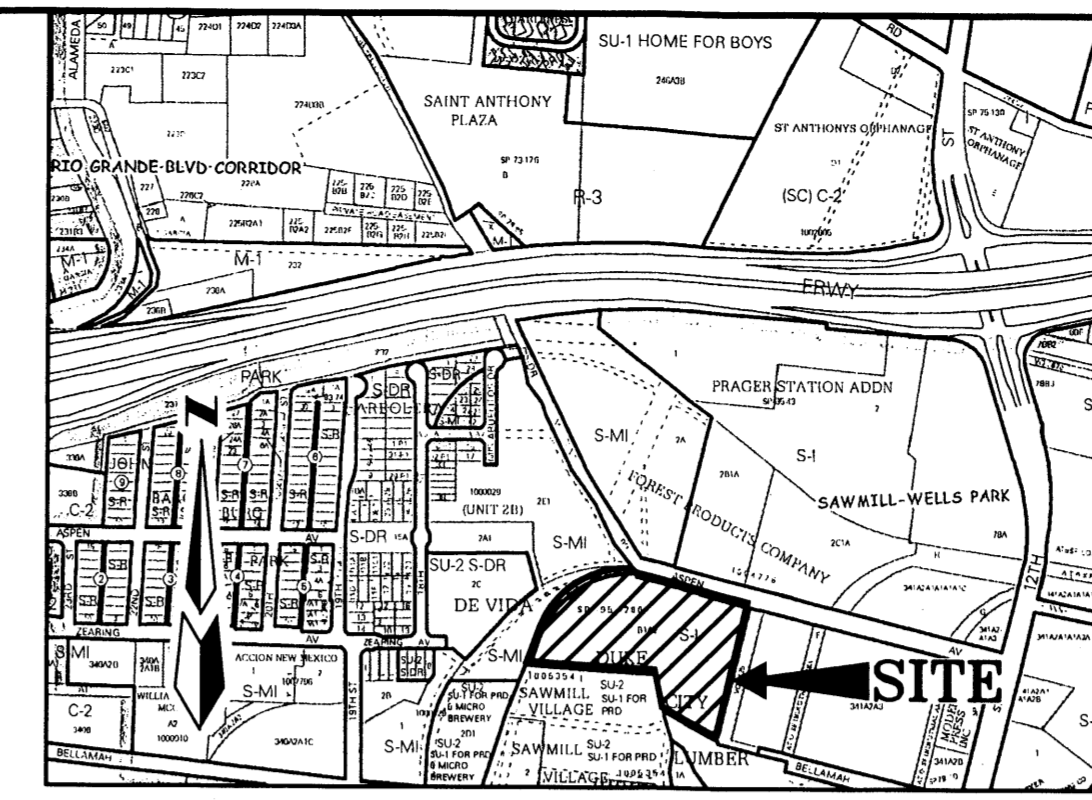
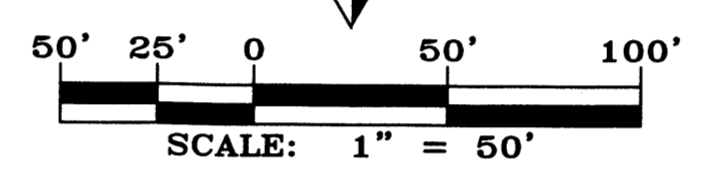


DRAINAGE NOTE
 AS NECESSARY, EACH REAR YARD SHALL CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARD RUNOFF FROM ADJOINING LOTS. TO BE FURTHER DETAILED ON THE FINAL PLAN. SIDE YARDS THAT ARE NOT PART OF AN ATTACHED DWELLING SHALL ALSO CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARDS FLOWS TO THE STREET.

TEMPORARY EMERGENCY ACCESS WITH CRASH GATE PER CITY FIRE DEPARTMENT REQUIREMENTS IF VEHICULAR CONNECTION TO BELLAMAH IS NOT AVAILABLE UNTIL AFTER THE COMPLETION OF PHASE II CONSTRUCTION



- CONTEXT MAP**
- | | | |
|---------------------------|--|--|
| 1. SUBJECT SITE | 8. FUTURE SCLT ECONOMIC DEVELOPMENT | 14. VACANT (SCLT OWNERSHIP) |
| 2. SAWMILL VILLAGE (SCLT) | 9. ROGER COX WAREHOUSE | 15. FORMER BLUE LINX WAREHOUSE (EXPLORA-OWNED) |
| 3. KESHET DANCE (COA) | 10. ROBERTS TRUCK RENTAL & SERVICE | 16. EXPLORA |
| 4. PONDING AREA FOR SCLT | 11. UNITED PARCEL SERVICE | 17. NM MUSEUM OF NATURAL HISTORY |
| 5. SCLT SENIOR HOUSING | 12. NM TIMBER & VIGA (FORMERLY CIELO AT SAWMILL) | 18. TIGUEX PARK |
| 6. SCLT LOFTS APARTMENTS | 13. EXISTING 15TH ST. (SAWMILL NEIGHBORHOOD) | 19. EXISTING OFFICE/WAREHOUSE |



LEGAL DESCRIPTION

That a certain parcel of land situate within the Town of Albuquerque Grant in projected Section 7, Township 19 North, range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo county, New Mexico, being and comprising Tract lettered "B-1-A-2", DUKE CITY LUMBER COMPANY filed in the office of the county Clerk of Bernalillo County, New Mexico, on December 15, 1995, in Volume 95C, Folio 451, containing 6.9292 acres, more or less.

THE SITE:

The site area is presently zoned SU-2 / S-1 and under the jurisdiction of the Sawmill / Wells Park Sector Development Plan and the Sawmill / Wells Park Community Metropolitan Redevelopment Area Plan.

PROPOSED USE CHANGES:

The property is to be changed to SU-2 / SU-1 for Planned Residential Development. Allowed uses shall be as permissive in the City R-T Zone.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:

Vehicular Access: Primary access will be via Aspen Avenue with secondary access via a new connection to an off-site extension of Bellamah Avenue from the adjoining Sawmill Village. Bellamah will eventually be extended 350' to the east where it will connect to the existing Bellamah Ave. upon redevelopment of Tract "B-1-A-3", Duke City Lumber Company. Internal access through the site will be via public streets.

Pedestrian, Bicycle and Trail Access: New sidewalks will meet the current development process manual requirements. A new 6' sidewalk will eventually connect to the Sawmill Village south of site just off the Bellamah Ave. extension. This walking trail shall contain at least four park benches and maximum 3-foot bollard lighting for pedestrian safety spaced at 100' on center along its length.

Transit Access: Route 36 runs along 12th street which is 1000 feet east of the site. Route 790 runs along Rio Grade Blvd, which is approximately 2000 feet west of the site.

INTERNAL CIRCULATION REQUIREMENTS:

Internal circulation will be via public on-site streets, which will contain 4' sidewalks on each side of the street and a 6' sidewalk north-south through the middle of the site.

BUILDING HEIGHTS AND SETBACKS:

Maximum allowed building heights shall be 26 feet. See setback provisions under design standards.

MAXIMUM TOTAL DWELLING UNITS AND MINIMUM LOT AREA:

Maximum total number of residential units shall be 80 and overall site density shall not exceed 12 du/ac.

LANDSCAPE STANDARDS:

For Landscaping information see Sheet 5 of this plan set. All landscaping shall be per the City of Albuquerque Zoning Ordinance.

PHASING:

Phase I will consist of 27 lots and obtain its access from Aspen Ave. Once Phase I is close to buildout, Phase II construction may be undertaken and the entire project will be completed, with possible secondary access being off Bellamah Ave.

APPLICATION NUMBER: _____ PROJECT NUMBER: 1009046

City Approvals:

Traffic Engineering, Transportation Division	<i>[Signature]</i>	06-06-12
Utilities Development	<i>[Signature]</i>	04/06/12
Parks and Recreation Department	<i>[Signature]</i>	6-6-12
City Engineer	<i>[Signature]</i>	6-6-12
DRB, Chairperson, Planning Department	<i>[Signature]</i>	8-22-12

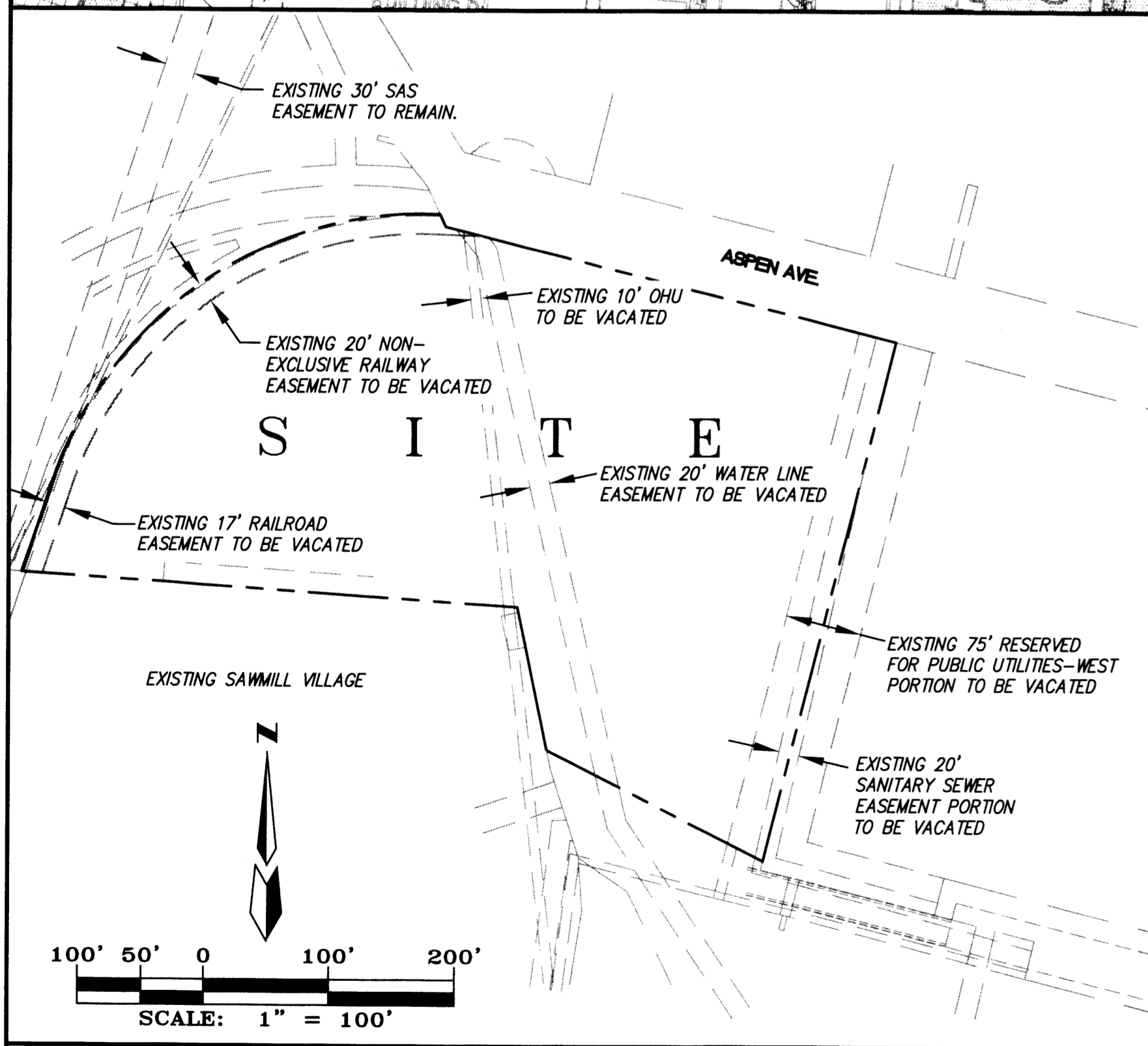
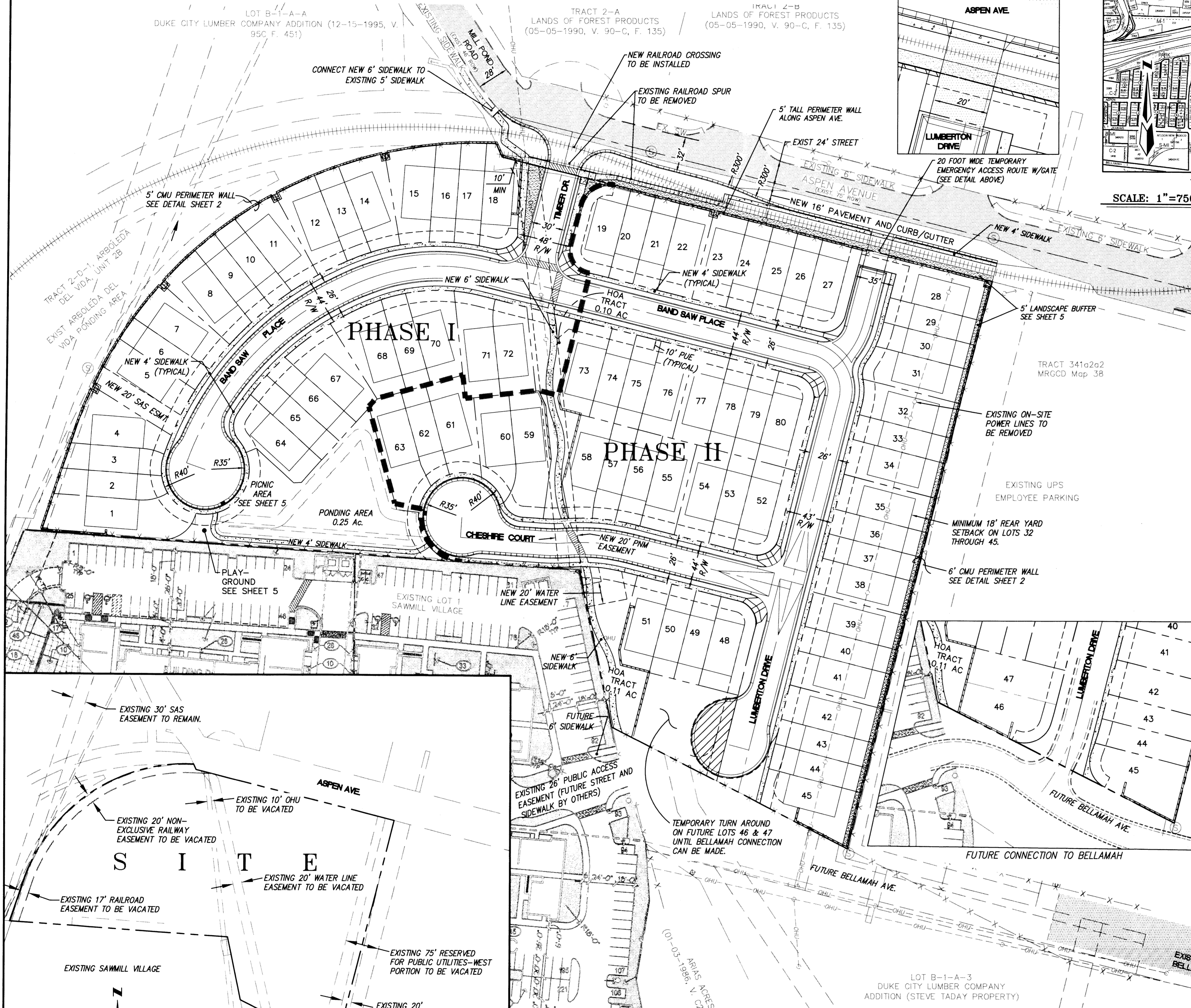
PLAN INDEX

