

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1008926

Application #: 13DRB-70684

Project Name: TOWN OF ATRISCO GRANT - TBKA LOPEZ WEST SUBD

Agent: THE SURVEY OFFICE

Phone #:

****Your request was approved on 9-25-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed****

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): done, filed, signatures,
record by 10-16-13

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1008926

AGENDA ITEM NO: 12

SUBJECT:

SKETCH PLAT

ENGINEERING COMMENTS:

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Clarify existing conditions on Bridge Boulevard and Eucariz Avenue.

A sight distance exhibit must be provided, demonstrating adequate sight distance for Eucariz Avenue (200 feet) and Bridge Boulevard (400 feet).

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: JUNE 6, 2012

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 6, 2012
DRB Comments**

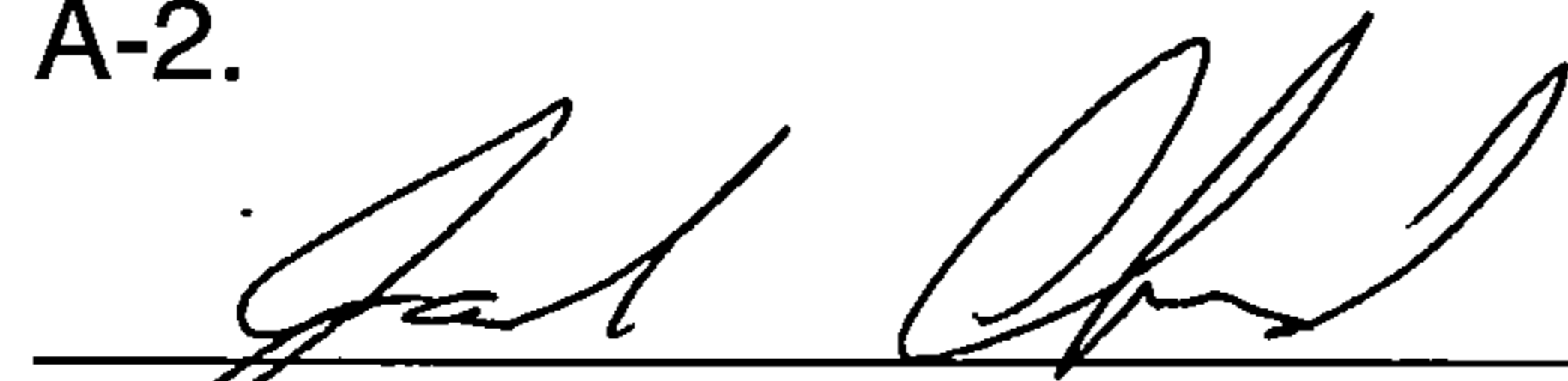
ITEM # 12

PROJECT # 1008926

APPLICATION # 12-70162

RE: Lot 316A, Town of Atrisco Grant Unit 3

Adjacent platting needs to be corrected: Lot 315-A on the west side, and show correct right of way for Bridge on the east side for Lot 317-A-2.



Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1008926

AGENDA ITEM NO: 12

SUBJECT:

Sketch Plat

ENGINEERING COMMENTS:

A grading and drainage plan is required for preliminary plat approval. It appears there is no curb and gutter and sidewalk in Bridge St.

You may wish to apply for a variance to not build curb and gutter and sidewalk.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 6-6-12


3. **Project# 1009082**
12DRB-70082 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/11/ 6/27/12, 7/25/12, 8/29/12] **DEFERRED TO 10/31/12 AT THE AGENT'S REQUEST.**



4. **Project# 1009084**
12DRB-70079 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70080 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of COMPASS DRIVE NW plus Utility Easements in Block(s) 2, **VOLCANO CLIFFS Unit 19**, zoned SU-2/ VCLL, located on COMPASS DR NW between CAMINO DEL OSTE NW and COMPASS CT NW containing approximately 4.5 acre(s). (D-10) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/12, 6/27/12, 7/25/12, 8/29/12] **DEFERRED TO 10/31/12 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1002202**
12DRB-70291 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL 

HUITT-ZOLLARS, INC. agent(s) for WINROCK PARTNERS, LLC request(s) the above action(s) for all or a portion of Lot(s) PARCEL A-1-A-1, **WINROCK CENTER ADDITION** zoned SU-3, located on WEST OF PENNSYLVANIA BETWEEN LOUISIANA AND PENNSYLVANIA containing approximately 50.4704 acre(s). (J-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/26/12 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS DEFERRED.**

6. **Project# 1008926**
12DRB-70296 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL
12DRB-70271 SUBDIVISION
DESIGN VARIANCE  

THE SURVEY OFFICE agent(s) for FRANCISCO LOPEZ request(s) the above action(s) for all or a portion of Lot(s) 316A, **PLAT OF LOPEZ WEST LOTS 1-6 Unit(s) 3**, zoned R-1, located on BETWEEN EUCARIZ AND BRIDGE containing approximately 2.0938 acre(s). (L-11) **INDEFINITELY DEFERRED.**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
September 5, 2012
DRB Comments**

ITEM # 13

PROJECT # 1008926

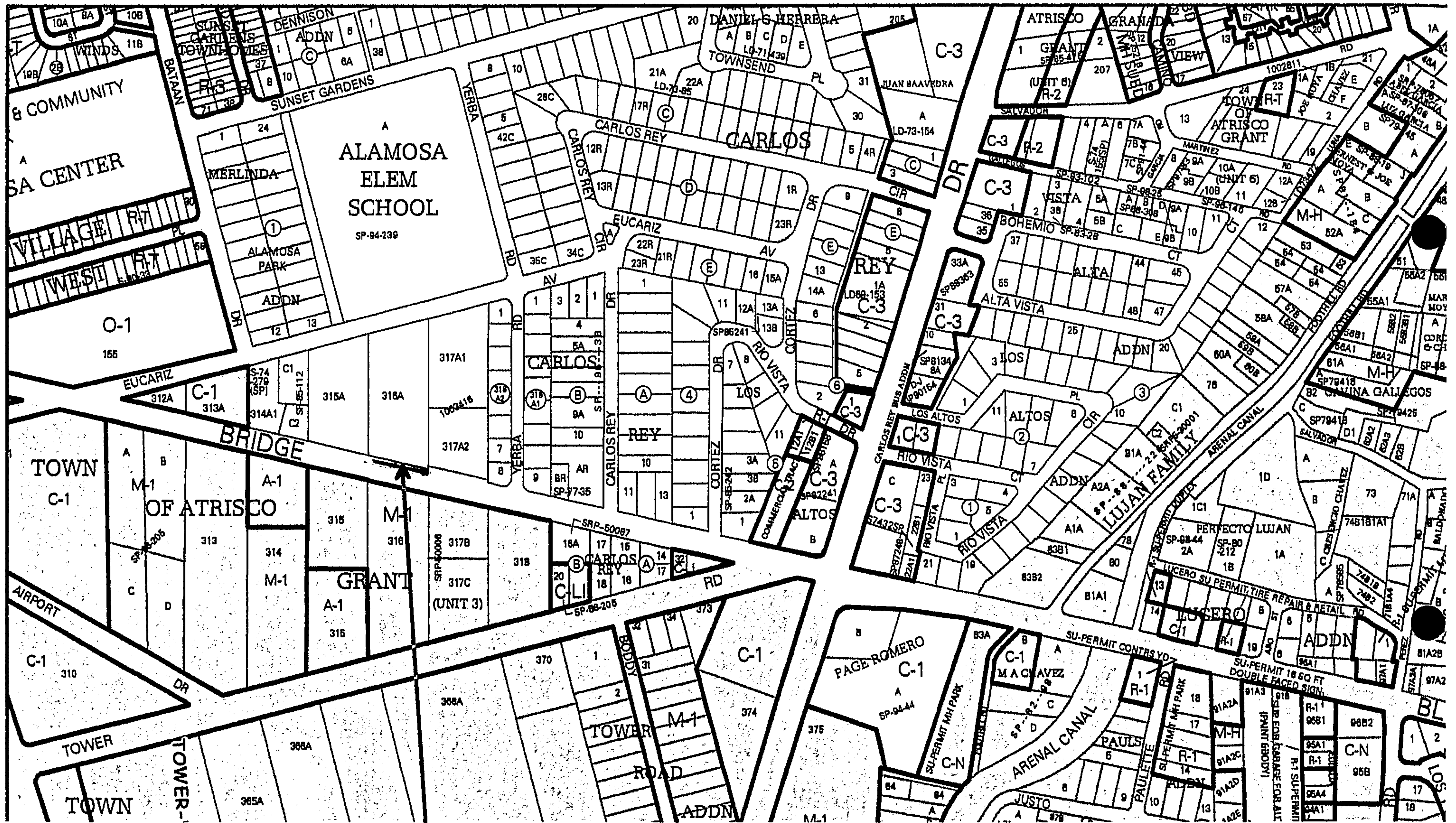
APPLICATION # 12-70270

RE: Lot 316A, Town of Atrisco Grant Unit 3

A variance must be requested concurrent with a platting action (not a sketch plat); likewise, Infrastructure List approval must be tied to a platting action. Refer to comments from Transportation Development and Hydrology regarding the potential waiver of curb, gutter and sidewalk on Bridge.

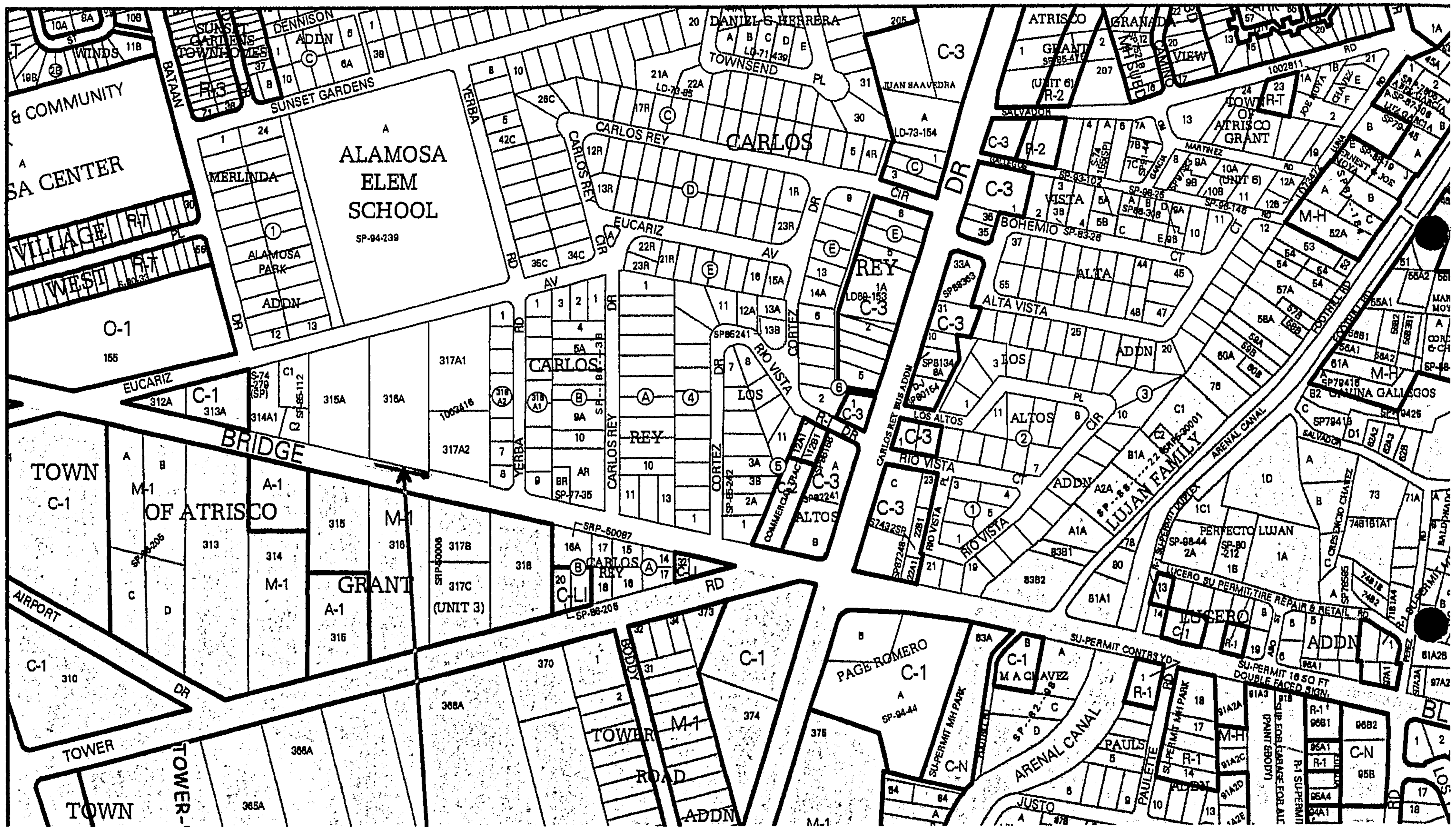
Adjacent platting on Sheet 2 of proposed plat needs to be corrected: Lot 315-A on the west side, and show correct right of way for Bridge on the east side for Lot 317-A-2.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov



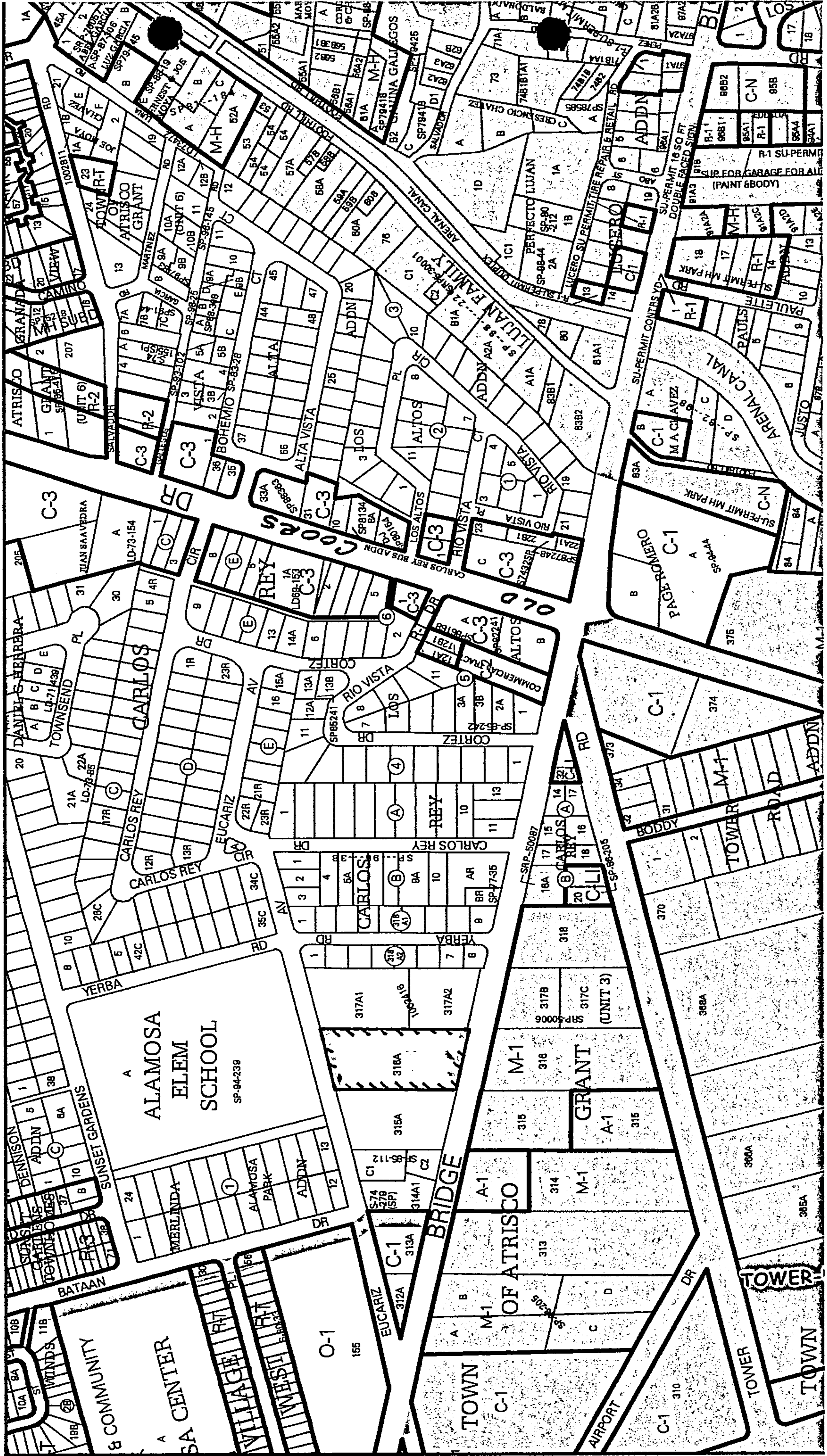
SIDEWALK AND
CURB/GUTTER VARIANCE

Lopez - F
1" ~ 500'
L-11 (City)



