

KEY NOTES:

- [1] PROPOSED FIRE HYDRANT (P1).
- [2] EXISTING SIDEWALK CURB CUT.
- [3] EXISTING PARKING STRIPING.
- [4] PROPOSED LANDSCAPING (P1).
- [5] EXISTING LANDSCAPING TO REMAIN.
- [6] PROPOSED HANDICAP PAVEMENT SIGN (P1).
- [7] PROPOSED STRIPED HANDICAP AISLE (P1).
- [8] PROPOSED ASPHALT PAVING (P1).
- [9] PROPOSED SITE LIGHTING: HEIGHT TO BE 16'-0" MAX (P1).
- [10] EXISTING BIKE RACK WITH 4 SPACES.
- [11] PROPOSED CONCRETE SIDEWALK (P1).
- [12] EXISTING ELECTRICAL TRANSFORMER ON CONCRETE PAD.
- [13] PROPOSED CONCRETE ENTRANCE PLATFORM, LEVEL WITH EXISTING PLATFORM AT NEW SOCIAL HALL (P1).
- [14] PROPOSED PAINTED PARKING STRIPING (P1).
- [15] EXISTING BUILDING TO BE DEMOLISHED (P2).
- [16] PROPOSED CONCRETE CURB (P1).
- [17] PROPOSED CONCRETE CURB/LANDSCAPING ISLAND (P1).
- [18] EXISTING DRIVEWAY TO BE CLOSED AND FILLED WITH CITY STANDARD CURB, GUTTER & SIDEWALK (P1).
- [19] PROPOSED H.C. RAMP FOR SANCTUARY/SOCIAL HALL EXISTING CITY CURB AND GUTTER.
- [20] EXISTING GUY POLE (P1).
- [21] EXISTING 6" CHAIN-LINK FENCE.
- [22] PROPOSED SIDEWALK RAMP (P1).
- [23] EDGE OF EXISTING RETENTION POND.
- [24] PROPOSED HANDICAP PARKING SIGNS (P1). REFER TO 8/SHEET 9.
- [25] EXISTING SUMP PUMP.
- [26] EXISTING MONUMENT/INFORMATION SIGN TO BE REMOVED & REPLACED, REFER TO 4/SHEET 2.

- [27] EXISTING BRICK WALKWAY.
- [28] PROPOSED CONCRETE DRIVEWAY (STD. DWS. 2420) AND RAMPS (STD. DWS. 2444) TO BE CONSTRUCTED TO COA STANDARDS (P1).
- [29] PROPOSED COMPACT PARKING SPACES 8'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION (P1).
- [30] PROPOSED CONCRETE PLAZA AREA (P1).
- [31] PROPOSED 8'-0" WIDE x 15'-0" FUEL EFFICIENT VEHICLE PARKING SPACES WITH SIGNAGE AT EACH SPACE (P1).
- [32] EXISTING FIRE HYDRANT.
- [33] EXISTING OVERHEAD POWER LINE.
- [34] PROPOSED LIGHT BOLLARD (P1).
- [35] EXISTING PROPERTY LINES.
- [36] EXISTING 4'-0" WIDE CRUSHER FINE GRAVEL WALKING PATH.
- [37] EXISTING ENTRANCE PLATFORM.
- [38] EXISTING 4'-0" HIGH CMU RETAINING WALL.
- [39] EXISTING 3'-6" WIDE CITY SIDEWALK.
- [40] EXISTING 5'-6" WIDE CITY SIDEWALK.
- [41] EXISTING RETENTION POND.
- [42] EXISTING GAS METER.
- [43] PROPOSED 3'-6" FENCE OVER PROPOSED SPLIT-FACE INTEGRALLY COLORED RETAINING WALL (P1).
- [44] PROPOSED GUY POLE (P1).
- [45] EXISTING CONCRETE PAVEMENT PATIO.
- [46] EXISTING LIGHT POLE.
- [47] EXISTING PATIO.
- [48] EXISTING A/C CONDENSATOR ON PAD TO BE REMOVED (P2).
- [49] EXISTING TRELLIS SCREEN.
- [50] EXISTING 3'-0" SIDEWALK.
- [51] EXISTING COURTYARD.

- [52] EXISTING CANOPY.
- [53] PROPOSED MEMORIAL GARDEN (P1).
- [54] EXISTING PLAYGROUND WITH EXISTING EQUIPMENT TO REMAIN.
- [55] EXISTING 6" SOLID WOOD FENCE.
- [56] EXISTING 3" H BLOCK WALL.
- [57] EXISTING REFUSE ENCLOSURE WITH 6" H PRIVACY CHAIN LINK FENCE.
- [58] EXISTING GARDEN AREA.
- [59] PROPOSED BIKE RACK WITH 6 SPACES (P1). REFER TO 9/SHEET 9.
- [60] EXISTING BUILDING MOUNTED LIGHTING @ 16'-0" ABOVE GRADE.
- [61] PROPOSED SEATING WOOD BENCH TO MATCH EXISTING (P1).
- [62] PROPOSED 6" W OPENING IN EXISTING CURB (P1).
- [63] COA BUS STOP EASEMENT.
- [64] PROPOSED COA BUS SHELTER, NOT A PART. BUS ROUTES NO. 5 AND NO. 13.
- [65] EXISTING CURB CUT TO REMAIN.
- [66] EXISTING PARKING LOT TO REMAIN.
- [67] PROPOSED CONCRETE PARKING BUMPER.
- [68] EXISTING POWER POLE.
- [69] EXISTING TREE TO REMAIN.
- [70] EXISTING SIGN TO REMAIN.
- [71] 6' HIGH YARD WALL WITH STUCCO FINISH TO MATCH EXISTING (P1). REFER TO 3/SHEET 9.
- [72] EXISTING BENCH TO REMAIN.
- [73] EXISTING STRIPED CROSSWALK.
- [74] PROPOSED MOTORCYCLE SIGN. SIGN TO INDICATE 3 SPACES.
- [75] REMOVE EXISTING SIDEWALK AND REPLACE WITH NEW 5'-6" WIDE CONCRETE SIDEWALK ALONG CARLISLE AND COMANCHE BOULEVARD AS SHOWN.
- [76] WATER HARVESTING LOCATION.
- [77] REMOVE TREE PER POND GRADING.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: LOT 8-D1 AND LOT 8-B BLOCK B INDIAN ACRES SUBDIVISION CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: FIRST UNITARIAN CHURCH 3701 CARLISLE BOULEVARD N.E. ALBUQUERQUE, NEW MEXICO 87110

CURRENT ZONING: LOT 8-D1: SU-1 FOR O-1 USES LOT 8-B: SU-1 FOR C-1 AND O-1 USES

ZONE ATLAS PAGE: G-16-Z

LAND AREA: 3.5686 ACRES (155,449 SQ. FT.)

BUILDING AREAS: EXISTING CHURCH OFFICES 2,493 SF EXISTING RELIGIOUS EDUCATION BUILDING 8,174 SF EXISTING SOCIAL HALL/PROPOSED OFFICE EXPANSION 1,965 SF EXISTING SANCTUARY/PROPOSED SOCIAL HALL 6,468 SF PROPOSED SANCTUARY 12,000 SF EXISTING BUILDING 8,600 SF TOTAL BUILDING AREA 39,700 SF

DEVELOPMENT PHASING: PHASE I (P1): PHASE I WILL INCLUDE CONSTRUCTION OF NEW SANCTUARY, REMODEL OF EXISTING SANCTUARY FOR USE AS NEW SOCIAL HALL, REWORKING OF PARKING LOTS AND ALL LANDSCAPING EXCEPT THAT RELATED TO CONSTRUCTION OF NEW RELIGIOUS EDUCATION BUILDING. PHASE II (P2): PHASE II WILL INCLUDE CONSTRUCTION OF NEW RELIGIOUS EDUCATION BUILDING, OFFICE EXPANSION AND RELATED LANDSCAPING.

Site Development Plan for Building Permit

Scale: 1"=20'-0"

PARKING CALCULATIONS: PER CARO COMPREHENSIVE ZONING CODE 14-16-3-1 (A) PARKING SPACES FOR AUTOMOBILES AND LIGHT TRUCKS SHALL BE PROVIDED ON-SITE OR ON A SITE ZONED P-R WITHIN 300 FEET OF THE USE, MEASURED ALONG THE SHORTEST PUBLIC RIGHT-OF-WAY, AS FOLLOWS:
(1) CHURCH OR OTHER PLACE OF WORSHIP: ONE SPACE FOR EACH FOUR SEATS IN MAIN ROOM.

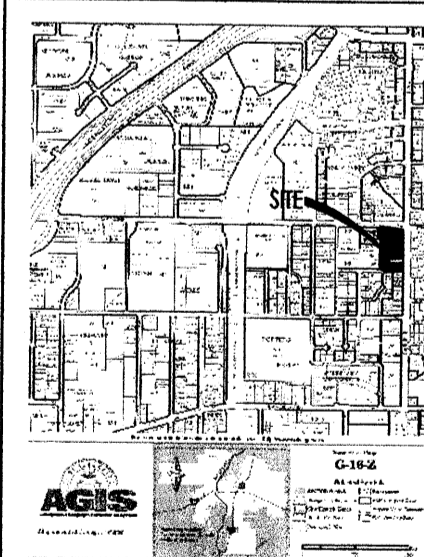
- 350 SEATS/4 SEATS = 88 REQUIRED PARKING SPACES
- 145 PARKING SPACES PROVIDED INCLUDING 24 SPACES ON LOT 8-A VIA EXISTING CROSS PARKING AGREEMENT.
- (B) PARKING FOR BICYCLES SHALL BE PROVIDED ON-SITE OR ON A SITE WITHIN 300 FEET OF THE USE, MEASURED ALONG THE SHORTEST PUBLIC RIGHT-OF-WAY, AS FOLLOWS:
(1) NON-RESIDENTIAL USES: ONE BICYCLE SPACE PER EACH 20 PARKING SPACES REQUIRED FOR AUTOMOBILES AND LIGHT TRUCKS, BUT NOT LESS THAN TWO SPACES PER PREMISES.
88 PARKING SPACES/20 = 5 BICYCLE SPACES REQUIRED
5 BICYCLE SPACES PROVIDED
- (C) PARKING FOR MOTORCYCLES, MOPEDS, AND MOTOR SCOOTERS SHALL BE PROVIDED ON-SITE AS FOLLOWS:
(1) NON-RESIDENTIAL USES: 51-100 REQUIRED PARKING SPACES REQUIRES 3 MOTORCYCLE PARKING SPACES.
88 PARKING SPACES = 3 MOTORCYCLE SPACES REQUIRED
3 MOTORCYCLE SPACES PROVIDED
- (9) PARKING SPACES FOR VEHICLES WITH VALID DISTINCTIVE REGISTRATION PLATES FOR THE PHYSICALLY DISABLED:
88 PARKING SPACES = 4 ACCESSIBLE SPACES REQUIRED
4 ACCESSIBLE SPACES PROVIDED

RADIUS INFORMATION:

PER CARO COMPREHENSIVE ZONING CODE 14-16-3-1 (A) PARKING SPACES FOR AUTOMOBILES AND LIGHT TRUCKS SHALL BE PROVIDED ON-SITE OR ON A SITE ZONED P-R WITHIN 300 FEET OF THE USE, MEASURED ALONG THE SHORTEST PUBLIC RIGHT-OF-WAY, AS FOLLOWS:
(1) CHURCH OR OTHER PLACE OF WORSHIP: ONE SPACE FOR EACH FOUR SEATS IN MAIN ROOM.

- (1) 3'-0" (5) 28'-0"
 - (2) 4'-0" (6) 8'-0"
 - (3) 15'-0" (7) 25'-0"
 - (4) 20'-0"
- PROPERTY LINE RADIUS INFORMATION:**
R1 = $\Delta (= 87'18"41") \Delta = 87'18"41"$
(R = 25.00') R = 25.00'
(T = 21.85') T = 21.85'
(L = 35.92') L = 35.92'
CH BRG=144°24'56"W
CI L = 32.91'
- GENERAL NOTES:**
- (A) THE DESIGN STANDARDS INCLUDED IN THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR THIS PROJECT SHALL GOVERN THE FUTURE DESIGN OF THE RELIGIOUS EDUCATION BUILDING. THESE DESIGN STANDARDS CAN BE FOUND ON SHEET 7 OF 9.
 - (B) THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
 - (C) SEE PARKING AND CIRCULATION PLAN, SHEET 9, FOR MEDIAN, STRIPING, ETC. IN CARLISLE BOULEVARD AND COMANCHE BOULEVARD.
 - (D) THE EXISTING CROSS PARKING AGREEMENT BETWEEN TRACT 8-D1 (CHURCH) AND LOT 8-A (ARC BLDG.) WILL REMAIN FOR THIS DEVELOPMENT.
- SITE LIGHTING NOTES:**
- (A) THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 - (B) THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
 - (C) LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 16 FEET MAXIMUM.
 - (D) SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH PRESSURE SODIUM LIGHTING AND UN-SHIELDED LIGHTING SHALL BE PROHIBITED.
 - (E) ADEQUATE LIGHTING SHALL BE PROVIDED THROUGHOUT THE SITE DEVELOPMENT IN ORDER TO PROVIDE SAFETY AND SECURITY.

PROJECT NUMBER: 1008916	APPLICATION NUMBER: 11EPC-40052
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: Sept. 8, 2011 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.	
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRG SITE DEVELOPMENT PLAN SIGNATURE APPROVAL:	
<i>Alan P. Patten</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date: 12-14-11
<i>Carl S. Demont</i> UTILITIES DEVELOPMENT	Date: 12/14/11
<i>Chris A. Chan</i> PARKS AND RECREATION DEPARTMENT	Date: 12-14-11
<i>NA</i> CITY ENGINEER	Date: _____
<i>NA</i> *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date: _____
<i>NA</i> SOLID WASTE MANAGEMENT	Date: 12-20-11
<i>NA</i> DRG CHAIRPERSON, PLANNING DEPARTMENT	Date: _____



VICINITY MAP



AERIAL MAP

Mullen Heller Architecture P.C.
924 Park Avenue SW Suite B Albuquerque, NM 87102 505 268 4144 [p] 505 268 4244 [f]

Project title: First Unitarian Church of Albuquerque 3701 Carlisle Blvd. NE Albuquerque, New Mexico 87110

sheet: 1 of 11

Site Development Plan for Building Permit

revision: 12/01/11
by: mms
date: 10/28/11

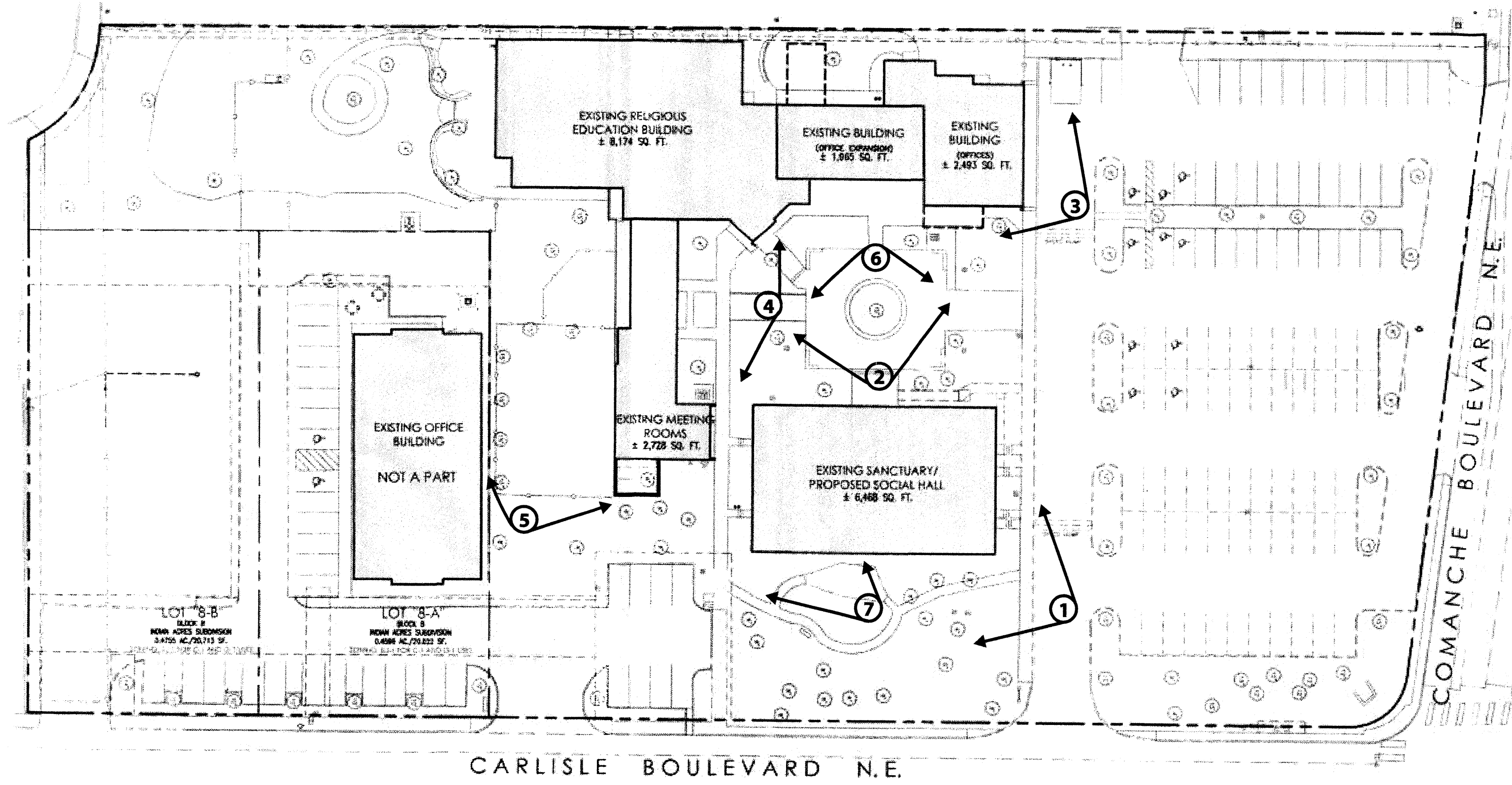
revision: 10/28/11
by: mms
date: 10/21/11

revision: 9/28/11
by: mms
date: 9/28/11

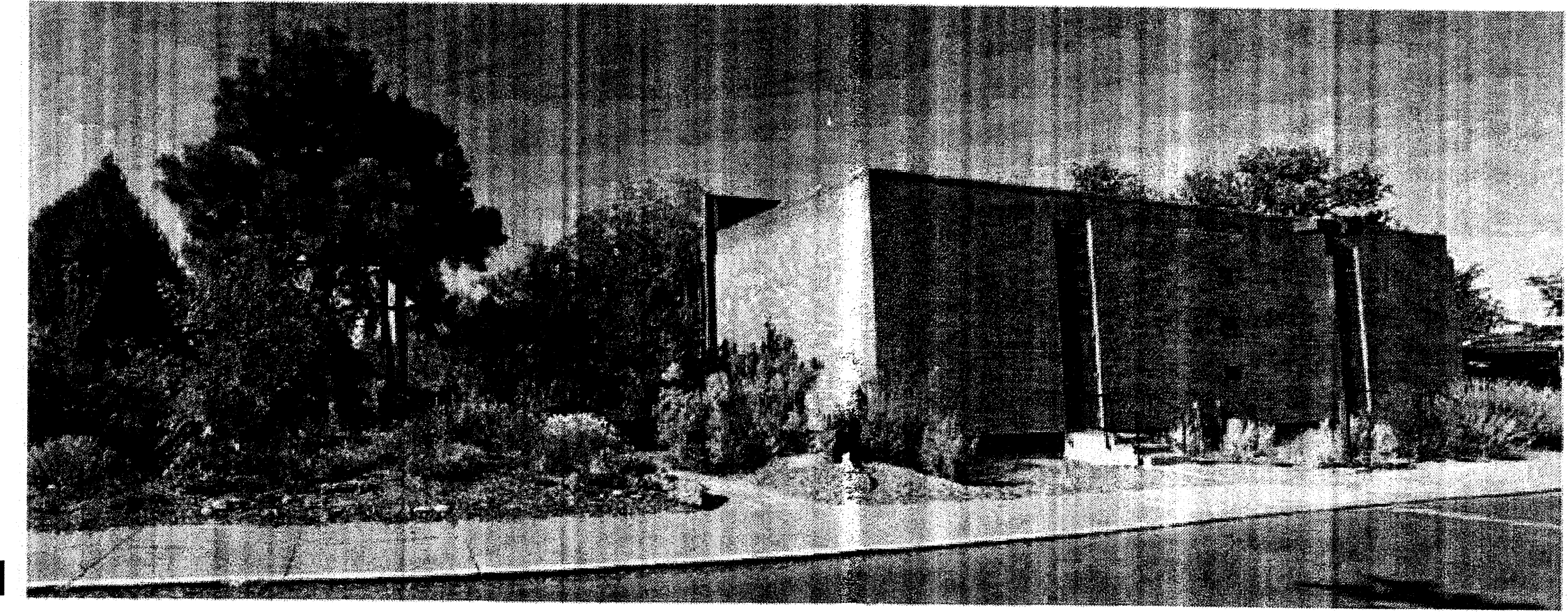
revision: 8/22/11
by: mms
date: 8/22/11

job number: 11-09
drawn by: VGLC
project manager: Doug Heller, AIA
date: 7/28/2011