PLAN INDEX	SHEETS
SITE PLAN FOR SUBDIVISION	1
DESIGN STANDARDS	2
DESIGN STANDARDS AND CONCEPTUAL UTILITY PLAN	3
CONCEPTUAL GRADING & DRAINAGE PLAN	4
LANDSCAPING PLAN	5&6

SAWMILL CROSSING
SITE PLAN FOR SUBDIVISION

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Scale: 1" = 50' Date: 11/22/2011 Job: A11047 Sheet 1 of 6



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PREPARED FOR:
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 7400 HANCOCK CT. NE
 ALBUQUERQUE, NM 87109
 PH: (505) 797-1134
 FAX: (505) 797-8589

LEGEND

	PATTERNED CONCRETE		EXIST. OVERHEAD UTIL. LINES
	NEW CURB AND GUTTER		EXIST. PERMANENT CURB
	NEW SIDEWALK		PROPERTY LINE
	EXIST. EASEMENT LINE		NEW EASEMENT LINE
	EXIST. PAVEMENT		EXIST. RAILROAD TRACK
	PHASE BOUNDARY		EXIST. SAS MANHOLE
	PERIMETER WALL		NEW HC RAMP
	FUTURE CURB & GUTTER		EXISTING FENCE

1009046

\\ALDOSA11047\Sawmill Crossing\SITE PLANS\A11047 sawmill siteplan2.dwg, 6/5/2012 3:21:22 PM, stephen

SITE DESIGN STANDARDS

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Sawmill Area. The Sawmill Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all observers within Sawmill Crossing. Development shall comply with the general regulations of the Zoning Code and the Sawmill/Wells Park Sector Development Plan, except where otherwise noted herein. Where there is a conflict between the regulations and these design standards, the more restrictive shall apply.

I. BUILDING FORMS

All new dwellings shall be attached townhomes and joined together as two units, three units, or in a four-unit building, with each home being on its own lot. As detailed on this sheet, the townhomes located on the outside shall have minimum typical lot dimensions of at least 32 feet by 83 feet and the buildings will be 27 feet by 48 feet. With the three and four unit buildings, either one or two slightly smaller inside units (minimum 23 foot by 83 foot lot and 23 foot by 45 foot dwelling) will be combined with the outside units. Facades of inside units shall be recessed at least 3 feet behind the facades of exterior units. Interior dwelling areas will range from 880 SF up to 1650 SF.

- A. The maximum number of connected dwelling units shall be four.
- B. All buildings shall be two stories.

II. ARCHITECTURAL STANDARDS

- A. The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
- B. Typical building styles within this development shall be Southwest or New Mexico Vernacular, Pueblo, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
- C. Inside townhome facades shall be recessed in at least 5 feet or protrude out at least 5 feet from their garage front.
- D. Roofs may be flat, pitched, or combination of both, and they may be metal with colors being limited to earth-toned browns, grays, galvalume, and greens. When not flat, roof slopes shall be 30 to 45 degrees.
- E. All front doors of dwellings shall face the street.
- F. The garage doors on outside townhomes shall not be wider than 16 feet and on inside townhomes not wider than 8 feet. With four connected units the maximum allowed garage door width shall be 30% of total building width. With three connected units the maximum allowed width shall be 32%, and with two connected units the maximum allowed width shall be 59%.
- G. Exterior finishes on all new homes shall be stucco that is limited to earth-toned shades of brown, tan or sage green. Standard, unstuccoed 8-inch by 16-inch CMU block is not allowed as a finish material for buildings. Where more than one dwelling unit is attached, the stucco color of the inside unit(s) shall be of a different color than the outside units.
- H. Accent materials shall consist of rock, tile, or brick in the entry portals, front doors, window frames and related trim. These elements shall be limited to shades of white, blue, brown, or green.
- I. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.
- J. Not less than 12.5% of a building facade facing public R/W shall be windows (to include garage door windows). New windows shall be recessed at least 2 inches or surrounded by a casing not less than 2 inches wide. Reflective glass is not permitted.

III. PEDESTRIAN ACCESS AND CIRCULATION

- A. Running north to south through the middle of Sawmill Crossing is a proposed 6-foot sidewalk that shall connect directly between Aspen Avenue and Bellamah Avenue. This sidewalk shall also connect to where a new sidewalk is stubbed out by the adjoining Sawmill Village. North of the subject property the new on-site pedestrian route shall be extended to tie into the existing sidewalk along the west side of Mill Pond Road. Inside the site benches shall be provided every 100 feet along the route.
- B. New sidewalks shall be installed in front of all new dwellings and along the south side of the on-site ponding area.
- C. All pedestrian improvements shall be handicap accessible and constructed according to the ADA regulations. New handicap ramps shall be installed at all street intersections and wherever a sidewalk has to cross a street, with pavement markings to identify the cross-walk.
- D. Lot 27 shall contain a handicap accessible dwelling with interior design features intended to accommodate handicapped individuals. It shall be eligible to be converted to a conventional dwelling if it is not sought after by a handicapped individual. Handicapped accessible units may be less than two stories.

IV. OPEN SPACE

- A. Minimum area of usable open space for outside townhomes shall be 1200 SF, while minimum usable area for inside townhomes shall be at least 600 SF.
- B. At least 10,000 SF of additional open space shall be provided on the pedestrian route running through the middle of the site and in the picnic area.

V. LIGHTING STANDARDS

- A. Lighting on public streets shall be in accordance with the City's DPM and Regulation 14-16-3-9 of the Zoning Code.
- B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways, provided that up-lighting fixtures are not used.
- C. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

VI. LANDSCAPE STANDARDS

- A. **Front Yard Minimum**
 - 1. Accent Tree at least 2" caliper or 10 feet high at the time of planting
 - 4. Shrubs (minimum 5 gallon)
 - 4. Shrubs (minimum 1 gallon)
 - 2. Landscape Boulders (3' x 3' minimum, with only one being placed in middle units)
- B. Accentuating "river rock" (max. 25% of area) and bark mulch (tree wells only) is also permitted in front yard landscaping.
- C. At a minimum, all front yard landscaping and common area landscaping shall be required to contain 1/2" to 3/4" diameter Santa Ana Tan, Santa Fe Brown, or Pueblo Rose (or similar) rock over filter fabric in all front yard areas that are not covered with living vegetative groundcover.
- D. Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- E. Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- G. Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- H. Shade trees spaced at least 30 feet on center shall be installed along the site's north boundary within Aspen Ave, and maintained by the HOA. A minimum of 75% of the ground in this area shall be covered with live plant material using anticipated mature tree and plant sizes.

VII. SCREENING / WALLS & FENCES

- A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code. Walls shall be colored, consist of a patterned scheme, and be constructed of split-face concrete masonry topped with a continuous cap (see detail this sheet).
- B. Side and courtyard walls shall be limited to 5 feet high.
- C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- D. Maximum rear yard and perimeter wall heights shall be 6 feet, unless noted otherwise.

VIII. SETBACKS

- A. Minimum Front Yard: 15 feet, except for lot 60, which contains a minimum 10' setback
- B. Minimum Rear Yard: 15 feet, unless noted otherwise in the setback variance detail, on this sheet. Lots 32 thru 45 shall contain a minimum 18' rear yard setback.
- C. Minimum Side Yard: No required setback, although there shall be at least 10 feet on the street side of corner lots (except Lots 18 and 45).
- D. There shall also be a minimum of 10 feet between residential buildings.
- E. Building portions over 15 feet high shall be set back not less 25 feet from the front property line, except for the fronts of inside townhomes over the garage, which shall be set back not less than 23 feet from the front property line.

IX. OFF-STREET PARKING

- A. For townhomes located on the outside of each building the minimum number of off-street parking spaces provided shall be four. For townhomes located on the inside of buildings the minimum number of off-street parking spaces provided shall be two.
- B. Driveways shall not be less than 20 feet long.
- C. No more than 50% of each front, side, or rear yard setback area off a street shall be used for parking and/or driveway (except not more than 53% on outside units).

X. UTILITIES

- A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground. Refer to additional information provided on Sheet 5 regarding protection of existing on site transmission line.
- B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies. Vertical clearance from the transmission line to building roofs not accessible to pedestrians shall be at least 13 feet. Any structure not meeting horizontal clearance shall meet the vertical clearance.

XI. SIGNAGE

- A. Signage allowed within the site shall be as illustrated on the wall below with two signs being located at the entry.

XII. NOISE

- A. New dwellings on Lot 19 through Lot 45 shall use sound insulation and other noise attenuation measures to allow for an indoor sound level of no more than 45 dB(A). Building plans for dwellings on these lots shall be reviewed and certified by a qualified acoustical consultant to check for this limitation.

XIII. APPROVAL PROCESS

- A. Being less than 10 acres in size, the Environmental Planning Commission shall be the final authority for this request approval, with final Site Development Plan for Subdivision sign-off being delegated to the Development Review Board. Upon DRB approval of this Site Development Plan for Subdivision, building permit applications shall be checked for compliance to these design standards and approved by city Building Permit officials if they comply.
- B. In accordance with the Zoning Code, the Planning Director shall have the discretion to approve minor amendments to this site development plan, whereas major amendments shall be approved by the EPC.

SAWMILL/WELLS PARK SECTOR DEVELOPMENT PLAN

(within the General Regulations only those that apply to residential uses are listed below)

General SU-2 Regulations

3. RESIDENTIAL BUILDING DESIGN: NOTES AND ILLUSTRATIONS

3.a. Building exterior materials (stucco, brick, wood, etc.), color, window and door styles, and roof slope and materials shall be the same or similar on all parts of a structure and on all detached dwelling units on one lot.

THIS PLAN COMPLIES (REFER TO STANDARD II.D. AND II.G.)

3.b. Buildings shall not exceed 26 feet in height. Building portions over 15 feet high shall be set back not less than 25 feet from property lines abutting the public right-of-way or a private street and not less than 10 feet from interior side property lines.

