

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1008916 Application #: 11DRB-70274
Project Name: INDIAN ACRES SUBDIVISION
Agent: Mullen Heller Architecture, Phone #:

Your request was approved on 12-14-11 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): remove free SW corner

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

3. **Project# 1000650**
11DRB-70319 MAJOR - - 1YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (1YR SIA)
- TIERRA WEST LLC agent(s) for WAL-MART STORES EAST LP request(s) the referenced/ above action(s) for all or a portion of Tract(s) 1-A-1, **LANDS OF LAMONICA AND WENK** zoned SU-1 FOR C-1 PERMISSIVE USES, located in the southeast corner of COORS BLVD SW and RIO BRAVO BLVD SW containing approximately 20.05 acre(s). (P-10)[*Deferred from 11/30/11*]**A SIX MONTH EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED THROUGH APRIL 30TH 2012.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

4. **Project# 1001275**
11DRB-70343 EPC APPROVED SDP
FOR BUILD PERMIT
- MODULUS ARCHITECTS INC agent(s) for 528 RETAIL LLC request(s) the above action(s) for all or a portion of Lot(s) 2, **LOWES SUBDIVISION** zoned SU-1/C-2 USES, located on ALAMEDA BETWEEN COORS AND ELLISON containing approximately 3.013 acre(s). (A-14) **DEFERRED TO 1/4/12 AT THE AGENTS. REQUEST.**
5. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT
- MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 &8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REVISION TO LANDSCAPE PLAN.**
6. **Project# 1008787**
11DRB-70170 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70345 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- DEKKER PERICH SABATINI agent(s) for CITY OF ALBUQUERQUE-DMD/CIP request(s) the above action(s) for all or a portion of Tract(s) C8,1 AND 4, **TOWN OF ATRISCO GRANT PIRPORT UNIT (C8) & LAVALAND ADN. (1 & 4)** zoned C-2, located on CENTRAL BETWEEN 57TH AND 58TH containing approximately 2.08 acre(s). (K-11) **DEFERRED TO 12/21/12 AT THE AGENTS. REQUEST.**
7. **Project# 1008786**
11DRB-70327 EPC APPROVED SDP
FOR BUILD PERMIT
- DEKKER/PERICH/SABATINI agent(s) for CITY OF ALBUQUERQUE-DMD/CIP request(s) the above action(s) for all or a portion of Lot(s) A PORTION OF LOTS 4, 5, A, & B, **GIBSON TRACTS** zoned SU-1 FOR C-2, located on GIBSON BETWEEN UNIVERSITY AND I-25 containing approximately 1.35 acre(s). (L-15)[*Deferred from 11/30/11*]**DEFERRED TO 12/21/12 AT THE AGENTS. REQUEST.**

6. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[*Deferred from 10/12/11, 10/26/11, 11/2/11, 11/9/11*]**INDEFINTIELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project# 1005029**
11DRB-70322 EXT OF MAJOR
PRELIMINARY PLAT

ISAACSON AND ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC C/O GARRETT DEV CORP request(s) the above action(s) for all or a portion of Tract(s) B & J & R, **STORMCLOUD (TBK STORMCLOUD SUBDIVISION UNIT 4 AND 5) Unit(s) 3**, zoned SU-2/RL-T, located on TIERRA PINTADA BLVD NW WEST OF UNSER containing approximately 55.243 acre(s). (H-9)

8. **Project# 1008797**
11DRB-70323 AMENDMENT TO
PRELIMINARY PLAT

BOHANNAN HUSTON INC agent(s) for TAOS AT THE TRAILS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-P1 THROUGH 113-P1, **TAOS AT THE TRAILS UNIT 2** zoned RD, located on TREE LINE BETWEEN OAKRIDGE AND UNIVERSE containing approximately 14.63 acre(s). (C-9)

9. **Project# 1008798**
11DRB-70324 AMENDMENT TO
PRELIMINARY PLAT

BOHANNAN HUSTON INC agent(s) for TAOS AT THE TRAILS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-P-1 THROUGH 113-P-1, Tract(s) TRACT A TAOS UNIT 1, **TAOS AT THE TRAILS UNIT 2** zoned RD, located on TREE LINE BETWEEN OAKRIDGE AND UNIVERSE containing approximately 14.63 acre(s). (C-9)

10. **Project# 1004228**
11DRB-70313 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) A & 188-A-1-B, **GUTHRIE COMMERCE PARK** zoned M-1, located on MONTANO RD BETWEEN EDITH BLVD AND I-25 containing approximately 7.7279 acre(s). (F-15)[*Deferred from 11/9/11*]

3. **Project# 1008766**
11DRB-70198– SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT
11DRB-70212 - SITE DEVELOPMENT
PLAN FOR SUBDIVISION

MODULUS ARCHITECTS INC agent(s) for JOHN SEDBERRY request(s) the referenced/ above action(s) for all or a portion of Tract(s) 4, **DEL NORTE PLAZA**, zoned IP/ SU-2/ NC, located on the north side of PASEO DEL NORTE NE bewteen SAN PEDRO BLVD NE and LOUISIANA BLVD NE, containing approximately 1.4445 acre(s). (C-18) [*Deferred from 8-24-11, 9/14/11,10/5/11, 10/26/11*]

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1008042**
11DRB-70308 EPC APPROVED SDP
FOR BUILD PERMIT

SLAGLE HERR ARCHITECTS agent(s) for THE TANAGER CO. LLC request(s) the above action(s) for all or a portion of Lot(s) 6-10, Block(s) 17, **PARIS ADDITION** zoned M-2, located on 1ST ST BETWEEN KINLEY AND CONSTITUTION containing approximately .59 acre(s). (J-14)

5. **Project# 1003532**
11DRB-70280 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70281 EPC APPROVED SDP
FOR SUBDIVISION
11DRB-70307 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

TIERRA WEST LLC agent(s) for RESOLUTION EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 10, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 MIXED USE, located on PASEO DEL NORTE BETWEEN WYOMING AND LOUISIANA containing approximately 1.4208 acre(s). (C-19) [*Deferred from 10/12/11, 11/2/11*]

6. **Project# 1008528**
11DRB-70295 EPC APPROVED SDP
FOR BUILD PERMIT

TIERRA WEST LLC agent(s) for MONTEREY LAND GROUP, III LLC request(s) the above action(s) for all or a portion of Lot(s) 1B-1, **PARADISE NORTH** zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on GOLF COURSE BETWEEN MCMAHON AND IRVING containing approximately 13.5512 acre(s). (A-12) [*Deferred from 10/26/11, 11/2/11*]

7. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 &8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[*Deferred from 10/12/11, 10/26/11,11/2/11*]**DEFERRED TO 11/16/11 AT THE AGENT'S REQUEST.**

6. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[*Deferred from 10/12/11, 10/26/11*]**DEFERRED TO 11/9/11 AT THE AGENT'S REQUEST.**

7. **Project# 1003532**
11DRB-70280 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70281 EPC APPROVED SDP
FOR SUBDIVISION
11DRB-70307 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

TIERRA WEST LLC agent(s) for RESOLUTION EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 10, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 MIXED USE, located on PASEO DEL NORTE BETWEEN WYOMING AND LOUISIANA containing approximately 1.4208 acre(s). (C-19) [*Deferred from 10/12/11*]

8. **Project# 1008528**
11DRB-70293 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
11DRB-70295 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70296 EPC APPROVED SDP
FOR SUBDIVISION

TIERRA WEST LLC agent(s) for MONTEREY LAND GROUP, III LLC request(s) the above action(s) for all or a portion of Lot(s) 1B-1, **PARADISE NORTH** zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on GOLF COURSE BETWEEN MCMAHON AND IRVING containing approximately 13.5512 acre(s). (A-12) [*Deferred from 10/26/11*]

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1003475**
11DRB-70301 MINOR – EXT OF SIA
FOR TEMP DEFR SWDK CONST

FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) 1, **PARADISE VIEW** zoned R-LT, located on PARADISE BLVD NW BETWEEN UNIVERSE NW AND UNSER NW containing approximately 13 acre(s). (B-10/11)