APPROVED/DISAPPROVED



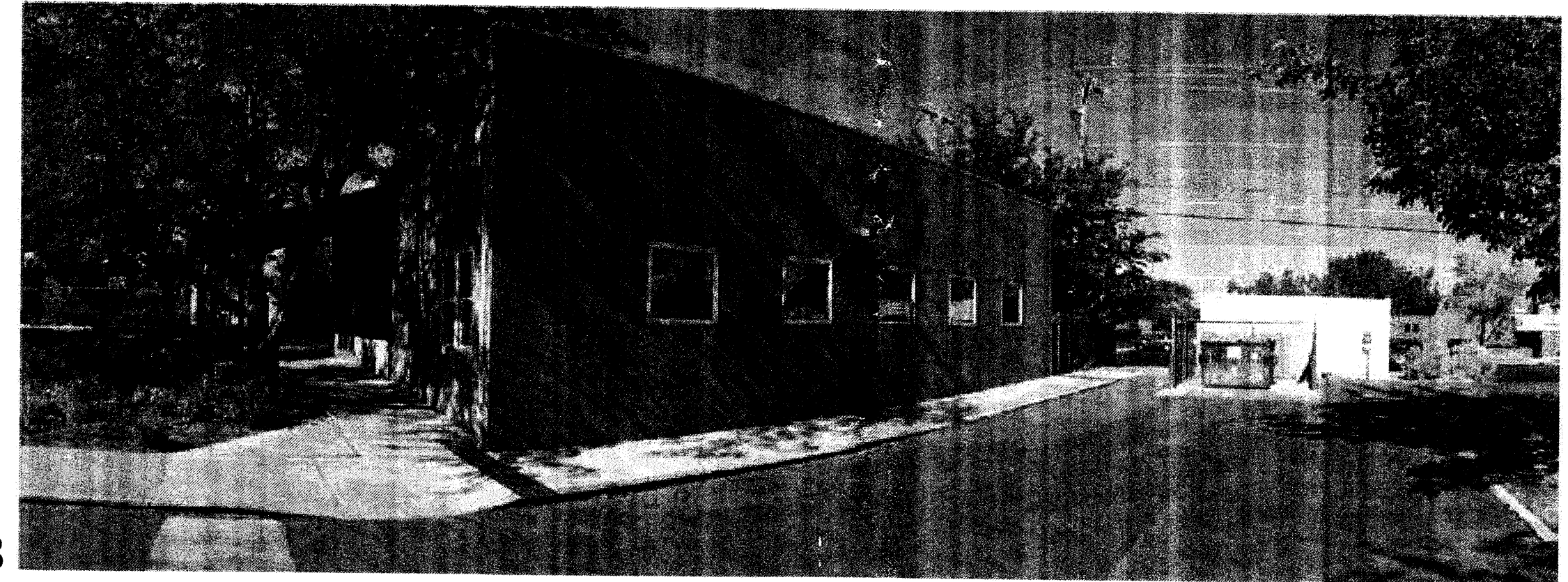
1 Existing Site Plan
Scale: 1"=40'-0"



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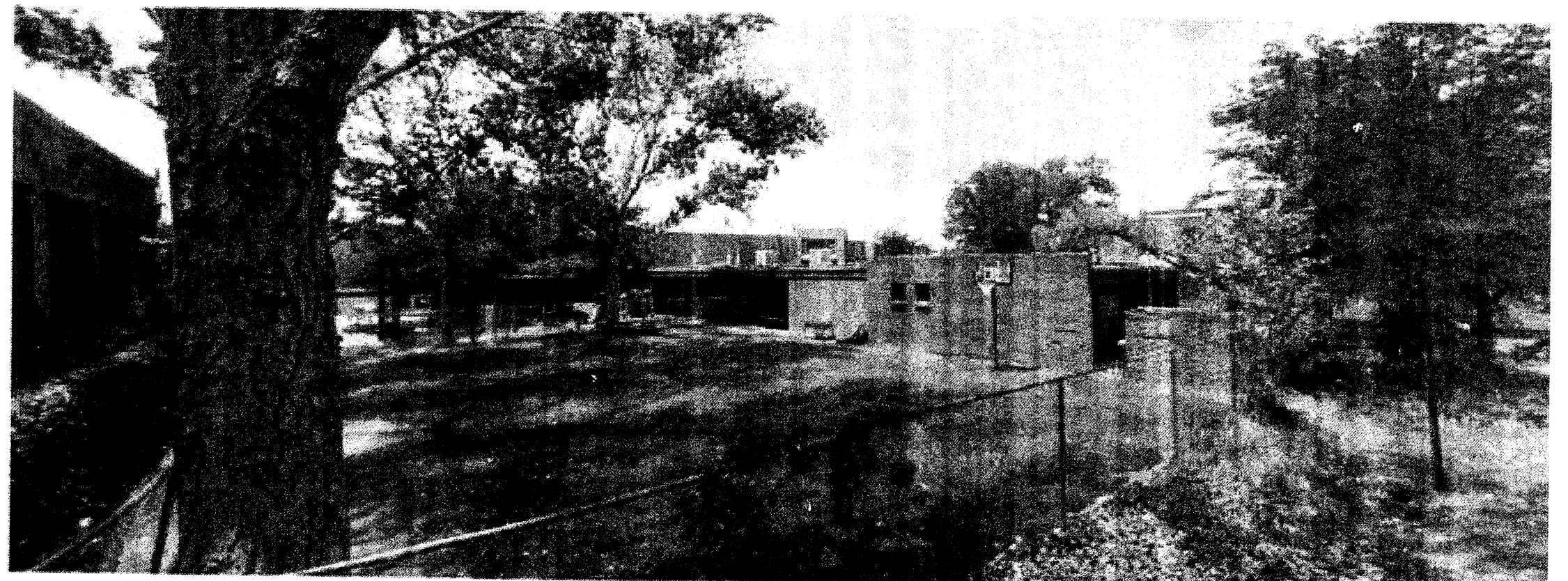
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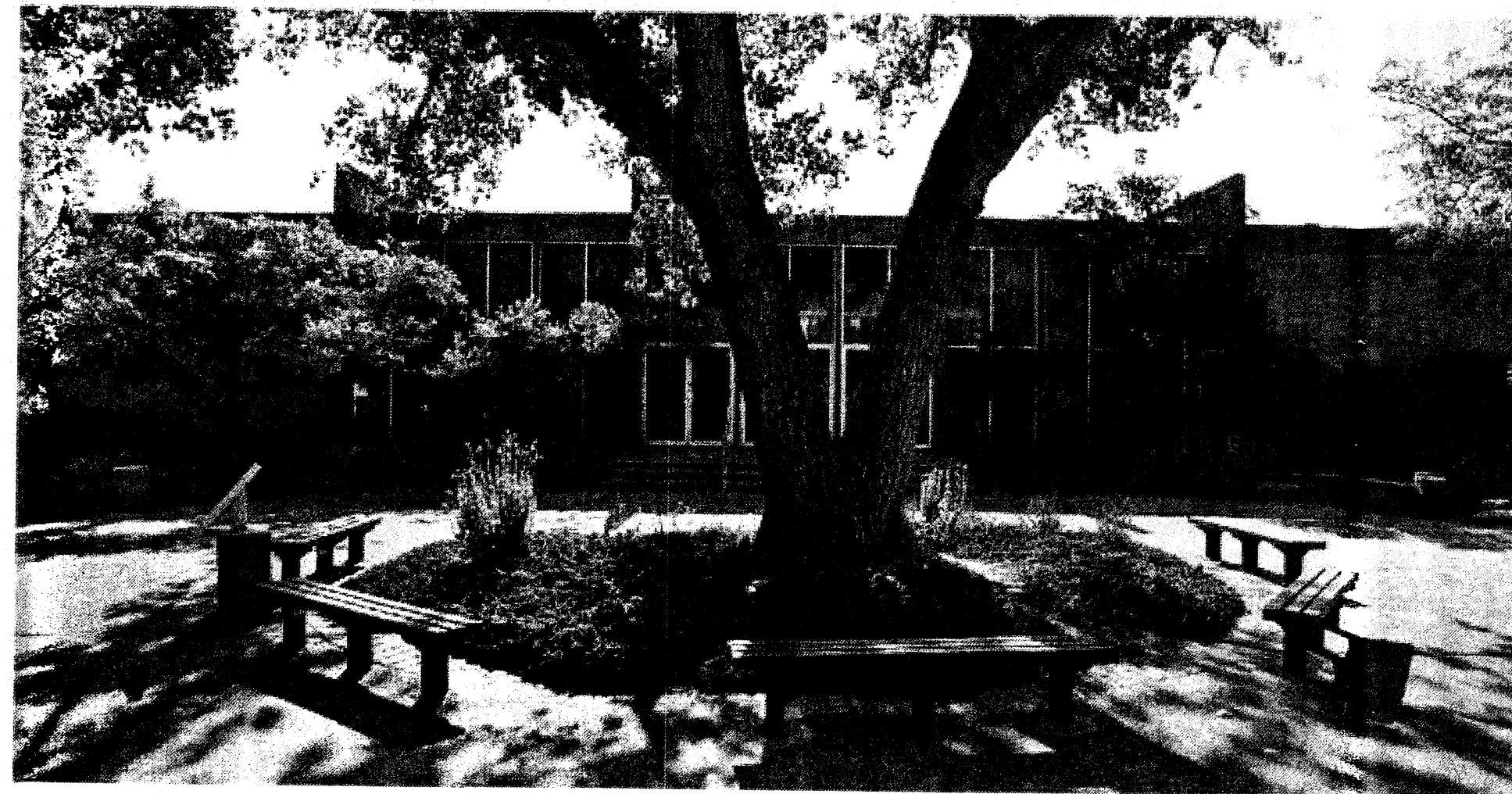
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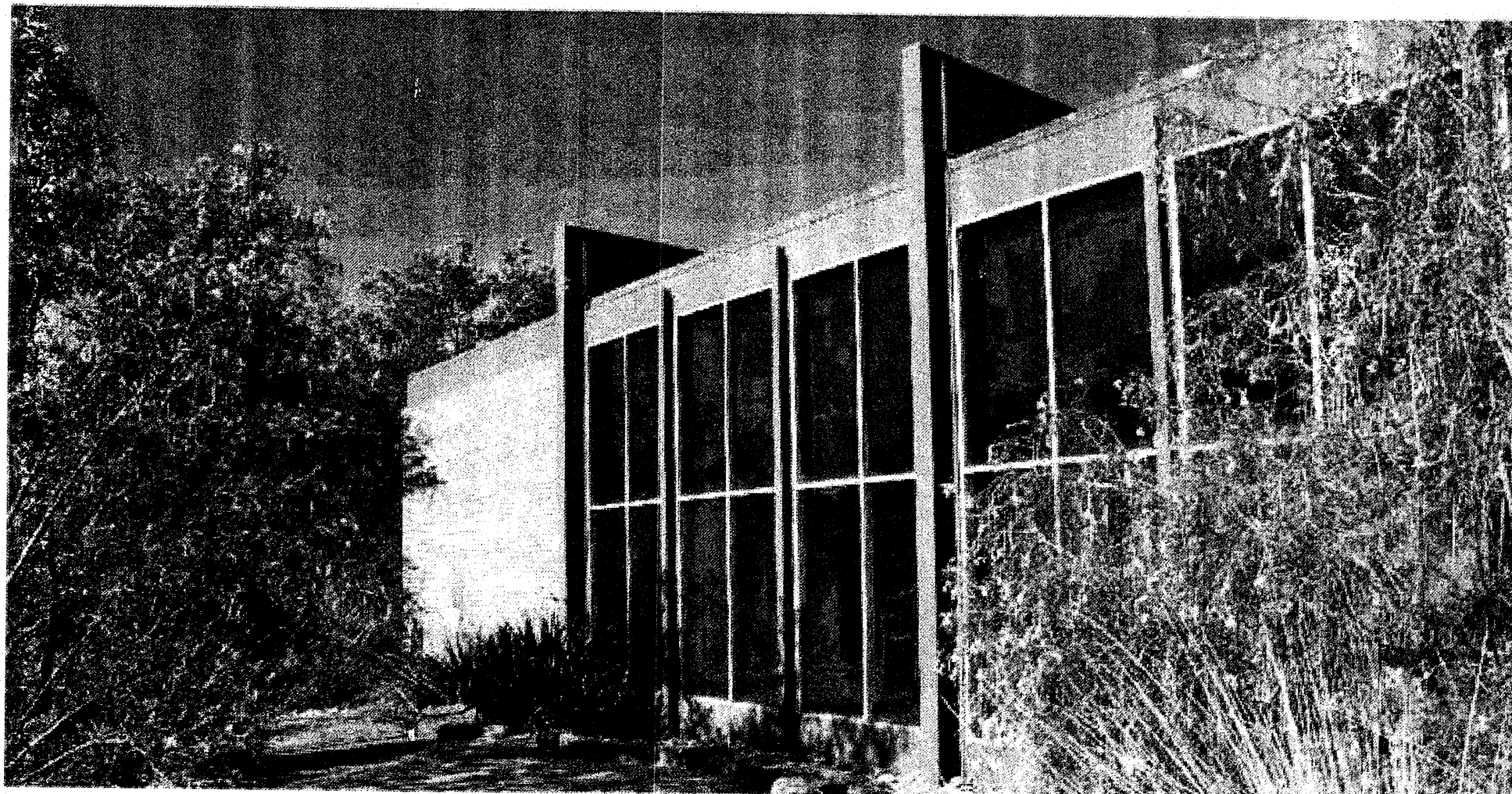
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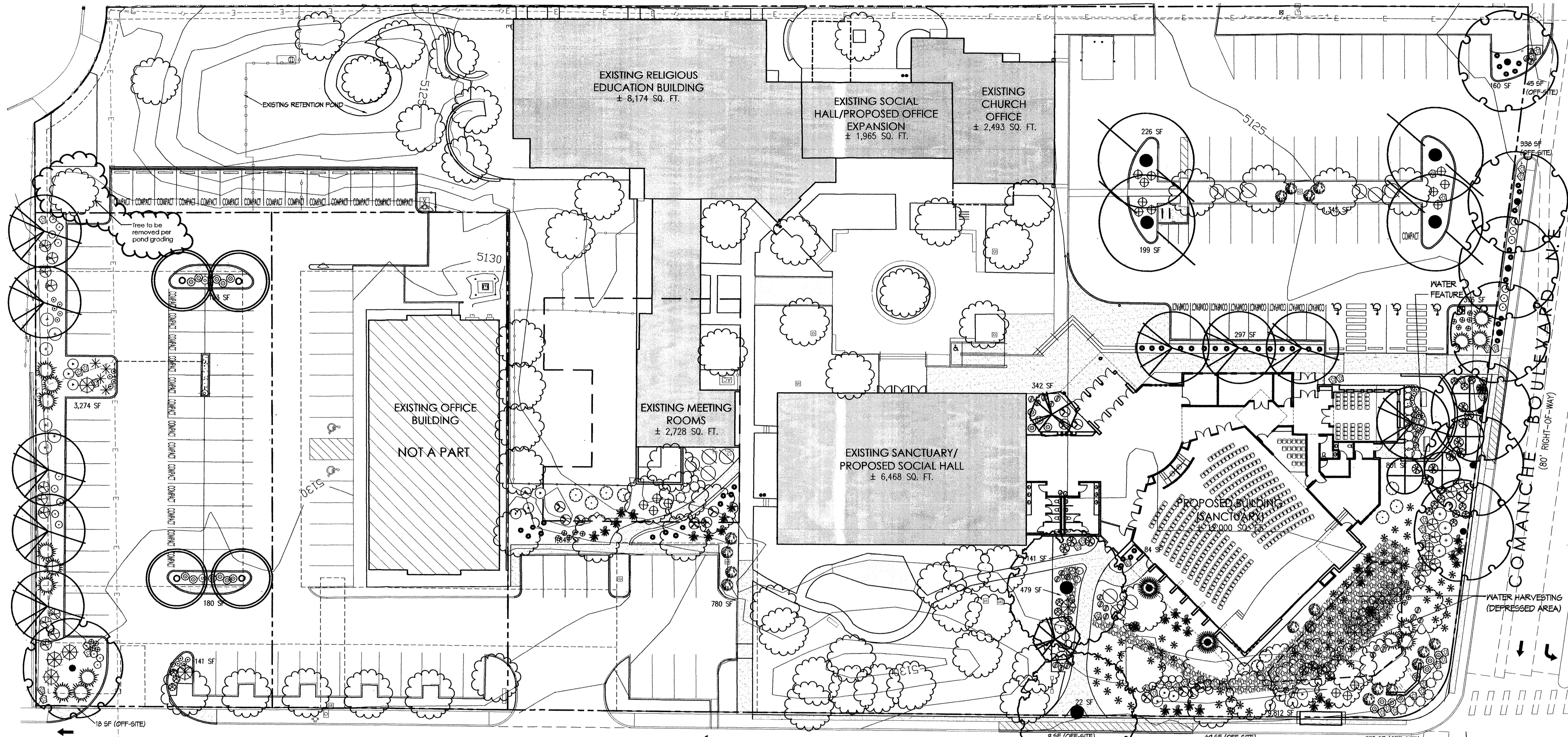
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job number	11-09
drawn by	YG/C
project manager	Douglas H. AIA
date	7/28/2011

project title
First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110
sheet title
Existing Buildings



revision
by
date
rev

08/22/11
A A A A A



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CONCEPTUAL
DRAWINGS

11-09
VGCC
Doug Heller, AIA
7/28/2011
job number
drawn by
project manager
date

CARLISLE BOULEVARD N.E. (80' RIGHT-OF-WAY)

