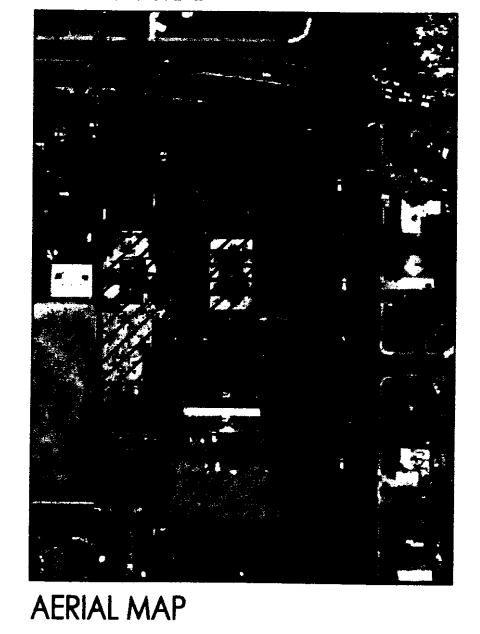
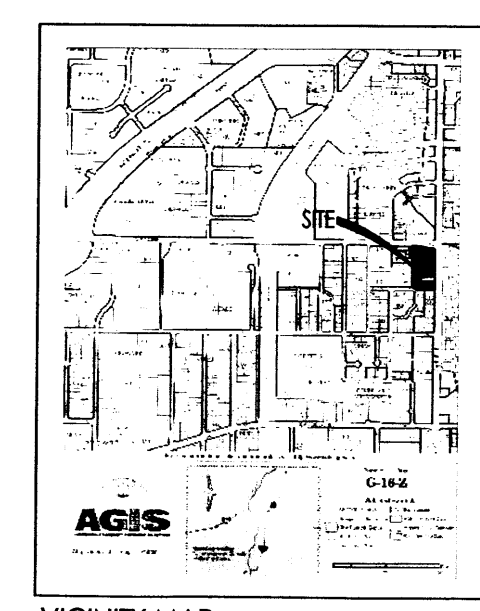


revision	by	date	rev
	Per City Engineer/Planning		
	Per Planning Dept. Review		
	Per COA-Voice of Decision		
	Per Planning Dept. Review		

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 505 268 4144 [p]
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job number	11-09
drawn by	VGLC
project manager	Doug Heller, AIA
date	7/28/2011



KEY NOTES:

- [1] PROPOSED FIRE HYDRANT (P1).
- [2] EXISTING SIDEWALK CURB CUT.
- [3] EXISTING PARKING STRIPING.
- [4] PROPOSED LANDSCAPING (P1).
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- [52] EXISTING CANOPY.
- [53] PROPOSED MEMORIAL GARDEN (P1).
- [54] EXISTING PLAYGROUND WITH EXISTING EQUIPMENT TO REMAIN.
- [55] EXISTING 6' SLOTTED WOOD FENCE.
- [56] EXISTING 3 1/2 BLOCK WALL.
- [57] EXISTING REFUSE ENCLOSURE WITH 6'H PRIVACY CHAIN LINK FENCE.
- [58] EXISTING GARDEN AREA.
- [59] PROPOSED BIKE RACK WITH 6 SPACES (P1). REFER TO 9/SHEET 9.
- [60] EXISTING BUILDING MOUNTED LIGHTING @ 16'-0" ABOVE GRADE.
- [61] PROPOSED SEATING WOOD BENCH TO MATCH EXISTING (P1).
- [62] PROPOSED 6"W OPENING IN EXISTING CURB (P1).
- [63] COA BUS STOP EASEMENT.
- [64] PROPOSED COA BUS SHELTER, NOT A PART. BUS ROUTES NO. 5 AND NO. 13.
- [65] EXISTING CURB CUT TO REMAIN.
- [66] EXISTING OFFICE EXPANSION.
- [67] PROPOSED CONCRETE PARKING BUMPER.
- [68] EXISTING POWER POLE.
- [69] EXISTING TREE TO REMAIN.
- [70] EXISTING SIGN TO REMAIN.
- [71] 6' HIGH YARD WALL WITH STUCCO FINISH TO MATCH EXISTING (P1). REFER TO 3/SHEET 9.
- [72] EXISTING BENCH TO REMAIN.
- [73] EXISTING STRIPED CROSSWALK.
- [74] PROPOSED MOTORCYCLE SIGN. SIGN TO INDICATE 3 SPACES.
- [75] REMOVE EXISTING SIDEWALK AND REPLACE WITH NEW 5'-6" WIDE CONCRETE SIDEWALK ALONG CARLISLE AND COMANCHE BOULEVARD AS SHOWN.
- [76] WATER HARVESTING LOCATION.

SITE DEVELOPMENT DATA:
 LEGAL DESCRIPTION: LOT 8-D1 AND LOT 8-B BLOCK B INDIAN ACRES SUBDIVISION CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
 BUILDING ADDRESS: FIRST UNITARIAN CHURCH 3701 CARLISLE BOULEVARD N.E. ALBUQUERQUE, NEW MEXICO 87110
 CURRENT ZONING: LOT 8-D1: SU-1 FOR O-1 USES LOT 8-B: SU-1 FOR C-1 AND O-1 USES
 ZONE ATLAS PAGE: G-16-Z
 LAND AREA: 3.5686 ACRES (155,449 SQ. FT.)
 BUILDING AREAS:
 EXISTING CHURCH OFFICES 2,493 SF
 EXISTING RELIGIOUS EDUCATION BUILDING 8,174 SF
 EXISTING SOCIAL HALL/PROPOSED OFFICE EXPANSION 1,965 SF
 EXISTING SANCTUARY/PROPOSED SOCIAL HALL 6,468 SF
 PROPOSED SANCTUARY 12,000 SF
 PROPOSED RELIGIOUS EDUCATION BUILDING 8,600 SF
 TOTAL BUILDING AREA 39,700 SF

DEVELOPMENT PHASING:
 PHASE I (P1): PHASE I WILL INCLUDE CONSTRUCTION OF NEW SANCTUARY, REMODEL OF EXISTING SANCTUARY FOR USE AS NEW SOCIAL HALL, REWORKING OF PARKING LOTS AND ALL LANDSCAPING EXCEPT THAT RELATED TO CONSTRUCTION OF NEW RELIGIOUS EDUCATION BUILDING.
 PHASE II (P2): PHASE II WILL INCLUDE CONSTRUCTION OF NEW RELIGIOUS EDUCATION BUILDING, OFFICE EXPANSION AND RELATED LANDSCAPING.

Site Development Plan for Building Permit
 Scale: 1"=20'-0"

PARKING CALCULATIONS:
 PER CABO COMPREHENSIVE ZONING CODE 14-16-3-1 (A) PARKING SPACES FOR AUTOMOBILES AND LIGHT TRUCKS SHALL BE PROVIDED ON-SITE OR ON A SITE ZONED P-R WITHIN 300 FEET OF THE USE, MEASURED ALONG THE SHORTEST PUBLIC RIGHT-OF-WAY, AS FOLLOWS.
 (3) CHURCH OR OTHER PLACE OF WORSHIP: ONE SPACE FOR EACH FOUR SEATS IN MAIN ROOM.
 350 SEATS / 4 SEATS = 88 REQUIRED PARKING SPACES
148 PARKING SPACES PROVIDED
 INCLUDING 24 SPACES ON LOT 8-A VIA EXISTING CROSS PARKING AGREEMENT.
 (B) PARKING FOR BICYCLES SHALL BE PROVIDED ON-SITE OR ON A SITE WITHIN 300 FEET OF THE USE, MEASURED ALONG THE SHORTEST PUBLIC RIGHT-OF-WAY, AS FOLLOWS:
 (3) NON-RESIDENTIAL USES: ONE BICYCLE SPACE PER EACH 20 PARKING SPACES REQUIRED FOR AUTOMOBILES AND LIGHT TRUCKS, BUT NOT LESS THAN TWO SPACES PER PREMISES.
 88 PARKING SPACES / 20 = 4.4 BICYCLE SPACES REQUIRED
6 BICYCLE SPACES PROVIDED
 (C) PARKING FOR MOTORCYCLES, MOPEDS, AND MOTOR SCOOTERS SHALL BE PROVIDED ON-SITE AS FOLLOWS:
 (1) NON-RESIDENTIAL USES: 51-100 REQUIRED PARKING SPACES REQUIRES 3 MOTORCYCLE PARKING SPACES.
 88 PARKING SPACES = 3 MOTORCYCLE SPACES REQUIRED
3 MOTORCYCLE SPACES PROVIDED
 (9) PARKING SPACES FOR VEHICLES WITH VALID DISTINCTIVE REGISTRATION PLATES FOR THE PHYSICALLY DISABLED:
 88 PARKING SPACES = 4 ACCESSIBLE SPACES REQUIRED
6 ACCESSIBLE SPACES PROVIDED

RADIUS INFORMATION:
 (1) = 3'-0" (5) = 28'-0"
 (2) = 4'-0" (6) = 8'-0"
 (3) = 15'-0" (7) = 25'-0"
 (4) = 20'-0"

PROPERTY LINE RADIUS INFORMATION:
 R1 = 87'18"41" Δ = 87'18"41"
 (R = 25.00') R = 25.00'
 (T = 21.85') T = 21.85'
 (L = 35.92') L = 35.92'
 CH BRG=N41°24'56"W
 CH L = 32.91'

GENERAL NOTES:

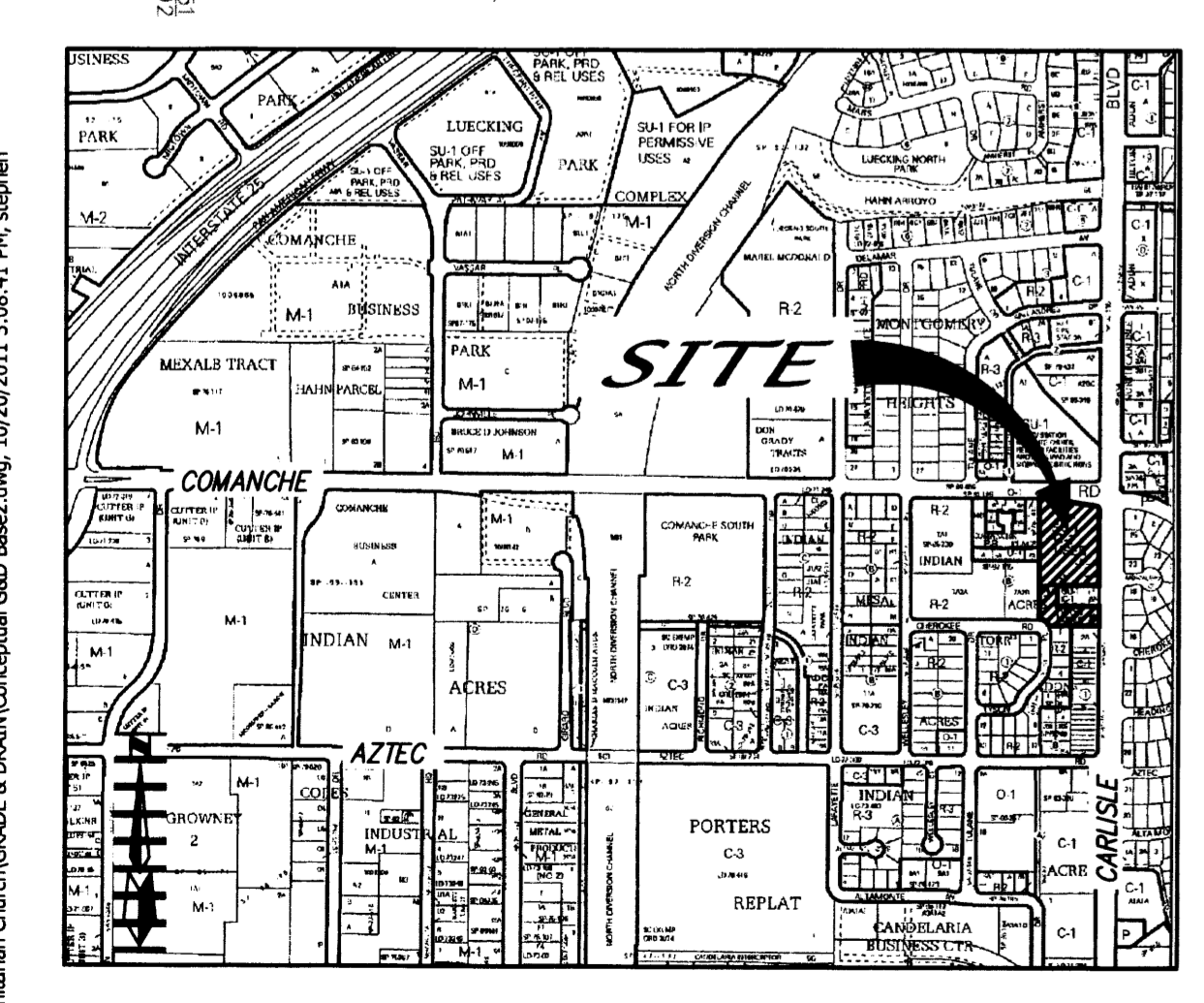
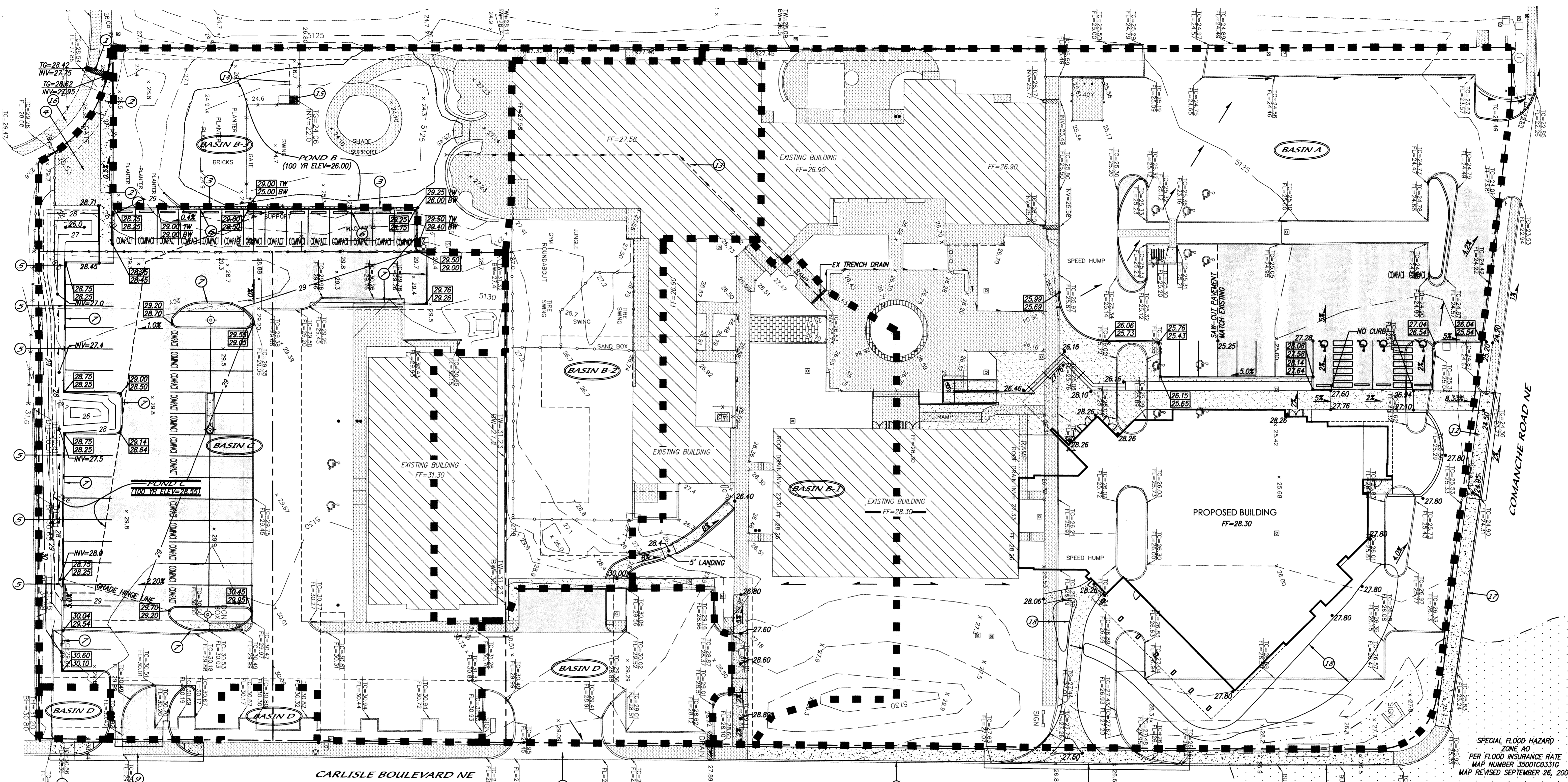
- [A] THE DESIGN STANDARDS INCLUDED IN THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR THIS PROJECT SHALL GOVERN THE FUTURE DESIGN OF THE RELIGIOUS EDUCATION BUILDING. THESE DESIGN STANDARDS CAN BE FOUND ON SHEET 7 OF 9. THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] THE EXISTING CROSS PARKING AGREEMENT BETWEEN TRACT 8-D1 (CHURCH) AND LOT 8-A (ARC BLDG.) WILL REMAIN FOR THIS DEVELOPMENT.
- [C] SEE PARKING AND CIRCULATION PLAN, SHEET 9, FOR MEDIAN, STRIPING, ETC. IN CARLISLE BOULEVARD AND COMANCHE BOULEVARD.
- [D] THE EXISTING CROSS PARKING AGREEMENT BETWEEN TRACT 8-D1 (CHURCH) AND LOT 8-A (ARC BLDG.) WILL REMAIN FOR THIS DEVELOPMENT.
- [E] ADEQUATE LIGHTING SHALL BE PROVIDED THROUGHOUT THE SITE DEVELOPMENT IN ORDER TO PROVIDE SAFETY AND SECURITY.