3.c. The Zoning Code measures the height of a building with a pitched roof at or to the mid point between the top plate and the roof ridge.



THIS PLAN COMPLIES WITH MAXIMUM BUILDING HEIGHT LIMIT (REF. SHEET 1)

EXCEPTION

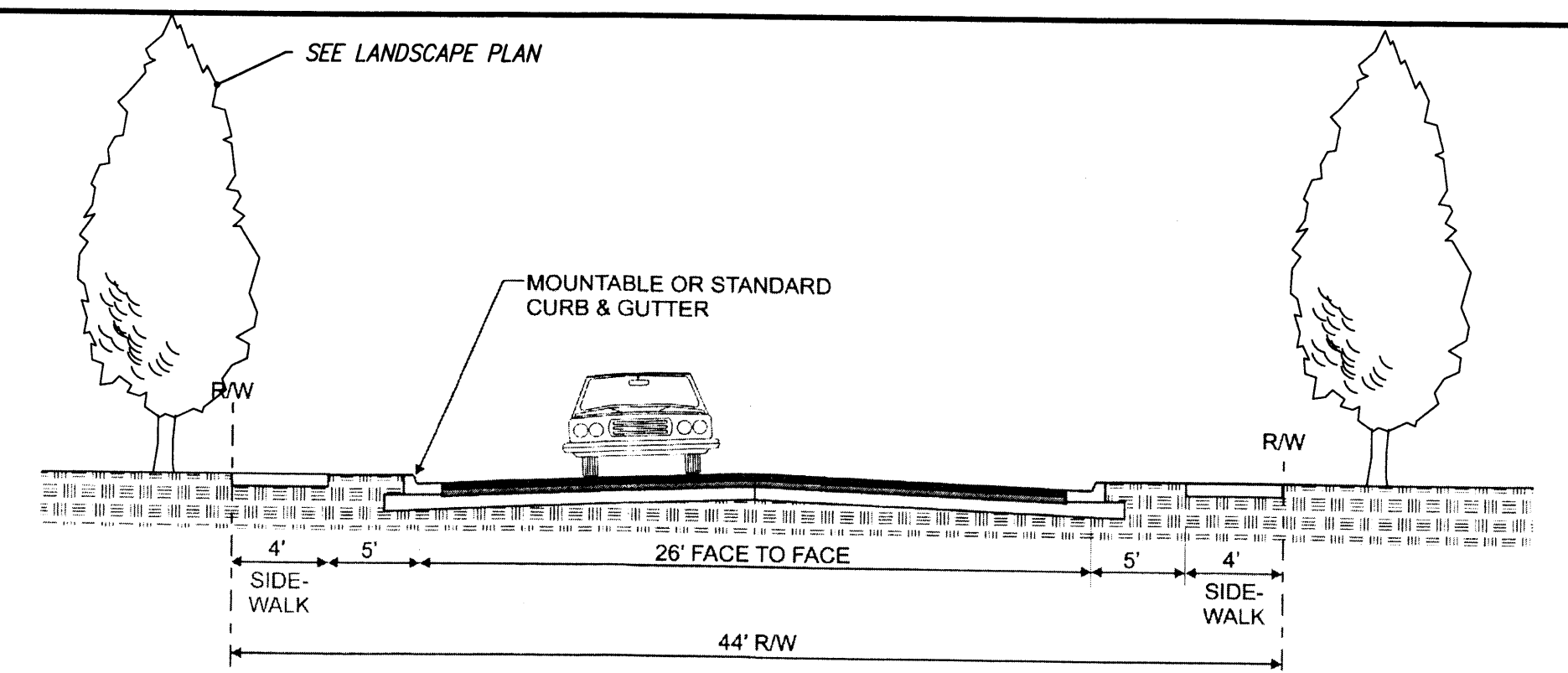
This plan also complies with minimum second story front setbacks (Standard VIII.E.), except for one-half of the facades on inside units, which are setback at least 23 feet from the street R/W. This variance from the regulation is designed to counteract the appearance of multiple second story facades at 25 feet back from the R/W (on outside units). The other half of the inside unit is setback at least 28 feet from the R/W (see below) to provide supplemental facade articulation.

Regarding the 10 foot setback from interior side property lines, this regulation was created to lessen the apparent impact of 2nd story buildings upon adjoining single-story homes (as indicated in the regulatory notes). This would not be the case in Sawmill Crossing since all the homes are planned to be two-story, and there are no other single-story homes in the vicinity of the subject site (the three-story Sawmill Village is directly to the south).

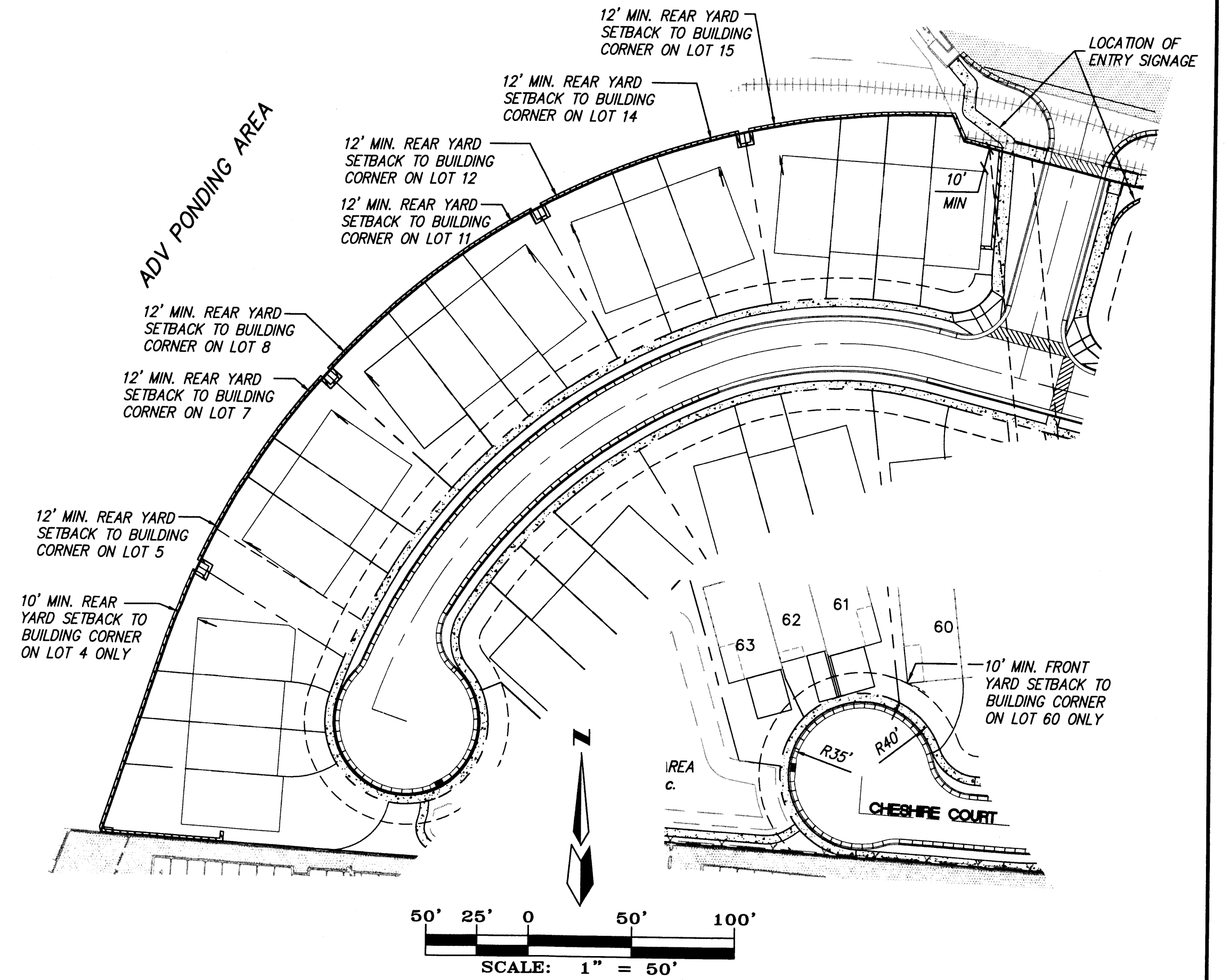
3.c. The slope of new roofs shall range from flat to not more than a 45 degree angle.