10. **Project# 1008447**
11DRB-70302 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

GPS LLC agent(s) for BALTAZAR BUZMAN CO WAYNE G CHEW request(s) the above action(s) for all or a portion of Tract(s) D-1, **CANYON ACRES SUBDIVISION** zoned C-2 (SC), located on CENTRAL AVE NE BETWEEN TRAMWAY BLVD NE AND FIGUEROA ST NE containing approximately 3.5512 acre(s). (L-22)

11. **Project# 1008952**
11DRB-70305 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

THE SURVEY OFFICE LLC agent(s) for ESMAIL HAIDARI & GHAMOUR A FIROZ VAGH & JABEEN VAGH request(s) the above action(s) for all or a portion of Lot(s) 6-8 & 25-27, Block(s) A, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) A**, zoned SU-2 O-1, located on PASEO DEL NORTE BETWEEN WYOMING AND BARSTOW containing approximately 3.2309 acre(s). (D-19)

7. **Project# 1008830**
11DRB-70143 MAJOR -- SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

GARCIA/ KRAEMER & ASSOC. agent(s) for S.M. QURAIISHI/ AFRA CONSTRUCTION request(s) the referned/ above action for Tract 3E, **TOWN OF ATRISCO GRANT**, ROW 2, UNIT A, zoned SU-1 FOR C-2 USES AND CAMP GROUND, located on the north side of VOLCANO RD NW between 98TH ST NW and 102ND ST NW containing approximately 5.3103 acre(s). (K-8, K-9) [Deferred from 6/29/11, 7/20/11, 8/3/11, 9/14/11] **THE SITE PLAN FOR BUILDING PERMIT WAS DEFERRED TO 11/9/11 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

8. **Project# 1003532**
11DRB-70280 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70281 EPC APPROVED SDP
FOR SUBDIVISION

TIERRA WEST LLC agent(s) for RESOLUTION EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 10, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 MIXED USE, located on PASEO DEL NORTE BETWEEN WYOMING AND LOUISIANA containing approximately 1.4208 acre(s). (C-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16) **DEFERRED TO 10/26/11 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project# 1000809**
11DRB-70276 EXT OF SIA FOR TEMP
DEFR SDWK CONST

RICHARD SANCHEZ agent(s) for RICHARD SANCHEZ request(s) the above action(s) for all or a portion of Lot(s) 1-P-1 THROUGH 16-P-1 & 19-P-1 THROUGH 23-P-1, **SUNSET FARM** zoned RESIDENTIAL, located on SUNSET AND OSAGE containing approximately 15 acre(s). (K-12) **DEFERRED TO 10/19/11 AT THE AGENT'S REQUEST.**

11. **Project# 1003198**
11DRB-70282 EXT OF SIA FOR TEMP
DEFR SDWK CONST

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC. request(s) the above action(s) for all or a portion of Lot(s) 1-76, **AUTUMN VIEW** zoned RD, located on TOWER BETWEEN COORS AND STINSON containing approximately 15 acre(s). (L-10) **A TWO YEAR EXTENSION TO THE AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT
- MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[*Deferred from 10/12/11*] **DEFERRED TO 11/2/11 AT THE AGENT'S REQUEST.**
7. **Project# 1007867**
11DRB-70294 AMENDED SDP FOR BP
- BOHANNAN HUSTON INC agent(s) for GOLDEN CORRAL CORP. request(s) the above action(s) for all or a portion of Lot(s) A, **SANDIA ADDITION** zoned C-3, located on SAN MATEO BLVD BETWEEN MCLEOD AND LINCOLN containing approximately 2.51 acre(s). (F-17) **AT THE OCTOBER 26, 2011 DEVELOPMENT REVIEW BOARD MEETING, THE AMENDMENT TO THE SITE DEVELOPMENT PLAN WAS APPROVED AS REVISED ON OCTOBER 17TH BY CITY HYDROLOGY TO DELETE THE SIDEWALK CULVERT.**
8. **Project# 1008528**
11DRB-70293 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
11DRB-70295 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70296 EPC APPROVED SDP
FOR SUBDIVISION
- TIERRA WEST LLC agent(s) for MONTEREY LAND GROUP, III LLC request(s) the above action(s) for all or a portion of Lot(s) 1B-1, **PARADISE NORTH** zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on GOLF COURSE BETWEEN MCMAHON AND IRVING containing approximately 13.5512 acre(s). (A-12) **DEFERRED TO 11/2/11 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1002718**
11DRB-70238 SIDEWALK WAIVER
- MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for RAYLEE HOMES, INC. request(s) the above action(s) for all or a portion of Lot(s) 1-16, Tract(s) A RIVERVIEW ACRES #2, **RIVERVIEW ACRES, UNIT 2** zoned RA-1, located on ON CALLE FACIO NEAR GABALDON containing approximately 10.4497 acre(s). (H-12) **AT THE OCTOBER 26, 2011 DEVELOPMENT REVIEW BOARD MEETING, A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED FOR ALL INTERIOR SIDEWALKS IN RIVERVIEW ACRES UNITS 1 & 2.**

6. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT
- MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[*Deferred from 10/12/11, 10/26/11*]**DEFERRED TO 11/9/11 AT THE AGENT'S REQUEST.**
7. **Project# 1003532**
11DRB-70280 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70281 EPC APPROVED SDP
FOR SUBDIVISION
11DRB-70307 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- TIERRA WEST LLC agent(s) for RESOLUTION EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 10, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 MIXED USE, located on PASEO DEL NORTE BETWEEN WYOMING AND LOUISIANA containing approximately 1.4208 acre(s). (C-19) [*Deferred from 10/12/11*] **DEFERRED TO 11/9/11 AT THE AGENT'S REQUEST.**
8. **Project# 1008528**
11DRB-70293 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
11DRB-70295 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70296 EPC APPROVED SDP
FOR SUBDIVISION
- TIERRA WEST LLC agent(s) for MONTEREY LAND GROUP, III LLC request(s) the above action(s) for all or a portion of Lot(s) 1B-1, **PARADISE NORTH** zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on GOLF COURSE BETWEEN MCMAHON AND IRVING containing approximately 13.5512 acre(s). (A-12) [*Deferred from 10/26/11*] **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SITE PLAN, AGIS DXF AND AMAFCA SIGNATURE. THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS DEFERRED TO 11/9/11 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1003475**
11DRB-70301 MINOR – EXT OF SIA
FOR TEMP DEFR SWDK CONST
- FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) 1, **PARADISE VIEW** zoned R-LT, located on PARADISE BLVD NW BETWEEN UNIVERSE NW AND UNSER NW containing approximately 13 acre(s). (B-10/11) **A TWO YEAR EXTENSION TO THE AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

6. **Project# 1008528**
11DRB-70295 EPC APPROVED SDP
FOR BUILD PERMIT

TIERRA WEST LLC agent(s) for MONTEREY LAND GROUP, III LLC request(s) the above action(s) for all or a portion of Lot(s) 1B-1, **PARADISE NORTH** zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on GOLF COURSE BETWEEN MCMAHON AND IRVING containing approximately 13.5512 acre(s). (A-12) [Deferred from 10/26/11, 11/2/11] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/9/11, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

7. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[Deferred from 10/12/11, 10/26/11, 11/2/11] **DEFERRED TO 11/16/11 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1004228**
11DRB-70313 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) A & 188-A-1-B, **GUTHRIE COMMERCE PARK** zoned M-1, located on MONTANO RD BETWEEN EDITH BLVD AND I-25 containing approximately 7.7279 acre(s). (F-15) **DEFERRED TO 11/16/11 AT THE AGENT'S REQUEST.**

9. **Project# 1009039**
11DRB-70311 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

THE SURVEY OFFICE LLC agent(s) for BRENT DEPONTE request(s) the above action(s) for all or a portion of Tract(s) B-1F B-1A-B-1F, **NETHERWOOD PARK ADDITION TRACTS B-1A THROUGH B-1F** zoned C-3, located on CUTLER AVE NE BETWEEN CUTLER AVE AND HIGHWAY 40 containing approximately 3.4867 acre(s). (H-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA TO PROVIDE WATER AND SEWER EASEMENT AND TO PLANNING FOR AGIS DXF AND TO SHOW ACCESS LIMITS.**

6. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[*Deferred from 10/12/11, 10/26/11, 11/2/11, 11/9/11*]**INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project# 1005029**
11DRB-70322 EXT OF MAJOR
PRELIMINARY PLAT

ISAACSON AND ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS, LLC C/O GARRETT DEV CORP request(s) the above action(s) for all or a portion of Tract(s) B & J & R, **STORMCLOUD (TBK STORMCLOUD SUBDIVISION UNIT 4 AND 5) Unit(s) 3**, zoned SU-2/RL-T, located on TIERRA PINTADA BLVD NW WEST OF UNSER containing approximately 55.243 acre(s). (H-9) **DEFERRED TO 11/30/11 AT THE AGENT'S REQUEST.**

8. **Project# 1008797**
11DRB-70323 AMENDMENT TO
PRELIMINARY PLAT

BOHANNAN HUSTON INC agent(s) for TAOS AT THE TRAILS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-P1 THROUGH 113-P1, **TAOS AT THE TRAILS UNIT 2** zoned RD, located on TREE LINE BETWEEN OAKRIDGE AND UNIVERSE containing approximately 14.63 acre(s). (C-9) **DEFERRED TO 11/30/11 AT THE AGENT'S REQUEST.**

9. **Project# 1008798**
11DRB-70324 AMENDMENT TO
PRELIMINARY PLAT

BOHANNAN HUSTON INC agent(s) for TAOS AT THE TRAILS, LLC request(s) the above action(s) for all or a portion of Lot(s) 7-P-1 THROUGH 113-P-1, Tract(s) **TRACT A TAOS UNIT 1, TAOS AT THE TRAILS UNIT 2** zoned RD, located on TREE LINE BETWEEN OAKRIDGE AND UNIVERSE containing approximately 14.63 acre(s). (C-9) **DEFERRED TO 11/30/11 AT THE AGENT'S REQUEST.**

10. **Project# 1004228**
11DRB-70313 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for HEADSTART ENTERPRISES request(s) the above action(s) for all or a portion of Tract(s) A & 188-A-1-B, **GUTHRIE COMMERCE PARK** zoned M-1, located on MONTANO RD BETWEEN EDITH BLVD AND I-25 containing approximately 7.7279 acre(s). (F-15)[*Deferred from 11/9/11*] **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

6. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT
- MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16)[*Deferred from 10/12/11*] **DEFERRED TO 11/2/11 AT THE AGENT'S REQUEST.**
7. **Project# 1007867**
11DRB-70294 AMENDED SDP FOR BP
- BOHANNAN HUSTON INC agent(s) for GOLDEN CORRAL CORP. request(s) the above action(s) for all or a portion of Lot(s) A, **SANDIA ADDITION** zoned C-3, located on SAN MATEO BLVD BETWEEN MCLEOD AND LINCOLN containing approximately 2.51 acre(s). (F-17) **AT THE OCTOBER 26, 2011 DEVELOPMENT REVIEW BOARD MEETING, THE AMENDMENT TO THE SITE DEVELOPMENT PLAN WAS APPROVED AS REVISED ON OCTOBER 17TH BY CITY HYDROLOGY TO DELETE THE SIDEWALK CULVERT.**
8. **Project# 1008528**
11DRB-70293 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
11DRB-70295 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70296 EPC APPROVED SDP
FOR SUBDIVISION
- TIERRA WEST LLC agent(s) for MONTEREY LAND GROUP, III LLC request(s) the above action(s) for all or a portion of Lot(s) 1B-1, **PARADISE NORTH** zoned SU-1 FOR IP USES W/ EXCEPTIONS, located on GOLF COURSE BETWEEN MCMAHON AND IRVING containing approximately 13.5512 acre(s). (A-12) **DEFERRED TO 11/2/11 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1002718**
11DRB-70238 SIDEWALK WAIVER
- MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for RAYLEE HOMES, INC. request(s) the above action(s) for all or a portion of Lot(s) 1-16, Tract(s) A RIVERVIEW ACRES #2, **RIVERVIEW ACRES, UNIT 2** zoned RA-1, located on ON CALLE FACIO NEAR GABALDON containing approximately 10.4497 acre(s). (H-12) **AT THE OCTOBER 26, 2011 DEVELOPMENT REVIEW BOARD MEETING, A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED FOR ALL INTERIOR SIDEWALKS IN RIVERVIEW ACRES UNITS 1 & 2.**

7. **Project# 1008830**
11DRB-70143 MAJOR -- SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

GARCIA/ KRAEMER & ASSOC. agent(s) for S.M. QURASHI/ AFRA CONSTRUCTION request(s) the referned/ above action for Tract 3E, **TOWN OF ATRISCO GRANT**, ROW 2, UNIT A, zoned SU-1 FOR C-2 USES AND CAMP GROUND, located on the north side of VOLCANO RD NW between 98TH ST NW and 102ND ST NW containing approximately 5.3103 acre(s). (K-8, K-9) [Deferred from 6/29/11, 7/20/11, 8/3/11, 9/14/11] **THE SITE PLAN FOR BUILDING PERMIT WAS DEFERRED TO 11/9/11 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

8. **Project# 1003532**
11DRB-70280 EPC APPROVED SDP
FOR BUILD PERMIT
11DRB-70281 EPC APPROVED SDP
FOR SUBDIVISION

TIERRA WEST LLC agent(s) for RESOLUTION EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 11 & 12, Block(s) 10, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 MIXED USE, located on PASEO DEL NORTE BETWEEN WYOMING AND LOUISIANA containing approximately 1.4208 acre(s). (C-19) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project# 1008916**
11DRB-70274 EPC APPROVED SDP
FOR BUILD PERMIT

MULLEN HELLER ARCHITECTURE agent(s) for FIRST UNITARIAN CHURCH OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 8-D1 & 8-B, Block(s) B, **INDIAN ACRES SUBD** zoned SU-1 FOR C-1/O-1 & SU-1 FOR O-1, located on CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE containing approximately 3.5686 acre(s). (G-16) **DEFERRED TO 10/26/11 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project# 1000809**
11DRB-70276 EXT OF SIA FOR TEMP
DEFR SDWK CONST

RICHARD SANCHEZ agent(s) for RICHARD SANCHEZ request(s) the above action(s) for all or a portion of Lot(s) 1-P-1 THROUGH 16-P-1 & 19-P-1 THROUGH 23-P-1, **SUNSET FARM** zoned RESIDENTIAL, located on SUNSET AND OSAGE containing approximately 15 acre(s). (K-12) **DEFERRED TO 10/19/11 AT THE AGENT'S REQUEST.**

11. **Project# 1003198**
11DRB-70282 EXT OF SIA FOR TEMP
DEFR SDWK CONST

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC. request(s) the above action(s) for all or a portion of Lot(s) 1-76, **AUTUMN VIEW** zoned RD, located on TOWER BETWEEN COORS AND STINSON containing approximately 15 acre(s). (L-10) **A TWO YEAR EXTENSION TO THE AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

