

3. **Project# 1009082**  
12DRB-70082 VACATION OF PUBLIC  
UTILITY EASEMENT  
12DRB-70083 VACATION OF PUBLIC  
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/11 6/27/12, 7/25/12] **DEFERRED TO 9/26/12 AT THE AGENT'S REQUEST.**


4. **Project# 1009084**  
12DRB-70079 VACATION OF PUBLIC  
UTILITY EASEMENT  
12DRB-70080 VACATION OF PUBLIC  
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of COMPASS DRIVE NW plus Utility Easements in Block(s) 2, **VOLCANO CLIFFS Unit 19**, zoned SU-2/ VCLL, located on COMPASS DR NW bewteen CAMINO DEL OSTE NW and COMPASS CT NW containing approximately 4.5 acre(s). (D-10) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/12, 6/27/12, 7/25/12] **DEFERRED TO 9/26/12 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

5. **Project# 1008915**  
12DRB-70265 EPC APPROVED SDP  
FOR SUBDIVISION

THE HARTMAN & MAJEWSKI DESIGN GROUP agent(s) for LOVELACE HEALTH SYSTEMS request(s) the above action(s) for all or a portion of Lot(s) 1A AND 2A, **ST JOSEPH HOSPITAL COMPLEX** zoned SU-1 FOR HOSP & REL USES & HOTEL, located on MLK BETWEEN WALTER AND I-25 containing approximately 12 acre(s). (J-14 & 15, K-14 & 15) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED.**

6. **Project# 1009245**  
12DRB-70221 MINOR - SDP FOR  
BUILDING PERMIT 

RICK BENNETT ARCHITECTS agent(s) for GUARDIAN STORAGE LLC request(s) the above action(s) for all or a portion of Lot(s) 19 AND 20, Block(s) 9, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2, located on ON HOLLY BETWEEN WYOMING AND LOUISIANA containing approximately 1.9952 acre(s). (C-19-Z) ) [Deferred from 8/1/1, 8/8/12, 8/22/12] **INDEFINITELY DEFERRED.**

DRB

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1008915 Application #: 12 DRB-70265  
 Project Name: St. Joseph Hospital Complex  
 Agent: The Hartman & Majewski Design Group Phone #:

**\*\*Your request was approved on \_\_\_\_\_ by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed\*\***

TRANSPORTATION:  
\_\_\_\_\_  
\_\_\_\_\_

ABCWUA:  
\_\_\_\_\_  
\_\_\_\_\_

CITY ENGINEER / AMAFCA:  
\_\_\_\_\_  
\_\_\_\_\_

PARKS / CIP:  
\_\_\_\_\_  
\_\_\_\_\_

PLANNING (Last to sign):  
\_\_\_\_\_  
\_\_\_\_\_

**PLATS:**

- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
  - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

**ALL SITE PLANS:**

~~3~~ 3 copies of the approved site plan. Include all pages.

City of Albuquerque  
**Planning Department**  
**Inter-Office Memorandum**

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1008915

On July 12, 2012, the Environmental Planning Commission (EPC) approved Project #1008915/12EPC 40031, an amendment to a site development plan for subdivision for all or a portion of Lots 1A and 2A, St. Joseph Hospital Complex, located on Elm St., between Martin Luther King Jr. Ave. and Fruit Ave., containing approximately 14 acres.

The applicant has satisfied all of the EPC conditions of approval.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.

Site Plan Complete  
8-29-12  
VS

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

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 Project Name: St. Joseph Hospital Complex  
 Agent: The Hartman & Majewski Design Group Phone #:

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**3** copies of the approved site plan. Include all pages.

# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

08/21/2012 Issued By: BLDAVM 159561

Category Code **910**  
**2012 070 265**

**Application Number:** 12DRB-70265, Epc Approved Sdp For Subdivision

**Address:**

**Location Description:** MLK BETWEEN WALTER AND I-25

**Project Number:** 1008915

#### Applicant

LOVELACE HEALTH SYSTEMS

601 MLK  
ALBUQUERQUE NM 87102

#### Agent / Contact

DAVID A AUBE

120 VASSAR SE, SUITE 100  
ALBUQUERQUE NM 87106  
5059986430

#### Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions

**TOTAL: \$20.00**

City of Albuquerque Treasury  
Date: 8/21/2012 Office: ANNEX  
Stat ID: W5000007 Cashier: TRSCXG  
Batch: 638 Trans #: 9  
Permit: 2012070265  
Receipt Num 00045686  
Payment Total: \$20.00  
0901 Conflict Mgmt Fee  
Cash Tendered: \$20.00



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision (Amendment)
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): David A Aube PHONE: 505-998-6430  
 ADDRESS: 120 Vassar SE, Suite 100 FAX: 505-242-6881  
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: daube@designgroupnm.com  
 APPLICANT: Lovelace Health Systems PHONE: \_\_\_\_\_  
 ADDRESS: 601 MLK FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: Building and Entrance Enhancements, Replacement of two Pylon sign w/ monument signs.

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 1A and 2A Block: 0000 Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: St Joseph Hospital Complex  
 Existing Zoning: SU1 for Hosp & Rel Uses + Hotel Proposed zoning: SAME MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): J14, J15, K14, K15 UPC Code: 101505704547123920

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.):  
E-98-8, DRB-98-97, Case tracking 100596, 1008915

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?   
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 12  
 LOCATION OF PROPERTY BY STREETS: On or Near: MLK  
 Between: Walter Street and I 25 Frontage Road.

Check if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE David A Aube DATE 8-20-12  
 (Print Name) David A Aube Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12 DRB - 70265</u>	<u>SBP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>Aug. 29, 2012</u>			Total \$ <u>20.00</u>

Staff signature & Date: [Signature] 8-21-12 Project # 1008915

Revised: 4/2012

**FORM P(3): SITE PLAN REVIEW D.R.B. MEETING (UNADVERTISED)**

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- \_\_\_ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

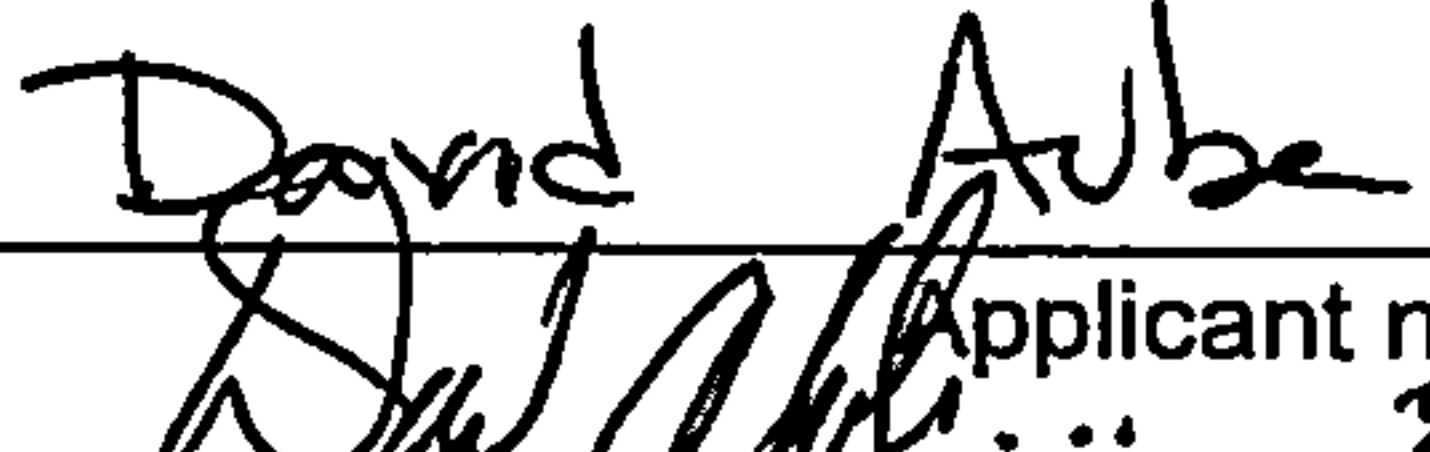
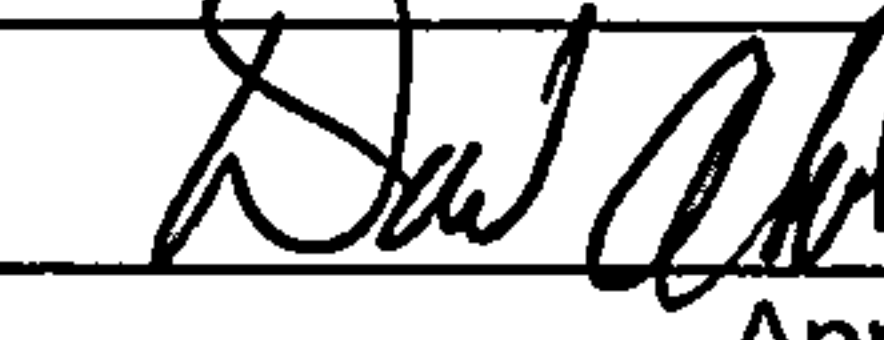
- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- ✓ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - ✓ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - ✓ Zone Atlas map with the entire property(ies) clearly outlined
  - ✓ Letter briefly describing, explaining, and justifying the request
  - ✓ Letter of authorization from the property owner if application is submitted by an agent
  - ✓ Copy of the document delegating approval authority to the DRB
  - ✓ Completed Site Plan for Subdivision Checklist
  - N/A Infrastructure List, if relevant to the site plan **N/A**
  - \_\_\_ Fee (see schedule)
  - ✓ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- \_\_\_ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
  - \_\_\_ Solid Waste Management Department signature on Site Plan
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Copy of the document delegating approval authority to the DRB
  - \_\_\_ Infrastructure List, if relevant to the site plan
  - \_\_\_ Completed Site Plan for Building Permit Checklist
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp
  - \_\_\_ Fee (see schedule)
  - \_\_\_ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- \_\_\_ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Zone Atlas map with the entire property(ies) clearly outlined
  - \_\_\_ Letter briefly describing, explaining, and justifying the request
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  - \_\_\_ Infrastructure List, if relevant to the site plan
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  - \_\_\_ Fee (see schedule)
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- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- \_\_\_ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
  - \_\_\_ Solid Waste Management Department signature on Site Plan for Building Permit
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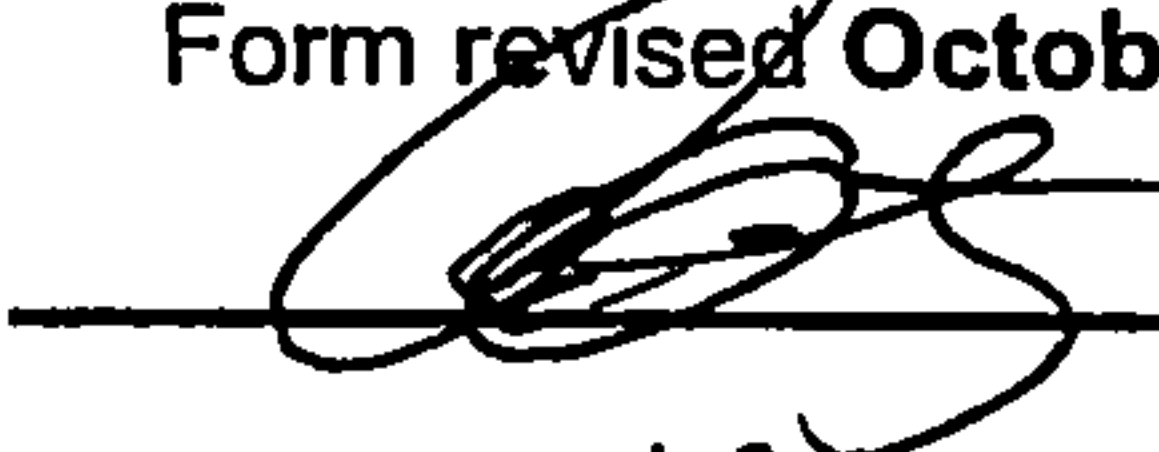
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

  
 Applicant name (print)  
 8-20-12  
 Applicant signature / date



- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
 12 - DRB - 70265

Form revised October 2007

  
 Planner signature / date  
 Project # 1008915



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

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- for Subdivision (Amendment)
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 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: \_\_\_\_\_  
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**CASE HISTORY:**

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2-98-8, DRB-98-97, Case tracking 1000596, 1008915

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? \_\_\_\_\_  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 12  
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 Check if project was previously reviewed by Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE David A Aube DATE 8-20-12  
 (Print Name) David A Aube Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
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<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	Total

Hearing date Aug. 29, 2012 Total \$20.00

8-21-12  
 Staff signature & Date

Project # 1008915



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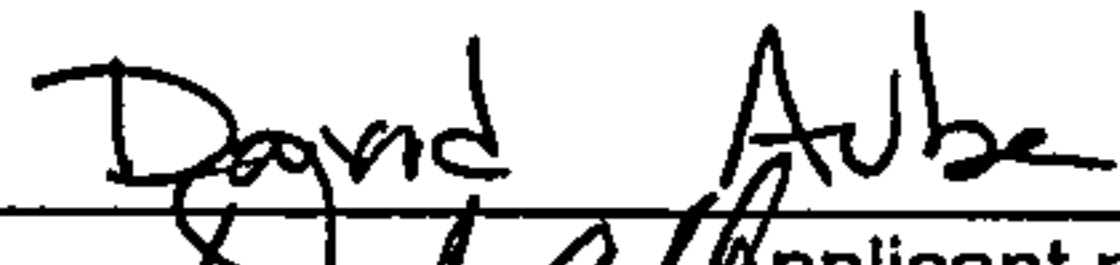

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  - Copy of the document delegating approval authority to the DRB
  - Completed Site Plan for Subdivision Checklist
  - Infrastructure List, if relevant to the site plan **NA**
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
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- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
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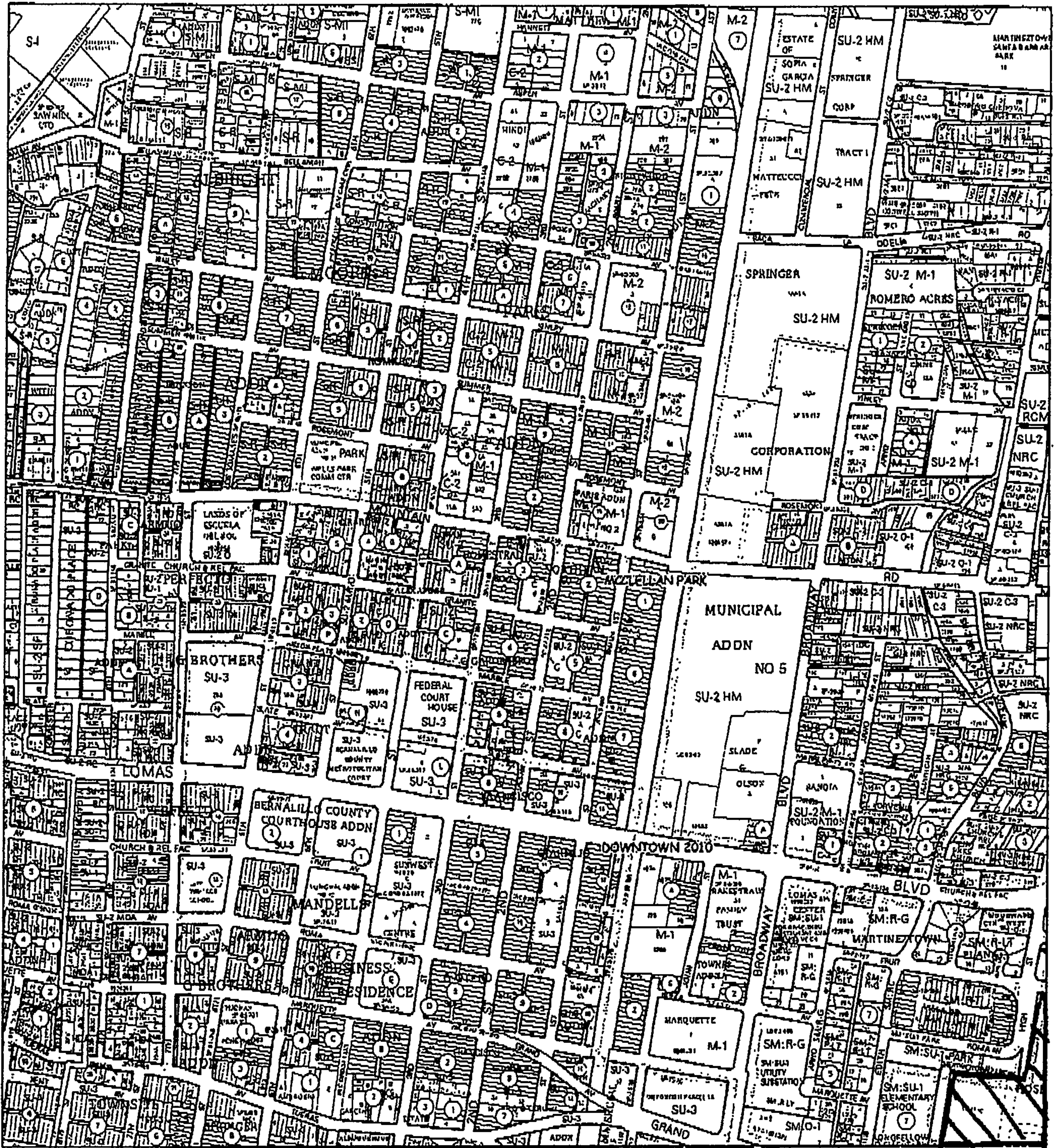
  
