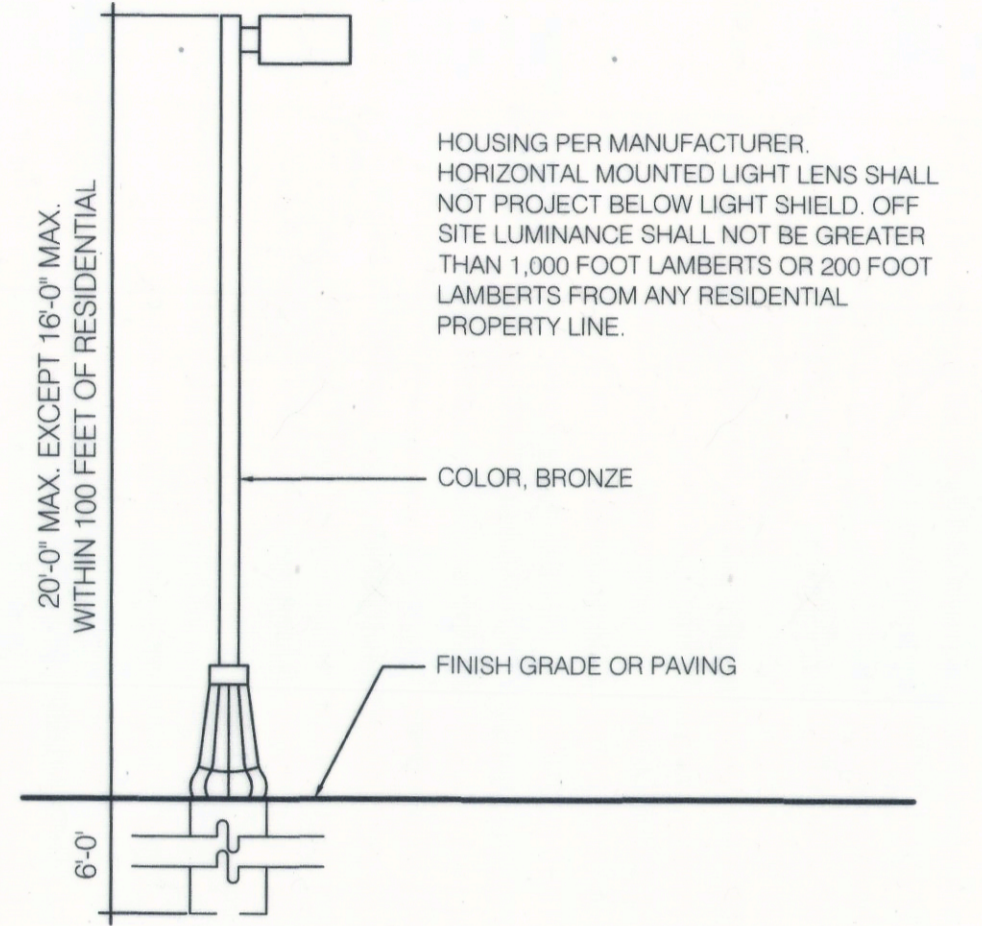
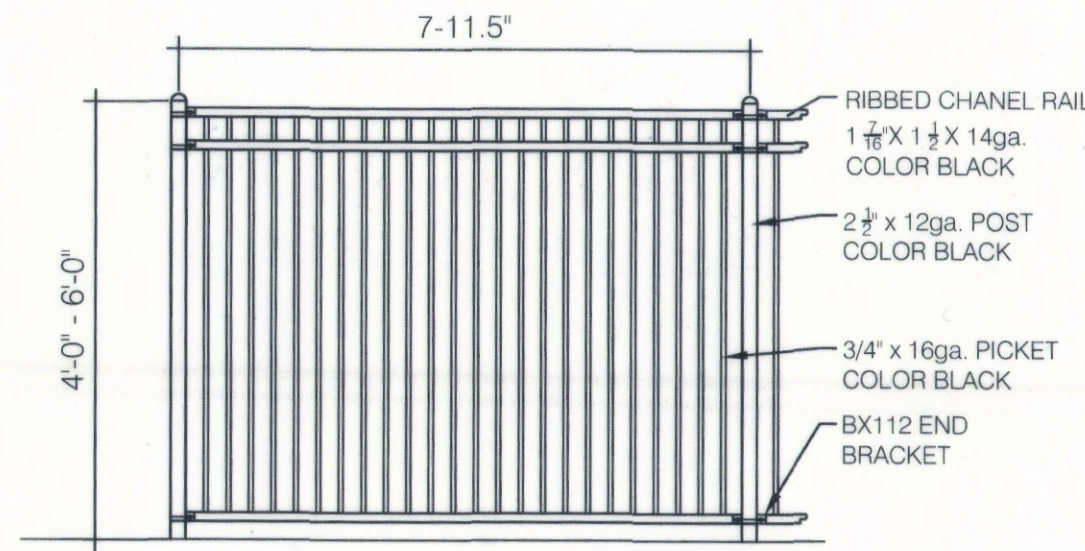


