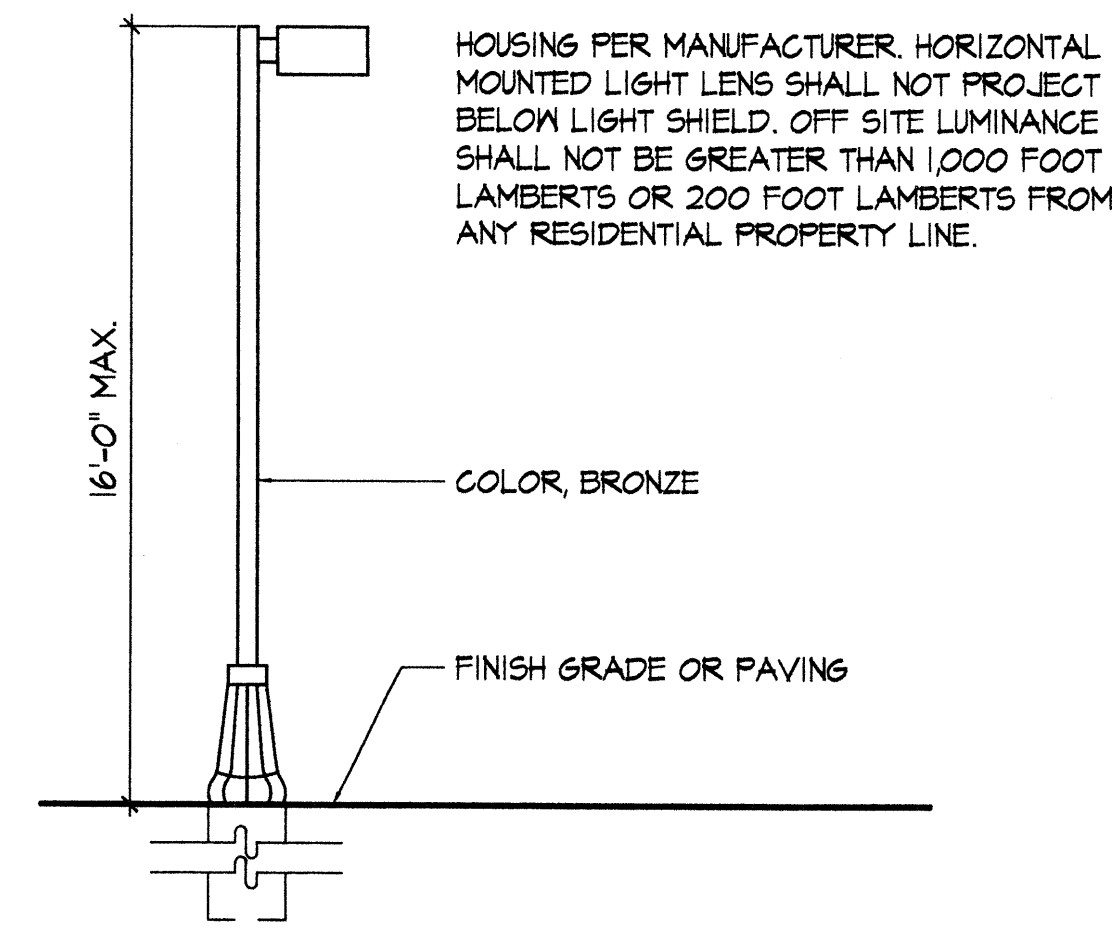


PASEO DEL NORTE NE.  
(R-O-W VARIES)



PARKING LOT LIGHT FIXTURE DETAIL Not to Scale

NOTE: LIGHTING FIXTURE LOCATIONS SHALL BE DETERMINED WITH THE PHOTOMETRIC PLAN PRIOR TO BUILDING PERMIT. LIGHTING DESIGN SHALL COMPLY WITH THE NORTH ALBUQUERQUE ACRES AND SANDIA HEIGHTS LIGHT POLLUTION ORDINANCE AND SITE AND BUILDING MOUNTED LIGHT FIXTURES SHALL NOT EXCEED 16 FEET IN HEIGHT.

39577.95 SF

LOT 1  
39,577.95 SF  
(0.91 AC.)

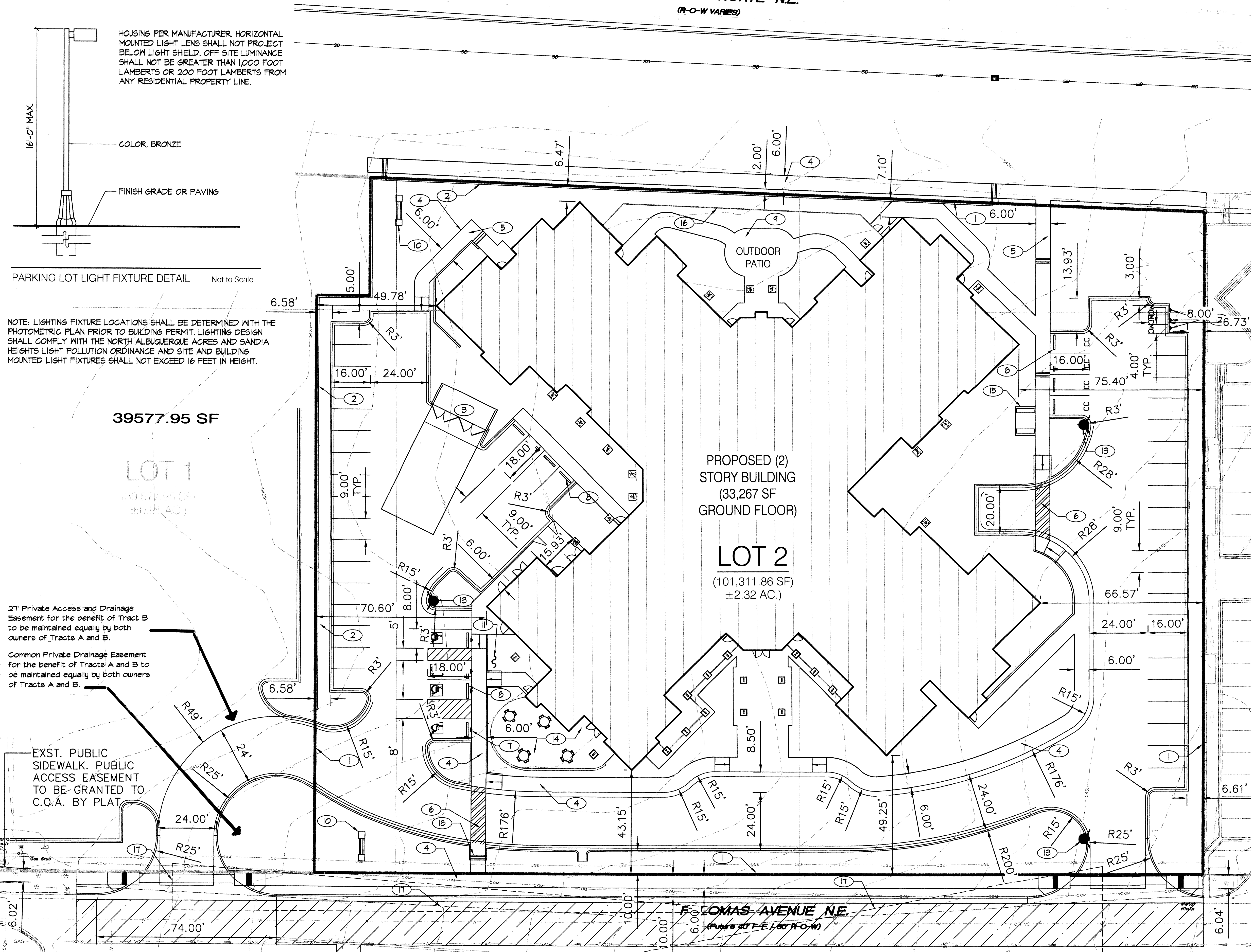
PROPOSED (2)  
STORY BUILDING  
(33,267 SF  
GROUND FLOOR)

LOT 2  
(101,311.86 SF  
±2.32 AC.)

27 Private Access and Drainage Easement for the benefit of Tract B to be maintained equally by both owners of Tracts A and B.

Common Private Drainage Easement for the benefit of Tracts A and B to be maintained equally by both owners of Tracts A and B.

EXST. PUBLIC SIDEWALK. PUBLIC ACCESS EASEMENT TO BE GRANTED TO C.O.A. BY PLAT.



KEY NOTES

- 1 PROPERTY LINE.
- 2 RETAINING WALL. SEE GRADING/DRAINAGE SHEET.
- 3 TRASH ENCLOSURE.
- 4 PROPOSED ADA ACCESSIBLE CONCRETE SIDEWALK, WIDTH VARIES.
- 5 PROPOSED CONCRETE SIDEWALK (NON-ADA), WIDTH VARIES.
- 6 6' COLORED/TEXTURED ADA PEDESTRIAN CROSSING, TYP.
- 7 HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE).
- 8 PRECAST CONCRETE WHEEL STOPS.
- 9 OUTDOOR PATIO.
- 10 MONUMENT SIGN.
- 11 BICYCLE RACK (3 SPACES).
- 12 MOTORCYCLE SIGN.
- 13 FIRE HYDRANT.
- 14 OUTDOOR DINNING SPACE.
- 15 SEATING SPACE.
- 16 8' CEDAR FENCE.
- 17 CLEAR SIGHT TRIANGLE.
- 18 SIDEWALK CULVERT, TYP.