SIDEWALK AND
CURB/GUTTER VARIANCE

Lopez - F
1" ~ 500'
L-11 (City)



Lopez - F
 142500'
 1-11 (M:hu)

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 6, 2012
DRB Comments**

ITEM # 12

PROJECT # 1008926

APPLICATION # 12-70162

RE: Lot 316A, Town of Atrisco Grant Unit 3

Adjacent platting needs to be corrected: Lot 315-A on the west side, and show correct right of way for Bridge on the east side for Lot 317-A-2.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

3. **Project# 1004387**
11DRB-70201 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR
SIA)

ENCINO PLACE LLC request(s) the referenced/ above
action(s) for all or a portion of Lot(s) 31-A thru 35-A,
Block 12, **COUNTRY CLUB ADDITION**, zoned O-1,
located on ENCINO PL NE between LAS LOMAS RD NE
and ROMA AVE NE containing approximately .9165 acre.
(J-15) **THE TWO YEAR EXTENSION OF THE
SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS
APPROVED**

4. **Project# 1007490**
11DRB-70197 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

C & S EQUITIES LLC request(s) the referenced/ above
action(s) for all or a portion of Lot(s) 3B.2.A, **IHS
ACQUISITION NO. 120 INC.**, zoned SU-2 HOSPITAL/
MED/ C., located on the north side of ALAMEDA BLVD
NE between the NORTH DIVERSION CHANNEL and
BALLOON MUSEUM DR NE containing approximately
4.6876 acre(s). (C-17) **THE SITE PLAN FOR BUILDING
PERMIT WAS APPROVED WITH FINAL SIGN OFF
DELEGATED TO TRANSPORTATION TO ADDRESS
COMMENTS AND TO PLANNING FOR APPROVAL
FROM FIRE MARSHALL AND ZONING.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project# 1004607**
11DRB-70221 AMENDED
INFRASTRUCTURE LIST

WILSON AND COMPANY INC agent(s) for KB HOMES
NM INC request(s) the above action(s) for all or a portion
of **VISTA VIEJA UNITS 3 & 4** located on
GROUDSEL RD NW BETWEEN ALBUQUERQUE
PLACE NW AND VISTA TERRAZA DR NW (D-9)
DEFERRED TO 8/24/11 AT THE AGENT'S REQUEST.

6. **Project# 1008927**
11DRB-70219 EXT OF SIA FOR TEMP
DEFR SDWK CONST

CURB, INC. request(s) the above action(s) for all or a
portion of **EL RANCHO GRANDE UNIT 16** zoned R-
D, located on GIBSON BLVD SW WEST OF UNSER
BLVD SW. (N-8) **A TWO YEAR EXTENSION TO THE
AGREEMENT FOR THE DEFERRAL OF SIDEWALKS
WAS APPROVED.**

**NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

7. **Project# 1008926**
11DRB-70218 SKETCH PLAT REVIEW
AND COMMENT

CARTESIAN SURVEYS INC agent(s) for JOSLYN
BUSTAMANTE request(s) the above action(s) for all or a
portion of Lot(s) 316-A, **TOWN OF ATRISCO GRANT
UNIT 3** zoned R-1, located on BRIDGE BLVD SW
BETWEEN EUCARIZ AVE SW YERBA RD SW
containing approximately 2.0746 acre(s). (L-11)**THE
ABOVE ITEM WAS REVIEWED AND COMMNETS WERE
PROVIDED.**

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/18/2013 Issued By: BLDADM 207002

Category Code **910**
2013 070 684

Application Number: 13DRB-70684, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: EUCARIZ AND BRIDGE

Project Number: 1008926

Applicant

FRANCISCO J LOPEZ

178 LA VEGA RD SW
ALBUQUERQUE NM 87105

Agent / Contact

THE SURVEY OFFICE
SHAWN BAIZAR
333 LOMAS BLVD NE
ALBUQUERQUE NM 87102
5059980303

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$565.00

TOTAL: \$585.00

City of Albuquerque Treasury
Date: 9/18/2013 Office: ANMEX
Stat ID: W5000008 Cashier: TRSCXG
Batch: 2586 Trans #: 1
Permit: 2013070684
Receipt Num 00152726
Payment Total: \$585.00
0901 Conflict Mgmt Fee \$20.00
0903 DRB Actions \$565.00
Check Tendered : \$585.00

8926

DXF Electronic Approval Form

DRB Project Case #: 1008926

Subdivision Name: LOPEZ WEST, LOTS 1 - 6

Surveyor: ANTHONY L HARRIS

Contact Person: ANTHONY L HARRIS

Contact Information: 505/998-0303

DXF Received: 9/25/2013

Hard Copy Received: 9/25/2013

Coordinate System: NMSP Grid (NAD 83)

Catherine Bradley

Approved

9/25/13

Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **8926** to agiscov on **9/25/2013** Contact person notified on **9/25/2013**

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1
2
3

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
Phillip W. Clark NAME (print) Clark Consulting Engineers FIRM	<i>[Signature]</i> 10/10/12 DRB CHAIR - date	<i>Carol S. Dumont</i> 10-10-12 PARKS & RECREATION - date	
<i>[Signature]</i> SIGNATURE date 7/27/12	<i>[Signature]</i> 10-10-12 TRANSPORTATION DEVELOPMENT - date		AMAFCA - date
	<i>[Signature]</i> 10/10/12 UTILITY DEVELOPMENT - date		- date
	<i>[Signature]</i> 10-10-12 CITY ENGINEER - date		- date

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning, including Zoning within sector Developmen Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): The Survey Office PHONE: (505) 998-0303
 ADDRESS: 333 Lomas Blvd., NE FAX: (505) 998-0305
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: maple@thesurveyoffice.com

APPLICANT: Francisco J. Lopez PHONE: (505) 220-8309
 ADDRESS: 178 La Vega Road, SW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87105 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Francisco Lopez

DESCRIPTION OF REQUEST: Final Plat Sign Off One Lot into 6 New Lots

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: 316A Block: _____ Unit: 3
 Subdiv/Addn/TBKA: Town of Atrisco Grant, TBKA: Lopez West Subdivision
 Existing Zoning: R-1 Proposed zoning: The Same MRGCD Map No: _____
 Zone Atlas page(s): L-11-Z UPC No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
12DRB-70162, 1008926, 12DRB-70316

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 6 Total area of site (acres): 2.0938 Acres
 LOCATION PROPERTY BY STREETS: On or Near: Eucariz, SW and Bridge SW
 Between: Eucariz, SW and Bridge, SW
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

[Handwritten Signature]

DATE 09-17-2013

(Print) Shawn Baizar

Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	20080800	<u>P/F</u>	<u>563</u>	<u>\$565.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>13 - DRB-70684</u>	<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>9-25-13</u>			<u>\$585.00</u>

KWS 17 SEPT 2013
 Planner signature / date

Project # 1008926

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

See 9-18-12 application

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shawn BIAZAR
 Applicant name (print)
 [Signature] 6/17/13
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
~~2015 - DRB~~
 B - DRB - 70684

Form revised October 2007
 [Signature] 17 SEPT 2013
 Planner signature / date
 Project # 1008926



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning, including Zoning within sector Developmen Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
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- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

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 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: maple@thesurveyoffice.com

APPLICANT: Francisco J. Lopez PHONE: (505) 220-8309
 ADDRESS: 178 La Vega Road, SW FAX _____
 CITY: Albuquerque STATE NM ZIP 87105 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Francisco Lopez

DESCRIPTION OF REQUEST: Final Plat Sign Off One Lot into 6 New Lots

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No: 316A Block: _____ Unit: 3
 Subdiv/Addn/TBKA: Town of Atrisco Grant, TBKA: Lopez West Subdivision
 Existing Zoning: R-1 Proposed zoning: The Same MRGCD Map No: _____
 Zone Atlas page(s): L-11-Z UPC No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):

12DRB-70162, 1006926, 12DRB-70316

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 6 Total area of site (acres): 2.0938 Acres
 LOCATION PROPERTY BY STREETS: On or Near: Eucariz, SW and Bridge SW
 Between: Eucariz, SW and Bridge, SW
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 09-17-2013

(Print) Shawn Baizar Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	SF.	Fees
<u>2008550</u>	<u>PIF</u>	<u>563</u>	<u>\$565.00</u>
<u>13 - DRB-70684</u>	<u>CMF</u>		<u>\$ 20.00</u>
			\$
			\$
			\$
Hearing date <u>9-25-13</u>			Total
			<u>\$585.00</u>

[Signature] 17 SEPT 2013
 Planner signature / date

Project # 1008926

Form revised 4/07

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

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- Letter briefly describing, explaining, and justifying the request
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EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
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MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
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- 5 Acres or more: Certificate of No Effect or Approval
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- Fee (see schedule)
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

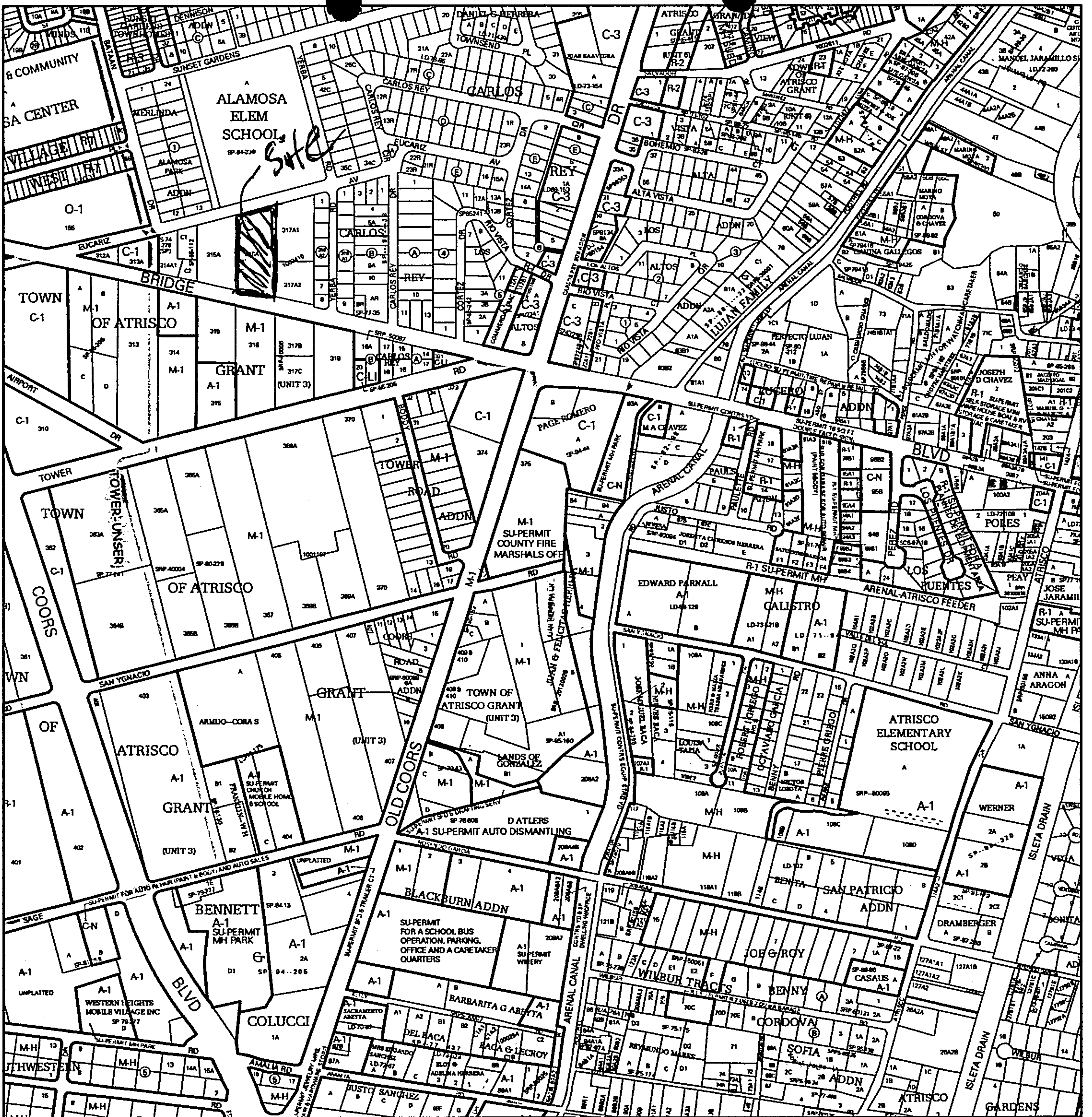
Shawn BIAZAR
Applicant name (print)
Shawn Biazar 6/17/13
Applicant signature / date



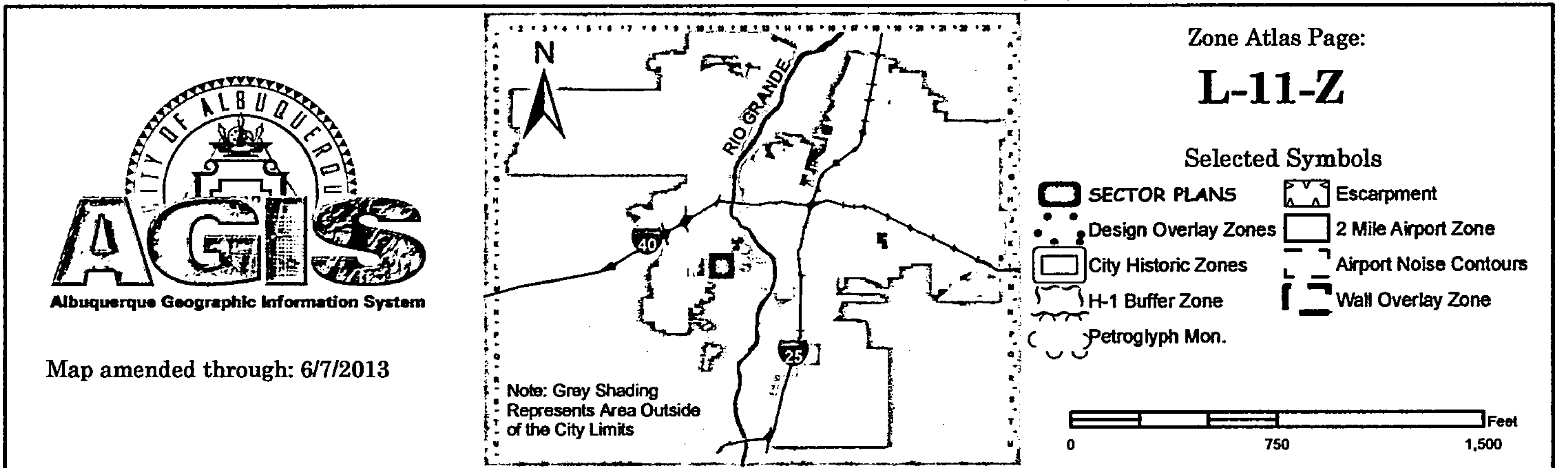
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
~~2015 - DRB~~
B - DRB - 70684

Form revised October 2007
K. S. S. 17 SEPT 2013
Planner signature / date
Project # 1008926



For more current information and details visit: <http://www.cabq.gov/gis>



The Survey Office

September 17, 2013

Mr. Jack Cloud, DRB Chair
City of Albuquerque Planning Department
PO Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

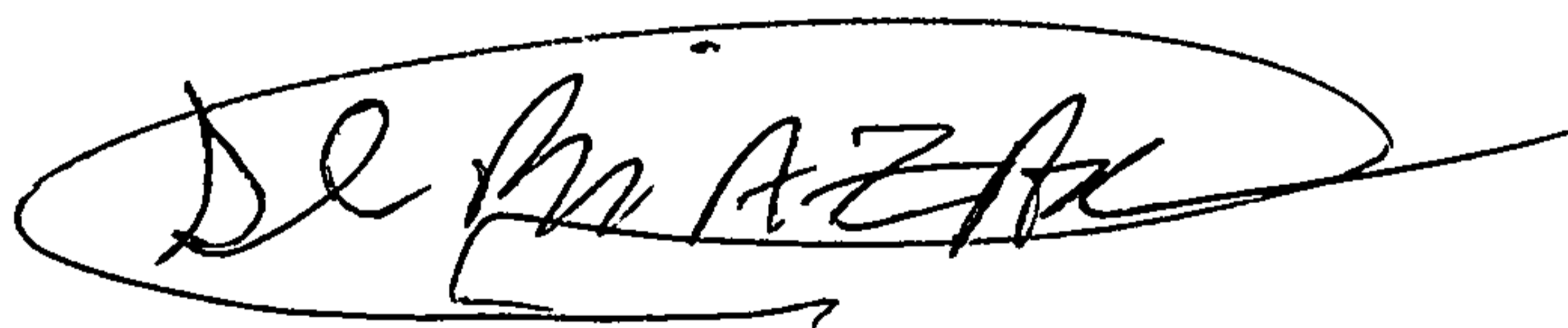
RE: Final Plat Tract 316A, Unit 3, Town of Atrisco Grant, DRB#1008926
Containing 2.0938 Acres, Zone Atlas Page L-11-Z

Dear Mr. Cloud:

The Survey Office, on behalf of owners of the above referenced property, is requesting Final Plat approval. The Preliminary Plat was approved on October 2012. The infrastructure for the site is complete and a close-out package has been submitted to Public Works Construction Division. However, it's been almost two months and we have not received the construction completion letter from the Public Works. Since our preliminary plat is about to expire, we are submitting to DRB for final plat approval hoping will have the approval letter by the hearing date.