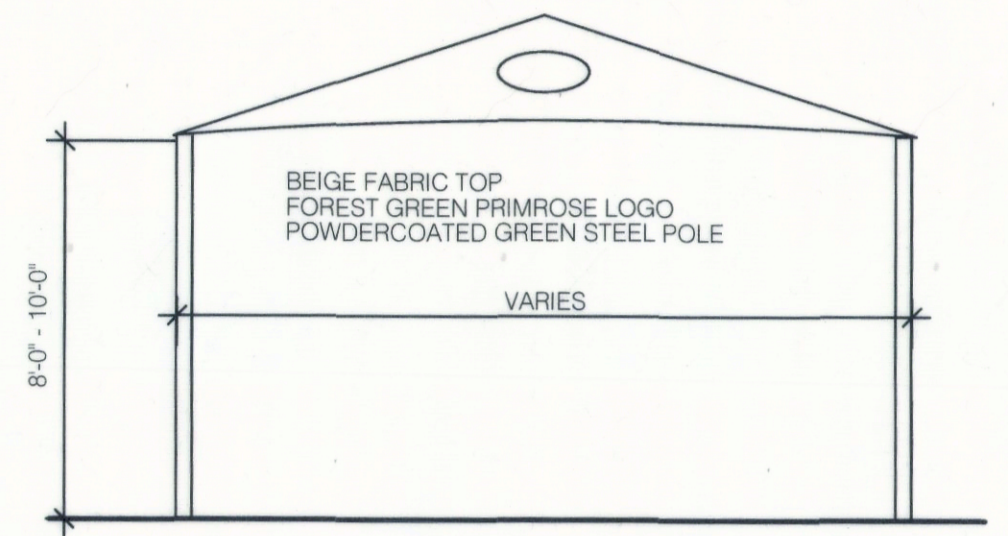
BICYCLE RACK Not to Scale



PARKING LOT LIGHT FIXTURE DETAIL Not to Scale

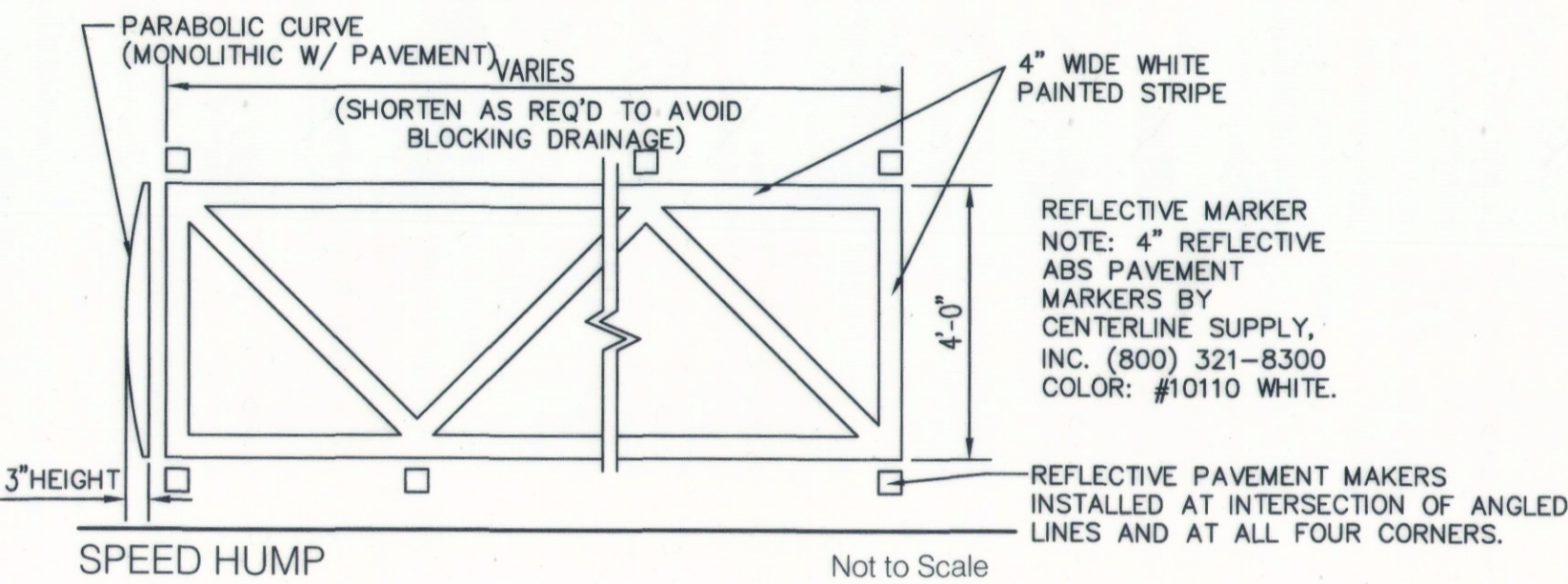


ORNAMENTAL FENCE Not to Scale



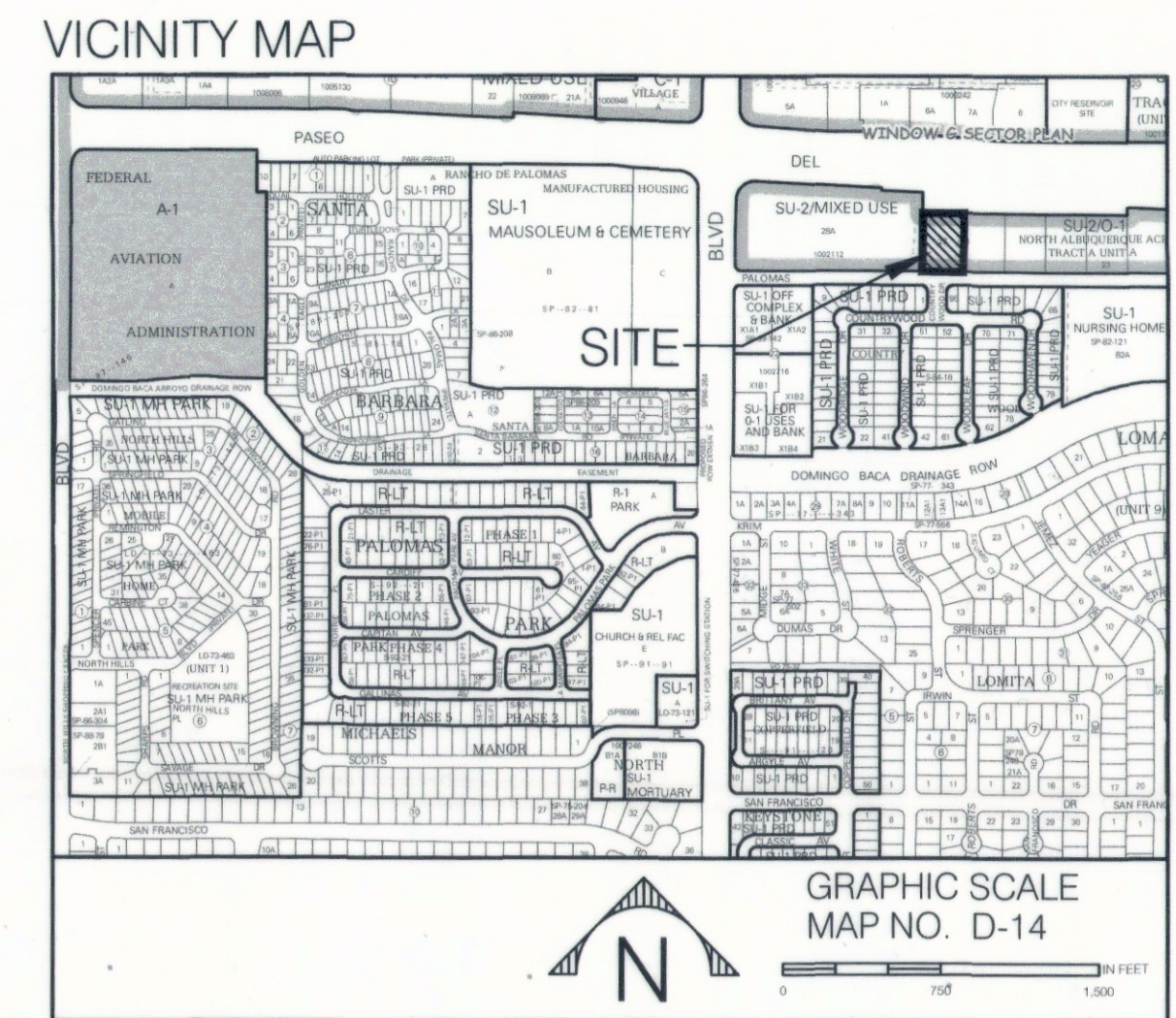
SHADE STRUCTURE DETAIL Not to Scale

- KEY NOTES:**
- PROPERTY BOUNDARY
 - EXISTING CURB AND GUTTER TO REMAIN
 - EXISTING CMU BLOCK WALL TO REMAIN
 - EXISTING SIDEWALK TO REMAIN
 - EXISTING ACCESSIBLE RAMP TO REMAIN
 - EXISTING ABOVE GROUND UTILITY ENCLOSURES TO REMAIN
 - EXISTING PONDING AREA TO REMAIN
 - EXISTING DRIVE PAD TO REMAIN
 - CONCRETE CURB AND GUTTER
 - CONCRETE SIDEWALK
 - ACCESSIBLE CONCRETE RAMP
 - REFUSE ENCLOSURE
 - SITE LIGHTING
 - BICYCLE RACK
 - MONUMENT SIGN
 - MINI BUS PARKING SPACE WITH "BUS ONLY" SIGN
 - "MOTORCYCLE PARKING ONLY" SIGN
 - ADA "RESERVED PARKING" SIGN WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY, MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." ADDITIONAL "VAN ACCESSIBLE" SIGN TO BE INCLUDED AT VAN ACCESSIBLE SPACE.
 - CONCRETE PARKING BUMPER
 - ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-2.1 B NMSA 1978)
 - SPEED HUMP
 - OUTDOOR PLAZA - 946 SF, CONTAINS TWO 6-FOOT BENCHES AND TWO SHADE TREES
 - ARTIFICIAL TURF PLAYGROUND SURFACE
 - 4" BLACK ORNAMENTAL FENCE
 - 6" BLACK ORNAMENTAL FENCE
 - SHADE STRUCTURE
 - CONDENSING UNITS LOCATED BEHIND 4" SOLID VINYL FENCE
 - FLAGPOLE
 - 6" BENCH
 - ADA STEEL TREE GRATE
 - COMPACT PARKING SPACES SHALL HAVE THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE



SPEED HUMP Not to Scale

- GENERAL NOTES:**
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE SITE PLAN FOR SUBDIVISION DESIGN STANDARDS.
 - ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
 - THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
 - RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
 - ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
 - PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
 - SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY AND BUS SHELTER LOCATED WITHIN THE SITE SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), BUS SHELTER (2535.02), CURB AND GUTTER (2415A).
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
 - MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ALL OUTDOOR LIGHT FIXTURES WITHIN COMMERCIAL OR OFFICE ZONES SHALL REMAIN OFF BETWEEN 11:00 PM AND SUNRISE EXCEPT FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, DRIVEWAYS, EQUIPMENT YARDS AND PARKING LOTS.
 - ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATE SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE OF THE PREMISE RECEIVES NO MORE THAN 0.25 (ONE-QUARTER) OF A FOOT CANDLE OF LIGHT FROM THE PREMISES LIGHTING SYSTEM.



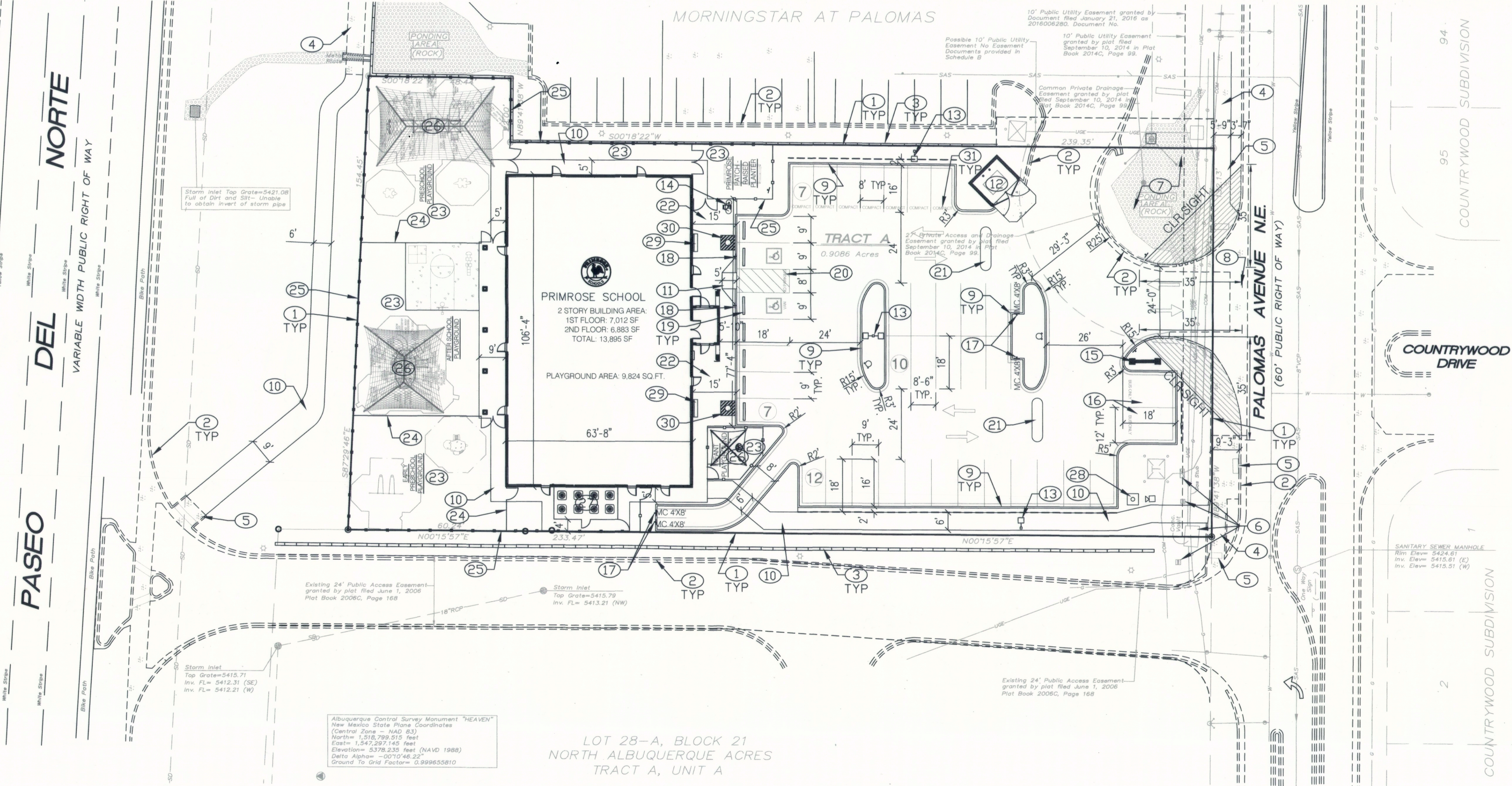
SITE DATA:

LEGAL DESCRIPTION: TRACT A, MORNING STAR AT PALOMAS
 SITE AREA: 0.90 ACRES
 EXISTING ZONING: SU-2/O-1
 LAND USE: 2-STORY DAYCARE FACILITIES
 BUILDING AREA: 7,012 S.F.
 PARKING: MAXIMUM ALLOWED PARKING PER LA CUEVA SDP:
 2 SPACES PLUS 1 ADDITIONAL SPACE FOR EACH 500 SQUARE FEET OF NET LEASABLE AREA PLUS 10% = 33

STANDARD PARKING SPACES:	29
COMPACT PARKING SPACES (MAX 9):	+ 7
TOTAL PROVIDED PARKING:	36
HANDICAPPED REQUIRED/PROVIDED:	2/2
MOTORCYCLE REQUIRED/PROVIDED:	2/4
BICYCLE REQUIRED/PROVIDED:	2/2

TRANSIT: BUS ROUTE 31 (WYOMING). THE BUS STOPS ARE LOCATED DOWN PALOMAS AVE AT WYOMING BLVD AND APPROXIMATELY 760' TO THE WEST FROM THE SITE.