 Applicant name (print) \_\_\_\_\_  
 8-20-12  
 Applicant signature / date \_\_\_\_\_



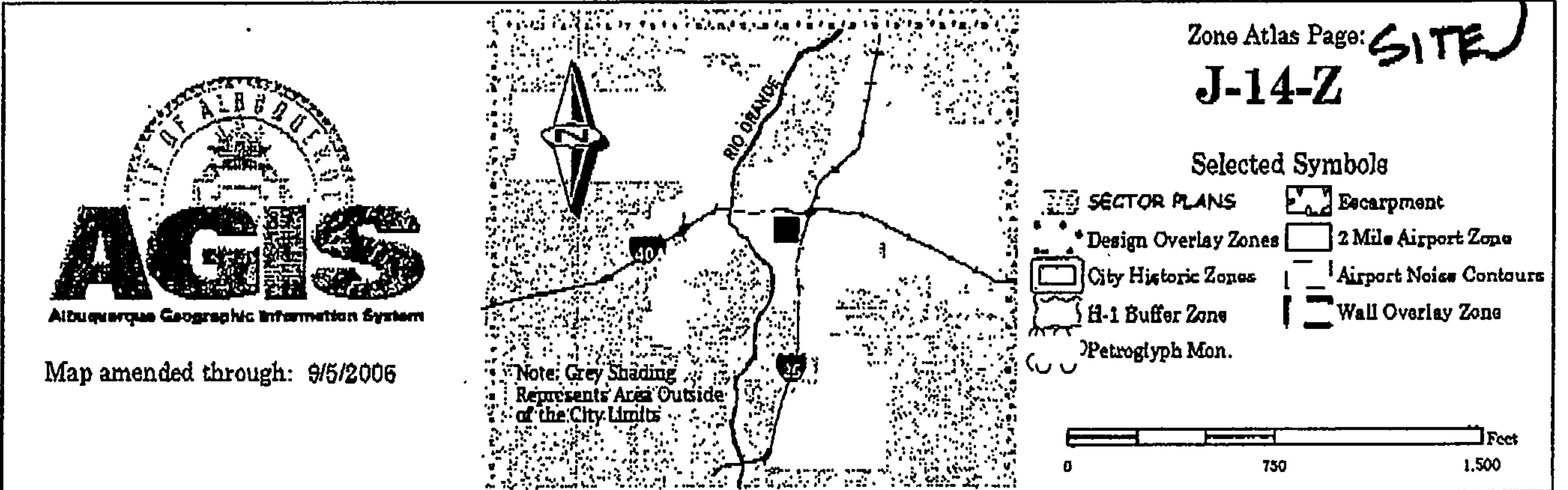
Form revised October 2007

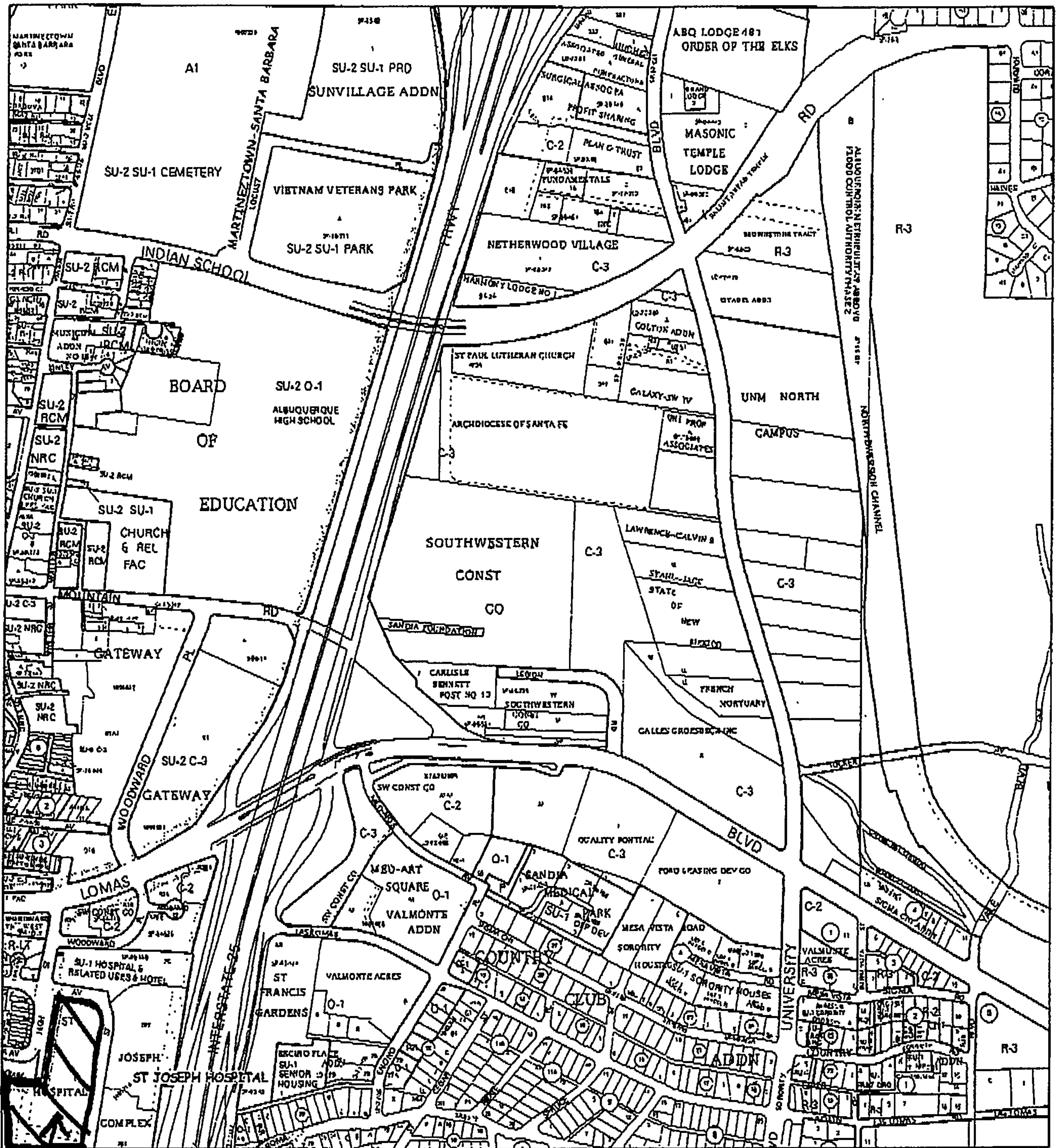
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| <input checked="" type="checkbox"/> Case #s assigned    | _____                    |
| <input checked="" type="checkbox"/> Related #s listed   | _____                    |

  
 Planner signature / date \_\_\_\_\_ 8-21-12  
 Project # 1008915

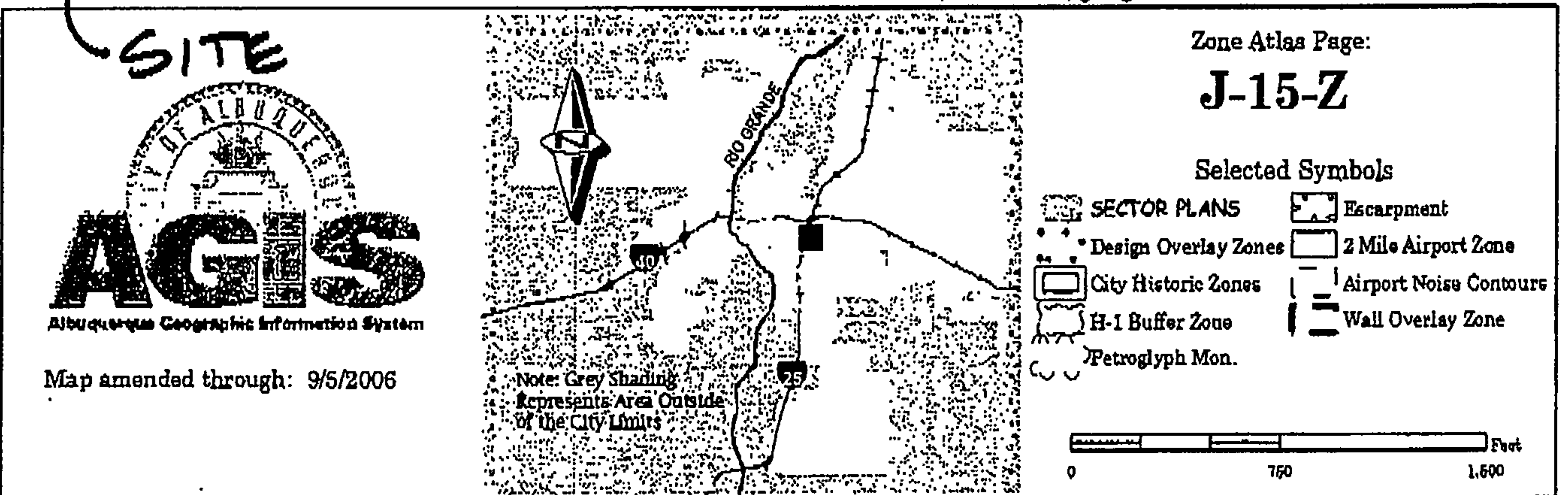


For more current information and more details visit: <http://www.cabq.gov/gis>





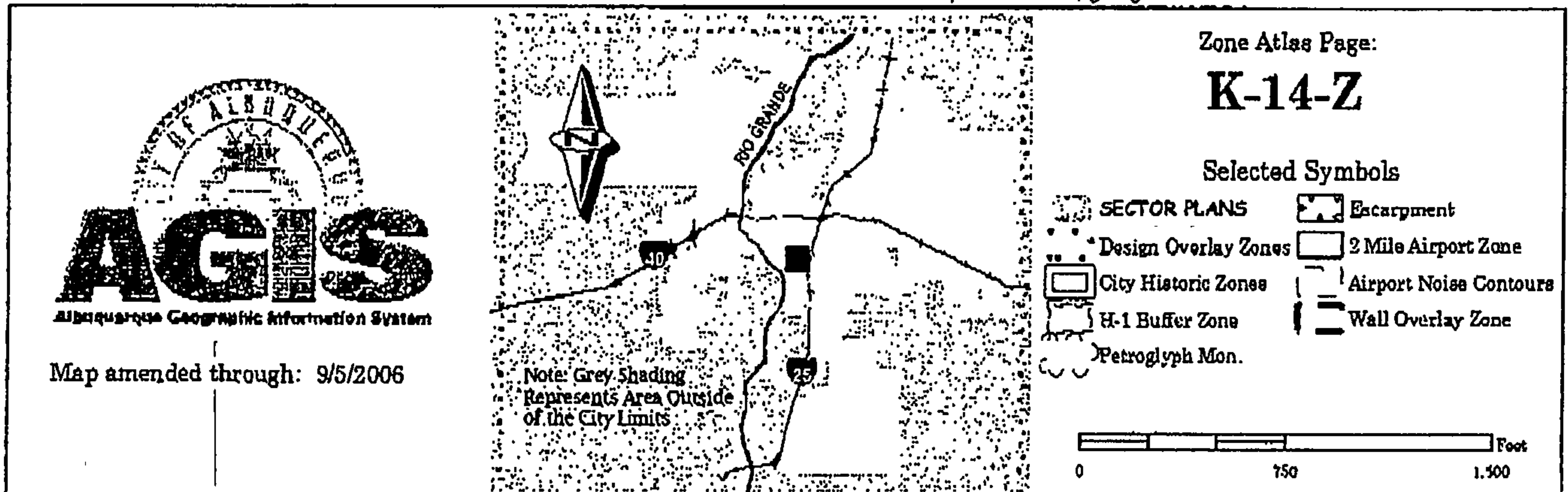
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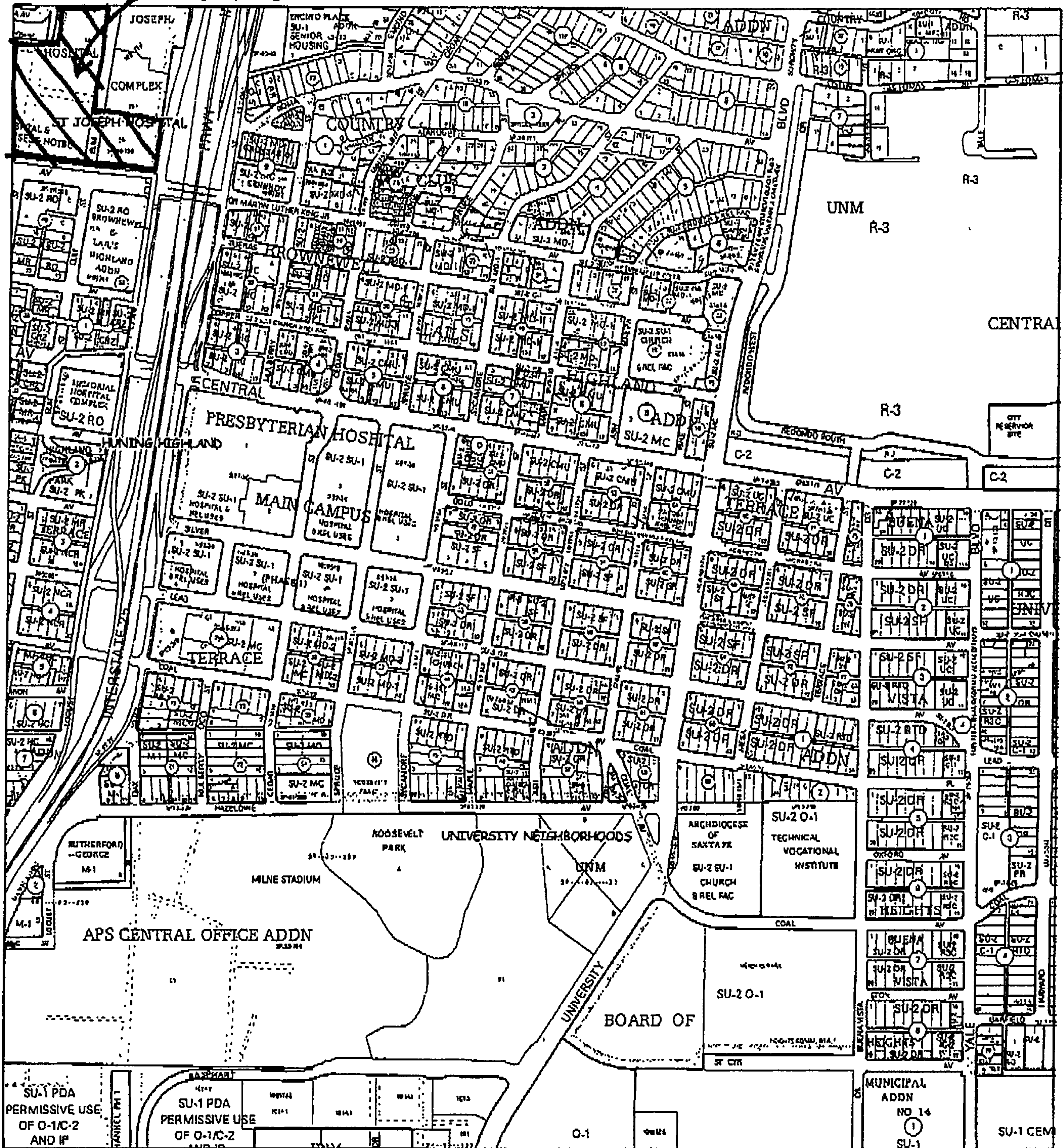
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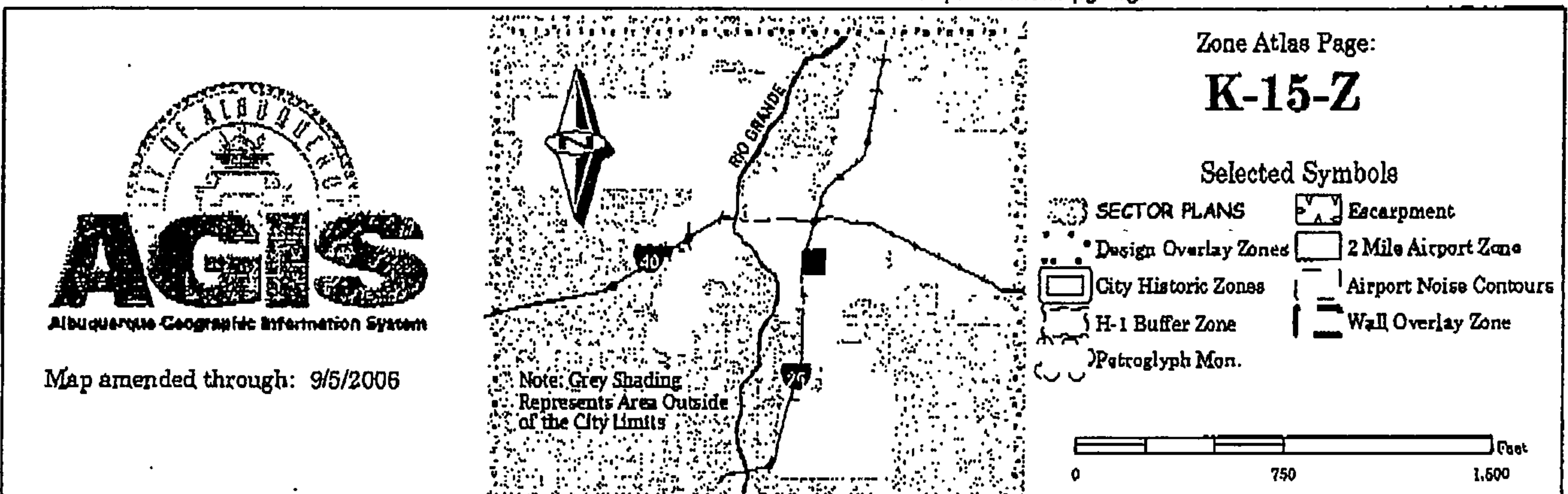
For more current information and more details visit: <http://www.cabq.gov/gis>



