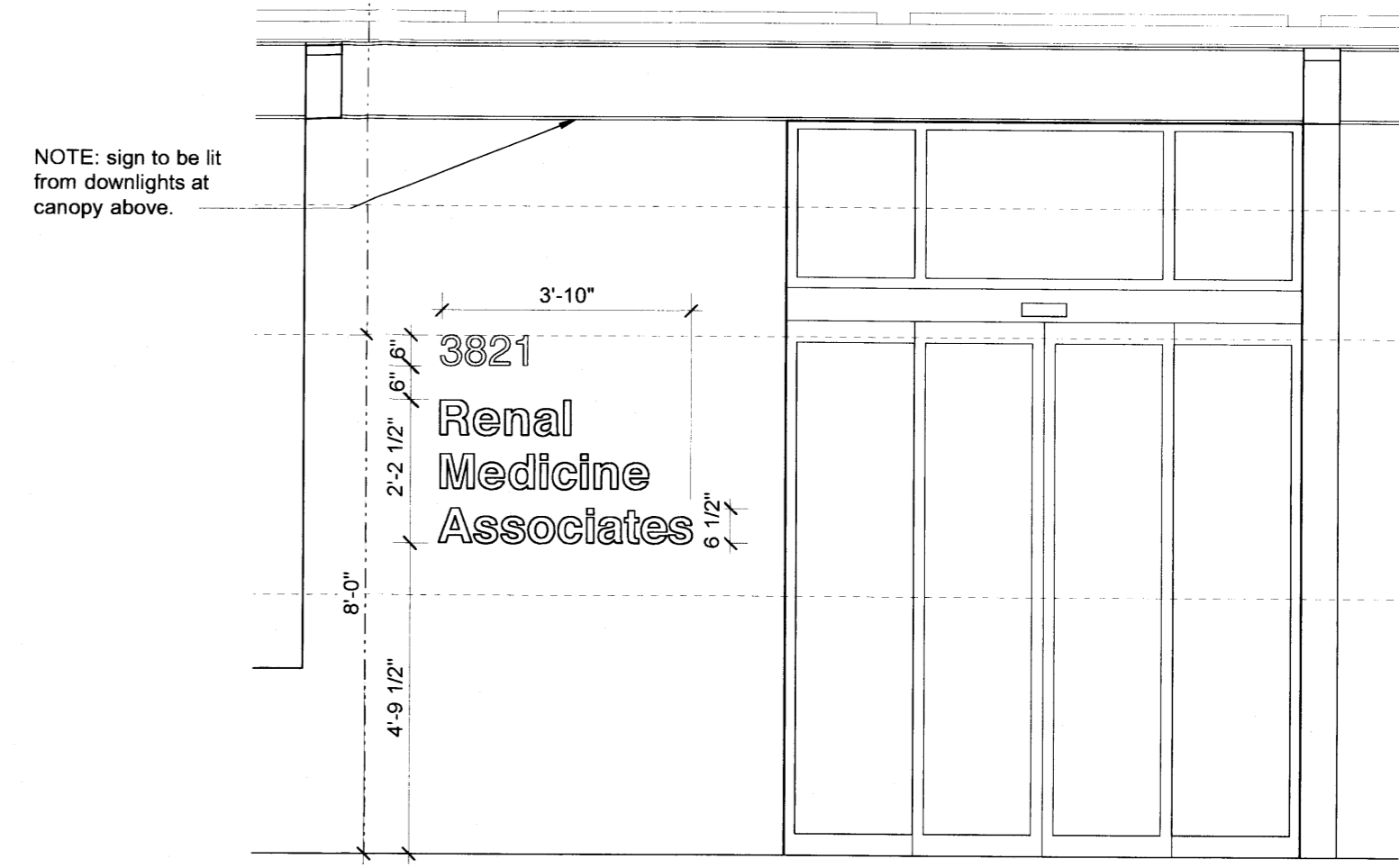
4 West Elevation
A2.0
Scale: 1/8" = 1'-0"



5 Building Identification Sign at Street
A2.0
Scale: 1/2" = 1'-0"



6 Building Section - Identification Sign at Street
A2.0
Scale: 1/2" = 1'-0"



7 South Exterior Entry Door Sign
A2.0
Scale: 3/8" = 1'-0"

dnca 218 girard s.e., albuquerque, nm 87106
ph (505) 255-4033 fx (505) 266-0251

Renal Medicine Associates Clinic
3821 Masthead Street NE (Journal Center Phase 2, Unit 2)
Albuquerque, New Mexico

Date Issue
8/19/11 DRB Submittal

August 19th, 2011

75% Design Development

A2.0
Exterior Elevations and Signage