SITE LIGHTING NOTES:

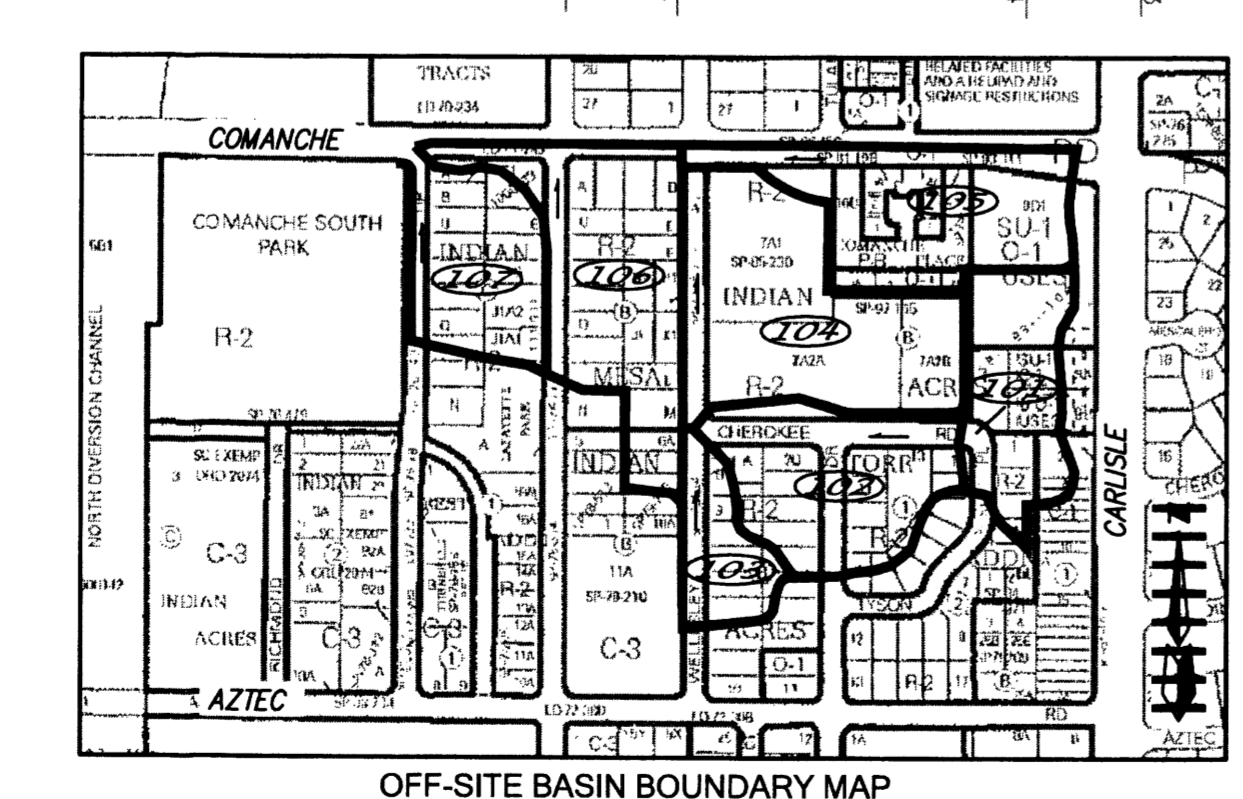
- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
- [C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 16 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date



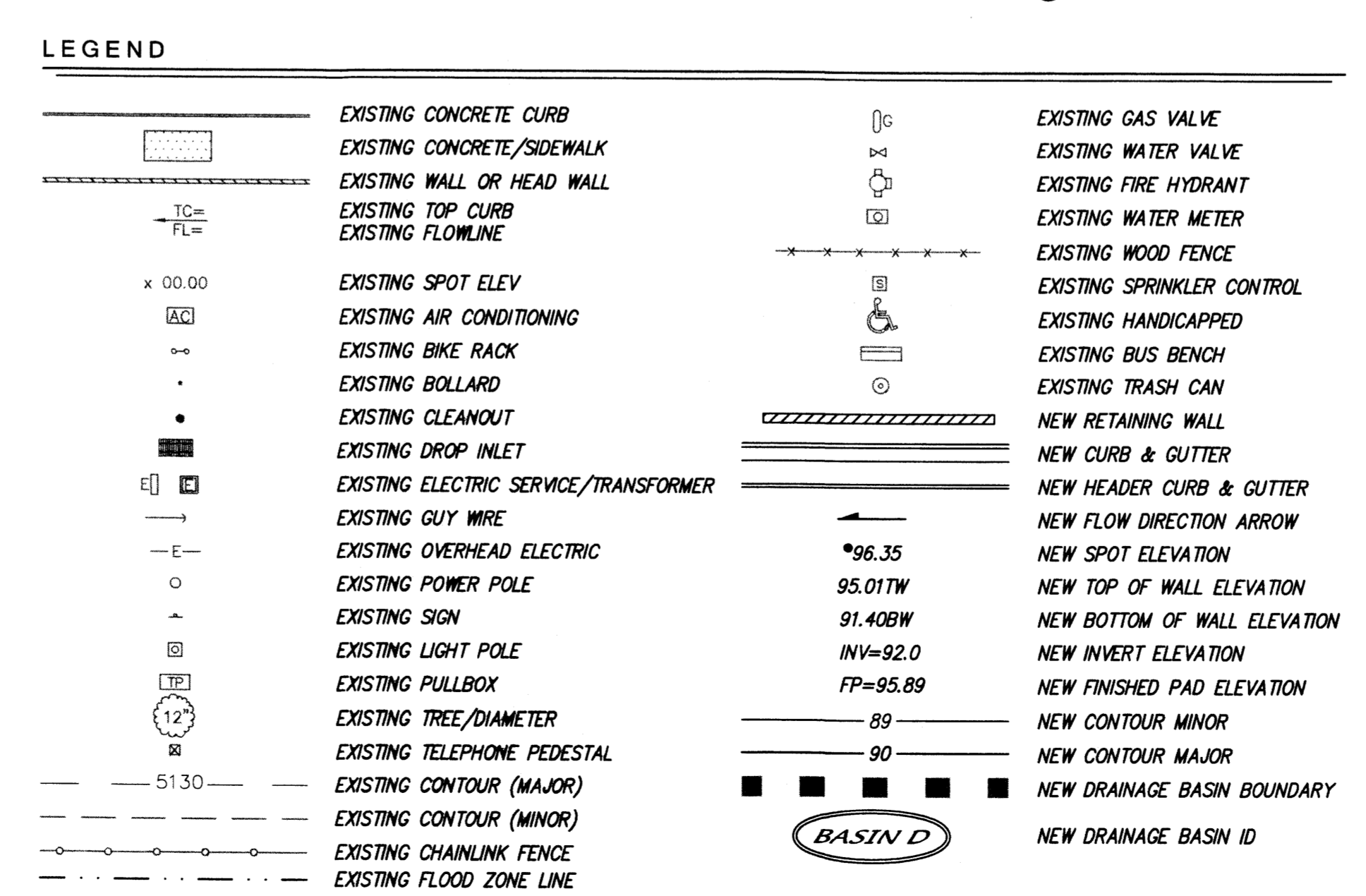
VICINITY MAP ZONE ATLAS: G-16-Z



LEGAL DESCRIPTION

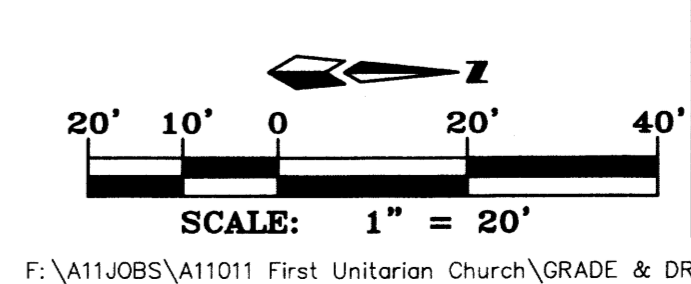
BEING ALL OF TRACT-D1, BLOCK B, INDIAN ACRES SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 2ND, 1989 IN MAP BOOK 99C, PAGE 131. TOGETHER WITH ALL OF LOT 8-B, BLOCK B INDIAN ACRES SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF RECORD, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 9TH, 1986 IN MAP BOOK 86C, PAGE C30-137, FOR A TOTAL AREA OF 3.54 AC.

THIS PLAN IS CONCEPTUAL ONLY NOT FOR CONSTRUCTION



- ① NEW 2' WIDE SIDEWALK CULVERT POND C Q100=2.25 cfs
- ② NEW 5' WIDE CONCRETE WALK/DRAINAGE CHANNEL PER C.O.A. STD. DWG #2260 WITH 6" HIGH WALLS
- ③ NEW RETAINING WALL
- ④ EXISTING CONCRETE SLAB TO REMAIN
- ⑤ NEW 2' WIDE CURB OPENINGS CENTERED ON STRIPE (TYPICAL)
- ⑥ NEW MEDIAN CURB & GUTTER
- ⑦ NEW HEADER CURB & GUTTER
- ⑧ 10 LF OF NEW STANDARD CURB & GUTTER AND 5' SIDEWALK PER C.O.A. STD. DWG #2415A & #2430 RESPECTIVELY.
- ⑨ NEW 24' WIDE PRIVATE DRIVE PAD PER C.O.A. STD. DWG #2426 (RIGHT IN & RIGHT OUT ONLY)
- ⑩ EXISTING DRIVE PAD WITH MEDIAN BREAK AND LEFT TURN LANE
- ⑪ 86 LF OF NEW STANDARD CURB & GUTTER & 5'-6" SIDEWALK PER C.O.A. STD. DWG #2415A & #2430 RESPECTIVELY.
- ⑫ 45 LF OF NEW STANDARD CURB & GUTTER & 5'-6" SIDEWALK PER C.O.A. STD. DWG #2415A & #2430 RESPECTIVELY.
- ⑬ EXISTING 4" D.I.P. @ 0.5% (0 CAPACITY=0.12 cfs)
- ⑭ EXISTING 2" STORM FORCE MAIN POND B Q100=0.23 cfs
- ⑮ EXISTING 100 gpm PUMP
- ⑯ EXISTING 4" SIDEWALK & DRIVE PAD
- ⑰ REMOVE EXISTING SIDEWALK AND REPLACE WITH NEW 5'-6" WIDE CONCRETE SIDEWALK ALONG CARLISLE AND COMANCHE BOULEVARD AS SHOWN.
- ⑱ WATER HARVESTING POND WITH OVER FLOW TO NORTH. THERE WILL BE NO DRAINAGE TO CARLISLE.

SEE DRAINAGE MANAGEMENT PLAN AND SUMMARY ON SHEET 6



dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 OFFICE (505) 828-2200, FAX (505) 797-9539

revision by date rev

job number A11011

drawn by DER

project manager Doug Hughes, DMG

date 7/13/2011

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10-20-2011

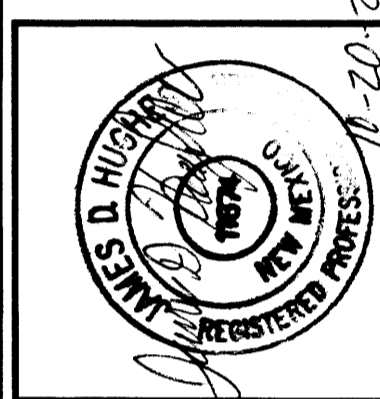
project title First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE Albuquerque, New Mexico 87110

sheet title Grading & Drainage Plan

sheet 5 OF 11

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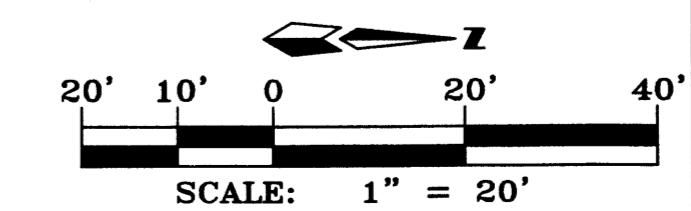
Summary of Hydrology Table											
Figure A-1 shows Zone 2											
Table A-9 Q ₁₀₀		1.56	2.28	3.14	4.70						
BASIN ID #	AREA (AC)	Land treatment (%)				Q ₁₀₀ (CFS)	Cum. Q ₁₀₀ (CFS)	Street Width F-F	Slope %	Street name	Capacity (CFS)
101	3.30		15%	15%	70%	13.54	13.54	40'	2.4%	Cherokee Rd.	36
								40'	6.7%	Cherokee Rd.	19
102	4.50		15%	15%	70%	18.46	32.00	40'	2.9%	Cherokee Rd.	33
103	1.70		15%	15%	70%	6.98	38.98	32'	0.5%	Wellesly Dr.	44
104	5.30		15%	15%	70%	25.85	64.83				
105	5.10		10%	10%	80%	21.94	86.77				
106	6.00		10%	10%	80%	25.81	112.58				
107	3.30		15%	15%	70%	13.54	126.12				
Onsite Pre - Development											
A	1.77		18%		82%	7.55	7.55				
B1	0.37		51%		49%	1.28	8.71				
B2	0.53		60%		40%	1.72	1.72				
B3	0.27		88%		12%	0.69	2.54				
C	0.89		11%	44%	45%	3.34	3.57				
D	0.16		15%		85%	0.69	0.69				
Total Pre-developmet, on-site, 100-YR flow											12.97
Onsite Post - Development											
A	1.77		12%	15%	73%	7.39	7.39				
B1	0.37		51%		49%	1.28	8.55				
B2	0.53		60%		40%	1.72	1.72				
B3	0.27		88%		12%	0.69	2.54				
C	0.89		11%	3%	86%	3.90	2.48				
D	0.16		15%		85%	0.69	0.69				
Total Post-developmet, on-site, 100-YR flow											11.73

Notes: 1) the 4" pipe capacity is based on Manning's Equation where n=0.013 and Slope=0.4%
2) Pond C weir calculations use a weir coefficient of 2.7, a crest elevation of 28.25, and a 5' wide channel at the SW corner of the parking lot.