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
TREES							
		EXISTING TREES TO REMAIN (EXCLUDING EVERGREEN TREES ALONG FRONTAGE OF CARLISLE BLVD., AS THESE ARE TO BE REMOVED)					
0		CELTIS OCCIDENTALIS	COMMON HACKBERRY	2" B&B	14' HT. X 6" SFR.	40' HT. X 40" SFR.	MED
2		CHILOPSIS LINEARIS	DESERT WILLOW	2" B&B	8' HT. X 6" SFR.	20' HT. X 20" SFR.	LOW
4		FRAXINUS VELUTINA	MODESTO MODESTO ASH	2" B&B	16' HT. X 6" SFR.	40' HT. X 40" SFR.	MED
4		FORESTIERA NEOMEXICANA	NEW MEXICO OLIVE	15-GAL	8' HT. X 4" SFR.	15' HT. X 15" SFR.	MED
4		KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2" B&B	14' HT. X 6" SFR.	25' HT. X 25" SFR.	MED
2		PLATANUS OCCIDENTALIS	SYCAMORE	2" B&B	16' HT. X 6" SFR.	60' HT. X 50" SFR.	MED
4		ROBINIA AMBIGUA	PURPLE ROBE LOCUST	2" B&B	16' HT. X 6" SFR.	40' HT. X 30" SFR.	MED
SHRUBS/GROUNDCOVERS							
14		ARTEMISIA FENS CASTLE	POINIS CASTLE SAGE	1-GAL	3" O.C.	3' HT. X 3" SFR.	LOW
25		ACHILLEA TAYGETEA	MOONSHINE YARRROW	1-GAL	2" O.C.	2' HT. X 2" SFR.	MED
16		BERBERIS JILLIANAE	WINTERGREEN BARBERRY	5-GAL	4" O.C.	4' HT. X 4" SFR.	MED
20		BERLANDIERA LYRATA	CHOCOLATE FLOWER	1-GAL	2" O.C.	2' HT. X 2" SFR.	LOW

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
23		CAESALPINIA GILLESII	BIRD OF PARADISE	5-GAL	5" O.C.	6' HT. X 5" SFR.	LOW
14		CALLIRHOE INVOLUCRATA	INNECUPS	5-GAL	4" O.C.	2' HT. X 4" SFR.	LOW
18		CARYOPTERIS CLANDONENSIS	BLUE MIST	3-GAL	3" O.C.	4' HT. X 3" SFR.	LOW
11		CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	5-GAL	5" O.C.	4' HT. X 5" SFR.	LOW
19		ERICAMERIA LARICIFOLIA	DWARF TURPENTINE BUSH	1-GAL	3" O.C.	3' HT. X 3" SFR.	LOW
17		FALLUGIA PARADOXA	APACHE PLUME	5-GAL	5" O.C.	4' HT. X 4" SFR.	LOW
17		GENISIA HISPANICA	SPANISH BROOM	5-GAL	4" O.C.	4' HT. X 4" SFR.	MED
30		JUNIPERUS SABINA	BUFFALO JUNIFER	5-GAL	4" O.C.	2' HT. X 4" SFR.	LOW
12		LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1-GAL	3" O.C.	3' HT. X 3" SFR.	MED
13		FERROVSKIA ATRIPLOCFOLIA	RUSSIAN SAGE	5-GAL	5" O.C.	4' HT. X 5" SFR.	LOW
34		FENSTEMON FRUTICOSUS	BUSH FENSTEMON	1-GAL	2" O.C.	2' HT. X 2" SFR.	LOW
9		FINUS MUSO	MUGO PINE	5-GAL	5" O.C.	4' HT. X 5" SFR.	MED
2		POLYGONUM ALBERTII	SILVER LACEVINE	1-GAL	20" O.C.	20" SFR.	MED
8		POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	1-GAL	3" O.C.	3' HT. X 3" SFR.	LOW
14		RHUS TRILOBATA	THREE LEAF SUMAC	5-GAL	4" O.C.	4' HT. X 4" SFR.	LOW

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
15		ROSMARINUS OFFICINALIS	UPRIGHT ROSEMARY	1-GAL	4" O.C.	4' HT. X 4" SFR.	LOW
20		SALVIA GREGGII	CHERRY SAGE	5-GAL	3" O.C.	3' HT. X 3" SFR.	MED
ORNAMENTAL GRASSES							
47		CALAMAGROSTIS ACUTIFLORA	CARL FOERSTER	5-GAL	2" O.C.	3' HT. X 2" SFR.	MED
65		NAESELLA TENUISEMA	THREADGRASS	1-GAL	3" O.C.	3' HT. X 3" SFR.	LOW
ACCENTS							
16		OPUNTIA MACROCENTRA	PURPLE PRICKLY PEAR	5-GAL	4" O.C.	3' HT. X 3" SFR.	LOW
3		DASYLIRION WHEELERI	SOTOL	5-GAL	4" O.C.	4' HT. X 4" SFR.	LOW
7		HESPERALOE PARVIFLORA	RED FLOWERING YUCCA	5-GAL	4" O.C.	5' HT. X 4" SFR.	LOW
ACCENT BOULDERS AND GROUND COVERS							
50		MOSS ROCK BOULDERS (3X3" MIN.)					
20,994 SF		1" GRAVEL MULCH, COLOR: BUILDOLGY BROWN (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)					
2,087 SF		2-4" COBBLE MULCH, COLOR: SANTA ANA TAN (4" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)					

*NOTE: ALL PLANT MATERIAL IN LEGEND IS PROPOSED UNLESS NOTED AS "EXISTING TREES TO REMAIN" (FIRST ITEM IN PLANT LEGEND).

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1" BUILDOLGY BROWN GRAVEL MULCH. LANDSCAPE PLANT PALETTE WAS DEVELOPED BASED UPON EXISTING SPECIES ON S

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE LANDSCAPE PLAN FOR THIS SITE EXCLUDES HIGH WATER USE TURF. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE COVERAGE

PLANTING BEDS SHALL HAVE 15% LIVING GROUND COVER AT FULL MATURITY.

LANDSCAPE CALCULATIONS:
GROSS LOT AREA: 155,444 SF (3.56 AC)
BUILDING AREA: -39,100 SF
NET LOT AREA: 115,744 SF

REQUIRED LANDSCAPE (15%): 115,744/15% = 17,362 SF
EXISTING LANDSCAPE: 38,478 SF
PROVIDED NEW LANDSCAPE: 20,646 SF
ON-SITE OFF-SITE/ R.O.W. TOTAL: 21,448 SF (19%)
TOTAL LANDSCAPE AREA: 54,926 SF

PROVIDED ON-SITE LANDSCAPE (LESS USEABLE/ UNPLANTED MULCH AREA EXISTING LANDSCAPE AREAS): 8,121 SF
TOTAL PROVIDED LANDSCAPE BEDS: 11,431 SF
REQUIRED LIVE VEGETATIVE COVER (15%): 8,579 SF
PROVIDED LIVE VEGETATIVE COVER: 8,821 SF

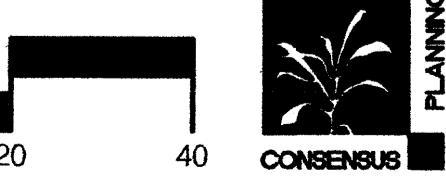
STREET TREES
CARLISLE BLVD - 505' FRONTAGE
REQUIRED - 20 (30' CANOPY TREES)
PROVIDED - 20 (18 EXISTING, 2 NEW)

COMANCHE BLVD - 240' FRONTAGE
REQUIRED - 10 (30' CANOPY TREES)
PROVIDED - 8 (1 EXISTING, 7 NEW)
NEW TREES PROVIDED HAVE A 40' CANOPY

PARKING LOT TREES
ALL EXISTING PARKING LOT TREES ARE TO REMAIN AND CANOPY PROVIDING TREES ARE BEING ADDED TO ALL ISLANDS IN NEW PARKING LOT.



SCALE: 1" = 20'

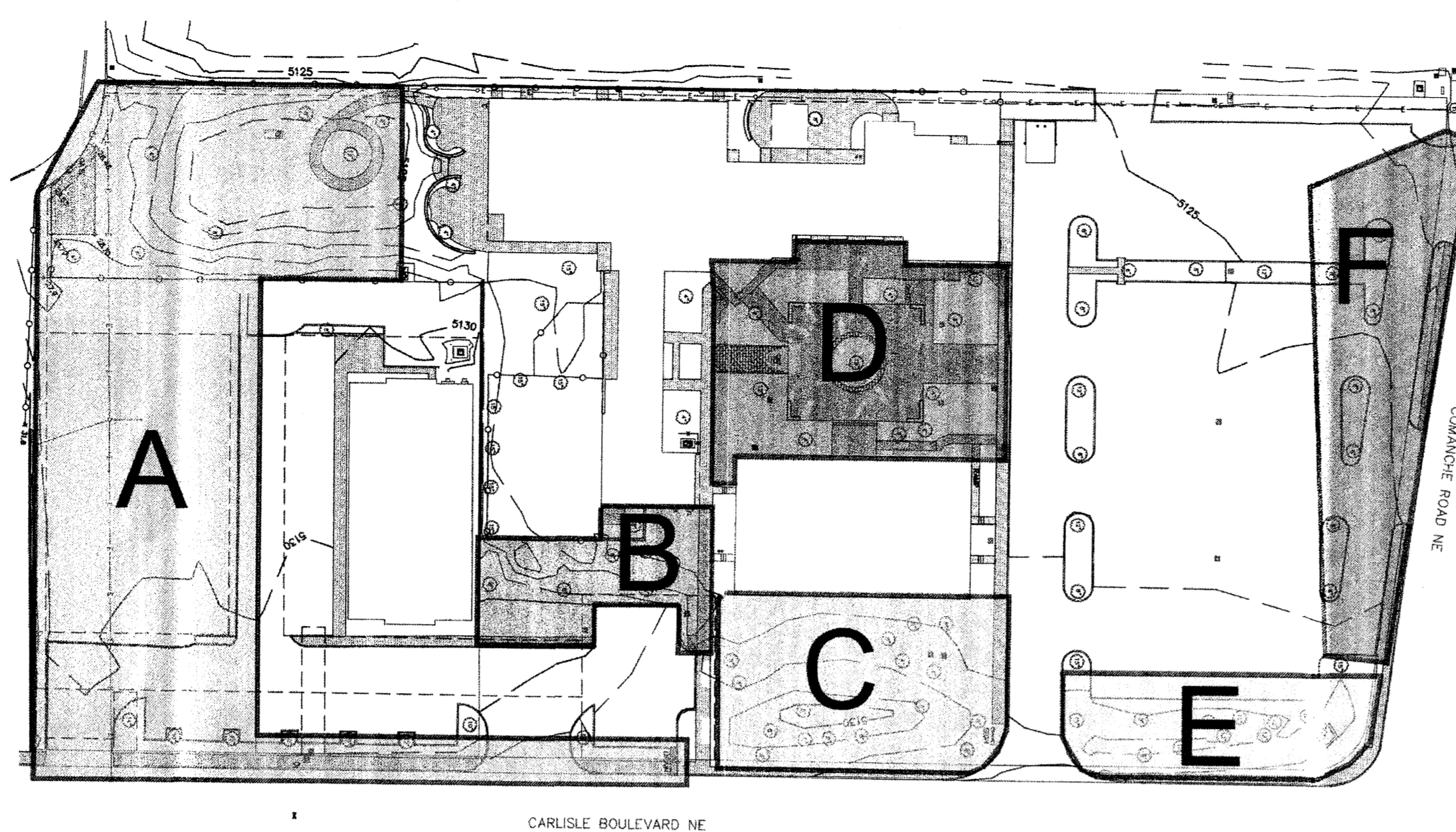


project title
First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110

sheet title
Landscape Plan

EXISTING TREE SPECIES ON SITE

- CHILOPSIS LINEARIS
DESERT WILLOW
- ALBIZIA JULIBRISIN ROSEA
MIMOSA
- VITEX AGNUS-CASTUS
CHASTE TREE
- KOELREUTERIA PANICULATA
GOLDENRAIN TREE
- QUERCUS BUCKLEYI
TEXAS RED OAK
- PNUS NIGRA
AUSTRIAN PINE
- POPULUS FREMONTII
COTTONWOOD
- PRUNUS CERASIFERA
PURPLE LEAF PLUM
- QUERCUS FUSIFORMIS
SOUTHERN LIVE OAK
- PLATANUS ACERIFOLIA
LONDON PLANETREE
- FORESTIERI NEOMEXICANA
NEW MEXICO OLIVE
- PROSOPIS GLANDULOSA
TEXAS MESQUITE
- GLEDITIA TRIACANTHOS
HONEY LOCUST
- FRAXINUS OXYCARPA 'RAYWOOD'
RAYWOOD ASH
- FRAXINUS VELUTINA 'MODESTO'
MODESTO ASH
- MORUS ALBA
MULBERRY



EXISTING SHRUB SPECIES ON SITE

- JUNIPERUS SABINA
BUFFALO JUNIPER
- FALLUGIA PARADOXA
APACHE PLUME
- LAVANDULA ANGSTIFOLIA
ENGLISH LAVENDER
- PEROVSKIA ATRIFLIGIFOLIA
RUSSIAN SAGE
- STACHYS BYZANTINA
LAMBS EAR
- FENSTEMON SPP.
PESTEMON
- FINUS MUGO
MUGO PINE
- ACHILLEA MILLEFOLIUM
YARRON
- HESPERALOE PARVIFLORA
RED YUCCA
- CALAMAGROSTIS ACUTIFLORA
CARL FORESTER
- ERICAMERIA LARICIFOLIA
TURPENTINE BUSH
- FROSTRATE ROSEMARY
ROSEMARY
- BERLANDIERA LYRATA
CHOCOLATE FLOWER
- CALLIRHOE INVOLUCRATA
WINECUPS
- YUCCA RIGIDA
BLUE YUCCA
- CHRYSOETHAMNUS NAUSEOSUS
CHAMISA
- CARYOPTERIS GLANDONENSIS
BLUE MIST SPIREA
- YUCCA BACCATA
BANANA YUCCA
- COTONEASTER APICULATUS
CRANBERRY COTONEASTER
- CAESALPINA GILLESII
BIRD OF PARADISE
- POLYGONUM AUBERTII
SILVER LACE VINE
- BACCHARIS PILULARIS
DWARF COYOTE BUSH
- NASSELLA TENNUSSIMA
MEXICAN THREAD GRASS
- RHUS TRILOBATA
THREE-LEAF SUMAC
- SALVIA GREGGII
CHERRY SAGE



A

EXISTING LANDSCAPE CONDITIONS

CURRENT VACANT AREA ON SOUTH SIDE OF PROPERTY IS PROPOSED TO BECOME A NEW PARKING LOT WITH SHADE TREES, SHRUBS, AND GRAVEL MULCH IN PARKING ISLANDS. A PLANTING BUFFER WILL BE PROVIDED BETWEEN PARKING LOT AND ADJACENT PROPERTY, LOCATED SOUTH OF THE SITE.

EXISTING TREES AND LANDSCAPE ALONG CARLISLE WILL REMAIN IF THOSE TREES ARE NOT INTERFERING WITH THE PROPOSED VEHICLE ENTRY POINTS.

B

EXISTING LANDSCAPE CONDITIONS

THIS AREA IS CURRENTLY AN UNATTRACTIVE AREA OF TRANSITION WITH NOTABLE GRADE CHANGES, UNEVEN WALKING SURFACES AND SCATTERED SHADY LANDSCAPE SHRUBS.

THIS AREA IS TO BE ADDRESSED AS A PRIMARY PEDESTRIAN TRANSITION BETWEEN NEW PARKING LOT AND CHURCH/COMMUNITY BUILDING FACILITIES, PROVIDING A CONCRETE SIDEWALK AND AESTHETIC FORMAL LANDSCAPING TO HIGHLIGHT WALKWAY.

C

EXISTING LANDSCAPE CONDITIONS

THIS WETLAND / WILDLIFE PRESERVE AND TRAIL IS IN EXCELLENT CONDITION AND WILL NOT BE DISTURBED OR REDESIGNED IN ANY WAY DURING THE SITE AND NEW BUILDING RENOVATIONS.

PLANT SPECIES INVENTORY WAS TAKEN FROM THIS AREA TO HELP FORMULATE THE NEW LANDSCAPE PALETTE BEING DEVELOPED FOR THE SITE LANDSCAPE IMPROVEMENTS.

D

EXISTING LANDSCAPE CONDITIONS

THE EXISTING COURTYARD HAS BEEN REFERENCED BY CLIENTS AS THE "HEART" OF THE CHURCH AND COMMUNITY COMPLEX. THE PLAZA INCLUDES A WIDE VARIETY OF MATURE LANDSCAPE SPECIMENS, ALL OF WHICH LEND TO AN ARRAY OF COLORS, TEXTURES AND FORMS.

THE LANDSCAPE IN THIS AREA WILL NOT BE DISTURBED DURING THE CONSTRUCTION PROCESS OF ADJACENT BUILDING AND PARKING LOT. AN INVENTORY OF THE EXISTING PLANTING MATERIALS IN THE PLAZA WAS MADE AND PROVIDED A BASIS FOR PROPOSED PLANTING MATERIALS FOR THE NEW LANDSCAPE ARCHITECTURAL IMPROVEMENTS OCCURRING ON THE SITE.

E

EXISTING LANDSCAPE CONDITIONS

THE LANDSCAPE ALONG CARLISLE NEAR THE INTERSECTION OF COMANCHE/CARLISLE IS MADE UP OF DENSE EVERGREEN TREES AND MOUNDING BERMS OF EARTH TO CREATE A STRONG BUFFER FROM NOISE AND VIEWS OF THE BUSY ADJACENT STREET. IT IS PROPOSED THAT THE EVERGREEN TREES WILL BE REMOVED TO PROVIDE VIEWS ALONG THE STREET TO ACCESS VIEWS TO THE SANDIA MOUNTAINS FROM THE NEW BUILDING.

ALL EXISTING DECIDUOUS TREES ARE TO REMAIN AND BE PRUNED TO ENHANCE VIEW CORRIDORS TO THE EAST. ALL SHRUBS AND MULCH ARE TO BE REPLACED WITH NEW LANDSCAPE MATERIALS TO PROVIDE A UNIFORM DESIGN ON THE SITE.