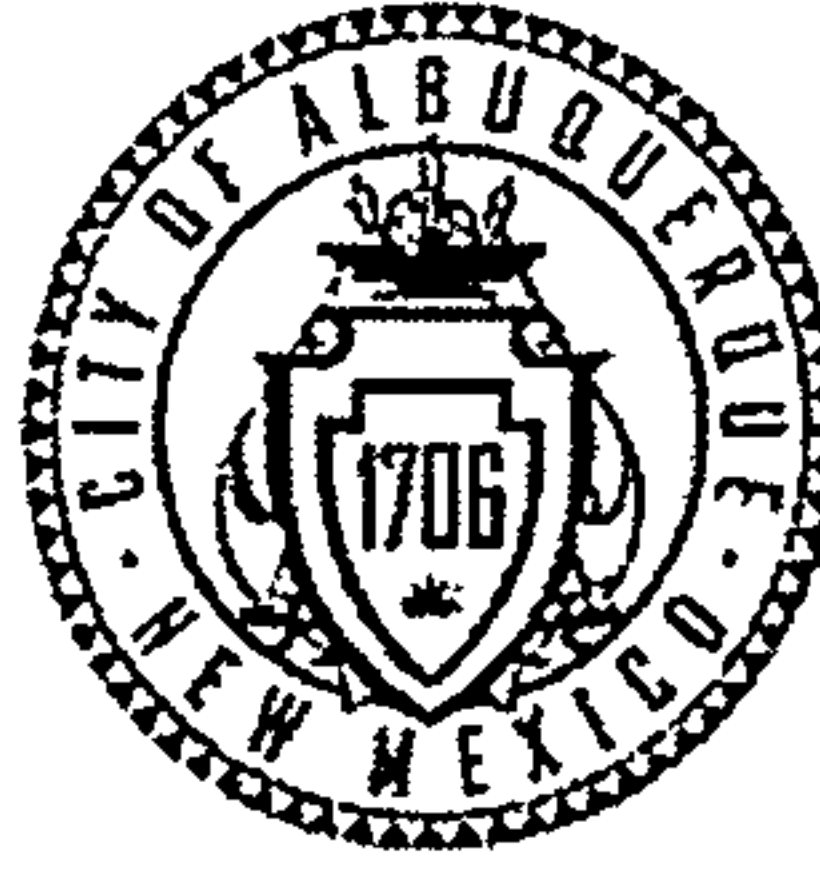
SUBJECT: Project # 1008916

On September 8, 2011, the Environmental Planning Commission approved Project #1008916 11EPC 40052, an amendment to a site development plan for building permit, for Tract 8-D1 and 8-B, Block B, Indian Acres Subdivision, located on Carlisle Blvd. NE, between Comanche Road NE and Aztec Road NE, containing approximately 3.5 acres.

The applicant has satisfied all of the EPC conditions of approval.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933.

Thank you.



City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 8, 2011

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1008916
11EPC-40052 Amendment to Site Development
Plan for Building Permit

First Unitarian Church of Albuquerque
3701 Carlisle NE
Albuquerque, NM 87110

LEGAL DESCRIPTION:

Mullen Heller Architecture agent for First Unitarian Church of Albuquerque requests the above action for all or a portion of Tracts 8-D1 & 8-B, Block B, Indian Acres Subdivision, zoned SU-1 for C-1/O-1 & SU-1 for O-1; located on Carlisle Blvd. NE between Comanche Rd. NE and Aztec Rd. NE, containing approximately 3.5686 acres. (G-16) Randall Falkner, Staff Planner

On September 8, 2011 the Environmental Planning Commission voted to APPROVE Project 1008916 / 11EPC-40052, a request for an Amendment to the Site Development Plan for Building Permit based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is to amend a site development plan for building permit for Lot 8-D1 and Lot 8-B, Block B, Indian Acres Subdivision, located on Carlisle Blvd. NE between Comanche Blvd. NE and Aztec Rd NE, containing approximately 3.6 acres.
2. The applicant intends to build a 12,000 square foot sanctuary building at an existing, developed site. In a future phase, the applicant intends to build an 8,600 square foot religious education building.
3. The subject site is zoned SU-1 for O-1 Uses (Lot 8-D1) and SU-1 for C-1 & O-1 Uses (Lot 8-B). The proposed use, church and related facilities, is a permissive use in the O-1 zone (§14-16-2-15).

OFFICIAL NOTICE OF DECISION

PROJECT # 1008916

SEPTEMBER 8, 2011

Page 2 of 6

4. The EPC is hearing this case because development of an SU-1 zone may only occur in conformance with an approved site development plan.
5. The site is located within the Established Urban Area of the Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The request includes design standards for the future religious education building. The proposed religious education building complies with the proposed design standards. The applicant is requesting delegation of future site plan approval to the DRB. The design standards will provide adequate guidance to ensure quality development in the future.
8. The request furthers applicable policies of the Comprehensive Plan, including the following:
 - a. Established Urban Areas Policy II.B.5d – The location and intensity of the request will respect existing neighborhood values, environmental conditions and carrying capacities, scenic or social resources.
 - b. Established Urban Areas Policy II.B.5e – The subject site is currently underutilized land that is contiguous to existing urban facilities, infrastructure, and services where the integrity of existing neighborhoods can be ensured through the SU-1 designation.
 - c. Established Urban Areas Policy II.B.5i – The proposed uses have been located to complement residential areas and the site has been designed to minimize the adverse effects of noise, lighting, pollution, and traffic on residential environments.
 - d. Established Urban Areas Policy II.B.5k – The proposed development will ensure the livability and safety of surrounding neighborhoods by mitigating any harmful effects of traffic with effective and proper site design. Existing, vehicular access points onto Carlisle and Comanche Boulevards will be eliminated, while still maintaining pedestrian access at both locations. Internal pedestrian circulation is provided between Lot 8-D1 and 8-B. An enlarged landscaped buffer along the street right-of-way and additional site landscaping will enhance the site for pedestrians and site patrons.
 - e. Established Urban Areas Policy II.B.5m – The proposed site design maintains and enhances unique vistas and improves the quality of the visual environment. The request will improve the streetscape by relocating the existing parking to the rear of the subject site, and to the adjacent parcel. It will anchor the corner with an architecturally innovative structure and additional landscaping.
 - f. Transportation and Transit Policy II.D.4g – The proposed development incorporates pedestrian areas and access within the site to create safe and pleasant non-motorized travel conditions. The proposed sanctuary building is set relatively close to the street, which strengthens the interface between the pedestrian realm and the edge of

the public right-of-way. Parking is located behind the proposed sanctuary and existing buildings.

9. There is no known opposition to the request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The future site plan for building permit for the religious education building shall be delegated to the DRB.
3. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
4. Lighting: Adequate lighting shall be provided throughout the site, including sufficient lighting for the south parking lot in order to provide safety and security.
5. Parking:
 - a. The number of parking spaces provided shall be changed from 143 to 145 spaces.
 - b. A site detail for a motorcycle parking sign shall be provided.
 - c. The site plan for building permit shall indicate that there is an existing cross parking agreement between the church and the existing ARC building.
6. Landscaping:
 - a. The landscape calculations shall be reconfigured to show the less building area, the correct net lot area and 15% required landscape.
 - b. Tree landscaping and parking lot lights shall not be in conflict with each other.
7. Signage:

OFFICIAL NOTICE OF DECISION

PROJECT # 1008916

SEPTEMBER 8, 2011

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- a. The 123 square foot monument sign shall be reduced to 75 square feet, per Section 14-16-2-15 (A)(16)(c)(1).
- b. The signage on the 6 foot site wall facing Comanche shall be removed, as only one free-standing sign is permitted for each premises, per Section 14-16-2-15 (A)(16)(b)(3).

8. Design Standards:

- a. Sheet 10 of 10, for C. Pedestrian Paths, second sentence, shall add the word "walkway" between the words "pedestrian" and "shall".
- b. The title for the Design Standards on Sheet 10 of 10 shall be "Design Standards for the future First Unitarian Religious Education Building and for other future work which will occur."
- c. The last sentence of the second paragraph under A. Architectural Character and Architectural Design Elements shall Read "Entry elements are prominent architectural features on the building."
- d. A second sentence shall be added to A.2 Roofs which reads as follows: "Parapets shall be horizontal or stepped; diagonal lines are not permitted."
- e. The first sentence of A.4 Shading & Entries shall read as follows: "Shading at entries shall follow these standards: have awnings, canopies or colonnades at openings."
- f. The following shall be added as the last sentence to A.5 Building Materials & Colors: "Brick shall be incorporated as an element of facades for new structures."
- g. The first sentence of G. Approval Process shall read as follows: "Procedurally, this project shall submit a site development plan for building permit which will be reviewed by the designee of the Planning Director then sent with a recommendation to the Development Review Board (DRB)."