PROJECT NUMBER: 1008952
 Application Number: 18EPC-40003



This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated March 8, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	6/27/18
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	6/27/18
Water Utility Department	Date
<i>[Signature]</i>	6/27/18
Parks and Recreation Department	Date
<i>[Signature]</i>	6/27/18
City Engineer/Hydrology	Date
<i>[Signature]</i>	6/27/18
Code Enforcement	Date
<i>[Signature]</i>	6/27/18
Environmental Health Department (conditional)	Date
<i>[Signature]</i>	06-26-18
Solid Waste Management	Date
<i>[Signature]</i>	6-27-18
DRB Chairperson, Planning Department	Date

PRIMROSE SCHOOL OF SANDIA HEIGHTS

SITE PLAN FOR BUILDING PERMIT

Prepared for: Primrose School Franchising Company
 3660 Cedarcrest Road
 Acworth, Georgia 30101

Prepared by: Consensus Planning, Inc.
 302 Eighth Street NW
 Albuquerque, NM 87102

Children's Design Group
 Mark D. Pavey, A.I.A. - Architect
 PO BOX 1365
 Gulf Shores, AL 36547

Isaacson & Arfman, P.A.
 128 Monroe St, NE
 Albuquerque, NM 87108

Scale: 1" = 20'

June 18, 2018

Sheet 1 of 5

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE	QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES											
5		ACER FREEMANII 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	2" B&B	16' HT. X 6' SPR. 45' HT. X 40' SPR.	MEDIUM						
3		VITEX AGNUS-CASTUS CHASETREE	24" BOX	8' HT. X 6' SPR. 25' HT. X 25' SPR.	LOW						
3		PINUS ELДАРICA AFGHAN PINE	B&B	8' MIN HT. 30' HT. X 20' SPR.	MEDIUM						
2		GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST	2" B&B	16' HT. X 6' SPR. 40' HT. X 35' SPR.	MEDIUM						
LARGE SHRUBS											
		BUDDLEIA DAVIDII 'BLACK KNIGHT' BLACK KNIGHT BUTTERFLY BUSH	5-GAL.	5' O.C. 6' HT. X 5' SPR.	MEDIUM						
		FALLUGIA PARADOXA APACHE PLUME	5-GAL.	5' O.C. 6' HT. X 6' SPR.	LOW						
		PINUS MUGO MUGHUS MUGO PINE	5-GAL.	5' O.C. 8' HT. X 8' SPR.	MEDIUM						
MEDIUM SHRUBS											
		ARTEMESIA FILIFOLIA SAND SAGE	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW						
		CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW						
		LAVENDULA ANGSTIFOLIA ENGLISH LAVENDER	5-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM						
		RAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5' O.C. 3' HT. X 4' SPR.	MEDIUM						
GROUNDCOVERS											
		LONICERA JAPONICA 'HALLIANA' HALL'S HONEYSUCKLE	5-GAL.	10' O.C. 2' HT. X 10' SPR.	MEDIUM						
		ROSMARINUS OFFIC. 'CREEPING' CREEPING ROSEMARY	5-GAL.	5' O.C. 18' HT. X 4' SPR.	LOW						
ACCENTS											
		MISCANTHUS SIN. 'GRACILLIMUS' MAIDEN HAIR GRASS	5-GAL.	4' O.C. 8' HT. X 4' SPR.	MEDIUM						
		PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	5-GAL.	4' O.C. 4' HT. X 4' SPR.	MEDIUM						
		YUCCA PENDULA SOFT LEAF YUCCA	5-GAL.	2' O.C. 3' HT. X 5' SPR.	LOW						
BOULDERS AND GRAVEL MULCH											
1,770 SF		2"-4" BUILDLOGY BROWN COBBLE MULCH (6" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)									
1,043 SF		3/4" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)									

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" BROWN ROCK MULCH AND 2"-4" BROWN COBBLE MULCH.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2 OF WATER PER CYCLE (PEAK SEASON).

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

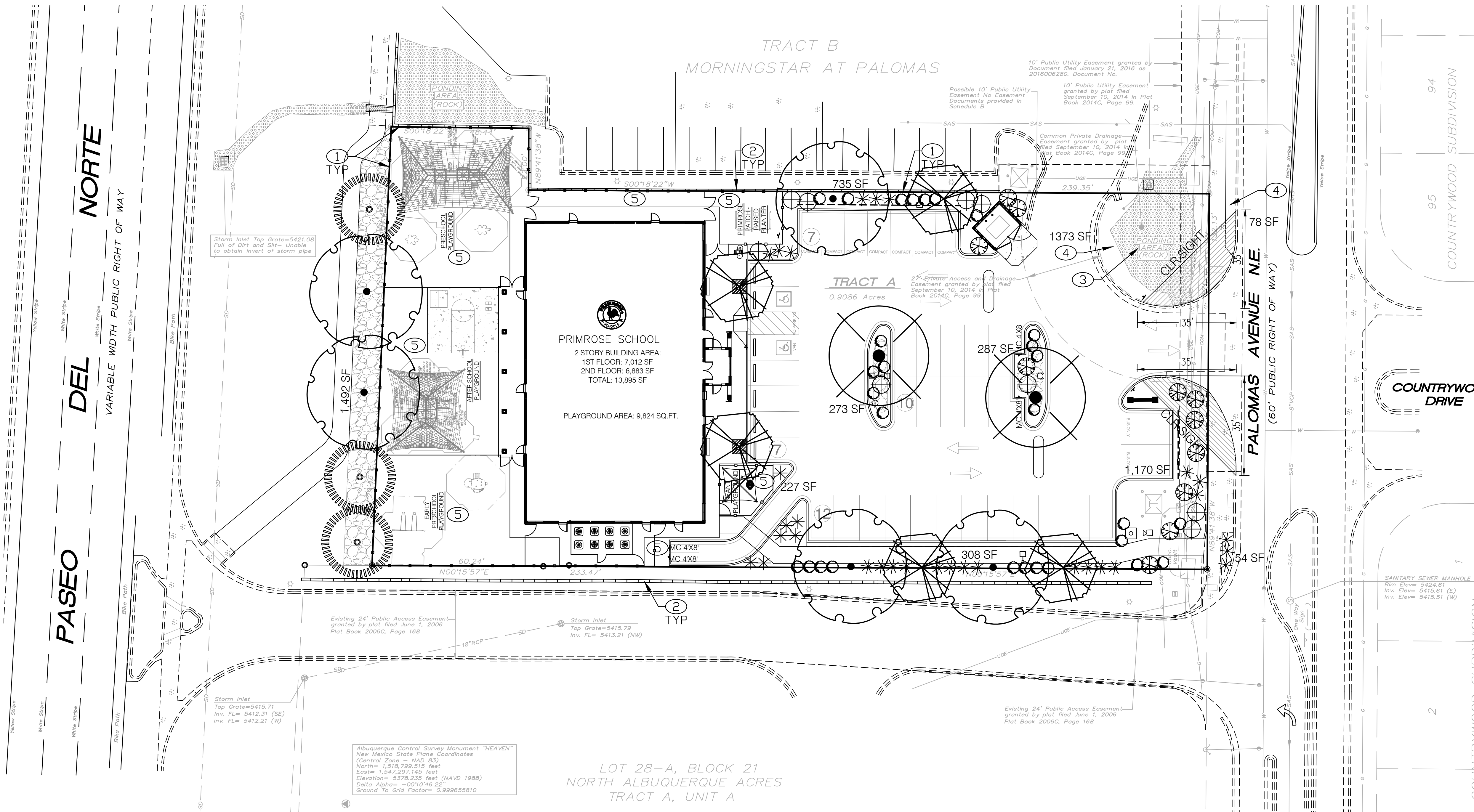
PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

KEY NOTES:

- PROPERTY BOUNDARY
- EXISTING CMU BLOCK WALL TO REMAIN
- EXISTING PONDING AREA TO REMAIN
- EXISTING LANDSCAPE TO REMAIN
- ARTIFICIAL TURF PLAYGROUND SURFACE, NOT COUNTED TOWARDS REQUIRED 15% LANDSCAPE AREA



LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	39,204 SF (0.90 AC)
BUILDING AREA (BUILDING ENVELOPE):	- 7,012 SF
NET AREA	32,192 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA): 4,828 SF
PROVIDED LANDSCAPE AREA 5,997 SF (18%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PRIMROSE SCHOOL PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE (OF THE 15%) IN THE LANDSCAPE AREAS.

LANDSCAPE TURF
ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF. NO TURF IS USED.