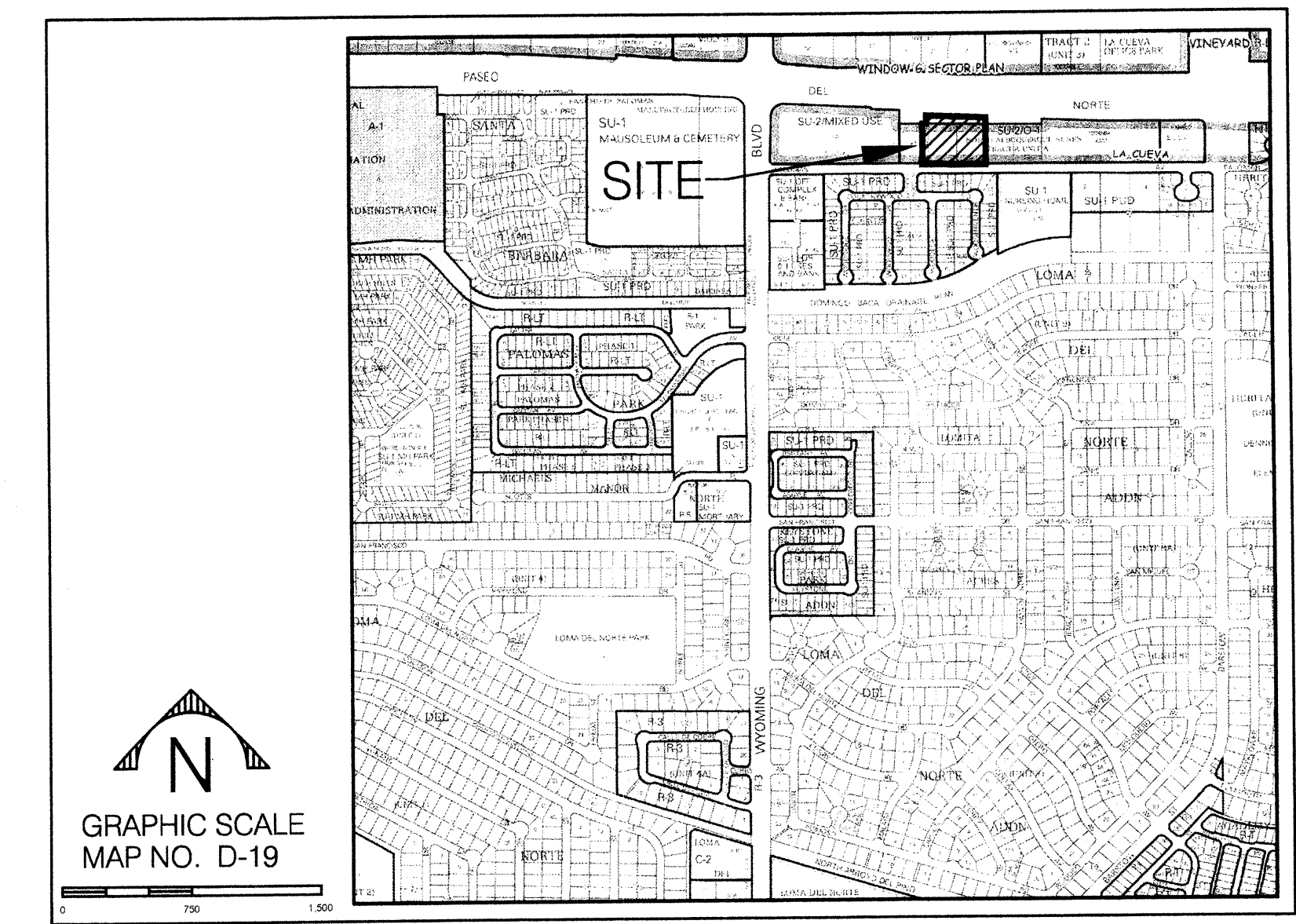
NOTES:

ALL RAMPS LOCATED WITHIN THE CITY OF ALBUQUERQUE RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Final Plat Recording Information:

Plat of Tracts A and B, MorningStar at Paloma (Being a Replat of Lots 25, 26, and 27, Block 21 and Southern portions of Lots 6, 7, and 8, Block 21, Tract A, Unit A, North Albuquerque Acres) Situate within the Elena Gallegos Grant in Projected Section 19 Township 11 North, Range 4 East New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico  
B: 2014C P. 0099 H

APD PLANS CHECKING OFFICE  
924-3611  
APPROVED/DISAPPROVED  
BY DEPARTMENT ONLY  
DATE: 10/21/14  
SIGNATURE & DATE



**SITE DATA:**  
LEGAL DESCRIPTION: A PORTION OF LOTS 6 THROUGH 8, LOTS 25, 26, AND 27, TRACT A, UNIT A BLOCK 21, NORTH ALBUQUERQUE ACRES  
SITE AREA: 2.23 ACRES  
EXISTING ZONING: SU-1 / O-2 USES  
PROPOSED LAND USE: 2-STORY ASSISTED LIVING FACILITY AND MEMORY CARE.  
BUILDING AREA: 33,267 S.F. (GROUND FLOOR)  
65,465 S.F. (TOTAL BUILDING AREA)  
MAXIMUM TOTAL BUILDING HEIGHT: 30 FEET.  
PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER 2 BEDS  
TOTAL PARKING REQUIRED: 44  
TOTAL PROVIDED PARKING: 50  
HANDICAPPED REQUIRED: 3  
HANDICAPPED PROVIDED: 3  
MOTORCYCLE REQUIRED: 2  
MOTORCYCLE PROVIDED: 3  
BICYCLE REQUIRED: 2  
BICYCLE PROVIDED: 3

PROJECT NUMBER: 1008952  
Application Number: 14DRB-70138

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 4, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

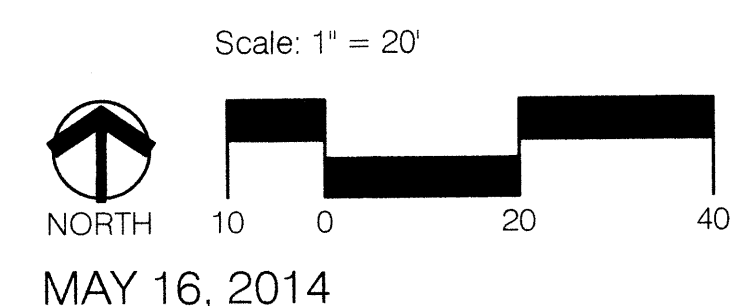
<i>[Signature]</i>	05-21-14	Date
Traffic Engineering, Transportation Division		
<i>[Signature]</i>	05/21/14	Date
ABC/WUA		
<i>[Signature]</i>	5-21-14	Date
Parks and Recreation Department		
<i>[Signature]</i>	8-20-14	Date
City Engineer		
<i>[Signature]</i>	8-20-14	Date
Solid Waste Management		
<i>[Signature]</i>	10-21-14	Date
DRB Chairperson, Planning Department		

# MORNINGSTAR of ALBUQUERQUE

## SITE PLAN FOR BUILDING PERMIT

Prepared For:  
MVG | Development  
1509 York Street, 3rd Floor  
Denver, CO 80206

Prepared By:  
Consensus Planning, Inc.  
302 Eighth St. NW  
Albuquerque, NM 87102