F

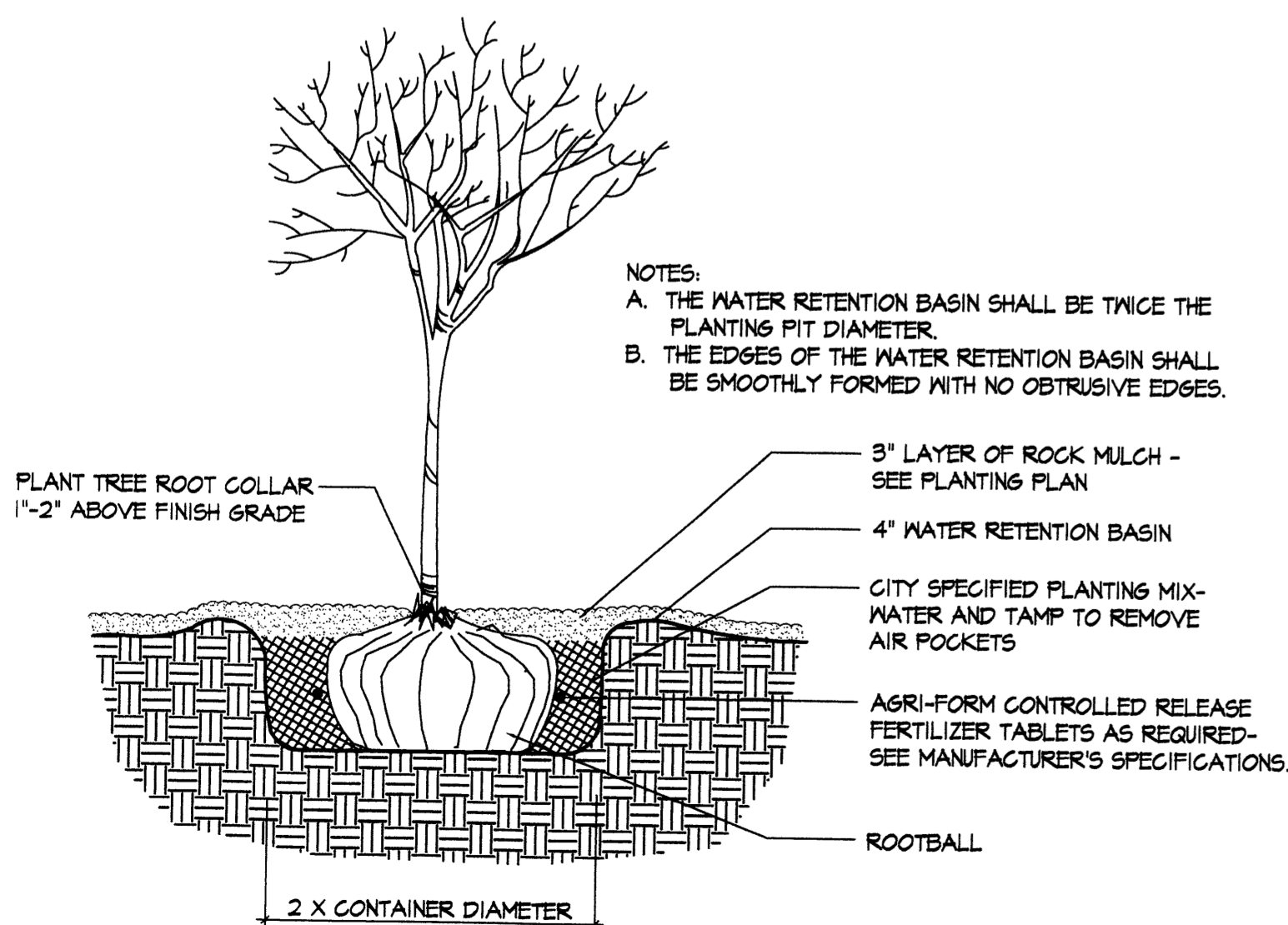
EXISTING LANDSCAPE CONDITIONS

THE LANDSCAPE ALONG THE COMANCHE IS MINIMAL AND INCLUDES ONLY A GRAVEL MULCH GROUND COVER. CURRENTLY THERE ARE NO EXISTING TREES OR SHRUBS.

CANOPY PROVIDING TREES AND LARGE SHRUBS WILL BE PLANTED ALONG THE FRONTAGE LANDSCAPE ISLANDS TO PROVIDE A BUFFER BETWEEN THE NOISY STREET AND THE NEW BUILDING/GARDEN AREA.

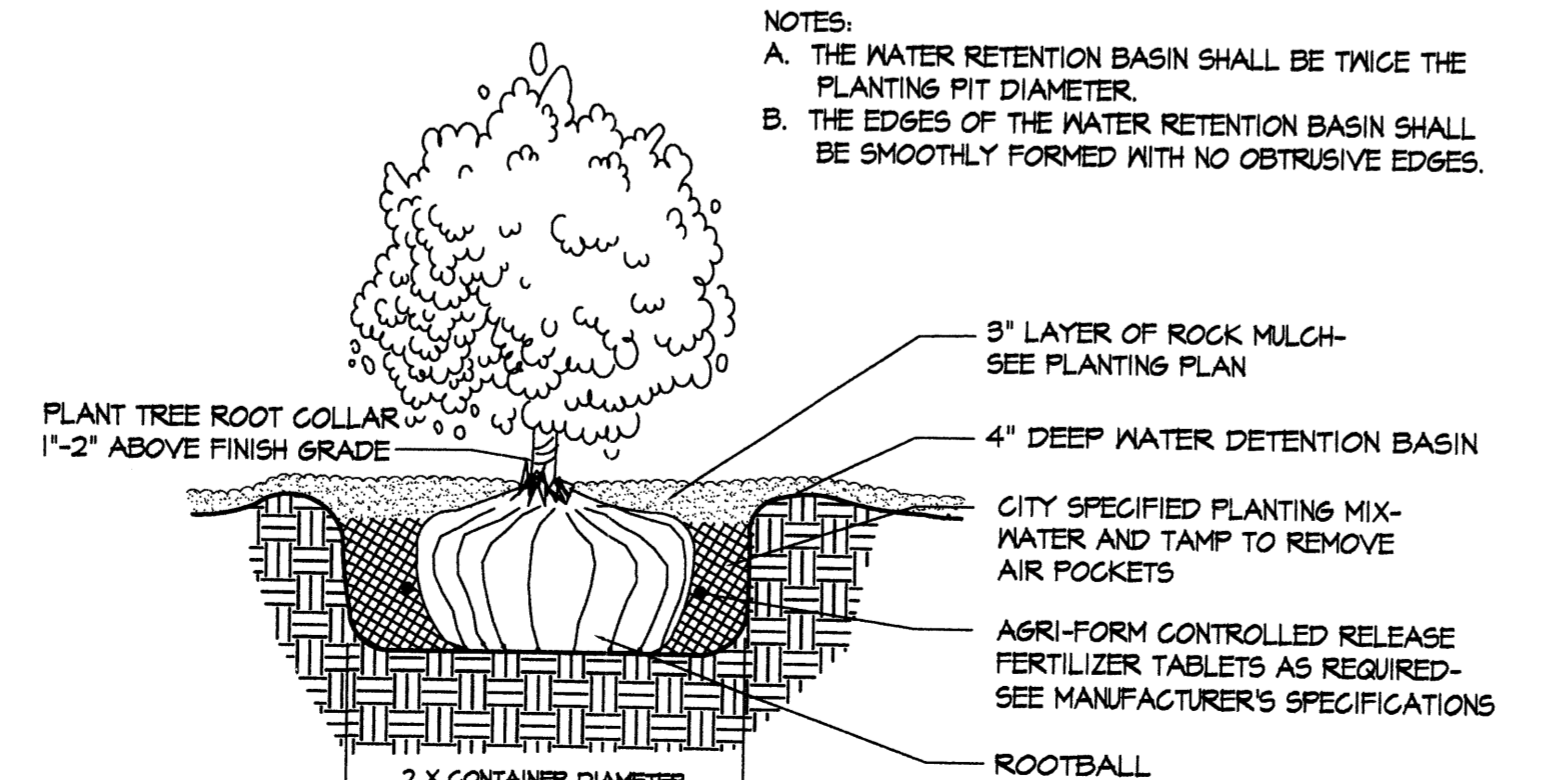
IN ADDITION TO THE FRONTAGE ROAD, PLANTING IMPROVEMENTS WILL OCCUR IN THE LANDSCAPE ISLANDS WITHIN THE PARKING LOT. ALL TREES THAT ARE BEING REMOVED DUE TO NEW CONSTRUCTION, WILL BE REPLACED WITH NEW SHADE TREES TO MAINTAIN THE EXISTING CANOPY COVERAGE ON THE PARKING LOT.

EXISTING LANDSCAPE CONDITIONS



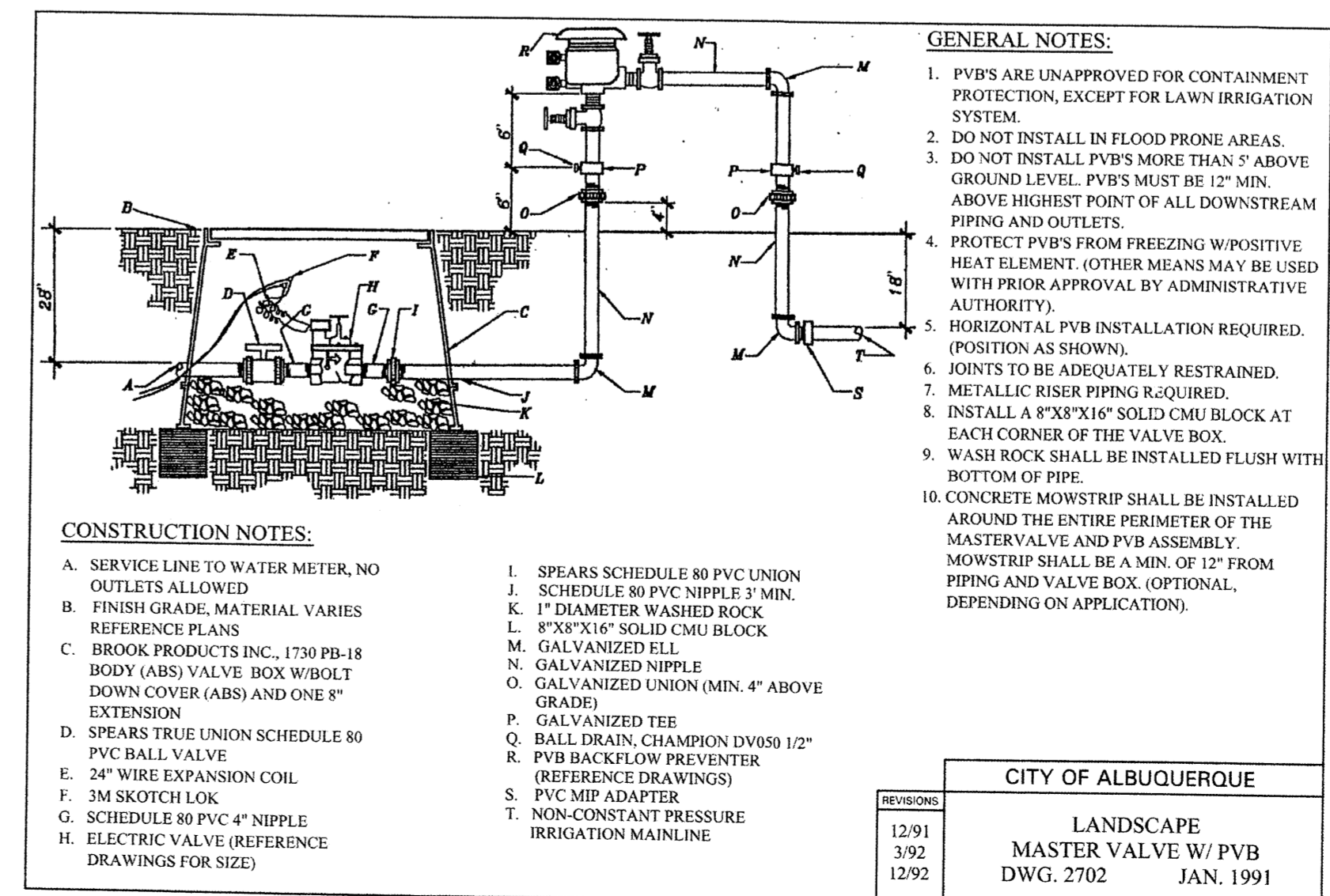
2 TREE PLANTING @ GRADE

N.T.S.



3 SHRUB PLANTING @ GRADE

N.T.S.



4 IRRIGATION MASTER VALVE W/PVB

N.T.S.

revision		PER PLANNING DEPT. REVIEW
by		
date	08/22/11	
rev	△ △ △ △ △	

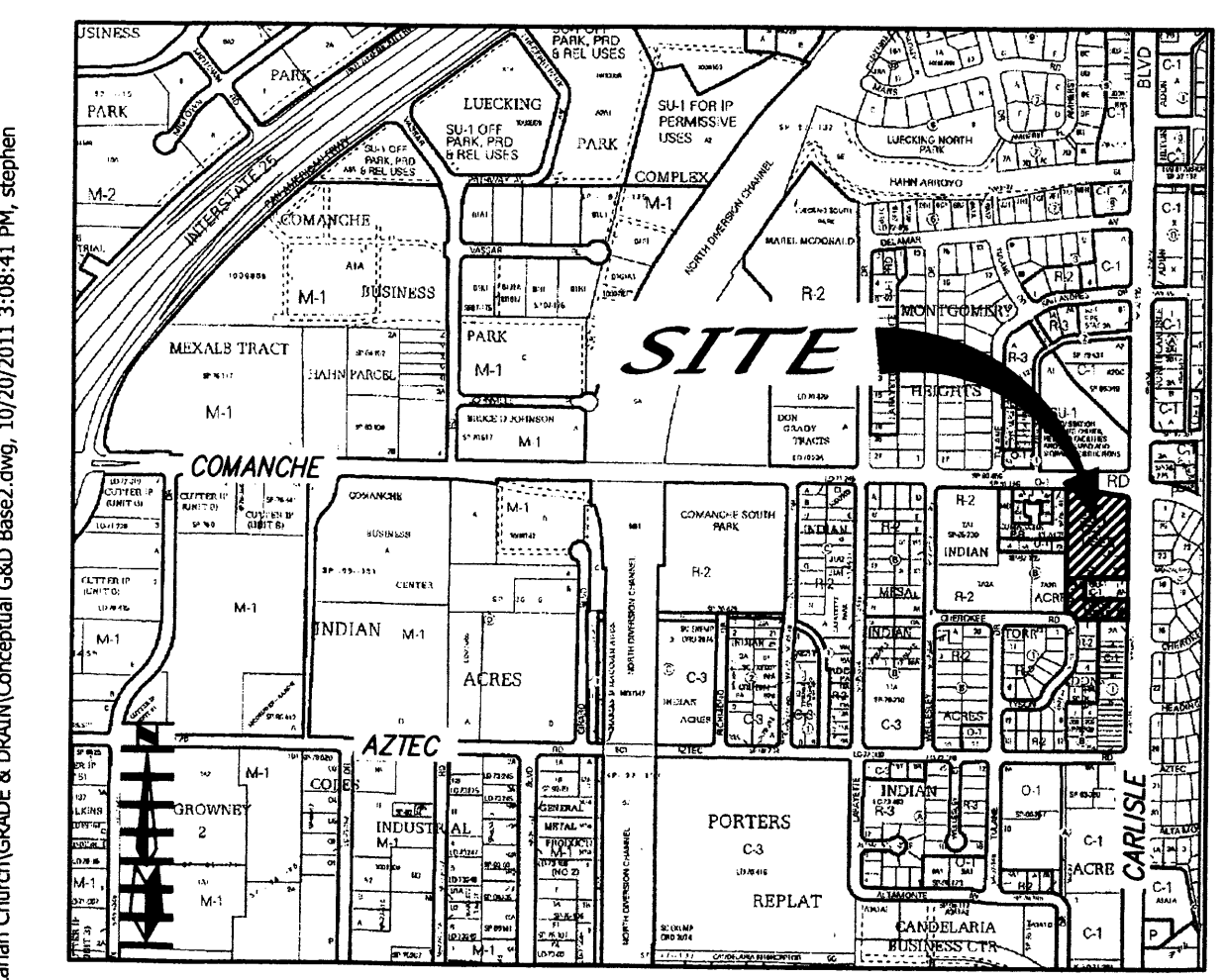
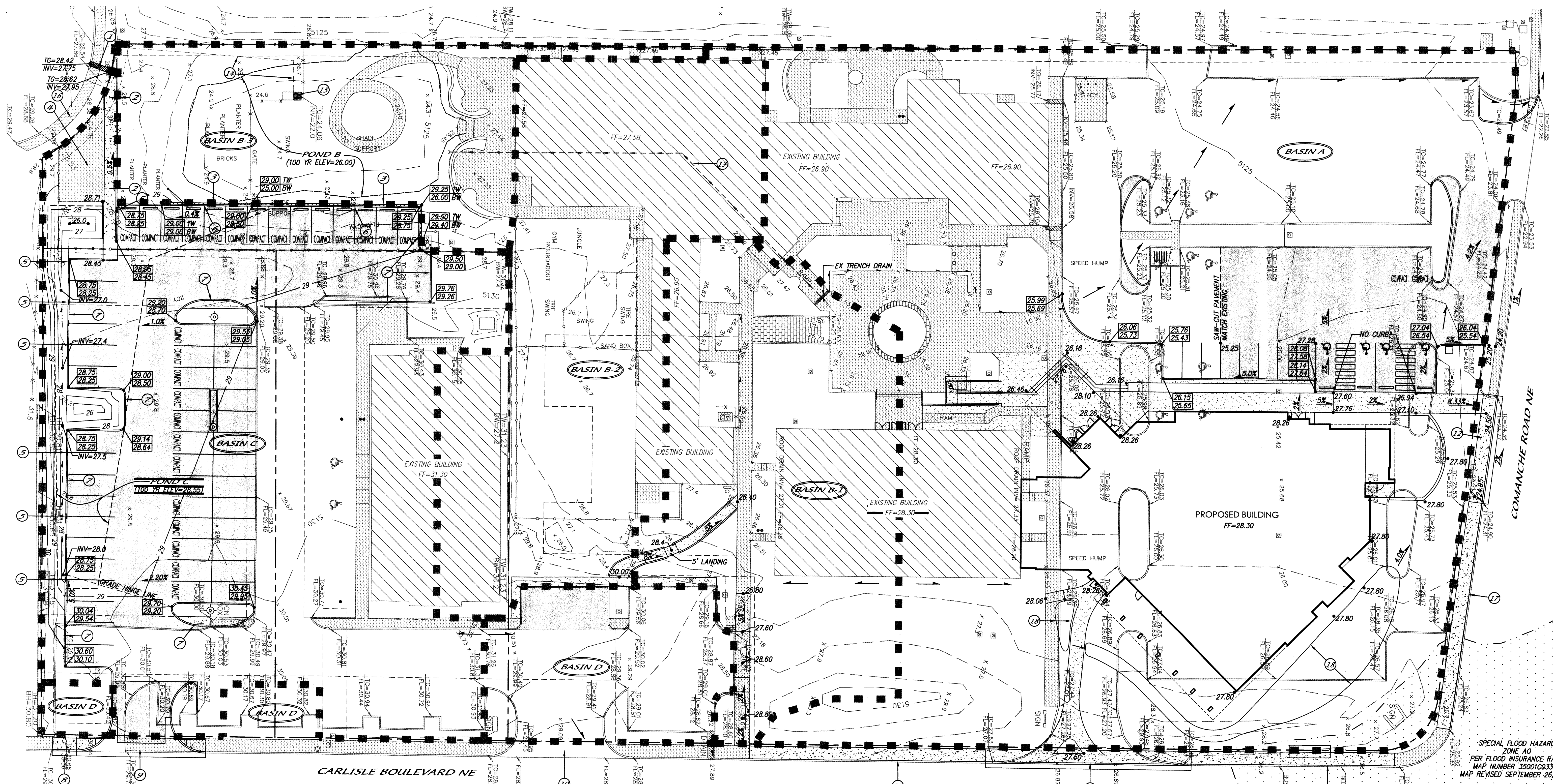
MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144(p)
505 268 4244 (f)