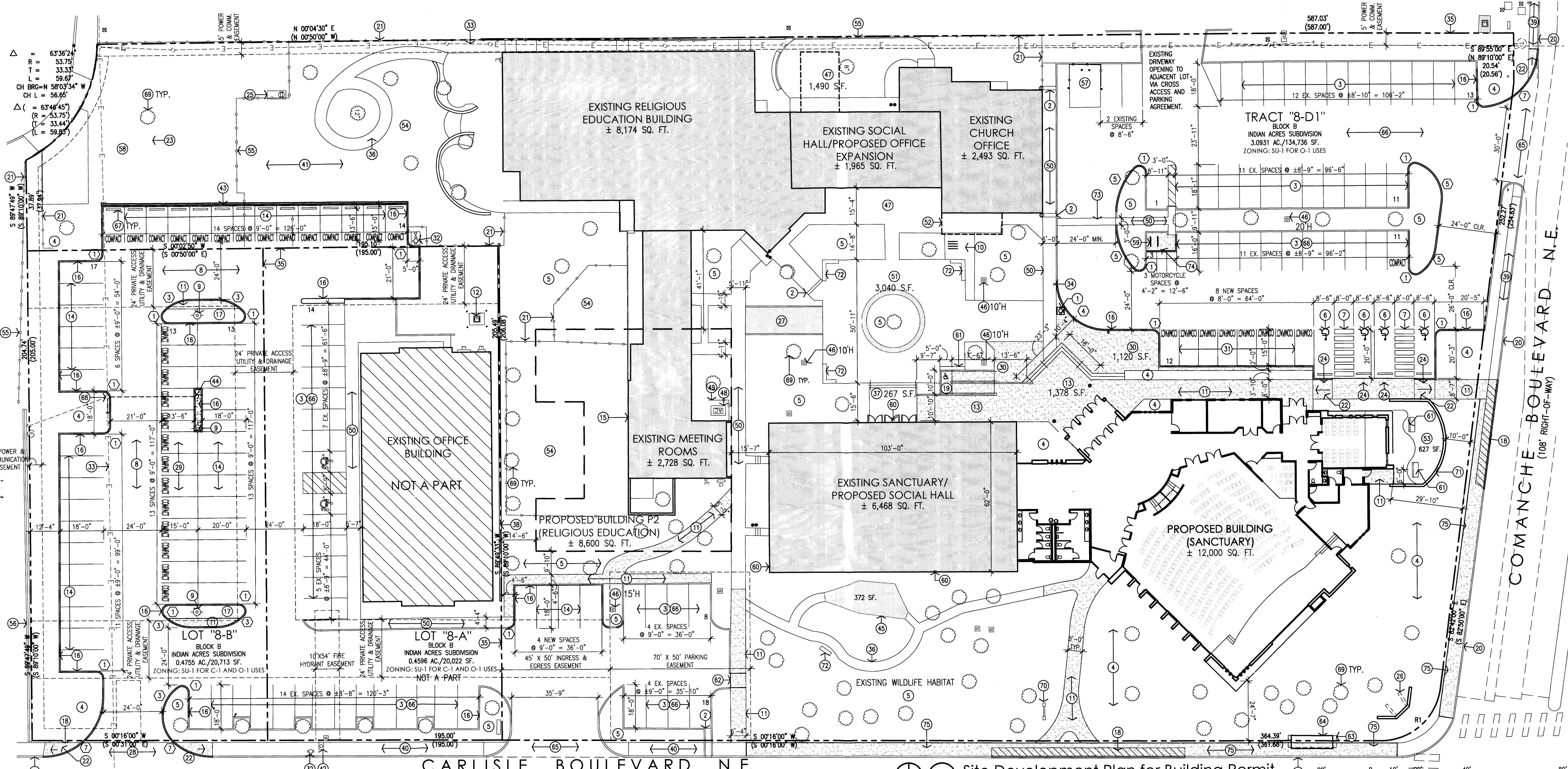
Drainage Management Plan - The streets adjacent to this site have adequate capacity to convey Pre-development and Post-development peak 100 year storm water runoff from this 3.54 acre site. This project will reduce the 100 year peak rate of storm water runoff from this site. The discharge from the northwest corner of the site will be reduced from 8.71 cfs pre-development to 8.55 cfs post-development by reducing the impervious cover in the north half of the site by 0.16 acres and replacing it with landscaping. The discharge from the southwest corner of the site will be reduced from 3.57 cfs pre-development to 2.48 cfs post-development by constructing a pond to receive storm water runoff from the new parking lot as necessary to satisfy LEED Stormwater Quality and Quantity requirement

Grading Information - Generally the existing site is flat with slopes from east to west ranging from 0.5% to 2%. Proposed grades are about the same as existing grades with a maximum fill of 2" at the northwest entrance into the proposed building and a maximum cut of 2" at the south edge of the south parking lot. New ponding is being added along the south edge of the south parking lot, existing ponding in the southwest corner of the site will remain unchanged by this project.

Drainage Research - This drainage plan accounts for drainage from Lot 8-A, Block 8 of the Indian Acres Subdivision, 0.44 acres, which is the only off-site area draining into this site. A drainage plan by Jeff Mortenson & Associates with Drainage Certification date 4/26/2000 incorrectly assumed that most of the drainage from Lots 8-A and 8-B drains either into Carlisle Blvd. or into the pond on lot 8-C. The survey by Aldrich Land surveying for the current 2011 project shows that all the area drains to Cherokee Road instead. So the flows into Carlisle Blvd. and the pond on lot 8-C are significantly less than the 2000 plan called for. This drainage plan assumes that the pump identified in the 2000 plan (100 gpm) is in place and will continue to function. This drainage plan has verified that the existing pond volume, which is considerably smaller than that shown on the 2000 plan, is adequate to serve the area draining to it, which is also considerably smaller than that shown on the 2000 plan.



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- [51] EXISTING COURTYARD.
- [52] EXISTING CANOPY.
- [53] PROPOSED MEMORIAL GARDEN (P1).
- [54] EXISTING PLAYGROUND WITH EXISTING EQUIPMENT TO REMAIN.
- [55] EXISTING 6" SOLID WOOD FENCE.
- [56] EXISTING 3'H BLOCK WALL.
- [57] EXISTING REFUSE ENCLOSURE WITH 6'H PRIVACY CHAIN LINK FENCE.
- [58] EXISTING GARDEN AREA.
- [59] PROPOSED BIKE RACK WITH 6 SPACES (P1). REFER TO 9/SHEET 9.
- [60] EXISTING BUILDING MOUNTED LIGHTING @ 16'-0" ABOVE GRADE.
- [61] PROPOSED SEATING WOOD BENCH TO MATCH EXISTING (P1).
- [62] PROPOSED 6" W OPENING IN EXISTING CURB (P1).
- [63] COA BUS STOP EASEMENT.
- [64] PROPOSED COA BUS SHELTER, NOT A PART. BUS ROUTES NO. 5 AND NO. 13.
- [65] EXISTING CURB CUT TO REMAIN.
- [66] EXISTING PARKING LOT TO REMAIN.
- [67] PROPOSED CONCRETE PARKING BUMPER.
- [68] EXISTING POWER POLE.
- [69] EXISTING TREE TO REMAIN.
- [70] EXISTING SIGN TO REMAIN.
- [71] 6" HIGH YARD WALL WITH STUCCO FINISH TO MATCH EXISTING (P1). REFER TO 3/SHEET 9.
- [72] EXISTING BENCH TO REMAIN.
- [73] EXISTING STRIPED CROSSWALK.
- [74] PROPOSED MOTORCYCLE SIGN. SIGN TO INDICATE 3 SPACES.
- [75] REMOVE EXISTING SIDEWALK AND REPLACE WITH NEW 5'-6" WIDE CONCRETE SIDEWALK ALONG CARLISLE AND COMANCHE BOULEVARD AS SHOWN.

Site Development Plan for Building Permit
Scale: 1"=20'-0"

SITE DEVELOPMENT DATA:
LEGAL DESCRIPTION: LOT 8-D1 and LOT 8-B BLOCK B INDIAN ACRES SUBDIVISION CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO
BUILDING ADDRESS: FIRST UNITARIAN CHURCH 3701 CARLISLE BOULEVARD N.E. ALBUQUERQUE, NEW MEXICO 87110
CURRENT ZONING: LOT 8-D1: SU-1 FOR O-1 USES LOT 8-B: SU-1 FOR C-1 AND O-1 USES
ZONE ATLAS PAGE: G-16-Z
LAND AREA: 3.5686 ACRES (155,449 SQ. FT.)
BUILDING AREAS: EXISTING CHURCH OFFICES 2,493 SF EXISTING RELIGIOUS EDUCATION BUILDING 8,174 SF EXISTING SOCIAL HALL/PROPOSED OFFICE EXPANSION 1,965 SF EXISTING SANCTUARY 6,468 SF PROPOSED SOCIAL HALL 6,468 SF PROPOSED SANCTUARY 12,000 SF PROPOSED RELIGIOUS EDUCATION BUILDING 8,600 SF TOTAL BUILDING AREA 39,700 SF

PARKING CALCULATIONS:
PER CARO COMPREHENSIVE ZONING CODE 14-16-3-1 (A) PARKING SPACES FOR AUTOMOBILES AND LIGHT TRUCKS SHALL BE PROVIDED ON-SITE OR ON A SITE ZONED P-R WITHIN 300 FEET OF THE USE, MEASURED ALONG THE SHORTEST PUBLIC RIGHT-OF-WAY, AS FOLLOWS:
(3) CHURCH OR OTHER PLACE OF WORSHIP: ONE SPACE FOR EACH FOUR SEATS IN MAIN ROOM.
350 SEATS / 4 SEATS = 88 REQUIRED PARKING SPACES
145 PARKING SPACES PROVIDED
INCLUDING 24 SPACES ON LOT 8-A VIA EXISTING CROSS PARKING AGREEMENT.
(8) PARKING FOR BICYCLES SHALL BE PROVIDED ON-SITE OR ON A SITE WITHIN 300 FEET OF THE USE, MEASURED ALONG THE SHORTEST PUBLIC RIGHT-OF-WAY, AS FOLLOWS:
(3) NON-RESIDENTIAL USES: ONE BICYCLE SPACE PER EACH 20 PARKING SPACES REQUIRED FOR AUTOMOBILES AND LIGHT TRUCKS, BUT NOT LESS THAN TWO SPACES PER PREMISES.
88 PARKING SPACES / 20 = 4.4 BICYCLE SPACES REQUIRED
8 BICYCLE SPACES PROVIDED
(C) PARKING FOR MOTORCYCLES, MOPEDS, AND MOTOR SCOOTERS SHALL BE PROVIDED ON-SITE AS FOLLOWS:
88 PARKING SPACES = 3 MOTORCYCLE SPACES REQUIRED
3 MOTORCYCLE SPACES PROVIDED
(9) PARKING SPACES FOR VEHICLES WITH VALID DISTINCTIVE REGISTRATION PLATES FOR THE PHYSICALLY DISABLED:
88 PARKING SPACES = 4 ACCESSIBLE SPACES REQUIRED
8 ACCESSIBLE SPACES PROVIDED

DEVELOPMENT PHASING:
PHASE I (P1): PHASE I WILL INCLUDE CONSTRUCTION OF NEW SANCTUARY, REMODEL OF EXISTING SANCTUARY FOR USE AS NEW SOCIAL HALL, REMOVING OF PARKING LOTS AND ALL LANDSCAPING EXCEPT THAT RELATED TO CONSTRUCTION OF NEW RELIGIOUS EDUCATION BUILDING.
PHASE II (P2): PHASE II WILL INCLUDE CONSTRUCTION OF NEW RELIGIOUS EDUCATION BUILDING, OFFICE EXPANSION AND RELATED LANDSCAPING.

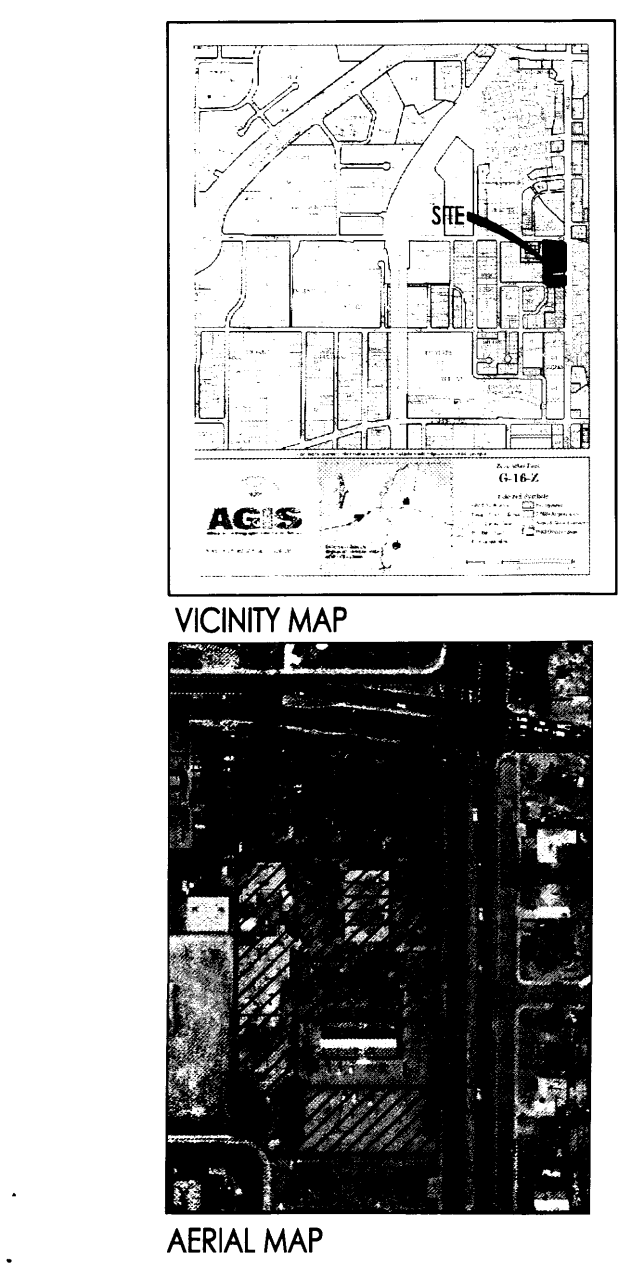
RADIUS INFORMATION:
① = 3'-0" ⑤ = 28'-0"
② = 4'-0" ⑥ = 8'-0"
③ = 15'-0" ⑦ = 25'-0"
④ = 20'-0"

PROPERTY LINE RADIUS INFORMATION:
R1 = 25.00'
R2 = 21.85'
R3 = 35.92'
CH BRG = N41°24'56"W
CH L = 32.91'

GENERAL NOTES:
[A] THE DESIGN STANDARDS INCLUDED IN THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR THIS PROJECT SHALL GOVERN THE FUTURE DESIGN OF THE RELIGIOUS EDUCATION BUILDING. THESE DESIGN STANDARDS CAN BE FOUND ON SHEET 7 OF 9.
[B] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
[C] SEE PARKING AND CIRCULATION PLAN, SHEET 9, FOR MEDIAN, STRIPING, ETC. IN CARLISLE BOULEVARD AND COMANCHE BOULEVARD.
[D] THE EXISTING CROSS PARKING AGREEMENT BETWEEN TRACT 8-D1 (CHURCH) AND LOT 8-A (ARC BLDG.) WILL REMAIN FOR THIS DEVELOPMENT.
SITE LIGHTING NOTES:
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
[C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 16 FEET MAXIMUM.
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.
[E] ADEQUATE LIGHTING SHALL BE PROVIDED THROUGHOUT THE SITE DEVELOPMENT IN ORDER TO PROVIDE SAFETY AND SECURITY.

PROJECT NUMBER: 1008916 APPLICATION NUMBER: 11EPC-40052
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: **Sept. 8, 2011** AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date