Thank you for your attention regarding this matter. Please contact me at (505) 804-5013 if you require additional information or have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Shawn Biazar", enclosed within a large, hand-drawn oval.

Shawn Biazar

Enclosures
JN: Francisco Lopez

September 25. 2013

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/18/2012 Issued By: PLNTES 163366

Category Code **910**
2012 070 296

Application Number: 12DRB-70296, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: BETWEEN EUCARIZ AND BRIDGE

Project Number: 1008926

Applicant

FRANCISCO LOPEZ

178 LA VEGA RD SW
ALBUQUERQUE NM 87105

Agent / Contact

THE SURVEY OFFICE

ROBERT LOUIS

333 LOMAS BLVD NE

ALBUQUERQUE NM 87102

5059980303

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions **\$565.00**

TOTAL: \$585.00

City of Albuquerque Treasury
Date: 9/18/2012 Office: ANNEX
Stat ID: WS0000008 Cashier: TRSSIV
Batch: 760 Trans #: 14
Permit: 2012070296
Receipt Num 00054003
Payment Total: \$585.00
0901 Conflict Mgmt. Fee \$20.00
0903 DRB Actions \$565.00
VISA Tendered : \$585.00

Current DRC
Project Number:

FIGURE 12

Date Submitted: JUL. 26, 2012

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.:1008926

DRB Application No.:12DRB-

LOTS 1-6, LOPEZ WEST SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 316a, Unit 3, Town of Atrisco Grant SUBDIVISION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
							/	/	/
							/	/	/
		10"	PUBLIC WATERLINE	BRIDGE BLVD (Northside)	CARLOS REY	SW CORNER OF SITE (Along Frontage)	/	/	/
		4' BURY	PUBLIC FIRE HYDRANT	BRIDGE BLVD			/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1
2
3

AGENT / OWNER

Philip W. Clark
NAME (print)

Clark Consulting Engineers

FIRM

Philip W. Clark
SIGNATURE date 7/27/12

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

- date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): The Survey Office PHONE: 505-998-0303
 ADDRESS: 333 Lomas Blvd NE 87 FAX:
 CITY: ABQ STATE NM ZIP 87102 E-MAIL: MAPLE@SURVEYOFFICE.COM

APPLICANT: Francisco Lopez PHONE:
 ADDRESS: 178 La Vega Rd SW. FAX:
 CITY: ABQ STATE NM ZIP 87105 E-MAIL:

Proprietary interest in site: Owner List all owners:

DESCRIPTION OF REQUEST: 1 lot subdivided into 6 lots

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 316A Block: Unit: 3
 Subdiv/Addn/TBKA: plat of Lopez West lots 1-6
 Existing Zoning: P-1 Proposed zoning: MRGCD Map No
 Zone Atlas page(s): L-11 UPC Code:

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): DRB 1008926

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 1 No. of proposed lots: 6 Total site area (acres): 2.0938
 LOCATION OF PROPERTY BY STREETS: On or Near: Between Eucariz & Bridge
 Between: and

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date:

SIGNATURE Robert Louis DATE 9-18-12
 (Print Name) Robert Louis Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>12 DRB - 70296</u>	<u>P&F</u>	<u></u>	<u>\$565.00</u>
<u></u>	<u>CMF</u>	<u></u>	<u>\$20.00</u>
<u></u>	<u></u>	<u></u>	<u>\$</u>
<u></u>	<u></u>	<u></u>	<u>\$</u>
<u></u>	<u></u>	<u></u>	<u>\$</u>
Total			<u>\$585.00</u>

Hearing date Sept. 26, 2012

9-18-12

Project # 1008926

Staff signature & Date

[Handwritten signature]

Revised: 4/2012

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

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 Robert Louis
 Applicant name (print)
 _____ 9-18-12
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 12 - DRB - 70296

 1008926
 Planner signature / date
 Project # _____ 9-18-12

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

08/28/2012 Issued By: E08375 160578

Category Code **910**
2012 070 271

Application Number: 12DRB-70271, Sidewalk Variance

Address:

Location Description: GROSS ACRES BETWEEN EUCARIZ SW AND BRIDGE SW

Project Number: 1008926

Applicant

FRANCISCO J LOPEZ

178 LA VEGA RD SW
ALBUQUERQUE NM 87105
220-8309

Agent / Contact

THE SURVEY OFFICE

333 LOMAS BLVD NE
ALBUQUERQUE NM 87102
998-0303

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions

TOTAL: \$20.00

City of Albuquerque Treasury
Date: 8/28/2012 Office: ANNEX
Stat ID: W5000008 Cashier: TRSSIV
Batch: 669 Trans #: 22
Permit: 2012070271
Receipt Num 00047673
Payment Total: \$20.00
0901 Conflict Mgmt Fee
Check Tendered : \$20.00



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
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STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
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DRB 1008926

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 Between: _____ and _____

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SIGNATURE Robert Louis DATE 9-18-12
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FOR OFFICIAL USE ONLY

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Application case numbers
<u>12 DRB - 70296</u>

Revised: 4/2012		
Action	S.F.	Fees
<u>P&F</u>	_____	<u>\$565.00</u>
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_____	_____	\$ _____
_____	_____	\$ _____
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Hearing date Sept. 26, 2012

[Signature]
 Staff signature & Date 9-18-12

Project # 1008926

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Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

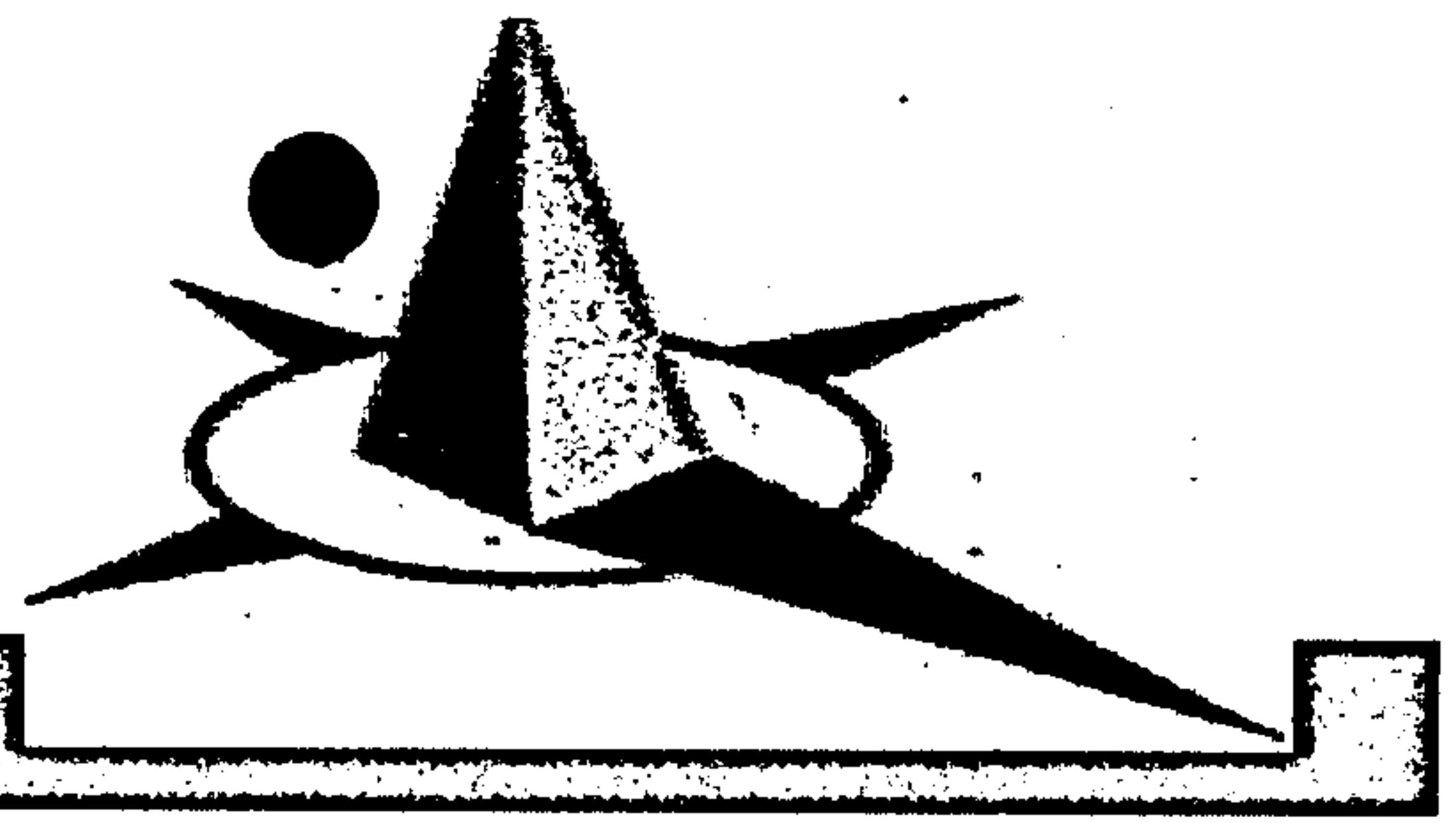
Robert Lewis
Applicant name (print)
Robert Lewis 9-18-12
Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70296

Form revised October 2007
Project # 1008926
Planner signature / date [Signature] 9-18-12

The Survey Office



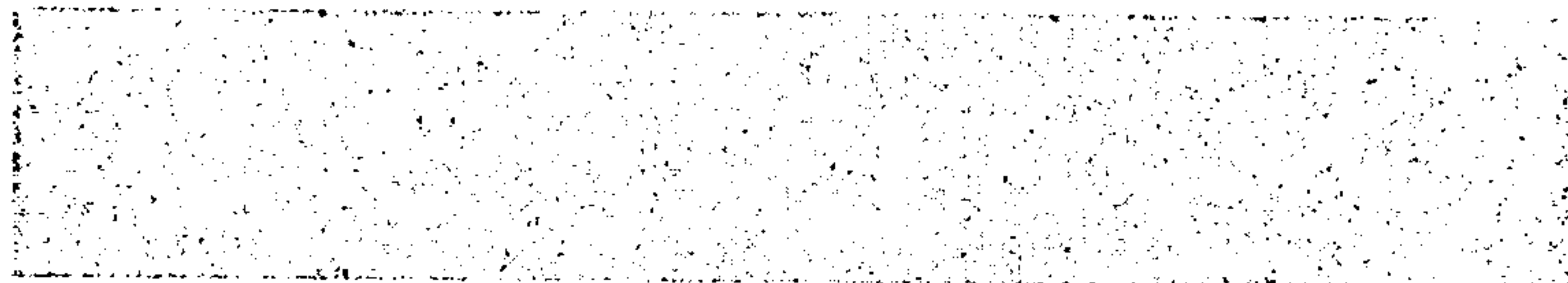
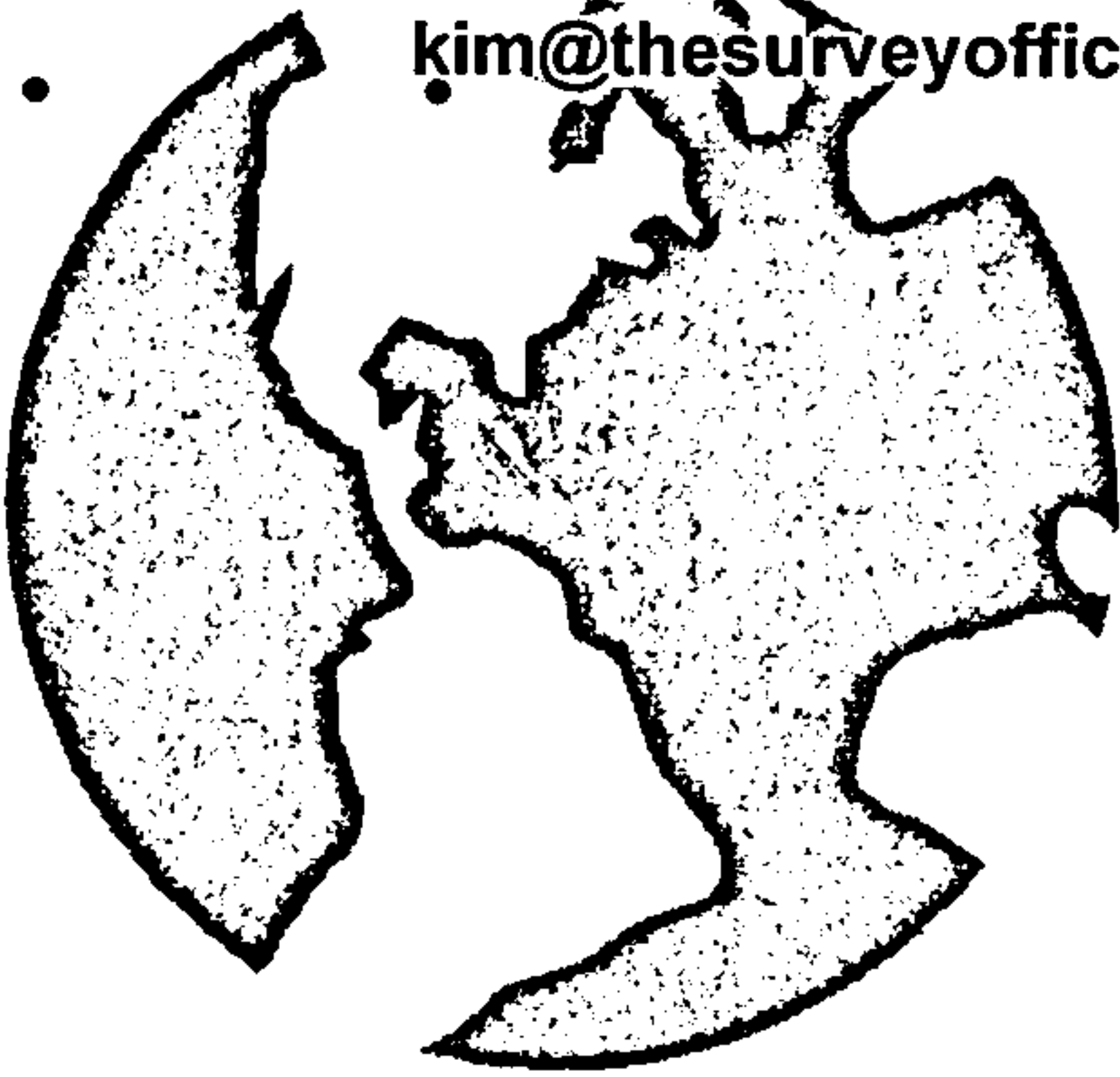
333 Lomas Blvd. NE Albuquerque, NM 87102 505.998.0303 Office 505.998.0305 Fax Info@TheSurveyOffice.com