9. General Cleanup:

- a. The Sheet labeled as "Conceptual Grading & Drainage Plan" shall be labeled as "Grading & Drainage Plan."
- b. The Sheet labeled as "Conceptual Utility Plan" shall be labeled as "Utility Plan."

10. Conditions from City Engineer, Municipal Development and NMDOT:

- a. Provide/label/detail all dimensions and proposed infrastructure for Site.
- b. All parking aisles with two way traffic must have a minimum width of 24 feet, with the exception of the east/west 21 foot drive aisle on the south parking lot, in order to avoid moving the existing power pole.

OFFICIAL NOTICE OF DECISION

PROJECT # 1008916

SEPTEMBER 8, 2011

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- c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - d. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
 - f. Site plan shall comply and be designed per DPM Standards, except as noted herein.
11. Condition from Public Service Company of New Mexico: Existing electric infrastructure is located on the western and southern boundary of the property. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
12. The landscape area north and east of the proposed building shall be depressed for water harvesting (per agency comment from the Hydrology Development Department).
13. The EPC supports a consistent 5' 6" sidewalk along Carlisle & Comanche Boulevards, except for the western portion of the sidewalk on Comanche Boulevard up to the entry sidewalk, which shall remain as is, in order to preserve landscaping.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY SEPTEMBER 23, 2011 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION

PROJECT # 1008916

SEPTEMBER 8, 2011

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ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

DMarone

for Deborah Stover
Planning Director

DS/RF/mc

cc: First Unitarian Church of Albuquerque, 3701 Carlisle Blvd. NE, Albuquerque, NM 87110
Doug Heller, 924 Park Avenue SW, Suite B, Albuquerque, NM 87110
Carol Givens, 4700 Douglas MacArthur NE, Albuquerque, NM 87110
Geri Griego, 3018 Solano NE, Albuquerque, NM 87110
Marge Padilla, 3616 Aztec NE, Albuquerque, NM 87110
Ted Schmidt, 3626 Vista Grande NW, Albuquerque, NM 87120
Ferdinand Balanquit, 4024 Palo Duro NE, Albuquerque, NM 87110
Blas Urquidez Jr., 3509 Tulane NE, Apt. 2, Albuquerque, NM 87107

HEARINGS DATE: 10-12-11 (SBP)

complete

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP] **EPC**

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1008916 Application #: 11DRB-70274
 Project Name: INDIAN ACRES SUBDIVISION
 Agent: Mullen Heller Architecture Phone #:

****Your request was approved on 12-14-11 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed****

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): remove tree SW corner

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.
OK - 12-20-11

CITY OF ALBUQUERQUE



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1008916

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for Building Permit

ENGINEERING COMMENTS:

Hydrology has an approved Grading and Drainage plan for this action.
The Landscape should be modified to reflect the ponding/water harvesting areas on the approved plan.
How can the existing tree in the southwest corner remain if the grade is to be cut 2 feet as part of the ponding concept?

PO Box 1293

Albuquerque **RESOLUTION/COMMENTS:**

NM 87103

www.cabq.gov

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3968

DATE: 10-26-11

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008916

AGENDA ITEM NO: 6

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide recording information for all access easements and recorded agreements; define maintenance and beneficiary information.

All 3'6" wide sidewalk (as defined in keyed note 39) must be removed and replaced with 6-foot wide sidewalk. An extension of the sidewalk is not acceptable.

All proposed sidewalk along Carlisle Boulevard and Comanche Boulevard must be 6 feet in width.

The proposed sign may interfere with the sight distance at the entrance. Please provide a sight distance exhibit for the entrance (See the *Development Process Manual*, Chapter 23, Section 6, Part B.12).

Provide details for all ramps.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: OCTOBER 26, 2011

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PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008916

AGENDA ITEM NO: 6

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide recording information for all access easements and recorded agreements; define maintenance and beneficiary information.
All 3'6" wide sidewalk (as defined in keyed note 39) must be removed and replaced with 6-foot wide sidewalk. An extension of the sidewalk is not acceptable.
All proposed sidewalk along Carlisle Boulevard and Comanche Boulevard must be 6 feet in width.
The proposed sign may interfere with the sight distance at the entrance. Please provide a sight distance exhibit for the entrance (See the *Development Process Manual*, Chapter 23, Section 6, Part B.12).
Provide details for all ramps.

RESOLUTION:

INDEF

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: NOVEMBER 16, 2011

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1008916

AGENDA ITEM NO: 6

SUBJECT:

ENGINEERING COMMENTS:

Site Plan for Building Permit

Hydrology has an approved Grading and Drainage plan for this action.

How can the existing tree in the southwest corner remain if the grade is to be cut 2 feet as part of the ponding concept?

PO Box 1293

RESOLUTION/COMMENTS:

Albuquerque

NM 87103

www.cabq.gov

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3968

DATE: 11-16-11

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008916

AGENDA ITEM NO: 7

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide recording information for all access easements and recorded agreements; define maintenance and beneficiary information.

All 3'6" wide sidewalk (as defined in keyed note 39) must be removed and replaced with 6-foot wide sidewalk. An extension of the sidewalk is not acceptable.

All proposed sidewalk along Carlisle Boulevard and Comanche Boulevard must be 6 feet in width.

The proposed sign may interfere with the sight distance at the entrance. Please provide a sight distance exhibit for the entrance (See the *Development Process Manual*, Chapter 23, Section 6, Part B.12).

Provide details for all ramps.

RESOLUTION:

11-16-11

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: NOVEMBER 9, 2011

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1008916

AGENDA ITEM NO: 7

SUBJECT:

ENGINEERING COMMENTS:

Site Plan for Building Permit

Hydrology has an approved Grading and Drainage plan for this action.

How can the existing tree in the southwest corner remain if the grade is to be cut 2 feet as part of the ponding concept?

PO Box 1293

RESOLUTION/COMMENTS:

Albuquerque

NM 87103

www.cabq.gov

SIGNED:

Curtis Cheme
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3968

DATE: 11-9-11

TRANSMITTAL LETTER

PROJECT: First Unitarian Church of Albuquerque
3701 Carlisle Boulevard NE.
Albuquerque, New Mexico 87110

Project No.: 11-09
Date: October 21, 2011

TO: COA-DRB
Albuquerque, NM
ATTN: Angela
CC: File
Phone #: (505) 924-3946
SIGNED: Michael Salvador

WE TRANSMIT:

- HEREWITH
- UNDER SEPARATE COVER
- IN ACCORDANCE WITH YOUR REQUEST

FOR YOUR:

- APPROVAL
- REVIEW AND COMMENT
- RECORD
- USE

THE FOLLOWING:

- DRAWINGS
- LETTER(S)
- SHOP DRAWINGS
- OTHER

VIA:

- REGULAR MAIL
- FEDERAL EXPRESS
- FAX
- HAND PICKUP/DELIVERY
- Electronic Mail – (Email)

COPIES	DATE	DESCRIPTION
5 sets	10/21/11	Revised Site Plan (pg.1), G & D (pg.5) and Site Demo Plan (pg.9)

REMARKS

Mullen Heller Architecture PC

924 Park Avenue SW Suite B Albuquerque NM 87102
505 268 4144 [p] 505 268 4244 [f]

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/29/2011 Issued By: E08375 124238

Category Code **910**

2011 070 274

Application Number: 11DRB-70274, Epc Approved Sdp For Build Permit

Address:

Location Description: CARLISLE BLVD NE BETWEEN COMANCHE BLVD NE AND AZTEC RD NE

Project Number: 1008916

Applicant

FIRST UNITARIAN CHURCH OF ALBUQUERQUE

3701 CARLISLE BLVD NE
ALBUQUERQUE NM 87110

Agent / Contact

MULLEN HELLER ARCHITECTURE

924 PARK AVE SW
ALBUQUERQUE NM 87102

Application Fees

441018/4943000	APN Fee	
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	
TOTAL:		\$20.00

DUPLICATE
City Of Albuquerque
Treasury Division

9/29/2011 11:00AM LOC: ANMX
WS# 007 TRANS# 0009
RECEIPT# 00148948-00148948
PERMIT# 2011070274 TRSSVG
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
CK \$20.00
CHANGE \$0.00