SITE



For more current information and more details visit: <http://www.cabq.gov/gis>



August 20, 2012

THE HARTMAN + MAJEWSKI  
**DESIGN GROUP**  
Architects • Engineers • Interior Design  
Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100  
Albuquerque New Mexico 87106  
T 505 242 6880 • F 505 242 6881



Mr. Jack Cloud, Chairman  
City of Albuquerque  
Development Review Board  
600 Second Street NW  
Albuquerque, New Mexico 87102

Re: **Lots 1A and 2A, St Joseph Hospital Complex**  
**Martin Luther King NE between Walter Street NE and I25 Frontage Road**  
Request for DRB Approval- Site Development Plan for Subdivision  
COA Project #1008915, 12EPC 40031

Dear Chairman Cloud:

On behalf of our client, the Greater Lovelace Medical Center (LMC), The Hartman + Majewski Design Group (DG) is writing to request Design Review Board (DRB) approval of a proposed Site Development Plan for Subdivision for Lots 1A and 2A if St Joseph Hospital Complex, located on Martin Luther King between Walter Street NE and the I25 Frontage Road.

The Environmental Planning Commission approved this application on July 12, 2012, with seven (7) conditions, which are included within this application. This letter contains responses outlining how each condition has been addressed, and required minor plan revisions to accommodate the conditions. Responses to conditions are as follows:

**CONDITION 1:**

This letter serves as the response to Condition 1.

**CONDITION 2:**

I met with our staff planner Randall Falkner in July, 2012 to review the application and conditions. I will also be meeting with him later this week to review the conditions a second time.

**CONDITION 3:**

Currently there is a perforated metal screen located above the operating rooms on the first floor roof. Lovelace had indicated at the facilitated meeting that this screen could be painted to better screen the mechanical units.

**CONDITION 4:**

As light fixtures become unserviceable the lights will be replaced with lights with shielding as required by the Night Sky Ordinance.

**CONDITION 5.a.:**

Where possible the proposed Landscaping will be consistent with the palette of the existing campus. Because this is a north side and shaded by the canopy many existing plants would not thrive. The proposed plan is a mix of existing plant species as well as new varieties that will perform well in the shaded conditions. We feel the proposed plan will provide a lush landscaping and meets the intent of matching where possible.

CONDITION 5.b.:

The mature plant sizes of the plans have been added to the landscaping plan.

CONDITION 5.c.:

We have added a detail for the entrance from Walter Street into the driveway of the campus. Coniferous trees will be added to help screen the valet drop off area and other vehicular activities from the neighborhood to the west.

CONDITION 6.a.:

Lovelace will evaluate the need for additional vehicular traffic signs from time to time to assist in guiding patients and visitors to the hospital campus.

CONDITION 6.b.:

Sign at MLK and Elm Street NE will be reduced to 8' tall sign face.

CONDITION 6.c.:

Discussions with the Heart Hospital and Kindred will take place to offer them the opportunity to display their business information on the proposed monument signs.

CONDITION 6.d.:

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CONDITION 6.e.:

This sign will be evaluated and relocated outside of the sight distance triangle or possible eliminated entirely.

CONDITION 7.a:

An ALTA survey with all these items identified has been included with the submittal.

CONDITION 7.b:

New monument signs will be located outside of COA and NMDOT ROW.

CONDITION 7.a:

We will work with Engineering Disciplines in preparation of construction documents. At this time the drop off area is all located outside the public ROW and is restricted to the dimensions shown due to the existing canopy above the drop off. Other building elements are beyond the standards in the DPM.

We respectfully request that the **Development Review Board** review and approve the requested application. Please do not hesitate to contact me at 505-998-6430 if you have any questions or require additional information.\

Sincerely,



David Aube, P.E.  
Civil Engineer, Principal

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



11/11/12

## OFFICIAL NOTIFICATION OF DECISION

July 12, 2012

Lovelace Healthcare Systems, Inc.  
601 Dr. Martin Luther King Jr. Ave.  
Albuquerque, NM 87102

**Project# 1008915**  
12EPC-40031 Amend Site Development Plan for  
Subdivision

### LEGAL DESCRIPTION:

for all or a portion of Lots 1A and 2A, St. Joseph  
Hospital Complex, located on Elm St., between  
Martin Luther King Jr. Ave. and Fruit Ave.,  
containing approximately 14 acres. (J-14 & 15, K-  
14 & 15)

Randall Falkner, Staff Planner

PO Box 1293

Albuquerque

NM 87103

On July 12, 2012, the Environmental Planning Commission voted to APPROVE Project #1008915 / 12EPC-40031, a request for an Amendment to the Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

### FINDINGS

[www.cabq.gov](http://www.cabq.gov)

1. The request is an amendment to the 1998 site development plan for subdivision for Lots 1A and 2A, St. Joseph Hospital Complex, a site of approximately 14 acres, located on Elm Street, between Dr. Martin Luther King Jr. Avenue and Fruit Avenue.
2. The request proposes to modify the site plan for subdivision as follows:  
replacing two pylon signs with two monument signs, adding stepped parapets on top of the main tower, adding mechanical screening (new stucco parapets) on the lower roof above the Emergency Department, adding a guard shack to the existing parking lot on the east side of Elm Street, north of Martin Luther King Avenue, and improving the main entrance of the main hospital by adding skylights into the existing roof, adding directional signage for the main hospital



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Project #1008915

July 12, 2012

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entrance, replacing the asphalt paving with more decorative parking, replacing the existing sidewalk, and refreshing the landscaping.

3. The subject site is zoned SU-1 for Hospital & Related Uses & Hotel.
4. The request falls within the parameters for administrative approval (AA) of an amendment to the site development plan for subdivision pursuant to Section 14-16-2-22(A)(6) in terms of not affecting building configuration, square footage or vehicular circulation. However, neighborhood representatives from the Citizens Information Committee of Martineztown (CICM) have indicated that they are aggrieved. Therefore, the request cannot be decided administratively, but must be forwarded to the Environmental Planning Commission (EPC), which will decide the case.
5. The request must comply with the "General Design Elements" in the "1998 Master Development Plan." Evaluating subsequent site development plans against the approved Master Development Plan is a standard procedure for SU-1 zone sites.
6. The site is located within boundaries of the Central Urban Area of the Comprehensive Plan and the St. Joseph Hospital/Civic Auditorium Area Sector Development Plan (SJHCASDP).
7. The Albuquerque/Bernalillo County Comprehensive Plan, the St. Joseph Hospital/Civic Auditorium Area Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
8. The request furthers or partially furthers the following Policies in the Comprehensive Plan:
  - a. Established Urban Area Policy II.B.5d – The request generally respects existing neighborhood values. The site and building enhancements would improve the subject site and the neighborhood by enhancing the appearance of the main hospital.
  - b. Established Urban Area Policy II.B.5i – The request for site and building enhancements would generally complement residential areas and would be sited to minimize effects of noise, lighting, pollution, and traffic on residential environments.

- c. Established Urban Area Policy II.B.5k – The request for site and building enhancements would not have a significant effect on traffic circulation around the subject site. The proposed directional signage would help to guide those driving to the hospital and find the main hospital entrance, and may prevent traffic from wandering into nearby residential neighborhoods.
  - d. Established Urban Area Policy II.B.5l – The request for site and building enhancements is a quality design and is appropriate to the Plan area. The parapets will help to shield roof-top equipment from the public. The proposed signage will be moved back approximately 10 feet from the original location of the existing signs, in order to maintain the clear site triangle. Improvements to lighting, landscaping, signage, and the driving surface of the main hospital entrance will enhance the site.
  - e. Established Urban Area Policy II.B.5m – The request will help to screen roof-top equipment from the view of the neighborhoods and the public, which will maintain and enhance unique vistas and improve the quality of the visual environment. The proposed signage has been moved back from where the existing signs are located so that they are not in the clear site triangle.
  - f. Developed Landscape Policy II.C.8d – The request will add vegetation which will help to control water erosion and dust and create a pleasing visual environment.
  - g. Community Identity and Urban Design Policy II.C.9b – The request will improve views throughout the neighborhood and the general area by adding parapets that will help screen roof-top equipment. The main entrance to the hospital will be improved by adding decorative paving, landscaping, and skylights. Signage will be moved back from the existing location to maintain the clear site triangle.
  - h. Water Management Policy II.D.2a – The request adds vegetation which discourages wasteful water use on the site.
9. The request furthers Plan Objective A of the St. Joseph Hospital/Civic Auditorium Area Sector Development Plan (SJHCASDP). The request for site and building enhancements would help to provide for the growth and development needs of the Hospital as a major City institution. The medical center campus has more or less developed according to what was identified in the Plan several years ago.

10. The request is generally in compliance with the General Design Elements of the 1998 Master Development Plan (Site Development Plan for Subdivision).
11. The following Neighborhood and/or Homeowner Associations and Coalitions were notified as required: Broadway Central Corridors Partnership, Inc., Citizen's Information Committee of Martineztown, Huning Highland Historic District Assoc., Santa Barbara-Martineztown Assoc., Silver Hill N.A., Spruce Park N.A., Sycamore N.A., University Heights N.A., Victory Hills N.A., and the Federation of University Neighborhoods.
12. A facilitated meeting was held on June 27, 2012. Neighborhood concerns include the following: illumination from the proposed "Main Hospital Entrance" sign, illumination from existing hospital windows and pole lights, scale of proposed monument signs along Martin Luther King Avenue, lack of complete signage to provide way-finding throughout the hospital campus, existing mechanical units still visible through the existing mechanical screening, proposed tower monument on top of hospital would still not cover up all existing rooftop equipment, existing guard shack needs to be beautified, more landscaping (especially evergreens) needed throughout the site and especially to shield the main hospital entrance, lack of signalization at Lomas and High St., lack of shielding for oxygen tanks and mobile CT scanner, notification, landscaping that replaced turf (gravel mulch) is an ugly gray around Kindred Hospital and should contain colorful plants, lack of landscaping (or dying landscaping) along the western slope along High Street west of Kindred Hospital, vehicular traffic parking in local neighborhoods, and the mobile scanner that is parked close to Martin Luther King Avenue.
13. Enforcement of any outstanding Conditions of Approval from previous cases on the subject site is the responsibility of the Code Enforcement Division of the Planning Department. To the extent that the issues raised in previous Conditions intersect with the current request, the EPC can address them through new Conditions of Approval.

## CONDITIONS

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying

all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall improve the existing mechanical screening at the main hospital by painting the screening a color that will better shield the existing mechanical units.
4. When existing light fixtures on the hospital campus become unrepairable they shall be replaced with shielded lights compliant with the Night Sky Ordinance.
5. Landscaping:
  - a. To the extent possible, the proposed landscaping (which will be shaded the majority of the time) under the main entrance canopy, shall be consistent with the existing landscaping throughout the hospital campus. If plants do not comply with the existing landscaping throughout the hospital campus, then it shall comply with the recommended City of Albuquerque planting list.
  - b. The mature size of the landscaping needs to be shown on the landscape plan.
  - c. Additional landscaping (preferably evergreen trees or shrubs) shall be placed in strategic locations along Walter Street in order to help shield the proposed "main hospital entrance" way-finding signage from the neighborhood to the west.
6. Signage:
  - a. Additional way-finding signage shall be added where necessary in order to prevent vehicular traffic from straying into the neighborhood and to guide vehicles and pedestrians within the hospital campus.
  - b. The monument sign on sign detail #2 (further west on Dr. Martin Luther King Jr.) shall be reduced to 8 feet in height and 6 feet in width.
  - c. The Heart Institute and Kindred Hospital will be given the opportunity to incorporate business names onto the proposed monument signs.

OFFICIAL NOTICE OF DECISION

Project #1008915

July 12, 2012

Page 6 of 8

- d. Incorporate a dimmer switch to limit the wattage of the "main hospital entrance" way-finding sign to 1 watt per square foot.
  - e. With regard to the existing monument sign at the northeast corner of Martin Luther King Jr. Avenue & Walter Street, the copy of the sign shall be changed as to not encourage patient traffic to be directed onto Walter Street.
7. Conditions of approval from City Engineer, Municipal Development, Water Authority and NMDOT:
- a. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site.
  - b. Proposed monument sign will need to be placed outside of COA ROW (includes air space) within private property.
  - c. Site plan shall comply and be designed per current DPM standards/requirements.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **JULY 27, 2012** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF

APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER

OFFICIAL NOTICE **DECISION**

Project #1008915

July 12, 2012

Page 7 of 8

APPROVAL OF THE REFERENCED APPLICATION(S).

**ZONE MAP AMENDMENTS:** Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

**SITE DEVELOPMENT PLANS:** Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

**DEFERRAL FEES:** Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



Suzanne Lubar  
Acting Planning Director

---

DS/RF/mc

cc: David Aube, The Design Group, 120 Vassar SE, Albuquerque, NM 87106  
Lovelace Healthcare Systems, Inc., 601 Dr. Martin Luther King Jr. Ave., Albuquerque, NM 87102  
Randi McGinn, 201 Broadway SE, Albuquerque, NM 87102  
Rob Dickson, 401 Central NE, Suite D, Albuquerque, NM 87102  
Jess R. Martinez, 501 Edith NE, Albuquerque, NM 87102  
Frank H. Martinez, 501 Edith NE, Albuquerque, NM 87102  
Amberley Pyles, 306 Edith Ave. SE, Albuquerque, NM 87102  
Ann L. Carson, 416 Walter SE, Albuquerque, NM 87102  
Chal-Marie Lucero, 420 Hannett NE, Albuquerque, NM 87102  
Christina Chavez Apodaca, 517 Marble NE, Albuquerque, NM 87102  
Gordon Reiselt, 1515 Silver SE, Albuquerque, NM 87106  
Elizabeth Doak, 1606 Silver SE, Albuquerque, NM 87106

August 20, 2012

THE HARTMAN + MAJEWSKI  
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Planners • Urban Designers • LEED®



120 Vassar Drive SE Suite 100  
Albuquerque New Mexico 87106  
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Mr. Jack Cloud, Chairman  
City of Albuquerque  
Development Review Board  
600 Second Street NW  
Albuquerque, New Mexico 87102

Re: **Lots 1A and 2A, St Joseph Hospital Complex**  
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Request for DRB Approval- Site Development Plan for Subdivision  
COA Project #1008915, 12EPC 40031

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Sincerely,



David Aube, P.E.