PARKING LOT TREES
THE PRIMROSE SCHOOL PROJECT IS PROVIDING 36 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 4
PARKING LOT TREES PROVIDED: 5

STREET TREES
PASEO DEL NORTE AVENUE FRONTAGE IS 154'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

STREET TREES REQUIRES: 5
STREET TREES PROVIDED: 5

PALOMAS AVENUE IS A LOCAL STREET AND DOES NOT REQUIRE STREET TREES

PRIMROSE SCHOOL OF SANDIA HEIGHTS

LANDSCAPE PLAN

Prepared for:



Primrose School Franchising Company
3660 Cedarcrest Road
Acworth, Georgia 30101

Prepared by:

Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Children's Design Group
Mark D. Pavey, A.I.A. - Architect
PO BOX 1365
Gulf Shores, AL 36547

Scale: 1" = 20'



March 1, 2018

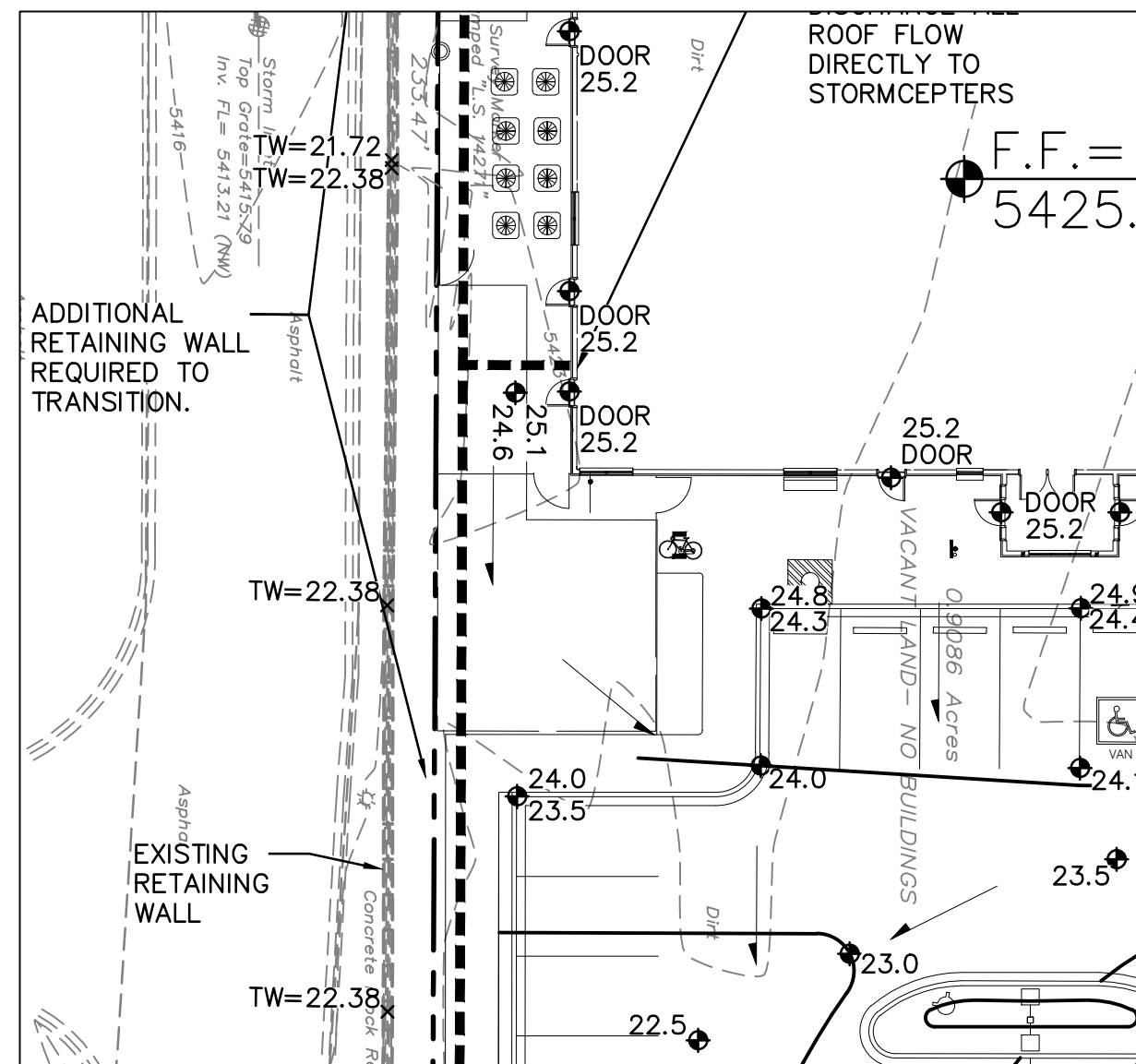
Isaacson & Arfman, P.A.
128 Monroe St, NE
Albuquerque, NM 87108

BASED ON THE NORTH AND SOUTH DOMINGO BACA ARROYOS AND PASEO DEL NORTE (PDN) CORRIDOR DRAINAGE MANAGEMENT PLAN PREPARED BY RESOURCE TECHNOLOGY, INC. (1991) 100% OF THE SITE HISTORICALLY DRAINS TO PDN.

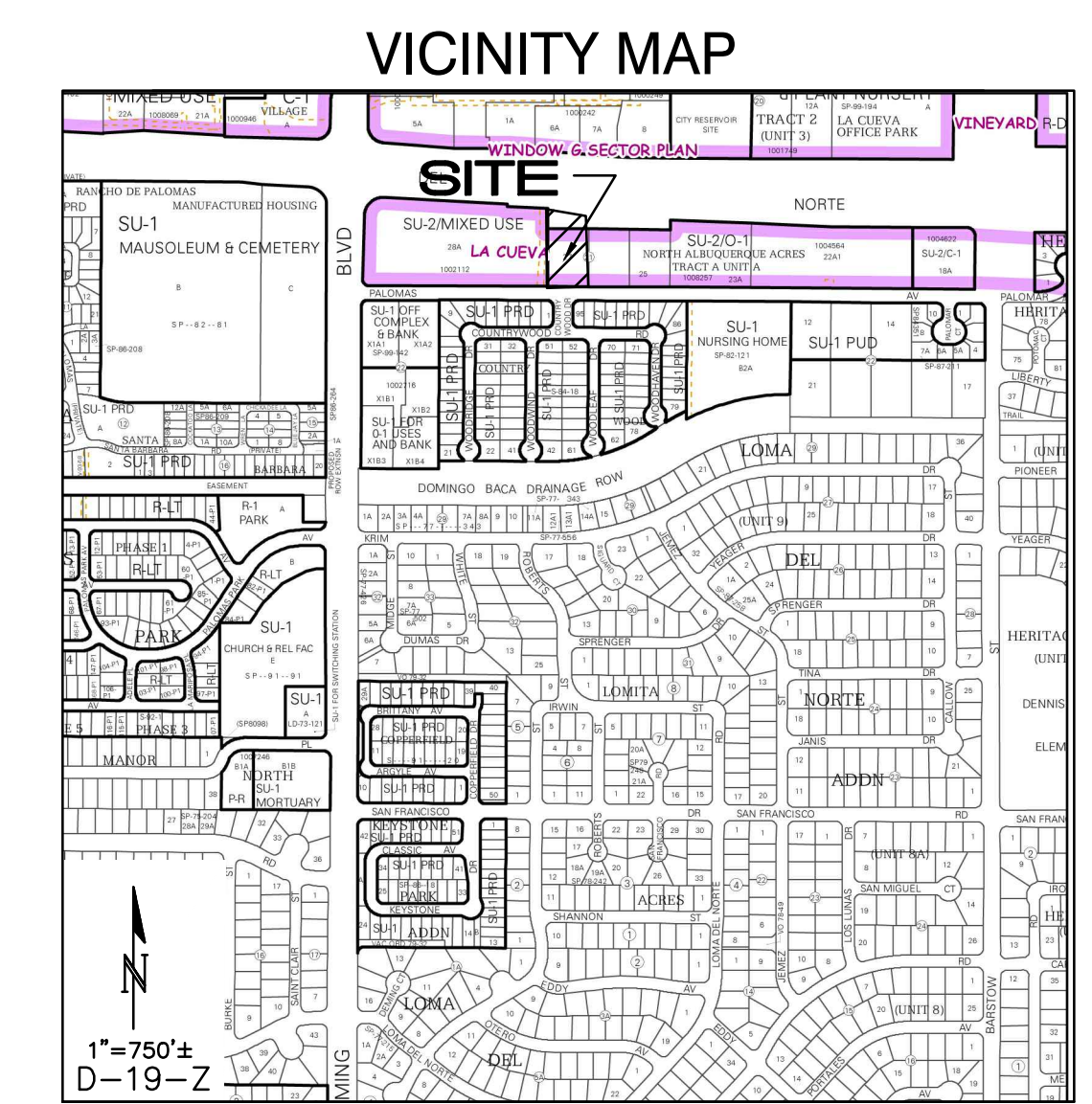
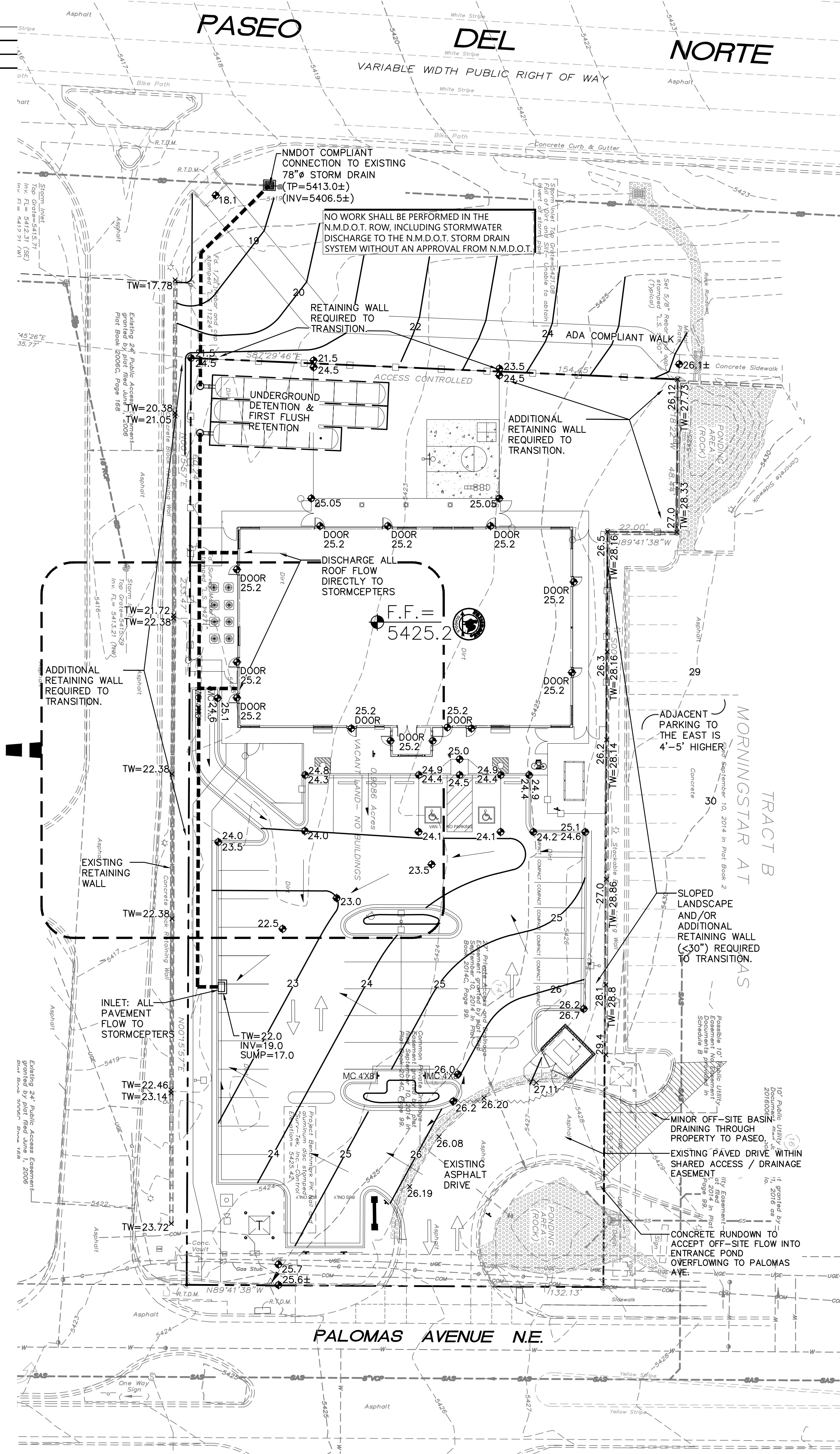
THIS PROPERTY, ALTHOUGH CURRENTLY UNDEVELOPED, HAS BEEN USED ANNUALLY FOR THE SALE OF CHRISTMAS TREES FOR MANY YEARS (SEE GOOGLE EARTH IMAGES FROM 2009 AND 2012). THE HISTORIC DISCHARGE RATE TO THE PDN STORM DRAIN SYSTEM OF 2.7 CFS IS BASED ON LAND TREATMENTS OF 50%B, 50%C.