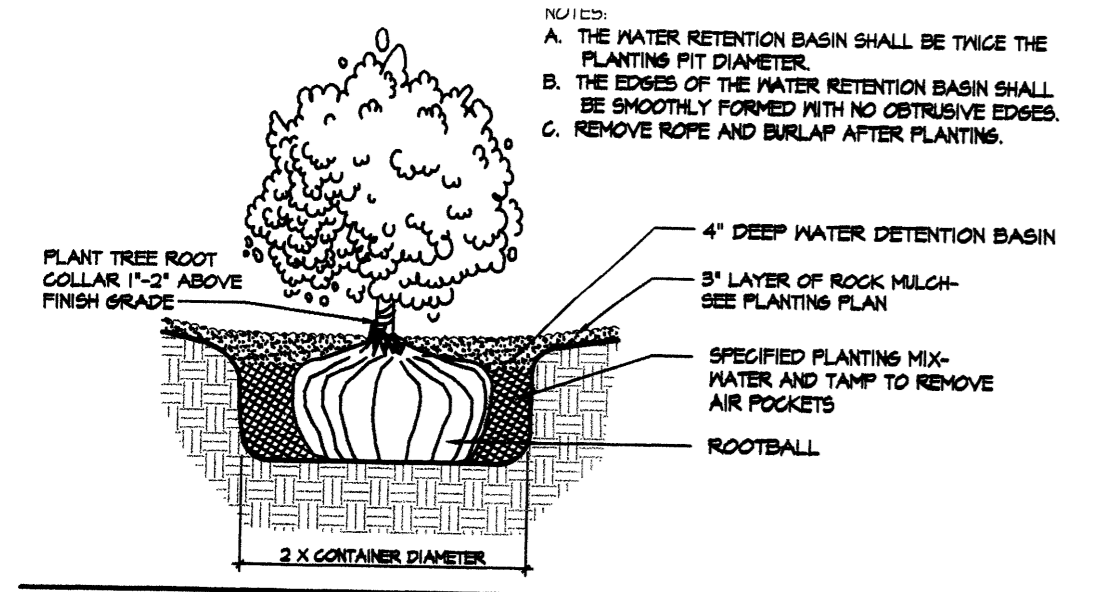


MAY 16, 2014



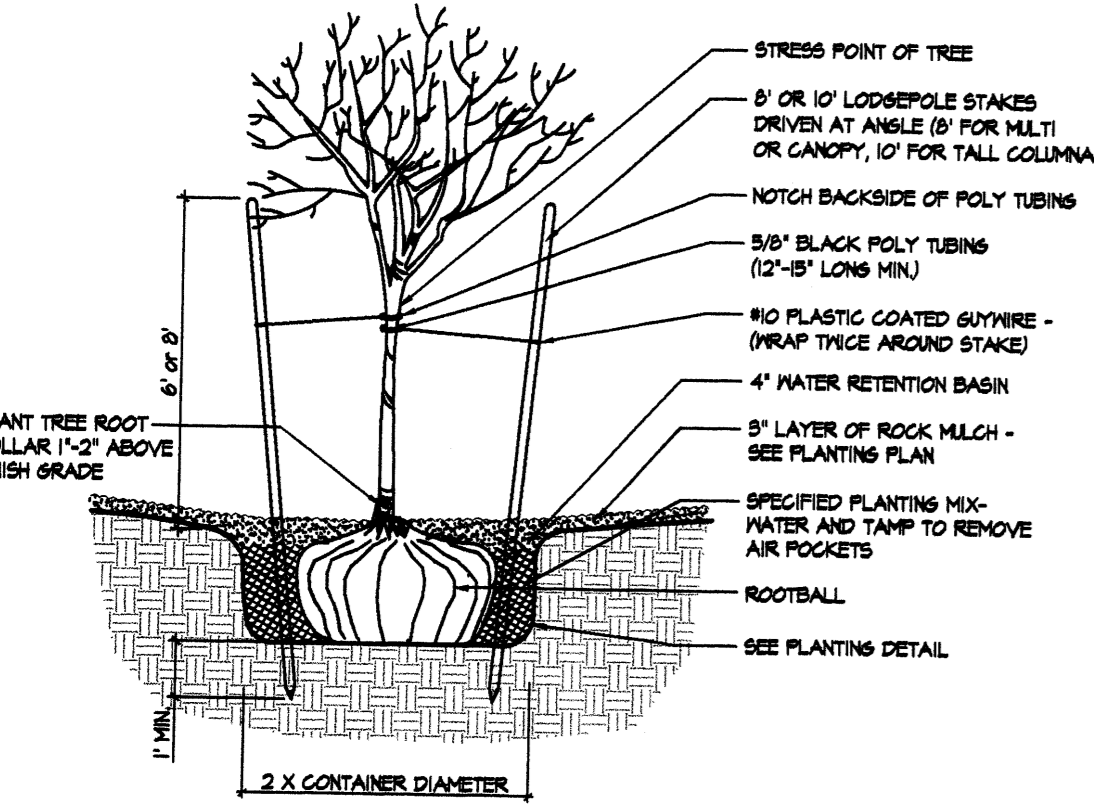
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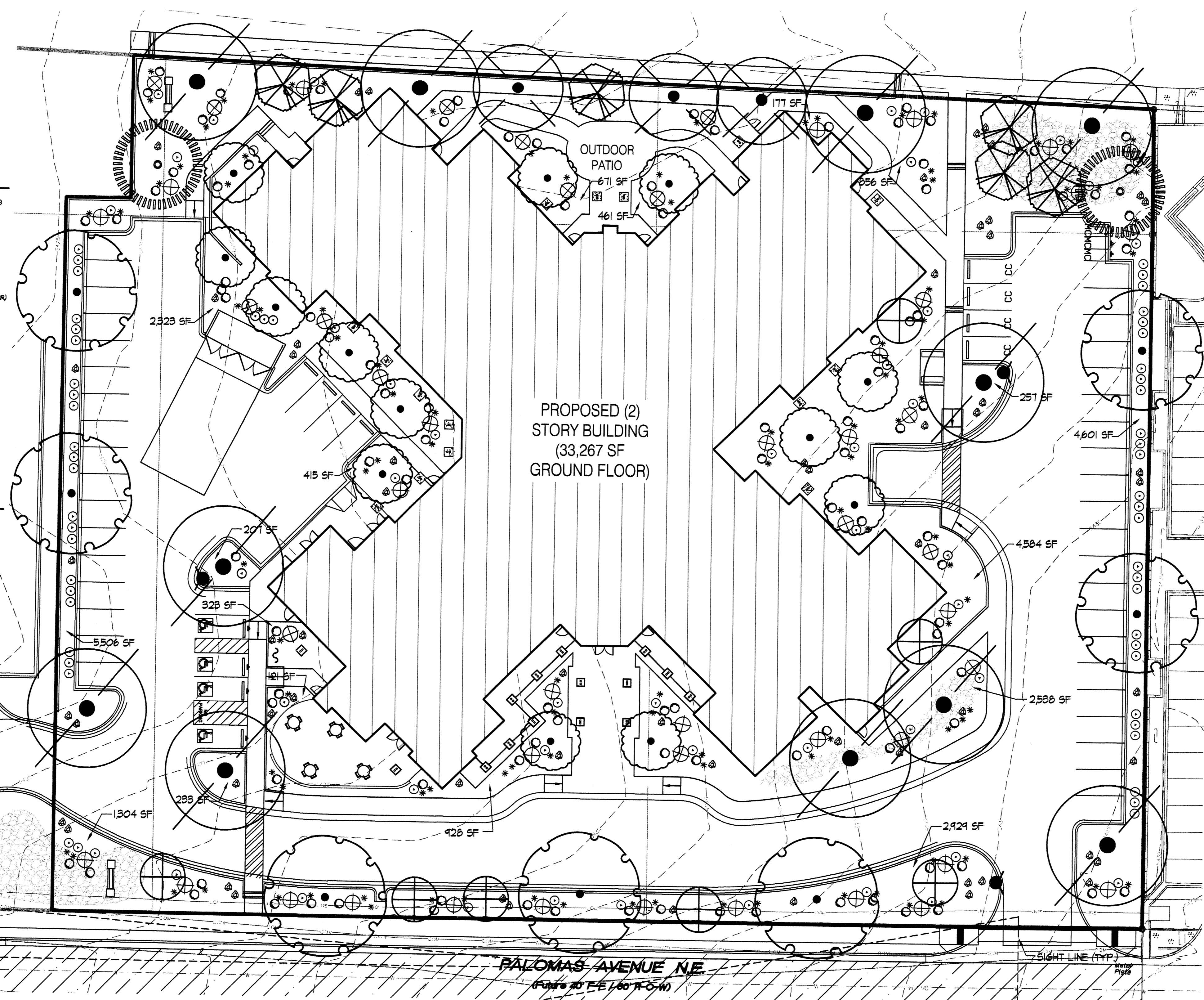


SHRUB PLANTING ON GRADE Not to Scale

NOTES:  
 A. THE WATER RETENTION BASIN SHALL BE THREE TIMES THE PLANTING PIT DIAMETER.  
 B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.  
 C. REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING ON GRADE Not to Scale



GENERAL LANDSCAPE NOTES  
 LANDSCAPE DESIGN  
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" BUILDLOGY BROWN ROCK MULCH AND 2"-4" COBBLE MULCH.

IRRIGATION  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE, SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

FINN COORDINATION  
 COORDINATION WITH FINN'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	47,198 SF (2.23 AC)
BUILDING AREA (BUILDING ENVELOPE):	33,267 SF
NET AREA:	63,871 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	9,580 SF
PROVIDED LANDSCAPE AREA:	28,514 SF (43%)

LANDSCAPE LIVE VEGETATIVE COVERAGE  
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PALOMAS PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE (OF THE 15%) IN THE LANDSCAPE AREAS.

PARKING LOT TREES  
 THE PALOMAS PROJECT IS PROVIDING 55 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 5  
 PARKING LOT TREES PROVIDED: 4

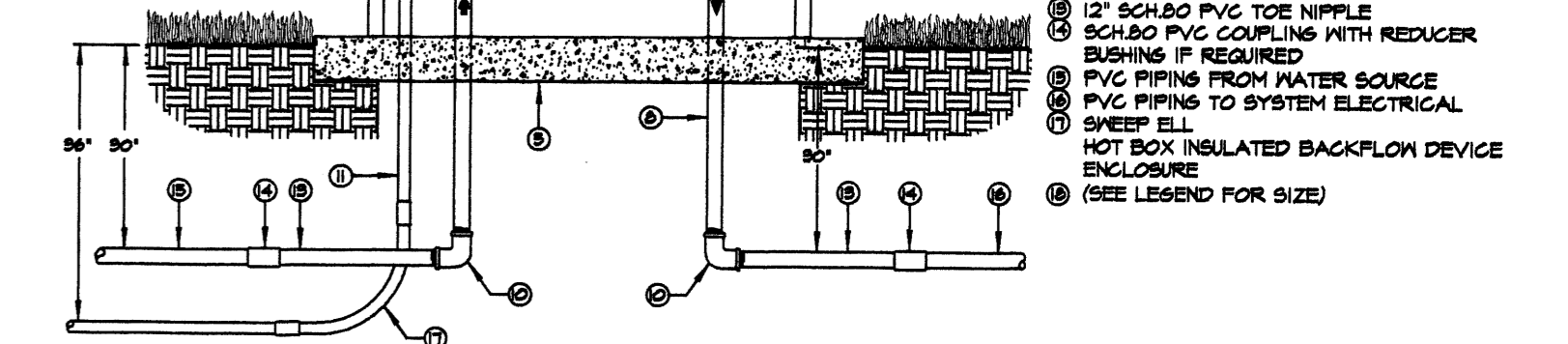
STREET TREES  
 PASEO DEL NORTE BOULEVARD FRONTAGE IS 341'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

STREET TREES REQUIRED: 11  
 STREET TREES PROVIDED: 11

SITE TREES  
 TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. THE PALOMAS PROJECT IS PROVIDING 28 FIRST FLOOR UNITS AND 41 SECOND STORY UNITS.

SITE TREES REQUIRED: 44  
 SITE TREES PROVIDED: 44

- NOTES:  
 1) CONTRACTOR TO VERIFY THAT ASSEMBLY OF BACKFLOW PREVENTER SHALL FIT INTO SPECIFIED INSULATED ENCLOSURE.  
 2) BACKFLOW PREVENTER MUST BE PROTECTED FROM FREEZING WITH POSITIVE HEAT SOURCE OR ASSEMBLY DRAINED BEFORE FREEZING WEATHER CONDITIONS OCCUR.  
 3) ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES THAT MAY APPLY.
- 1) REDUCED PRESSURE BACKFLOW PREVENTER (SEE LEGEND FOR MODEL AND SIZE)
  - 2) GALVANIZED STREET ELL
  - 3) 100 VOLT ELECTRICAL OUTLET (INSTALL PER NEC AND LOCAL CODES)
  - 4) GALVANIZED UNION
  - 5) 3000 PSI CONCRETE PAD - 4" THICK (SEE ENCLOSURE MANUFACTURER'S RECOMMENDATIONS FOR PAD DIMENSIONS)
  - 6) CLOSE GALVANIZED NIPPLE
  - 7) HATS 95-6000 SERIES 1" BALL VALVE (BUSHING IF REQUIRED)
  - 8) GALVANIZED NIPPLE (LENGTH AS REQUIRED)
  - 9) GALVANIZED TEE WITH 1" SIDE OUTLET
  - 10) GALVANIZED 90° ELBOW
  - 11) PVC ELECTRICAL CONDUIT
  - 12) GALVANIZED NIPPLE
  - 13) 1/2" SCH 80 PVC TIE NIPPLE
  - 14) SCH 80 PVC COUPLING WITH REDUCER BUSHING IF REQUIRED
  - 15) PVC PIPING FROM WATER SOURCE
  - 16) PVC PIPING TO SYSTEM ELECTRICAL
  - 17) SWEEP ELL
  - 18) HOT BOX INSULATED BACKFLOW DEVICE ENCLOSURE (SEE LEGEND FOR SIZE)