Civil Engineer, Principal

P:\2439\_GAhousingbroadway&idianschool\C2\_Agency\DRB Justification Ltr\_2012-07-10.doc



# CITY OF ALBUQUERQUE

**PLANNING DEPARTMENT**  
**URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

July 12, 2012

Lovelace Healthcare Systems, Inc.  
601 Dr. Martin Luther King Jr. Ave.  
Albuquerque, NM 87102

**Project# 1008915**  
12EPC-40031 Amend Site Development Plan for  
Subdivision

### LEGAL DESCRIPTION:

for all or a portion of Lots 1A and 2A, St. Joseph Hospital Complex, located on Elm St., between Martin Luther King Jr. Ave. and Fruit Ave., containing approximately 14 acres. (J-14 & 15, K-14 & 15)

Randall Falkner, Staff Planner

PO Box 1293

Albuquerque

NM 87103

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### FINDINGS

[www.cabq.gov](http://www.cabq.gov)

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OFFICIAL NOTICE OF DECISION

Project #1008915

July 12, 2012

Page 2 of 8

entrance, replacing the asphalt paving with more decorative parking, replacing the existing sidewalk, and refreshing the landscaping.

3. The subject site is zoned SU-1 for Hospital & Related Uses & Hotel.
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9. The request furthers Plan Objective A of the St. Joseph Hospital/Civic Auditorium Area Sector Development Plan (SJHCASDP). The request for site and building enhancements would help to provide for the growth and development needs of the Hospital as a major City institution. The medical center campus has more or less developed according to what was identified in the Plan several years ago.

10. The request is generally in compliance with the General Design Elements of the 1998 Master Development Plan (Site Development Plan for Subdivision).
11. The following Neighborhood and/or Homeowner Associations and Coalitions were notified as required: Broadway Central Corridors Partnership, Inc., Citizen's Information Committee of Martineztown, Huning Highland Historic District Assoc., Santa Barbara-Martineztown Assoc., Silver Hill N.A., Spruce Park N.A., Sycamore N.A., University Heights N.A., Victory Hills N.A., and the Federation of University Neighborhoods.
12. A facilitated meeting was held on June 27, 2012. Neighborhood concerns include the following: illumination from the proposed "Main Hospital Entrance" sign, illumination from existing hospital windows and pole lights, scale of proposed monument signs along Martin Luther King Avenue, lack of complete signage to provide way-finding throughout the hospital campus, existing mechanical units still visible through the existing mechanical screening, proposed tower monument on top of hospital would still not cover up all existing rooftop equipment, existing guard shack needs to be beautified, more landscaping (especially evergreens) needed throughout the site and especially to shield the main hospital entrance, lack of signalization at Lomas and High St., lack of shielding for oxygen tanks and mobile CT scanner, notification, landscaping that replaced turf (gravel mulch) is an ugly gray around Kindred Hospital and should contain colorful plants, lack of landscaping (or dying landscaping) along the western slope along High Street west of Kindred Hospital, vehicular traffic parking in local neighborhoods, and the mobile scanner that is parked close to Martin Luther King Avenue.
13. Enforcement of any outstanding Conditions of Approval from previous cases on the subject site is the responsibility of the Code Enforcement Division of the Planning Department. To the extent that the issues raised in previous Conditions intersect with the current request, the EPC can address them through new Conditions of Approval.

## CONDITIONS

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying

- all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
  3. The applicant shall improve the existing mechanical screening at the main hospital by painting the screening a color that will better shield the existing mechanical units.
  4. When existing light fixtures on the hospital campus become unrepairable they shall be replaced with shielded lights compliant with the Night Sky Ordinance.
  5. Landscaping:
    - a. To the extent possible, the proposed landscaping (which will be shaded the majority of the time) under the main entrance canopy, shall be consistent with the existing landscaping throughout the hospital campus. If plants do not comply with the existing landscaping throughout the hospital campus, then it shall comply with the recommended City of Albuquerque planting list.
    - b. The mature size of the landscaping needs to be shown on the landscape plan.
    - c. Additional landscaping (preferably evergreen trees or shrubs) shall be placed in strategic locations along Walter Street in order to help shield the proposed "main hospital entrance" way-finding signage from the neighborhood to the west.
  6. Signage:
    - a. Additional way-finding signage shall be added where necessary in order to prevent vehicular traffic from straying into the neighborhood and to guide vehicles and pedestrians within the hospital campus.
    - b. The monument sign on sign detail #2 (further west on Dr. Martin Luther King Jr.) shall be reduced to 8 feet in height and 6 feet in width.
    - c. The Heart Institute and Kindred Hospital will be given the opportunity to incorporate business names onto the proposed monument signs.

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- d. Incorporate a dimmer switch to limit the wattage of the "main hospital entrance" way-finding sign to 1 watt per square foot.
  - e. With regard to the existing monument sign at the northeast corner of Martin Luther King Jr. Avenue & Walter Street, the copy of the sign shall be changed as to not encourage patient traffic to be directed onto Walter Street.
7. Conditions of approval from City Engineer, Municipal Development, Water Authority and NMDOT:
- a. Provide/label/detail all dimensions, classifications and proposed infrastructure for Site.
  - b. Proposed monument sign will need to be placed outside of COA ROW (includes air space) within private property.
  - c. Site plan shall comply and be designed per current DPM standards/requirements.

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JULY 27, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.**

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

**YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF**

**APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER**

OFFICIAL NOTICE OF DECISION

Project #1008915

July 12, 2012

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APPROVAL OF THE REFERENCED APPLICATION(S).

**ZONE MAP AMENDMENTS:** Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

**SITE DEVELOPMENT PLANS:** Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

**DEFERRAL FEES:** Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



Suzanne Lubar  
Acting Planning Director

DS/RF/mc

cc: David Aube, The Design Group, 120 Vassar SE, Albuquerque, NM 87106  
Lovelace Healthcare Systems, Inc., 601 Dr. Martin Luther King Jr. Ave., Albuquerque, NM 87102  
Randi McGinn, 201 Broadway SE, Albuquerque, NM 87102  
Rob Dickson, 401 Central NE, Suite D, Albuquerque, NM 87102  
Jess R. Martinez, 501 Edith NE, Albuquerque, NM 87102  
Frank H. Martinez, 501 Edith NE, Albuquerque, NM 87102  
Amberley Pyles, 306 Edith Ave. SE, Albuquerque, NM 87102  
Ann L. Carson, 416 Walter SE, Albuquerque, NM 87102  
Chal-Marie Lucero, 420 Hannett NE, Albuquerque, NM 87102  
Christina Chavez Apodaca, 517 Marble NE, Albuquerque, NM 87102  
Gordon Reiselt, 1515 Silver SE, Albuquerque, NM 87106  
Elizabeth Doak, 1606 Silver SE, Albuquerque, NM 87106

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Valerie J. St. John, 441 Ash St. NE, Albuquerque, NM 87106  
Robert Westfall, 1329 Sigma Chi NE, Albuquerque, NM 87106  
Peter Schillke, 1217 Coal Ave., Albuquerque, NM 87106  
Mardon Gardella, 411 Maple St., Albuquerque, NM 87106  
Greg Gould, 208 Columbia SE #12, Albuquerque, NM 87106  
Don Hancock, 105 Stanford SE, Albuquerque, NM 87106  
Raymond M. Ortiz, 1809 Princeton Dr., Albuquerque, NM 87106  
Patty Wilson, 505 Dartmouth SE, Albuquerque, NM 87106  
Laurel Schillke, 1217 Coal Ave. SE, Albuquerque, NM 87106  
Kristi Houde, 617 Edith NE #8, Albuquerque, NM 87102  
Sergio Viscoli, 700 Don Cipriano Ct NE, Albuquerque, NM 87102  
Lorenzo Espinoza, 616 Arno NE, Albuquerque, NM 87102



# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. ~~Conceptual Utility Plan~~ (required) (N/A)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended) N/A

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN For Subdivision" as outlined in the Zoning Code (§ 14-16-1-5). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

## **SHEET # 1 – SITE PLAN** (Required)

1. Scale: at least 1" = 100'
2. Bar Scale
3. North Arrow
4. Scaled Vicinity Map
5. The Site (property lines)
6. Proposed Use(s) and List of Applicable Plans
7. Pedestrian Ingress and Egress (Access)
8. Vehicular Ingress and Egress (Access)
9. Any Internal Circulation Requirements
10. For each lot:
  - a. Maximum Building Height 1
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or N/A
  - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

## **Accompanying Material**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions

# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

## DESIGN STANDARDS FOR FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT (Optional but STRONGLY recommended)

**Note:** If applicant is requesting delegation of future phases of development or future site development plans for building permit to the DRB or other approval body, design standards should be provided to guide future development. The design standards should address the following elements of design at a minimum. The Design Standards should be written so that they can be enforced by the DRB and/or Code Enforcement plan check.

### **Site Design**

- Overall layout of site and buildings, relationship to adjacent sites
- Building placement, orientation, setbacks, and heights
- Pedestrian and vehicular connectivity (internal and external)
- Parking location and design (shared parking/cross parking is strongly encouraged)
- Public outdoor spaces including pedestrian amenities, shading, etc.
- Dumpster and service area locations and screening techniques
- Location, height, design and purpose of all walls and wall openings
- Location, height, design and purpose of all lighting
- Topographic challenges/opportunities
- Screening/buffering techniques
- Sustainable techniques such as permeable paving and other “green” features

### **Street Realm**

- Transit, bicycle, pedestrian amenities
- Landscape buffers, sidewalks and other amenities in the public r-o-w
- Street trees – location and type of trees

### **Landscaping**

- Overall landscape theme including plant palette and general location, height, and purpose of plants and trees
- Water conservation techniques

### **Building Design**

- Context
- Architectural theme or style
- Building height, scale, massing, materials, colors, and articulation

### **Signage**

- Standards for wall-mounted and monument signs: location of signs; max. number of signs for entire site; max. height and face area of signs; and signage materials and lighting.

DR-98-97

CASE NUMBER: Z-98-9

The plan is submitted with the needed and unneeded form approval for the International Planning Commission (IPC) and that the findings and conditions in the Official Map of the City of Albuquerque are followed.

**SITE DEVELOPMENT PLAN**  
 Prepared by: *Robert J. Davis* Date: 7-21-98  
 Checked by: *Robert J. Davis* Date: 5-10-98  
 Approved by: *Robert J. Davis* Date: 5-10-98  
 Approved by: *Robert J. Davis* Date: 7-22-98

APPROVAL AND CONDITIONAL ACCEPTANCE as required by the International Planning Commission  
 Approved by: *Kevin L. Davis* Date: 11/1/98  
 City Engineer, International Planning Commission  
 PLATE (SECTION) 4/98 *Rel. 2.1* 7.31.98

**PROPOSED FLOOR AREA RATIOS BY TRACT**

TRACT 1A	TRACED SQUARE FOOTAGE	32,824 SF
TRACED SQUARE FOOTAGE	TRACED SQUARE FOOTAGE	32,824 SF
F.A.R.	F.A.R.	1.07
TRACT 2A	TRACED SQUARE FOOTAGE	8 SF
TRACED SQUARE FOOTAGE	TRACED SQUARE FOOTAGE	7,240 SF
F.A.R.	F.A.R.	0
TRACT 2B	TRACED SQUARE FOOTAGE	19,030 SF
TRACED SQUARE FOOTAGE	TRACED SQUARE FOOTAGE	21,500 SF
F.A.R.	F.A.R.	.90
TRACT 2C	TRACED SQUARE FOOTAGE	14,890 SF
TRACED SQUARE FOOTAGE	TRACED SQUARE FOOTAGE	14,382 SF
F.A.R.	F.A.R.	.94

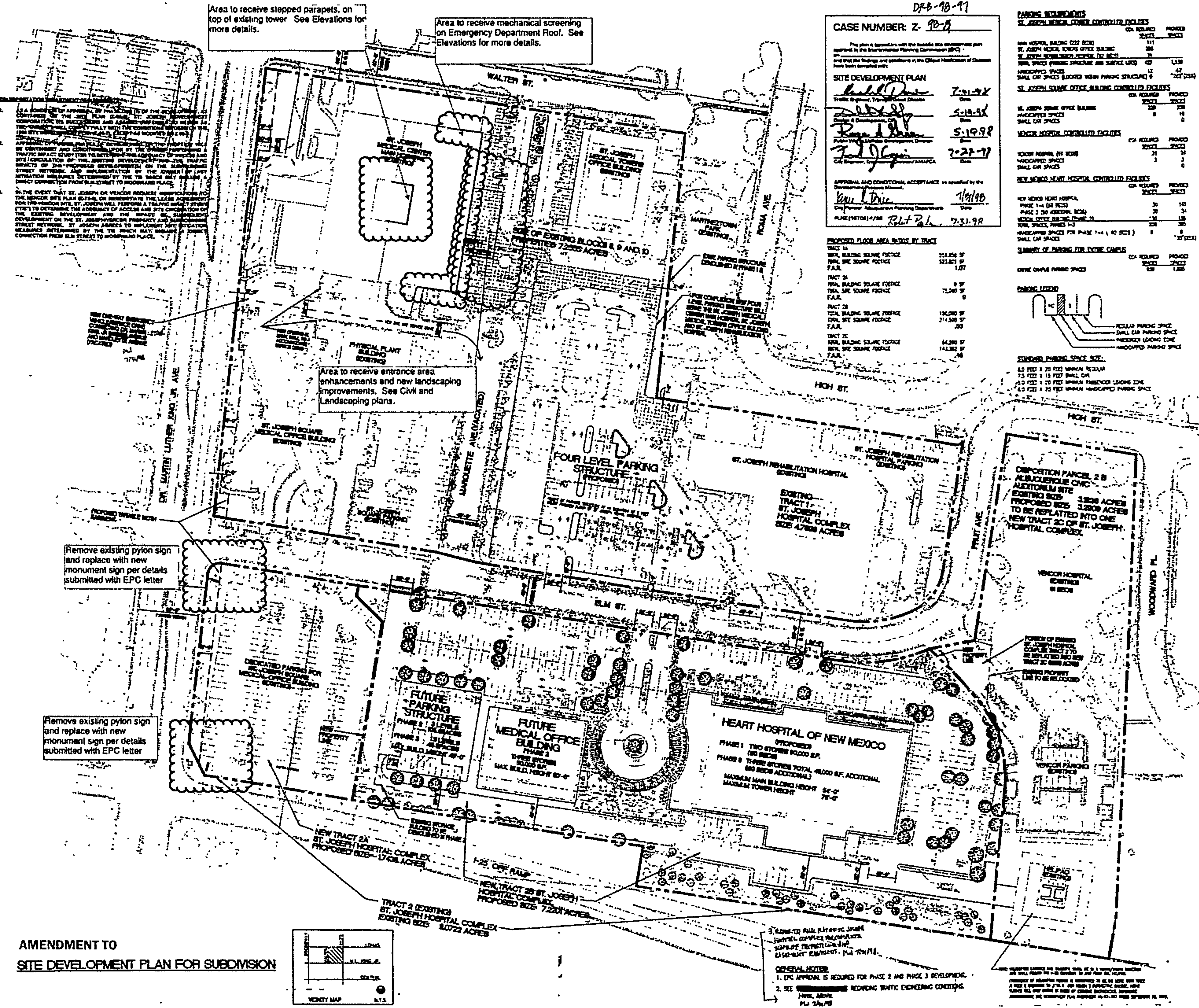
**PARKING REQUIREMENTS**

ST. JOSEPH MEDICAL CENTER CONTROLLED FACILITIES	CA REQUIRED	PROVIDED
MIN HOSPITAL BUILDING (222 BDR)	111	111
ST. JOSEPH MEDICAL OFFICE BUILDING	38	38
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31
ST. JOSEPH MEDICAL OFFICE BUILDING (22 BDR)	31	31
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31
ST. JOSEPH MEDICAL OFFICE BUILDING (22 BDR)	31	31
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31
ST. JOSEPH MEDICAL OFFICE BUILDING (22 BDR)	31	31
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31
ST. JOSEPH MEDICAL OFFICE BUILDING (22 BDR)	31	31
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31