NO WORK SHALL BE PERFORMED IN THE N.M.D.O.T. ROW, INCLUDING STORMWATER DISCHARGE TO THE N.M.D.O.T. STORM DRAIN SYSTEM WITHOUT AN APPROVAL FROM N.M.D.O.T.

CALCULATIONS: 2253 Primrose School : June 15, 2018										
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993										
ON-SITE					DEVELOPED FLOWS:					
AREA OF SITE:	39578.616	SF	=	0.909	100-year, 6-hour					
HISTORIC FLOWS:					EXCESS PRECIP:					
Area A	=	0	0%	Area A	=	0	0%	E _A	=	0.66
Area B	=	19789.308	50%	Area B	=	3958	10%	E _B	=	0.92
Area C	=	19789.308	50%	Area C	=	8707	22%	E _C	=	1.29
Area D	=	0	0%	Area D	=	26913	68%	E _D	=	2.36
Total Area	=	39578.616	100%	Total Area	=	39578.616	100%			
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)					FIRST FLUSH VOL					
Weighted E = $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$					763 CF					
Historic E	=	1.11 in.	Developed E	=	1.98 in.					
On-Site Volume of Runoff: V ₃₆₀ = E*A / 12										
Historic V ₃₆₀	=	3645 CF	Developed V ₃₆₀	=	6532 CF					
On-Site Peak Discharge Rate: Q _p = Q _{PA} A _A + Q _{PB} A _B + Q _{PC} A _C + Q _{PD} A _D / 43,560										
For Precipitation Zone 3										
Q _{PA}	=	1.87	Q _{PC}	=	3.45					
Q _{PB}	=	2.60	Q _{PD}	=	5.02					
Historic Q _p	=	2.7 CFS	Developed Q _p	=	4.0 CFS					



ALTERNATE PARKING LAYOUT



PROJECT DATA

PROPERTY: THE SITE IS A PARTIALLY DEVELOPED 0.91± ACRE PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-19. THE SITE IS BOUND TO THE EAST BY DEVELOPED COMMERCIAL, TO THE WEST BY A PUBLIC ACCESS EASEMENT AND DEVELOPED COMMERCIAL, TO THE NORTH BY PASEO DEL NORTE BLVD. R.O.W. AND TO THE SOUTH BY PALOMAS BLVD.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A PRIVATE PRESCHOOL WITH ASSOCIATED OUTDOOR PLAYGROUND FACILITIES, ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

LEGAL: TRACT "A" OF MORNINGSTAR AT PALOMAS, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

AREA: 0.9086 ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN", ELEVATION = 5378.235 FEET (NAVD 88).

OFF-SITE: NO OFF-SITE DRAINAGE WILL IMPACT THIS PROPERTY OTHER THAN A SMALL DEVELOPED BASIN FROM THE ADJACENT PROPERTY PASSING WITHIN THE SHARED ACCESS / DRAINAGE EASEMENT.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0141G, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: BASED ON THE NORTH AND SOUTH DOMINGO BACA ARROYOS AND PASEO DEL NORTE (PDN) CORRIDOR DRAINAGE MANAGEMENT PLAN PREPARED BY RESOURCE TECHNOLOGY, INC. (1991) 100% OF THE SITE HISTORICALLY DRAINS TO PDN. IN THE DEVELOPED CONDITION, THE SITE IS PERMITTED TO CONTINUE TO RELEASE HISTORIC RATES TO PDN EITHER AS SURFACE FLOW OR WITH A NEW STORM DRAIN CONNECTION TO THE EXISTING PUBLIC STORM DRAIN INLET WITHIN THE PDN R.O.W. ANY DISCHARGE TO PALOMAS AVE. IS UNRESTRICTED.

ENGINEER:
FRED C. ARFMAN: NMPE NO. 7322
ISAACSON & ARFMAN, PA
128 MONROE N.E.
ALBUQUERQUE, NEW MEXICO 87108

SURVEYOR:
RUSS P. HUGG: NMPS NO. 9750
SURV-TEK, INC.
9384 VALLEY VIEW DR. N.W.
ALBUQUERQUE, NEW MEXICO 87114

LEGEND

- PROPOSED FLOW DIRECTION
- PROPOSED FINISH FLOOR ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION

PRIMROSE SCHOOL OF SANDIA HEIGHTS

CONCEPTUAL GRADING & DRAINAGE PLAN

Prepared for:



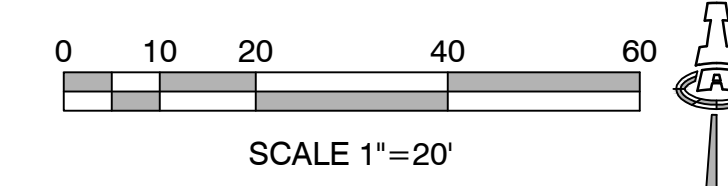
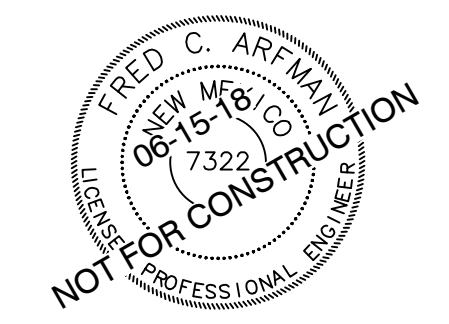
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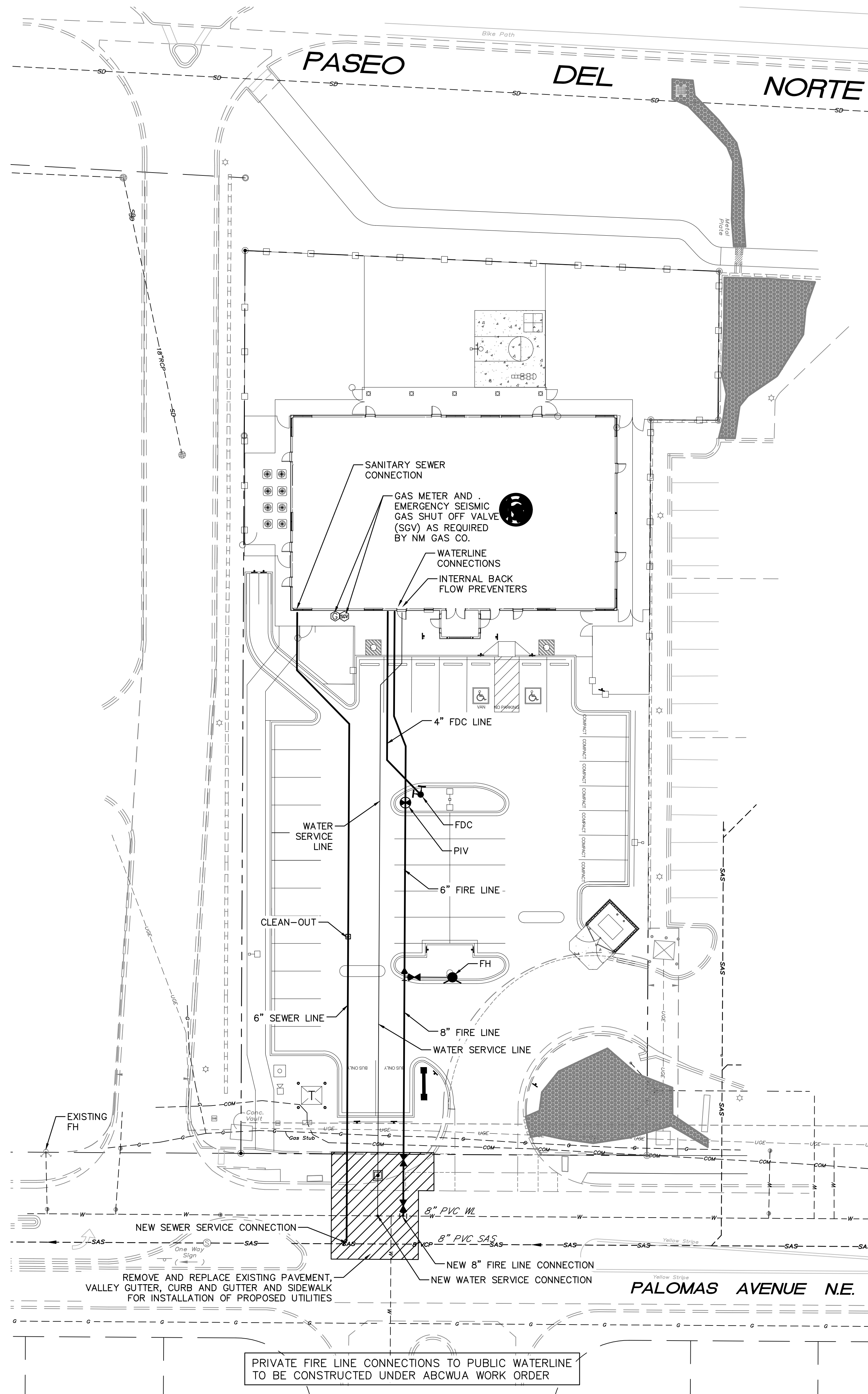
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128 Monroe St, NE
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GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING CONNECTIONS.
3. SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
4. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
5. ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