CONCEPTUAL DRAWINGS

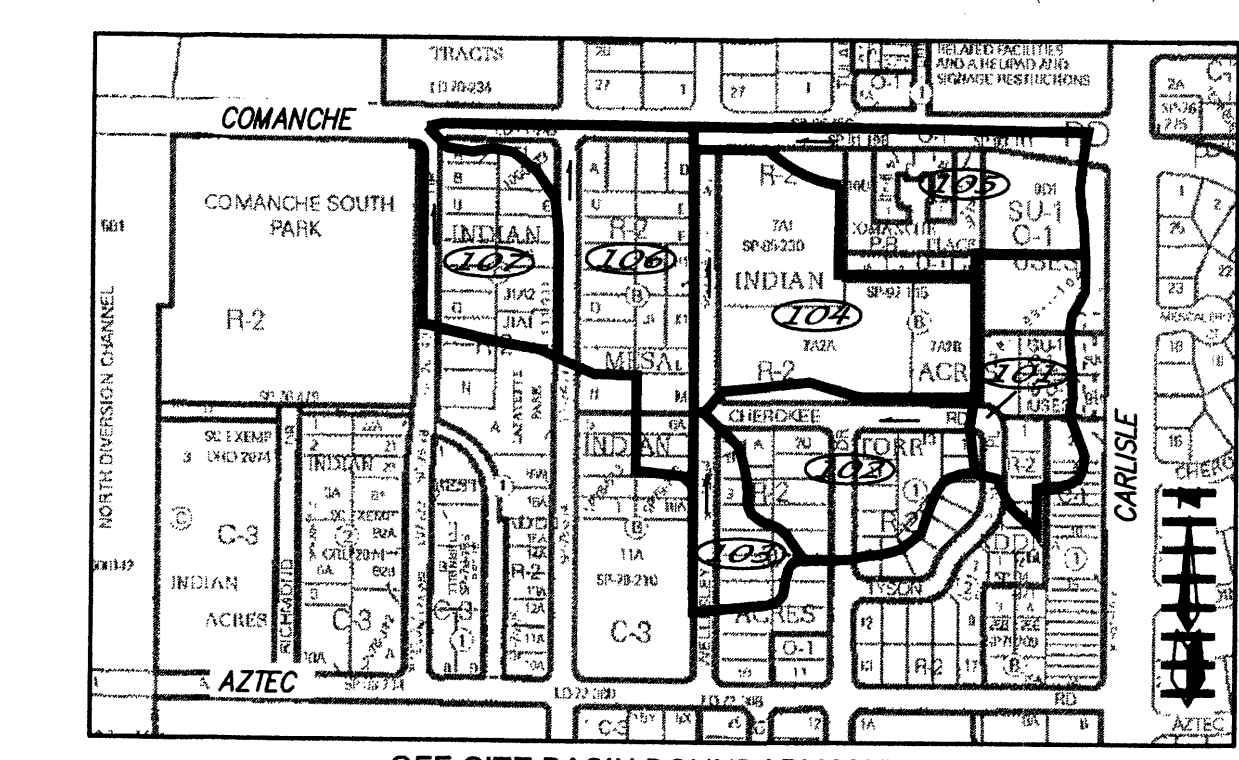
job number	11-09	VGLC
drawn by		Doug Heller, AIA
project manager		
date	7/28/2011	

project title
First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110
sheet title
Landscape Details

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com



VICINITY MAP ZONE ATLAS: G-16-Z



OFF-SITE BASIN BOUNDARY MAP

LEGAL DESCRIPTION
 BEING ALL OF TRACT-D1, BLOCK B, INDIAN ACRES SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 2ND, 1999 IN MAP BOOK 99C, PAGE 131. TOGETHER WITH ALL OF LOT 8-B, BLOCK B, INDIAN ACRES SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 9TH, 1986 IN MAP BOOK 86C, PAGE C30-137, FOR A TOTAL AREA OF 3.54 AC.

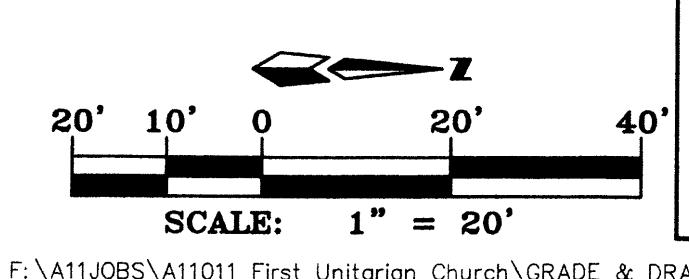
THIS PLAN IS CONCEPTUAL ONLY NOT FOR CONSTRUCTION

LEGEND

	EXISTING CONCRETE CURB		EXISTING GAS VALVE
	EXISTING CONCRETE/SIDEWALK		EXISTING WATER VALVE
	EXISTING WALL OR HEAD WALL		EXISTING FIRE HYDRANT
	EXISTING TOP CURB		EXISTING WATER METER
	EXISTING FLOWLINE		EXISTING WOOD FENCE
	EXISTING SPOT ELEV		EXISTING SPRINKLER CONTROL
	EXISTING AIR CONDITIONING		EXISTING HANDICAPPED
	EXISTING BIKE RACK		EXISTING BUS BENCH
	EXISTING BOLLARD		EXISTING TRASH CAN
	EXISTING CLEANOUT		NEW RETAINING WALL
	EXISTING DROP INLET		NEW CURB & GUTTER
	EXISTING ELECTRIC SERVICE/TRANSFORMER		NEW HEADER CURB & GUTTER
	EXISTING GUY WIRE		NEW FLOW DIRECTION ARROW
	EXISTING OVERHEAD ELECTRIC		NEW SPOT ELEVATION
	EXISTING POWER POLE		NEW TOP OF WALL ELEVATION
	EXISTING SIGN		NEW BOTTOM OF WALL ELEVATION
	EXISTING LIGHT POLE		NEW INVERT ELEVATION
	EXISTING PULLBOX		NEW FINISHED PAD ELEVATION
	EXISTING TREE/DIAMETER		NEW CONTOUR MINOR
	EXISTING TELEPHONE PEDESTAL		NEW CONTOUR MAJOR
	EXISTING CONTOUR (MAJOR)		NEW DRAINAGE BASIN BOUNDARY
	EXISTING CONTOUR (MINOR)		NEW DRAINAGE BASIN ID
	EXISTING CHAINLINK FENCE		
	EXISTING FLOOD ZONE LINE		

- 1 NEW 2' WIDE SIDEWALK CULVERT POND C Q100=2.25 cfs
- 2 NEW 5' WIDE CONCRETE WALK/DRAINAGE CHANNEL PER C.O.A. STD. DWG #2260 WITH 6" HIGH WALLS
- 3 NEW RETAINING WALL
- 4 EXISTING CONCRETE SLAB TO REMAIN
- 5 NEW 2' WIDE CURB OPENINGS CENTERED ON STRIPE (TYPICAL)
- 6 NEW MEDIAN CURB & GUTTER
- 7 NEW HEADER CURB & GUTTER
- 8 10 LF OF NEW STANDARD CURB & GUTTER AND 5' SIDEWALK PER C.O.A. STD. DWG #2415A & #2430 RESPECTIVELY.
- 9 NEW 24' WIDE PRIVATE DRIVE PAD PER C.O.A. STD. DWG #2426 (RIGHT IN & RIGHT OUT ONLY)
- 10 EXISTING DRIVE PAD WITH MEDIAN BREAK AND LEFT TURN LANE
- 11 86 LF OF NEW STANDARD CURB & GUTTER & 5'-6" SIDEWALK PER C.O.A. STD. DWG #2415A & #2430 RESPECTIVELY.
- 12 45 LF OF NEW STANDARD CURB & GUTTER & 5'-6" SIDEWALK PER C.O.A. STD. DWG #2415A & #2430 RESPECTIVELY.
- 13 EXISTING 4" D.I.P. @ 0.5% (Q CAPACITY=0.12 cfs)
- 14 EXISTING 2" STORM FORCE MAIN POND B Q100=0.23 cfs
- 15 EXISTING 100 gpm PUMP
- 16 EXISTING 4' SIDEWALK & DRIVE PAD
- 17 REMOVE EXISTING SIDEWALK AND REPLACE WITH NEW 5'-6" WIDE CONCRETE SIDEWALK ALONG CARLISLE AND COMANCHE BOULEVARD AS SHOWN.
- 18 WATER HARVESTING POND WITH OVER FLOW TO NORTH. THERE WILL BE NO DRAINAGE TO CARLISLE.

SEE DRAINAGE MANAGEMENT PLAN AND SUMMARY ON SHEET 6



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revision by date rev

MH
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job number A11011
 drawn by DER
 project manager Doug Hughes, DMG
 date 7/13/2011

10-20-2011

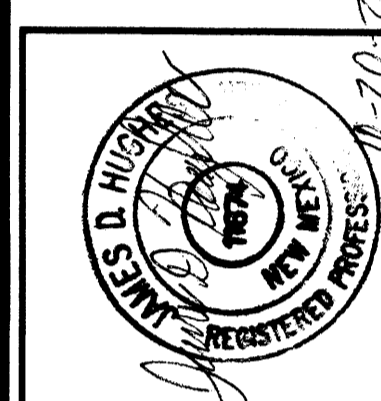
project title First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE Albuquerque, New Mexico 87110
 sheet title Grading & Drainage Plan
 sheet 5 OF 11

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by
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rev



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505 268 4244 [f]



job number: A11011
drawn by: DER
project manager: Doug Hughes, DMG
date: 7/13/2011

project title: First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110
sheet title: Grading & Drainage Plan

Summary of Hydrology Table

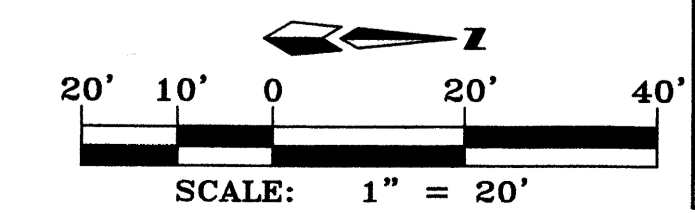
Figure A-1 shows Zone 2

Table A-9 Q ₁₀₀		1.56	2.28	3.14	4.70						
BASIN ID #	AREA (AC)	Land treatment (%)				Q ₁₀₀ (CFS)	Cum. Q ₁₀₀ (CFS)	Street Width F-F	Slope %	Street name	Capacity (CFS)
		A	B	C	D						
101	3.30		15%	15%	70%	13.54	13.54	40'	2.4%	Cherokee Rd.	36
102	4.50		15%	15%	70%	18.46	32.00	40'	2.9%	Cherokee Rd.	33
103	1.70		15%	15%	70%	6.98	38.98	32'	0.5%	Wellesly Dr.	44
104	6.30		15%	15%	70%	25.85	64.83	32'	0.5%	Wellesly Dr.	44
105	5.10		10%	10%	80%	21.94	86.77				
106	6.00		10%	10%	80%	25.81	112.58				
107	3.30		15%	15%	70%	13.54	126.12				
Onsite Pre - Development											
A	1.77		18%		82%	7.55	7.55				
B1	0.37		51%		49%	1.28	8.71				
B2	0.53		60%		40%	1.72	1.72				
B3	0.27		88%		12%	0.69	2.54				
C	0.89		11%	44%	45%	3.34	3.57				
D	0.16		15%		85%	0.89	0.89				
						Total Pre-developmet, on-site, 100-YR flow				12.97	
Onsite Post - Development											
A	1.77		12%	15%	73%	7.39	7.39				
B1	0.37		51%		49%	1.28	8.56				
B2	0.53		60%		40%	1.72	1.72				
B3	0.27		88%		12%	0.69	2.54				
C	0.89		11%	3%	86%	3.90	2.48				
D	0.16		15%		85%	0.69	0.69				
						Total Post-developmet, on-site, 100-YR flow				11.73	
Notes: 1) the 4" pipe capacity is based on Manning's Equation where n=0.013 and Slope=0.4%											
2) Pond C weir calculations use a weir coefficient of 2.7, a crest elevation of 28.25, and a 5' wide channel at the SW corner of the parking lot.											

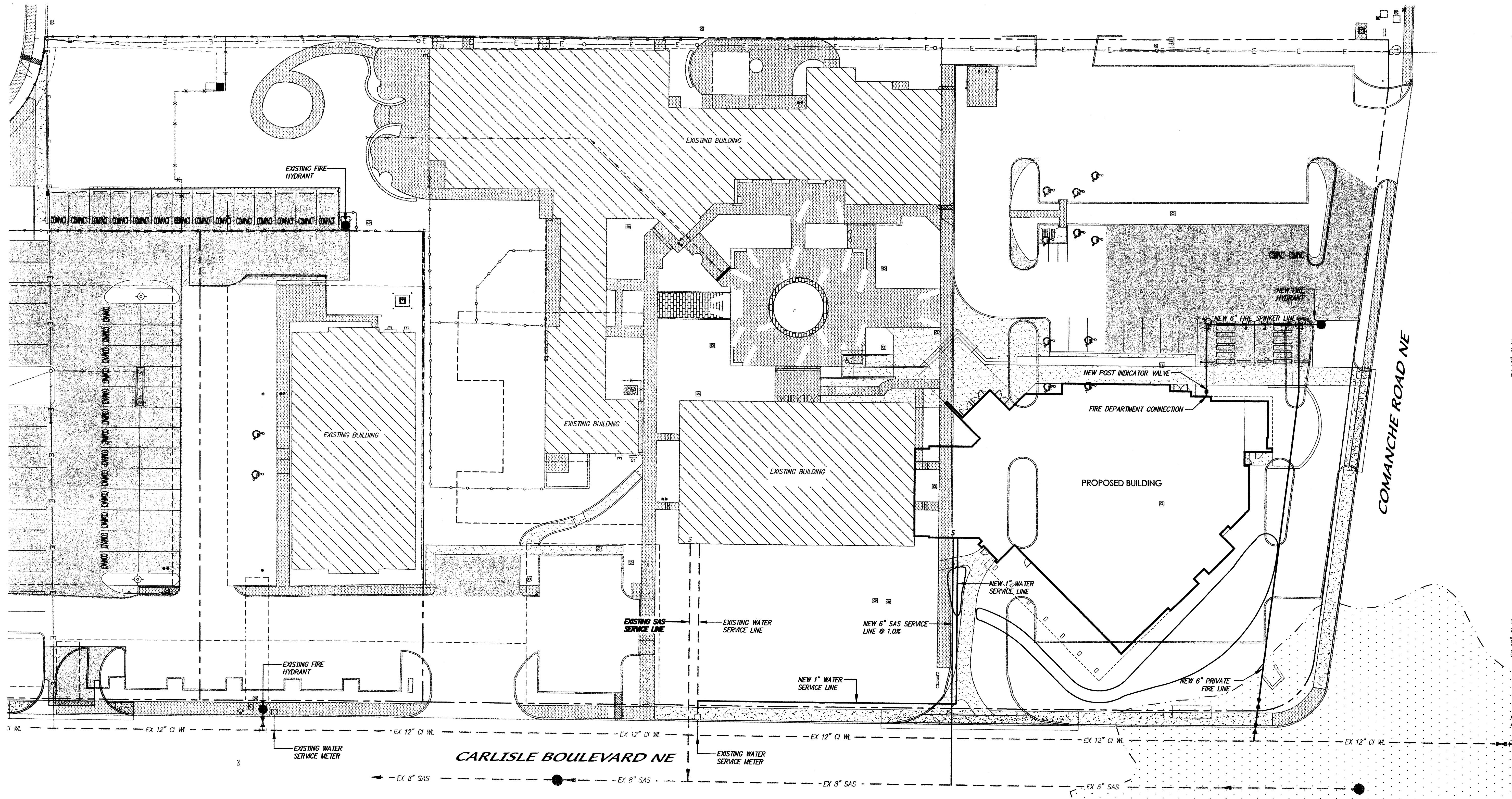
Drainage Management Plan - The streets adjacent to this site have adequate capacity to convey Pre-development and Post-development peak 100 year storm water runoff from this 3.54 acre site. This project will reduce the 100 year peak rate of storm water runoff from this site. The discharge from the northwest corner of the site will be reduced from 8.71 cfs pre-development to 8.55 cfs post-development by reducing the impervious cover in the north half of the site by 0.16 acres and replacing it with landscaping. The discharge from the southwest corner of the site will be reduced from 3.57 cfs pre-development to 2.48 cfs post-development by constructing a pond to receive storm water runoff from the new parking lot as necessary to satisfy LEED Stormwater Quality and Quantity requirement

Grading Information - Generally the existing site is flat with slopes from east to west ranging from 0.5% to 2%. Proposed grades are about the same as existing grades with a maximum fill of 2' at the northwest entrance into the proposed building and a maximum cut of 2' at the south edge of the south parking lot. New ponding is being added along the south edge of the south parking lot, existing ponding in the southwest corner of the site will remain unchanged by this project.

Drainage Research - This drainage plan accounts for drainage from Lot 6-A, Block 8 of the Indian Acres Subdivision, 0.44 acres, which is the only off-site area draining into this site. A drainage plan by Jeff Mortenson & Associates with Drainage Certification date 4/26/2000 incorrectly assumed that most of the drainage from Lots 6-A and 6-B drains either into Carlisle Blvd. or into the pond on lot 8-C. The survey by Aldrich Land surveying for the current 2011 project shows that all the area drains to Cherokee Road instead. So the flows into Carlisle Blvd. and the pond on lot 8-C are significantly less than the 2000 plan called for. This drainage plan assumes that the pump identified in the 2000 plan (100 gpm) is in place and will continue to function. This drainage plan has verified that the existing pond volume, which is considerably smaller than that shown on the 2000 plan, is adequate to serve the area draining to it, which is also considerably smaller than that shown on the 2000 plan.

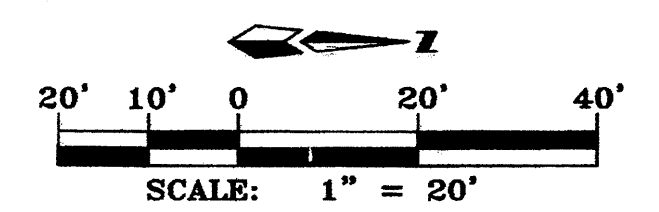


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LEGEND

○	EXISTING UTILITY POLE	⊠	EXISTING LIGHT POST
—E—E—E—	EXISTING OVERHEAD UTILITY LINES	□	EXISTING PULL BOX
○	EXISTING BOLLARD	—	EXISTING GUY WIRE
▨	EXISTING CONCRETE/SIDEWALK	+	EXISTING SIGN
●	EXISTING FIRE HYDRANT	---	EXISTING SANITARY SEWER LINE
⊕	EXISTING WATER VALVE	---	EXISTING WATERLINE
⊕	EXISTING WATER METER	---	NEW SANITARY SEWER LINE
⊕	EXISTING SANITARY SEWER MANHOLE	---	NEW WATERLINE
⊕	EXISTING ELECTRIC SERVICE/PEDESTAL	---	NEW FIRE HYDRANT
⊕	EXISTING TELEPHONE PEDESTAL	---	NEW SANITARY SERVICE LINE

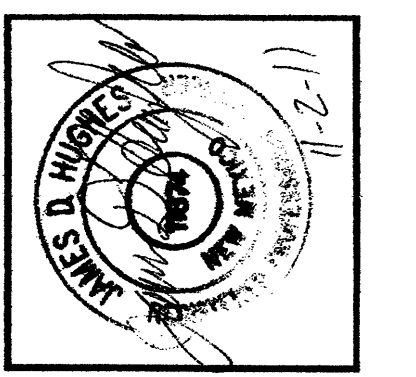


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revision	
by	
date	
rev	△△△△△



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job number	A11011
drawn by	DBR
project manager	Doug Hughes, DMG
date	7/19/2011

project title
First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE
 Albuquerque, New Mexico 87110

sheet title
Utility Plan

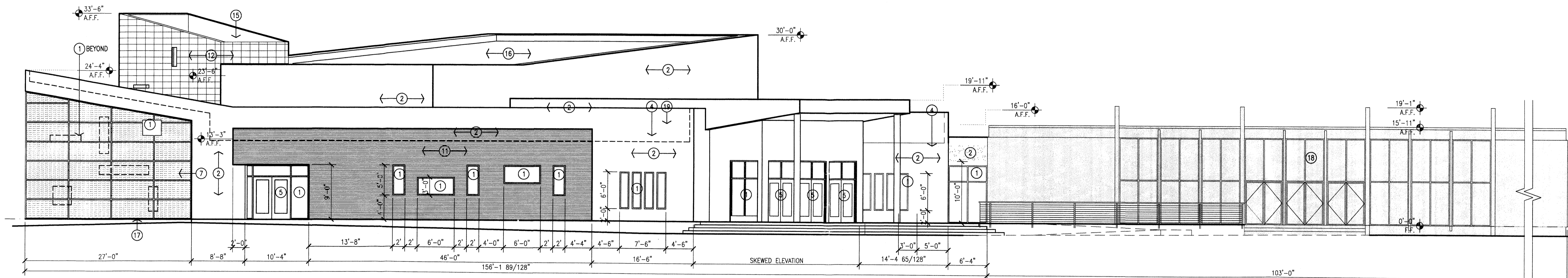
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GENERAL NOTE
 A. ALL HEIGHTS ARE RELATIVE TO 0'-0" FINISH FLOOR.
 B. ALL EXTERIOR BUILDING COLORS WILL BE COMPATIBLE WITH EXISTING CAMPUS.