**GENERAL INFORMATION**

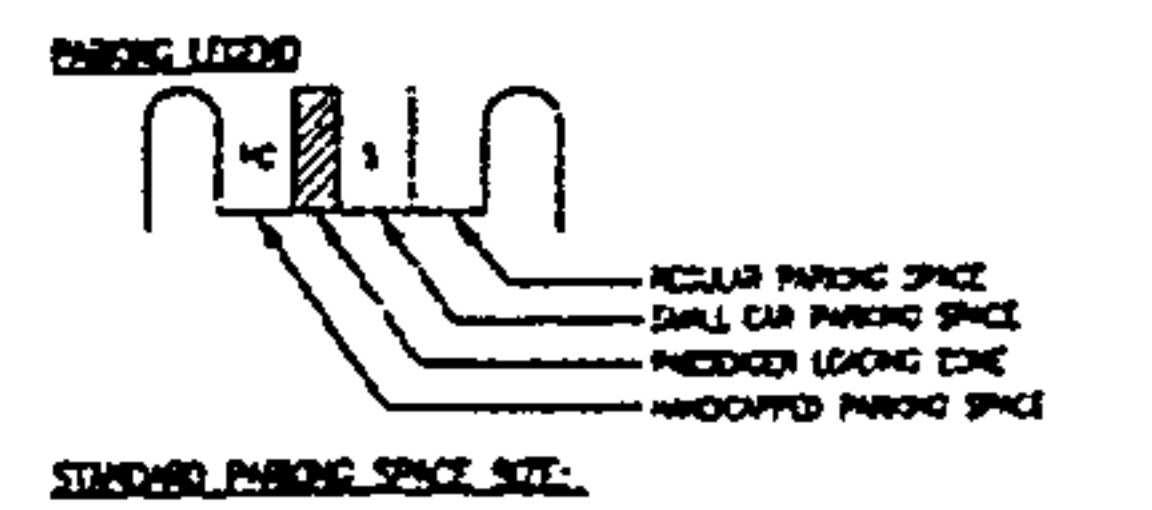
**FLOOR AREA RATIOS BY LAND USE**

ST. JOSEPH MEDICAL CENTER CONTROLLED FACILITIES	CA REQUIRED	PROVIDED
MIN HOSPITAL BUILDING (222 BDR)	111	111
ST. JOSEPH MEDICAL OFFICE BUILDING	38	38
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31
ST. JOSEPH MEDICAL OFFICE BUILDING (22 BDR)	31	31
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31
ST. JOSEPH MEDICAL OFFICE BUILDING (22 BDR)	31	31
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ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31
ST. JOSEPH MEDICAL OFFICE BUILDING (22 BDR)	31	31
ST. JOSEPH REHABILITATION HOSPITAL (22 BDR)	31	31



**STANDARD PARKING SPACE SIZES**

8.5 FEET X 20 FEET MINIMUM REQUIRED  
 7.5 FEET X 15 FEET SMALL CAR  
 10.5 FEET X 20 FEET MINIMUM PARKING SPACING DIMENSION  
 8.0 FEET X 20 FEET MINIMUM HANDICAPPED PARKING SPACE



**DISPOSITION PARCEL 2 B ALBUQUERQUE CIVIC CENTER ALM SITE**

EXISTING TRACT 2B 3.2809 ACRES  
 PROPOSED TRACT 2B 3.2809 ACRES  
 TO BE REPLATTED INTO ONE NEW TRACT 2C OF ST. JOSEPH HOSPITAL COMPLEX

**GENERAL DESIGN ELEMENTS**

**LANDSCAPING**  
 ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE LANDSCAPING CODE. THE CITY OF ALBUQUERQUE LANDSCAPING CODE IS A SUPPLEMENT TO THE CITY OF ALBUQUERQUE LANDSCAPING CODE AND SHALL BE CONSIDERED AS PART OF THE CITY OF ALBUQUERQUE LANDSCAPING CODE.

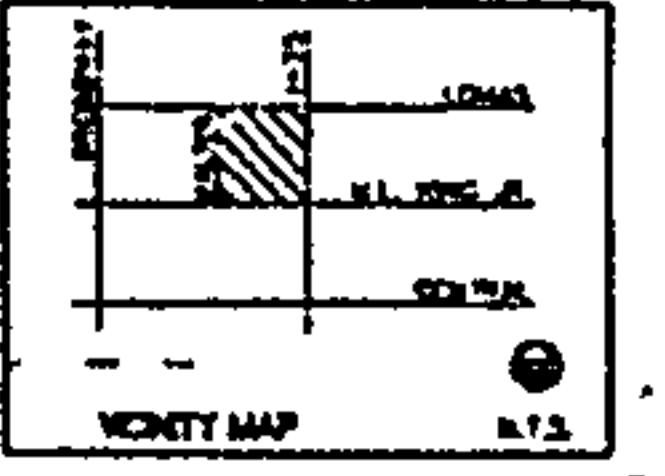
**LOADING**  
 ALL LOADING SHALL BE CONSIDERED WITH THE TYPE, QUANTITY, AND WEIGHT OF THE GOODS TO BE LOADED. THE CITY OF ALBUQUERQUE LANDSCAPING CODE IS A SUPPLEMENT TO THE CITY OF ALBUQUERQUE LANDSCAPING CODE AND SHALL BE CONSIDERED AS PART OF THE CITY OF ALBUQUERQUE LANDSCAPING CODE.

**PEDESTRIAN ACCESS**  
 ALL PEDESTRIAN ACCESS SHALL BE CONSIDERED WITH THE TYPE, QUANTITY, AND WEIGHT OF THE GOODS TO BE LOADED. THE CITY OF ALBUQUERQUE LANDSCAPING CODE IS A SUPPLEMENT TO THE CITY OF ALBUQUERQUE LANDSCAPING CODE AND SHALL BE CONSIDERED AS PART OF THE CITY OF ALBUQUERQUE LANDSCAPING CODE.

**SIGNALS**  
 ALL SIGNALS SHALL BE CONSIDERED WITH THE TYPE, QUANTITY, AND WEIGHT OF THE GOODS TO BE LOADED. THE CITY OF ALBUQUERQUE LANDSCAPING CODE IS A SUPPLEMENT TO THE CITY OF ALBUQUERQUE LANDSCAPING CODE AND SHALL BE CONSIDERED AS PART OF THE CITY OF ALBUQUERQUE LANDSCAPING CODE.

**BUILDING CHANGES**  
 ALL BUILDING CHANGES SHALL BE CONSIDERED WITH THE TYPE, QUANTITY, AND WEIGHT OF THE GOODS TO BE LOADED. THE CITY OF ALBUQUERQUE LANDSCAPING CODE IS A SUPPLEMENT TO THE CITY OF ALBUQUERQUE LANDSCAPING CODE AND SHALL BE CONSIDERED AS PART OF THE CITY OF ALBUQUERQUE LANDSCAPING CODE.

AMENDMENT TO  
 SITE DEVELOPMENT PLAN FOR SUBDIVISION



**GENERAL NOTES**

1. EPC APPROVAL IS REQUIRED FOR PHASE 2 AND PHASE 3 DEVELOPMENT.
2. SEE INTERNATIONAL PLANNING COMMISSION TRAFFIC ENGINEERING CONDITIONS.

DATE: 11/1/98  
 PLAN: 2/4/98

REC NO: Z-98-9  
 DRP NO: DRP-98-97  
 11/19/98 DRP APPROVAL SET FOR REC #

REVISION	DATE	DESCRIPTION
1	11-17-98	REVISED
2	11-17-98	REVISED
3	11-17-98	REVISED
4	11-17-98	REVISED
5	11-17-98	REVISED
6	11-17-98	REVISED
7	11-17-98	REVISED
8	11-17-98	REVISED
9	11-17-98	REVISED
10	11-17-98	REVISED
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14	11-17-98	REVISED
15	11-17-98	REVISED
16	11-17-98	REVISED
17	11-17-98	REVISED
18	11-17-98	REVISED
19	11-17-98	REVISED
20	11-17-98	REVISED

**FMSM**  
 ST. JOSEPH MEDICAL CENTER SITE DEVELOPMENT PLAN AMENDMENT  
 ALBUQUERQUE, NM



DESIGN GROUP  
Architects • Engineers • Interior Design  
Planners • Landscape Designers • E.I.T.S.

120 JONES DR. 4th FL. SUITE 100  
ALBUQUERQUE, NEW MEX. 87102  
505.247.8980 • F 505.242.4317

CONSULTANT

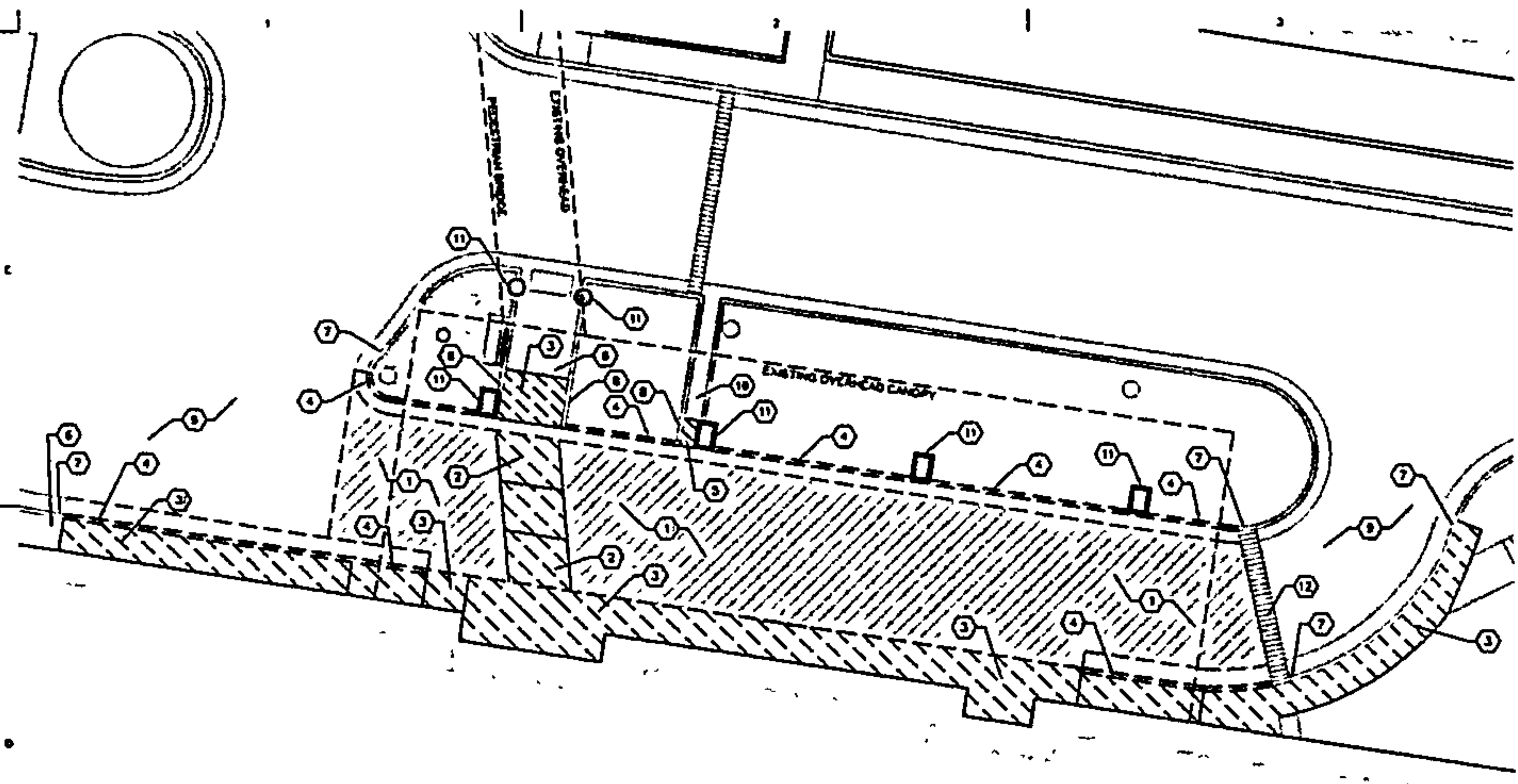
STAMP



PROJECT NAME  
**LOVELACE MEDICAL  
TOWER EXTERIOR  
RENOVATION**

801 MARTIN LUTHER KING AVE NE  
ALBUQUERQUE, NM 87102

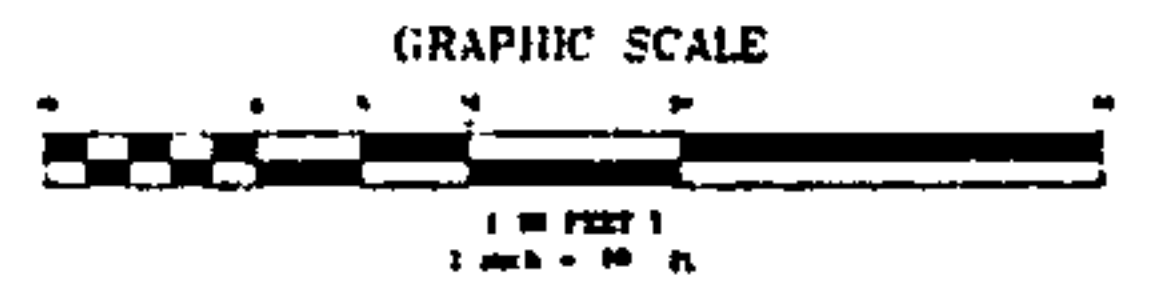
LOVELACE HEALTH  
SYSTEMS INC



**DEMOLITION PLAN KEYED NOTES**

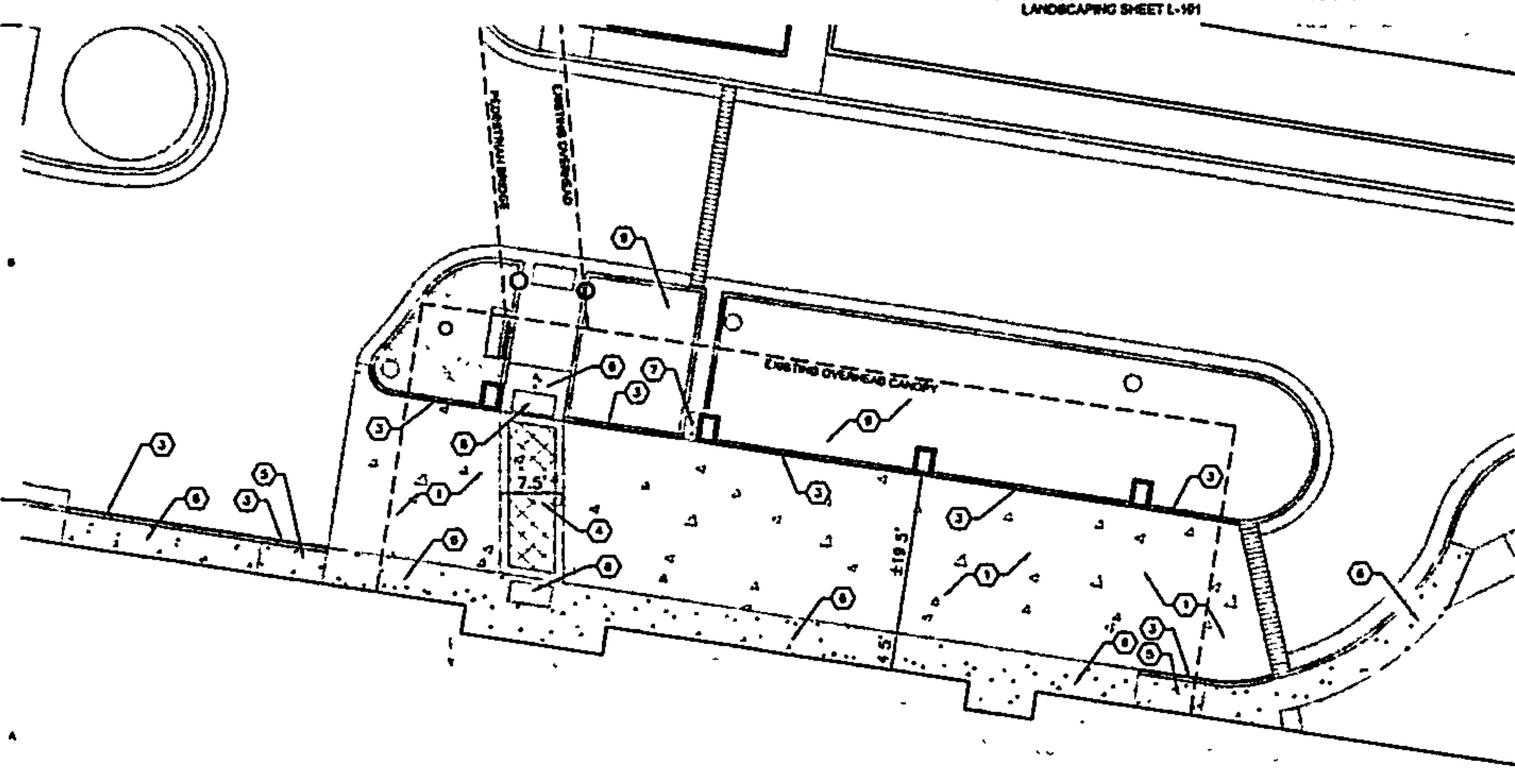
1. SAWCUT REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT
2. REMOVE AND DISPOSE OF EXISTING CONCRETE CROSSWALK.
3. SAWCUT REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK.
4. SAWCUT REMOVE AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
5. SAWCUT REMOVE AND DISPOSE OF CONCRETE RUN-DOWN.
6. EXISTING CONCRETE SIDEWALK TO REMAIN. PROTECT DURING CONSTRUCTION.
7. EXISTING CONCRETE CURB AND GUTTER TO REMAIN. PROTECT DURING CONSTRUCTION.
8. EXISTING CONCRETE CURB TO REMAIN. PROTECT DURING CONSTRUCTION.
9. EXISTING ASPHALT PAVEMENT TO REMAIN. PROTECT DURING CONSTRUCTION.
10. EXISTING CONCRETE RUN-DOWN TO REMAIN. PROTECT DURING CONSTRUCTION.
11. EXISTING STRUCTURAL COLUMN TO REMAIN. PROTECT DURING CONSTRUCTION.
12. EXISTING STORM GRATE TO REMAIN. PROTECT DURING CONSTRUCTION.