revision by date rev

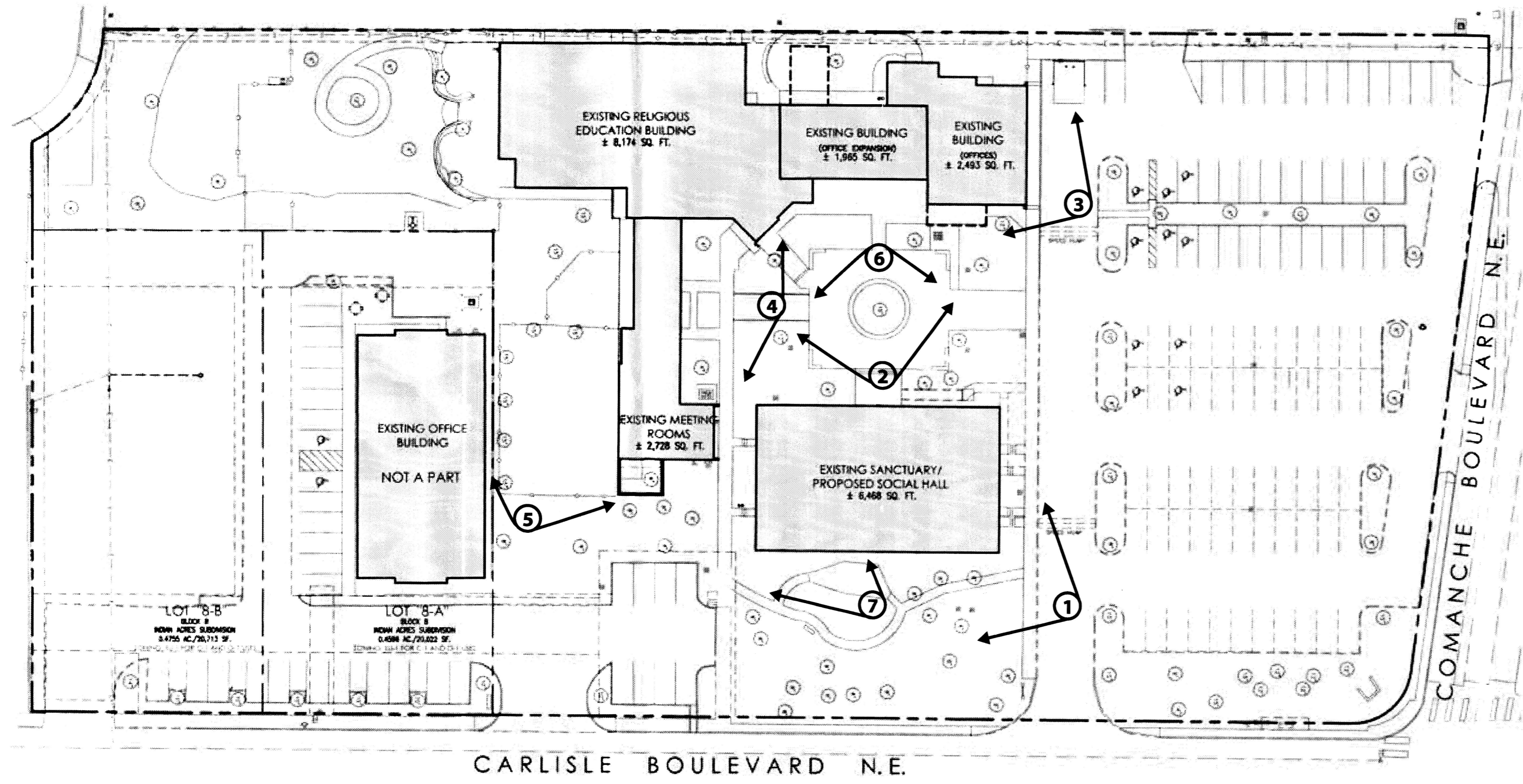
10/21/11 mms
9/26/11 mms
8/22/11 mms

Per Planning Dept. Review
Per COA-Notice of Decision.
Per Planning Dept. Review

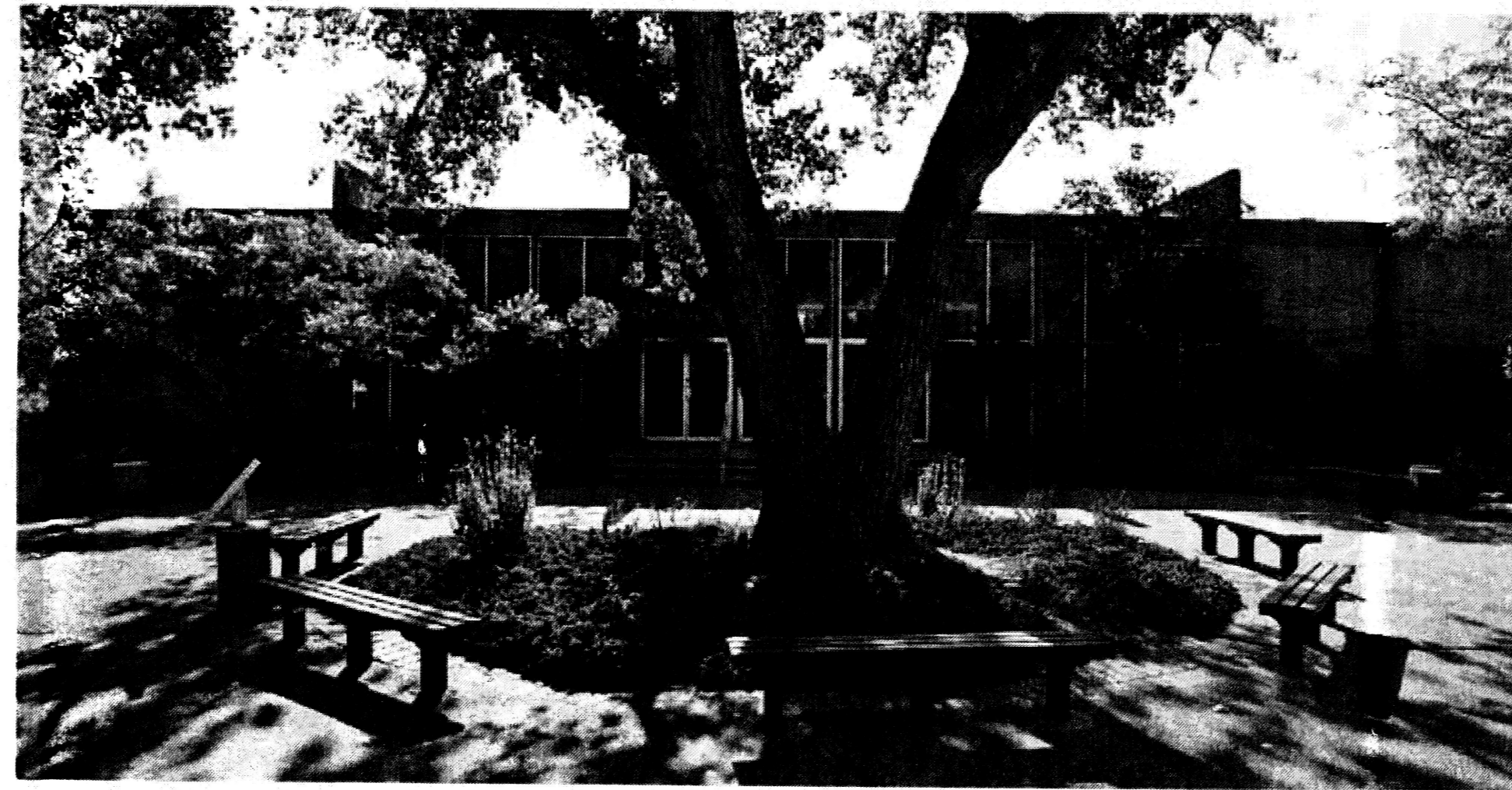
MH
Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

job number: 11-59
drawn by: VGLC
project manager: Doug Heller, AIA.
date: 7/28/2011

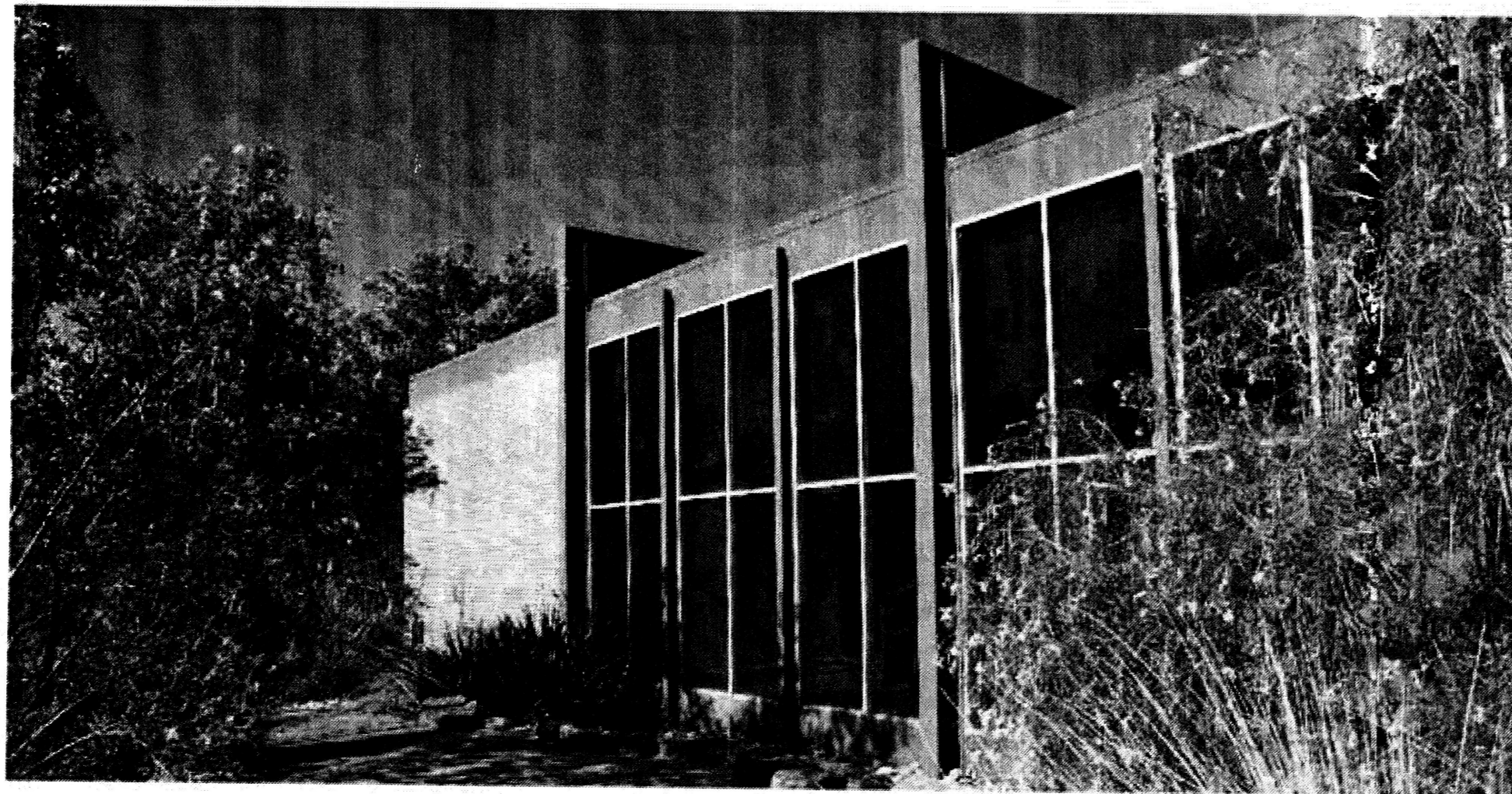
project title: First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110
sheet title: Site Development Plan for Building Permit
sheet: 1 of 11



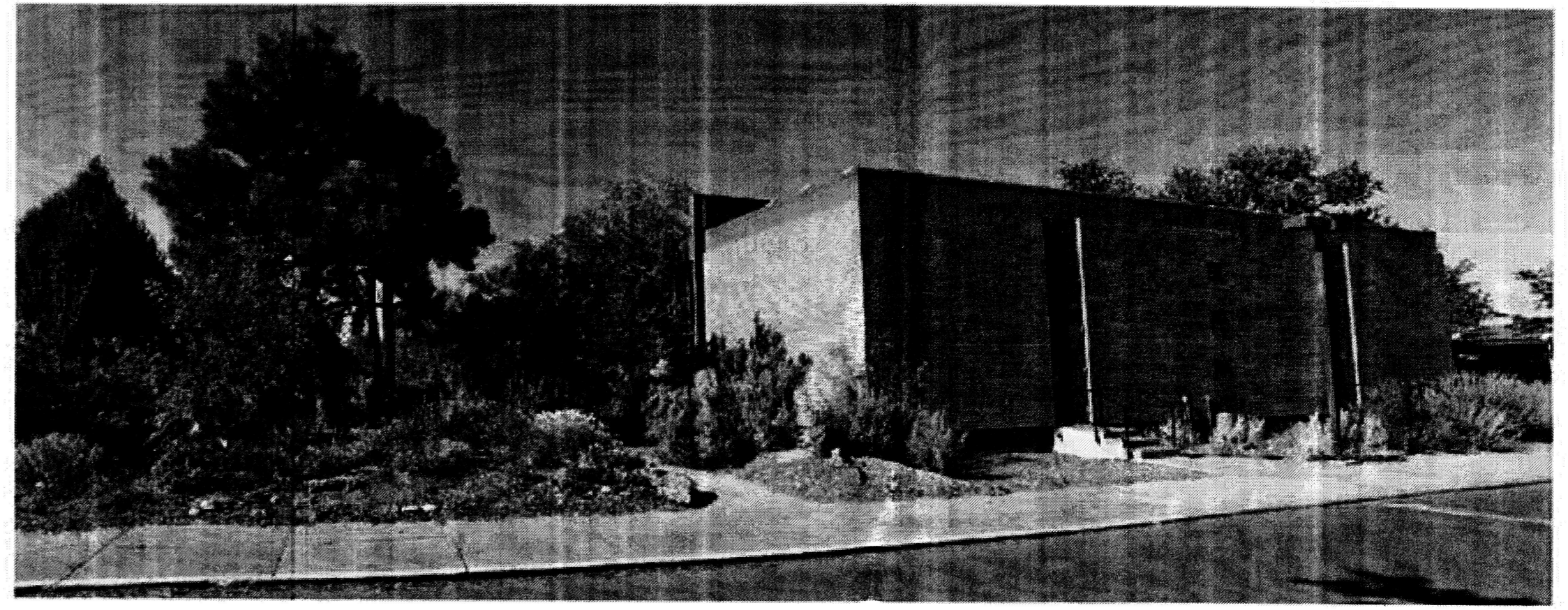
1 Existing Site Plan
Scale: 1"=40'-0"



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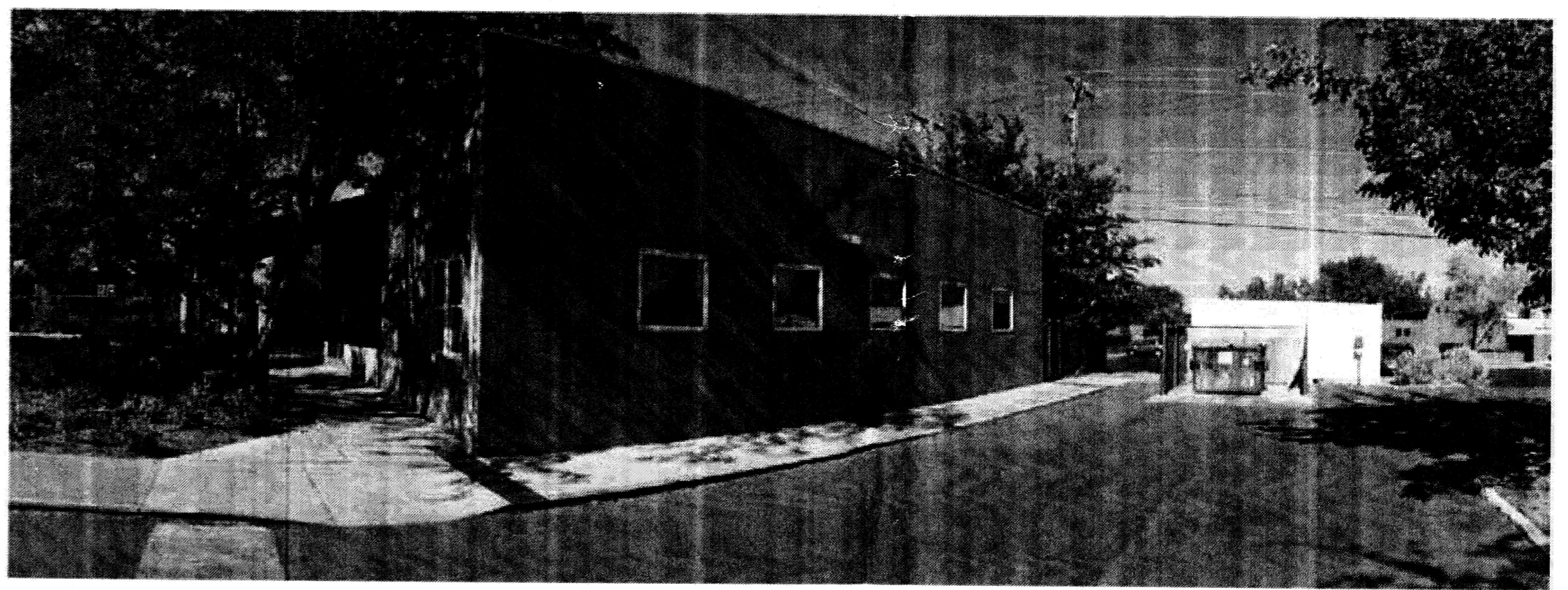
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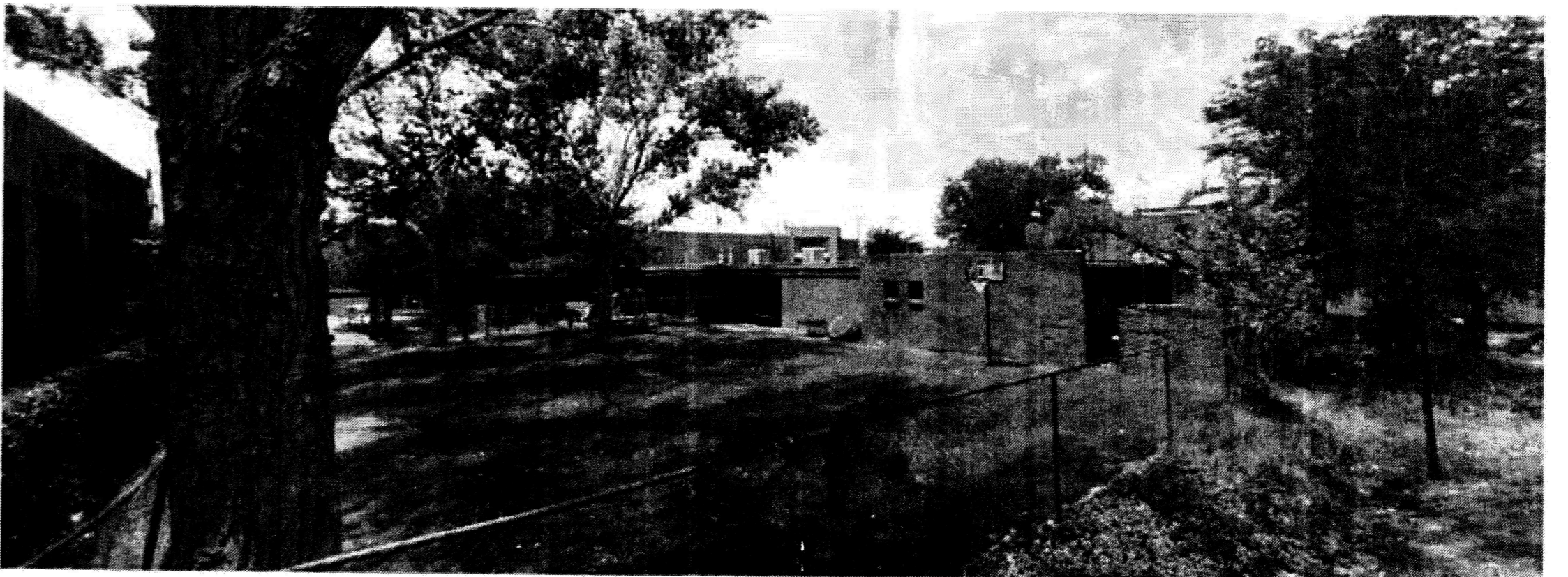
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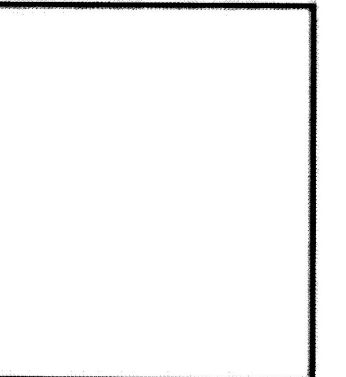
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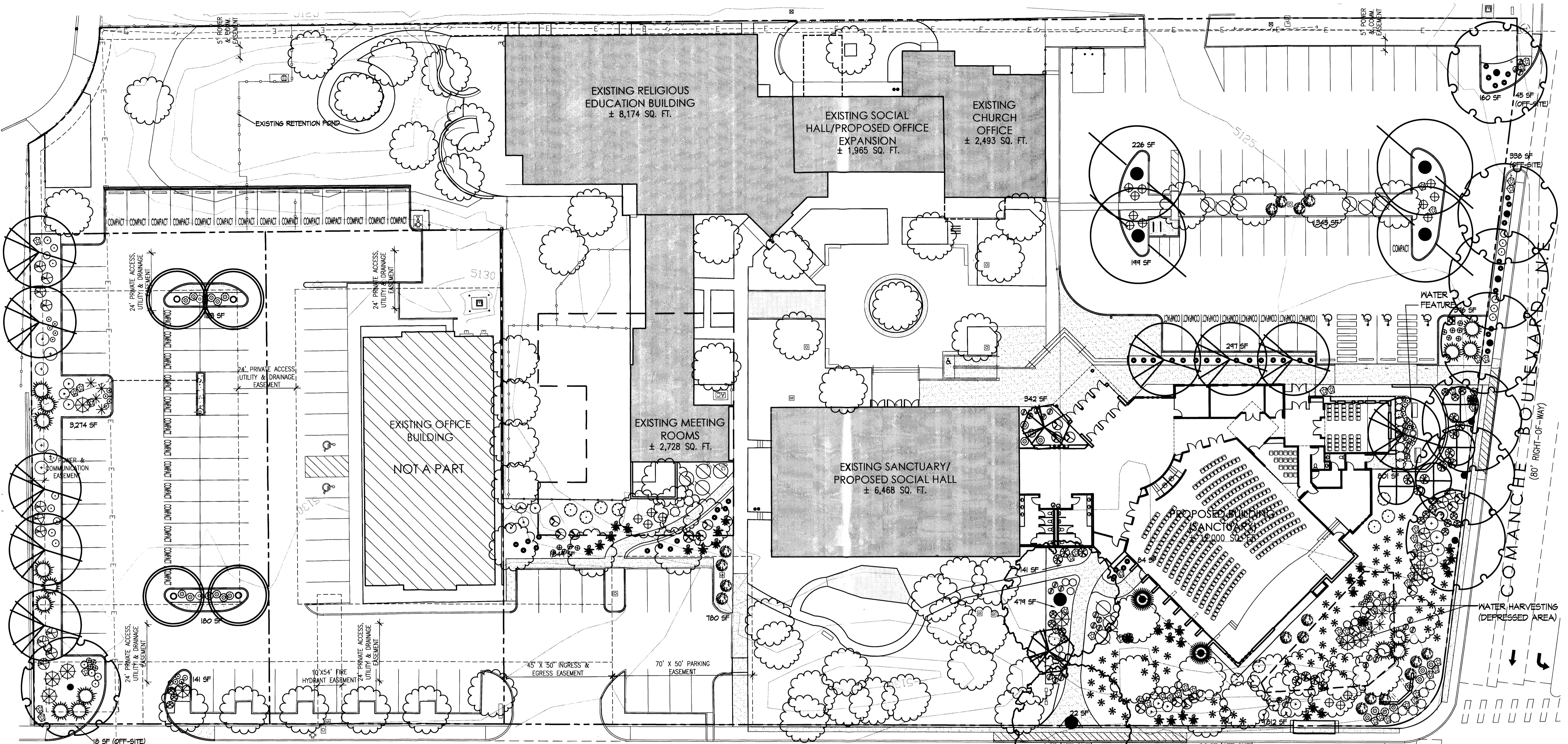
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505 268 4144 [p]
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job number	11-09
drawn by	VGLC
project manager	Doug Heller, AIA
date	7/28/2011