Thank You

TRANSMITTAL LETTER

PROJECT: First Unitarian Church of Albuquerque
3701 Carlisle Boulevard NE.
Albuquerque, New Mexico 87110

Project No.: 11-09
Date: October 28, 2011

TO: COA-DRB Chairman Jack Cloud
Po. Box 1293
Albuquerque, NM 87103

ATTN: Angela Gomez/Jack Cloud

CC: File

Phone #: (505) 924-3946

SIGNED: Michael Salvador

WE TRANSMIT:

- HEREWITH
 UNDER SEPARATE COVER
 IN ACCORDANCE WITH
YOUR REQUEST

FOR YOUR:

- APPROVAL
 REVIEW AND COMMENT
 RECORD
 USE

THE FOLLOWING:

- DRAWINGS
 LETTER(S)
 SHOP DRAWINGS
 OTHER

VIA:

- REGULAR MAIL
 FEDERAL EXPRESS
 FAX
 HAND PICKUP/DELIVERY
 Electronic Mail – (Email)

COPIES	DATE	DESCRIPTION
3 Sheets	10/28/11	Revised Site Plan (pg.1), Landscaping Plan (pg. 3) and G&D (pg.4 & 5) Project No. 1008916 DRB No. 11DRB-70274

Distribution List:

1 Set of 3	Cloud, DRB Chairman, Planning Department
1 Set of 3	Kristal Metro, P.E., Transportation Development
1 Set of 3	Curtis Cheme, P.E. Hydrology

REMARKS

Mullen Heller Architecture PC

924 Park Avenue SW Suite B Albuquerque NM 87102
505 268 4144 [p] 505 268 4244 [f]

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Mullen Heller Architecture, PC. PHONE: 505-268-4144
 ADDRESS: 924 Park Avenue SW Suite B FAX: 505-268-4244
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: doug@mullenheller.com

APPLICANT: First Unitarian Church of Albuquerque PHONE: _____
 ADDRESS: 3701 Carlisle Boulevard NE FAX: 505.884.6425
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: crobinson@uuabq.org
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Obtain Final Sign-off for EPC Approved Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 8-D1 and Lot 8-B Block: B (Lot 8B) Unit: _____
 Subdiv/Addn/TBKA: Indian Acres Subdivdision
 Existing Zoning: 8B: SU-1 for C-1/O-1 Proposed zoning: N/A MRGCD Map No N/A
 Zone Atlas page(s): G-16-Z UPC Code: 8-D1: 101606050623141206
8B: 101606051320241216

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): BA-184, BA-1796, DRB-99-12712-99-S4, DRB-88140, Z-84-105, Z-84-105-2 and 11EPC-40052

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 2 Total area of site (acres): 3.5686 AC.
 LOCATION OF PROPERTY BY STREETS: On or Near: Physical Address: 3701 Carlisle Boulevard NE.
 Between: Comanche Boulevard NE. and Aztec Road

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 6/28/2011

SIGNATURE [Signature] DATE 6/28/11
 (Print) Doug Heller Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

11DRB - 70274

Action

SBP

CMF

S.F.

Fees

\$ _____

\$ 20.00

\$ _____

\$ _____

\$ _____

Total

\$ 20.00

Hearing date October 12, 2011

[Signature]

9-29-11

Planner signature / date

Project #

1008916

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

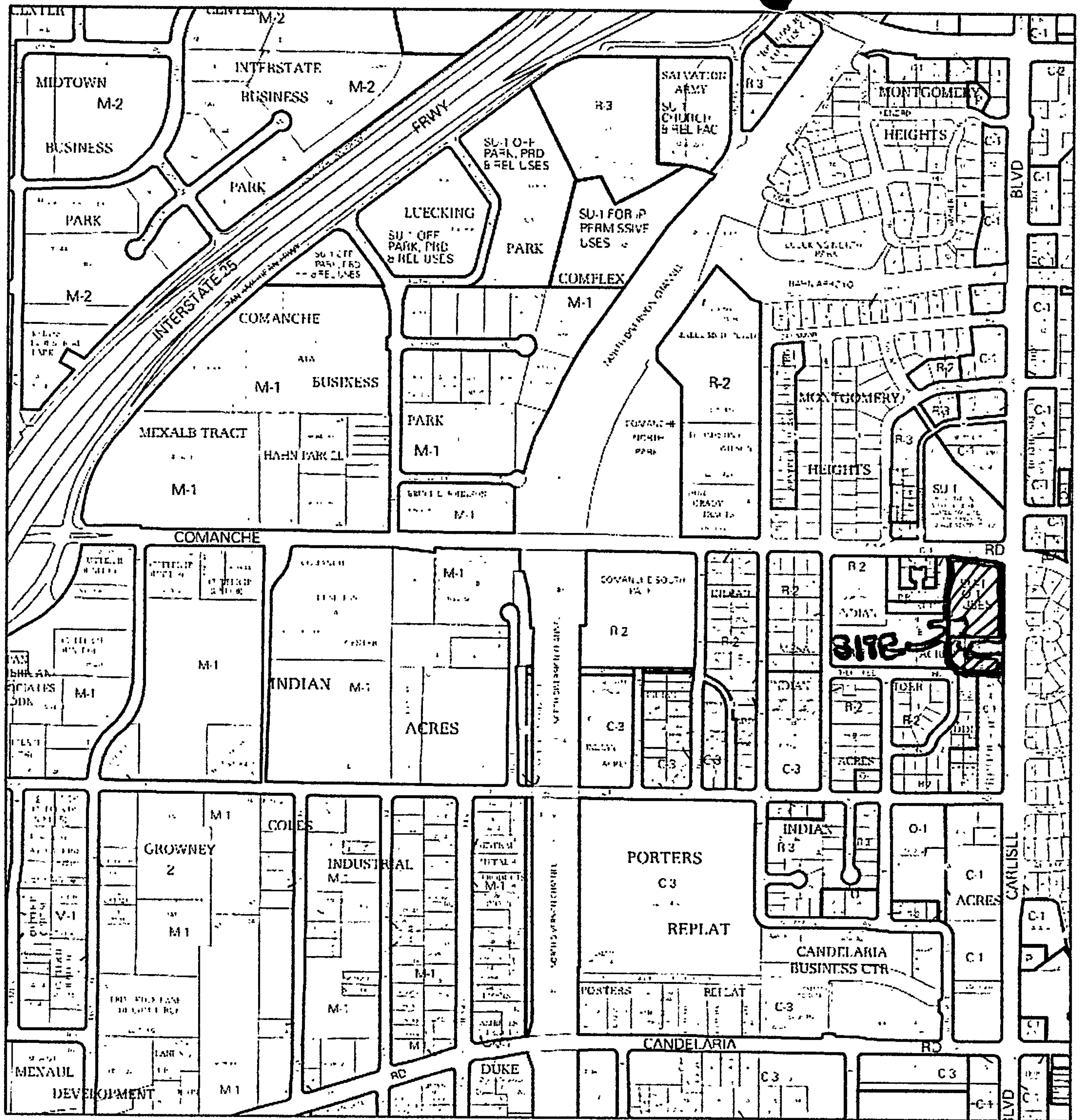
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

borg Heller
 Applicant name (print)
[Signature] 9/28/11
 Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete	Application case numbers	<i>[Signature]</i> 9-25-11 Planner signature / date
<input checked="" type="checkbox"/> Fees collected	11 DRB - 70274	Project # 1008910
<input checked="" type="checkbox"/> Case #s assigned	_____	
<input checked="" type="checkbox"/> Related #s listed	_____	



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
G-16-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

Map amended through: 1/24/2011

October 4, 2011

Jack Cloud, AICP, Chairman
Development Review Board
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

**Re: First Unitarian Church of Albuquerque
Amendment to Site Development Plan for Building Permit
11EPC-40052, Project Number #1008916**

Dear Mr. Cloud:

Mullen Heller Architecture is submitting for Development Review Board approval of the above referenced project based on the Environmental Planning Commission findings and Conditions of Approval from the September 8, 2011 hearing. We have addressed the EPC conditions of approval as follows:

1. *The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.*
This letter addresses how each EPC Condition of Approval has been met.
2. *The future site plan for building permit for the religious education building shall be delegated to the DRB.*
Note "G: Approval Process" satisfies this condition.
3. *Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.*
Prior to the DRB hearing we will meet with the EPC staff planner to ensure that the conditions have been addressed in the DRB documents.
4. *Lighting: Adequate lighting shall be provided throughout the site, including sufficient lighting for the south parking lot in order to provide safety and security.*
Note "E" has been added to "Site Lighting Notes" on the Site Development Plan Sheet 1 of 11 to satisfy this condition.
5. *Parking:*
 - a. *The number of parking spaces provided shall be changed from 143 to 145 spaces.*
The parking calculations have been revised on the Site Development Plan Sheet 1 of 11.
 - b. *A site detail for a motorcycle parking sign shall be provided.*
Detail 8 has been revised on Sheet 10 of 11 to satisfy this condition.