THIS PLAN COMPLIES

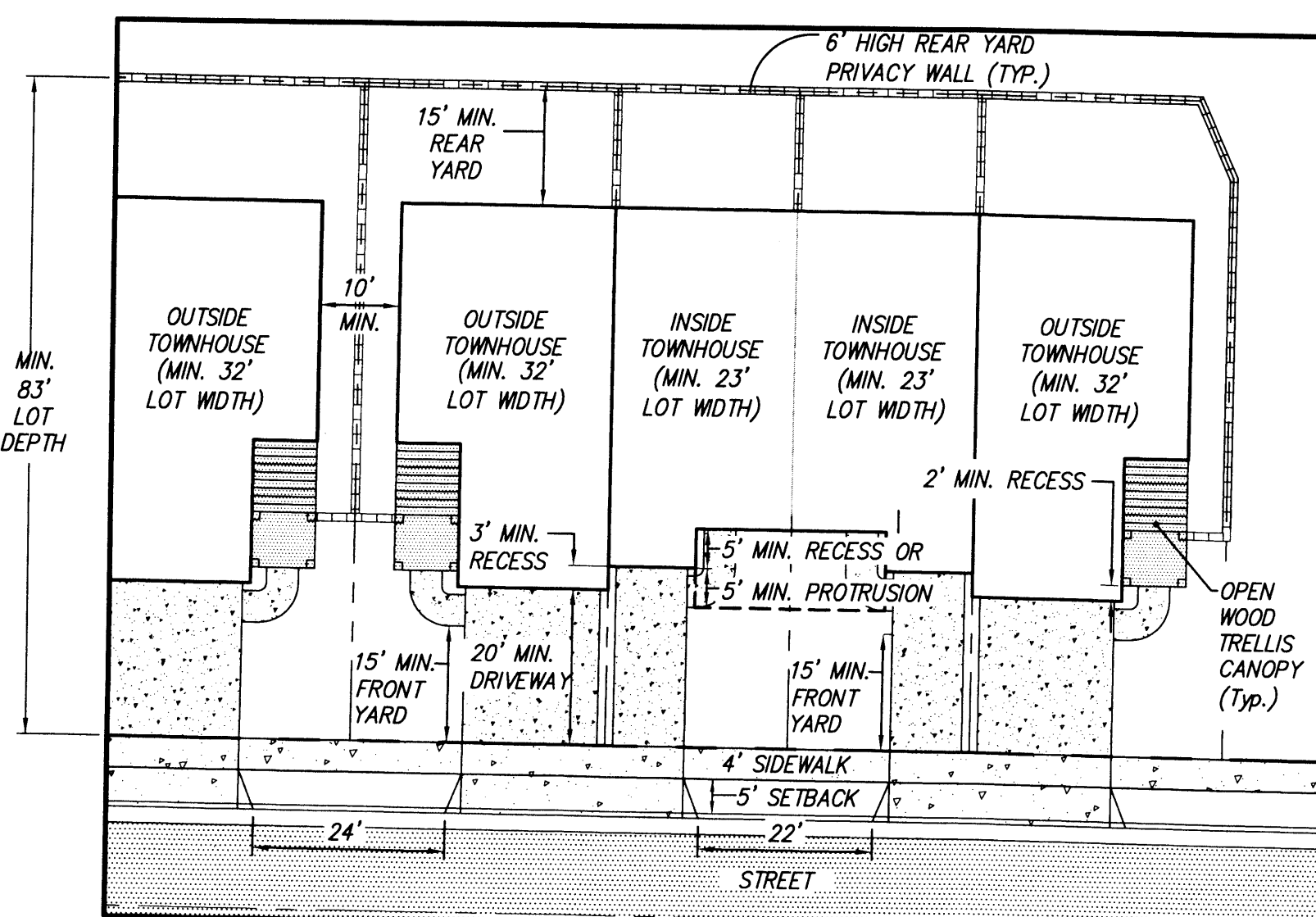
SEE CONTINUATION ON SHEET 3



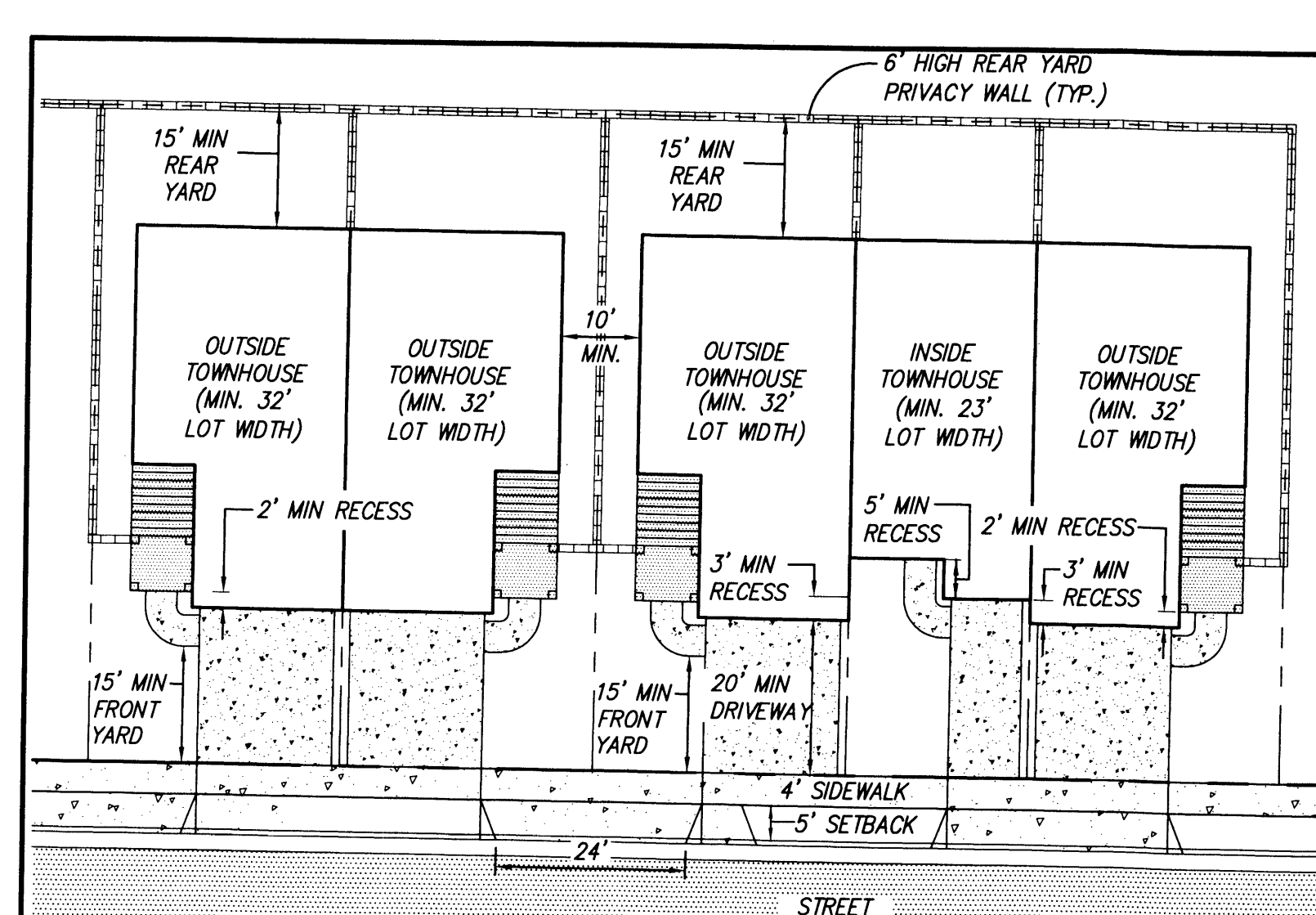
TYPICAL STREET SECTION
NTS



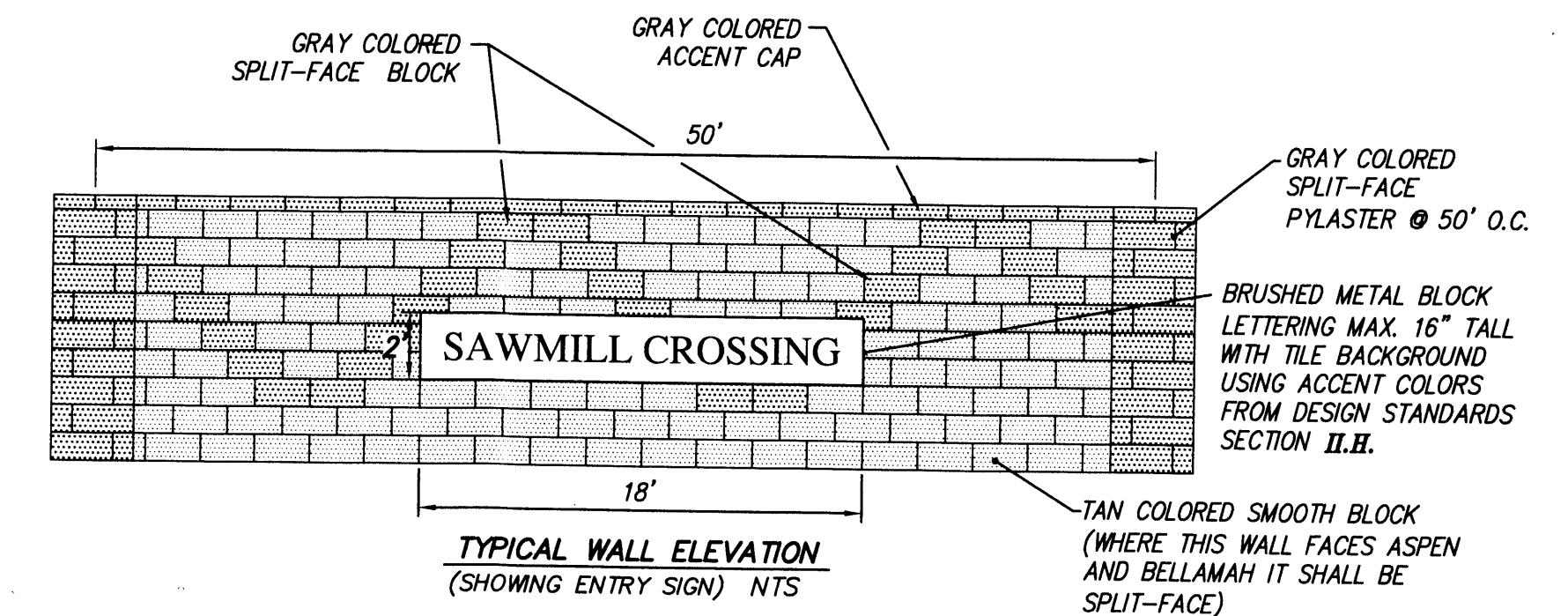
YARD SETBACK VARIANCES FROM THE DESIGN STANDARDS
SCALE: 1" = 20'



TYPICAL 4-UNIT TOWNHOME BUILDING LAYOUT
SCALE: 1" = 20'



TYPICAL 2- AND 3-UNIT TOWNHOME BUILDING LAYOUT
SCALE: 1" = 20'



TYPICAL WALL ELEVATION
(SHOWING ENTRY SIGN) NTS

SEE SHEET 4 FOR DETAIL ON PERIMETER WALL ALONG WEST BOUNDARY OF SITE.

SAWMILL CROSSING
DESIGN STANDARDS

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG Sheet 2 of 6
Scale: 1" = 50' Date: 2/1/2012 Job: A11047

LAST REVISED: 05-15-12
F:\A11047\JOBS\A11047 SAWMILL CROSSING\SITE PLANS\A11047 SAWMILL SITEPLAN2.DWG Last saved by: Stephen, Plotted by: Stephen Slosiewicz, 12/29/11

SITE DESIGN STANDARDS (CONT.)

SAWMILL/WELLS PARK SECTOR DEVELOPMENT PLAN (CONT.)

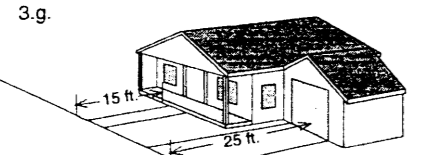
General SU-2 Regulations

RESIDENTIAL BUILDING DESIGN (continued):

3.e. The slope of roofs on new buildings over 15 feet high shall be 30 to 45 degrees.

EXCEPTION (REF. II.D.)

3.e. The front roofs of these buildings display both gable-end and hip roof styles, but the rear parts of the dwellings are flat-roofed. These flat roofs more easily accommodate mechanical units that can be more effectively hidden with the parapets of flat roofs when compared to sloped roofs. Furthermore, flat roofs on nearby existing two and three story buildings (Sawmill Village and the Lofts) have already become an accepted style in the neighborhood.



3.g. Garage fronts shall be set back not less than 25 feet from the property line abutting a public right-of-way or private street.

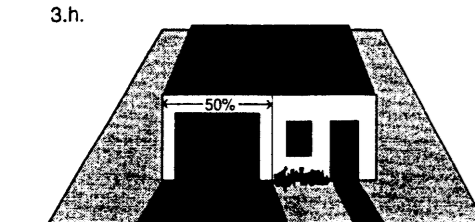
3.g. and h. Most lots in Sawmill/Wells Park either have no garages or small, inconspicuous set back garages. Continuing this lot development pattern will contribute greatly to maintaining neighborhood character.

EXCEPTION (REF. IX.B.)

3.g. Garages on outside townhomes are setback 20 feet from the R/W instead of the 25 foot minimum of regulation 3.g. This exception is the same as the reduced garage setback allowed in the SU-2/S-DR Zone by the 2006 Sawmill/Wells Park Sector Plan Amendment.

As cited in the text of the amendment that legislated this change to the SU-2/S-DR Zone, the variance is not in conflict with any applicable plans, including the Albuquerque Bernalillo County Comprehensive Plan and the City's Zoning Code.

3.h. Not more than 50% of a building's street frontage width shall be garage front.



EXCEPTION FOR TWO AND THREE UNIT BUILDINGS (REF. II.F.)

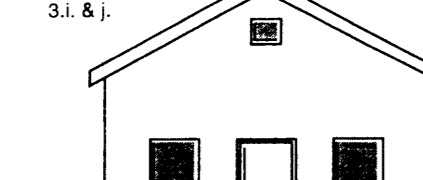
3.h. The zoning code requires that four off-street parking spaces be provided for the three bedroom dwellings proposed with this request and the wider garages help to achieve compliance with this requirement. The narrow lots required for providing new townhomes in this neighborhood are necessary in order to attain higher density and keep the dwellings affordable. This regulation was established for replicating the appearance of small or no garage fronts on existing single family detached homes within older areas of the existing Sawmill Neighborhoods, which are not in close proximity to this request.

3.i. Front doors shall face the street. In townhouse and multiple dwelling unit development, the dwelling unit(s) adjacent to the public right-of-way shall face front doors toward the street.

3.i. and 3.j. are intended to complement existing development and to increase safety by improving surveillance on residential streets.

THIS PLAN COMPLIES (REF. II.E.)

3.j. Not less than 12.5% of a building facade facing a public right-of-way or private street shall be windows.



3.j. Underlined text indicates amendments adopted by Council Resolution R-14, Enactment # 24-2000.

THIS PLAN COMPLIES (REF. II.J.)

3.j. New buildings will promote street surveillance by containing numerous garage windows, first-floor windows, and second-story windows and decks to comply with this regulation.

3.k. New windows shall be recessed not less than 2 inches and/or shall be surrounded by a window casing not less than 2 inches wide.

3.k. Windows are often the only distinguishing architectural feature on the simple homes in Sawmill/Wells Park. Replacement windows that are installed without recesses or casing often destroy the architectural character of the original home.

THIS PLAN COMPLIES (REF. II.J.)

3.l. Standard, unstuccoed 8-inch by 16-inch CMU block is not allowed as a finish material for buildings.

A casing is a flat or molded exposed trim molding, framing, or lining around a window.

THIS PLAN COMPLIES (REF. II.G.)

3.m. Reflective glass is not permitted.

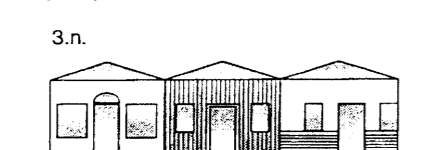


3.n. Residential buildings with over 35 linear feet of building facade width facing and visible from a public right-of-way shall be designed to appear as a collection of smaller building blocks rather than a single large box or block.

3.n. Most of the houses in Sawmill/Wells Park are small and on small lots. Articulating the facades of large buildings will create interest along the street and will help large buildings fit into the community.

THIS PLAN COMPLIES (REF. I.A. AND II.G.)

3.n. Each segment of the new building facade varies from one side to the other, with outside units displaying a gable roof while half of the inside units are topped with a hip roof. The facade setbacks of these units exhibit frequent variability from one side of the building to the other in an effort to create the appearance of several smaller buildings. Stucco colors shall also vary from one unit to another.