BACKFLOW PREVENTER Not to Scale

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
7	⊙	CELTIS OCCIDENTALIS COMMON HACKBERRY	2" B4B	16' HT. X 6' SPR. 40' HT. X 40' SPR.	MEDIUM
6	⊗	CHILOPSIS LINEARIS 'BUBBA' DESERT WILLOW	24" BOX	8' HT. X 6' SPR. 20' HT. X 25' SPR.	LOW+
7	⊕	FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL.	8' HT. X 5' SPR. 15' HT. X 15' SPR.	LOW+
11	⊙	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	25" B4B	14' HT. X 6' SPR. 40' HT. X 35' SPR.	MEDIUM+
2	⊙	PINUS ELДАРICA AFGHAN PINE	B4B	8' MIN HT. 30' HT. X 20' SPR.	MEDIUM
15	⊙	PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2" B4B	14' HT. X 5' SPR. 25' HT. X 20' SPR.	MEDIUM+
3	⊙	ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B4B	16' HT. X 6' SPR. 30' HT. X 30' SPR.	MEDIUM

SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
⊙	SHRUBS/GROUNDCOVERS			
⊙	CAESALPINIA GILLESII DESERT BIRD OF PARADISE	5-GAL.	3' O.C.	LOW
⊙	CHRYSOETHANUS NAUSEOSUS CHAMISA	1-GAL.	5' HT. X 5' SPR. 4' HT. X 4' SPR.	LOW
⊙	CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	1-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW
⊙	ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
⊙	ERYSIMUM 'BONLES MAUVE' BONLES MAUVE WALLFLOWER	1-GAL.	2' O.C. 1' HT. X 2' SPR.	LOW+
⊙	FALLUSIA PARADOXA APACHE PLUME	1-GAL.	5' O.C. 4' HT. X 4' SPR.	LOW
⊙	LAVENTULA ANGSTUFOLIA ENGLISH LAVENDER	1-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM
⊙	PENSTEMON AMBIGUUS BUSH PENSTEMON	5-GAL.	2' O.C. 2' HT. X 2' SPR.	MEDIUM
⊙	PEROVSKIA A. 'LITTLE SPIRE' DWARF RUSSIAN SAGE	5-GAL.	5' O.C. 3' HT. X 4' SPR.	MEDIUM
⊙	RAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5' O.C. 3' HT. X 4' SPR.	MEDIUM

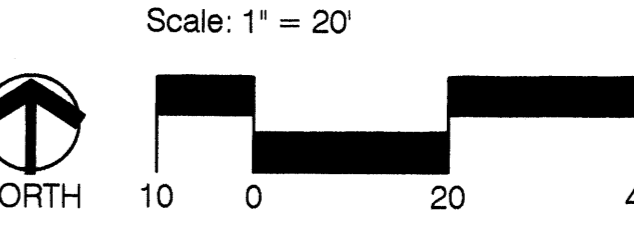
SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
⊙	SHRUBS/GROUNDCOVERS			
⊙	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW+
⊙	ROSMARINUS OFFICINALIS 'PROSTRATA' CREEPING ROSEMARY	5-GAL.	5' O.C. 3' HT. X 5' SPR.	LOW+
⊙	GALMAGROSTIS KARL FOERSTER' FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW+
⊙	MISCANTHUS SIN. 'GRACILLIMUS' MAIDEN HAIR GRASS	5-GAL.	4' O.C. 8' HT. X 4' SPR.	LOW
⊙	AGAVE PARRYI PARRY'S AGAVE	5-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
⊙	NOLINA MICROCARPA BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.	LOW
⊙	BOULDERS AND GRAVEL MULCH			
⊙	MOSS ROCK BOULDERS (3'X3' MINIMUM)			
⊙	2"-4" BUILDLOGY BROWN COBBLE MULCH (6" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)			
⊙	3" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)			

# MORNINGSTAR of ALBUQUERQUE

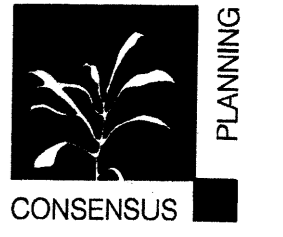
## LANDSCAPE PLAN

Prepared For:  
 MVG | Development  
 1509 York Street, 3rd Floor  
 Denver, CO 80206

Prepared By:  
 Consensus Planning, Inc.  
 302 Eighth St. NW  
 Albuquerque, NM 87102



MAY 16, 2014





**CALCULATIONS: 2033 - Palomas Assisted Living Facility : 1/15/2014**  
 Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

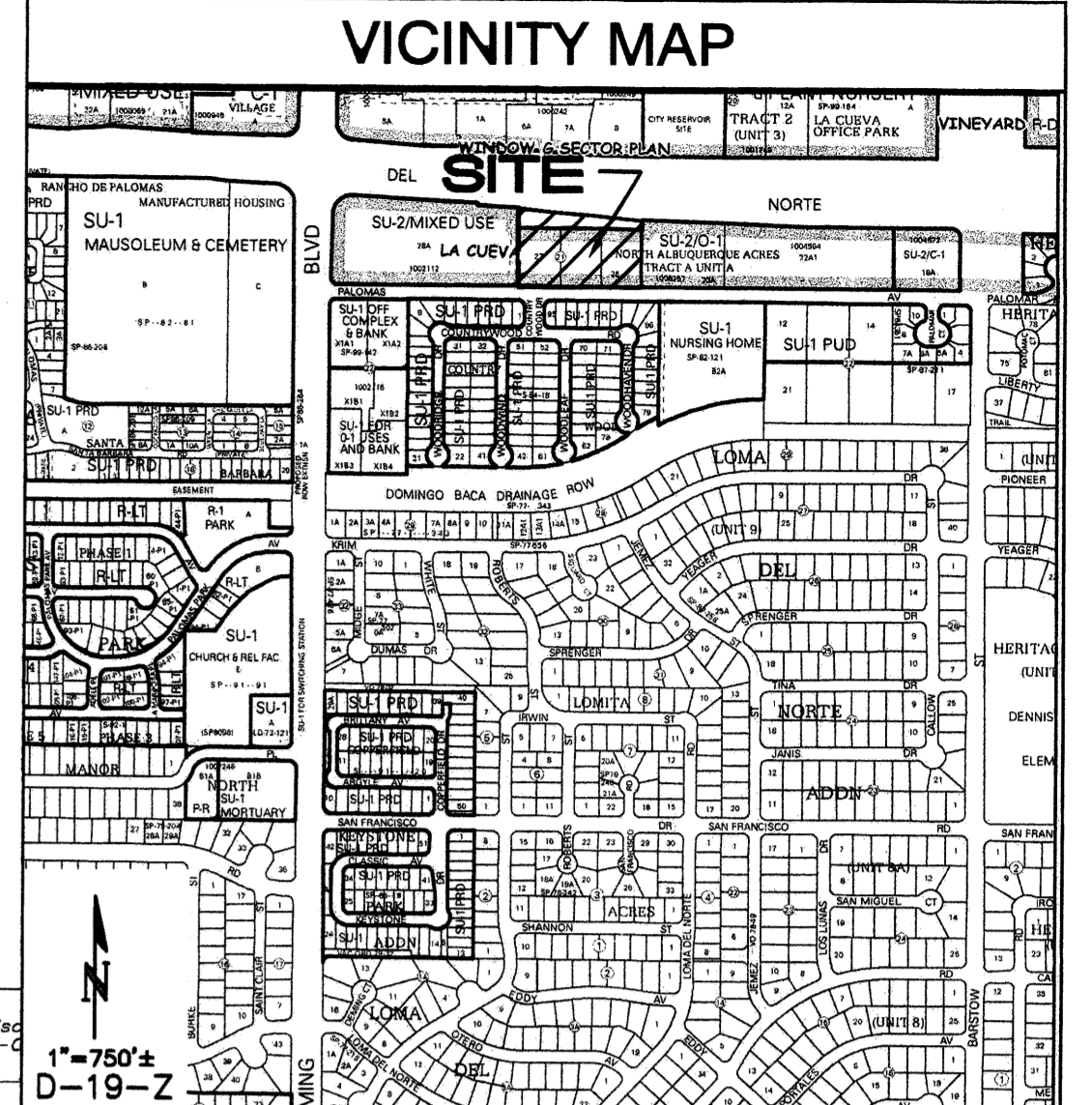
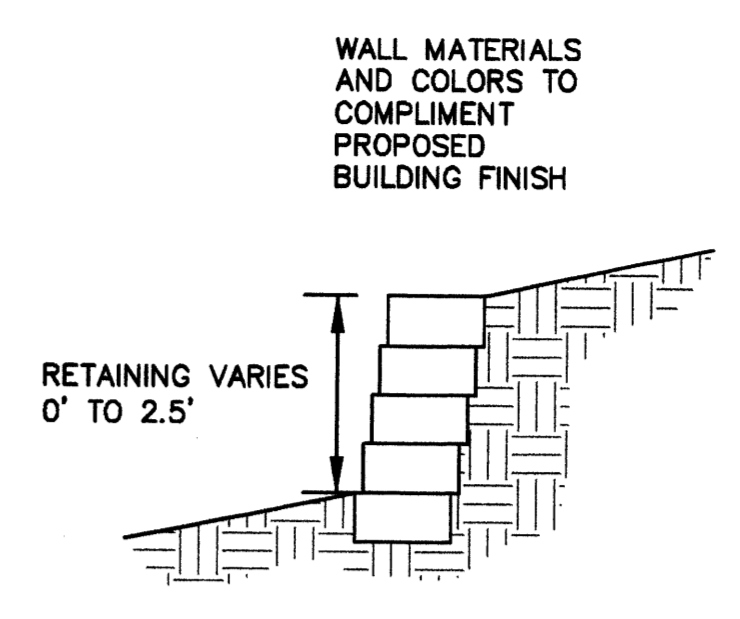
**ON-SITE**  
 AREA OF SITE: 101312 SF = 2.3  
 100-year, 6-hour  
**HISTORIC FLOWS:**  