- c. *The site plan for building permit shall indicate that there is an existing cross parking agreement between the church and the existing ARC building.*
Note "D" has been added to "General Notes" on the Site Development Plan Sheet 1 of 11 to satisfy this condition.
6. *Landscaping:*
- a. *The landscape calculations shall be reconfigured to show the less building area, the correct net lot area and 15% required landscape.*
The landscaping calculations have been revised to satisfy this condition.
- b. *Tree landscaping and parking lot lights shall not be in conflict with each other.*
The site lighting has been reviewed and relocated as necessary as not to be in conflict with the landscaping.
7. *Signage:*
- a. *The 123 square foot monument sign shall be reduced to 75 square feet, per Section 14-16-2-15 (A)(16)(c)(1).*
Detail 4 on Sheet 10 of 11 has been revised to satisfy this condition.
- b. *The signage on the 6 foot site wall facing Comanche shall be removed, as only one free-standing sign is permitted for each premises, per Section 14-16-2-15 (A)(16)(b)(3).*
Detail 3 on Sheet 10 of 11 has been revised to satisfy this condition.
8. *Design Standards:*
- a. *Sheet 10 of 10, for C. Pedestrian Paths, second sentence, shall add the word "walkway" between the words "pedestrian" and "shall".*
This sentence has been revised.
- b. *The title for the Design Standards on Sheet 10 of 10 shall be "Design Standards for the future First Unitarian Religious Education Building and for other future work which will occur."*
This sentence has been revised.
- c. *The last sentence of the second paragraph under A. Architectural Character and Architectural Design Elements shall Read "Entry elements are prominent architectural features on the building,"*
This sentence has been revised.
- d. *A second sentence shall be added to A.2 Roofs which reads as follows: "Parapets shall be horizontal or stepped; diagonal lines are not permitted."*
This sentence has been revised.
- e. *The first sentence of A.4 Shading & Entries shall read as follows: "Shading at entries shall follow these standards: have awnings, canopies or colonnades at openings."*
This sentence has been revised.
- f. *The following shall be added as the last sentence to A.5 Building Materials & Colors: "Brick shall be incorporated as an element of facades for new structures."*
This sentence has been revised.

- g. *The first sentence of G. Approval Process shall read as follows: 'Procedurally, this project shall submit a site development plan for building permit which will be reviewed by the designee of the Planning Director then sent with a recommendation to the Development Review Board (DRB).'*
This sentence has been revised.
9. *General Cleanup:*
- a. *The Sheet labeled as "Conceptual Grading & Drainage Plan" shall be labeled as "Grading & Drainage Plan."*
This Sheet Title has been revised.
- b. *The Sheet labeled as "Conceptual Utility Plan" shall be labeled as "Utility Plan."*
This Sheet Title has been revised.
10. *Conditions from. City Engineer, Municipal Development and NMDOT:*
- a. *Provide/Label/Detail all dimensions and proposed infrastructure for Site.*
The site plan has been reviewed and plan complies with the following condition.
- b. *All parking aisles with two way traffic must have a minimum width of 24 feet, with the exception of the east/west 21 foot drive aisle on the south parking lot, in order to avoid moving the existing power pole.*
The Site Development Plan has been reviewed and all drive aisles comply with the condition as noted. Refer to Site Development Plan for Aisle dimensions.
- c. *The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).*
No conditions were delegated during EPC.
- d. *All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.*
No conditions were delegated during EPC.
- e. *Site plan shall comply and be designed per DPM Standards, except as noted herein.*
The site plan complies with the DPM Standards.
11. *Condition from Public Service Company of New Mexico: Existing electric infrastructure is located on the western and southern boundary of the property. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.*
The owner will coordinate with PNM on all new/existing easements crossing the property.
12. *The landscape area north and east of the proposed building shall be depressed for water harvesting (per agency comment from the Hydrology Development Department).*
Both the Grading & Drainage and Landscaping Plan have been revised to show "water harvesting" location.

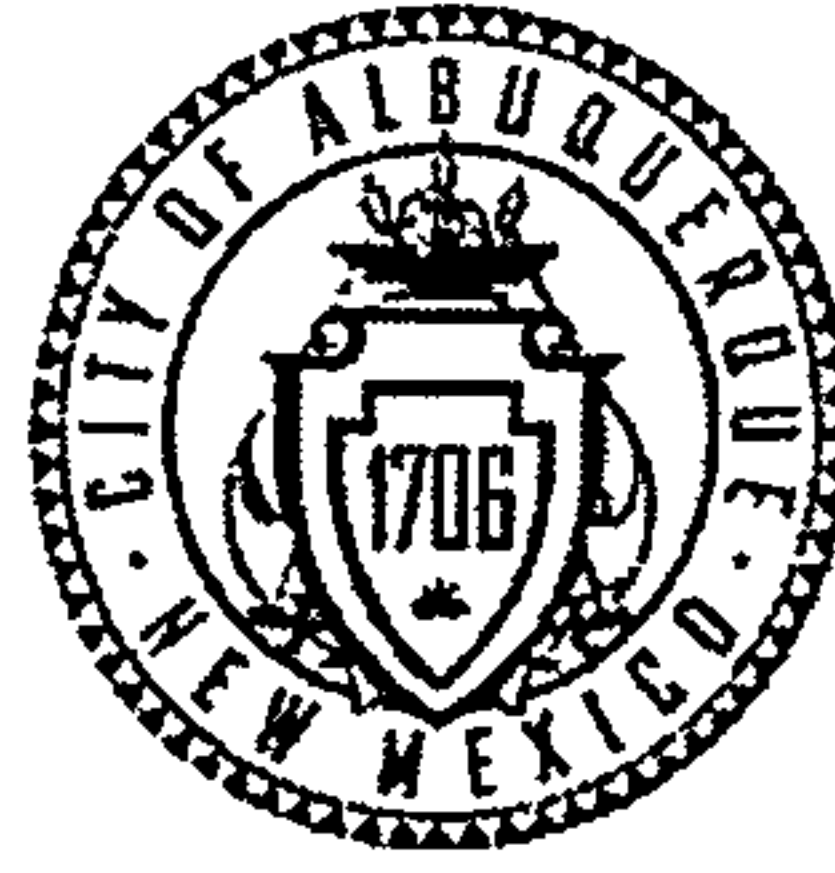
13. The EPC supports a consistent 5'-6" sidewalk along Carlisle & Comanche Boulevards, except for the western portion of the sidewalk on Comanche Boulevard up to the entry sidewalk, which shall remain as is, in order to preserve landscaping.

The Site Development Plan Sheet 1 of 11 has been revised to show a consistent 5'-6" concrete sidewalk (note 75) along both Carlisle and Comanche Boulevards to satisfy this condition.