UTILITY GENERAL NOTES

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED UTILITIES SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- B. MINIMUM COVER SHALL BE 36" FOR WATERLINES AND 48" FOR SANITARY SEWER, EXCEPT AT BUILDING CONNECTIONS.
- C. UTILITY LINES SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.
- D. UTILITY LINES SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING PLUMBING AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL. REFER TO THE MECHANICAL AND/OR PLUMBING PLANS FOR SERVICE CONNECTIONS.
- F. DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES TO DETERMINE THE SIZE, DEPTH, LOCATION, FITTINGS AND REQUIRED APPURTENANCES FOR THE DRY UTILITY SERVICE LINES ON THE SITE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE CONNECTIONS.
- G. TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.
- H. ALL WATER VALVE BOXES, MANHOLE RINGS & COVERS, AND OTHER SURFACE ITEMS FOR THE UTILITIES SHALL BE ADJUSTED TO FINISHED GRADE.
- I. ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 12" MIN CLEARANCE. IF 12" CLEARANCE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE OR AS DIRECTED BY THE ENGINEER.
- J. VALVES, METERS, SERVICE LINES, METER AND VALVE BOXES, TAPPING SLEEVES, HYDRANTS, AND OTHER WATER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 800.
- K. WATERLINES LESS THAN 4" DIAMETER SHALL BE COPPER TYPE K MEETING ASTM B 88 REQUIREMENTS. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- L. ALL FITTINGS AND COUPLINGS FOR WATERLINES LESS THAN 4" IN DIAMETER ARE TO BE COPPER, SOLDER JOINT FITTINGS IN ACCORDANCE WITH ASME 16.18 OR ASME B16.22.
- M. ALL FITTINGS AND COUPLINGS FOR WATERLINES 4" IN DIAMETER OR LARGER ARE TO BE MEGA LUG MECHANICAL JOINTS OR ENGINEER APPROVED EQUIVALENT.
- N. JOINTS SHALL BE RESTRAINED BY MEGA LUG HARNESSSES, OR ENGINEER APPROVED EQUIVALENT. JOINT RESTRAINTS SHALL BE INSTALLED AT DISTANCES FROM THE FITTINGS AS SHOWN ON THE JOINT RESTRAINT TABLE IN THESE PLANS.
- O. BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- P. FIRE LINES SHALL USE PIPE MATERIALS LISTED AND APPROVED FOR FIRE SERVICE BY UNDERWRITERS LABORATORIES.
- Q. FIRE DEPARTMENT CONNECTIONS SHALL MEET UL 405, NFPA 1963, AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- R. ADJUST WATER AND FIRE LINES TO AVOID FOOTINGS, SEWER LINES, AND OTHER CONDUITS. INSTALL FITTINGS AS NEEDED.
- S. ALL PRIVATE FIRE HYDRANTS SHALL BE PAINTED ORANGE.
- T. SEWER MANHOLES, CLEANOUTS, SEWER SERVICE TAPS, AND OTHER SEWER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 900 / APWA SPEC. SECT. 900 / LOCAL UTILITY COMPANY SPECIFICATIONS.
- U. SEWER SERVICE LINES SHALL BE INSTALLED AT A 2% MINIMUM SLOPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS. THE PIPE SHALL DRAIN TOWARD THE SEWER MAIN AT ALL LOCATIONS.
- V. ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

PRIMROSE SCHOOL OF SANDIA HEIGHTS

CONCEPTUAL UTILITY PLAN

Prepared for:



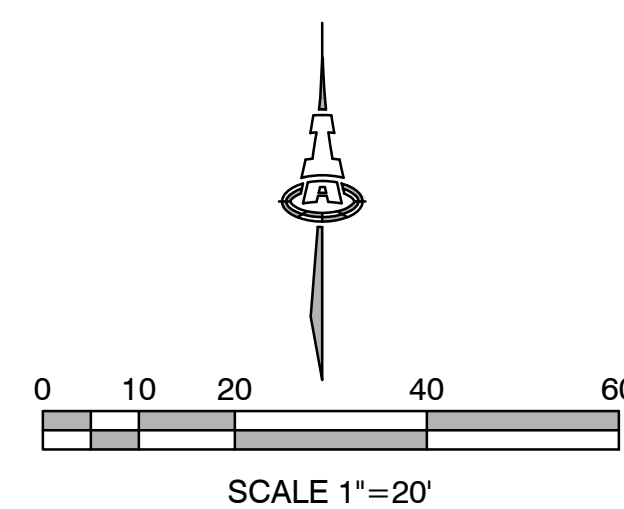
Primrose School
Franchising Company
3660 Cedarcrest Road
Acworth, Georgia 30101

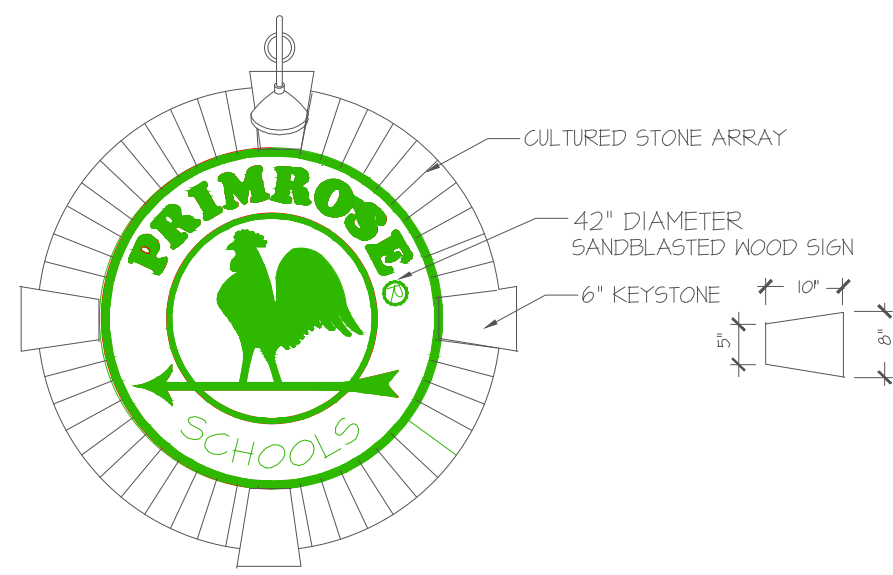
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Children's Design Group
Mark D. Pavey, A.I.A. - Architect
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Gulf Shores, AL 36547

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Albuquerque, NM 87108





SIGN COLORS:
 ROOSTER, CIRCLES & TEXT = TATE OLIVE
 BACKGROUND = BEIGE
 (TOTAL SIGN AREA = 9.6 SQ. FT.)

1 WALL MOUNTED LOGO SIGN
 1/2" x 1'-0"



SOUTH ELEVATION
 1/8" = 1'-0"



EAST ELEVATION
 1/8" = 1'-0"

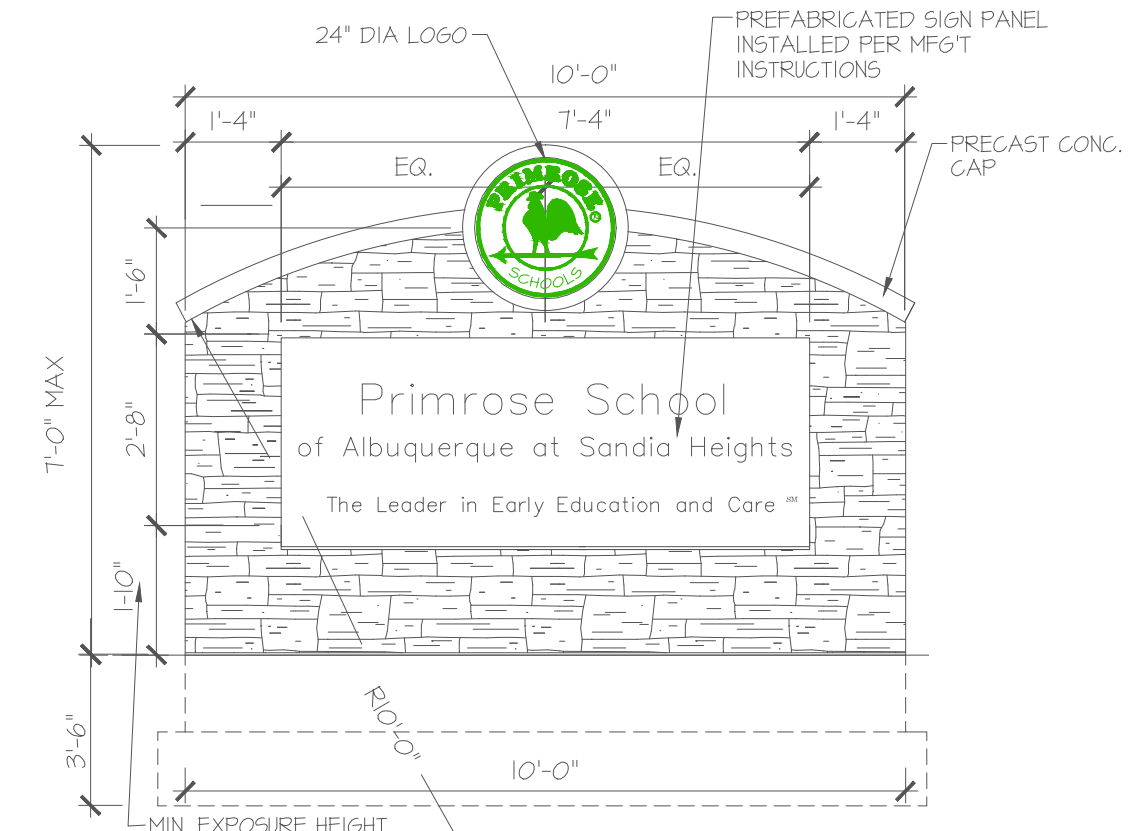
WEST ELEVATION
 1/8" = 1'-0"