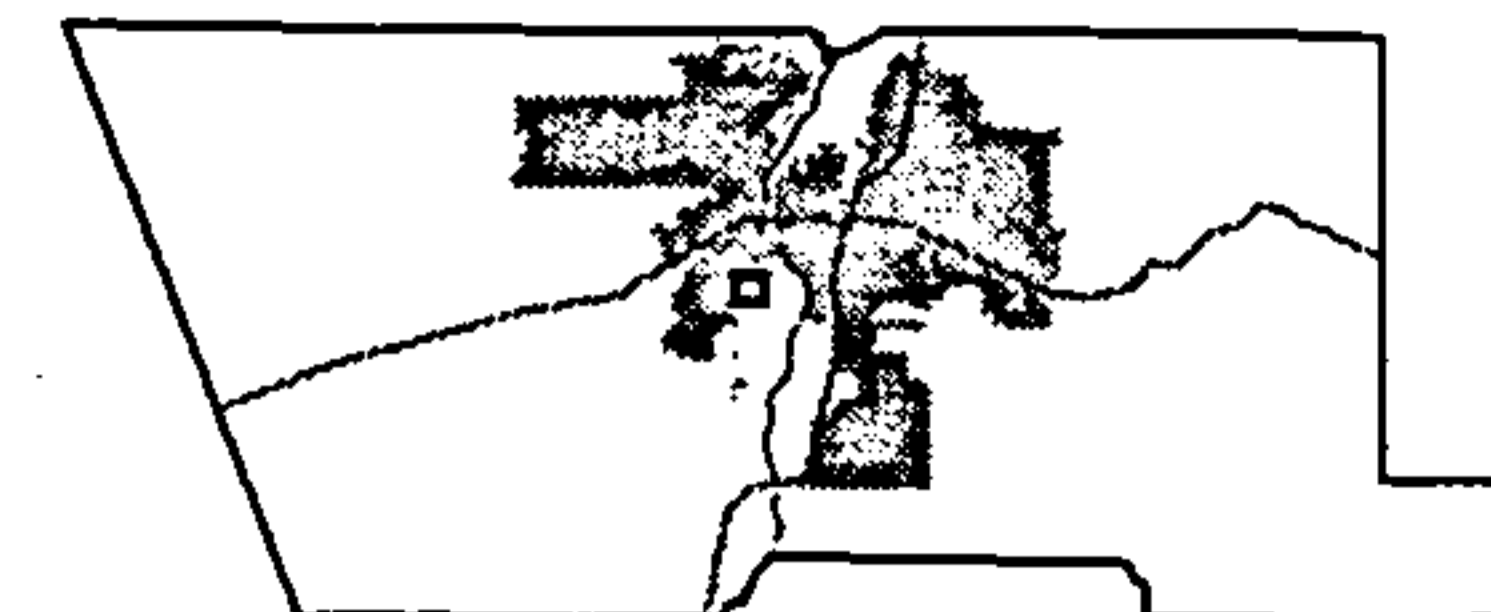
DRB – City of Albuquerque

The purpose of this sketch plat submittal of Lot 316A Lopez West is to create 6 new lots from one existing lot. All boundary and easement location is located on the submitted plat.

This plat was previously submitted, but was creating 4 new lots from one existing lot.

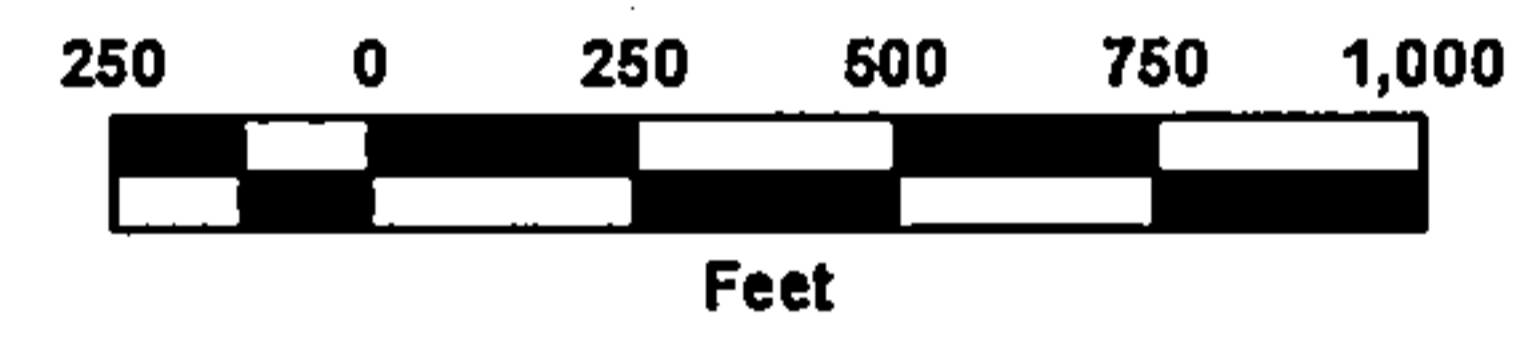
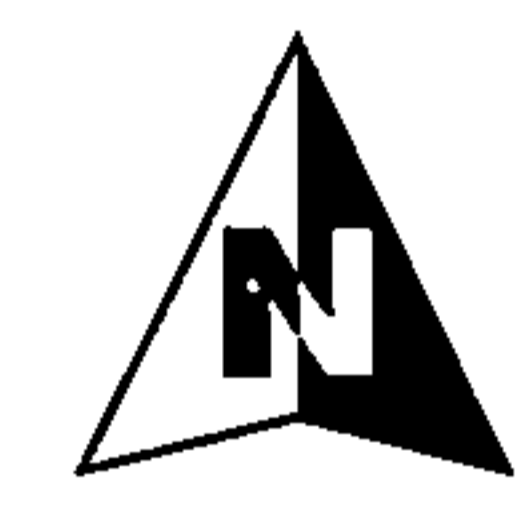
Kim Maple
The Survey Office
505-998-0303
505-998-0305 Fax
kim@thesurveyoffice.com





LEGAL DESCRIPTION
 T10N
 R2E
 SEC 26

UNIFORM PROPERTY CODE
 1-011-056



Map amended through January 2012



PUBLIC WORKS DIVISION
 GIS PROGRAM

This information is for reference only. Bernalillo County assumes no liability for errors associated with the use of these data. Users are solely responsible for confirming data accuracy when necessary. Source data are from Bernalillo County and the City of Albuquerque. For current information visit www.berncgo.gov.

L-11-Z

EXHIBIT B

FINAL
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

_____ ("Developer") effective as of this 18th day of September, 2012 and pertains to the subdivision commonly known as _____, and more particularly described as Lots 1-6, Lopez West
[use new legal description of subdivision]

(the "Subdivision".) The following individual lots comprise the subdivision:
[List lots by street address and new legal description; Lots which will be used for multi-family residences should be marked "multifamily- ___ units" with the number of units filled in.]

LEGAL DESCRIPTION

TRACT 316-A OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED IN DEED THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 3, 1934, IN PLAT BOOK 136, FOLIO 80 AND MORE PARTICULARLY AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF TRACT 316-A; SAID SOUTHEAST CORNER BEING A FOUND #5 REBAR, ALSO LYING ON THE NORTHERLY RIGHT-OF-WAY OF BRIDGE STREET SW; WHENCE CITY OF ALBUQUERQUE CONTROL STATION "NM_45_4A" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) NORTHING = 1480289.338 AND EASTING = 1505414.477 BEARS SOUTH 74°02'23" EAST, A DISTANCE OF 1355.62 FEET RUNNING; THENCE NORTH 78°48'46" WEST WITH SAID RIGHT OF WAY A DISTANCE OF 206.59 FEET TO A FOUND #5 REBAR FOR A CORNER; THENCE NORTH 00°12'17" EAST A DISTANCE OF 404.09 FEET TO A FOUND #4 REBAR, ALSO LYING IN THE SOUTHERLY RIGHT-OF-WAY OF EUCARIZ AVENUE SW FOR A CORNER; THENCE NORTH 75°50'37" EAST, WITH SAID RIGHT-OF-WAY, A DISTANCE OF 209.39 FEET TO A FOUND #5 REBAR FOR A CORNER; THENCE SOUTH 00°12'34" WEST A DISTANCE OF 495.38 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.0938 ACRES MORE OR LESS, PER ATTACHED PLAT MADE A PART OF HEREIN.

WHEREAS, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, Developer is the owner of the real estate being subdivided and platted; and

WHEREAS, Developer is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance;



DRB Project # 1008926

APS Cluster West Mesa

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

1. Developer agrees to pay to APS a facilities fee for each dwelling unit to be constructed in the Subdivision.
2. The amount of the fee shall be:
 - If the building permit is issued on or after January 1, 2007, the fee shall be \$1875 per dwelling unit.
 - If the building permit is issued on or after July 1, 2008, the fee shall be \$2425 per dwelling unit.
 - If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60 %) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.
4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.
5. This contract shall be recorded in the office of the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."
6. APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgment in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

DRB Project # 1008926

APS Cluster West Mesa

Francisco Lopez
Signature

Francisco Lopez
Name (typed or printed) and title

Developer

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Sept 18, 2012 by Francisco Lopez
as owner of TRACT 314A, a corporation.

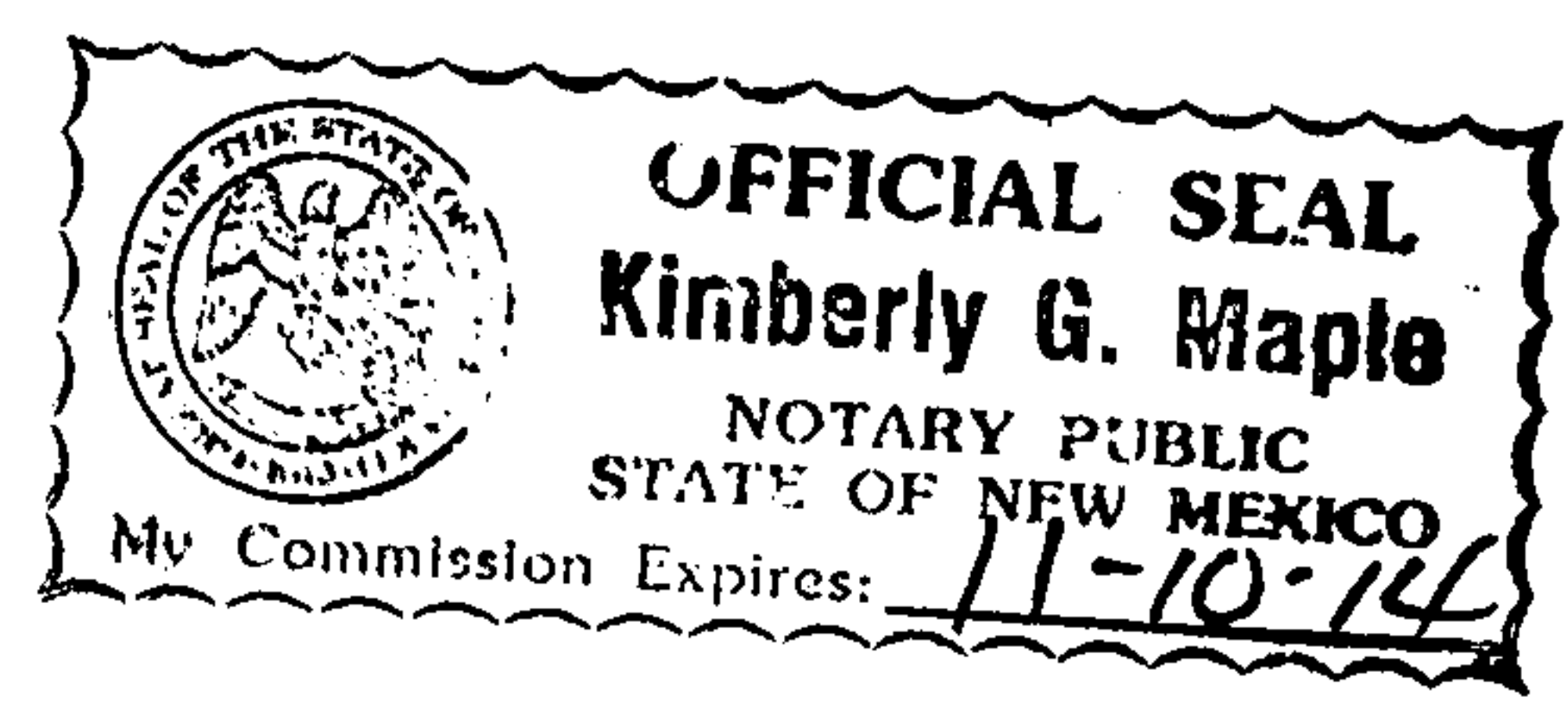
(Seal) Kimberly J. Maple
Notary Public

My commission expires: 11-10-14

ALBUQUERQUE PUBLIC SCHOOLS

By April L. Winters
Signature

April L. Winters, Facilities Fee Planner
Name (typed or printed) and title



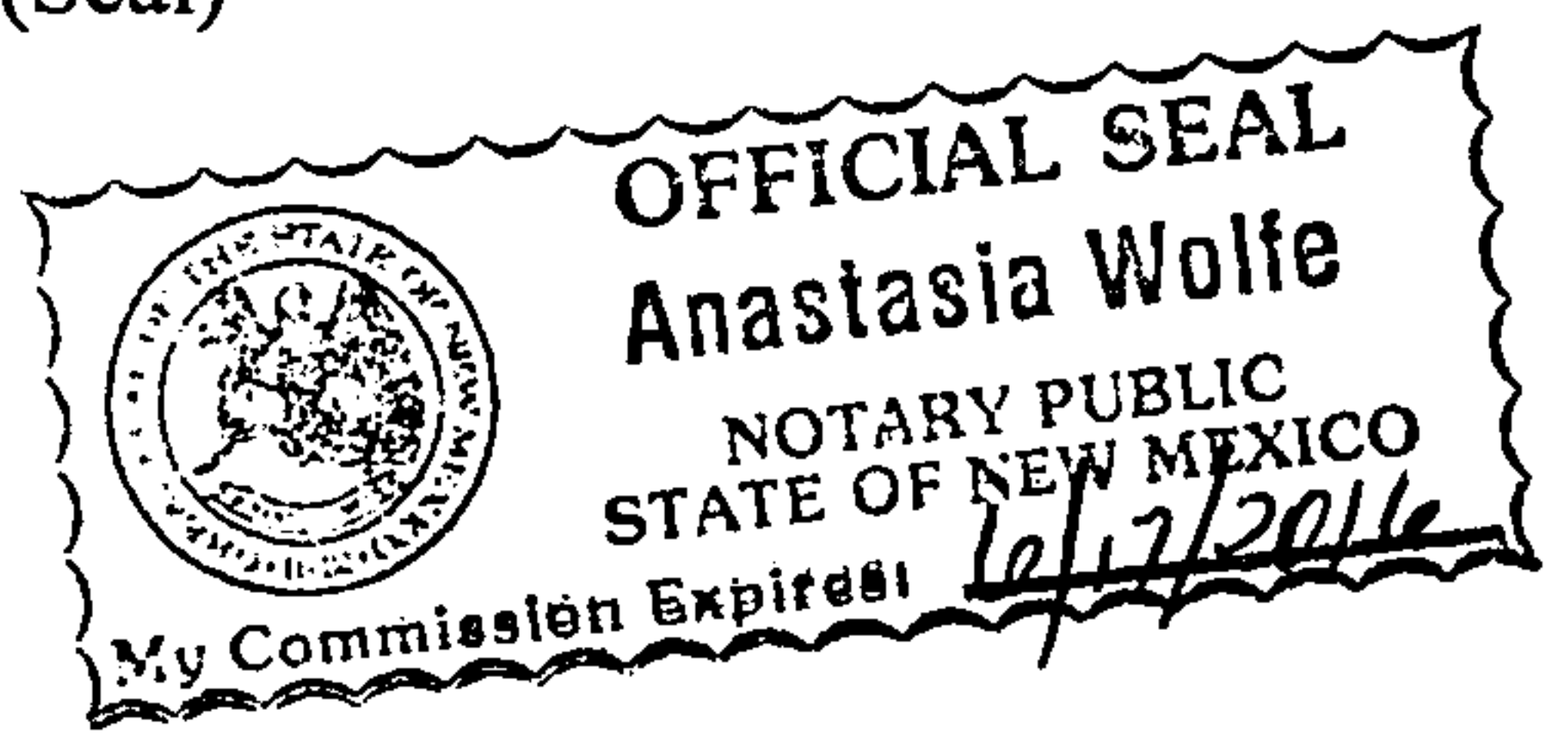
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Sept 18, 2012, by April L. Winters
as Facilities Fee Planner of the Albuquerque Municipal School

District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

(Seal) Anastasia Wolfe
Notary Public

My commission expires: 10/17/2016



DKB Project # 1008926

APS Cluster West Mesa

Francisco Lopez
Signature

Francisco Lopez
Name (typed or printed) and title

Developer

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on Sept 18, 2012 by Francisco Lopez
as owner of TRACT 316A, a corporation.