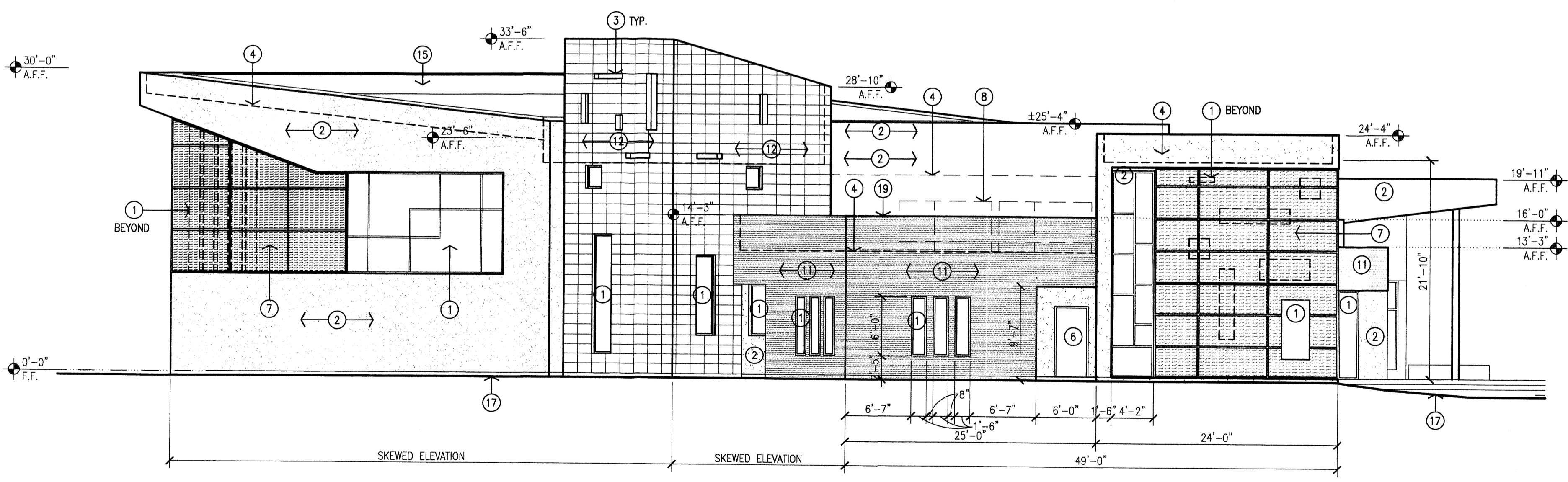
- KEYED NOTES:
 [1] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING.
 [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: MEDIUM TAN/RED.
 [3] OPENING IN PARAPET.
 [4] LINE OF ROOF BEYOND.
 [5] CLEAR ANODIZED ALUMINUM STOREFRONT DOOR.
 [6] INSULATED HOLLOW METAL DOOR, PAINT TO MATCH STUCCO.
 [7] PLATE METAL SHADE PANEL HELD OFF STUCCO EXTERIOR.
 [8] APPROXIMATE LOCATION OF ROOFTOP EQUIPMENT.
 [9] STUCCO WING WALL. COLOR: MEDIUM TAN/RED.
 [10] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH SEMI-TRANSLUCENT WHITE GLAZING.
 [11] FACE BRICK CLADDING, COLOR TO MATCH EXISTING SANCTUARY.
 [12] NATURAL STONE CLADDING, COLOR: DARK TAN/BROWN
 [13] PARAPET BEYOND.
 [14] WOOD SOFFIT PANELS.
 [15] TPO ROOF SYSTEM.
 [16] NOT USED.
 [17] NEW FINISH GRADE, SEE CIVIL.
 [18] EXISTING SANCTUARY TO REMAIN AS NEW SOCIAL HALL.
 [19] LINE OF PARAPETS TO SHIELD MECHANICAL UNITS.

revision		Per COA-Notice of Decision.
by	mms	Per Planning Dept. Review
date	9/26/11	
rev	△ △ △ △ △	8/22/11

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1 West Elevation
 1/8" = 1'-0"



2 North Elevation
 1/8" = 1'-0"

job number	11-09
drawn by	VGLC
project manager	Doug Heller, AIA.
date	7/28/2011

project title
First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE
 Albuquerque, New Mexico 87110
 sheet title
Exterior Elevations

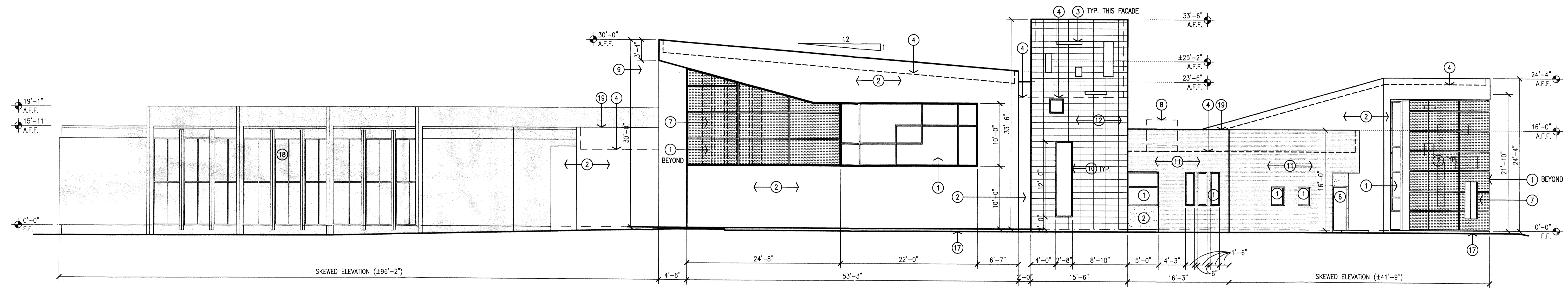
GENERAL NOTE
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KEYED NOTES:
 [1] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING.
 [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: MEDIUM TAN/RED.
 [3] OPENING IN PARAPET.
 [4] LINE OF ROOF BEYOND.
 [5] CLEAR ANODIZED ALUMINUM STOREFRONT DOOR.
 [6] INSULATED HOLLOW METAL DOOR. PAINT TO MATCH STUCCO.
 [7] PLATE METAL SHADE PANEL HELD OFF STUCCO EXTERIOR.
 [8] APPROXIMATE LOCATION OF ROOFTOP EQUIPMENT.
 [9] STUCCO WING WALL. COLOR: MEDIUM TAN/RED.
 [10] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH SEMI-TRANSLUCENT WHITE GLAZING.
 [11] FACE BRICK CLADDING. COLOR TO MATCH EXISTING SANCTUARY.
 [12] NATURAL STONE CLADDING. COLOR: DARK TAN/BROWN
 [13] PARAPET BEYOND.
 [14] WOOD SOFFIT PANELS.
 [15] TPO ROOF SYSTEM.
 [16] NOT USED.
 [17] NEW FINISH GRADE. SEE CIVIL.
 [18] EXISTING SANCTUARY TO REMAIN AS NEW SOCIAL HALL.
 [19] LINE OF PARAPETS TO SHIELD MECHANICAL UNITS.

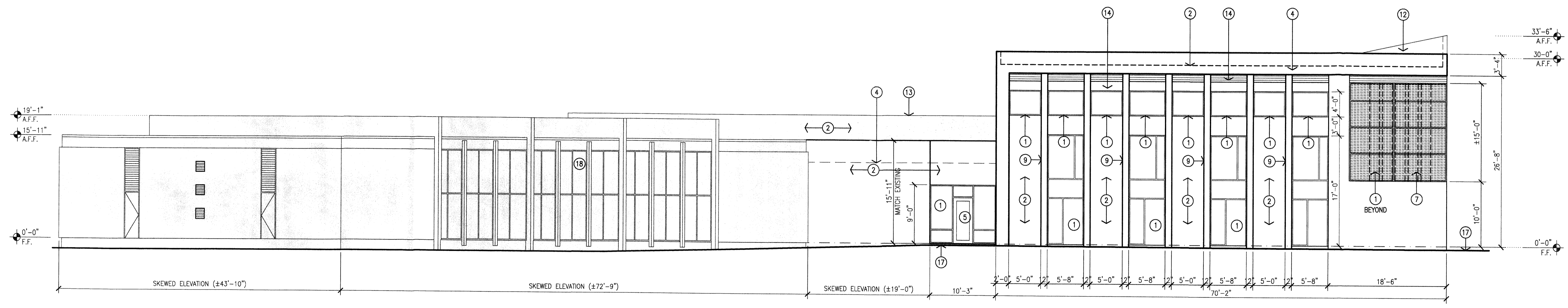
revision		Per COA-Notice of Decision.
by	rms	Per Planning Dept. Review
date	9/26/11	
rev	△	

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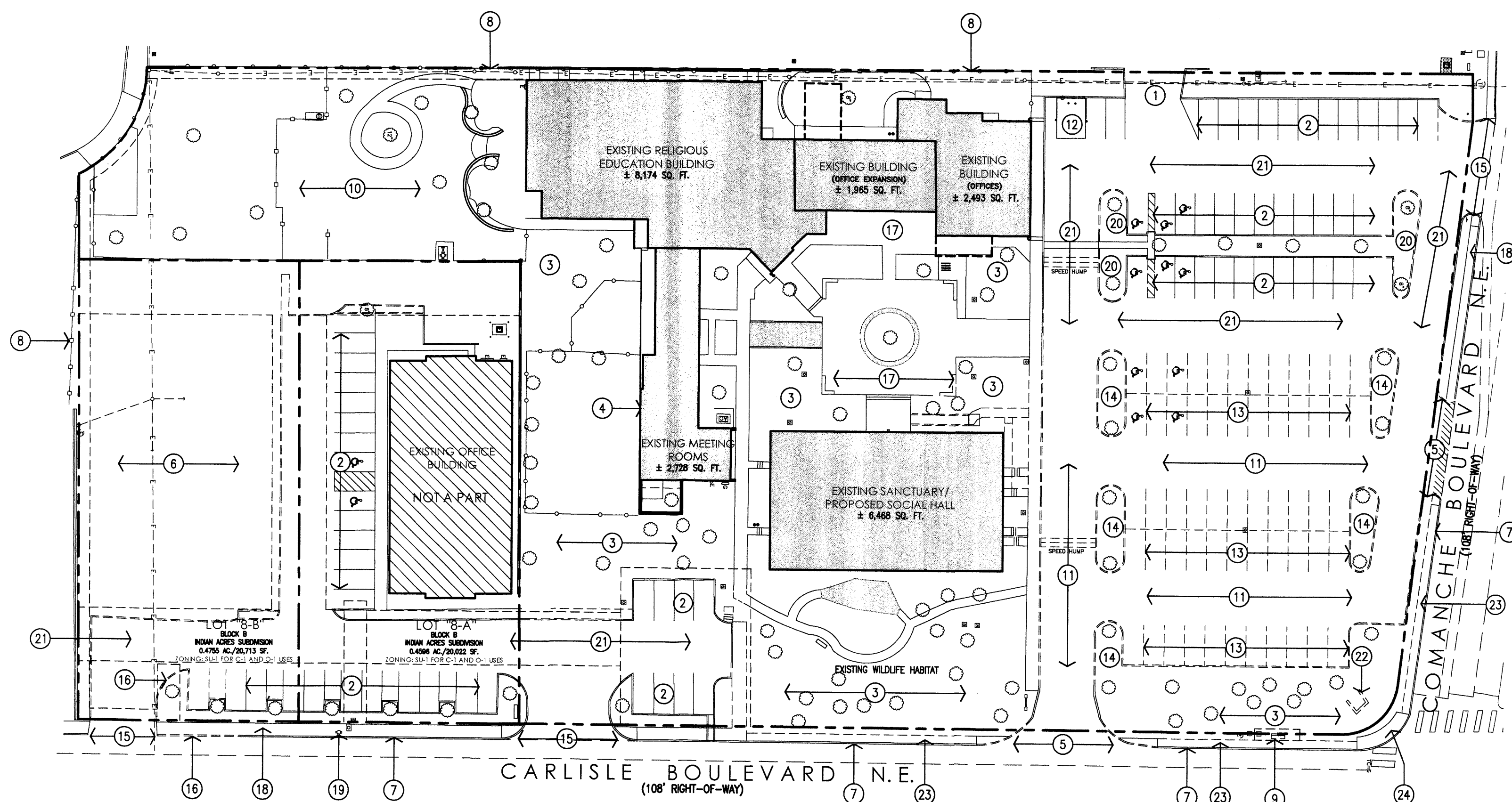
1 Northeast Elevation
 1/8" = 1'-0"



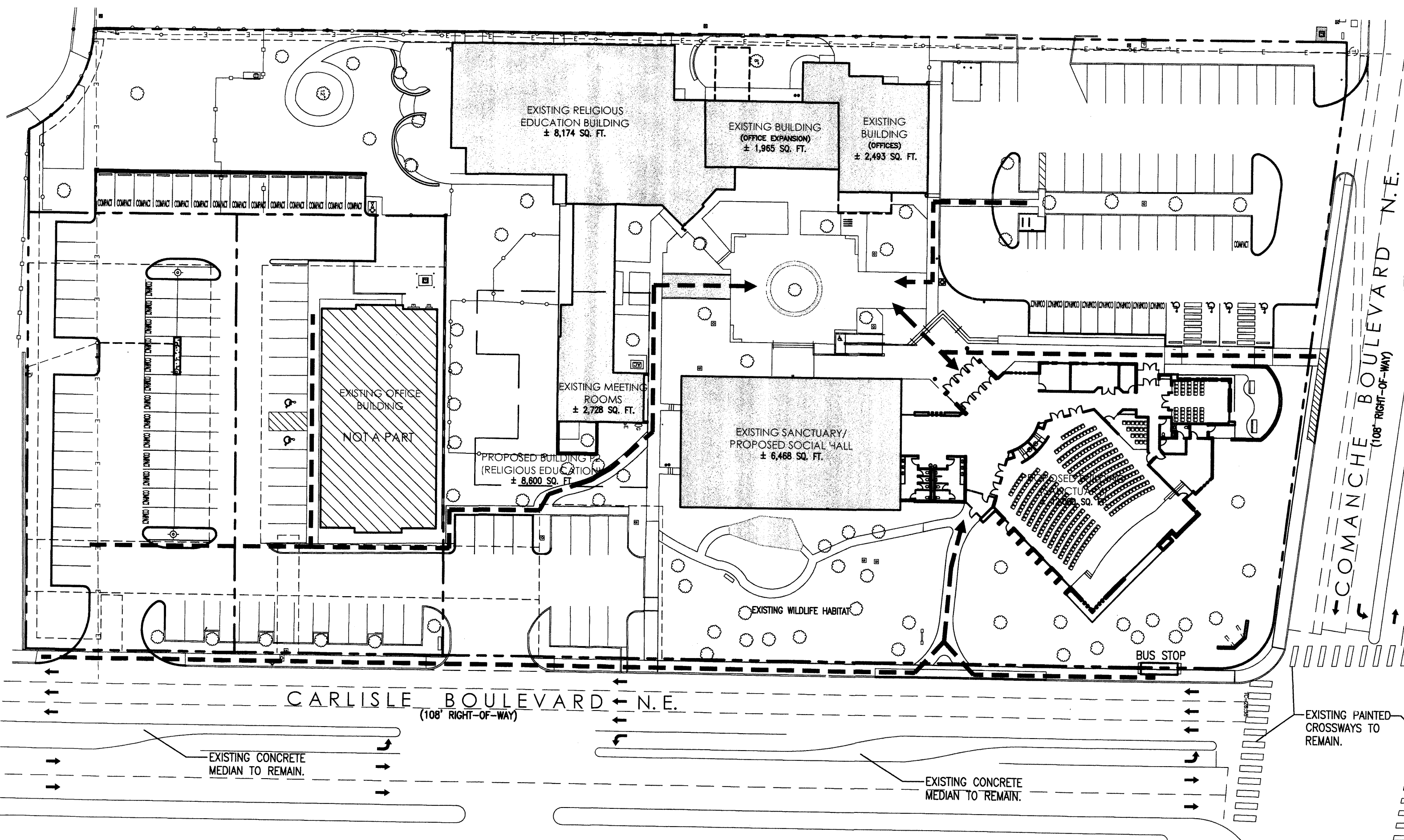
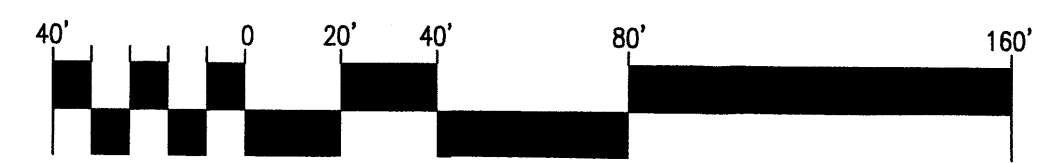
2 Southeast Elevation
 1/8" = 1'-0"

project title
First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE
 Albuquerque, New Mexico 87110