NORTH ELEVATION
 1/8" = 1'-0"

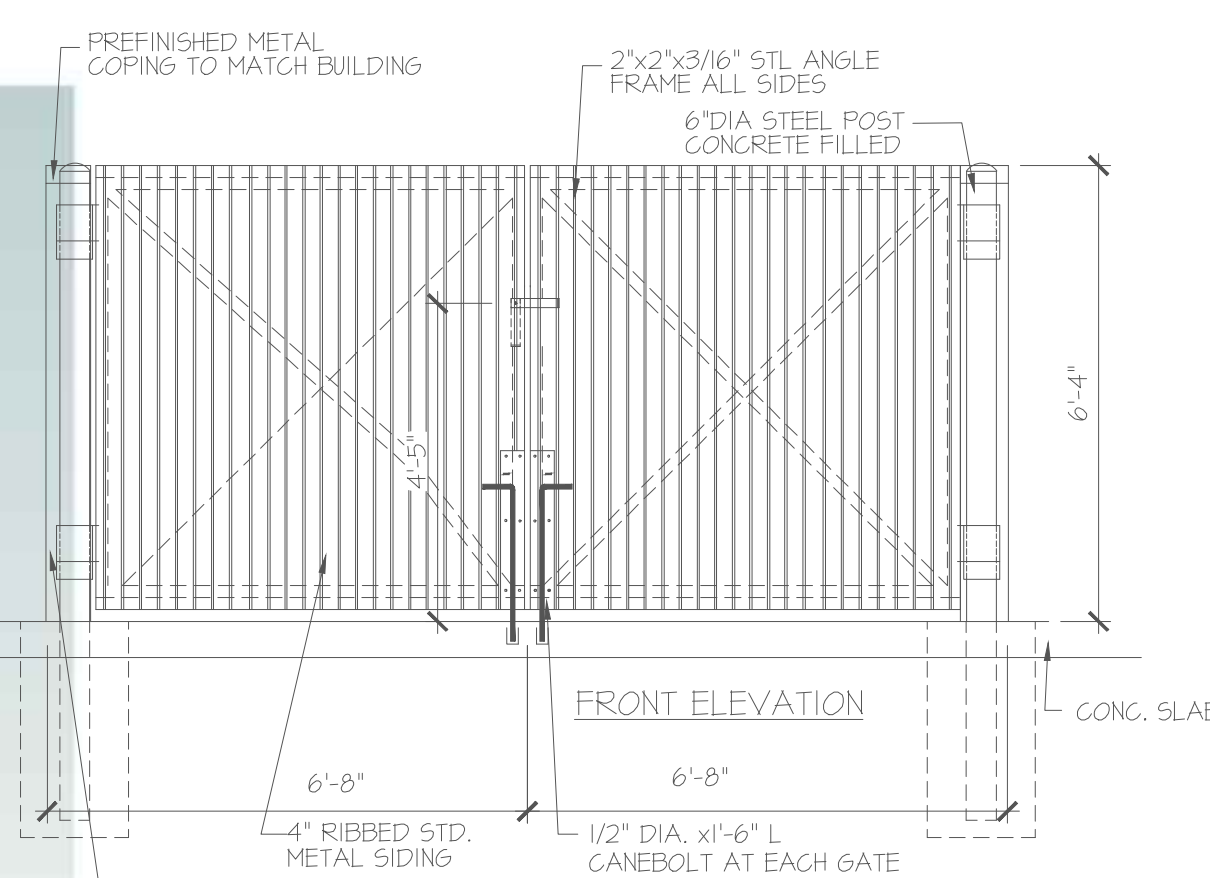
EXTERIOR FINISH SCHEDULE	
1	STONE VENEER - PRO LEDGESTONE - COLOR: SHALE
2	STUCCO - PAINT CREAM, LIGHT BROWN & DARK BROWN
3	CUPOLA WITH WEATHER VANE
4	6" OGEE GUTTER & 3"X5" DOWNSPOUT
5	STUCCO ACCENT BAND - LIGHT BROWN
6	STUCCO SILL/MAISCOT - STONE VENEER
7	STANDING SEAM ROOF ON METAL FRAME - PAINT DARK BROWN
8	24" DIAMETER VENT LOUVERS, TRIM = COLOR DARK BROWN
9	BRONZE ALUMINUM SINGLE HUNG WINDOWS WITH TINTED GLASS
10	H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE
11	HARDI-TRIM EXTERIOR FASCIA, & STUCCO FRIEZE PAINT LIGHT BROWN
12	ROOFING - BORAL SPANISH "S" TILE COLOR - MADERA BLEND
12	SHUTTERS - PAINTED LIGHT BROWN

SIGN SPECIFICATIONS:		SIGN AREAS (ONE SIDE)
LOGO	24" DIAMETER, SANDBLASTED - TATE OLIVE ON BEIGE BACKGROUND DARK BRONZE	SIGNAGE (COPY AREA) = 2'-8"X1'-4"=14 SF.
LETTERS	5" HIGH, STYLE: TIMES BOLD	LOGO - 24"DIA =3.14 SF.
STRIP LETTERS (THE LEADER IN...)	2.5" HIGH, STYLE: TIMES BOLD DARK BRONZE LETTERS	OVERALL STRUCTURE = 22.14 SF X 2 = 44.28 SF
BACKGROUND	BEIGE PAINTED METAL	
STONE SPECIFICATION	SAME AS BUILDING	



NOTE:
 TOTAL SIGN LETTERING COST SHOULD INCLUDE LETTERING, (LETTERING FOR BOTH SIDES OF SIGN); TAX, SHIPPING COSTS, MOUNTING TEMPLATE AND INSTRUCTIONS, (4-6 WEEKS LEAD TIME)

2 MONUMENT SIGN
 3/8" = 1'-0"



3 TRASH ENCLOSURE ELEVATIONS
 3/8" = 1'-0"

PRIMROSE SCHOOL OF SANDIA HEIGHTS

ELEVATIONS

Prepared for:



Primrose School Franchising Company
 3660 Cedarcrest Road
 Acworth, Georgia 30101