General SU-2 Regulations

5. ENCLOSURE AND SCREENING

5.j. New site perimeter walls and fences and retaining walls contiguous to the public street right-of-way exceeding three feet in height shall be located inside the property line not less than the same number of feet as the height of the wall or fence.

VARIANCE ON LOCATION

5.j. A 5-foot setback shall be installed along Aspen Ave. against 5-foot perimeter wall within the R/W. The 75 feet of existing Aspen R/W is more than necessary for its local street status, thus the outside 5-foot can sufficiently accommodate the proposed setback without compromising its intended function.

5.l. Standard unstuccoed 8 inch by 16 inch CMU block is not allowed as a finish material for site perimeter walls facing the public right-of-way.

THIS PLAN COMPLIES (REF. VII. B AND C.)

5.l. Split-face CMU block colored tan and gray will be installed along and facing Aspen Ave., which is not standard unstuccoed CMU.

5.n. All properties shall comply with the following regulation:

The property owner shall plant and maintain the area between the public right-of-way and site perimeter fences and walls located inside the property line.

Tree species shall be capable of shading the sidewalk at tree maturity. Shrubs shall be maintained to avoid blocking the sidewalk or obstructing clear sight triangles.

A minimum of 75% of the ground area between the wall and public right-of-way shall be covered with live plant material. Ground coverage shall be calculated by using the projected mature tree canopy sizes and mature plant sizes.

VARIANCE ON LOCATION (REF. VI.H.)

5.n. A 5-foot landscape buffer shall be installed and maintained by the HOA along Aspen Ave. within the R/W. A 5-foot landscaped buffer shall be installed along Aspen Ave. against the 5-foot perimeter wall within the R/W. The 75 feet of existing Aspen Ave. R/W is more than necessary for its local street status (collector road R/W widths are typically 68 ft.), thus the outside 5 feet of existing R/W can sufficiently accommodate the proposed landscaping buffer without compromising the street's intended function. The application shall obtain an encroachment agreement for the installation of landscaping within the R/W prior to the Aspen Ave. construction plans being approved by the City's Design Review Committee.

6.a. No more than 50% of each front, side, or rear yard setback area contiguous to a public right-of-way shall be used for parking and/or driveway.

EXCEPTION (REF. IX.C.)

6.a. Garages on outside townhomes are 16 feet wide and their driveways are 17 feet wide. This additional 12 inches causes this regulation to be exceeded by 3%. The reason for this exception is due to the fact that driveways are traditionally at least 6 inches wider on each side of the garage opening to ensure that drainage flows away from the garage opening. It also keeps the opening clear of adjoining landscaping and it provides sufficient walking space around parked vehicles. The additional 3% of driveway width would be perceived as being relatively negligible when compared to the lot's entire 32-foot width.

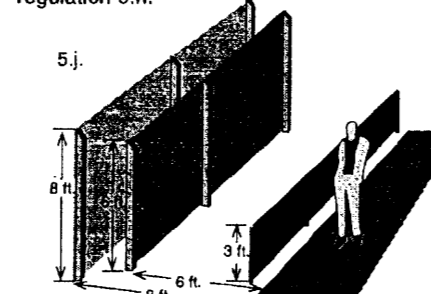
6.b. The parking area, which includes any required walls, fences and landscaping, and/or driveway shall not be more than 50% of the property line contiguous to the public street right-of-way.

EXCEPTION (REF. IX.C.)

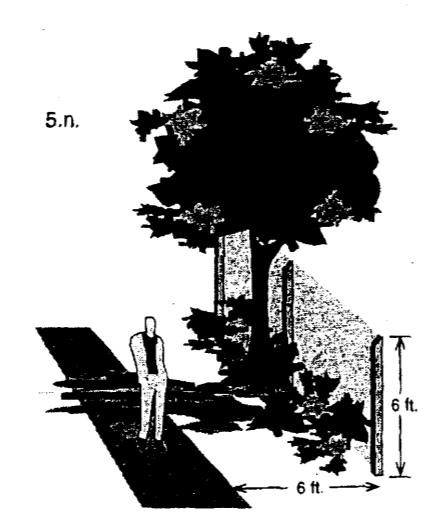
6.b. Garages on outside townhomes are 16 feet wide and their driveways are 17 feet wide. This additional 12 inches causes this regulation to be exceeded by 3%. The reason for this exception is due to the fact that driveways are traditionally at least 6 inches wider on each side of the garage opening to ensure that drainage flows away from the garage opening and to also keep it clear of adjoining landscaping in addition to providing sufficient walking space around parked vehicles. The additional 3% of driveway width would be perceived as being relatively negligible when compared to the lot's entire 32-foot width.

NOTES AND ILLUSTRATIONS

5.i. Landscaping requirements for the area between the perimeter wall or fence and the public right-of-way are described in regulation 5.n.

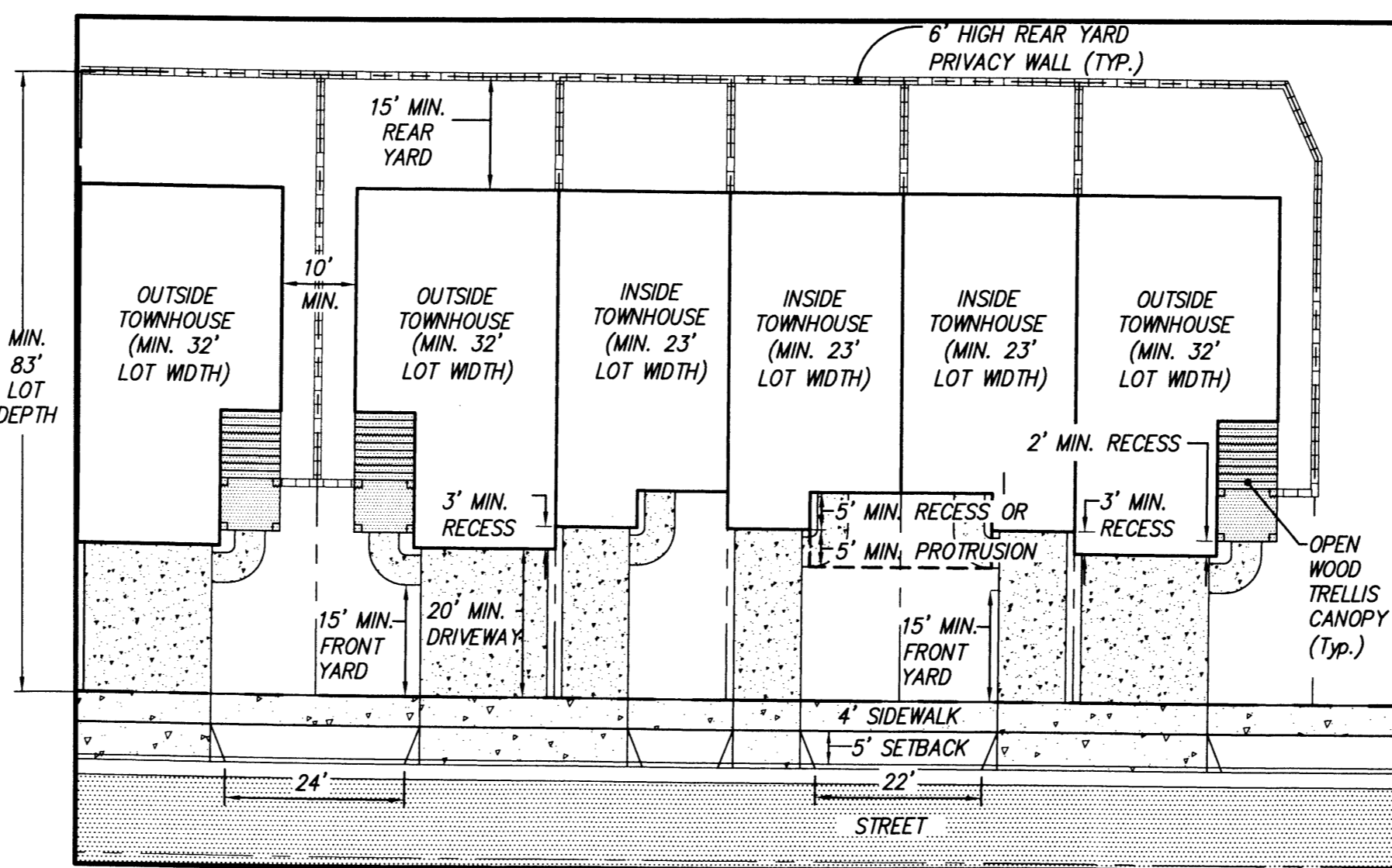
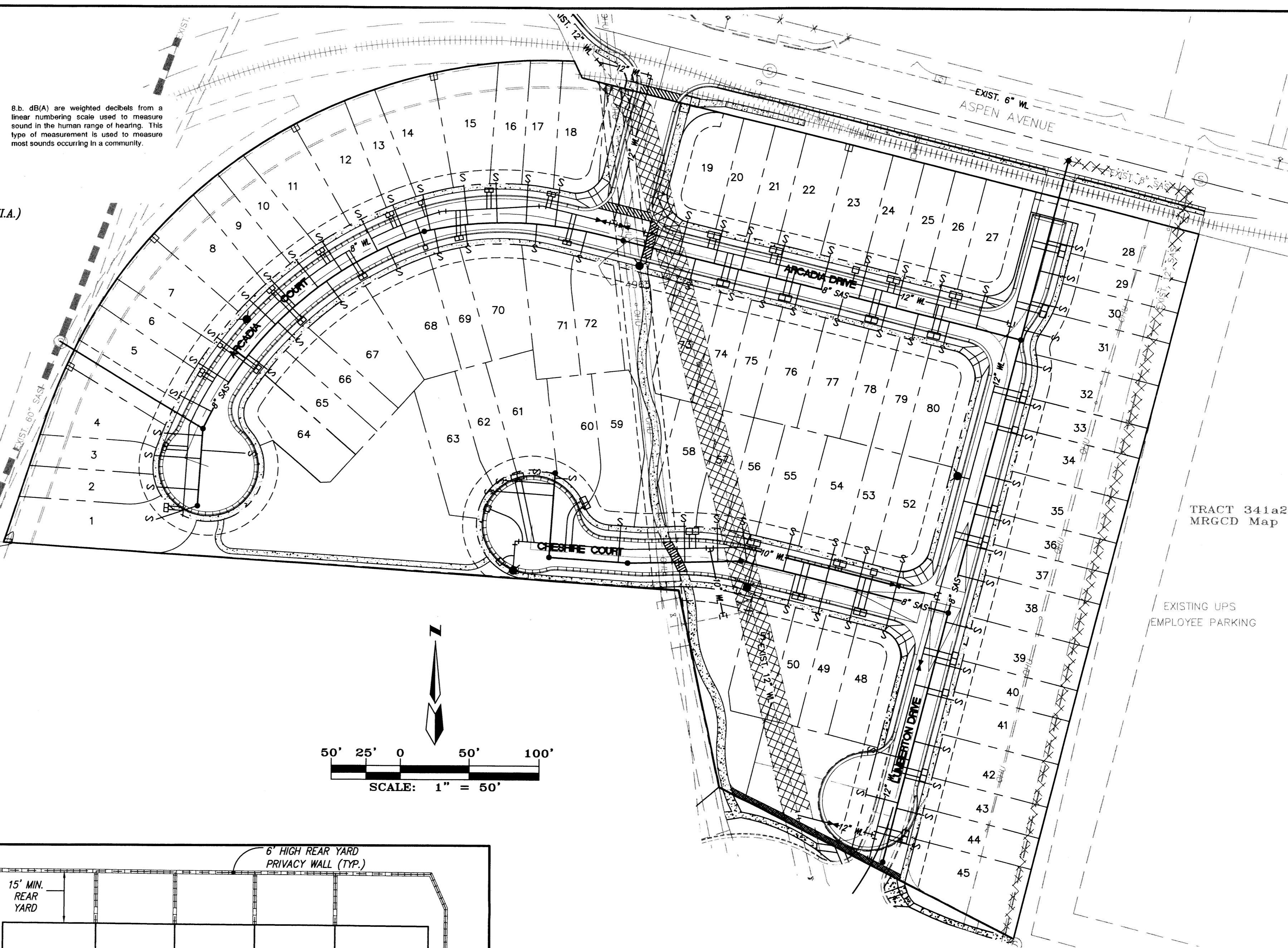


5.n. New site perimeter wall and fence location requirements are described in General SU-2 Regulation 5.j.



8.b. New residential buildings on a lot within, contiguous to, or across a public right-of-way from a zone allowing industrial uses shall use sound insulation and other noise attenuation measures to drive for an indoor sound level of no more than 45 dB(A). Building plans shall be prepared and certified by a qualified acoustical consultant.