Treatment SF	%	Treatment SF	%	EXCESS PRECIP:
Area A = 50656	50%	Area A = 0	0%	EA = 0.66
Area B = 50656	50%	Area B = 0	0%	EB = 0.92
Area C = 0	0%	Area C = 20262	20%	EC = 1.29
Area D = 0	0%	Area D = 81050	80%	ED = 2.36
<b>Total Area = 101312</b>	<b>100%</b>	<b>Total Area = 101312</b>	<b>100%</b>	

 On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
 Weighted E =  $E_{AA} + E_{AB} + E_{AC} + E_{AD}$   
 Historic E = 0.79 in. Developed E = 2.15 in.  
 On-Site Volume of Runoff:  $V_{360} = E \cdot A / 12$   
 Historic  $V_{360} = 6670$  CF Developed  $V_{360} = 18118$  CF  
 On-Site Peak Discharge Rate:  $Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD} / 43.560$   
 For Precipitation Zone 3  
 $Q_{pA} = 1.87$   $Q_{pB} = 3.45$   
 $Q_{pC} = 2.60$   $Q_{pD} = 5.02$   
 Historic  $Q_p = 5.2$  CFS Developed  $Q_p = 10.9$  CFS

BASIN NO.	DESCRIPTION	To NW Pond
1	Area of basin flows = 38274 SF = 0.9 Ac. The following calculations are based on Treatment areas as shown in table to the right Sub-basin Weighted Excess Precipitation (see formula above) Weighted E = 2.15 in. Sub-basin Volume of Runoff (see formula above) $V_{360} = 6845$ CF Sub-basin Peak Discharge Rate (see formula above) $Q_p = 4.1$ cfs	LAND TREATMENT A = 0% B = 0% C = 20% D = 80%
2	Area of basin flows = 30068 SF = 0.7 Ac. The following calculations are based on Treatment areas as shown in table to the right Sub-basin Weighted Excess Precipitation (see formula above) Weighted E = 2.15 in. Sub-basin Volume of Runoff (see formula above) $V_{360} = 5377$ CF Sub-basin Peak Discharge Rate (see formula above) $Q_p = 3.2$ cfs	LAND TREATMENT A = 0% B = 0% C = 20% D = 80%
3	Area of basin flows = 32970 SF = 0.8 Ac. The following calculations are based on Treatment areas as shown in table to the right Sub-basin Weighted Excess Precipitation (see formula above) Weighted E = 2.15 in. Sub-basin Volume of Runoff (see formula above) $V_{360} = 5896$ CF Sub-basin Peak Discharge Rate (see formula above) $Q_p = 3.6$ cfs	Free discharge at NW corner

**SITE DRAINAGE:**  
 THE SITE WILL BE DIVIDED INTO THREE DRAINAGE BASINS.  
 BASIN 1 WILL FREE DISCHARGE APPROXIMATELY 4.1 CFS TO PALOMAS AVE. TO CONTINUE WEST TO THE EXISTING PUBLIC STORM DRAIN SYSTEM.  
 BASINS 2 AND 3 WILL BE DIRECTED TO RETENTION / WATER HARVESTING PONDS LOCATED AT THE NE AND SE CORNERS OF THE PROPERTY. FLOW IN EXCESS OF CAPACITY WILL BE DIRECTED TO THE PASEO DEL NORTE R.O.W.  
 BASIN 2 + BASIN 3 WILL GENERATE APPROXIMATELY 6.8 CFS. DISCHARGE TO PASEO DEL NORTE IS LIMITED TO THE HISTORIC DISCHARGE RATE OF 5.2 CFS. POND(S) WILL BE CONSTRUCTED WITHIN THE PROPERTY TO CONTROL THE RELEASE TO ALLOWABLE RATES.  
 FLOW TO THE PASEO DEL NORTE R.O.W. WILL BE PASSED VIA COVERED SIDEWALK CULVERTS OR BY DIRECT CONNECTION TO THE EXISTING HIGHWAY DEPT. STORM DRAIN SYSTEM. DISCHARGE TO THE NMDOT R.O.W. WILL BE COORDINATED WITH NMDOT AS PART OF THE BUILDING PERMIT SET.  
 LANDSCAPE AREAS WILL BE DEPRESSED FOR WATER HARVESTING EXCEPT IN AREAS WITHIN 10' OF A STRUCTURE.



**PROJECT DATA**

**PROPERTY:** THE SITE IS AN UNDEVELOPED 2.3 ACRE PROPERTY (TO BE REPLANTED INTO A SINGLE LOT) LOCATED WITHIN C.O.A. VICINITY MAP D-19. THE SITE IS BOUND TO THE EAST BY DEVELOPED COMMERCIAL, TO THE WEST BY A 0.94-ACRE UNDEVELOPED PROPERTY (TO BE CREATED AS PART OF REPLANT), TO THE NORTH BY PASEO DEL NORTE BLVD. R.O.W. AND TO THE SOUTH BY PALOMAS BLVD.

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE AN ASSISTED LIVING FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

**LEGAL:** PORTIONS OF LOTS 25, 26 AND 27, 6, 7 AND 8, BLOCK 21 TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NM

**BENCHMARK:** VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN", ELEVATION = 5378.235 FEET (NAVD 88).

**OFF-SITE:** NO OFF-SITE DRAINAGE WILL IMPACT THIS PROPERTY. EXISTING UNROUTED BLOCK JOINTS AND SMALL DIAMETER PIPES IN EXISTING ADJACENT PROPERTY WALL AT NE END OF PROPERTY WILL BE PLUGGED TO PREVENT DISCHARGE INTO THIS PROPERTY.

**FLOOD HAZARD:** PER BERNALILLO COUNTY FIRM MAP #35001C0141G, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

**DRAINAGE PLAN CONCEPT:** BASED ON THE NORTH AND SOUTH DOMINGO BACA ARROYOS AND PASEO DEL NORTE (PDN) CORRIDOR DRAINAGE MANAGEMENT PLAN PREPARED BY RESOURCE TECHNOLOGY, INC. (1991) 100% OF THE SITE HISTORICALLY DRAINS TO PDN. IN THE DEVELOPED CONDITION, THE SITE IS PERMITTED TO CONTINUE TO RELEASE HISTORIC RATES TO PDN EITHER AS SURFACE FLOW OR WITH A NEW STORM DRAIN CONNECTION TO THE EXISTING PUBLIC STORM DRAIN INLET WITHIN THE PDN R.O.W. ANY DISCHARGE TO PALOMAS AVE. IS UNRESTRICTED. DETENTION POND(S) WILL BE CONSTRUCTED ALONG THE NORTH END OF THE PROPERTY TO CONTROL DISCHARGE TO ALLOWABLE RATES.

**ENGINEER:** FRED C. ARFMAN: NMPE NO. 7322  
 ISAACSON & ARFMAN, PA  
 128 MONROE N.E.  
 ALBUQUERQUE, NEW MEXICO 87108

**SURVEYOR:** RUSSELL P. HUGG: NMPS NO. 9750  
 SURV-TEC, INC.  
 9384 VALLEY VIEW DRIVE, N.W.  
 ALBUQUERQUE, NEW MEXICO 87114

**LEGEND**

- ① PROPOSED DRAINAGE BASIN
- BASIN LIMITS
- PROPOSED FLOW DIRECTION
- F.F. = PROPOSED FINISH FLOOR ELEVATION
- 31 = PROPOSED CONTOUR
- ◆ 32.3 = PROPOSED SPOT ELEVATION

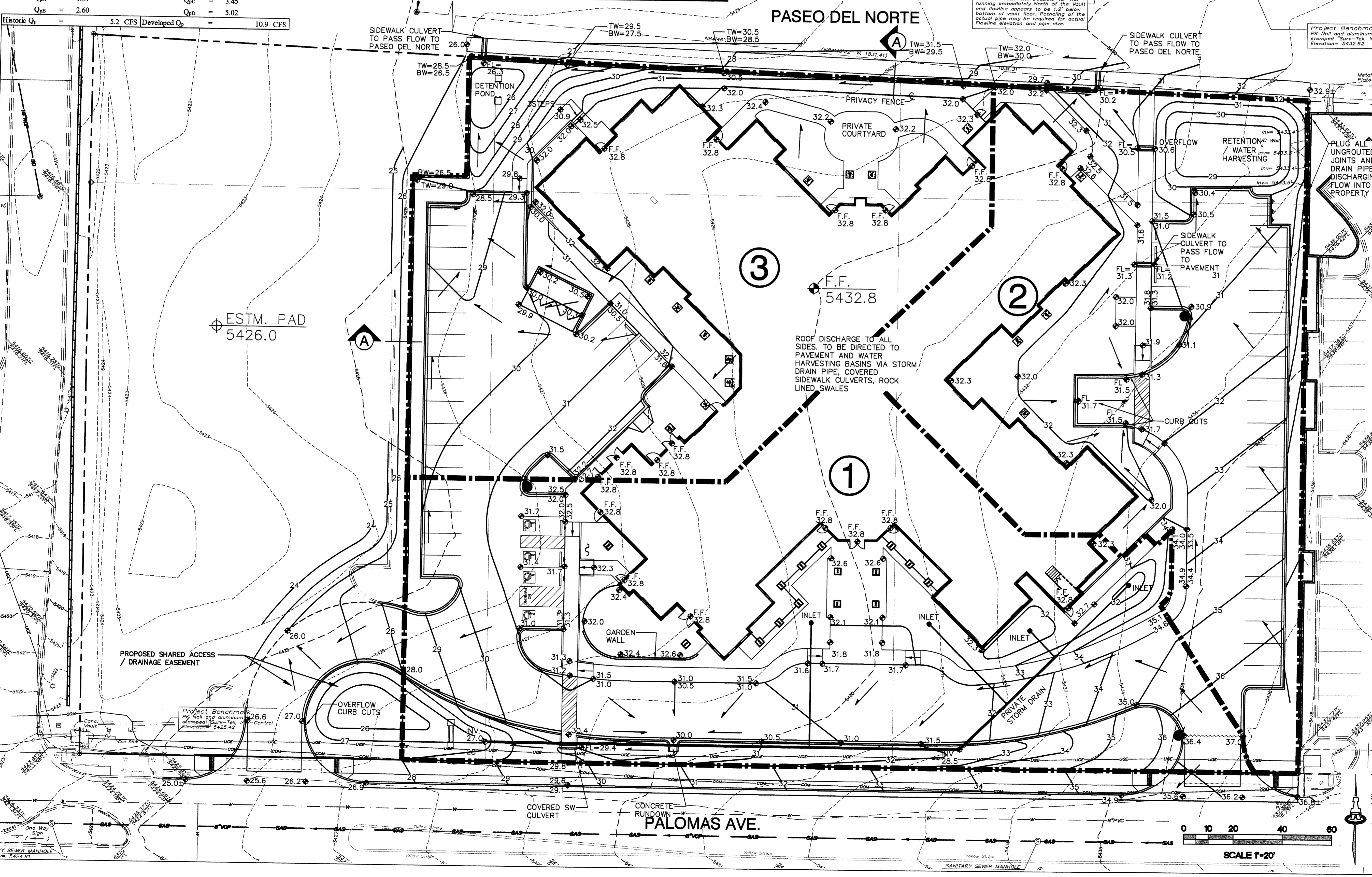
**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.isaact.com