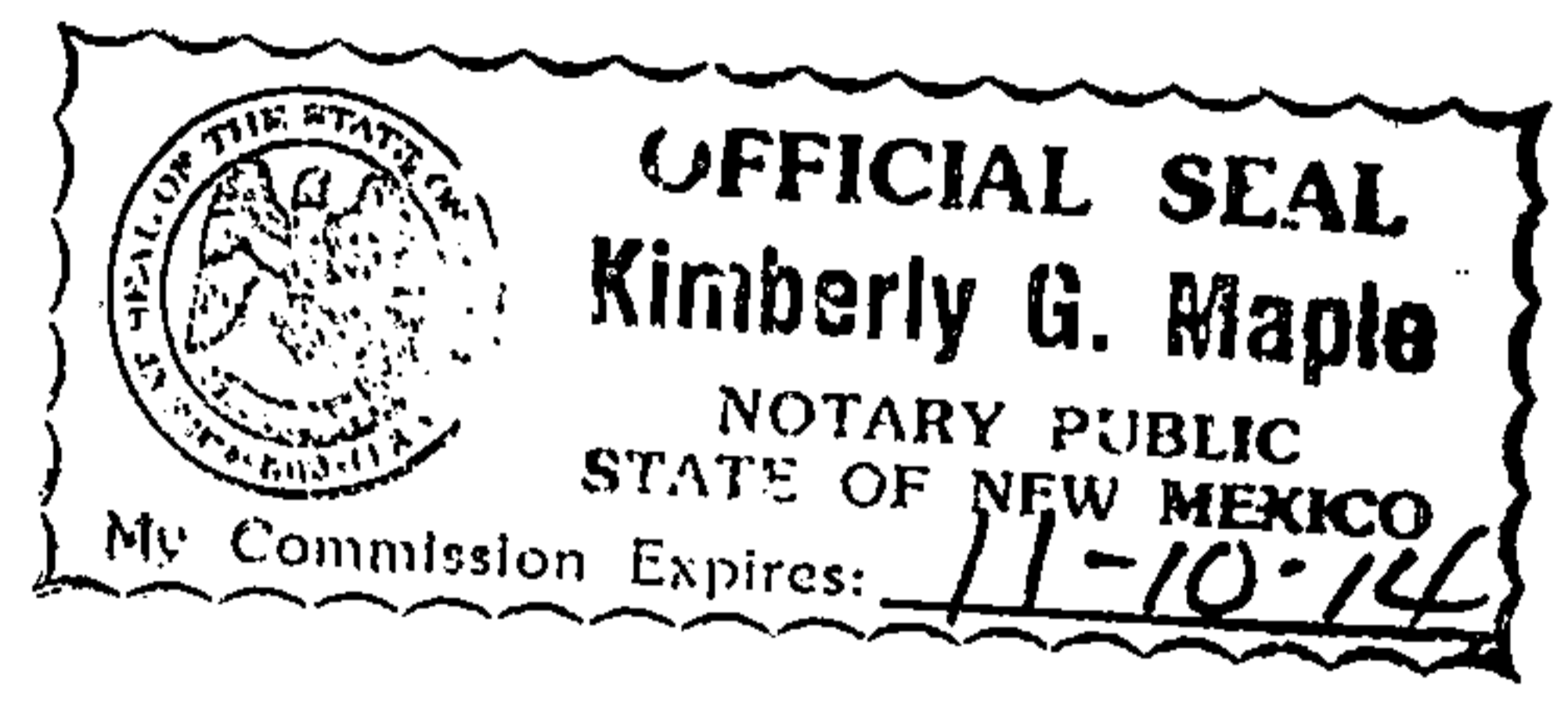
(Seal) _____
Notary Public Kimberly J. Maple

My commission expires: 11-10-14

ALBUQUERQUE PUBLIC SCHOOLS

By April L. Winters
Signature

April L. Winters, Facilities Fee Planner
Name (typed or printed) and title



STATE OF NEW MEXICO
COUNTY OF BERNALILLO

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(Seal) _____
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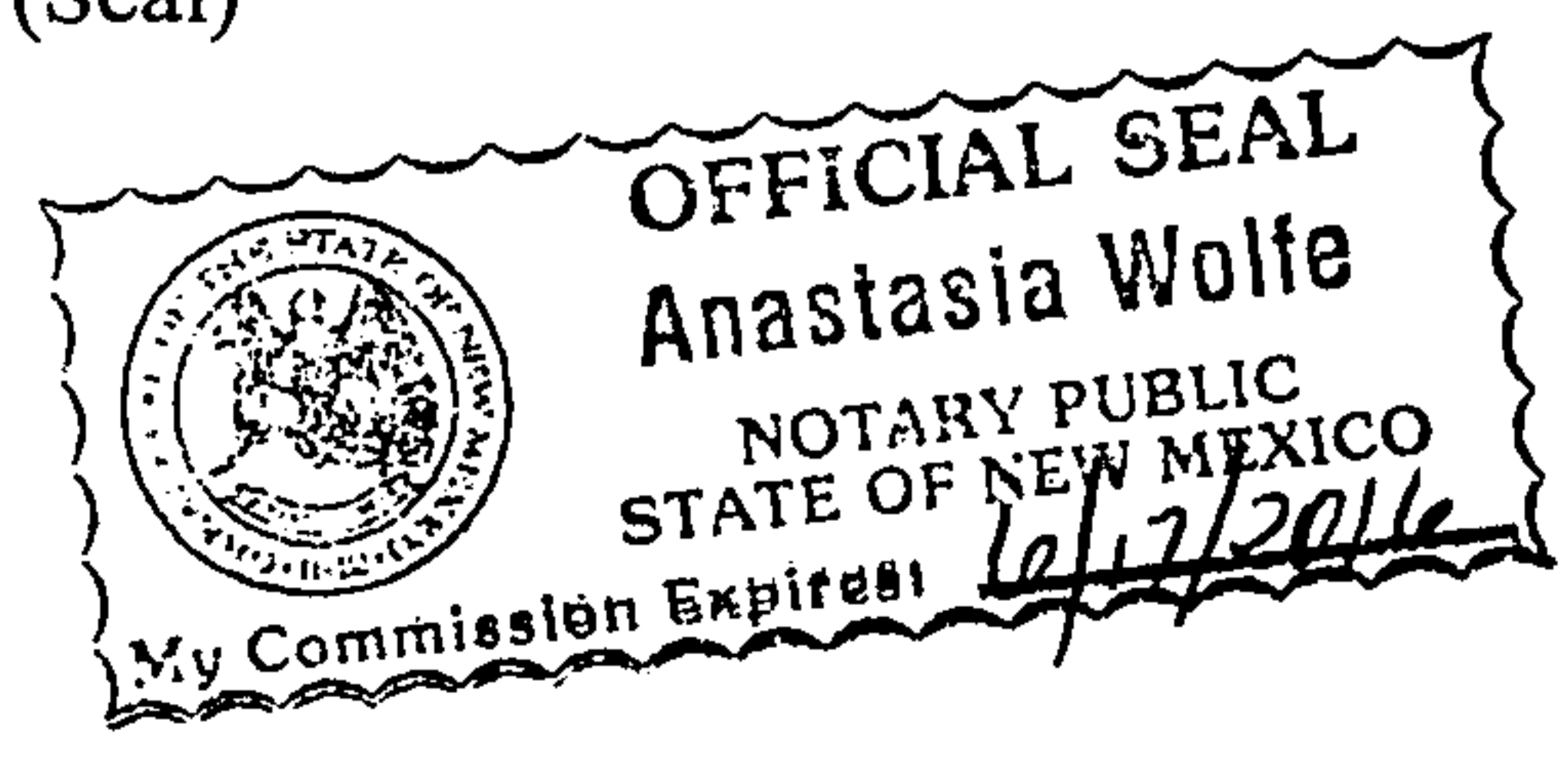


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[use new legal description of subdivision]

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[List lots by street address and new legal description; Lots which will be used for multi-family residences should be marked "multifamily- ___ units" with the number of units filled in.]

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Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): The Survey Office PHONE: 505-998-0303
 ADDRESS: 333 Lomas Blvd. NE FAX: 505-998-0305
 CITY: ABQ STATE NM ZIP 87102 E-MAIL: maple@thesurveyoffice.com

APPLICANT: FRANCISCO J Lopez PHONE: 220-8309
 ADDRESS: 178 LA VEGA Rd. SW FAX: _____
 CITY: ABQ STATE NM ZIP 87105 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: ONE LOT INTO 6 new Lots AND SIDEWALK VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 316A Block: _____ Unit: 3
 Subdiv/Addn/TBKA: PLAT of LOPEZ WEST LOTS 1-4
 Existing Zoning: R-1 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): L11 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.):
12 DRB - 70162, 1008926

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 6 Total site area (acres): 2.0938
 LOCATION OF PROPERTY BY STREETS: On or Near: _____
 Between: EUCARIZ SW and BRIDGE SW GROSS ACRES

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 8/20/12
 (Print Name) Kim Maple Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>12DRB - 70270</u>	<u>SK</u>	_____	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	<u>12DRB - 70271</u>	<u>SV</u>	_____	\$ <u>0</u>
<input type="checkbox"/> All case #s are assigned	_____	<u>CME</u>	_____	\$ <u>20.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
				Total
				\$ <u>20.00</u>

Hearing date September 5, 2012

[Signature] 8-28-12
 Staff signature & Date

Project # 1008926

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)

Your attendance is required.

- NA** 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)

Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kim Maple
 Applicant name (print)
Kim Maple 08/28/12
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 12DRB- _____ -70270
 _____ - _____
 _____ - _____

Kim Maple 8-28-12
 Planner signature / date
 Project # 1008926



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**

Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

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 CITY: ABQ STATE NM ZIP 87102 E-MAIL: maple@thesurveyoffice.com

APPLICANT: Francisco J Lopez PHONE: 220-8309
 ADDRESS: 178 LA NEGA Rd. SW FAX: _____
 CITY: ABQ STATE NM ZIP 87105 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: ONE LOT INTO 2 new lots AND SIDEWALK VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 316A Block: _____ Unit: 3
 Subdiv/Addn/TBKA: PLAT of LOPEZ WEST LOTS 1-4
 Existing Zoning: R-1 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): L11 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
12 DRB - 70162, 1008926

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 6 Total site area (acres): 2.0938
 LOCATION OF PROPERTY BY STREETS: On or Near: _____
 Between: EUCARIZ SW and BRIDGE SW
 Gross Acres

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 8/20/12
 (Print Name) Kim Maple Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
<u>12DRB - 70270</u>
<u>12DRB - 70271</u>

Action	S.F.	Fees
<u>SK</u>	_____	\$ <u>0</u>
<u>SV</u>	_____	\$ <u>0</u>
<u>CME</u>	_____	\$ <u>20.00</u>
_____	_____	\$ _____
_____	_____	\$ _____
Total		\$ <u>20.00</u>

Hearing date September 5, 2012
[Signature] 8-28-12 Staff signature & Date Project # 1008926

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

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 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
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- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- NA** 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (verify with DRB Engineer)
 - DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kim Nagell
 Applicant name (print)
[Signature] 08/28/12
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 12DRB- _____ -70270

[Signature] 8-28-12
 Planner signature / date
 Project # 10089216

→ FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 - Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- **SIDEWALK VARIANCE (DRB20)** / *Including curb & gutter*
- SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Philip W. Clark
Applicant name (print)
Philip W. Clark
Applicant signature / date