project title
First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110
sheet title
Existing Buildings



PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
TREES							
EXISTING TREES TO REMAIN (EXCLUDING EVERGREEN TREES ALONG FRONTAGE OF CARLISLE BLVD. AS THESE ARE TO BE REMOVED)							
8	(Symbol)	<i>Celtis occidentalis</i>	COMMON HACKBERRY	2" B&B	14" HT. X 6" SPR	40" HT. X 40" SPR	MED
2	(Symbol)	<i>Chilopsis linearis</i>	DESERT WILLOW	2" B&B	8" HT. X 6" SPR	20" HT. X 20" SPR	LOW+
4	(Symbol)	<i>Fraxinus velutina</i>	MODESTO ASH	2" B&B	16" HT. X 6" SPR	40" HT. X 40" SPR	MED+
4	(Symbol)	<i>Forestiera neomexicana</i>	NEW MEXICO OLIVE	1.5-GAL	8" HT. X 4" SPR	15" HT. X 15" SPR	MED
4	(Symbol)	<i>Koelerutera paniculata</i>	GOLDENRAIN TREE	2" B&B	14" HT. X 6" SPR	25" HT. X 25" SPR	MED
2	(Symbol)	<i>Platanus occidentalis</i>	SYCAMORE	2" B&B	16" HT. X 6" SPR	60" HT. X 50" SPR	MED
4	(Symbol)	<i>Robinia ambigua</i>	PURPLE ROBE LOCUST	2" B&B	16" HT. X 6" SPR	40" HT. X 30" SPR	MED
SHRUBS/GROUNDCOVERS							
14	(Symbol)	<i>Artemisia tridentata</i>	POWIS CASTLE SAGE	1-GAL	3" O.C.	3" HT. X 3" SPR	LOW+
25	(Symbol)	<i>Achillea millefolium</i>	MOONSHINE YARROW	1-GAL	2" O.C.	2" HT. X 2" SPR	MED
16	(Symbol)	<i>Berberis juliflora</i>	WINTERGREEN BARBERRY	5-GAL	4" O.C.	4" HT. X 4" SPR	MED
20	(Symbol)	<i>Berlandiera lyrata</i>	CHOCOLATE FLOWER	1-GAL	2" O.C.	2" HT. X 2" SPR	LOW

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
23	(Symbol)	<i>Caesalpinia gilliesii</i>	BIRD OF PARADISE	5-GAL	5" O.C.	6" HT. X 5" SPR	LOW
14	(Symbol)	<i>Callirhoe involucrata</i>	BLUE MIST	5-GAL	2" HT. X 4" SPR	4" HT. X 3" SPR	LOW
18	(Symbol)	<i>Caryopteris clandonensis</i>	CHRYSOETHANUS NAUSEOSUS	5-GAL	3" O.C.	4" HT. X 5" SPR	LOW
11	(Symbol)	<i>Chrysothamnus nauseosus</i>	CHAMISA	5-GAL	5" O.C.	4" HT. X 5" SPR	LOW
19	(Symbol)	<i>Ericameria laricifolia</i>	DWARF TURPENTINE BUSH	1-GAL	3" O.C.	3" HT. X 3" SPR	LOW
17	(Symbol)	<i>Fallugia paradoxa</i>	APACHE PLUME	5-GAL	5" O.C.	4" HT. X 4" SPR	LOW
17	(Symbol)	<i>Genista hispanica</i>	SPANISH BROOM	5-GAL	4" O.C.	4" HT. X 4" SPR	MED
30	(Symbol)	<i>Juniperus sabina</i>	BUFFALO JUNIPER	5-GAL	4" O.C.	2" HT. X 4" SPR	LOW
12	(Symbol)	<i>Lavandula angustifolia</i>	ENGLISH LAVENDER	1-GAL	3" O.C.	3" HT. X 3" SPR	MED
13	(Symbol)	<i>Perovskia atriplicifolia</i>	RUSSIAN SAGE	5-GAL	5" O.C.	4" HT. X 5" SPR	LOW+
34	(Symbol)	<i>Penstemon fruticosus</i>	BUSH PENSTEMON	1-GAL	2" O.C.	2" HT. X 2" SPR	LOW
4	(Symbol)	<i>Pinus mugo</i>	MUGO PINE	5-GAL	5" O.C.	4" HT. X 5" SPR	MED
2	(Symbol)	<i>Polygonum albertii</i>	SILVER LACEVINE	1-GAL	20" O.C.	20" SPR	MED
8	(Symbol)	<i>Potentilla fruticosa</i>	SHRUBBY CINQUEFOIL	1-GAL	3" O.C.	3" HT. X 3" SPR	LOW+
14	(Symbol)	<i>Rhus trilobata</i>	THREE LEAF SUMAC	5-GAL	4" O.C.	4" HT. X 4" SPR	LOW

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE
15	(Symbol)	<i>Rosmarinus officinalis</i>	UPRIGHT ROSEMARY	1-GAL	4" O.C.	4" HT. X 4" SPR	LOW+
20	(Symbol)	<i>Salvia greggii</i>	CHERRY SAGE	5-GAL	3" O.C.	3" HT. X 3" SPR	MED.
ORNAMENTAL GRASSES							
41	(Symbol)	<i>Calamagrostis acutiflora</i>	CARL FOERSTER	5-GAL	2" O.C.	3" HT. X 2" SPR	MED.
65	(Symbol)	<i>Nasella tenuissima</i>	THREADGRASS	1-GAL	3" O.C.	3" HT. X 3" SPR	LOW+
ACCENTS							
18	(Symbol)	<i>Opuntia macrocentra</i>	PURPLE PRICKLY PEAR	5-GAL	4" O.C.	3" HT. X 4" SPR	LOW
3	(Symbol)	<i>Dasyliion wheeleri</i>	SOTOL	5-GAL	4" O.C.	4" HT. X 4" SPR	LOW
7	(Symbol)	<i>Hesperaloe parviflora</i>	RED FLOWERING YUCCA	5-GAL	4" O.C.	5" HT. X 4" SPR	LOW
ACCENT BOULDERS AND GROUND COVERS							
50	(Symbol)		MOSS ROCK BOULDERS (3'X3' MIN)				
23,081 SF	(Symbol)		1" GRAVEL MULCH, COLOR: BUILDOLGY BROWN (3" DEPTH OVER DENIT PRO-3 NEED CONTROL FABRIC)				

*NOTE: ALL PLANT MATERIAL IN LEGEND IS PROPOSED UNLESS NOTED AS * EXISTING TREES TO REMAIN* (FIRST ITEM IN PLANT LEGEND).

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 1" BUILDOLGY BROWN GRAVEL MULCH. LANDSCAPE PLANT PALETTE WAS DEVELOPED BASED UPON EXISTING SPECIES ON S

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL, ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE LANDSCAPE PLAN FOR THIS SITE EXCLUDES HIGH WATER USE TURF. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE COVERAGE

PLANTING BEDS SHALL HAVE 75% LIVING GROUNDCOVER AT FULL MATURITY.

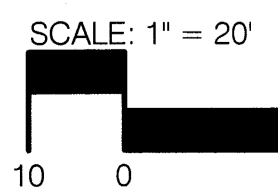
LANDSCAPE CALCULATIONS:

GROSS LOT AREA:	155,444 SF (3.56 AC)
BUILDING AREA:	-23,100 SF
NET LOT AREA:	132,344 SF
REQUIRED LANDSCAPE (15%):	115,744/15% = 17,362 SF
EXISTING LANDSCAPE:	38,478 SF
PROVIDED NEW LANDSCAPE:	
ON-SITE:	20,646 SF
OFF-SITE / R.O.M:	+ 7,716 SF
TOTAL:	28,362 SF (14%)
TOTAL LANDSCAPE AREA:	59,426 SF
PROVIDED ON-SITE LANDSCAPE (LESS USABLE UNPLANTED MULCH AREA & EXISTING LANDSCAPE AREAS):	- 8,221 SF
TOTAL PROVIDED LANDSCAPE BEDS:	11,481 SF
REQUIRED LIVE VEGETATIVE COVER (75%):	8,578 SF
PROVIDED LIVE VEGETATIVE COVER:	8,827 SF

STREET TREES
CARLISLE BLVD - 565' FRONTAGE
REQUIRED - 20 (30' CANOPY TREES)
PROVIDED - 20 (18 EXISTING, 2 NEW)

COMANCHE BLVD - 240' FRONTAGE
REQUIRED - 10 (30' CANOPY TREES)
PROVIDED - 8 (1 EXISTING, 7 NEW)
*NEW TREES PROVIDED HAVE A 40' CANOPY

PARKING LOT TREES
ALL EXISTING PARKING LOT TREES ARE TO REMAIN AND CANOPY PROVIDING TREES ARE BEING ADDED TO ALL ISLANDS IN NEW PARKING LOT.



CONSENSUS PLANNING & LANDSCAPE ARCHITECTURE
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

revision

by

date

rev

08/22/11

08/22/11

08/22/11

08/22/11

MH

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505 268 4144(p)
505 268 4244 (f)

CONCEPTUAL DRAWINGS

project file

11-09

job number

drawn by

project manager

date

3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110

Doug Heller, AIA.

7/28/2011

PER PLANNING DEPT. REVIEW

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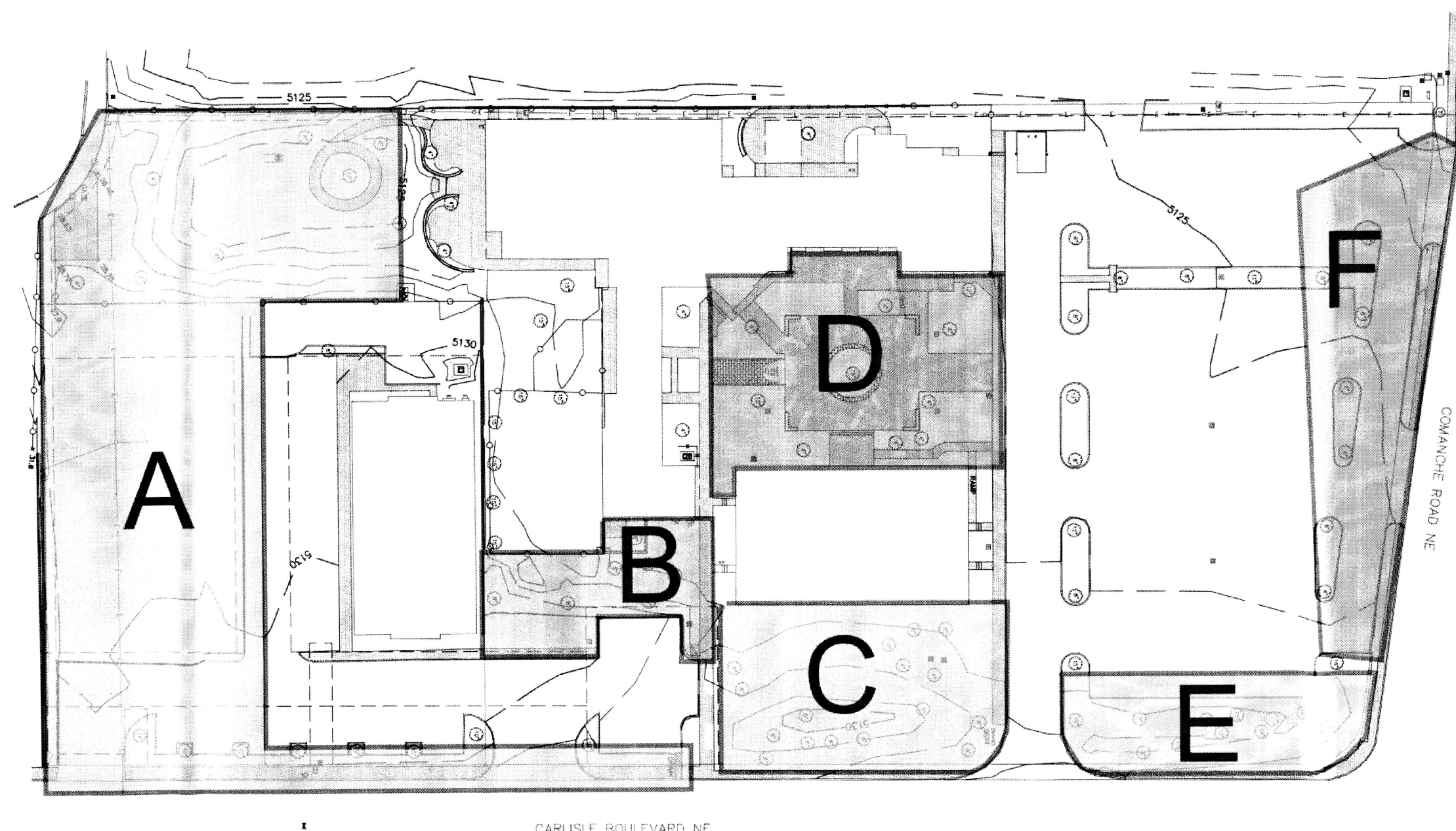
7/28/2011