THIS PLAN COMPLIES (REF. XIII.A.)



TYPICAL 5-UNIT TOWNHOME BUILDING LAYOUT

SCALE: 1" = 20'

LEGEND

- EXISTING OVERHEAD UTILITY LINES
- EXISTING IRRIGATION BOX
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- EXISTING LIGHT POST
- EXISTING SIGNAL BOX
- EXISTING WIRE FENCE
- EXISTING SIGN
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN PIPE
- NEW SANITARY SEWER LINE
- NEW WATERLINE
- NEW DOUBLE WATER METER
- NEW SANITARY SEWER MANHOLE
- NEW SANITARY SERVICE LINE
- NEW FIRE HYDRANT SERVICE LINE
- REMOVE & DISPOSE EXISTING UTILITY TO BE REROUTED THROUGH SUBDIVISION STREET.

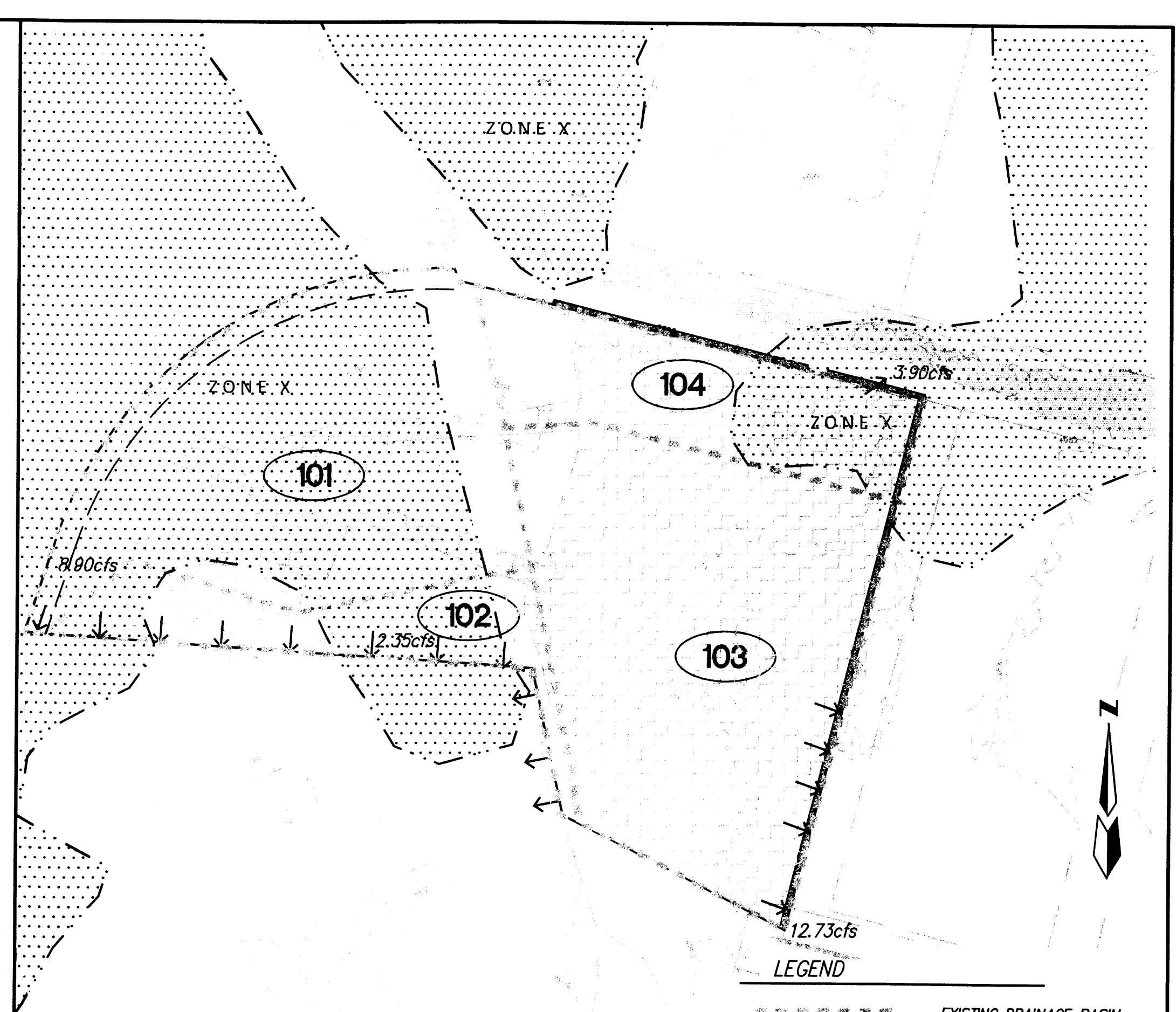
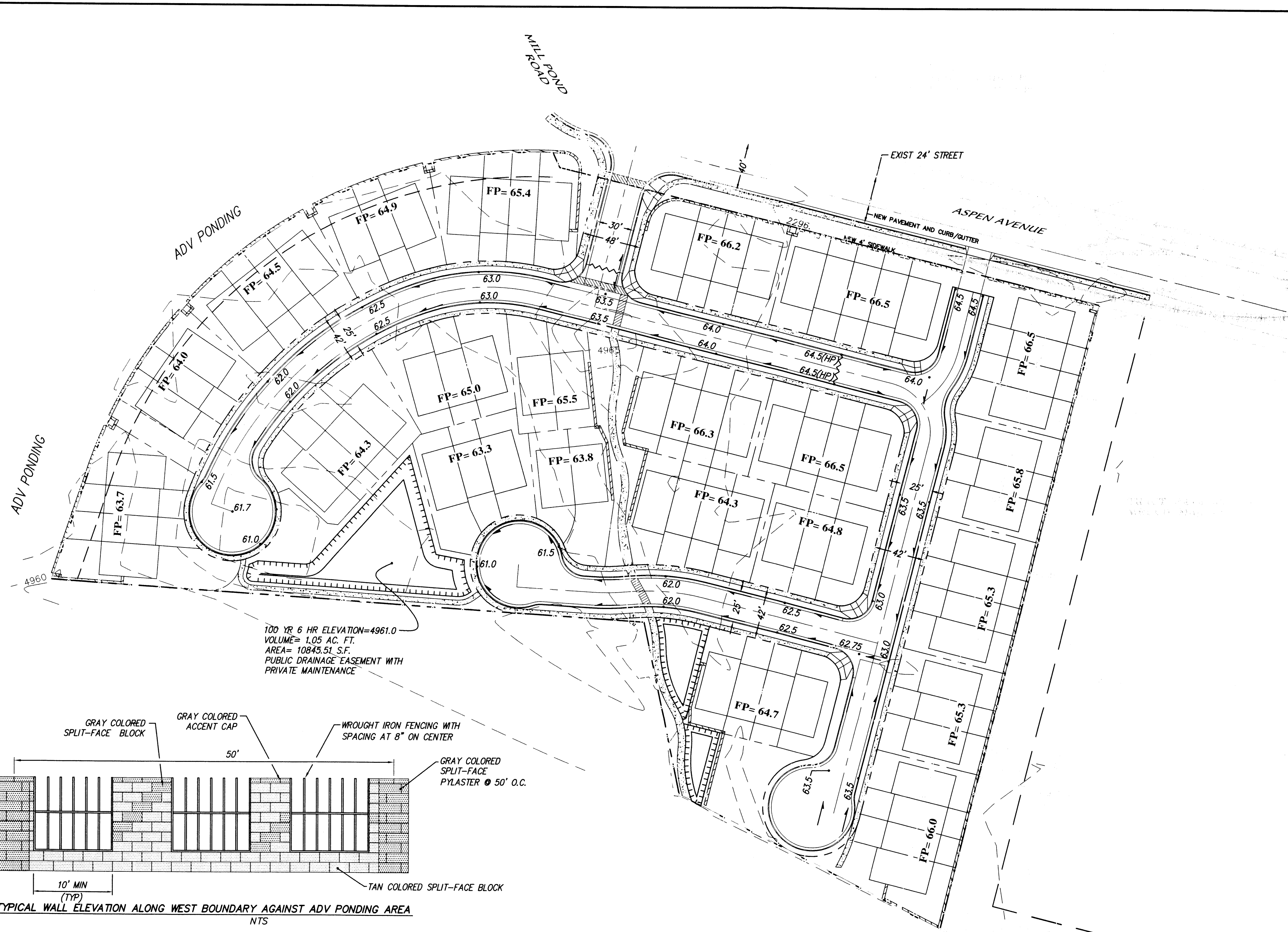
SAWMILL CROSSING DESIGN STANDARDS AND CONCEPTUAL UTILITY PLAN

MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS

P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539

LAST REVISED: 03-26-12

Designed: J.M.	Drawn: SPS	Checked: DMG	Sheet 3 of 6
Scale: 1" = 20'	Date: 2/1/2012	Job: A11047	



SAWMILL PREDEVELOPMENT DRAINAGE DETAIL
SCALE: 1"=100'

PRE DEVELOPMENT RUNOFF CALCULATION			
ID	AREA (AC)	IMPERV (%)	Q ₁₀₀ (cfs)
101	2.5	30	8.92
102	0.7	15	2.35
103	2.8	95	12.73
104	0.9	80	3.90
TOTAL	6.9	-	27.90

- LEGEND**
- 4962 --- EXISTING DRAINAGE BASIN BOUNDARY
 - 103 ○ DRAINAGE BASIN ID
 - ← DRAINAGE FLOW
 - ▨ EXISTING IMPERVIOUS AREA
 - ▨ LIMITS OF FLOOD HAZARD ZONE X (SHADED)
 - 4962 --- LIMITS OF FLOOD HAZARD ZONE X (SHADED)
 - 4962 --- EXISTING CONTOUR

LEGAL DESCRIPTION:
LOT B-1-A-2 OF THE DUKE CITY LUMBER ADDITION
6.9292 ACRES FILLED DECEMBER 15, 1995.
VOLUME 99C FOLIO 451
ZONE ATLAS PAGE - H-13

EXISTING SITE TOPOGRAPHY:

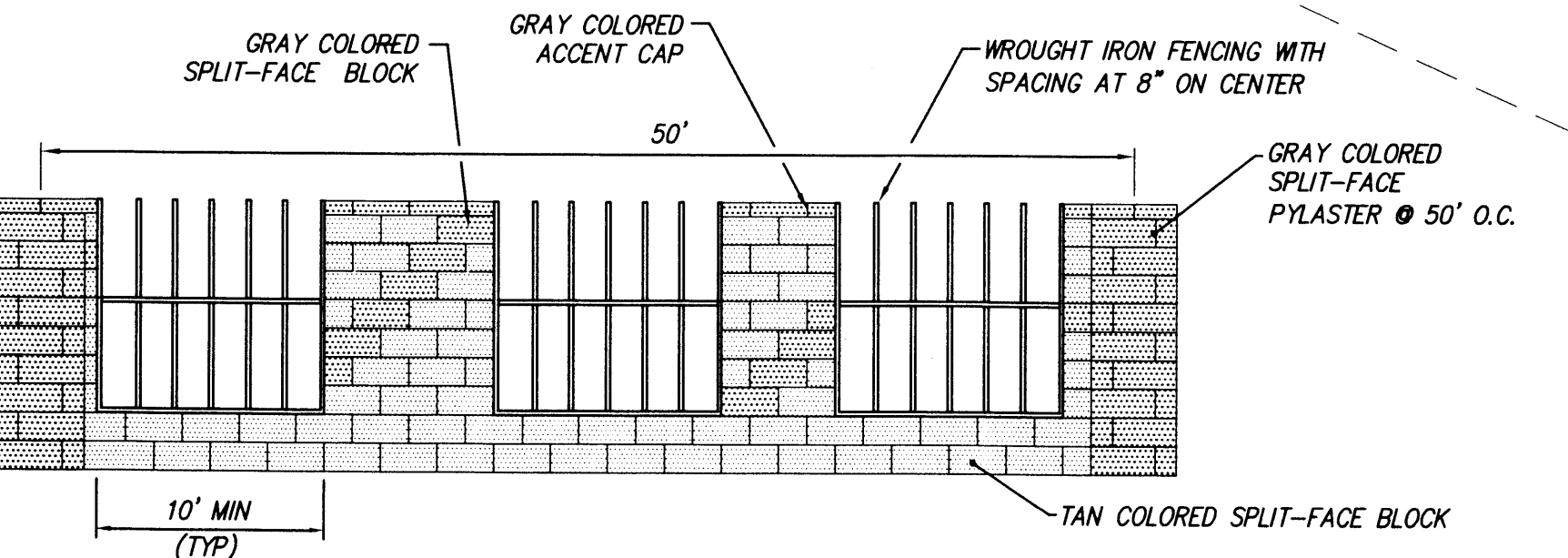
TOPOGRAPHIC INFORMATION ON THIS PLAN WAS OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. IT IS PART OF THE 2004 TOPOGRAPHIC SURVEY ON NAVD '88 DATUM AND IT HAS A 2' CONTOUR INTERVAL. EXISTING IMPERVIOUS SURFACES ON THE SITE HAVE BEEN DIGITIZED BASED ON A 2010 ORTHOPHOTO OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. THERE ARE SEVERAL CONCRETE BUILDING FOUNDATIONS REMAINING ON THE SITE, BUT THERE ARE NOT ANY EXISTING STRUCTURES. THERE IS EXTENSIVE ASPHALT PAVING ON THE SITE THAT HAS NOT BEEN MAINTAINED FOR SEVERAL YEARS SO IT HAS TALL GRASS AND WEEDS GROWING IN THE CRACKS. THE SITE IS LOCATED ON A RIDGE THAT BISECTS THE SITE IN A NORTH/SOUTH DIRECTION. AN ELECTRIC POWER TRANSMISSION LINE AND ABCUWA WATERLINE AS LOCATED ON THE CREST OF THAT RIDGE. THE SITE IS FLAT SLOPING EAST AND WEST AWAY FROM THE RIDGE AT ABOUT 1% SLOPE. THERE IS NO DRAINING ONTO THIS SITE FROM ADJOINING PROPERTY BECAUSE THIS SITE IS HIGHER THAN NEIGHBORING PROPERTIES IN ALL DIRECTIONS EXCEPT NORTH AND ASPEN AVE. DRAINS TO THE EAST. FROM THE RIDGE ELEVATION, 4964' THE ELEVATION DECREASES ABOUT 2' TO THE EAST PROPERTY LINE AND ABOUT 4' TO THE WEST PROPERTY LINE.