2033 CG-101.dwg May 15, 2014

**MorningStar of Albuquerque**  
 MVG DEVELOPMENT

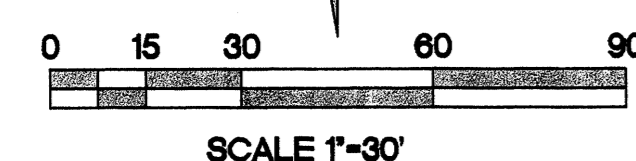
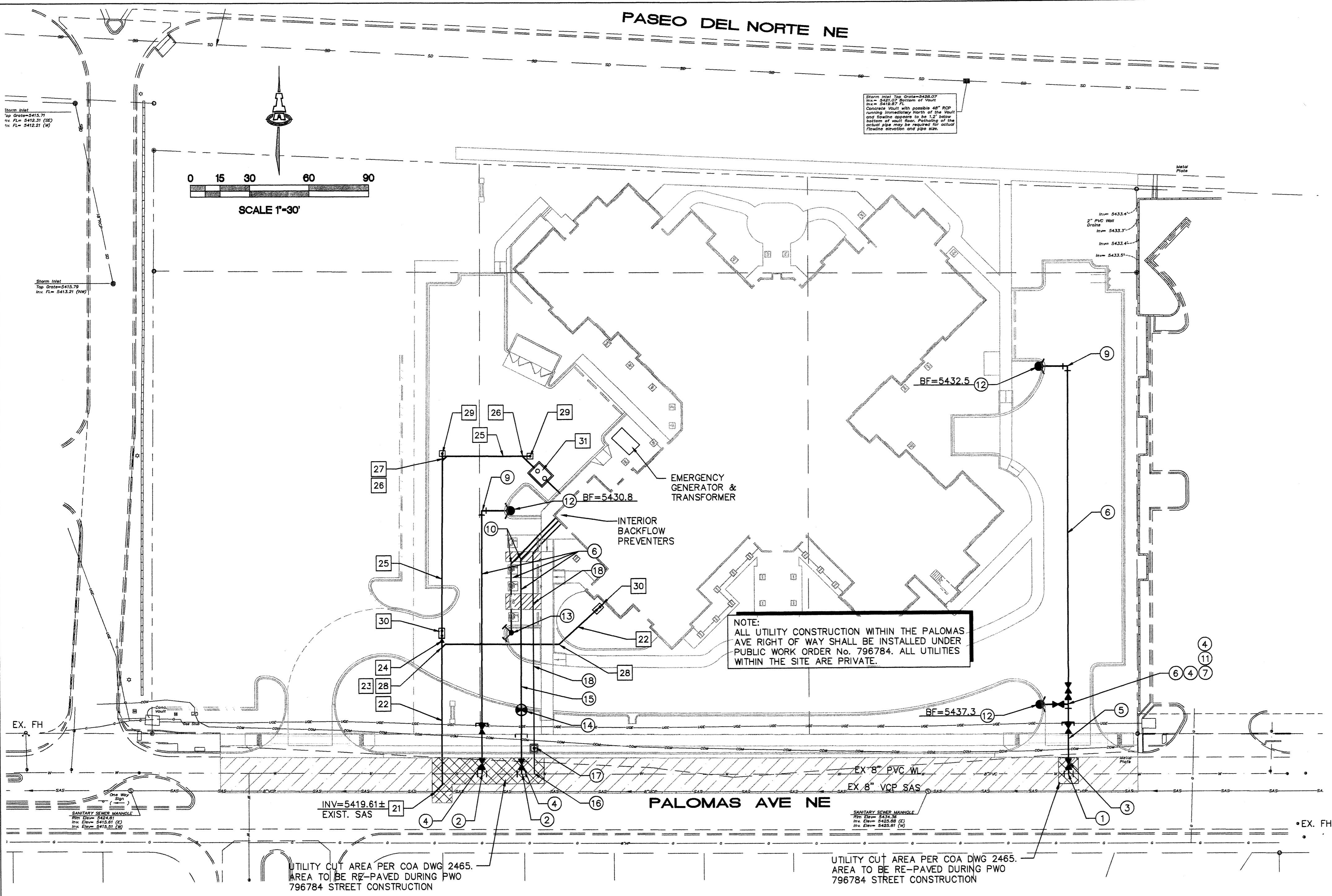
**CONCEPTUAL GRADING & DRAINAGE PLAN**

Date: 05/05/14 No. Revision: Date: Job No. IA: 2033  
 Drawn By: BJB CG-101  
 Ckd By: FCA SH. CF



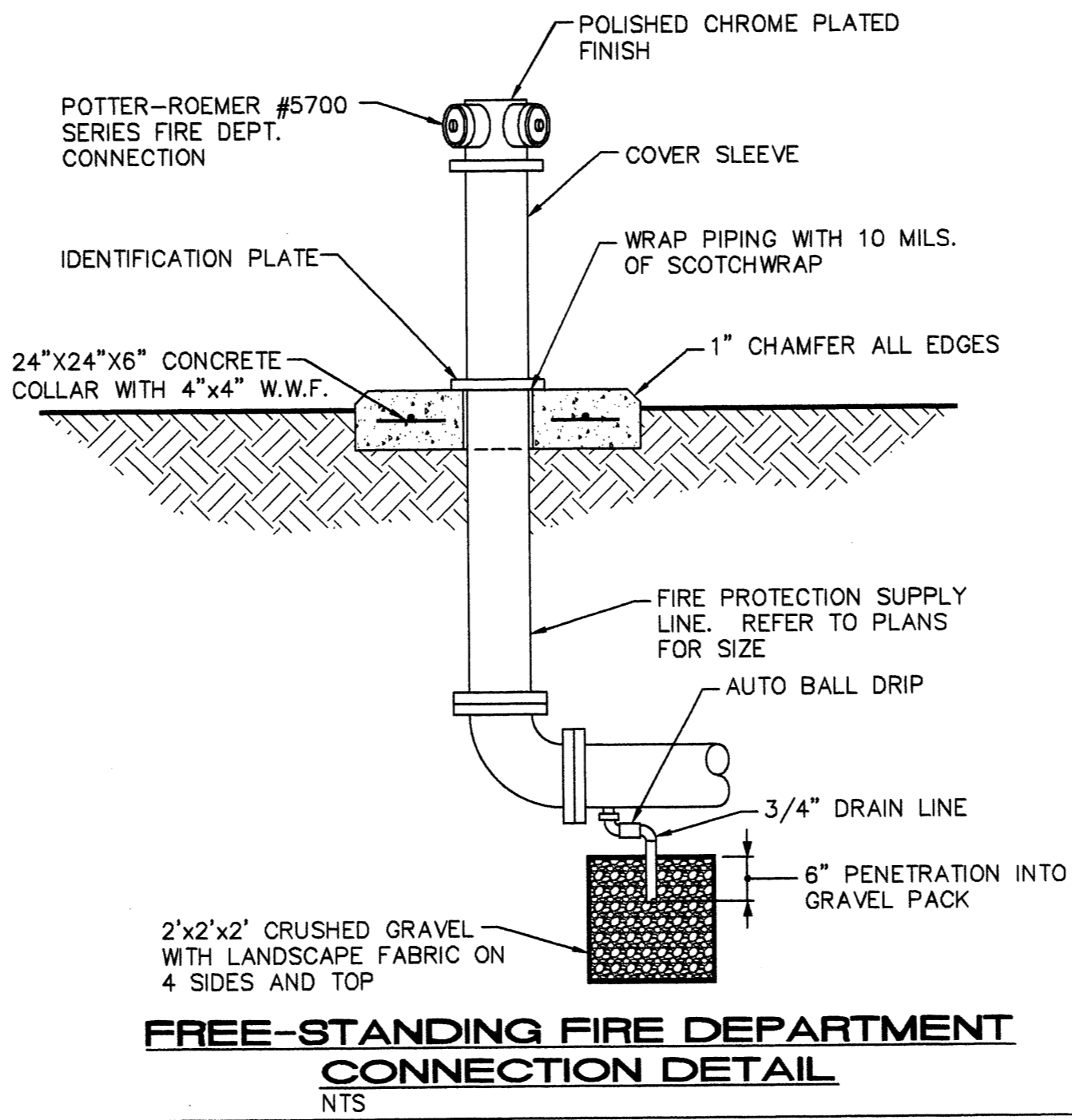
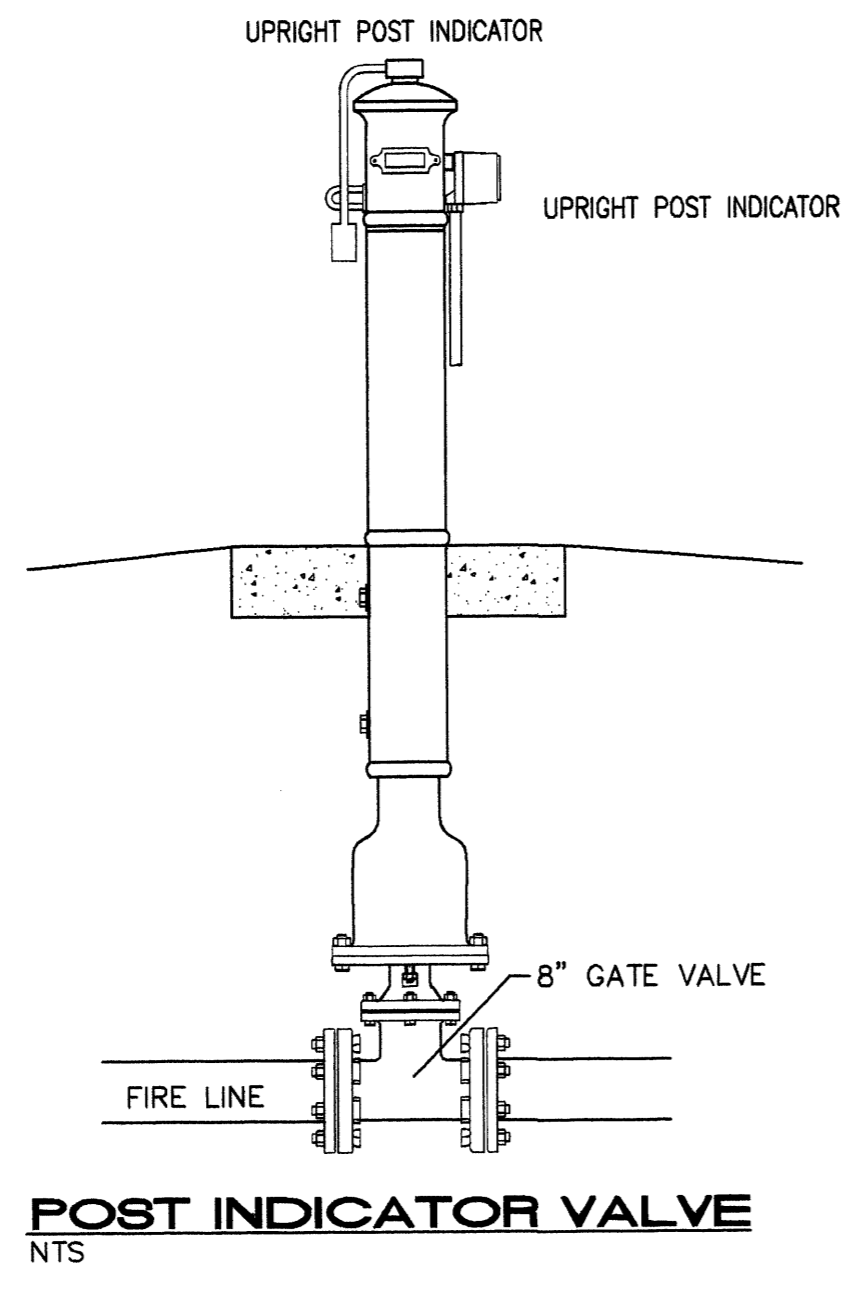
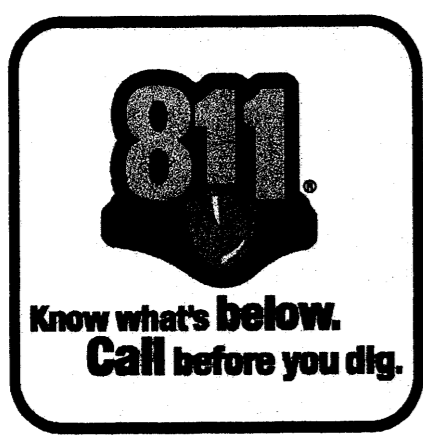