PER PLANNING DEPT. REVIEW

project file
 First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE
 Albuquerque, New Mexico 87110
 sheet file
 Landscape Plan
 sheet
 3 of 11

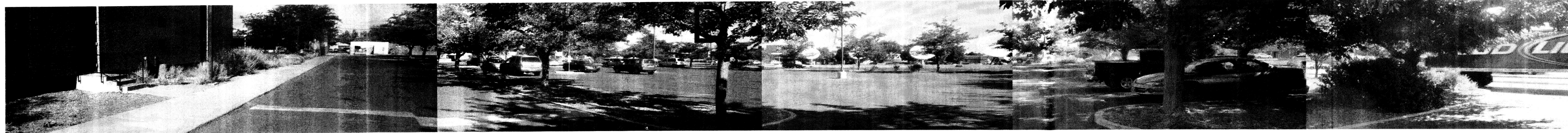
EXISTING TREE SPECIES ON SITE

- CHLOROPHYTUM LINEARE DEBERT WILLOW
- ALBIZIA JULIBRISSIN ROSEA MIMOSA
- VITEX AGNUS-CASTUS CHASTE TREE
- KOELREUTERIA PANICULATA GOLDENRAIN TREE
- QUERCUS BUCKLEYI TEXAS RED OAK
- PNUS NIGRA AUSTRIAN PINE
- POPULUS FREMONTII COTTONWOOD
- PRUNUS Cerasifera PURPLE LEAF PLUM
- QUERCUS FUSIFORMIS SOUTHERN LIVE OAK
- PLATANUS ACERIFOLIA LONDON PLANETREE
- FORESTIERI NEOMEXICANA NEW MEXICO OLIVE
- PROSOPIS GLANDULOSA TEXAS MESQUITE
- GLEDITSIA TRIACANTHOS HONEY LOCUST
- FRAXINUS OXYCARPA RAYWOOD RAYWOOD ASH
- FRAXINUS VELUTINA MODESTO MODESTO ASH
- MORUS ALBA MULBERRY



EXISTING SHRUB SPECIES ON SITE

- JUNIPERUS SABINA BUFFALO JUNIPER
- FALLUGIA PARADOXA APACHE PLUME
- LAVANDULA ANGUSTIFOLIA ENGLISH LAVENDER
- PEROVSKIA ATRIPILIGIFOLIA RUSSIAN SAGE
- STACHYS BYZANTINA LAMBS EAR
- PENSTEMON SPP. PESTEMON
- FINUS MUGO MUGO PINE
- ACHILLEA MILLEFOLIUM YARROW
- HESPERALOE PARVIFLORA RED YUCCA
- CALAMAGROSTIS AGUTIFLORA CARL FORESTER
- ERICAMERIA LARIGIFOLIA TURPENTINE BUSH
- FROSTRATE ROSEMARY ROSEMARY
- BERLANDERA LYRATA CHOCOLATE FLOWER
- CALLIRHOE INVOLUCRATA MINEQUIPS
- YUCCA RIGIDA BLUE YUCCA
- CHRYSOTHAMNUS NAUSEOSUS CHAMISA
- CARYOPTERIS GLANDONENSIS BLUE MIST SPIREA
- YUCCA BACCATA BANANA YUCCA
- COTONEASTER APICULATUS CRANBERRY COTONEASTER
- CAESALPINA GILLESII BIRD OF PARADISE
- POLYGONUM AUBERTII SILVER LACE VINE
- BACCHARIS PILULARIS DWARF COYOTE BUSH
- NASSELLA TENNUSSIMA MEXICAN THREAD GRASS
- RHUS TRILOBATA THREE-LEAF SUMAC
- SALVIA GREGGII CHERRY SAGE



A

EXISTING LANDSCAPE CONDITIONS

CURRENT VACANT AREA ON SOUTH SIDE OF PROPERTY IS PROPOSED TO BECOME A NEW PARKING LOT WITH SHADE TREES, SHRUBS, AND GRAVEL MULCH IN PARKING ISLANDS. A PLANTING BUFFER WILL BE PROVIDED BETWEEN PARKING LOT AND ADJACENT PROPERTY, LOCATED SOUTH OF THE SITE.

EXISTING TREES AND LANDSCAPE ALONG CARLISLE WILL REMAIN IF THOSE TREES ARE NOT INTERFERING WITH THE PROPOSED VEHICLE ENTRY POINTS.

B

EXISTING LANDSCAPE CONDITIONS

THIS AREA IS CURRENTLY AN UNATTRACTIVE AREA OF TRANSITION WITH NOTABLE GRADE CHANGES, UNEVEN WALKING SURFACES AND SCATTERED SHABBY LANDSCAPE SHRUBS.

THIS AREA IS TO BE ADDRESSED AS A PRIMARY PEDESTRIAN TRANSITION BETWEEN NEW PARKING LOT AND CHURCH/COMMUNITY BUILDING FACILITIES, PROVIDING A CONCRETE SIDEWALK AND AESTHETIC FORMAL LANDSCAPING TO HIGHLIGHT WALKWAY.

C

EXISTING LANDSCAPE CONDITIONS

THIS WETLAND / WILDLIFE PRESERVE AND TRAIL IS IN EXCELLENT CONDITION AND WILL NOT BE DISTURBED OR REDESIGNED IN ANY WAY DURING THE SITE AND NEW BUILDING RENOVATIONS.

PLANT SPECIES INVENTORY WAS TAKEN FROM THIS AREA TO HELP FORMULATE THE NEW LANDSCAPE PALETTE BEING DEVELOPED FOR THE SITE LANDSCAPE IMPROVEMENTS.

D

EXISTING LANDSCAPE CONDITIONS

THE EXISTING COURTYARD HAS BEEN REFERENCED BY CLIENTS AS THE "HEART" OF THE CHURCH AND COMMUNITY COMPLEX. THE PLAZA INCLUDES A WIDE VARIETY OF MATURE LANDSCAPE SPECIMENS, ALL OF WHICH LEAD TO AN ARRAY OF COLORS, TEXTURES AND FORMS.

THE LANDSCAPE IN THIS AREA WILL NOT BE DISTURBED DURING THE CONSTRUCTION PROCESS OF ADJACENT BUILDING AND PARKING LOT. AN INVENTORY OF THE EXISTING PLANTING MATERIALS IN THE PLAZA WAS MADE AND PROVIDED A BASIS FOR PROPOSED PLANTING MATERIALS FOR THE NEW LANDSCAPE/ARCHITECTURAL IMPROVEMENTS OCCURRING ON THE SITE.

E

EXISTING LANDSCAPE CONDITIONS

THE LANDSCAPE ALONG CARLISLE NEAR THE INTERSECTION OF COMANCHE/CARLISLE IS MADE UP OF DENSE EVERGREEN TREES AND MOUNDING BERMS OF EARTH TO CREATE A STRONG BUFFER FROM NOISE AND VIEWS OF THE BUSY ADJACENT STREET. IT IS PROPOSED THAT THE EVERGREEN TREES WILL BE REMOVED TO PROVIDE VIEWS ALONG THE STREET TO ACCESS VIEWS TO THE SANDIA MOUNTAINS FROM THE NEW BUILDING.

ALL EXISTING DECIDUOUS TREES ARE TO REMAIN AND BE PRUNED TO ENHANCE VIEW CORRIDORS TO THE EAST. ALL SHRUBS AND MULCH ARE TO BE REPLACED WITH NEW LANDSCAPE MATERIALS TO PROVIDE A UNIFORM DESIGN ON THE SITE.

F

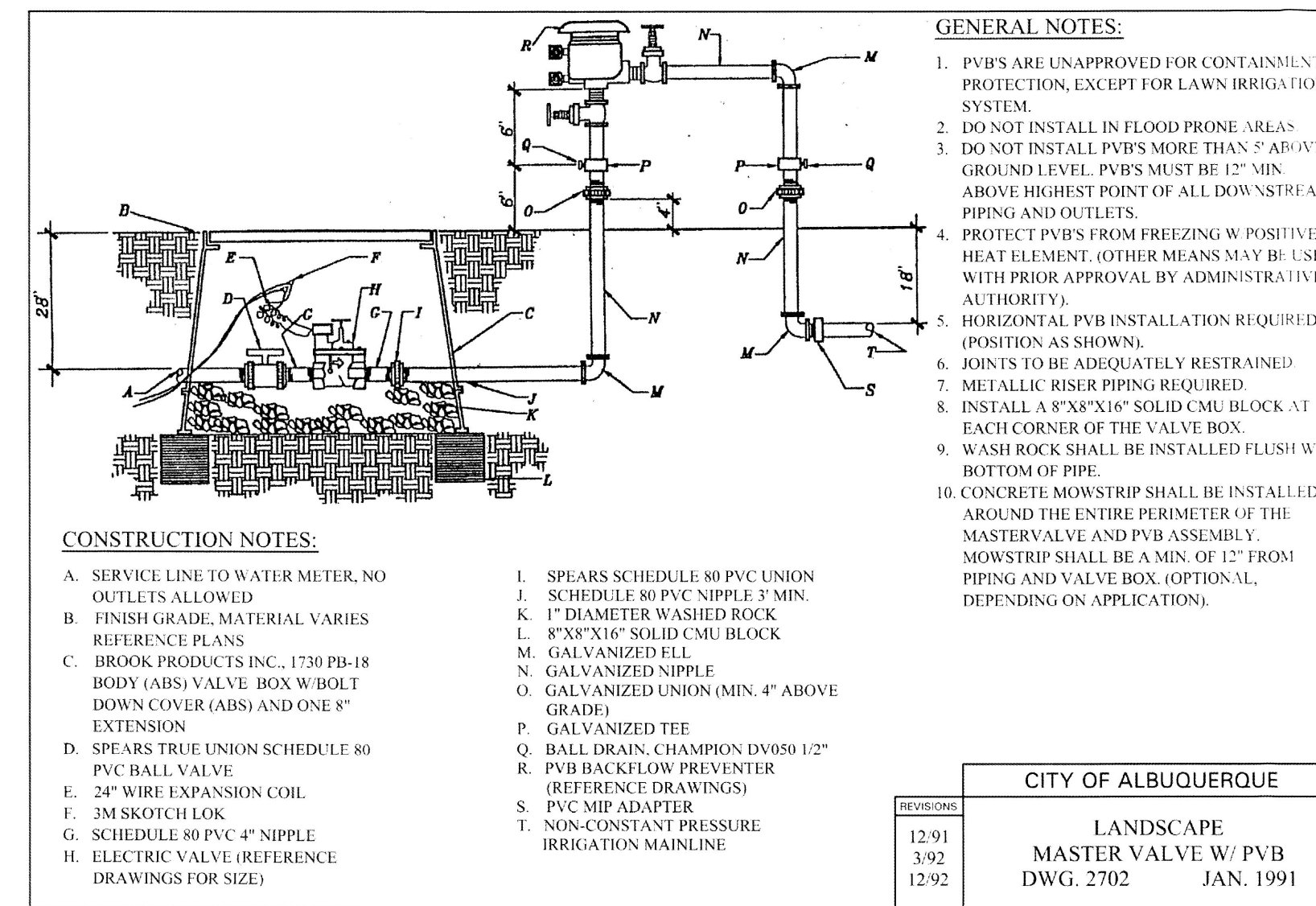
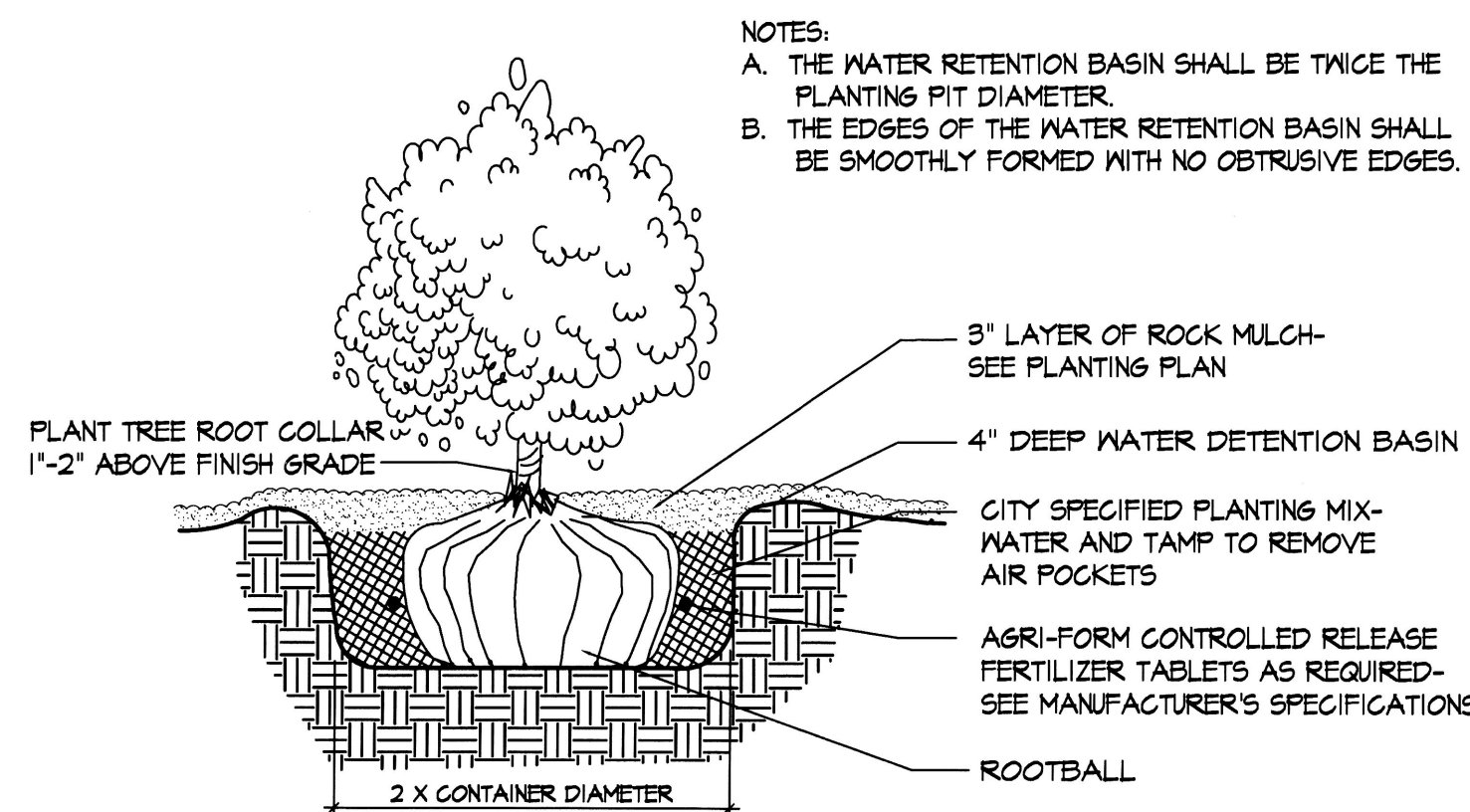
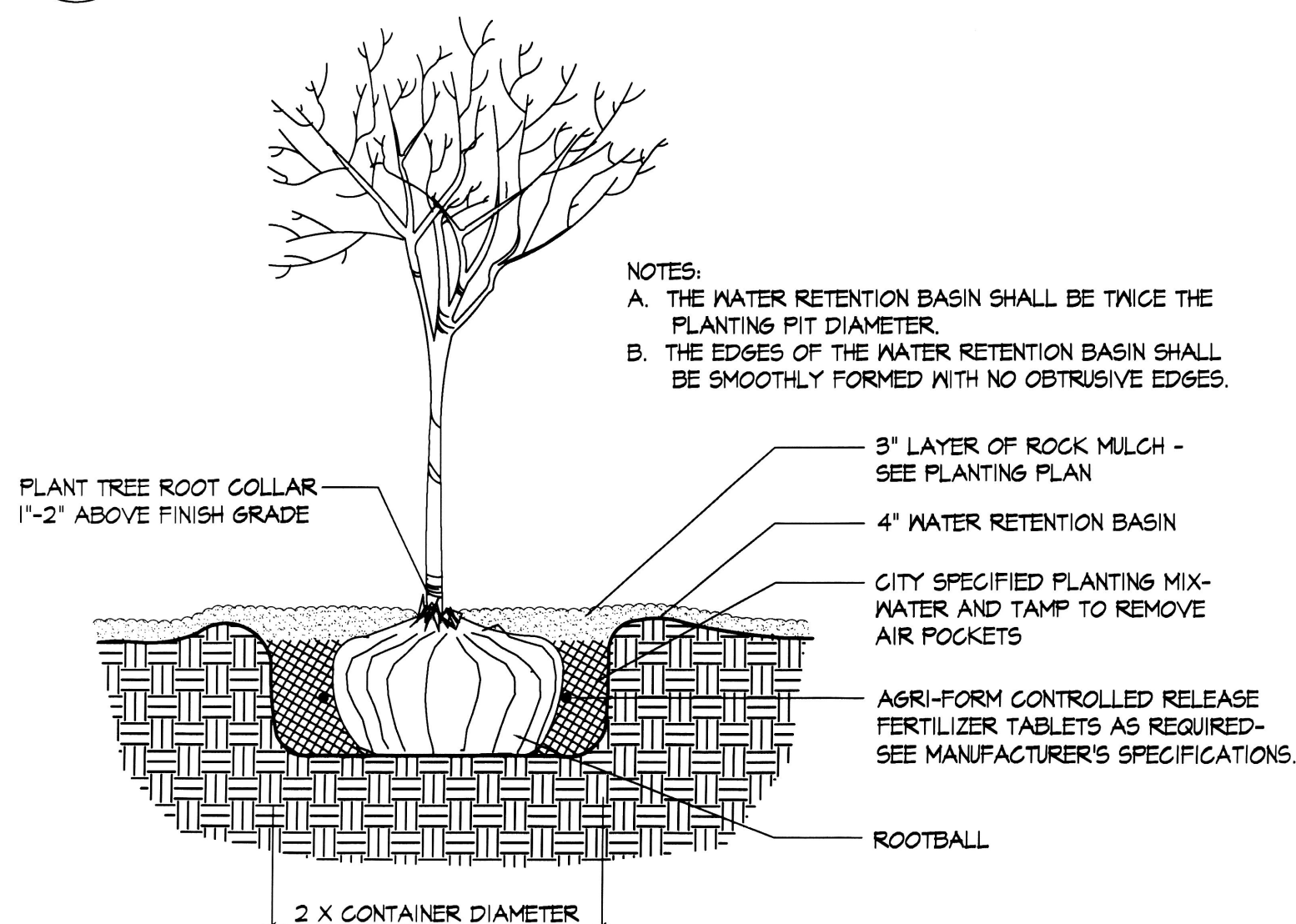
EXISTING LANDSCAPE CONDITIONS

THE LANDSCAPE ALONG THE COMANCHE IS MINIMAL AND INCLUDES ONLY A GRAVEL MULCH GROUND COVER. CURRENTLY THERE ARE NO EXISTING TREES OR SHRUBS.