**D1 SITE DEMOLITION PLAN**

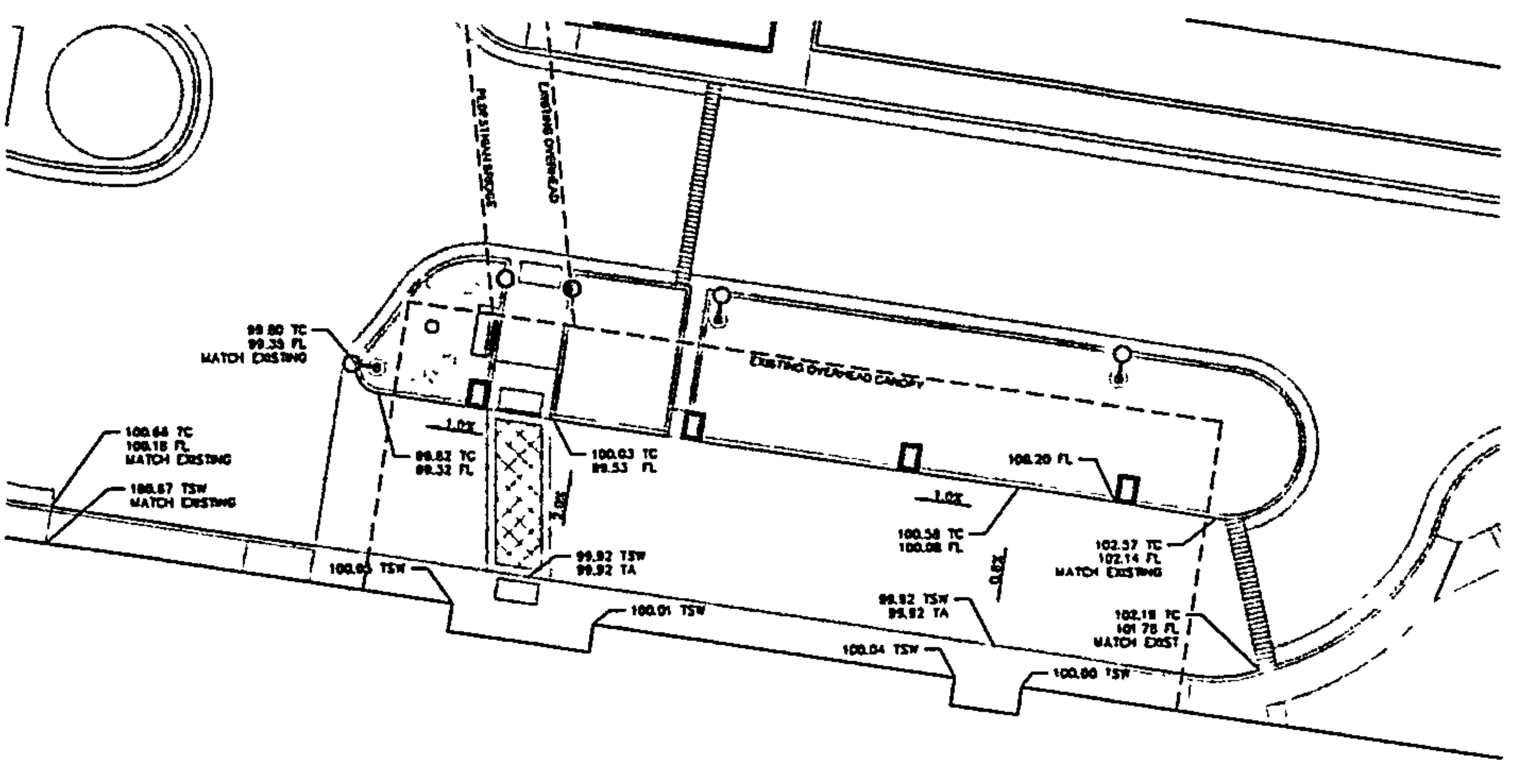
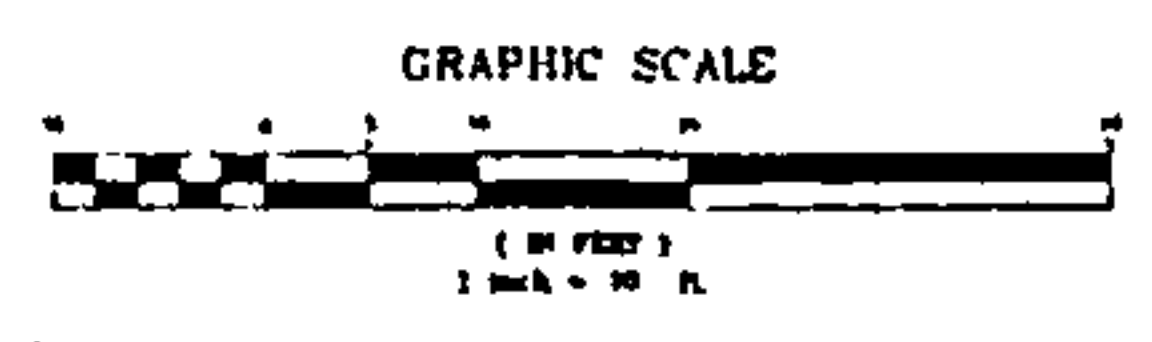


**PAVING PLAN KEYED NOTES**

1. COLORED AND PATTERNED CONCRETE PAVEMENT OR DECORATIVE TILE OVER CONCRETE PAVEMENT
2. ASPHALT PAVEMENT
3. CONCRETE HEADER CURB
4. COLORED AND PATTERNED CONCRETE PAVEMENT CROSSWALK
5. CONCRETE ACCESS RAMP
6. CONCRETE SIDEWALK
7. CONCRETE RUN-DOWN
8. DETECTABLE WARNING SURFACE
9. LANDSCAPED AREA, SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPING SHEET L-191



**A1 SITE PAVING PLAN**



**A4 SITE GRADING PLAN**



Rev.	Description	Date

SHEET TITLE

CIVIL SITE PLAN

SHEET NUMBER

**C-101**





YAUPOON HOLLY



MODESTO ASH



BLUE HOLLY



NANDINA

**NOTE**

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 PLANTING TO BE WATERED BY AUTO Drip IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 PLANTING MUST RECEIVE ADDITIONAL AMENDMENTS FOR THE PARTICULAR PLANTING SPECIFIED.  
 LANDSCAPE AREAS TO BE MULCHED WITH BRAVEL MULCH AT 2" DEPTH OVER FILTER FABRIC



POTTERY 6"x2'6"

**PLANT LEGEND**

Qty	Symbol	Scientific Name Common Name	Size	Water Use
8	(Circle with vertical lines)	Pinus Austrian Pine	6'-8" Ht.	Medium
3	(Circle with horizontal lines)	Fraxinus Modesto Ash	2" B&B	Medium
1	(Circle with diagonal lines)	Chaliced Desert Willow	2" B&B	Medium
4	(Circle with dots)	Pyrus Flowering Pear	2" B&B	Medium
3	(Circle with cross-hatch)	Ilex Yaupon Holly	15-Gal	Medium

**Shrub/Grass/Covers**

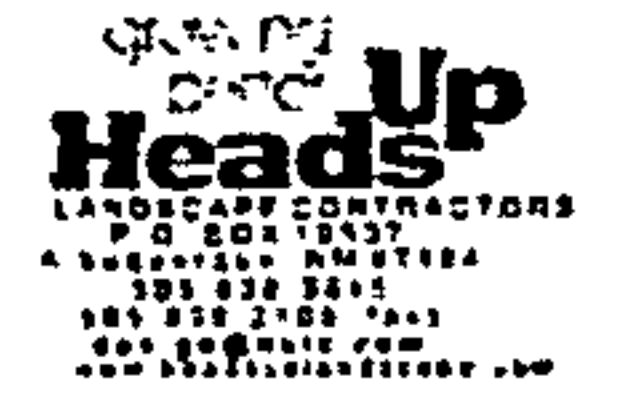
21	(Circle with horizontal lines)	Hedera Helix English Ivy	1-Gal	Medium
27	(Circle with dots)	Ilex Holly	5-Gal	Medium
12	(Star symbol)	Nandina Domestica Nandina	5-Gal	Medium
19	(Star symbol)	Hemerocallis Daylily	1-Gal	Medium
103	(Star symbol)	Liriodendron Liriodendron	1-Gal	Medium
40	(Star symbol)	Raphanistrum India Hawthorn	5-Gal	Medium
18	(Star symbol)	Cotoneaster Parney Cotoneaster	5-Gal	Medium
20	(Star symbol)	Yucca Red Yucca	5-Gal	Low

**MATERIALS LEGEND**

- (Hatched box) 1" San Lazzarus Gravel at 2" depth
- (Hatched box) 1" Old Town Brown Gravel at 2" depth
- (Circle with dots) Access Boulder



**DESIGN GROUP**  
 LANDSCAPE ARCHITECTS  
 P.O. BOX 1005  
 ALBUQUERQUE, NEW MEXICO 87106  
 505.262.1000  
 WWW.DGDESIGN.COM