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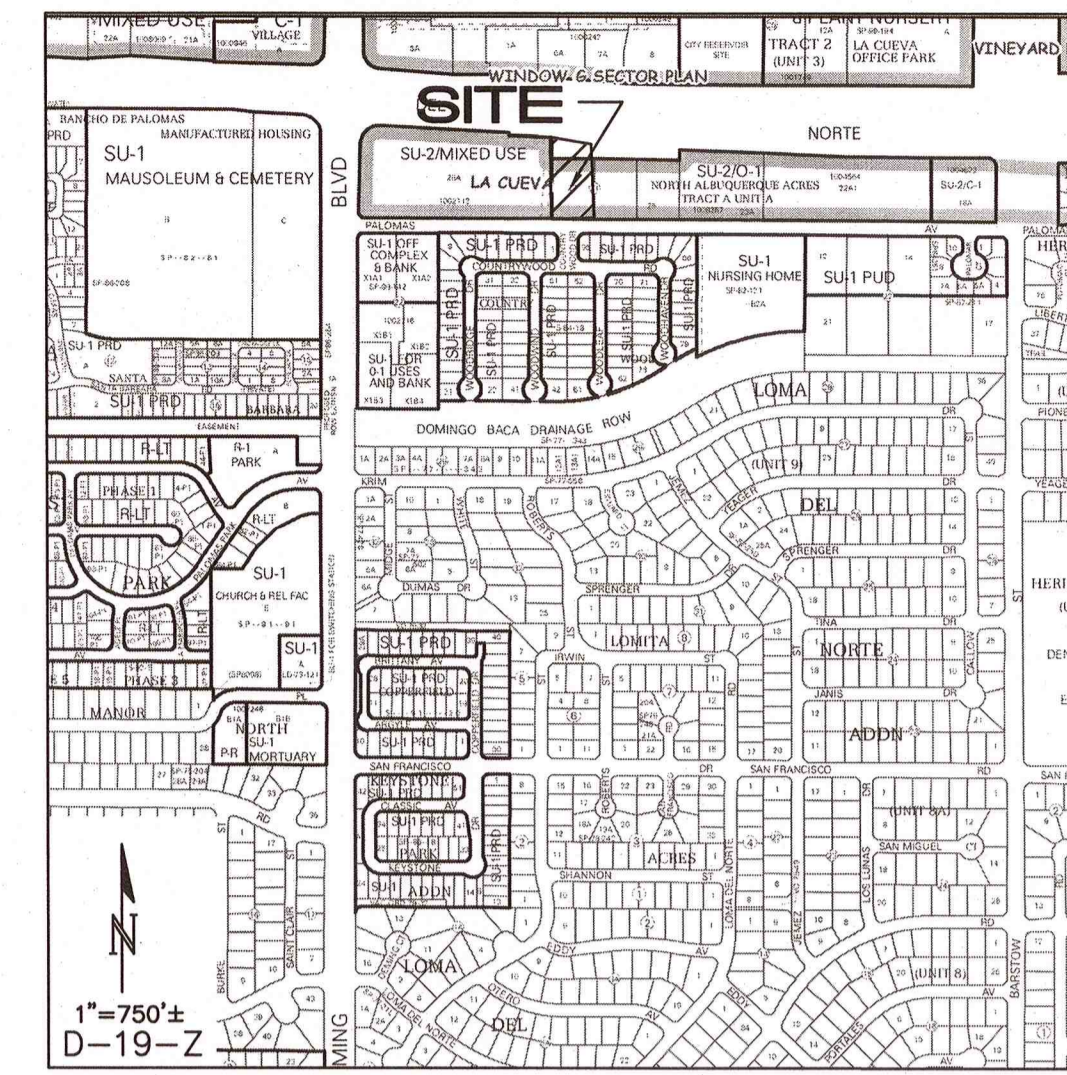
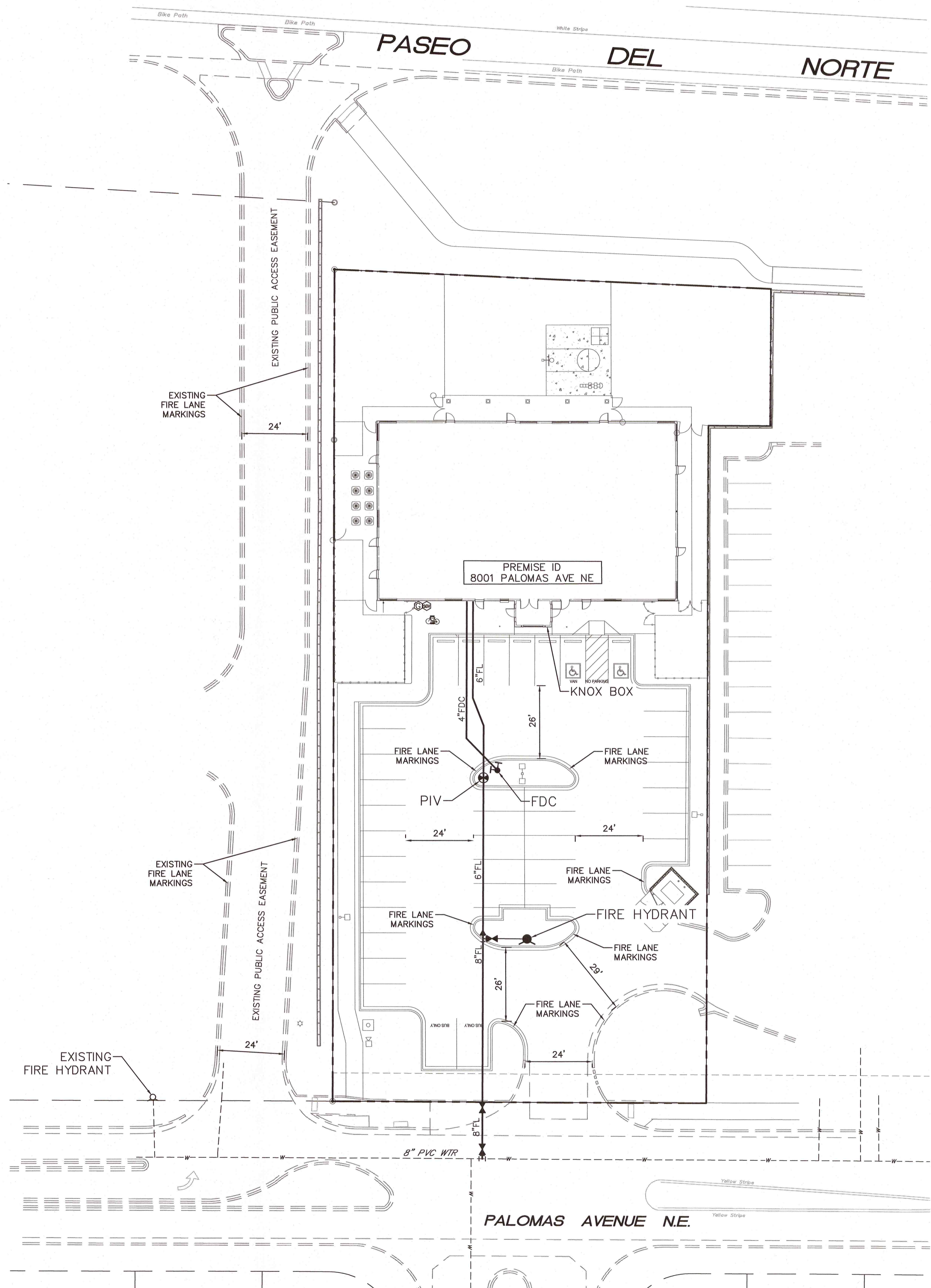
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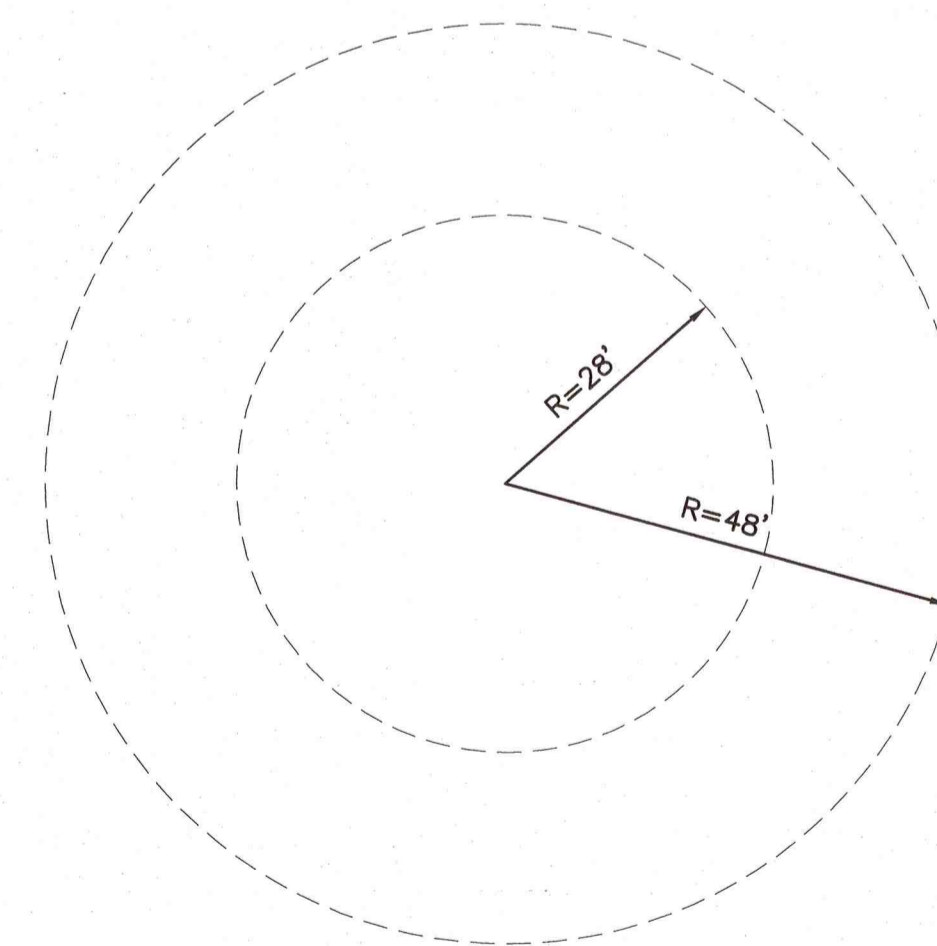
NOTE: THERE WILL BE NO ROOFTOP MECHANICAL OR ELECTRICAL EQUIPMENT. HVAC CONDENSING UNITS WILL BE GROUND MOUNTED AND SURROUNDED WITH A SOLID FENCE THE HEIGHT OF THE UNITS.



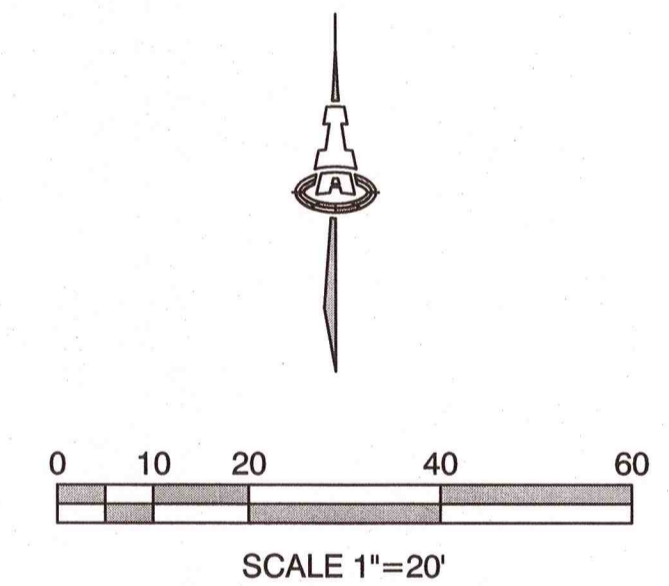
8001 PALOMAS AVE. N.E.,
 ALBUQUERQUE, NM 87122
 13,895 SQ. FT BUILDING
 TYPE 5B CONSTRUCTION
 SPRINKLED
 22'-1" BUILDING HEIGHT
 26'-1/2" AVERAGE ROOF HEIGHT

1 EXISTING FIRE HYDRANT NEAR SITE
 ALL ACCESS ROADS AND FIRE LANES
 HAVE GRADES LESS THAN 10% AND A
 LOAD CAPACITY OF 75,000 POUNDS.

ALL ACCESS ROADS AND FIRE LANES
 WILL ACCOMMODATE A 28' MINIMUM
 TRUCK TURNING RADIUS

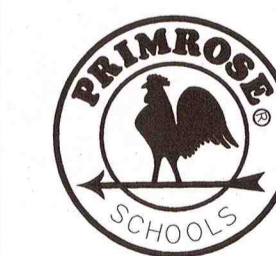


FIRE APPARATUS TURNING RADIUS
 1"=20'



FIRE HYDRANT LOCATION AND ACCESS PLAN PRIMROSE SCHOOL OF SANDIA HEIGHTS

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