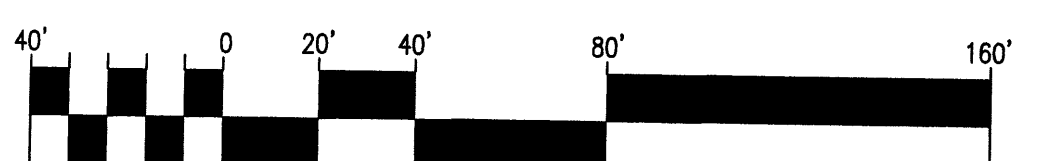
sheet title
Exterior Elevations



1 Existing Site Plan with Demolition
Scale: 1"=40'-0"

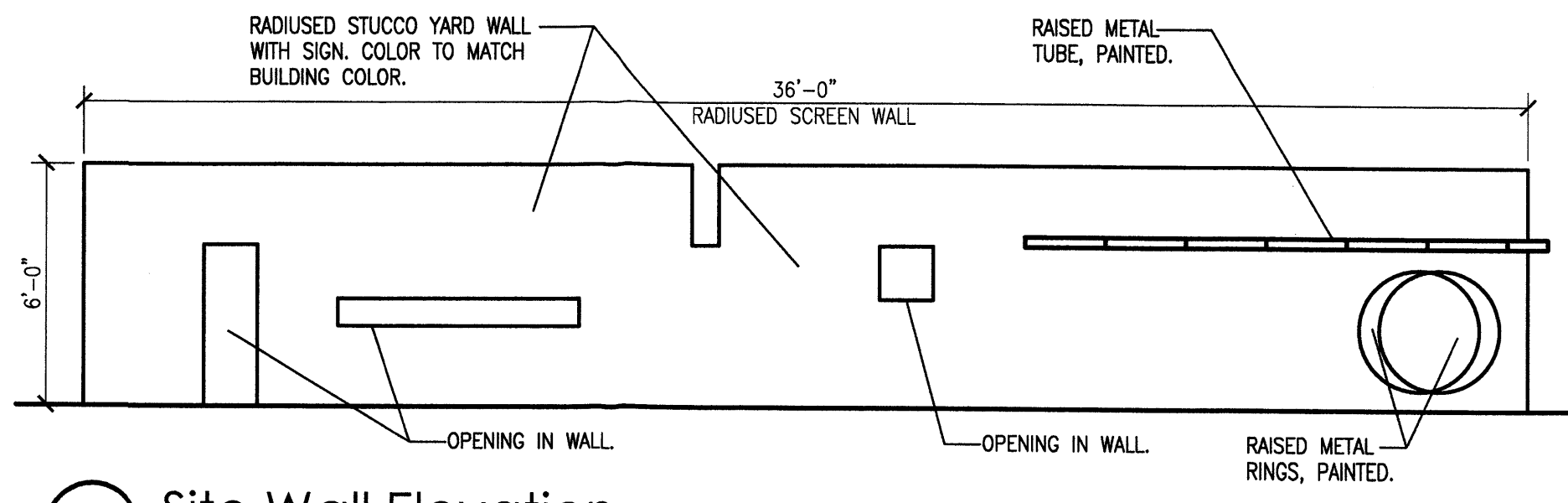


2 Parking & Circulation Plan
Scale: 1"=40'-0"

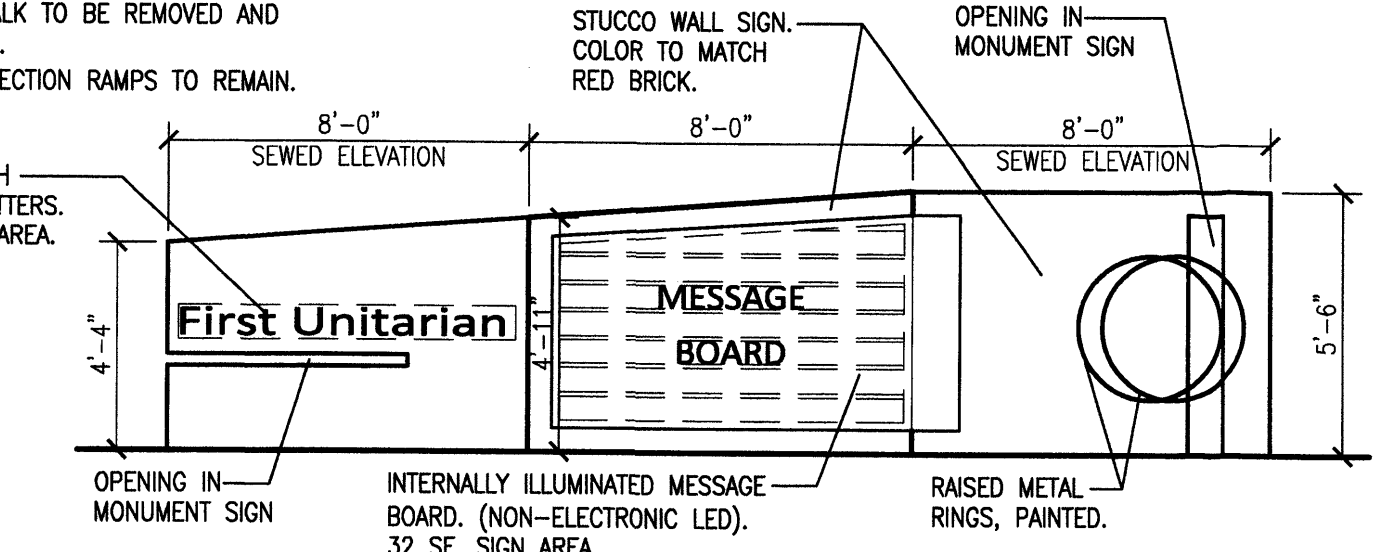


PARKING & CIRCULATION PLAN LEGEND:
 - - - - - ACCESSIBLE PEDESTRIAN ACCESS FROM PARKING TO COURTYARD.

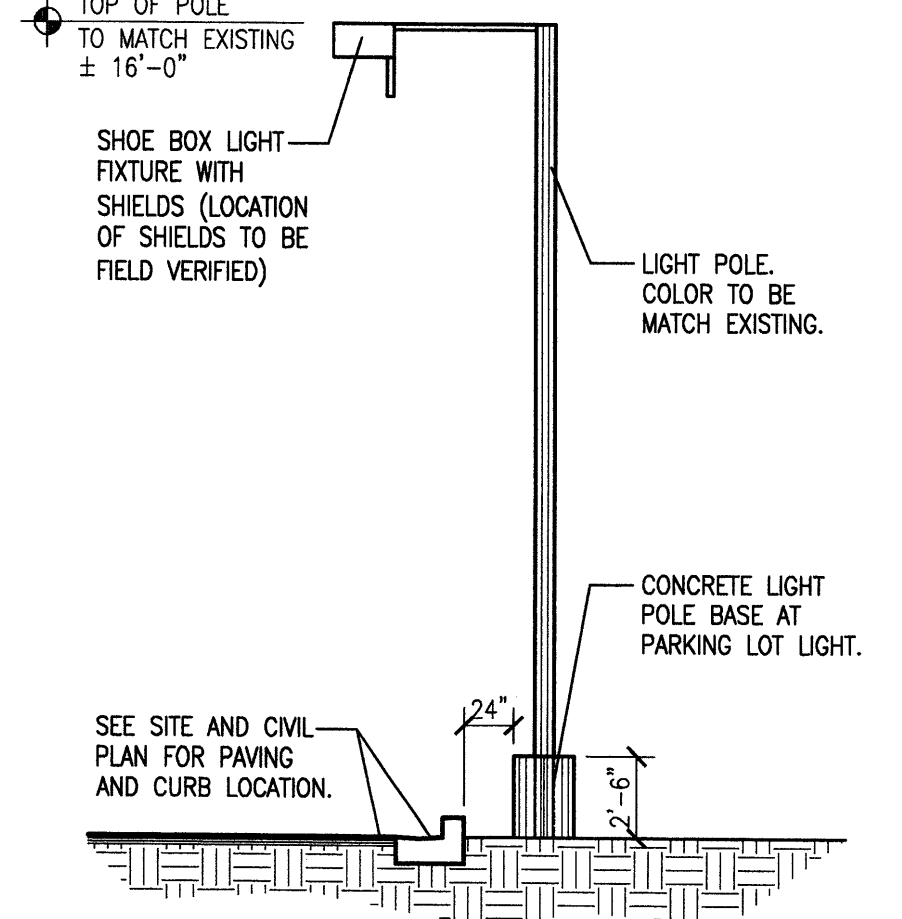
- SITE DEMOLITION KEYED NOTES:**
- [1] EXISTING DRIVEWAY OPENING TO ADJACENT LOT TO REMAIN.
 - [2] EXISTING PARKING/STRIPPING TO REMAIN.
 - [3] EXISTING LANDSCAPING TO REMAIN. REFER TO LANDSCAPING PLAN - SHEET 3.
 - [4] EXISTING BUILDING TO BE DEMOLISHED IN PHASE II.
 - [5] EXISTING DRIVEWAY TO BE CLOSED AND INFILLED WITH CITY STANDARD CURB, GUTTER & SIDEWALK.
 - [6] EXISTING DIRT LOT TO BE PAVED. REFER TO SITE DEVELOPMENT PLAN - SHEET 1.
 - [7] EXISTING CITY CURB AND GUTTER.
 - [8] EXISTING 6" CHAIN-LINK FENCE TO REMAIN.
 - [9] EXISTING BUS STOP LOCATION.
 - [10] EXISTING RETENTION POND.
 - [11] EXISTING PAVING TO BE REMOVED.
 - [12] EXISTING TRASH ENCLOSURE TO REMAIN.
 - [13] EXISTING PARKING TO BE REMOVED.
 - [14] EXISTING LANDSCAPING ISLAND TO BE REMOVED.
 - [15] EXISTING CURB CUT TO REMAIN.
 - [16] EXISTING PORTION OF CITY CURB AND GUTTER TO BE REMOVED AS REQUIRED FOR NEW COA STANDARD CURB CUT. REFER TO SITE DEVELOPMENT PLAN - SHEET 1.
 - [17] EXISTING PLAZA/PATIO TO REMAIN.
 - [18] EXISTING CONCRETE SIDEWALK TO REMAIN.
 - [19] EXISTING FIRE HYDRANT TO REMAIN.
 - [20] REMOVE PORTION OF LANDSCAPING ISLAND. REFER TO SITE DEVELOPMENT AND LANDSCAPING PLAN.
 - [21] EXISTING PAVING TO REMAIN.
 - [22] REMOVE EXISTING MONUMENT SIGN. REPLACE WITH NEW SIGN. REFER TO SITE DEVELOPMENT PLAN - SHEET 1.
 - [23] EXISTING CONCRETE SIDEWALK TO BE REMOVED AND REPLACED. REFER TO A001.
 - [24] EXISTING CONCRETE INTERSECTION RAMPS TO REMAIN.



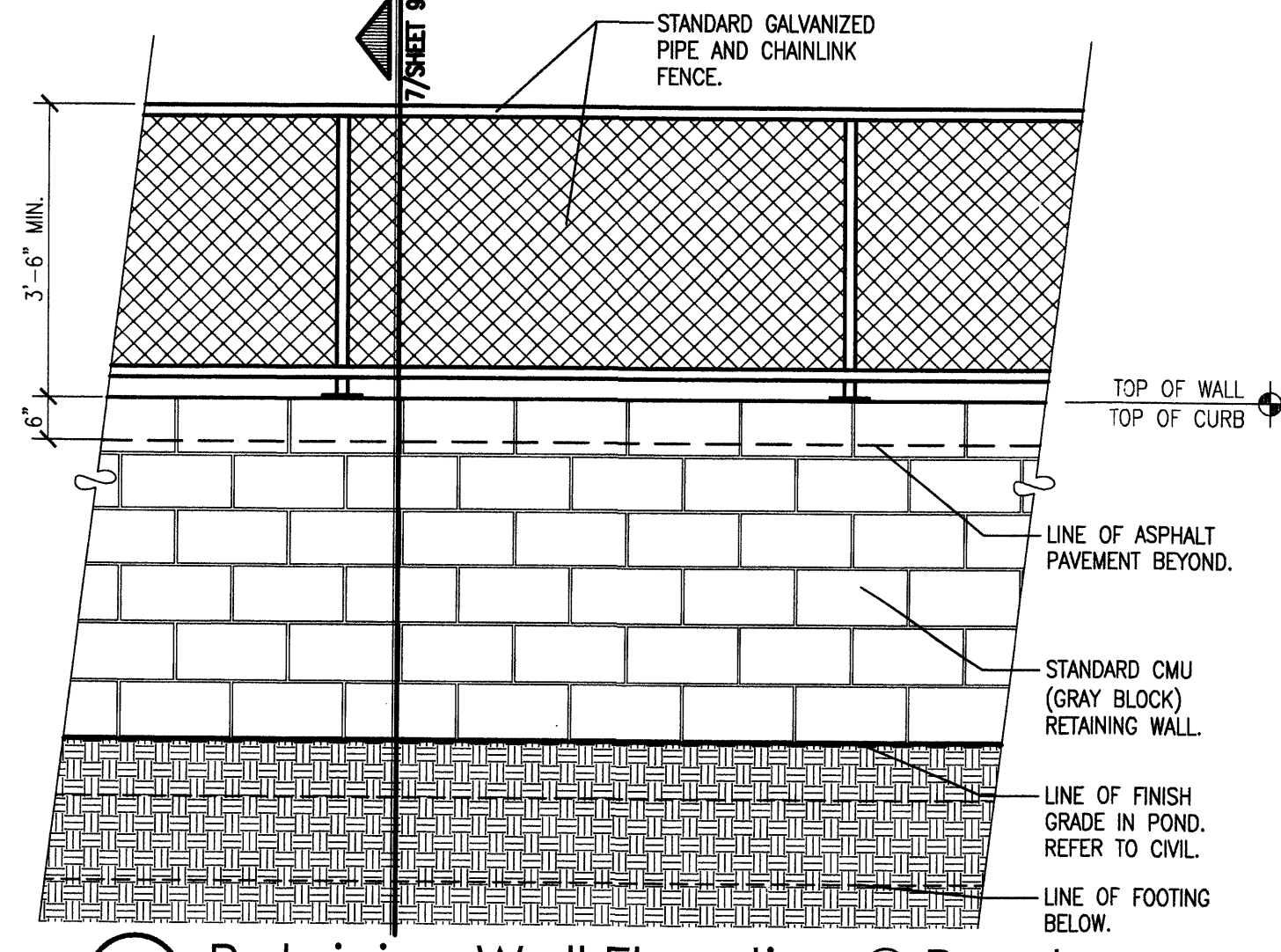
3 Site Wall Elevation
Scale: 1/4"=1'-0"



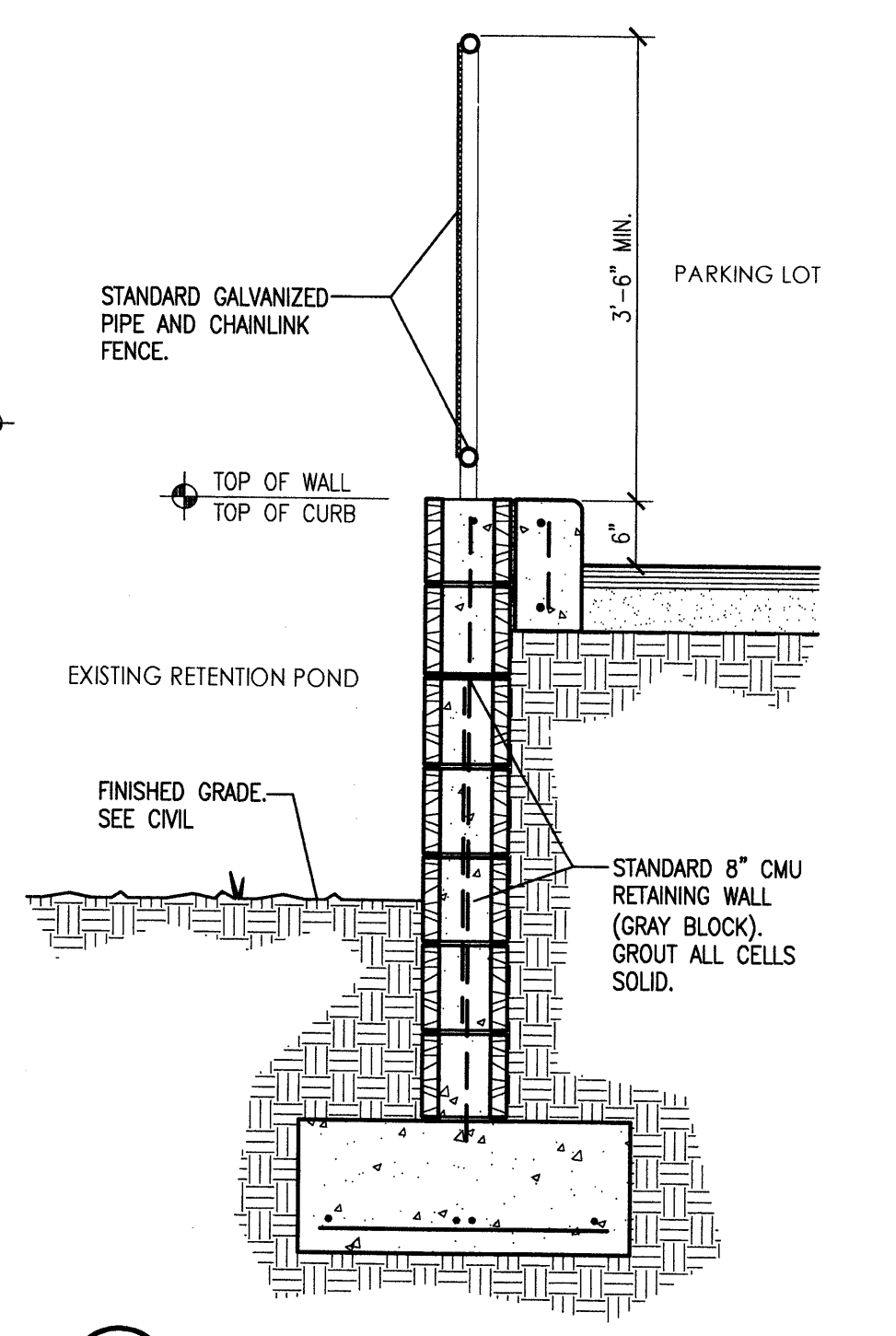
4 Monument Sign Elevation - 75 sf. max.
Scale: 1/4"=1'-0"



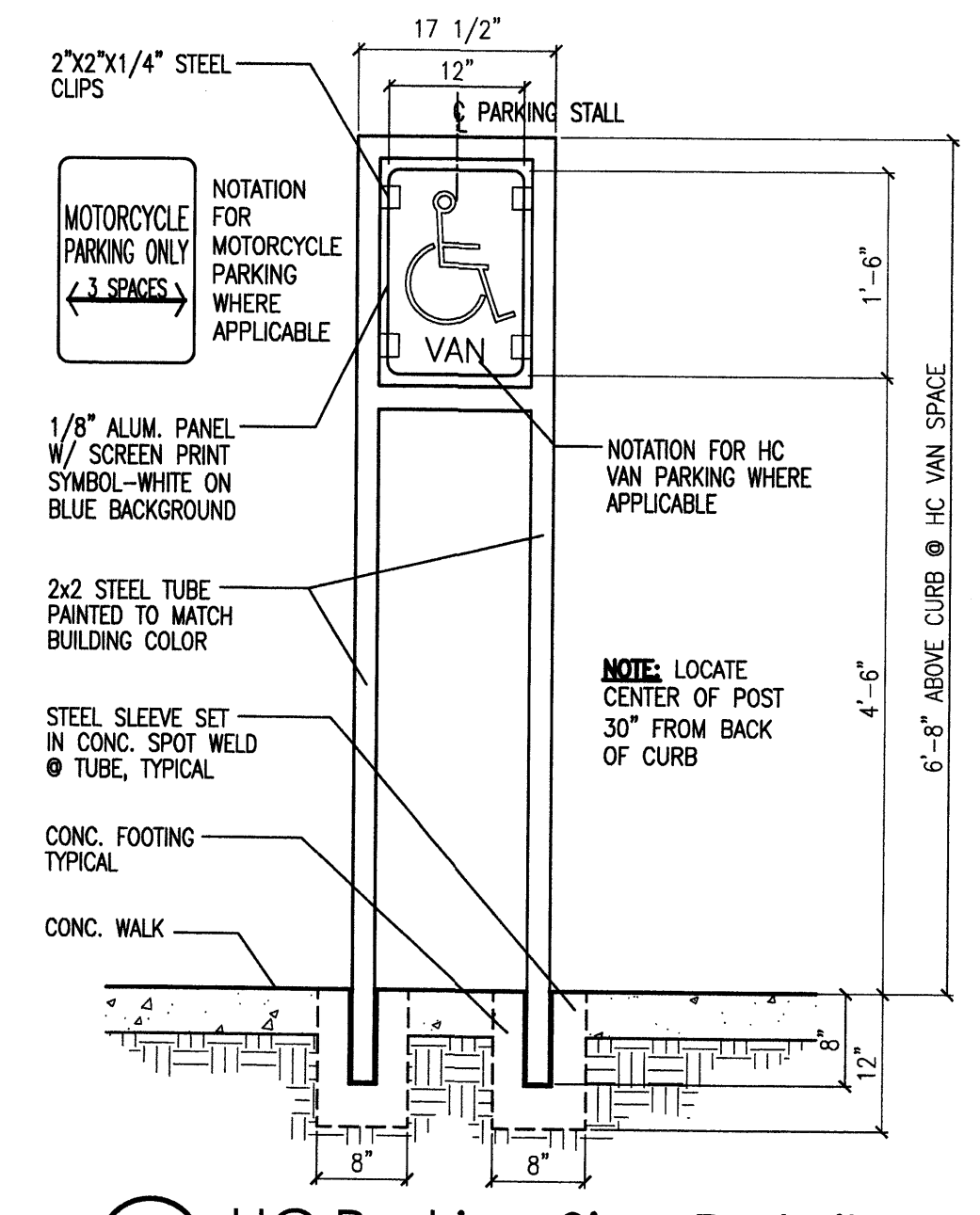
5 Site Lighting Elevation
Scale: Not to Scale