STORM WATER RUNOFF FROM THE EAST HALF OF THIS SITE APPEARS TO HAVE HISTORICALLY DRAINED ON THE SURFACE INTO THE PROPERTY TO THE EAST OF THIS SITE. A VALLEY GUTTER IS LOCATED IN THE ASPHALT PAVING ABOUT 100' NORTH OF THE SOUTH EDGE OF THIS SITE AND DRAINS THRU THE PARKING LOT EAST OF THIS SITE INTO A MUCH DEEPER VALLEY GUTTER IN THAT NEIGHBORING PARKING LOT. THAT DEEPER VALLEY GUTTER DRAINS FROM NORTH TO SOUTH. IT INTERCEPTS ALL OF THE DRAINAGE FROM THE EAST HALF OF THIS SITE TOGETHER WITH DRAINAGE FROM THE OFFSITE PARKING LOT LOCATED EAST OF THIS SITE AND CONVEYS IT TO AN EXISTING SMALL (10" OR 12") STORM SEWER LOCATED 300' EAST OF THIS SITE IN BELLAMAH AVE. EXCESS DRAINAGE MAY CREATE NUISANCE PONDING EITHER IN BELLAMAH AVE. ON THE PRIVATE PROPERTY SOUTH OF BELLAMAH AVE.

A RAILROAD SPUR ALONG THE NORTH AND WEST EDGE OF THE SITE IS DEPRESSED SLIGHTLY BELOW THE ADJACENT TERRAIN. THE RAILS AND TIES HAVE BEEN REMOVED FROM THE WEST HALF OF THE SITE. STORM WATER RUNOFF FROM THE WEST HALF OF THE SITE IS COLLECTED IN THE DEPRESSED RAIL SPUR AND CONVEYED TO THE SOUTH IN THAT HISTORIC SPUR ALIGNMENT. THE SITE DOES NOT DRAIN DIRECTLY INTO THE PRIVATE RETENTION/DETENTION POND ADJOINING THIS PROPERTY TO THE WEST. THERE IS AN EXISTING 60" SAS INTERCEPTOR LOCATED ON THE PROPERTY WEST OF THIS SITE BETWEEN THIS SITE AND THAT EXISTING PRIVATE POND. BOTH THE WEST HALF OF THIS SITE AND A 20 ACRE AREA DRAINING INTO THE EXISTING OFFSITE POND HAVE HISTORICALLY DRAINED TO AN EXISTING 18" STORM SEWER LINE IN BELLAMAH AVE. WHICH ONLY HAS 40FS CAPACITY; NOT ENOUGH CAPACITY TO CONVEY THE HISTORIC RUNOFF; THIS RESULTING IN EXISTING OFFSITE PONDING AREAS TO THE SOUTH AND WEST OF THE SITE.

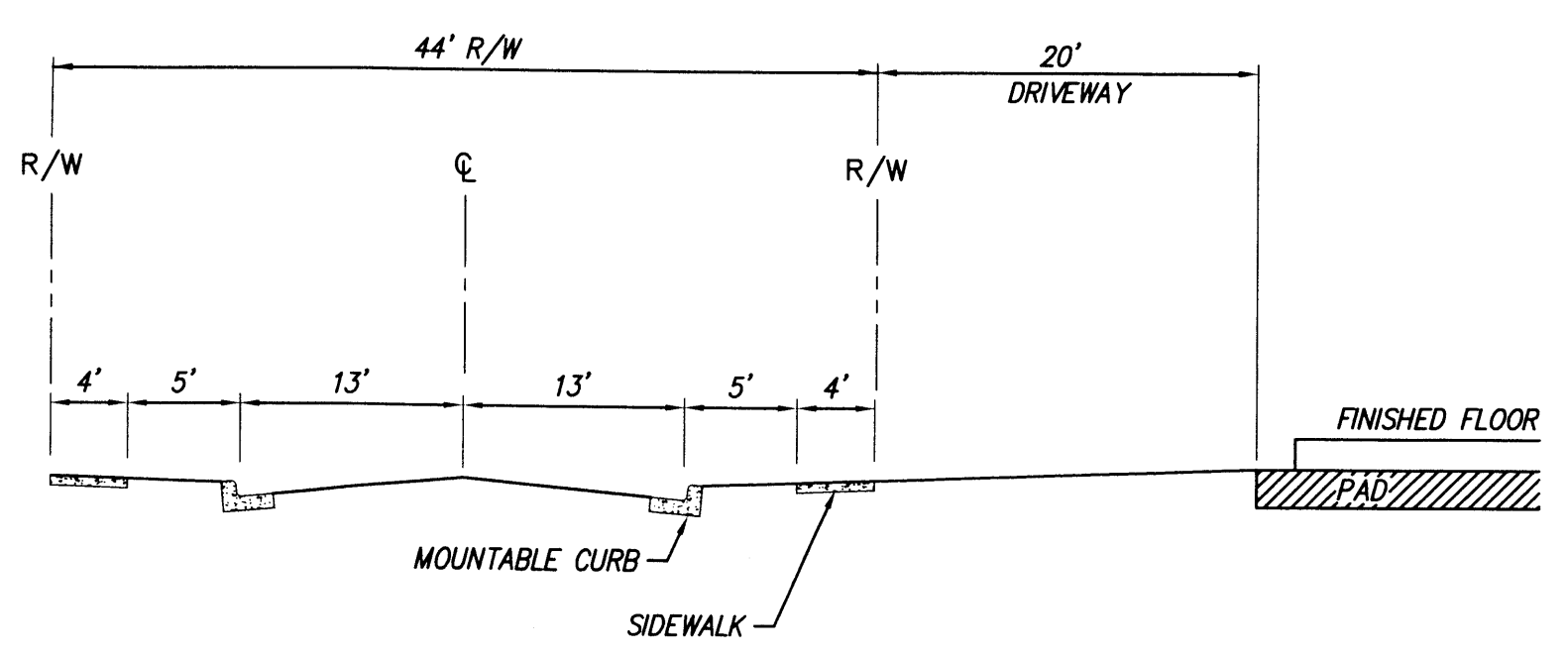
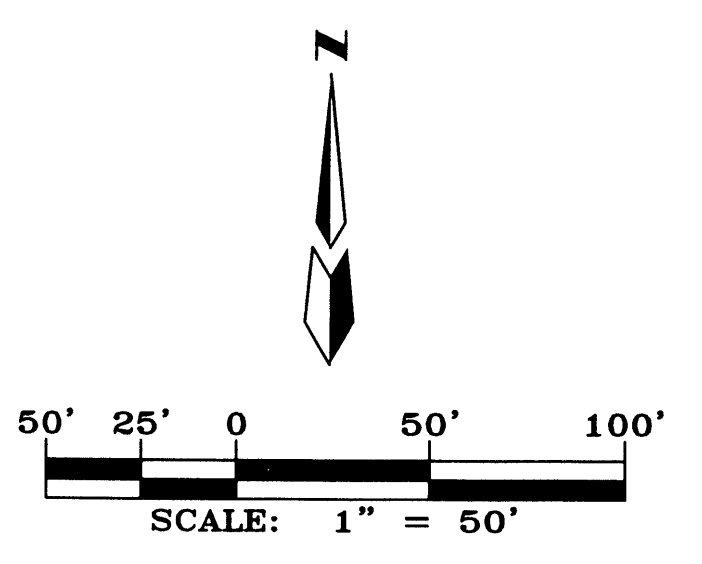
FLOODPLAINS:
ACCORDING TO FLOOD INSURANCE RATE MAP FIRM, MAP NUMBER 35001C0331G, REVISED SEPTEMBER 26, 2008, THERE ARE NOT ANY REGULATED FLOOD HAZARD ZONES ON THIS SITE. THERE IS HOWEVER, A NON-REGULATED SHADED ZONE "X" ON THE NORTHEAST CORNER AND IN THE SOUTHWEST CORNER INDICATING EITHER A 500-YR FLOODZONE OR AN AREA PROTECTED BY LEVEE. THERE ARE ALSO TWO "AH" ONES, "ELEVATION = 4959'" LOCATED ABOUT 500' WEST AND SOUTHWEST OF THIS SITE.

DRAINAGE MANAGEMENT PLAN:
DUE TO THE LIMITED CAPACITY OF EXISTING DOWNSTREAM DRAINAGE FACILITIES, ALL ONSITE STORM WATER RUNOFF FROM THE 100-YR RECURRENCE INTERVAL SIX HOUR DURATION STORM WILL BE CONTAINED IN ONSITE PRIVATELY MAINTAINED RETENTION POND. EXCESS VOLUME, IF ANY, WILL DRAIN AT A RATE NOT TO EXCEED 1.0 CFS IN ITS HISTORIC DISCHARGE LOCATION.



TYPICAL WALL ELEVATION ALONG WEST BOUNDARY AGAINST ADV PONDING AREA
NTS

- LEGEND**
- 4962 --- EXISTING CONTOUR PER SURVEY BY ALDRICH LAND SURVEYING
 - EXISTING SPOT ELEVATION
 - EXISTING CURB & GUTTER
 - ▬ NEW WALL
 - ▬ NEW SIDEWALK
 - ▬ NEW CURB & GUTTER
 - .61.7 NEW SPOT ELEVATION
 - FP= 64.8 NEW FINISHED PAD ELEVATION
 - ← NEW FLOW DIRECTION ARROW



TYPICAL SECTION

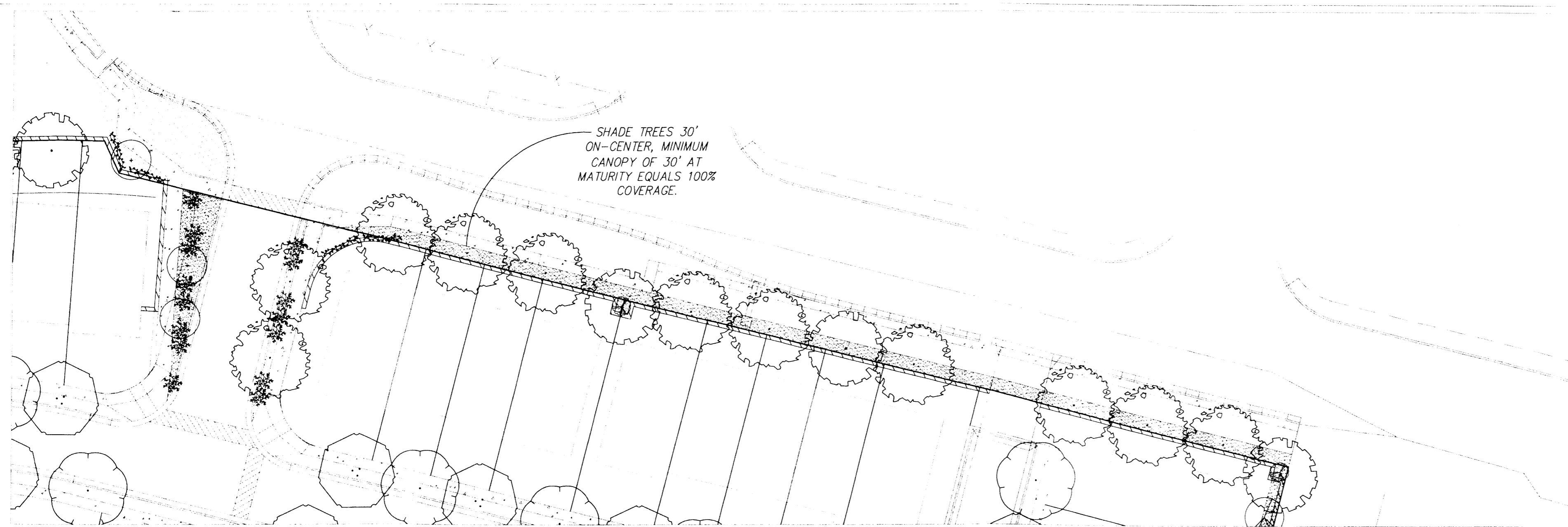
POST DEVELOPMENT VOLUME CALCULATIONS

USE 70% IMPERVIOUS FROM TABLE A-5
MECESS PRECIPITATION FROM TABLE A-8 (ZONE2)
$2yr[(70\% \times 0.79") + (30\% \times 0.15")] = 0.60"$
$100yr[(70\% \times 2.12") + (30\% \times 1.13")] = 1.82"$
$2yr(6hr)Volume = 15,028cf = 0.34 ac ft$
$100yr 6hr Volume = 45,585cf = 1.05 ac ft$