PASEO DEL NORTE NE



LEGEND

- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- WATER METER & BOX
- FIRE HYDRANT
- GATE VALVE W/ BOX
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- EXISTING WATERLINE
- EXISTING SEWER LINE
- PAVEMENT UTILITY CUT AREA PER COA STD DWG 2465 MAJOR LOCAL.



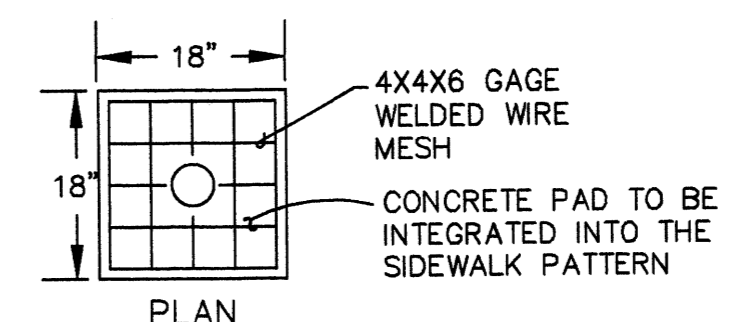
NOTES:

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
5. PER NOTE #2, RESTRAINTS ARE REQUIRED AT THE TEE BUT NOT ON THE RUNS OR BRANCHES.

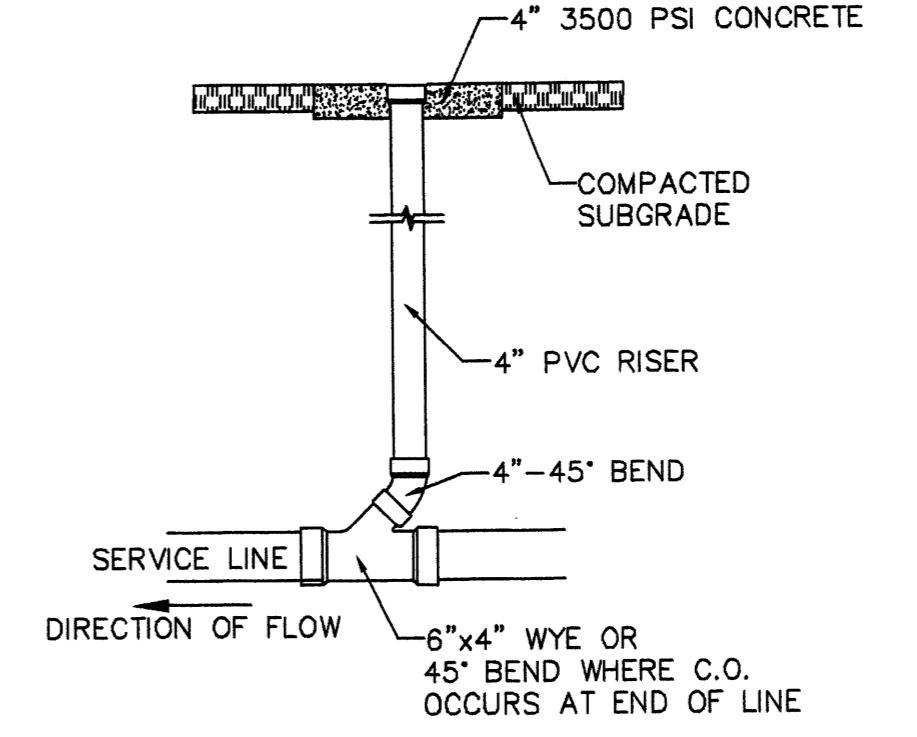
DEPTH OF BURY: 3.0 FT. MINIMUM  
 FACTOR OF SAFETY: 1.50  
 MATERIAL: PVC  
 SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES, 150 PSI  
 TEST PRESSURE: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.  
 TRENCH TYPE 4:

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

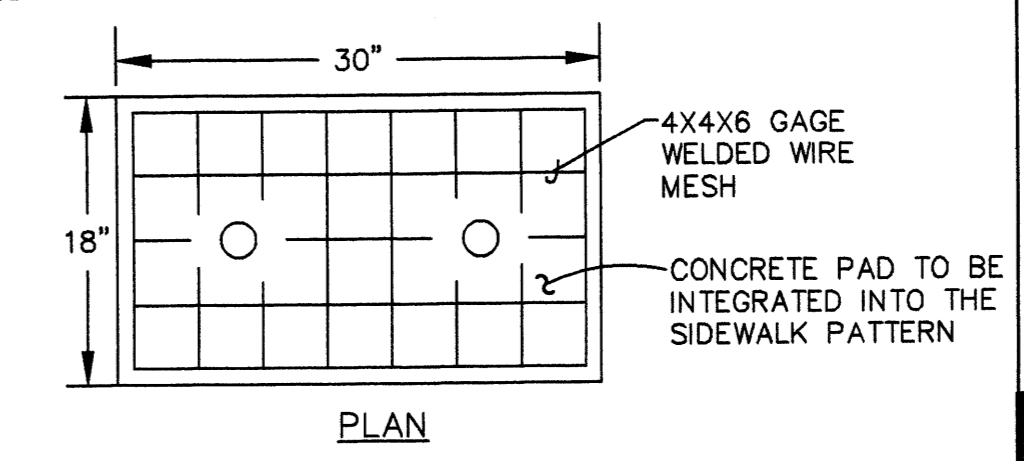
RESTRAINED JOINT CRITERIA FOR WATERLINE FITTINGS



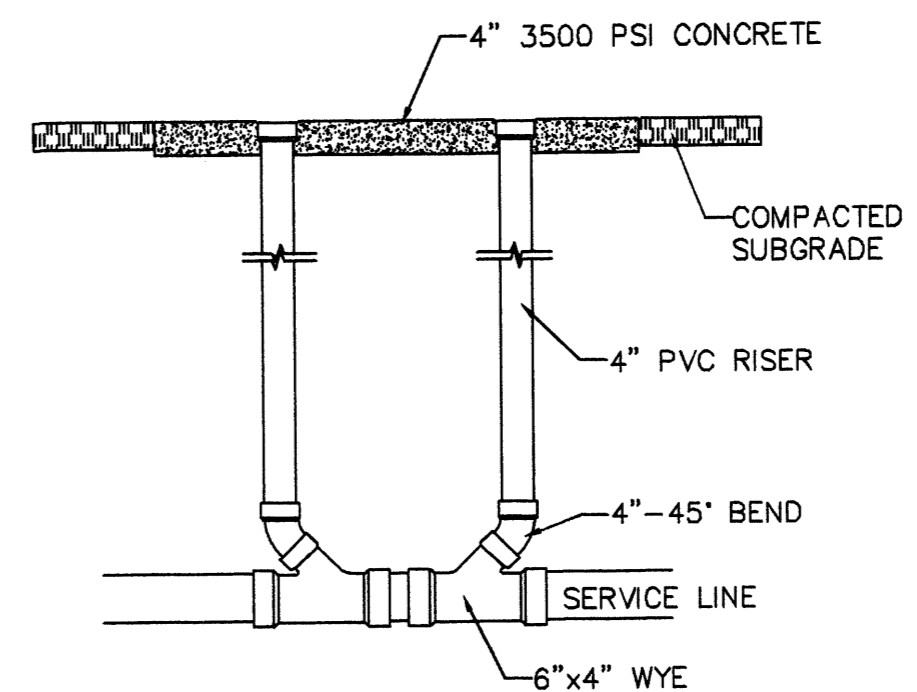
CONCRETE PAD FOR SAS CLEANOUT



SINGLE CLEANOUT DETAIL



CONCRETE PAD FOR SAS CLEANOUT



DOUBLE CLEANOUT DETAIL

GENERAL NOTES

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
3. SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
4. ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINT NOTES, THIS SHEET.