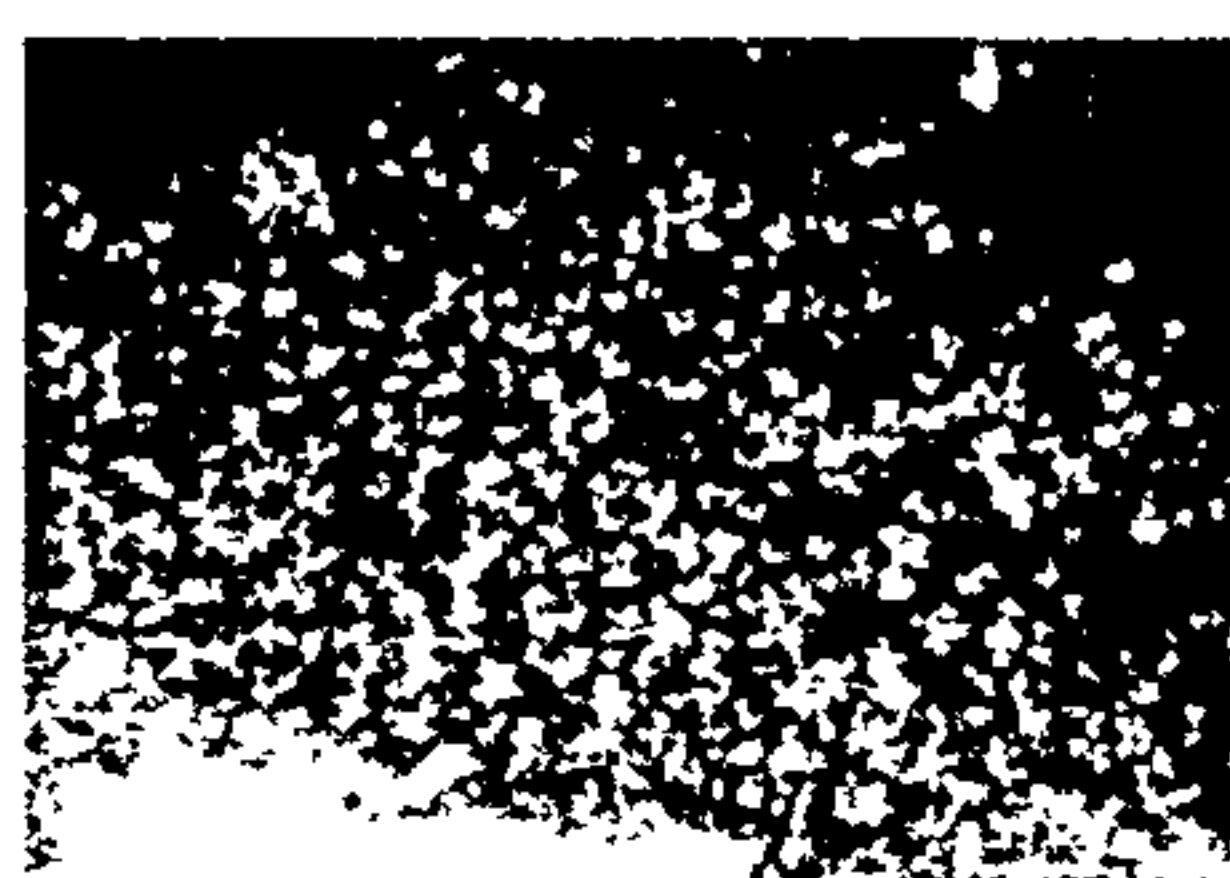
FINSLTANT



DWARF PLUMBAGO



LIRIOPE



ENGLISH IVY



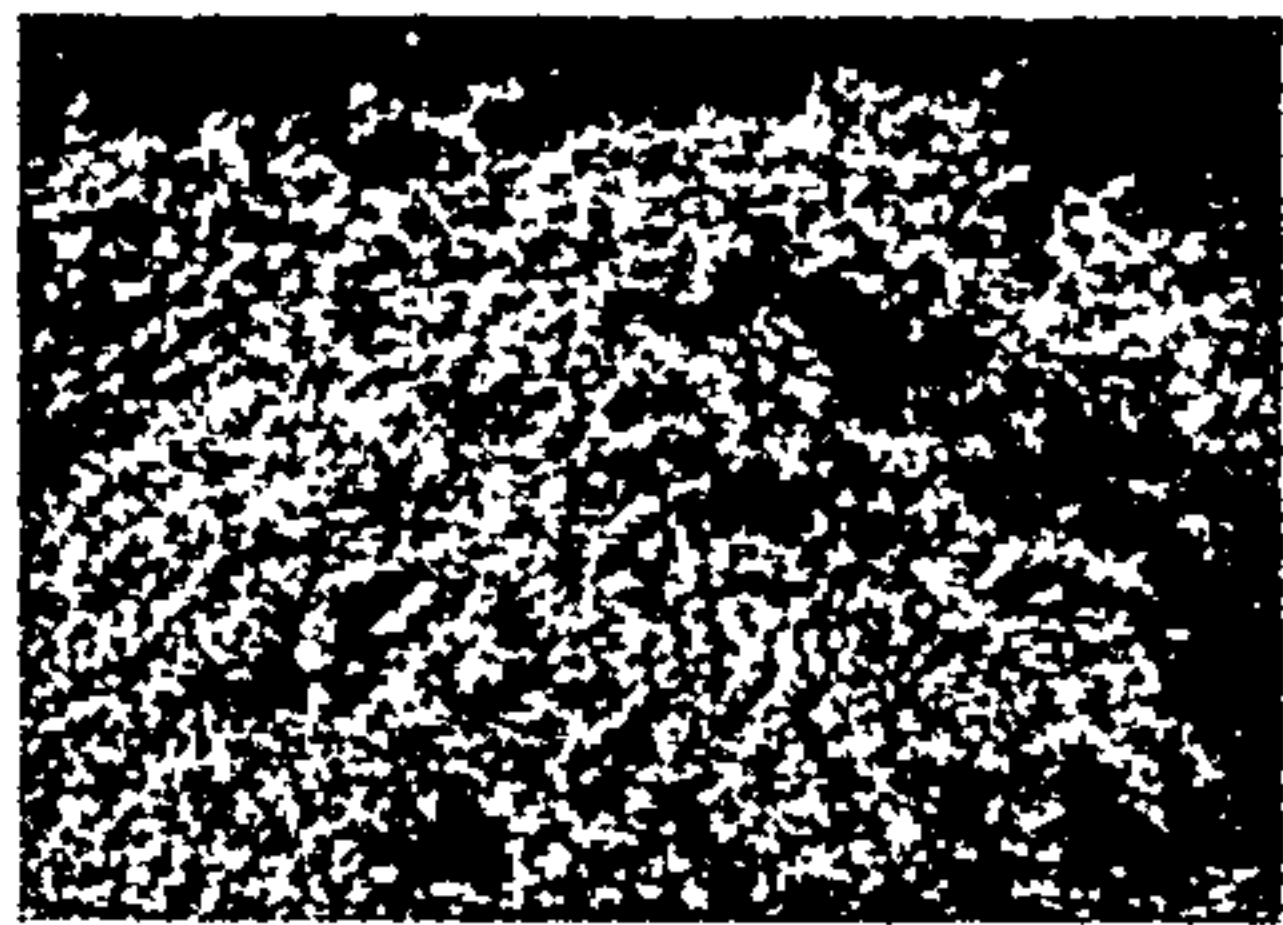
AUSTRIAN PINE



DESERT WILLOW



FLOWERING PEAR



PARNEY COTONEASTER



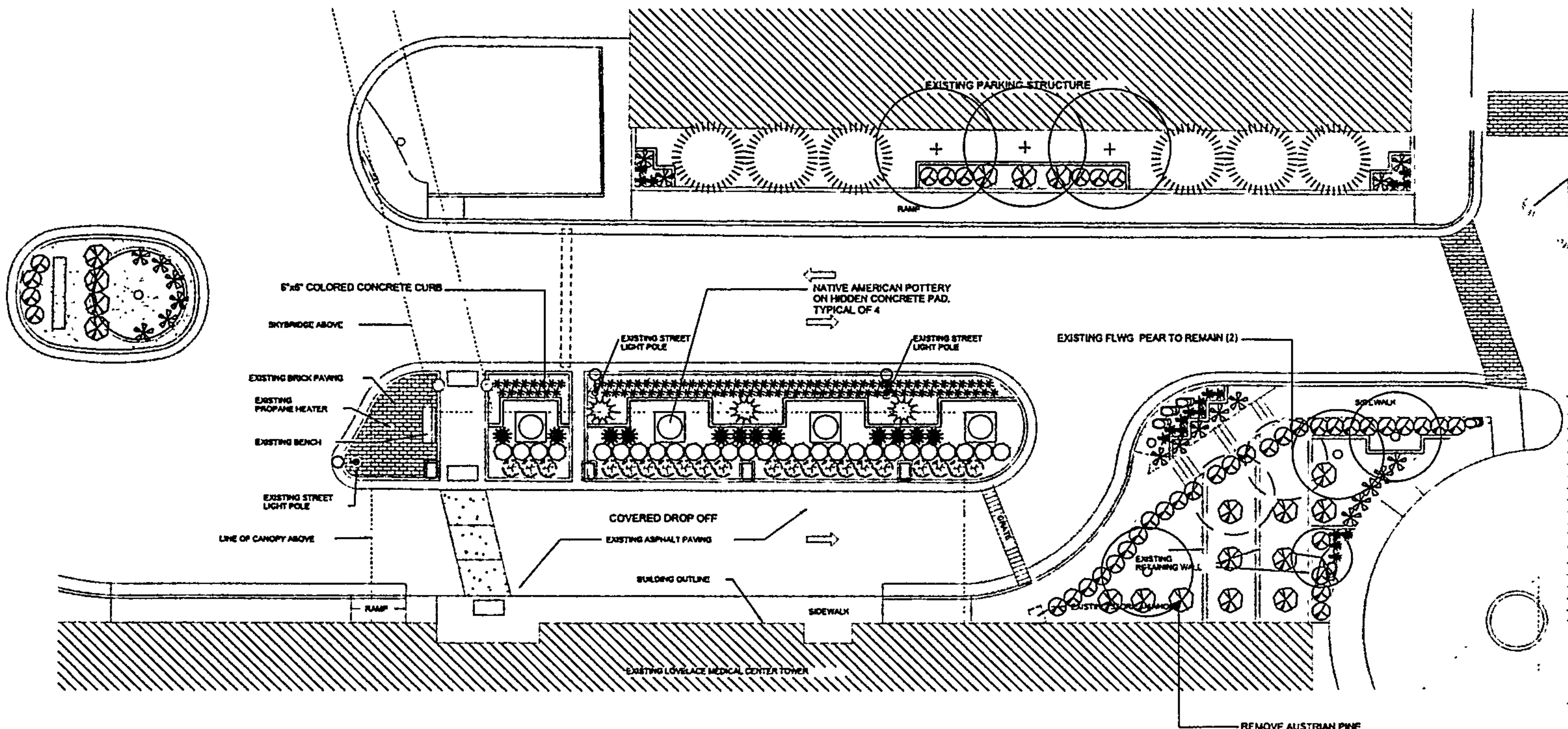
RED YUCCA



INDIA HAWTHORN



DAYLILY



PROJECT NAME  
**LOVELACE MEDICAL TOWER EXTERIOR RENOVATION**  
 889 MARTIN LUTHER KING AVE NE  
 ALBUQUERQUE, NM 87102

LOVELACE HEALTH SYSTEMS INC

AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION

REVISIONS

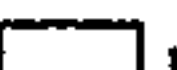
No.	Description	Date

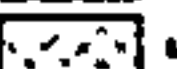
1 of 1 sheets shown on drawing  
 Drawn by: Author  
 Checked by: Designer  
 Date: 04/27/2017  
 Sheet Number: 41.00  
 I.M.P. Inc.

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L-101**

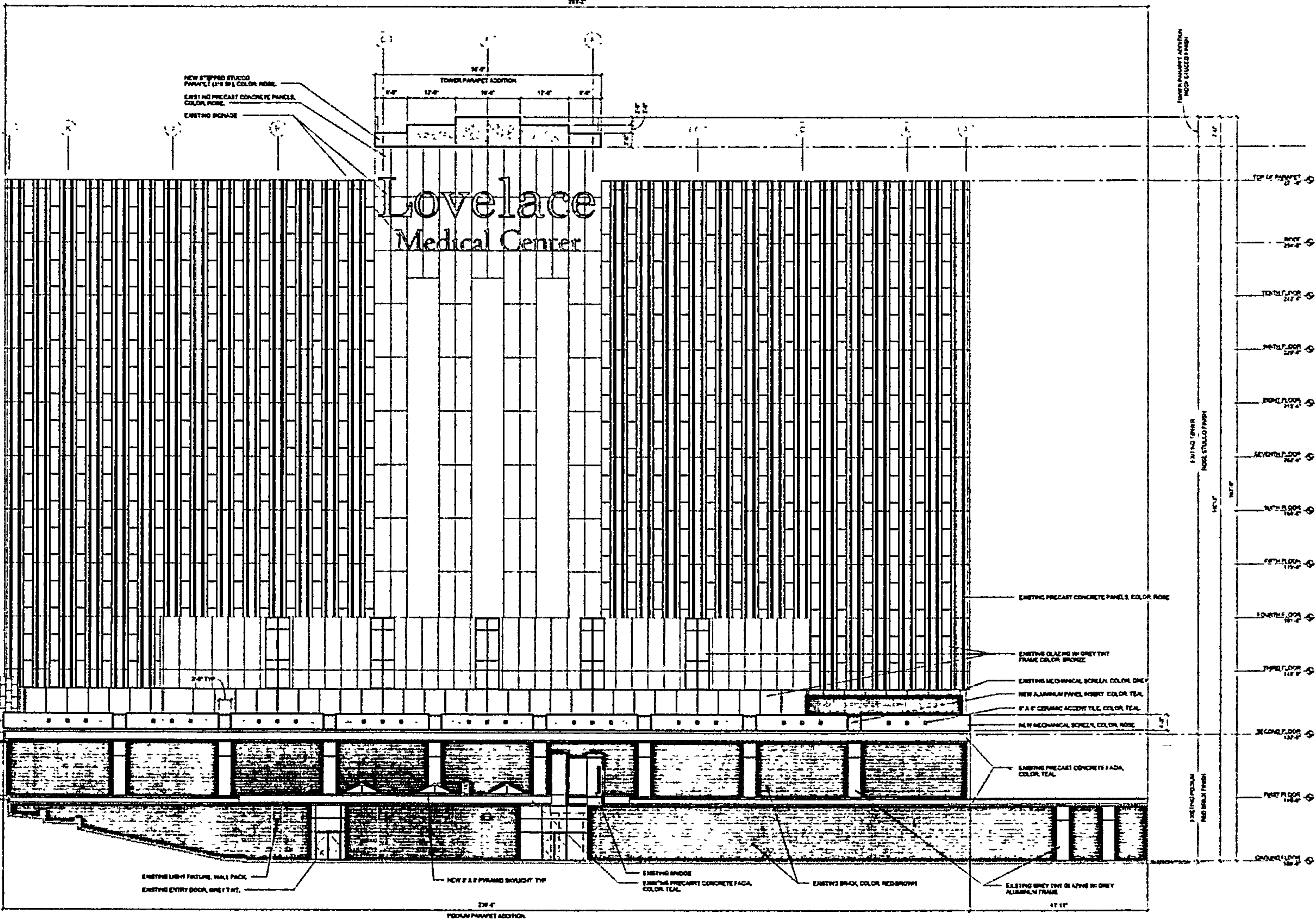
**NEW MATERIAL LEGEND**

 STUCCO PARAPET ADDITION

 METAL PANEL



DR. MARTIN LUTHER KING, JR. CENTER  
**DESIGN GROUP**  
 Architects • Engineers • Interiors • Planning  
 170 Vassar Drive SE Suite 100  
 Atlanta, GA 30333  
 404.525.8888 • Fax 404.525.8888  
 CONSULTANT



STUMP

PROJECT NAME  
**LOVELACE MEDICAL  
 TOWER EXTERIOR  
 RENOVATION**

LOVELACE HEALTH  
 SYSTEMS INC.

AMENDMENT TO  
 SITE DEVELOPMENT  
 PLAN FOR  
 SUBDIVISION



REVISIONS		
No.	Description	Date

**A1 BUILDING ELEVATION - NORTH**  
 2017.11.14





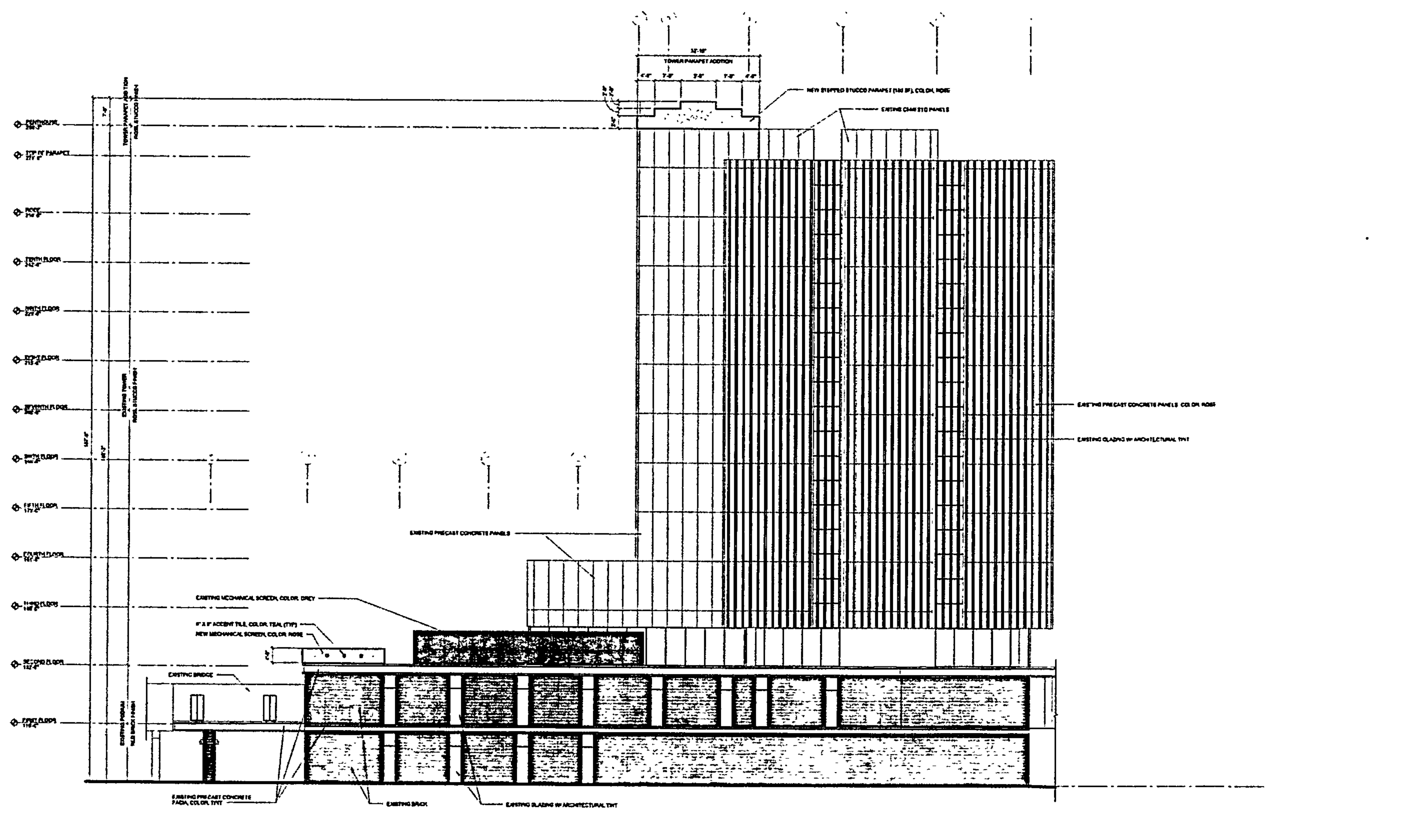
**NEW MATERIAL LEGEND**

	STUCCO PANELS ADDITION
	METAL PANEL



**DESIGN GROUP**  
 120 VASSAR DRIVE SE SUITE 130  
 ALBUQUERQUE, NEW MEXICO 87110  
 505.242.8680 • FAX 505.242.088

CONSULTANT



32'-0"  
 4'-0" 7'-0" 7'-0" 7'-0" 4'-0"  
 NEW STEEPED STUCCO PARAPET (1/4" R), COLOR ROSE  
 EXISTING CHAMSTO PANELS  
 EXISTING PRECAST CONCRETE PANELS COLOR ROSE  
 EXISTING GLAZING W/ ARCHITECTURAL TINT  
 EXISTING PRECAST CONCRETE PANELS  
 EXISTING MECHANICAL SCREEN, COLOR GREY  
 1/4" X 1/4" ACCENT TILE, COLOR TEAL (TYP)  
 NEW MECHANICAL SCREEN, COLOR ROSE  
 EXISTING BRIDGE  
 EXISTING PRECAST CONCRETE FACIA, COLOR TINT  
 EXISTING BRICK  
 EXISTING GLAZING W/ ARCHITECTURAL TINT

PROJECT NAME  
**LOVELACE MEDICAL  
 TOWER EXTERIOR  
 RENOVATION**  
 401 MARTIN LUTHER KING AVE NE  
 ALBUQUERQUE, NM 87112

LOVELACE HEALTH  
 SYSTEMS INC

AMENDMENT TO  
 SITE DEVELOPMENT  
 PLAN FOR  
 SUBDIVISION

REVISIONS

No.	Description	Date

Drawn by: \_\_\_\_\_ Author: \_\_\_\_\_  
 Checked by: \_\_\_\_\_ Designer: \_\_\_\_\_  
 Date: APR 21 2017  
 Project Number: 1130  
 Scale: As Shown