CANOPY PROVIDING TREES AND LARGE SHRUBS WILL BE PLANTED ALONG THE FRONTAGE LANDSCAPE ISLANDS TO PROVIDE A BUFFER BETWEEN THE NOISY STREET AND THE NEW BUILDING/GARDEN AREA.

IN ADDITION TO THE FRONTAGE ROAD, PLANTING IMPROVEMENTS WILL OCCUR IN THE LANDSCAPE ISLANDS WITHIN THE PARKING LOT. ALL TREES THAT ARE BEING REMOVED DUE TO NEW CONSTRUCTION WILL BE REPLACED WITH NEW SHADE TREES TO MAINTAIN THE EXISTING CANOPY COVERAGE ON THE PARKING LOT.

EXISTING LANDSCAPE CONDITIONS



IRRIGATION MASTER VALVE W/PVB

TREE PLANTING @ GRADE

SHRUB PLANTING @ GRADE

revision
 by
 date 08/22/11
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CONCEPTUAL DRAWINGS

job number 11-09
 VGLC
 drawn by Doug Heller, AIA
 project manager
 date 7/28/2011

project title
First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE
 Albuquerque, New Mexico 87110
 sheet title
Landscape Details

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
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 Albuquerque, NM 87102
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revision
by
date
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job number A11011
drawn by DER
project manager Doug Hughes, DMG
date 7/13/2011

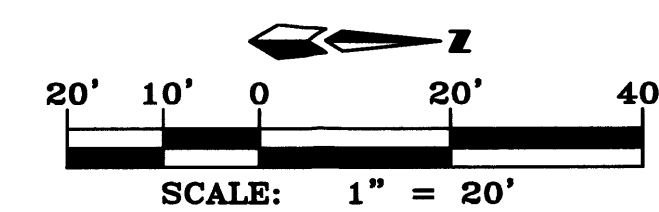
project title
First Unitarian Church of Albuquerque
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sheet title
Grading & Drainage Plan

Summary of Hydrology Table											
Figure A-1 shows Zone 2											
Table A-9 Q ₁₀₀		1.56	2.28	3.14	4.70						
BASIN ID #	AREA (AC)	Land treatment (%)				Q ₁₀₀ (CFS)	Cum. Q ₁₀₀ (CFS)	Street Width F-F	Slope %	Street name	Capacity (CFS)
		A	B	C	D						
101	3.30		15%	15%	70%	13.54	13.54	40'	2.4%	Cherokee Rd.	36
								40'	6.7%	Cherokee Rd.	19
102	4.50		15%	15%	70%	18.48	32.00	40'	2.9%	Cherokee Rd.	33
103	1.70		15%	15%	70%	6.98	38.98	32'	0.5%	Wellesly Dr.	44
104	6.30		15%	15%	70%	25.85	64.83	32'	0.5%	Wellesly Dr.	44
105	5.10		10%	10%	80%	21.94	86.77				
106	6.00		10%	10%	80%	25.81	112.58				
107	3.30		15%	15%	70%	13.54	126.12				
Onsite Pre - Development											
A	1.77		18%		82%	7.55	7.55				
B1	0.37		51%		49%	1.28	8.71			4" pipe capacity = 0.12 cfs to B-3 with bypass to A	
B2	0.53		60%		40%	1.72	1.72			Total into Pond B (Pump flow is 100 gpm = 0.23 cfs)	
B3	0.27		88%		12%	0.69	2.54			Total to Cherokee Rd.	
C	0.89		11%	44%	45%	3.34	3.57				
D	0.16		15%		85%	0.69	0.69				
Total Pre-development, on-site, 100-YR flow											
12.97											
Onsite Post - Development											
A	1.77		12%	15%	73%	7.39	7.39				
B1	0.37		51%		49%	1.28	8.55			4" pipe capacity = 0.12 cfs to B-3 with bypass to A	
B2	0.53		60%		40%	1.72	1.72			Total into Pond B (Pump flow is 100 gpm = 0.23 cfs)	
B3	0.27		88%		12%	0.69	2.54			Total to Cherokee Rd (Pond C discharges 2.25 cfs)	
C	0.89		11%	3%	86%	3.90	2.48				
D	0.16		15%		85%	0.69	0.69				
Total Post-development, on-site, 100-YR flow											
11.73											
Notes: 1) the 4" pipe capacity is based on Manning's Equation where n=0.013 and Slope=0.4%											
2) Pond C weir calculations use a weir coefficient of 2.7, a crest elevation of 28.25, and a 5' wide channel at the SW corner of the parking lot.											

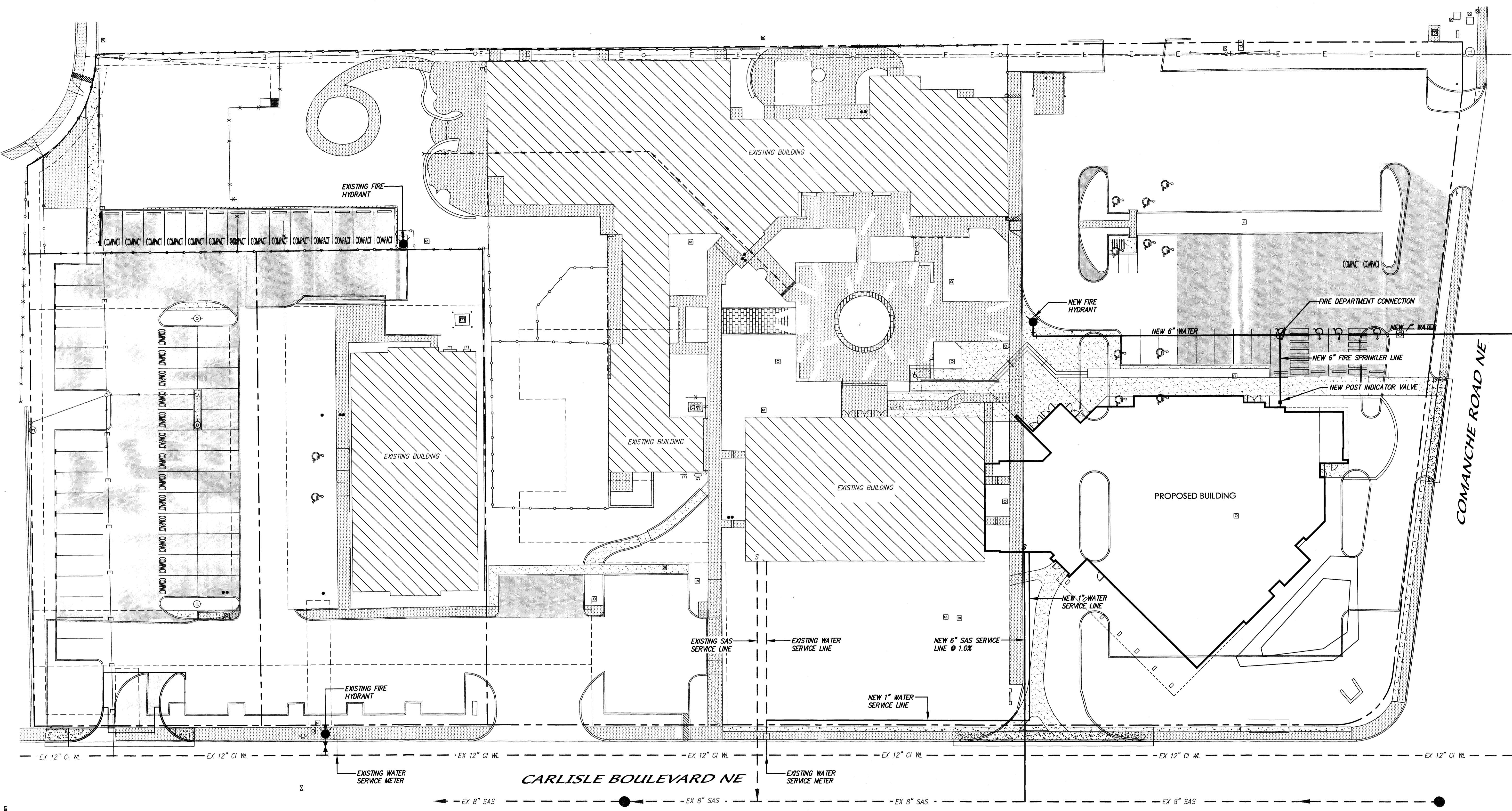
Drainage Management Plan - The streets adjacent to this site have adequate capacity to convey Pre-development and Post-development peak 100 year storm water runoff from this 3.54 acre site. This project will reduce the 100 year peak rate of storm water runoff from this site. The discharge from the northwest corner of the site will be reduced from 8.71 cfs pre-development to 8.55 cfs post-development by reducing the impervious cover in the north half of the site by 0.16 acres and replacing it with landscaping. The discharge from the southwest corner of the site will be reduced from 3.57 cfs pre-development to 2.48 cfs post-development by constructing a pond to receive storm water runoff from the new parking lot as necessary to satisfy LEED Stormwater Quality and Quantity requirement

Grading Information - Generally the existing site is flat with slopes from east to west ranging from 0.5% to 2%. Proposed grades are about the same as existing grades with a maximum fill of 2' at the northwest entrance into the proposed building and a maximum cut of 2' at the south edge of the south parking lot. New ponding is being added along the south edge of the south parking lot, existing ponding in the southwest corner of the site will remain unchanged by this project.

Drainage Research - This drainage plan accounts for drainage from Lot 8-A, Block 8 of the Indian Acres Subdivision, 0.44 acres, which is the only off-site area draining into this site. A drainage plan by Jeff Mortenson & Associates with Drainage Certification date 4/26/2000 incorrectly assumed that most of the drainage from Lots 8-A and 8-B drains either into Carlisle Blvd. or into the pond on lot 8-C. The survey by Aldrich Land surveying for the current 2011 project shows that all the area drains to Cherokee Road instead. So the flows into Carlisle Blvd. and the pond on lot 8-C are significantly less than the 2000 plan called for. This drainage plan assumes that the pump identified in the 2000 plan (100 gpm) is in place and will continue to function. This drainage plan has verified that the existing pond volume, which is considerably smaller than that shown on the 2000 plan, is adequate to serve the area draining to it, which is also considerably smaller than that shown on the 2000 plan.

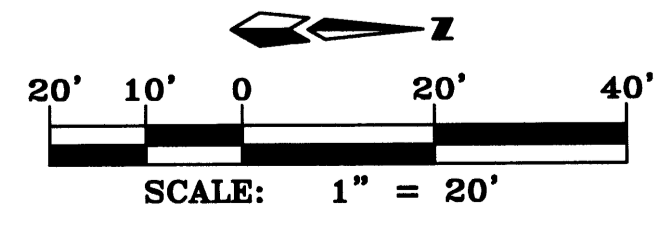


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LEGEND

○	EXISTING UTILITY POLE	⊠	EXISTING LIGHT POST
—E—E—E—	EXISTING OVERHEAD UTILITY LINES	⊞	EXISTING PULL BOX
●	EXISTING BOLLARD	→	EXISTING GUY WIRE
▨	EXISTING CONCRETE/SIDEWALK	▲	EXISTING SIGN
●	EXISTING FIRE HYDRANT	---	EXISTING SANITARY SEWER LINE
⊞	EXISTING WATER VALVE	---	EXISTING WATERLINE
⊞	EXISTING WATER METER	---	EXISTING SANITARY SEWER LINE
⊞	EXISTING SANITARY SEWER MANHOLE	---	NEW SANITARY SEWER LINE
⊞	EXISTING ELECTRIC SERVICE/PEDESTAL	---	NEW WATERLINE
⊞	EXISTING TELEPHONE PEDESTAL	---	NEW FIRE HYDRANT
		---	NEW SANITARY SERVICE LINE



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revision
by
date
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project number A11011
job number
drawn by DER
project manager Doug Hughes, DMG
date 7/13/2011

project title
First Unitarian Church of Albuquerque
3701 Carlisle Blvd. NE
Albuquerque, New Mexico 87110
sheet title
Utility Plan

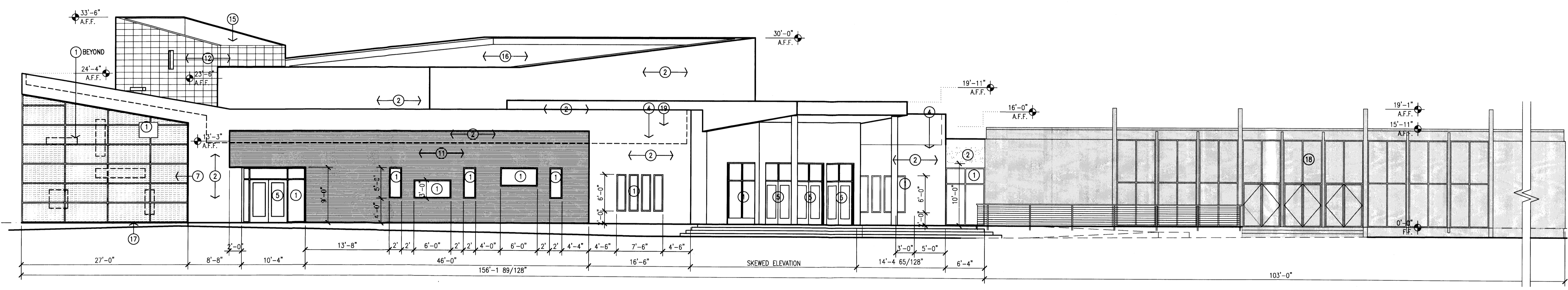
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7 OF 11

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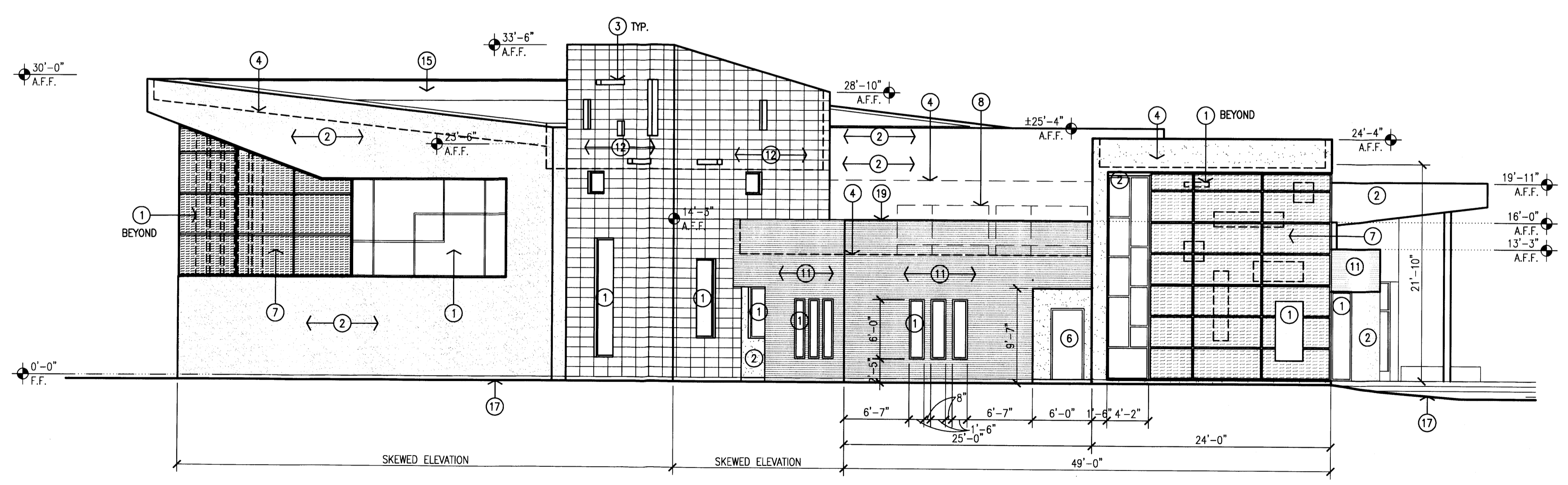
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GENERAL NOTE
 A. ALL HEIGHTS ARE RELATIVE TO 0'-0" FINISH FLOOR.
 B. ALL EXTERIOR BUILDING COLORS WILL BE COMPATIBLE WITH EXISTING CAMPUS.