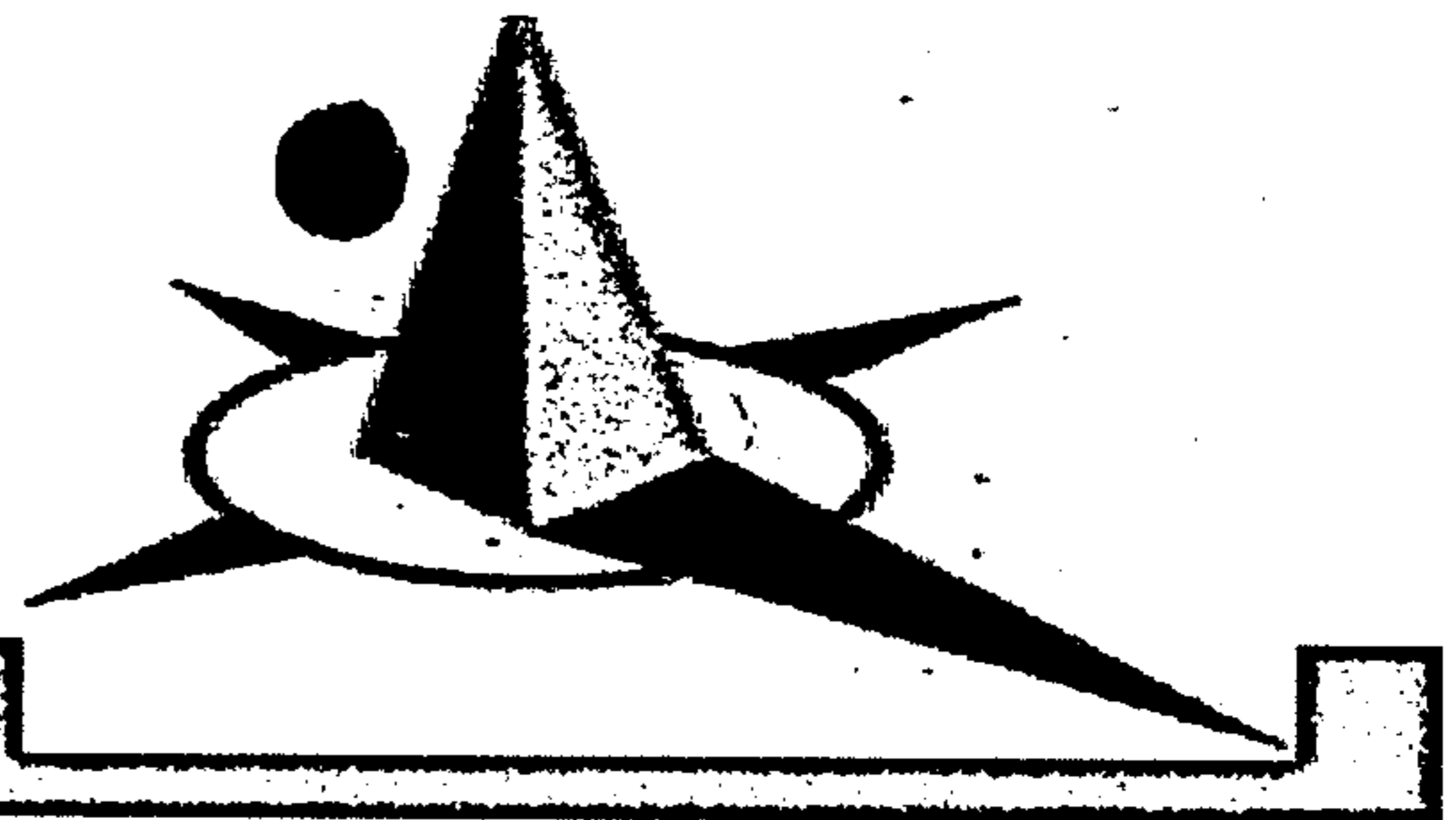


Form revised 4/07

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12DRB _____ - 70271

[Signature] 8-28-17
Planner signature / date
Project # 10089276

The Survey Office

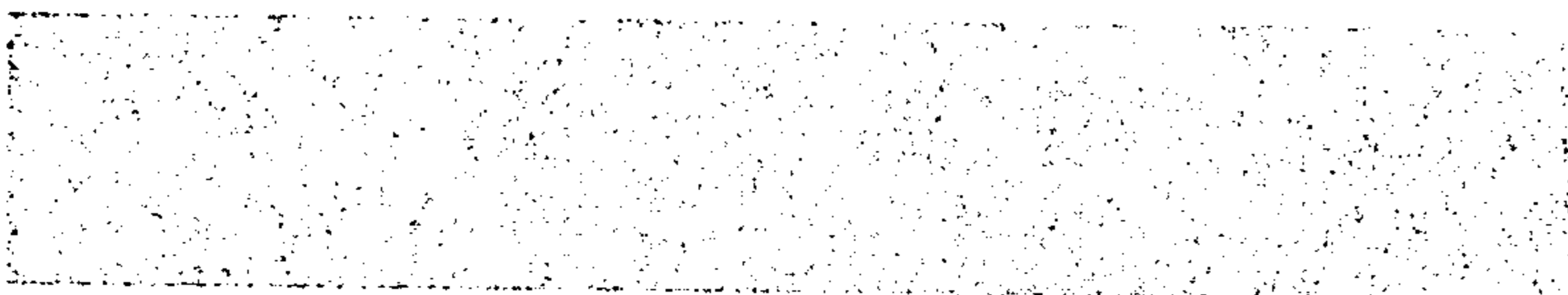


333 Lomas Blvd. NE Albuquerque, NM 87102 505.998.0303 Office 505.998.0305 Fax Info@TheSurveyOffice.com

DRB – City of Albuquerque

The purpose of this sketch plat submittal of Lot 316A Lopez West is to create 6 new lots from one existing lot. We are also asking for a sidewalk variance. All supporting documentation is provided. All boundary and easement location is located on the submitted plat.

This plat was previously submitted, but was creating 4 new lots from one existing lot. Comments included grading and drainage, which is provided as well as curb, gutter and sidewalk issues, for which we are requesting a variance.





19 Ryan Road

Edgewood, New Mexico 87015

E-Mail: ccealbq@aol.com

Tele: (505) 281-2444

Fax: (505) 281-2444



August 9, 2012

City Planning – DRB Chairman Jack Cloud
600 2nd St. NW
Albuquerque, NM 87102

RE: Request Design Variance, Sidewalk and Curb & Gutter
Lopez West Subdivision, variance along Bridge Blvd.
ZAP:L-11/Dxx, Proj# 1008926, CPN TBD

Dear Chairman and Board Members:

As agent, on behalf of Francisco Lopez, Clark Consulting Engineers requests a design variance approval for the following existing parcel(s) of land: Lots 316A, Unit 3, Town of Atrisco Grant

The land is vacant and a 6-lot single-family residential subdivision is proposed. The project is located in an established urban area as defined by the Albuquerque Comprehensive Plan.

3 lots will access to Eucariz, which has existing standard curb and gutter, with a 4' wide residential sidewalk. The variance is requested for the 3 lots which are proposed to front along Bridge Blvd. In this area along Bridge, there is currently no sidewalk, curb, or gutter. The frontage is approximately 208 feet on Bridge.

The design variance (departure from minimum DPM standards) is being requested, as found in:

- (Specific requirements are referenced in Table 23.2.1A, *Public right-of-way and Pavement Width Stands* of the DPM.)

As always, we appreciate consideration of this request, as contained herein – and look forward to the meeting next week.

Sincerely,

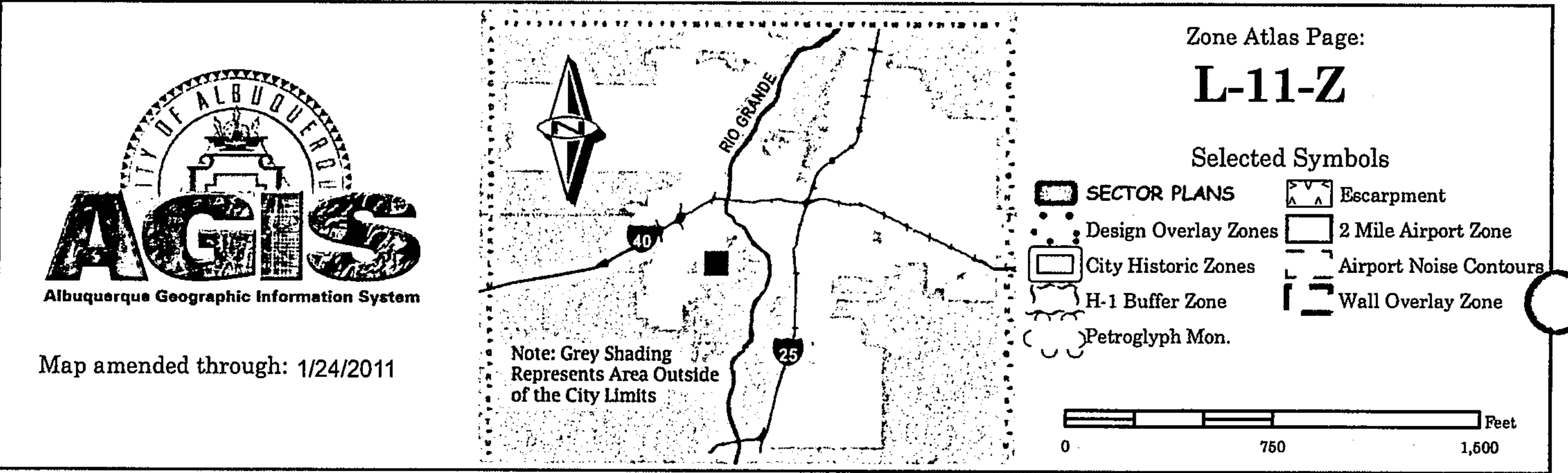
A handwritten signature in black ink, appearing to read 'Philip W. Clark'.

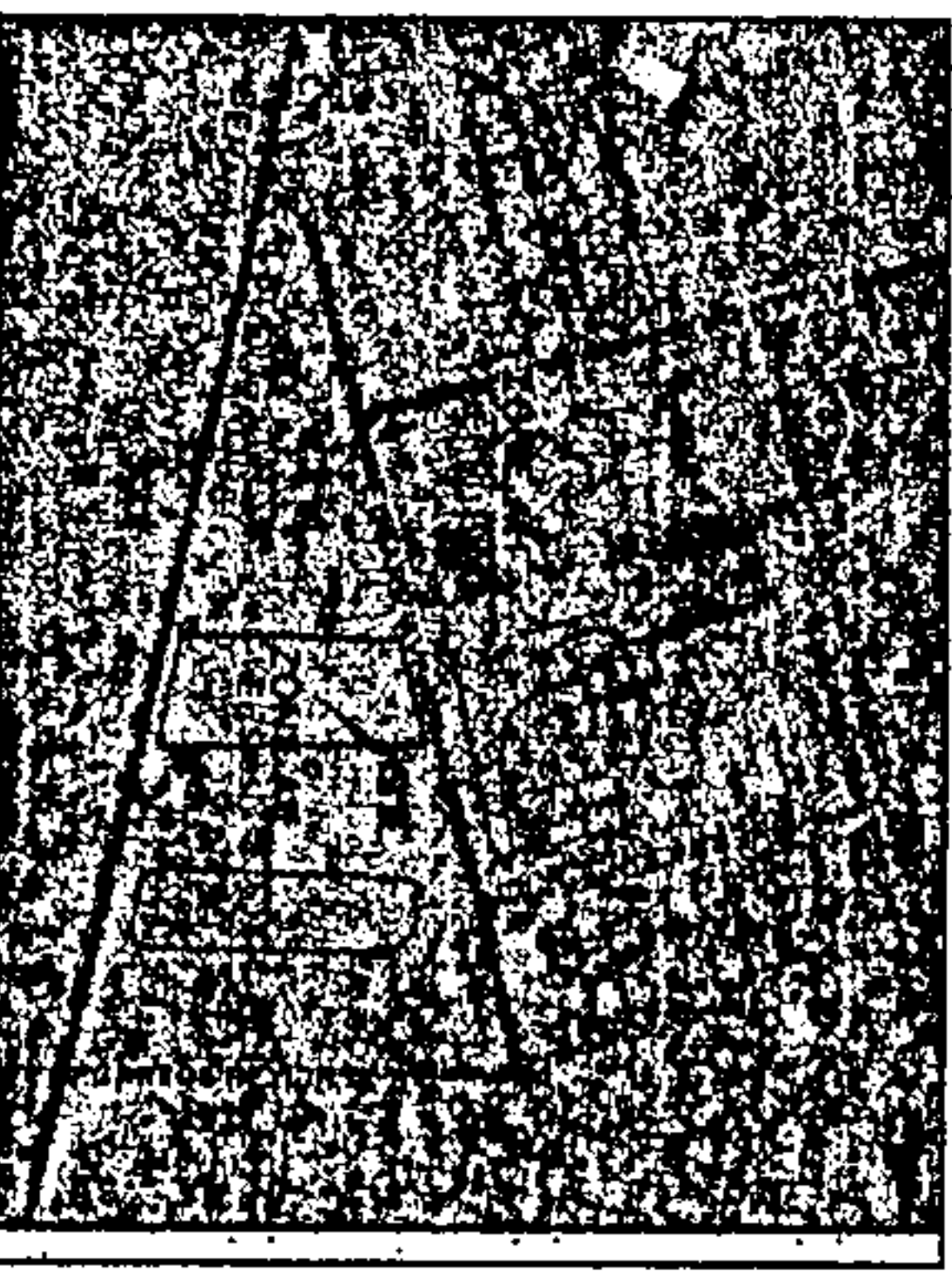
Philip W. Clark, PE
Clark Consulting Engineers

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>





FIRM MAP PANEL # 329 G

GRADING & DRAINAGE PLAN

THE PLAT RESIDENTIAL SUBDIVISION IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 13 N, RANGE 11 E, ALBUQUERQUE COUNTY, NEW MEXICO. THE PROPOSED GRADING AND DRAINAGE PLAN IS IN COMPLIANCE WITH THE DESIGNATED FLOOD HAZARD ORDINANCE, MAB-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PERMITS FOR BUILDING PERMITS, THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE DITCHES AND EXISTING IMPROVEMENTS.
2. PROPOSED IMPROVEMENTS: 6-800' OF TOTAL SUB-DRAINAGE PAID AREAS.
3. NEW CONCRETE DRIVEWAYS AND ON-SITE PARKING, NEW GRADE ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING.
4. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
5. QUANTITY AND ACCEPTANCE OF PROPOSED OFF-SITE DRAINAGE IMPROVEMENTS AND DEVELOPED FLOODS DETERMINED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY MAINTAINING HISTORIC FLOODS TO CONTINUE TO BE MAINTAINED THROUGH THE PROPERTY. FURTHER, THE SITE IS BEING DEVELOPED ON THE EAST AND WEST SIDES OF BRIDGE BLVD. THE SITE IS BEING DEVELOPED ON THE EAST AND WEST SIDES OF BRIDGE BLVD. THE SITE IS BEING DEVELOPED ON THE EAST AND WEST SIDES OF BRIDGE BLVD. THE SITE IS BEING DEVELOPED ON THE EAST AND WEST SIDES OF BRIDGE BLVD. THE SITE IS BEING DEVELOPED ON THE EAST AND WEST SIDES OF BRIDGE BLVD.

CALCULATIONS

GENERAL COMMENTS
 GENERAL COMMENTS PER SECTION 22.2, HANDBOOK OF THE DEVELOPMENT PROCESS MANUAL (DPM) NEW MEXICO. THE CALCULATIONS ARE BASED ON THE CITY OF ALBUQUERQUE'S DESIGNATED FLOOD HAZARD ORDINANCE, MAB-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PERMITS FOR BUILDING PERMITS, THE PLAN SHOWS:

DEVELOPED CONDITIONS:

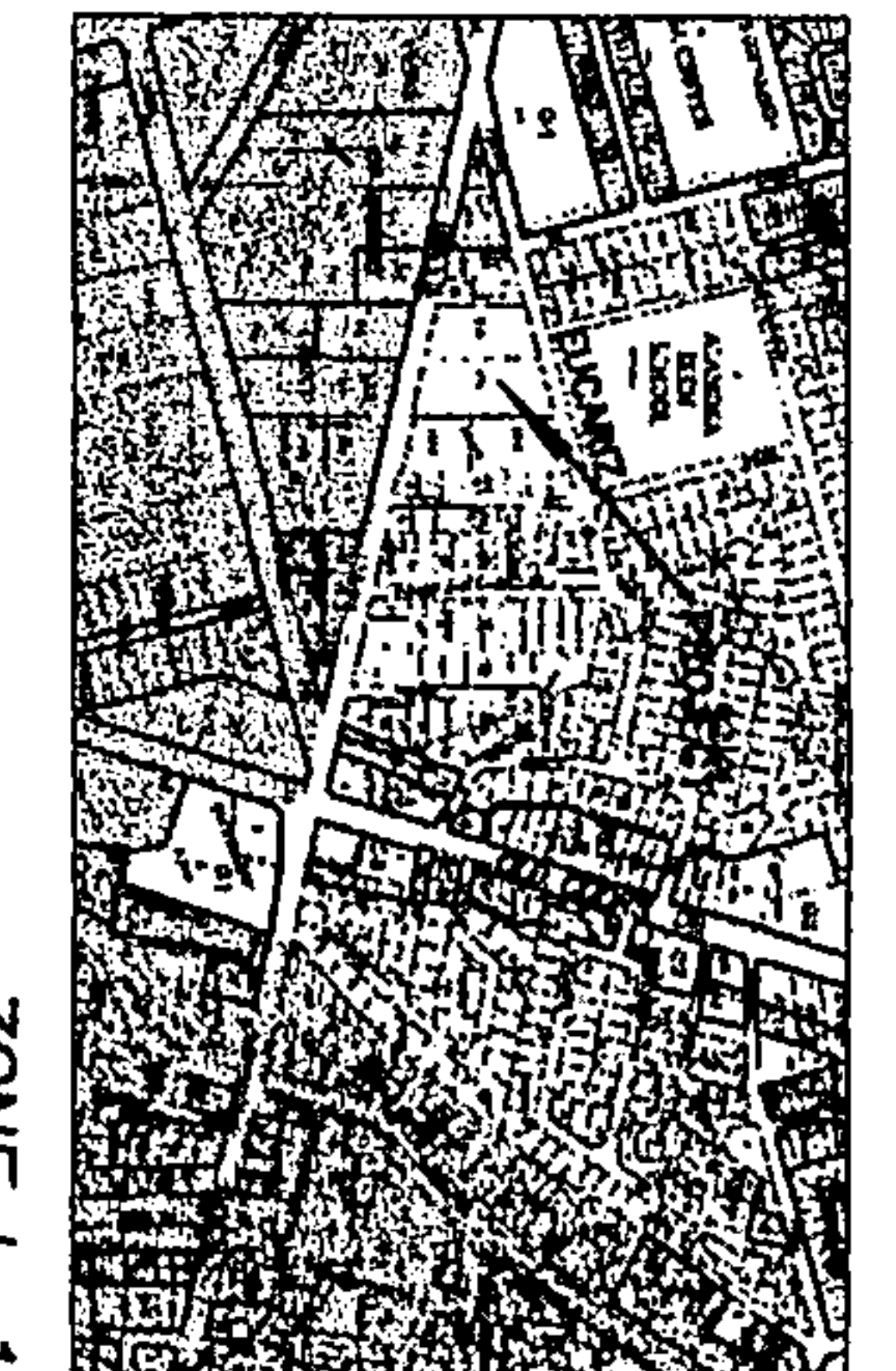
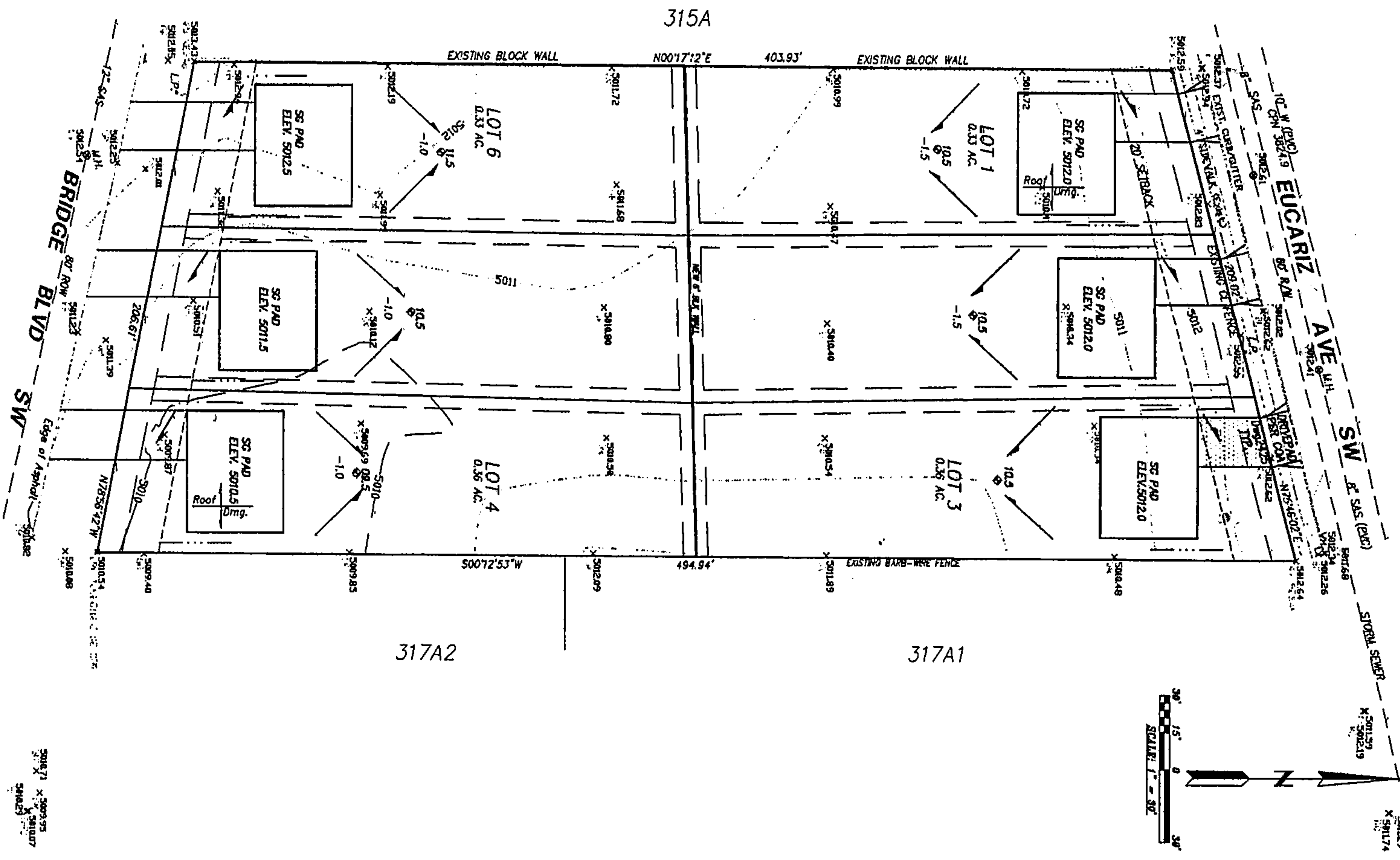
TOTAL AREA = 2.09 ACRES, WHERE EXCESS PRECIP. "A" = 0.49 IN. [0.08] FEET
 PEAK DISCHARGE Q100 = 27.05 [0.51] CFS WHERE UNIT PEAK DISCHARGE "A" = 1.29 CFS/AC. [0.24] THEREFORE: VOLUME 100 = 3717 CF [607]

DEVELOPED CONDITIONS:

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	Q	VOL	E
LANDSCAPING	A	1.98[0.23]	0.48[0.08]	0.67[0.22]
GRAVEL & COMPACTED SOIL	B	2.07[0.23]	0.58[0.10]	0.98[0.44]
ROOF - PAVEMENT	D	4.49[2.90]	1.97[1.24]	

TERMINAL: FLOWING = 0.09 h. [0.39] 4
 VOLUME 100 = 2683 CF
 Q100 = 2.78 CFS
 VOLUME 10 = 2683 CF

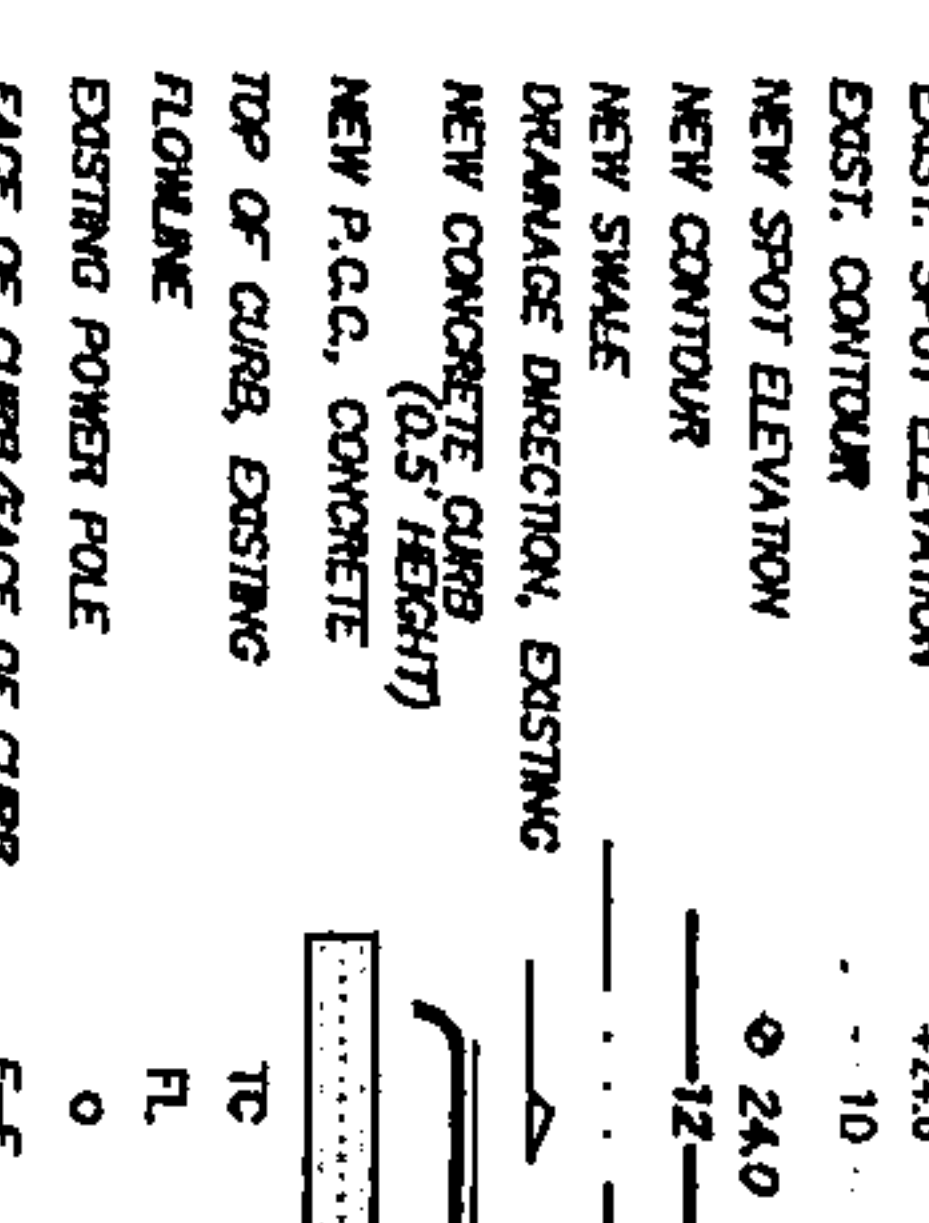


VICINITY MAP ZONE L-11

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 8TH EDITION W/ UPGRADES.
2. ALL EXCAVATION/CONSTRUCTION SHALL BE COMPLETED BEFORE BEGINNING ANY WORK WITHIN CITY ROW. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 8TH EDITION W/ UPGRADES AND/OR GRAVEL ASPHALT PAVING WITH HAIR REINFORCEMENT TO NEW CURB CUT OR SINK CUT/VERT.
4. ALL LANDSCAPING AREAS SHALL BE SITED WITHIN THE HAIR REINFORCEMENT AND/OR GRAVEL ASPHALT PAVING WITH HAIR REINFORCEMENT TO NEW CURB CUT OR SINK CUT/VERT.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SIGN/SEGMENT OR SIGN ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REGENERATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQUERQUE SPEC. 1011, NATIVE SEED MIX.
7. MAINTAIN SITE GRADING WITHOUT EXCESS PROJECTIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

LEGEND



PROJECT DATA

LEGAL DESCRIPTION:
 LOTS 1-14, LANDS OF FRANCISCO LOPEZ, ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO

PROJECT BENEFICIARY:
 TOP OF NEAR/CAP AT THE PROJECT SOUTHWEST CORNER W/ ELEVATION 5015.4, AS THE FINAL CORNER 5-1/4" DIAMETER ALUMINUM MARKER, NEW RED REBAR ELEV. 5015.4, LOCATED AT THE NE CORNER, SECTION 22, TOWNSHIP 13 N, RANGE 11 E.

PREPARED BY THE SURVEY OFFICE UNDER THE DIRECTION OF AIRBORNE SURVEYING, INC., 4411 14TH ST. SW, ALBUQUERQUE, NM 87102.



Philip W. Clark
 ENGINEER
 No. 20063
 STATE OF NEW MEXICO

DATE	BY	REVISION
10/15/2021	PHILIP W. CLARK	1.0
10/15/2021	PHILIP W. CLARK	1.1
10/15/2021	PHILIP W. CLARK	1.2
10/15/2021	PHILIP W. CLARK	1.3
10/15/2021	PHILIP W. CLARK	1.4
10/15/2021	PHILIP W. CLARK	1.5
10/15/2021	PHILIP W. CLARK	1.6
10/15/2021	PHILIP W. CLARK	1.7
10/15/2021	PHILIP W. CLARK	1.8
10/15/2021	PHILIP W. CLARK	1.9
10/15/2021	PHILIP W. CLARK	1.10
10/15/2021	PHILIP W. CLARK	1.11
10/15/2021	PHILIP W. CLARK	1.12
10/15/2021	PHILIP W. CLARK	1.13
10/15/2021	PHILIP W. CLARK	1.14
10/15/2021	PHILIP W. CLARK	1.15
10/15/2021	PHILIP W. CLARK	1.16
10/15/2021	PHILIP W. CLARK	1.17
10/15/2021	PHILIP W. CLARK	1.18
10/15/2021	PHILIP W. CLARK	1.19
10/15/2021	PHILIP W. CLARK	1.20
10/15/2021	PHILIP W. CLARK	1.21
10/15/2021	PHILIP W. CLARK	1.22
10/15/2021	PHILIP W. CLARK	1.23
10/15/2021	PHILIP W. CLARK	1.24
10/15/2021	PHILIP W. CLARK	1.25
10/15/2021	PHILIP W. CLARK	1.26
10/15/2021	PHILIP W. CLARK	1.27
10/15/2021	PHILIP W. CLARK	1.28
10/15/2021	PHILIP W. CLARK	1.29
10/15/2021	PHILIP W. CLARK	1.30

• Sketch for Variance Request

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/25/2012 Issued By: PLNTES 155979

Permit Number: 2012 060 037 **Category Code 970**

Application Number: 12REV-60037, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description: ON BRIDGE & EUCARIZ

Project Number: 1008926

Applicant
FRANSISCO LOPEZ

NM

Agent / Contact
CLARK CONSULTING ENGINEERS
PHILLIP CLARK
19 RYAN ROAD
EDGEWOOD NM 87015

OCEALBQ@AOL.COM

Application Fees

REV Actions	\$100.00
TOTAL:	\$100.00

City of Albuquerque Treasury
Date: 7/25/2012 Office: ANNEX
Stat ID: W5000007 Cashier: TRSCXG
Batch: 523 Trans #: 29
Permit: 2012060037
Receipt Num 00037566
Payment Total: \$100.00
0909 REV Actions \$100.00
Check Tendered : \$100.00



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): The Survey Office PHONE: 505 998 0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 505 998 0306
 CITY: ABQ. STATE NM ZIP 87102 E-MAIL: Maple@thesurveyoffice.com

APPLICANT: Francisco J. Lopez PHONE: 220-8309
 ADDRESS: 178 La Vega rd. SW FAX: _____
 CITY: Abq. STATE NM ZIP 87105 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: One lot into four new lots

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 316A Block: _____ Unit: 3
 Subdiv/Addn. (TBKA) PLAT of Lopez West Lots 1-4
 Existing Zoning: R1 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): L-11 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: _____ No. of proposed lots: _____ Total site area (acres): _____
 LOCATION OF PROPERTY BY STREETS: On or Near: _____
 Between: _____ and _____
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 5-29-2012
 (Print Name) Richard Garcia Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>12 DRB - 70162</u>	<u>SP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>June 6, 2012</u>			Total \$ <u>0</u>

[Signature] Staff signature & Date 5-29-12 Project # 1008926

FORM S(3): SUBDIVISION - D.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
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 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
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- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Richard Garcia
Applicant name (print)
[Signature] 5-29-2012
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 -DRB -70162

[Signature] 5-29-12
Planner signature / date
Project # 1008926

THE Survey Office
333 Lomas Blvd., N.E.
Albuquerque, New Mexico
87102
(505) 998-0305

.....