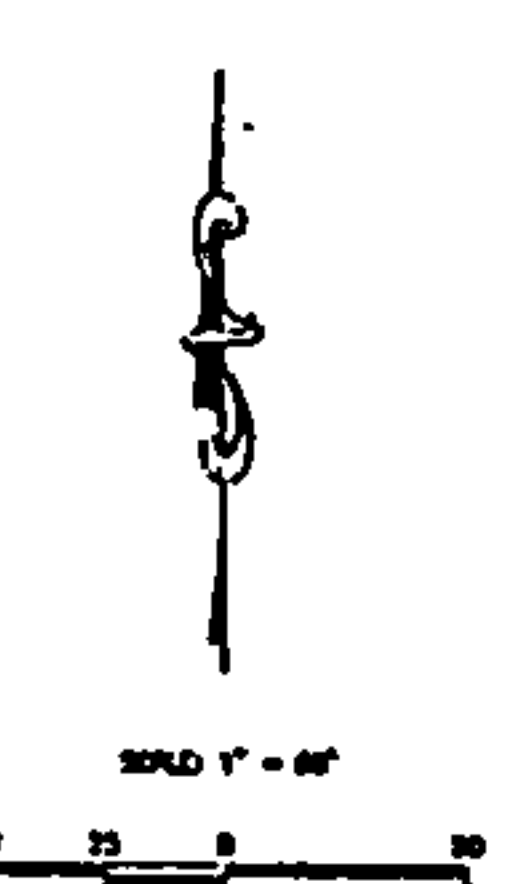
**A1 BUILDING ELEVATION - WEST**  
 320' x 172'

SHEET TITLE:  
**BUILDING ELEVATION -  
 WEST**

SHEET NUMBER  
**A-203**



ALTA/ACSM LAND TITLE SURVEY  
 ALBUQUERQUE REGIONAL MEDICAL CENTER  
 PARCELS I & II  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH 2006  
 SHEET 2 OF 3



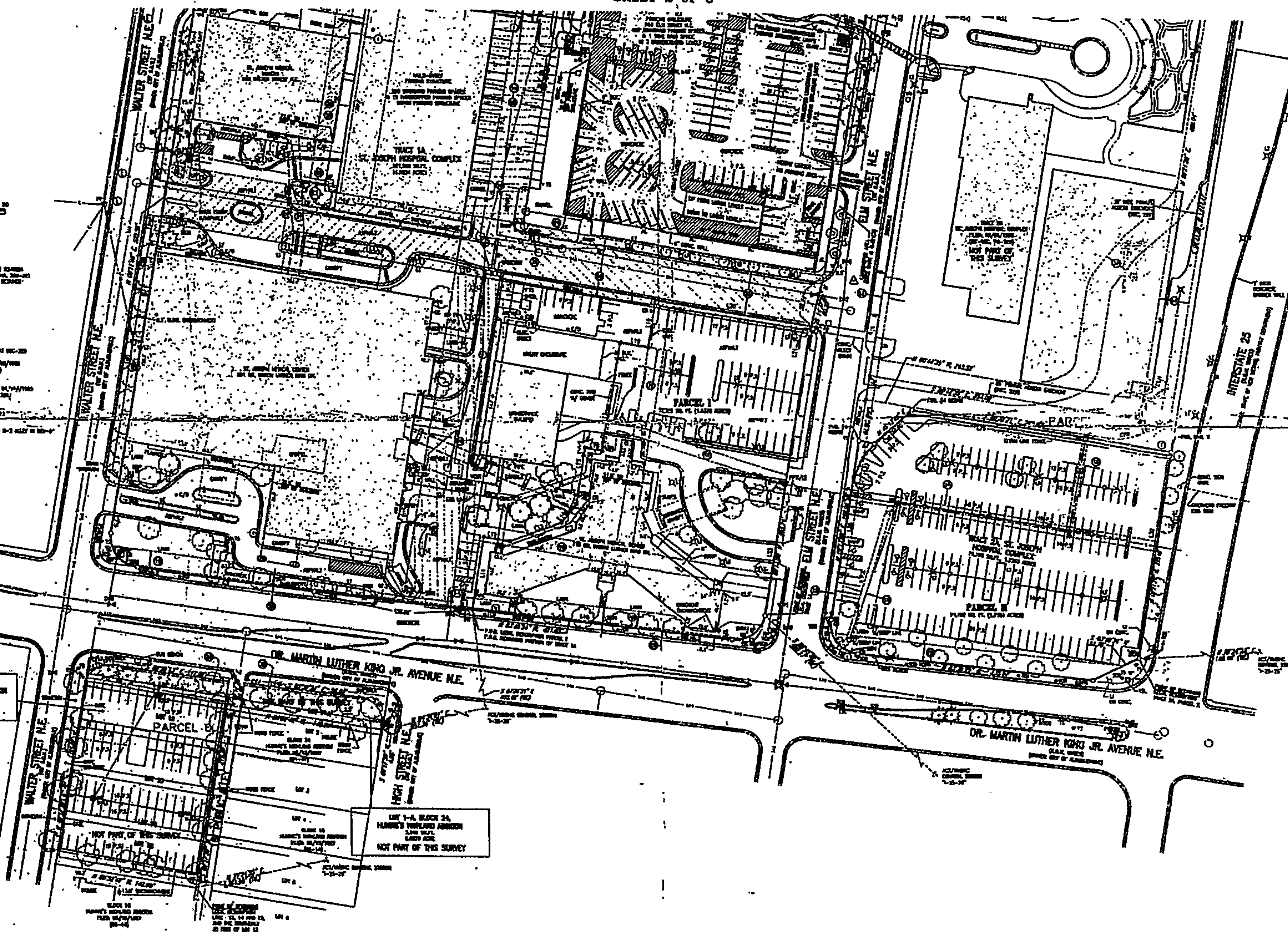
- EXHIBIT LEGEND**
- SECTION 1-10-1  
 100' x 100' PLAT  
 FILED 04/20/1990  
 PUBLIC RECORDS (100-100)
  - SECTION 1-10-2  
 100' x 100' PLAT  
 FILED 04/20/1990  
 PUBLIC RECORDS (100-100)
  - SECTION 1-11  
 100' x 100' PLAT  
 FILED 04/20/1990  
 PUBLIC RECORDS (100-100)
  - SECTION 1-12-10  
 100' x 100' PLAT  
 FILED 04/20/1990  
 PUBLIC RECORDS (100-100)

LOT 11-A, 12, 13, 14 AND 15  
 BLOCK 24, HANCOCK'S INDUSTRIAL ADDITION  
 PLAT 88-10  
 NOT PART OF THIS SURVEY

PARCELS A-1-1  
 BLOCK 25  
 HANCOCK'S INDUSTRIAL ADDITION  
 PLAT 88-10  
 NOT PART OF THIS SURVEY

LOT 8  
 BLOCK 25  
 HANCOCK'S INDUSTRIAL ADDITION  
 PLAT 88-10  
 NOT PART OF THIS SURVEY

LOT 1-A, BLOCK 25,  
 HANCOCK'S INDUSTRIAL ADDITION  
 PLAT 88-10  
 NOT PART OF THIS SURVEY



- LEGEND**
- FENCE POLE
  - FINDER
  - LIGHT POLE ON CONC. BASE
  - LIGHT POLE
  - AREA LIGHT
  - ELECTRIC BOX
  - WATER VALVE
  - WATER PETER
  - WATER FACET
  - FIRE HYDRANT
  - △ GAS PETER
  - GAS VALVE
  - CLOWE BOX
  - VACUUM BREAKER
  - WHEELER CONTROL VALVE
  - SEWERAGE TRICK
  - OVERHEAD TRICK
  - STOP VALVE
  - TELEPHONE WHEEL
  - MANHOLE
  - ELECTRIC SIGN
  - △ THE CITY OF ALBUQUERQUE, N.M. FOR THE CITY OF ALBUQUERQUE, N.M. FOR THE CITY OF ALBUQUERQUE, N.M. FOR THE CITY OF ALBUQUERQUE, N.M.
  - ELECTRIC CONTROL BOX
  - PA. NUMBER OF PARKING SPACES
  - CONCERNED
  - INDETERMINATE ELECTRICAL LINE
  - SAFETY SENCE LINE
  - UNDERGROUND SIGN SIGN
  - UNDERGROUND VALVE
  - FORCE
  - STOPPING
  - BUILDING
  - NO-PARKING AREA
  - UNDEVELOPED PARKING
  - PARCELS BOUNDARIES (S. & N. 111) FOR CURRENT TITLE COMMITMENT
- CURB LEGEND**
- CONCRET CLAS & BITUM
  - CONCRETE CLAS
  - PAVER CONC CLAS & BITUMAL CONC PLUMB W/ PAVEMENT AS PER SPEC

ALTA/ACSM LAND TITLE SURVEY  
 ALBUQUERQUE REGIONAL MEDICAL CENTER  
 PARCELS I & II  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 MARCH 2006  
 SHEET 3 OF 3

LINE TABLE

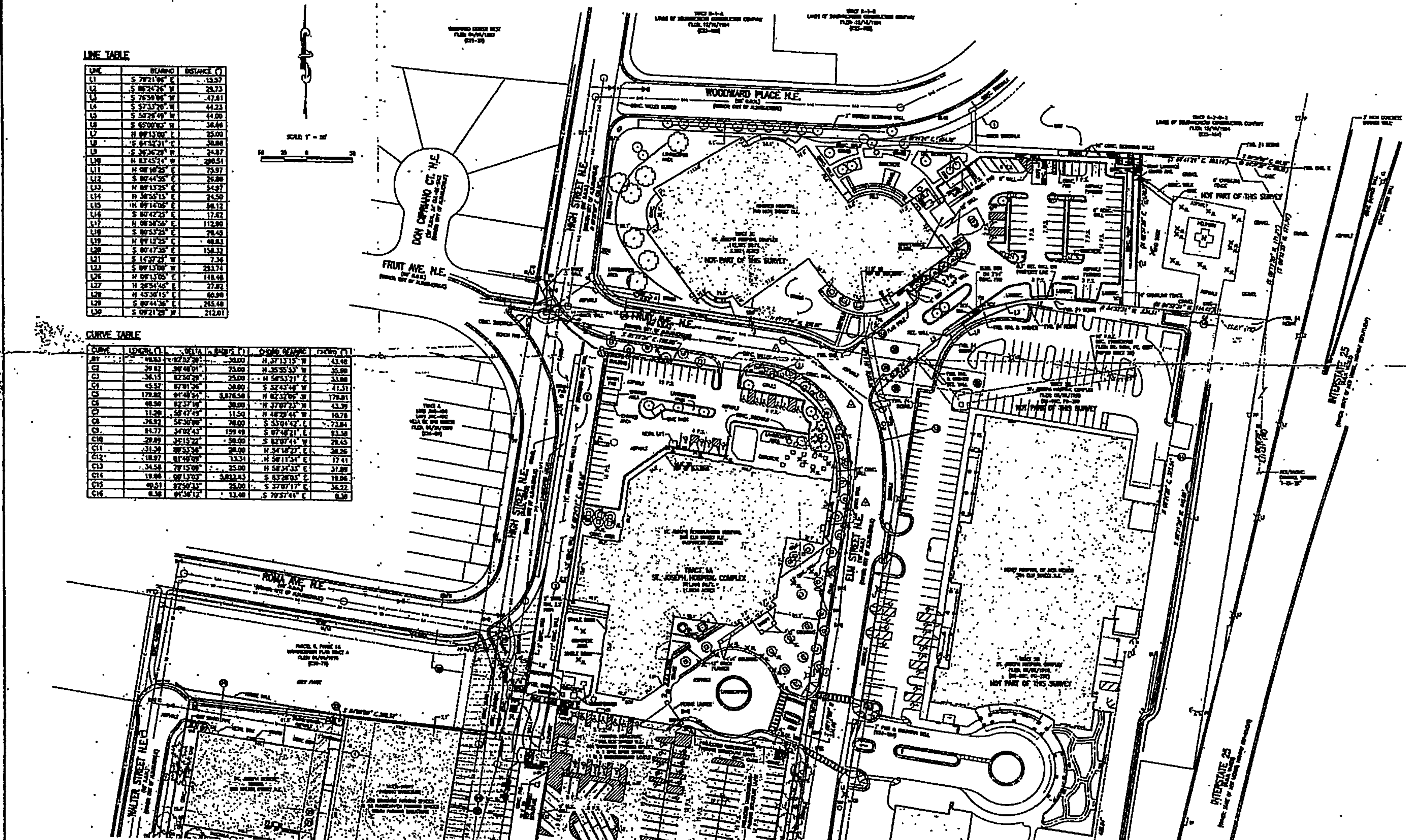
LINE	BEARING	DISTANCE (')
L1	S 79°21'00" E	15.57
L2	S 80°24'25" W	28.73
L3	S 76°59'00" W	47.61
L4	S 57°37'00" W	44.23
L5	S 50°28'49" W	44.00
L6	S 65°00'00" W	36.66
L7	N 89°13'00" E	25.00
L8	S 84°53'31" E	30.86
L9	S 30°26'27" W	24.87
L10	N 83°45'21" W	296.51
L11	N 08°09'25" E	75.97
L12	S 80°44'35" E	26.88
L13	N 89°13'25" E	54.97
L14	N 38°55'13" E	24.50
L15	N 09°14'05" E	56.12
L16	S 89°42'25" E	17.42
L17	N 08°58'55" E	112.90
L18	S 80°53'25" E	28.45
L19	N 09°13'25" E	48.83
L20	S 80°47'35" E	158.37
L21	S 14°37'20" W	7.36
L22	S 09°13'00" W	283.74
L23	N 09°13'00" E	148.48
L24	N 28°54'45" E	27.82
L25	N 45°30'15" E	60.90
L26	S 80°44'35" E	245.48
L27	S 09°21'20" W	212.01

CURVE TABLE

CURVE	CHORD (')	DELTA	BEARING (')	CHORD BEARING	FORMED (')
C1	48.83	92°27'28"	30.00	N 37°13'15" W	43.48
C2	39.82	89°48'01"	75.00	N 30°55'53" E	35.00
C3	36.15	82°50'29"	25.00	N 59°53'21" E	33.08
C4	43.52	87°01'26"	34.00	S 32°43'48" W	41.51
C5	178.82	87°48'54"	3.87638	N 82°32'06" W	178.81
C6	11.26	82°37'49"	35.00	N 37°07'23" W	43.39
C7	74.52	56°30'00"	11.50	N 44°29'44" W	46.78
C8	81.72	34°02'43"	19.49	S 53°04'52" E	73.84
C9	29.29	32°15'27"	50.00	S 82°07'43" W	28.45
C10	31.28	80°53'25"	28.00	N 54°10'07" E	28.26
C11	18.87	81°49'28"	15.31	N 58°11'54" E	17.41
C12	34.54	79°15'00"	25.00	N 58°34'33" E	37.89
C13	19.86	69°13'00"	5.81243	S 43°20'03" E	19.86
C14	49.51	87°54'43"	25.00	S 37°07'17" E	36.22
C15	6.58	61°58'12"	13.48	S 79°57'41" E	6.58

EXPLANATION KEY

1. 1" BEARING & DELTA METHOD (20-10)
2. 1" BEARING & DELTA METHOD (20-10)
3. 1" BEARING & DELTA METHOD (20-10)
4. 1" BEARING & DELTA METHOD (20-10)
5. 1" BEARING & DELTA METHOD (20-10)
6. 1" BEARING & DELTA METHOD (20-10)
7. 1" BEARING & DELTA METHOD (20-10)
8. 1" BEARING & DELTA METHOD (20-10)
9. 1" BEARING & DELTA METHOD (20-10)
10. 1" BEARING & DELTA METHOD (20-10)
11. 1" BEARING & DELTA METHOD (20-10)
12. 1" BEARING & DELTA METHOD (20-10)
13. 1" BEARING & DELTA METHOD (20-10)
14. 1" BEARING & DELTA METHOD (20-10)
15. 1" BEARING & DELTA METHOD (20-10)
16. 1" BEARING & DELTA METHOD (20-10)
17. 1" BEARING & DELTA METHOD (20-10)
18. 1" BEARING & DELTA METHOD (20-10)
19. 1" BEARING & DELTA METHOD (20-10)
20. 1" BEARING & DELTA METHOD (20-10)



# Lovelace

Medical Center

601 Dr. Martin Luther King Jr. Ave. NE  
Albuquerque, NM 87102

May 29, 2012

**Re: Letter of Authorization**

The Hartman + Majewski Design Group (dg) is designated as the agent with authority to act on behalf of Lovelace Medical System in the application for a Site Development Plan for Subdivision for a Building Enhancements, and improved way finding signage to the Main Hospital Building, for Lot 1A, Block 0000, St Joseph Hospital Complex located north of Martin Luther King between Walter Street and Elm Street, for all actions required by the City of Albuquerque Planning Process. The street address for Lovelace Medical Center is 505 Elm Street N.E.

Sincerely,



Sue Rodgers, Chief Operation Officer  
Lovelace Medical Center

# Application # :

12DRB-70265(SBA)

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