KEYED NOTES:
 [1] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED (GRAY) GLAZING.
 [2] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: MEDIUM TAN/RED.
 [3] OPENING IN PARAPET.
 [4] LINE OF ROOF BEYOND.
 [5] CLEAR ANODIZED ALUMINUM STOREFRONT DOOR.
 [6] INSULATED HOLLOW METAL DOOR, PAINT TO MATCH STUCCO.
 [7] PLATE METAL SHADE PANEL, HELD OFF STUCCO EXTERIOR.
 [8] APPROXIMATE LOCATION OF ROOFTOP EQUIPMENT.
 [9] STUCCO WING WALL. COLOR: MEDIUM TAN/RED.
 [10] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH SEMI-TRANSLUCENT WHITE GLAZING.
 [11] FACE BRICK CLADDING, COLOR TO MATCH EXISTING SANCTUARY.
 [12] NATURAL STONE CLADDING. COLOR: DARK TAN/BROWN.
 [13] PARAPET BEYOND.
 [14] WOOD SOFFIT PANELS.
 [15] TPO ROOF SYSTEM.
 [16] NOT USED.
 [17] NEW FINISH GRADE, SEE CIVIL.
 [18] EXISTING SANCTUARY TO REMAIN AS NEW SOCIAL HALL.
 [19] LINE OF PARAPETS TO SHIELD MECHANICAL UNITS.



1 West Elevation
 1/8" = 1'-0"



2 North Elevation
 1/8" = 1'-0"

revision	
by	mms
date	9/26/11
rev	▲▲▲▲▲

Per COA—Notice of Decision:	
Per Planning Dept. Review	

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job number	11-09
drawn by	VGC
project manager	Doug Heller, AIA
date	7/26/2011

project title
First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE
 Albuquerque, New Mexico 87110
 sheet title
Exterior Elevations

GENERAL NOTE
 A. ALL HEIGHTS ARE RELATIVE TO 0'-0" FINISH FLOOR.
 B. ALL EXTERIOR BUILDING COLORS WILL BE COMPATIBLE WITH EXISTING CAMPUS.

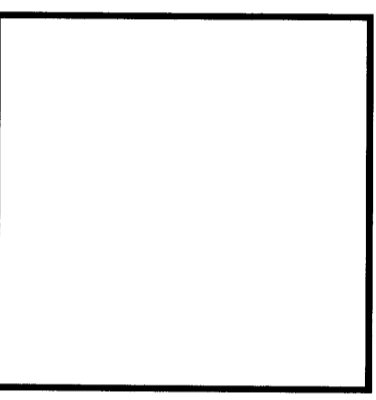
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 [19] LINE OF PARAPETS TO SHIELD MECHANICAL UNITS.

revision		Per COA-Notice of Decision.	Per Planning Dept. Review
by	mws		
date	9/26/11		8/22/11

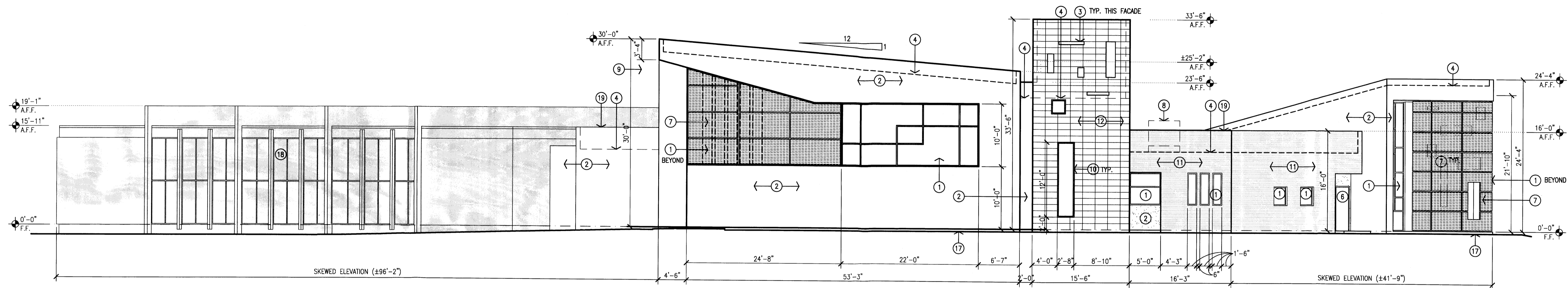
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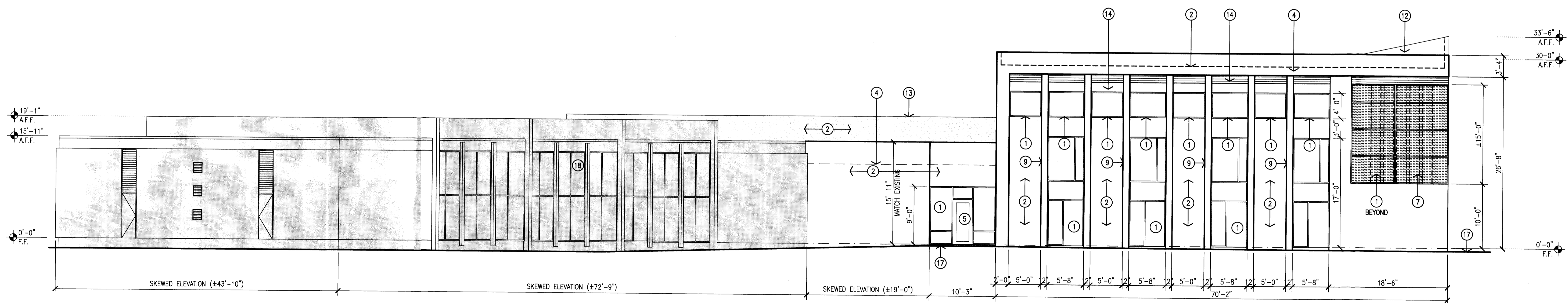
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job number	11-09	VGLC
drawn by		Doug Heller, AIA
project manager		7/28/2011
date		



1 Northeast Elevation
 1/8" = 1'-0"



2 Southeast Elevation
 1/8" = 1'-0"

project title
 First Unitarian Church of Albuquerque
 3701 Carlisle Blvd. NE
 Albuquerque, New Mexico 87110

sheet title
 Exterior Elevations

**DESIGN STANDARDS FOR THE FUTURE FIRST UNITARIAN
RELIGIOUS EDUCATION BUILDING AND FOR OTHER FUTURE WORK
WHICH WILL OCCUR**

INTRODUCTION

THE FOLLOWING DESIGN STANDARDS APPLY TO THE FUTURE RELIGIOUS EDUCATION BUILDING ON THE FIRST UNITARIAN CHURCH CAMPUS.

ADDITIONALLY, THE REGULATIONS AND STANDARDS IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE SHALL APPLY TO THIS BUILDING, WHERE THERE IS CONFLICT BETWEEN THE DESIGN STANDARDS AND THE CITY REGULATIONS, THE MORE RESTRICTIVE SHALL APPLY.

PROJECT BACKGROUND

LOCATED ON THE SOUTHWEST CORNER OF CARLISLE BOULEVARD NE AND COMANCHE BOULEVARD NE, THE FIRST UNITARIAN CHURCH OWNS TWO SEPARATE PARCELS THAT MAKE UP THE CHURCH PROPERTY: TRACT 8-D1 AND TRACT 8-B FOR A TOTAL OF ±3.57 ACRES. THE ZONING FOR TRACT 8-D1 IS SU-1 FOR O-1 USES, AND FOR TRACT 8-B IS SU-1 FOR C-1 AND O-1 USES. A CHURCH IS A PERMISSIVE USE IN THE O-1 ZONE. THERE ARE NO SECTOR PLANS OR DESIGN OVERLAY ZONES THAT GOVERN THIS SITE.

A. ARCHITECTURAL CHARACTER AND ARCHITECTURAL DESIGN ELEMENTS
THE FUTURE RELIGIOUS EDUCATION BUILDING REQUIRES ARCHITECTURAL DESIGN WHICH RESPECTS THE MID-CENTURY MODERN STYLE OF THE EXISTING SANCTUARY AND CREATIVELY BLENDS WITH THE CONTEMPORARY STYLE OF THE NEW SANCTUARY.

PRINCIPAL CHARACTERISTICS OF THE RELIGIOUS EDUCATION BUILDING SHALL INCLUDE SIMPLE MASSING, CANTILEVERED AWNINGS, AND FLAT ROOFS. FACADES ARE COMPOSED RHYTHMICALLY, ALTERNATING MASS AND OPENING IN A LOGICAL MANNER. OPENINGS ACCENTUATE THE MASSING AND ARE LARGE WHEN FRONTING ON THE CENTRAL COURTYARD AND OTHER LANDSCAPED AREAS. ENTRY ELEMENTS ARE PROMINENT ARCHITECTURAL FEATURES ON THE BUILDING.

THE GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES (14-16-3-18) AS FOUND IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE WILL APPLY TO THE BUILDING.

A.1 MASSING

A BUILDING MASS IS DEFINED AS A VOLUME OF SPACE THAT USUALLY APPEARS AS A RECTILINEAR FORM, CONSISTING OF A ROOF AND AT LEAST THREE WALLS. MASSING FOR THIS BUILDING SHALL BE WELL PROPORTIONED AND CONSISTENT WITH THE ARCHITECTURAL CHARACTER OF THE EXISTING CAMPUS. PARTICULAR CONSIDERATION SHALL BE TAKEN TO PRESERVE VIEWS TO THE COURTYARD AND OTHER PEDESTRIAN CONNECTIONS.

A.2 ROOFS

MAIN ROOFS OF STRUCTURES SHALL FOLLOW THESE STANDARDS: FLAT ROOFS WITH PARAPETS THAT ARE SIMPLE OR STEPPED. PARAPETS SHALL BE HORIZONTAL OR STEPPED; DIAGONAL LINES ARE NOT PERMITTED.

A.3 WINDOWS & DOORS

WINDOWS AND DOORS SHALL FOLLOW THESE STANDARDS: FACADES ARE COMPOSED RHYTHMICALLY, ALTERNATING MASS AND OPENING IN A LOGICAL MANNER. OPENINGS COMPLIMENT AND ACCENTUATE THE MASSING BY BEING PUNCHED OR RECESSED AND DOORS AND WINDOWS ARE LARGE WHEN FRONTING ON THE CENTRAL COURTYARD OR PUBLIC WAYS. THEY ARE DETAILED IN SPARE, CLEAN DETAILS, AND INCORPORATE LARGE EXPANSES OF GLASS, METAL WINDOW AND METAL STOREFRONT FRAMES, ESPECIALLY AT PUBLIC ACCESS.

A.4 SHADING & ENTRIES

SHADING AT ENTRIES SHALL FOLLOW THESE STANDARDS: HAVE AWNINGS, CANOPIES OR COLONNADES AT OPENINGS. A TOWER OR STYLIZED MASS AT THE ENTRY SHALL BE INCORPORATED TO SUPPORT THE OTHER BUILDING ENTRANCES ON THE CAMPUS.

A.5 BUILDING MATERIALS & COLORS

BUILDING MATERIALS AND COLORS FOR THE FUTURE RELIGIOUS EDUCATION BUILDING SHALL BE CONSISTENT WITH THE ARCHITECTURAL CHARACTER OF THE EXISTING CAMPUS. QUALITY MATERIALS, ARCHITECTURAL FEATURES, AND CRAFTSMANSHIP SHALL BE EMPLOYED IN THE EXECUTION OF THE BUILDING. APPROVED MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, STUCCO, BRICK, STONE, CONCRETE, SPLIT-FACED CONCRETE MASONRY UNIT, GLASS, WOOD, GALVANIZED METAL, AND ALUMINUM. BRICK SHALL BE INCORPORATED AS AN ELEMENT OF FACADES FOR NEW STRUCTURES.

A.6 BUILDING HEIGHTS

MAXIMUM BUILDING HEIGHT FOR THE FUTURE RELIGIOUS EDUCATION BUILDING SHALL NOT BE TALLER THAN THE EXISTING SANCTUARY: 20' ABOVE GRADE.

A.7 BUILDING SETBACKS

SETBACKS SHALL FOLLOW THE DIMENSIONS TO ADJACENT BUILDINGS AND PROPERTY LINES ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

B. LANDSCAPING

LANDSCAPING FOR THIS DEVELOPMENT SHALL COMPLY WITH THE LANDSCAPE REGULATIONS (14-16-3-10) IN THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE, AND THE CITY OF ALBUQUERQUE REQUIREMENTS IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, AND THE POLLEN ORDINANCE. LANDSCAPING IN CONJUNCTION WITH THE FUTURE RELIGIOUS EDUCATION BUILDING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN IN THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT.

C. PEDESTRIAN PATHS

THE ENTRY TO THE BUILDING SHALL BE FOCUSED TO THE EXISTING COURTYARD WITH A MINIMUM 12' PEDESTRIAN CONNECTION TO THE COURTYARD. A MINIMUM 6' WIDE PEDESTRIAN WALKWAY SHALL BE PROVIDED FROM THE PROPOSED BUILDING TO THE CITY SIDEWALK ALONG CARLISLE BLVD.

D. SCREENING/WALLS

SCREEN OR YARD WALLS SHALL FOLLOW THE INTENT OF WALLS INCLUDED IN THE AMENDED SITE PLAN FOR BUILDING PERMIT AND THE COMPREHENSIVE ZONING CODE REGULATIONS.

E. SITE LIGHTING

SITE LIGHTING SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE AREA LIGHTING REGULATIONS (14-16-3-9).

LIGHTING DESIGN SHALL COMPLIMENT THE ARCHITECTURAL STYLES, AND NOT OVERWHELM THEM. NEW SITE LIGHTING SHALL BE SIMILAR TO THE EXISTING AND BE OF THE SAME HEIGHT (16' MAXIMUM). SITE LIGHTING TYPE, COLOR, AND MATERIALS SHALL COMPLIMENT THE CHARACTER OF THE PROJECT AND NOT CONTRAST OR STAND OUT FROM THE DESIGNS OF THE BUILDINGS. THE LIGHTING DESIGN SHALL ENHANCE BOTH THE PEDESTRIAN SCALE AND THE AUTOMOBILE PORTIONS OF THE SITE.

BUILDING-MOUNTED LIGHTING SHALL ENHANCE THE ARCHITECTURE OF EACH BUILDING, AND SHALL INCLUDE SCONCES AND SHIELDED ACCENT LIGHTS.

LIGHTING SHALL BE FULLY SHIELDED AND HIGH-PRESSURE SODIUM LIGHTING AND UNSHIELDED UPLIGHTING SHALL BE PROHIBITED.

F. SIGNS & SIGNAGE

THERE SHALL BE NO SIGNAGE ON THE FUTURE RELIGIOUS EDUCATION BUILDING FACING CARLISLE BLVD. DIRECTIONAL AND INFORMATIVE SIGNAGE MAY BE APPLIED TO THE MAIN BUILDING ENTRY, FACING THE COURTYARD.

G. APPROVAL PROCESS

PROCEDURALLY, THIS PROJECT SHALL SUBMIT A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WHICH WILL BE REVIEWED BY THE DESIGNEE OF THE PLANNING DIRECTOR THEN SENT WITH A RECOMMENDATION TO THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT'S DEVELOPMENT REVIEW BOARD (DRB). THE INTENT OF THESE DESIGN STANDARDS IS TO PROVIDE GUIDANCE FOR THE DRB WHEN REVIEWING THIS FUTURE DEVELOPMENT.

revision		
by	rms	jth
date	9/26/11	8/22/11
rev	△	△



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date	7/28/2011

project title
First Unitarian Church of Albuquerque
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sheet title
Design Guidelines