City of Albuquerque – DRB review

May 29, 2012

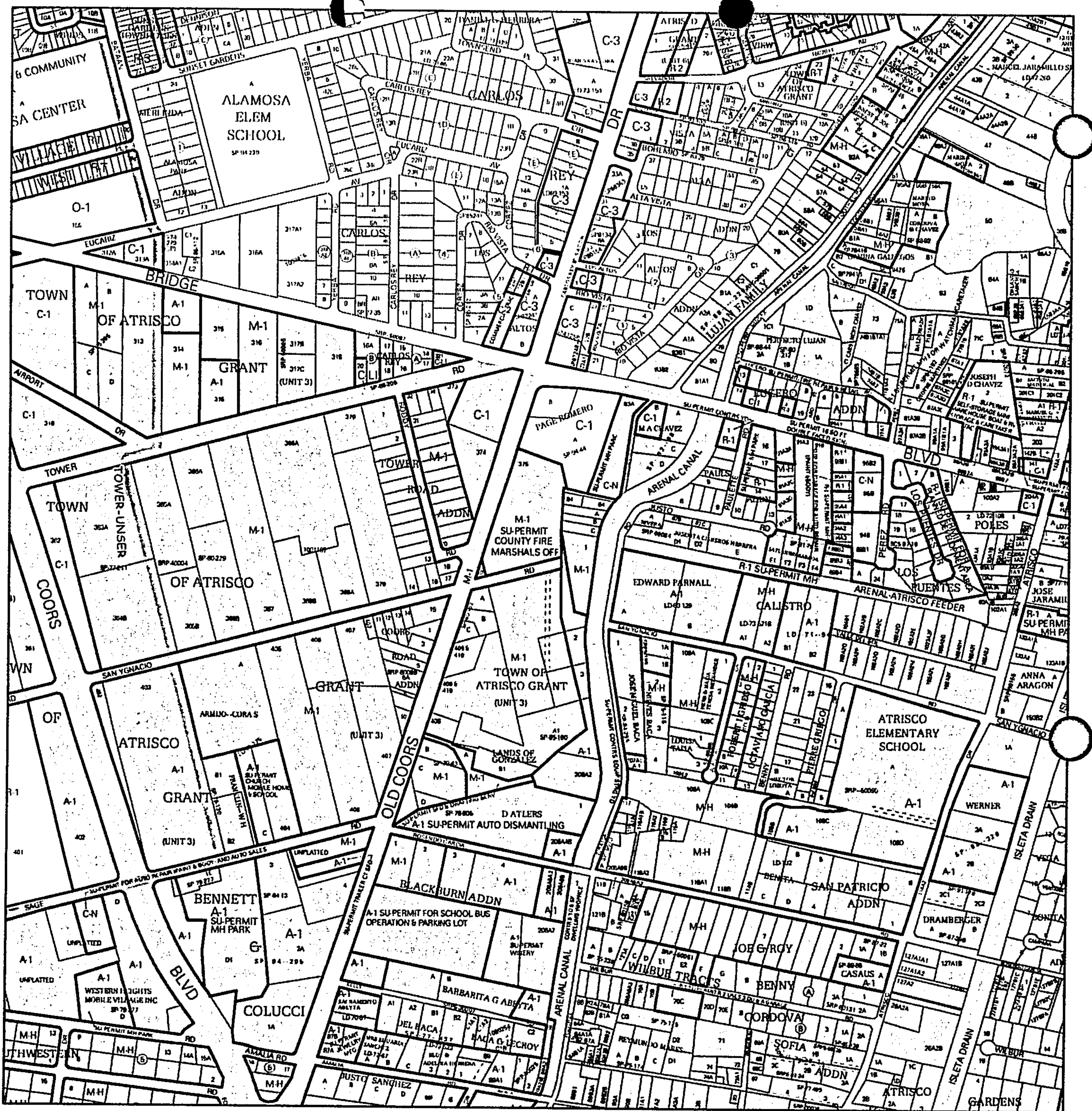
Dear Sir or Madam:

This letter is written for the sole purpose of Sketch Plat submittal of lot 316A for DRB review. The intent of the plat of Lopez West lots is to create 4 (four) lots from the 1 (one) existing lot. All boundary and easement information is located on the submitted plat.

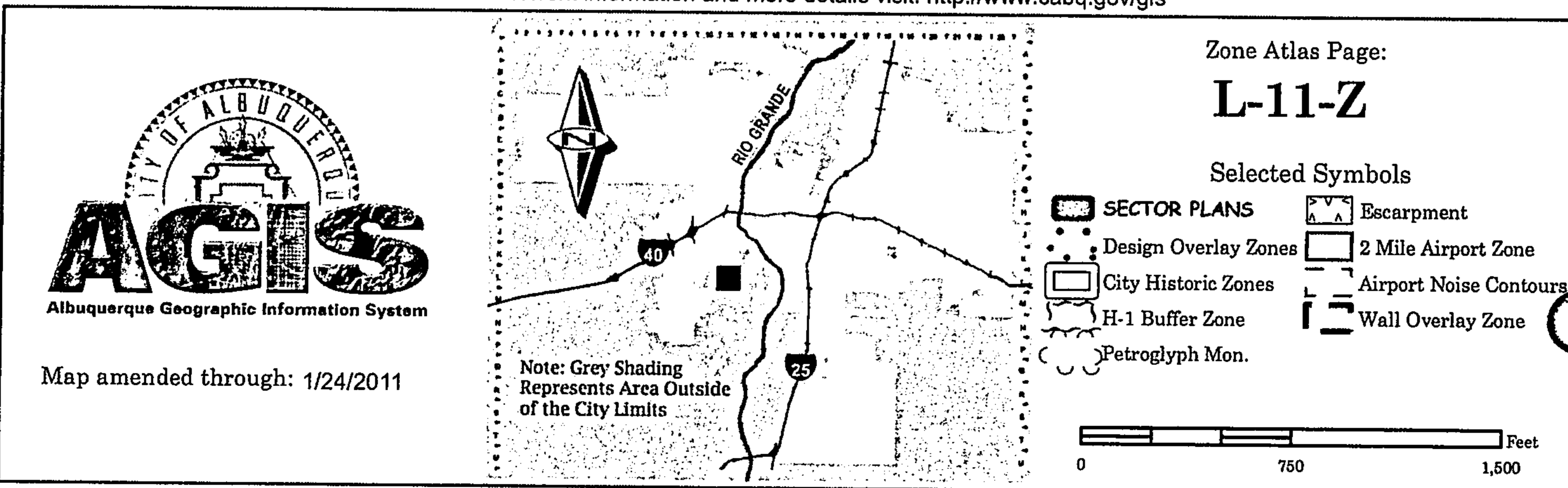
Sincerely,

Gary Maple

.....



For more current information and more details visit: <http://www.cabq.gov/gis>

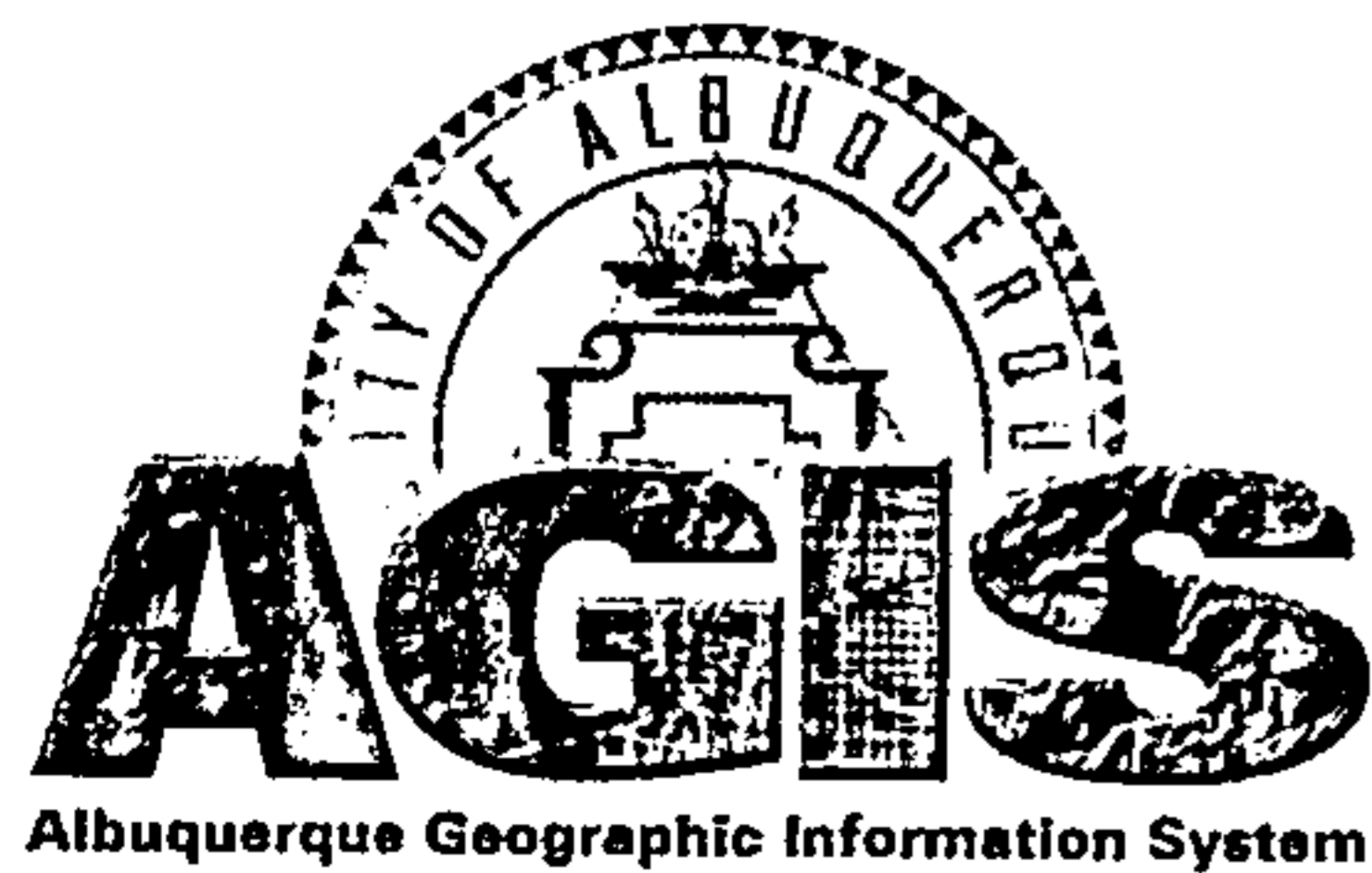


Zone Atlas Page:

L-11-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

0 750 1,500 Feet



Supplemental Form (SF)

<p>SUBDIVISION</p> <p>Major subdivision action <input type="checkbox"/></p> <p>Minor subdivision action <input checked="" type="checkbox"/> <i>Sketch</i></p> <p>Vacation <input type="checkbox"/></p> <p>Variance (Non-Zoning) <input type="checkbox"/></p> <p>SITE DEVELOPMENT PLAN</p> <p>for Subdivision <input type="checkbox"/></p> <p>for Building Permit <input type="checkbox"/></p> <p>Administrative Amendment/Approval (AA) <input type="checkbox"/></p> <p>IP Master Development Plan <input type="checkbox"/></p> <p>Cert. of Appropriateness (LUCC) <input type="checkbox"/></p> <p>STORM DRAINAGE (Form D)</p> <p>Storm Drainage Cost Allocation Plan <input type="checkbox"/></p>	<p>S Z ZONING & PLANNING</p> <p>Annexation <input type="checkbox"/></p> <p>V <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)</p> <p>P <input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p>Amendment to Sector, Area, Facility or Comprehensive Plan <input type="checkbox"/></p> <p>Text Amendment (Zoning Code/Sub Regs) <input type="checkbox"/></p> <p>Street Name Change (Local & Collector) <input type="checkbox"/></p> <p>L A APPEAL / PROTEST of...</p> <p>Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals <input type="checkbox"/></p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Cartesian Surveys Inc. PHONE: 896-3050
 ADDRESS: PO Box 44414 FAX: 891-0244
 CITY: Rio Rancho STATE NM ZIP 87174 E-MAIL: cartesianamber@aol.com

APPLICANT: Joslyn Bustamante PHONE: 681-5336
 ADDRESS: 8142 Sand Springs NW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: To divide the existing lot into four separate lots.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 316-A Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Town of Atrisco Grant Unit 3
 Existing Zoning: R-1 Proposed zoning: R-1 MRGCD Map No _____
 Zone Atlas page(s): LII UPC Code: 101105611341520405

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 4 Total site area (acres): 2.0746
 LOCATION OF PROPERTY BY STREETS: On or Near: Verba Rd
 Between: Bridge Blvd and Eucariz Ave

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Amber Palmer DATE 8/6/11
 (Print Name) Amber Palmer Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

<p><input checked="" type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input checked="" type="checkbox"/> AGIS copy has been sent</p> <p><input type="checkbox"/> Case history #s are listed</p> <p><input type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input type="checkbox"/> F.H.D.P. density bonus</p> <p><input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>11 DRB 70218</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>Aug. 17, 2011</u></p> <p><u>8-8-11</u></p>	<p>Action</p> <p><u>SP</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p>\$ <u>0</u></p> <p>\$ _____</p> <p>\$ _____</p> <p>\$ _____</p> <p>\$ _____</p> <p>Total</p> <p>\$ <u>0</u></p>
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Staff signature & Date [Signature] Project # 1008926

FORM S(3): SUBDIVISION - J.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Shown on Same sheet

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)

Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) 3 copies
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (verify with DRB Engineer)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)

Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

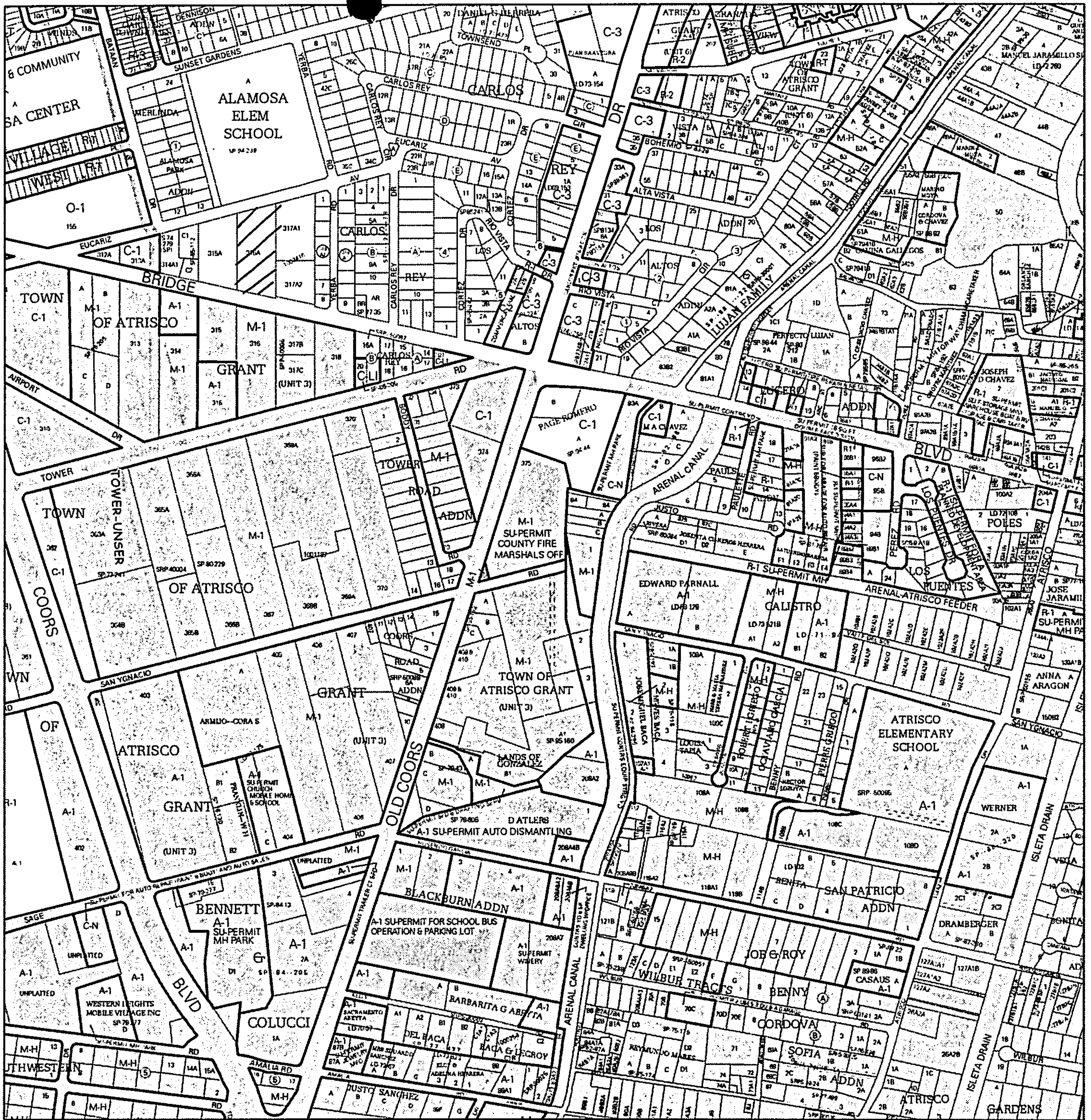
FRANK GALANIS
 Applicant name (print)
 [Signature]
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 11008 - 70218

[Signature]
 Planner signature / date 8-8-11
 Project # 1008926



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
L-11-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1500 Feet

Cartesian Surveys Inc.
PO Box 44414, Rio Rancho, NM 87174
896-3050 Fax 891-0244

August 8, 2011

Development Review Board
City of Albuquerque

Re: Lots 316-A, Town of Atrisco Grant Unit 3

Members of the Board:

Cartesian Surveys is acting as an agent for the owner and requests to subdivide the existing lot into four lots as shown on the plat.

Thank you for your time and consideration.

Will Plotner Jr., NMLS 14271

1008926

Application # :

12-70296 (P&F)