KEYED NOTES

- WATER KEYED NOTES
1. NON-PRESSURE CONNECTION W/ 8"x8" TEE AND COUPLING. (LT=1')
  2. NON-PRESSURE CONNECTION W/ 8"x6" TEE AND COUPLING. (LT=1')
  3. 8" GATE VALVE W/ BOX PER ABCWA STD. DWGS. 2326 & 2329. (LT=60')
  4. 6" GATE VALVE W/ BOX PER ABCWA STD. DWGS. 2326 & 2329. (LT=46')
  5. 8" WATERLINE
  6. 6" WATERLINE.
  7. 8"x6" TEE. (LT=1')
  8. 8" - 90° BEND. (LT=27')
  9. 6" - 90° BEND. (LT=20')
  10. 6" - 45° BEND. (LT=9')
  11. 8" x 6" REDUCER. (LT=31')
  12. FIRE HYDRANT & BOTTOM FLANGE ELEVATION PER ABCWA STD. DWG 2340.
  13. FIRE DEPT. CONNECTION (FDC).
  14. POST INDICATOR VALVE (PIV). (LT=32')
  15. 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.
  16. 2" WATER SERVICE PER ABCWA STD. DWG. 2363 & 2367.
  17. METER BOX FOR 2" METER PER ABCWA STD. DWG. 2367.
  18. 2" WATER SERVICE LINE.
- SEWER
21. SEWER SERVICE CONNECTION PER ABCWA STD. DWG. 2125.
  22. 6" SEWER SERVICE LINE AT 2% MIN SLOPE.
  23. 6" WYE
  24. 6" x 4" REDUCER.
  25. 4" GREASE LINE AT 2% MIN. SLOPE.
  26. 4" - WYE.
  27. 4" - 45° BEND.
  28. 6" - 45° BEND.
  29. SINGLE CLEANOUT.
  30. DOUBLE CLEANOUT.
  31. GREASE INTERCEPTOR.

**ISAACSON & ARFMAN, P.A.**  
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 128 Monroe Street N.E.  
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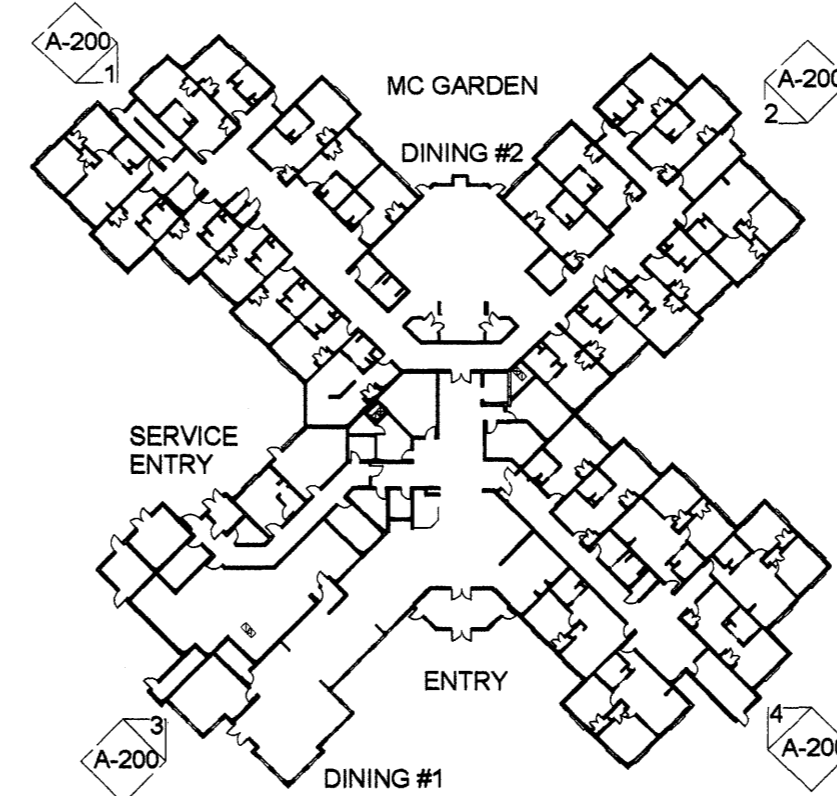
MorningStar of Albuquerque  
 MVG DEVELOPMENT  
 UTILITY PLAN

Date:	05/05/14	No. Revision:		Date:		Job No.:	IA-2033
Drawn By:							CU-101
Okd By:	FCA						SH. OF





6 Entry Perspective



5 KEY PLAN - ELEVATIONS  
1" = 60'-0"

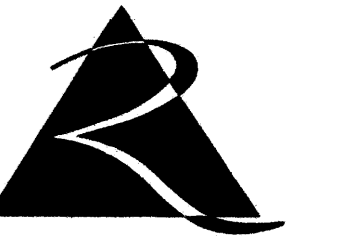
	SC1 = STUCCO, OFF-WHITE		WB = WOOD BEAM
	SC2 = STUCCO 2, ACCENT		ST = STACKED STONE
	SC3 = STUCCO 3, ACCENT		
	TR = TILE ROOF, RUST RED COLOR		
	WD = DARK STAINED WOOD		

NOTE: MAX HEIGHT TO BE 30'-0"

**Elevation Material Legend**  
1/4" = 1'-0"

PRINTS ISSUED  
5.06.14

REVISIONS:



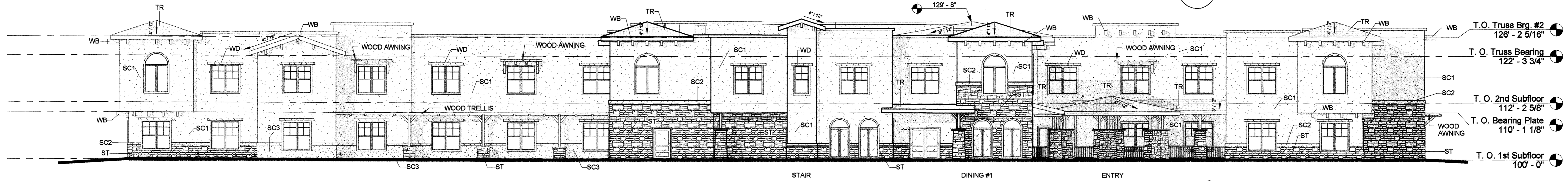
**ROSEMANN & ASSOCIATES, P.C.**  
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engineering  
planning

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Denver, CO 80205-2111  
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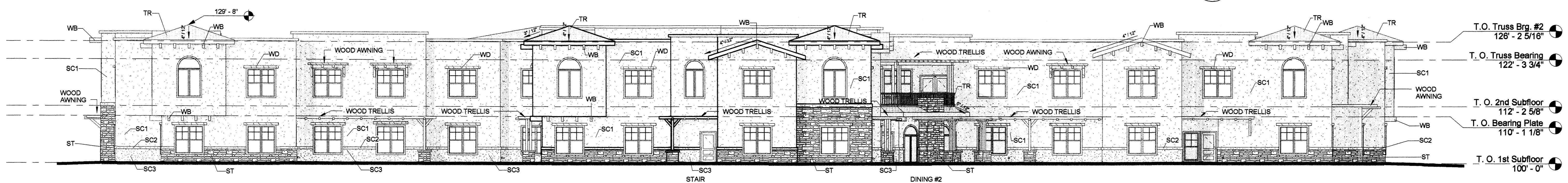
e: design@rosemann.com  
w: www.rosemann.com  
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Denver, CO & Kansas City, MO & St. Louis, MO



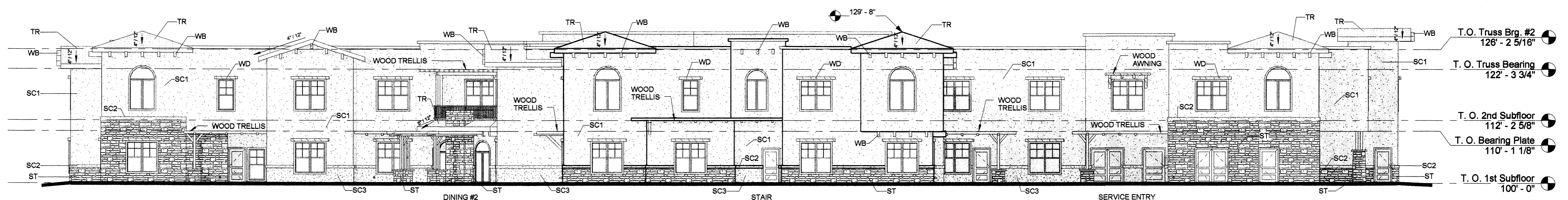
4 Southeast Elevation  
3/32" = 1'-0"



3 Southwest Elevation  
3/32" = 1'-0"



2 Northeast Elevation  
3/32" = 1'-0"



1 Northwest Elevation  
3/32" = 1'-0"

**MVG-MorningStar Assisted Living  
& Memory Care Project**  
Paseo del Norte and Private Drive  
Albuquerque New Mexico

SHEET TITLE  
EXTERIOR ELEVATIONS

PROJECT NUMBER: 14013

SHEET NUMBER:

**A.200**

DRAWN BY: ZDC CHECKED BY: NPR