Sincerely,

Mullen Heller Architecture, PC


Douglas Heller, AIA



City of Albuquerque
Planning Department
Urban Design & Development Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 8, 2011

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1008916
11EPC-40052 Amendment to Site Development
Plan for Building Permit

First Unitarian Church of Albuquerque
3701 Carlisle NE
Albuquerque, NM 87110

LEGAL DESCRIPTION:

Mullen Heller Architecture agent for First Unitarian Church of Albuquerque requests the above action for all or a portion of Tracts 8-D1 & 8-B, Block B, Indian Acres Subdivision, zoned SU-1 for C-1/O-1 & SU-1 for O-1, located on Carlisle Blvd. NE between Comanche Rd. NE and Aztec Rd. NE, containing approximately 3.5686 acres. (G-16) Randall Falkner, Staff Planner

On September 8, 2011 the Environmental Planning Commission voted to APPROVE Project 1008916 / 11EPC-40052, a request for an Amendment to the Site Development Plan for Building Permit based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is to amend a site development plan for building permit for Lot 8-D1 and Lot 8-B, Block B, Indian Acres Subdivision, located on Carlisle Blvd. NE between Comanche Blvd. NE and Aztec Rd NE, containing approximately 3.6 acres.
2. The applicant intends to build a 12,000 square foot sanctuary building at an existing, developed site. In a future phase, the applicant intends to build an 8,600 square foot religious education building.
3. The subject site is zoned SU-1 for O-1 Uses (Lot 8-D1) and SU-1 for C-1 & O-1 Uses (Lot 8-B). The proposed use, church and related facilities, is a permissive use in the O-1 zone (§14-16-2-15).

OFFICIAL NOTICE OF DECISION .

PROJECT # 1008916

SEPTEMBER 8, 2011

Page 2 of 6

4. The EPC is hearing this case because development of an SU-1 zone may only occur in conformance with an approved site development plan.
5. The site is located within the Established Urban Area of the Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The request includes design standards for the future religious education building. The proposed religious education building complies with the proposed design standards. The applicant is requesting delegation of future site plan approval to the DRB. The design standards will provide adequate guidance to ensure quality development in the future.
8. The request furthers applicable policies of the Comprehensive Plan, including the following:
 - a. Established Urban Areas Policy II.B.5d – The location and intensity of the request will respect existing neighborhood values, environmental conditions and carrying capacities, scenic or social resources.
 - b. Established Urban Areas Policy II.B.5e – The subject site is currently underutilized land that is contiguous to existing urban facilities, infrastructure, and services where the integrity of existing neighborhoods can be ensured through the SU-1 designation.
 - c. Established Urban Areas Policy II.B.5i – The proposed uses have been located to complement residential areas and the site has been designed to minimize the adverse effects of noise, lighting, pollution, and traffic on residential environments.
 - d. Established Urban Areas Policy II.B.5k – The proposed development will ensure the livability and safety of surrounding neighborhoods by mitigating any harmful effects of traffic with effective and proper site design. Existing, vehicular access points onto Carlisle and Comanche Boulevards will be eliminated, while still maintaining pedestrian access at both locations. Internal pedestrian circulation is provided between Lot 8-D1 and 8-B. An enlarged landscaped buffer along the street right-of-way and additional site landscaping will enhance the site for pedestrians and site patrons.
 - e. Established Urban Areas Policy II.B.5m – The proposed site design maintains and enhances unique vistas and improves the quality of the visual environment. The request will improve the streetscape by relocating the existing parking to the rear of the subject site, and to the adjacent parcel. It will anchor the corner with an architecturally innovative structure and additional landscaping.
 - f. Transportation and Transit Policy II.D.4g – The proposed development incorporates pedestrian areas and access within the site to create safe and pleasant non-motorized travel conditions. The proposed sanctuary building is set relatively close to the street, which strengthens the interface between the pedestrian realm and the edge of

the public right-of-way. Parking is located behind the proposed sanctuary and existing buildings.

9. There is no known opposition to the request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The future site plan for building permit for the religious education building shall be delegated to the DRB.
3. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
4. **Lighting:** Adequate lighting shall be provided throughout the site, including sufficient lighting for the south parking lot in order to provide safety and security.
5. **Parking:**
 - a. The number of parking spaces provided shall be changed from 143 to 145 spaces.
 - b. A site detail for a motorcycle parking sign shall be provided.
 - c. The site plan for building permit shall indicate that there is an existing cross parking agreement between the church and the existing ARC building.
6. **Landscaping:**
 - a. The landscape calculations shall be reconfigured to show the less building area, the correct net lot area and 15% required landscape.
 - b. Tree landscaping and parking lot lights shall not be in conflict with each other.
7. **Signage:**

OFFICIAL NOTICE OF DECISION

PROJECT # 1008916

SEPTEMBER 8, 2011

Page 4 of 6

- a. The 123 square foot monument sign shall be reduced to 75 square feet, per Section 14-16-2-15 (A)(16)(c)(1).
- b. The signage on the 6 foot site wall facing Comanche shall be removed, as only one free-standing sign is permitted for each premises, per Section 14-16-2-15 (A)(16)(b)(3).

8. Design Standards:

- a. Sheet 10 of 10, for C. Pedestrian Paths, second sentence, shall add the word "walkway" between the words "pedestrian" and "shall".
- b. The title for the Design Standards on Sheet 10 of 10 shall be "Design Standards for the future First Unitarian Religious Education Building and for other future work which will occur."
- c. The last sentence of the second paragraph under A. Architectural Character and Architectural Design Elements shall Read "Entry elements are prominent architectural features on the building."
- d. A second sentence shall be added to A.2 Roofs which reads as follows: "Parapets shall be horizontal or stepped; diagonal lines are not permitted."
- e. The first sentence of A.4 Shading & Entries shall read as follows: "Shading at entries shall follow these standards: have awnings, canopies or colonnades at openings."
- f. The following shall be added as the last sentence to A.5 Building Materials & Colors: "Brick shall be incorporated as an element of facades for new structures."
- g. The first sentence of G. Approval Process shall read as follows: "Procedurally, this project shall submit a site development plan for building permit which will be reviewed by the designee of the Planning Director then sent with a recommendation to the Development Review Board (DRB)."

9. General Cleanup:

- a. The Sheet labeled as "Conceptual Grading & Drainage Plan" shall be labeled as "Grading & Drainage Plan."
- b. The Sheet labeled as "Conceptual Utility Plan" shall be labeled as "Utility Plan."

10. Conditions from City Engineer, Municipal Development and NMDOT:

- a. Provide/label/detail all dimensions and proposed infrastructure for Site.
- b. All parking aisles with two way traffic must have a minimum width of 24 feet, with the exception of the east/west 21 foot drive aisle on the south parking lot, in order to avoid moving the existing power pole.

- c. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - d. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
 - f. Site plan shall comply and be designed per DPM Standards, except as noted herein.
11. Condition from Public Service Company of New Mexico: Existing electric infrastructure is located on the western and southern boundary of the property. As a condition, it is the applicant's obligation to determine if existing utility easements cross the property and to abide by any conditions or terms of those easements.
 12. The landscape area north and east of the proposed building shall be depressed for water harvesting (per agency comment from the Hydrology Development Department).
 13. The EPC supports a consistent 5' 6" sidewalk along Carlisle & Comanche Boulevards, except for the western portion of the sidewalk on Comanche Boulevard up to the entry sidewalk, which shall remain as is, in order to preserve landscaping.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY SEPTEMBER 23, 2011 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

OFFICIAL NOTICE OF DECISION

PROJECT # 1008916

SEPTEMBER 8, 2011

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ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



for Deborah Stover
Planning Director

DS/RF/mc

cc: First Unitarian Church of Albuquerque, 3701 Carlisle Blvd. NE, Albuquerque, NM 87110
Doug Heller, 924 Park Avenue SW, Suite B, Albuquerque, NM 87110
Carol Givens, 4700 Douglas MacArthur NE, Albuquerque, NM 87110
Geri Griego, 3018 Solano NE, Albuquerque, NM 87110
Marge Padilla, 3616 Aztec NE, Albuquerque, NM 87110
Ted Schmidt, 3626 Vista Grande NW, Albuquerque, NM 87120
Ferdinand Balanquit, 4024 Palo Duro NE, Albuquerque, NM 87110
Blas Urquidez Jr., 3509 Tulane NE, Apt. 2, Albuquerque, NM 87107