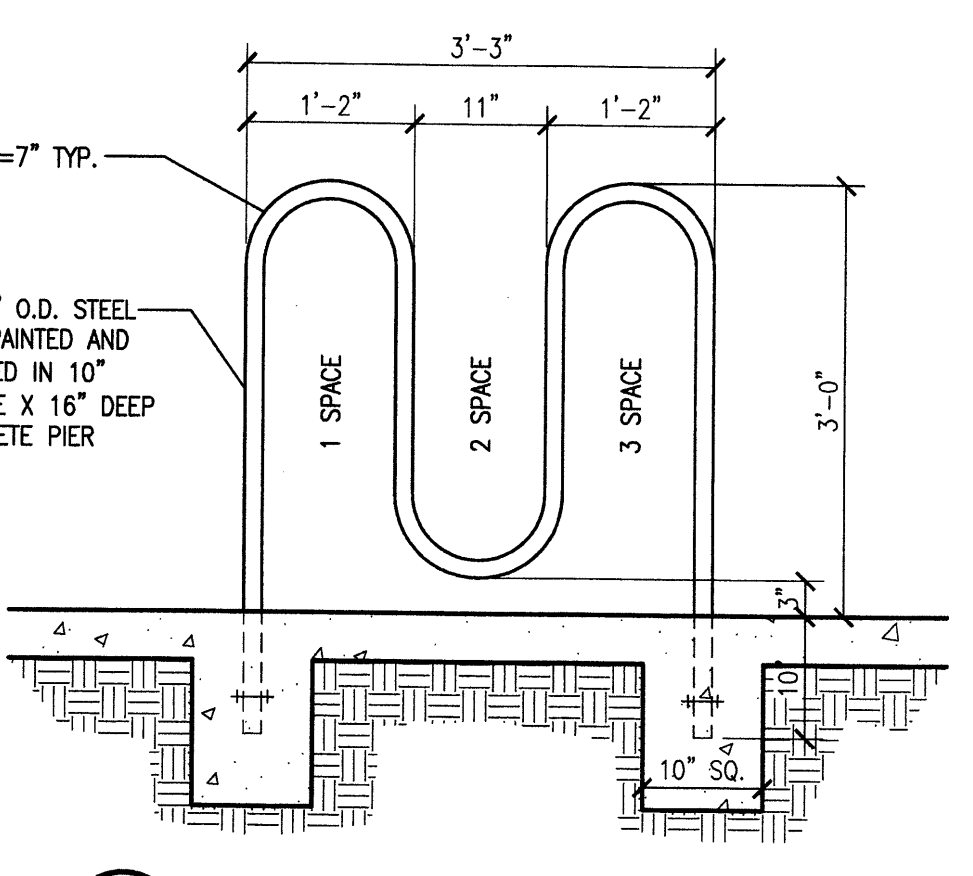
6 Retaining Wall Elevation @ Pond
Scale: 1/2"=1'-0"



7 Retaining Wall Section
Scale: 3/4"=1'-0"



8 HC Parking Sign Detail
Scale: 3/4"=1'-0"



9 Bicycle Rack Detail
Scale: 3/4"=1'-0"

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by	mws	Per COA-Notice of Decision.
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project title
First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110

sheet title
Site Demo and Parking & Circulation Plans

**DESIGN STANDARDS FOR THE FUTURE FIRST UNITARIAN
RELIGIOUS EDUCATION BUILDING AND FOR OTHER FUTURE WORK
WHICH WILL OCCUR**

INTRODUCTION

THE FOLLOWING DESIGN STANDARDS APPLY TO THE FUTURE RELIGIOUS EDUCATION BUILDING ON THE FIRST UNITARIAN CHURCH CAMPUS.

ADDITIONALLY, THE REGULATIONS AND STANDARDS IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE SHALL APPLY TO THIS BUILDING, WHERE THERE IS CONFLICT BETWEEN THE DESIGN STANDARDS AND THE CITY REGULATIONS, THE MORE RESTRICTIVE SHALL APPLY.

PROJECT BACKGROUND

LOCATED ON THE SOUTHWEST CORNER OF CARLISLE BOULEVARD NE AND COMANCHE BOULEVARD NE, THE FIRST UNITARIAN CHURCH OWNS TWO SEPARATE PARCELS THAT MAKE UP THE CHURCH PROPERTY: TRACT 8-D1 AND TRACT 8-B FOR A TOTAL OF ±3.57 ACRES. THE ZONING FOR TRACT 8-D1 IS SU-1 FOR O-1 USES, AND FOR TRACT 8-B IS SU-1 FOR C-1 AND O-1 USES. A CHURCH IS A PERMISSIVE USE IN THE O-1 ZONE. THERE ARE NO SECTOR PLANS OR DESIGN OVERLAY ZONES THAT GOVERN THIS SITE.

A. ARCHITECTURAL CHARACTER AND ARCHITECTURAL DESIGN ELEMENTS

THE FUTURE RELIGIOUS EDUCATION BUILDING REQUIRES ARCHITECTURAL DESIGN WHICH RESPECTS THE MID-CENTURY MODERN STYLE OF THE EXISTING SANCTUARY AND CREATIVELY BLENDS WITH THE CONTEMPORARY STYLE OF THE NEW SANCTUARY.

PRINCIPAL CHARACTERISTICS OF THE RELIGIOUS EDUCATION BUILDING SHALL INCLUDE SIMPLE MASSING, CANTILEVERED AWNINGS, AND FLAT ROOFS. FACADES ARE COMPOSED RHYTHMICALLY, ALTERNATING MASS AND OPENING IN A LOGICAL MANNER. OPENINGS ACCENTUATE THE MASSING AND ARE LARGE WHEN FRONTING ON THE CENTRAL COURTYARD AND OTHER LANDSCAPED AREAS. ENTRY ELEMENTS ARE PROMINENT ARCHITECTURAL FEATURES ON THE BUILDING.

THE GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES (14-16-3-18) AS FOUND IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE WILL APPLY TO THE BUILDING.

A.1 MASSING

A BUILDING MASS IS DEFINED AS A VOLUME OF SPACE THAT USUALLY APPEARS AS A RECTILINEAR FORM, CONSISTING OF A ROOF AND AT LEAST THREE WALLS. MASSING FOR THIS BUILDING SHALL BE WELL PROPORTIONED AND CONSISTENT WITH THE ARCHITECTURAL CHARACTER OF THE EXISTING CAMPUS. PARTICULAR CONSIDERATION SHALL BE TAKEN TO PRESERVE VIEWS TO THE COURTYARD AND OTHER PEDESTRIAN CONNECTIONS.

A.2 ROOFS

MAIN ROOFS OF STRUCTURES SHALL FOLLOW THESE STANDARDS: FLAT ROOFS WITH PARAPETS THAT ARE SIMPLE OR STEPPED. PARAPETS SHALL BE HORIZONTAL OR STEPPED; DIAGONAL LINES ARE NOT PERMITTED.

A.3 WINDOWS & DOORS

WINDOWS AND DOORS SHALL FOLLOW THESE STANDARDS: FACADES ARE COMPOSED RHYTHMICALLY, ALTERNATING MASS AND OPENING IN A LOGICAL MANNER. OPENINGS COMPLIMENT AND ACCENTUATE THE MASSING BY BEING PUNCHED OR RECESSED AND DOORS AND WINDOWS ARE LARGE WHEN FRONTING ON THE CENTRAL COURTYARD OR PUBLIC WAYS. THEY ARE DETAILED IN SPARE, CLEAN DETAILS, AND INCORPORATE LARGE EXPANSES OF GLASS, METAL WINDOW AND METAL STOREFRONT FRAMES, ESPECIALLY AT PUBLIC ACCESS.

A.4 SHADING & ENTRIES

SHADING AT ENTRIES SHALL FOLLOW THESE STANDARDS: HAVE AWNINGS, CANOPIES OR COLONNADES AT OPENINGS. A TOWER OR STYLIZED MASS AT THE ENTRY SHALL BE INCORPORATED TO SUPPORT THE OTHER BUILDING ENTRANCES ON THE CAMPUS.

A.5 BUILDING MATERIALS & COLORS

BUILDING MATERIALS AND COLORS FOR THE FUTURE RELIGIOUS EDUCATION BUILDING SHALL BE CONSISTENT WITH THE ARCHITECTURAL CHARACTER OF THE EXISTING CAMPUS. QUALITY MATERIALS, ARCHITECTURAL FEATURES, AND CRAFTSMANSHIP SHALL BE EMPLOYED IN THE EXECUTION OF THE BUILDING. APPROVED MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, STUCCO, BRICK, STONE, CONCRETE, SPLIT-FACED CONCRETE MASONRY UNIT, GLASS, WOOD, GALVANIZED METAL, AND ALUMINUM. BRICK SHALL BE INCORPORATED AS AN ELEMENT OF FACADES FOR NEW STRUCTURES.

A.6 BUILDING HEIGHTS

MAXIMUM BUILDING HEIGHT FOR THE FUTURE RELIGIOUS EDUCATION BUILDING SHALL NOT BE TALLER THAN THE EXISTING SANCTUARY: 20' ABOVE GRADE.

A.7 BUILDING SETBACKS

SETBACKS SHALL FOLLOW THE DIMENSIONS TO ADJACENT BUILDINGS AND PROPERTY LINES ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

B. LANDSCAPING

LANDSCAPING FOR THIS DEVELOPMENT SHALL COMPLY WITH THE LANDSCAPE REGULATIONS (14-16-3-10) IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE, AND THE CITY OF ALBUQUERQUE REQUIREMENTS IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, AND THE POLLEN ORDINANCE. LANDSCAPING IN CONJUNCTION WITH THE FUTURE RELIGIOUS EDUCATION BUILDING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN IN THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

C. PEDESTRIAN PATHS

THE ENTRY TO THE BUILDING SHALL BE FOCUSED TO THE EXISTING COURTYARD WITH A MINIMUM 12' PEDESTRIAN CONNECTION TO THE COURTYARD. A MINIMUM 6' WIDE PEDESTRIAN WALKWAY SHALL BE PROVIDED FROM THE PROPOSED BUILDING TO THE CITY SIDEWALK ALONG CARLISLE BLVD.

D. SCREENING/WALLS

SCREEN OR YARD WALLS SHALL FOLLOW THE INTENT OF WALLS INCLUDED IN THE AMENDED SITE PLAN FOR BUILDING PERMIT AND THE COMPREHENSIVE ZONING CODE REGULATIONS.

E. SITE LIGHTING

SITE LIGHTING SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE AREA LIGHTING REGULATIONS (14-16-3-9).

LIGHTING DESIGN SHALL COMPLIMENT THE ARCHITECTURAL STYLES, AND NOT OVERWHELM THEM. NEW SITE LIGHTING SHALL BE SIMILAR TO THE EXISTING AND BE OF THE SAME HEIGHT (16' MAXIMUM). SITE LIGHTING TYPE, COLOR, AND MATERIALS SHALL COMPLIMENT THE CHARACTER OF THE PROJECT AND NOT CONTRAST OR STAND OUT FROM THE DESIGNS OF THE BUILDINGS. THE LIGHTING DESIGN SHALL ENHANCE BOTH THE PEDESTRIAN SCALE AND THE AUTOMOBILE PORTIONS OF THE SITE.

BUILDING-MOUNTED LIGHTING SHALL ENHANCE THE ARCHITECTURE OF EACH BUILDING, AND SHALL INCLUDE SCANCES AND SHIELDED ACCENT LIGHTS.

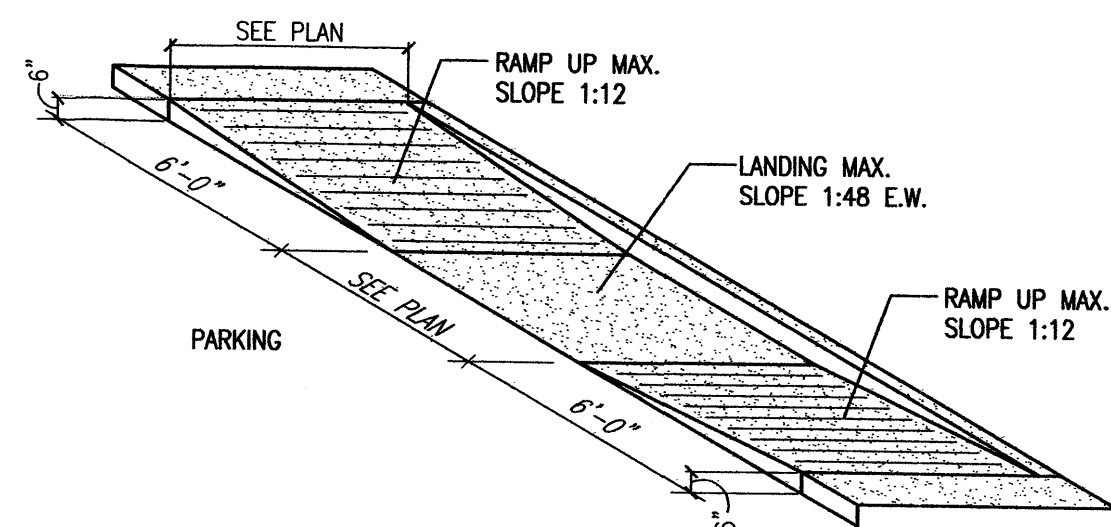
LIGHTING SHALL BE FULLY SHIELDED AND HIGH-PRESSURE SODIUM LIGHTING AND UNSHIELDED UPLIGHTING SHALL BE PROHIBITED.

F. SIGNS & SIGNAGE

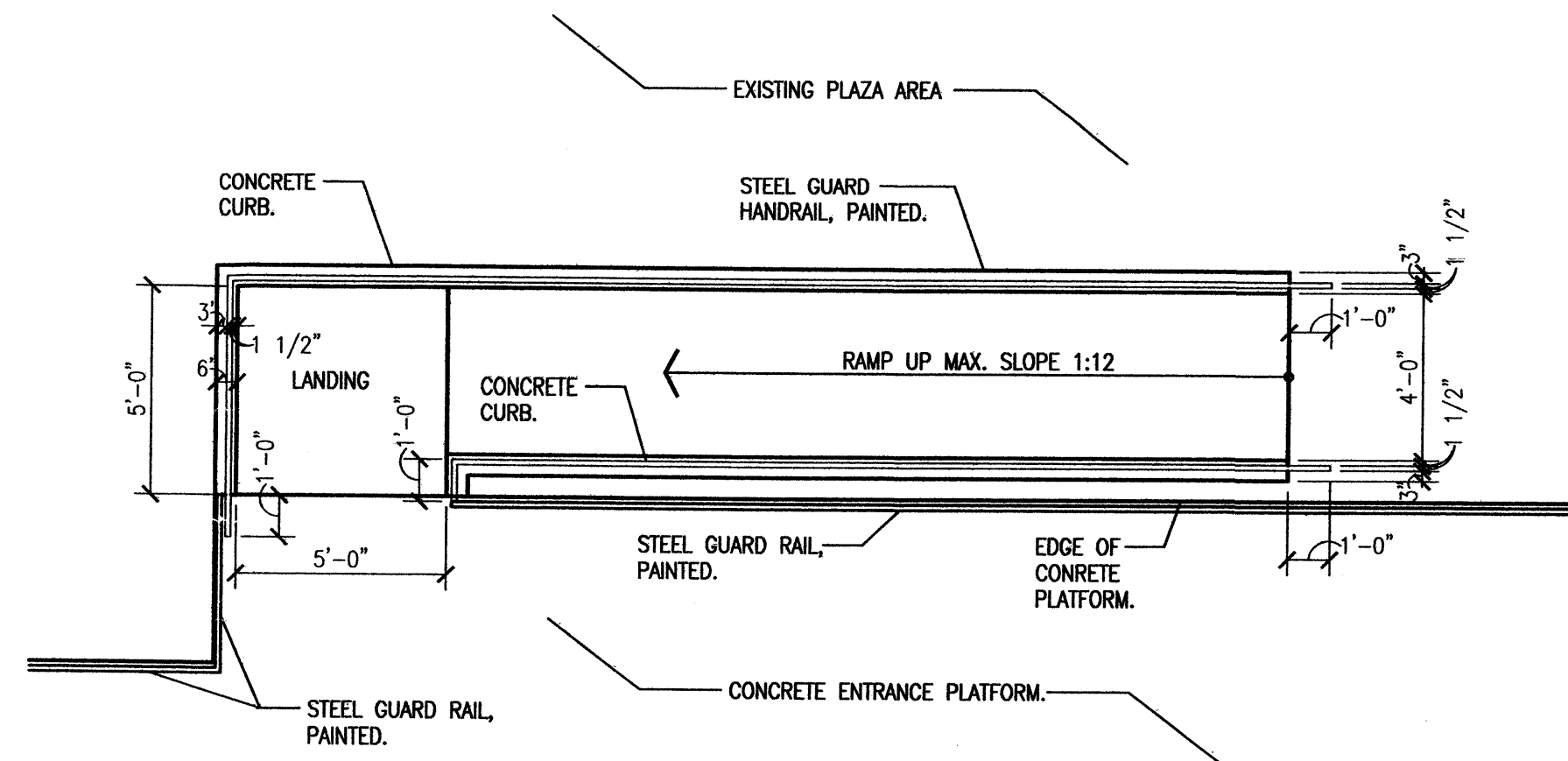
THERE SHALL BE NO SIGNAGE ON THE FUTURE RELIGIOUS EDUCATION BUILDING FACING CARLISLE BLVD. DIRECTIONAL AND INFORMATIVE SIGNAGE MAY BE APPLIED TO THE MAIN BUILDING ENTRY, FACING THE COURTYARD.

G. APPROVAL PROCESS

PROCEDUREALLY, THIS PROJECT SHALL SUBMIT A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WHICH WILL BE REVIEWED BY THE DESIGNEE OF THE PLANNING DIRECTOR THEN SENT WITH A RECOMMENDATION TO THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT'S DEVELOPMENT REVIEW BOARD (DRB). THE INTENT OF THESE DESIGN STANDARDS IS TO PROVIDE GUIDANCE FOR THE DRB WHEN REVIEWING THIS FUTURE DEVELOPMENT.



1 H.C. Parking Ramp Detail
Scale: Not To Scale (Isometric)



2 H.C. Entrance Ramp Detail
Scale: 1/4" = 1'-0"

revision	by	date
1	mms	12/1/11
2	mms	9/26/11
3	jdh	8/22/11

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Design Guidelines