SAWMILL CROSSING
CONCEPTUAL GRADING PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
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(505)828-2200, FAX (505)797-9539

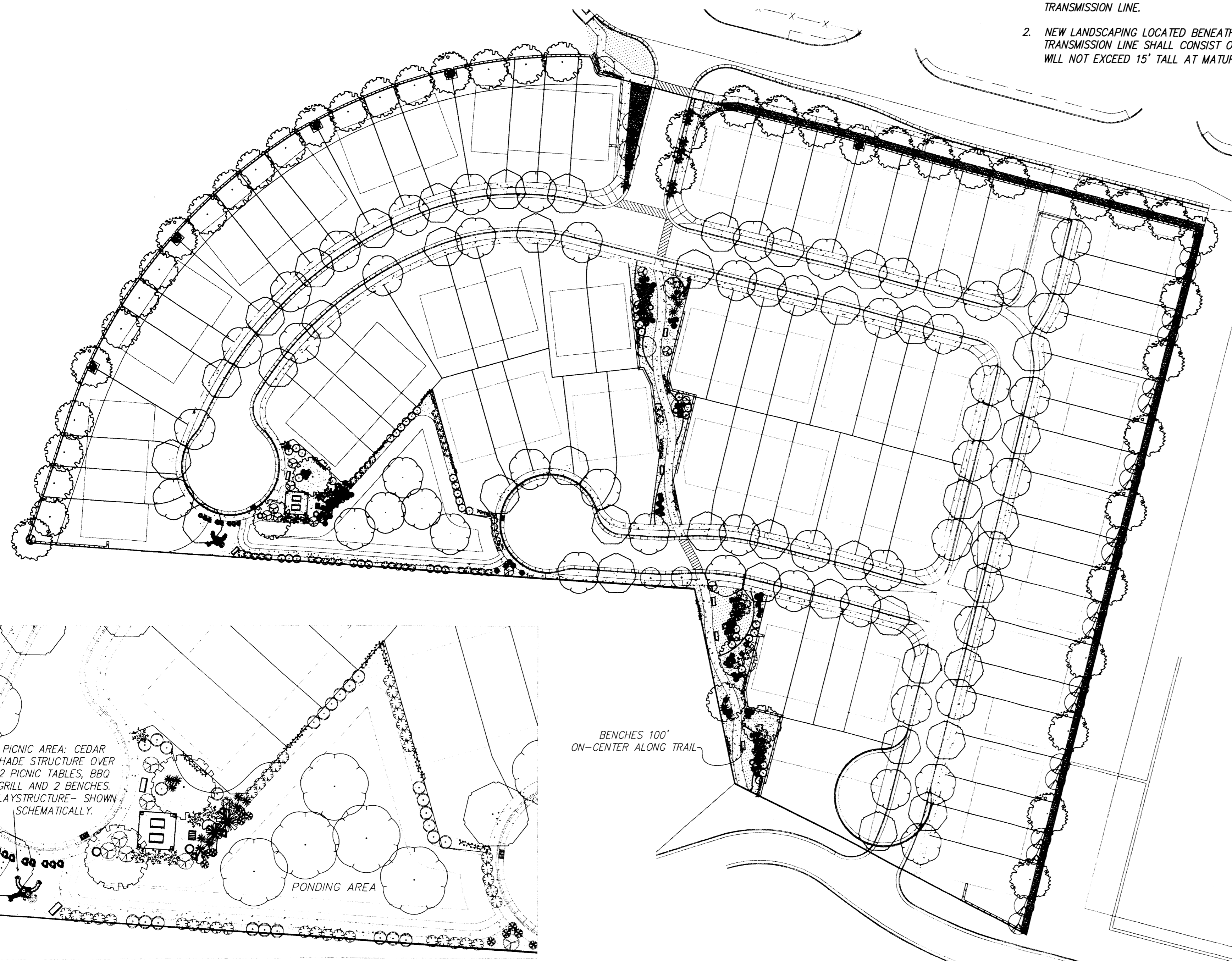
Designed: JM	Drawn: SPS	Checked: DMG	Sheet 4 of 6
Scale: 1" = 20'	Date: 2/1/2012	Job: A10061	



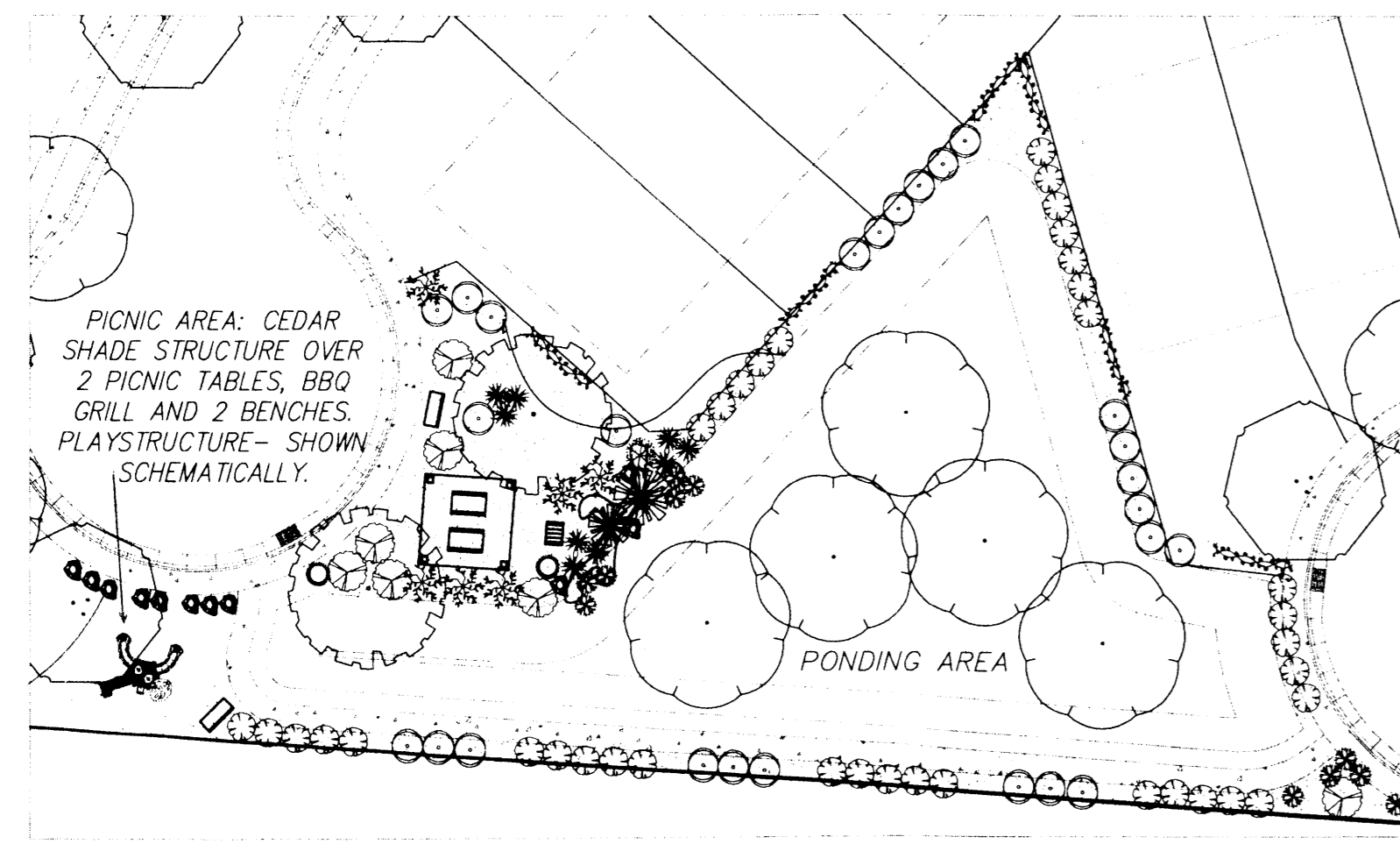
ENTRY DETAIL
SCALE: 1" = 30'

NOTES

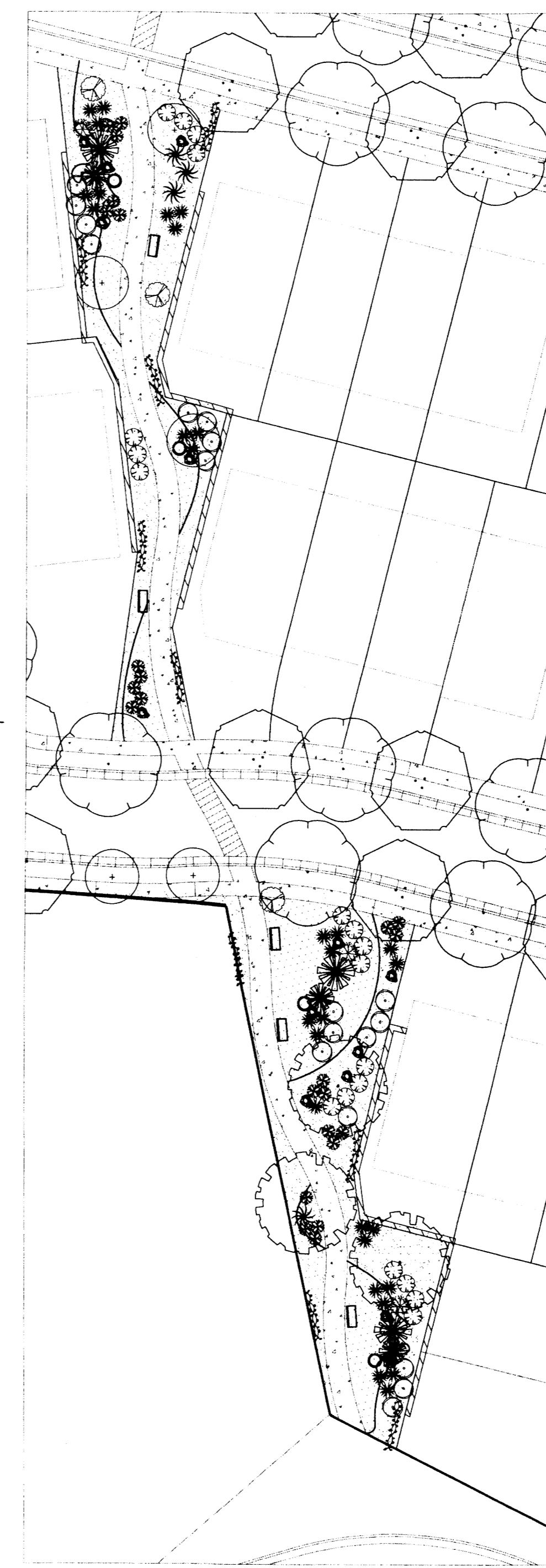
1. IF PLAYGROUND EQUIPMENT IS INSTALLED, IT SHALL BE LOCATED AT LEAST 40 FEET AWAY FROM THE EXISTING OH TRANSMISSION LINE.
2. NEW LANDSCAPING LOCATED BENEATH THE EXISTING OH TRANSMISSION LINE SHALL CONSIST OF TREE SPECIES THAT WILL NOT EXCEED 15' TALL AT MATURITY.



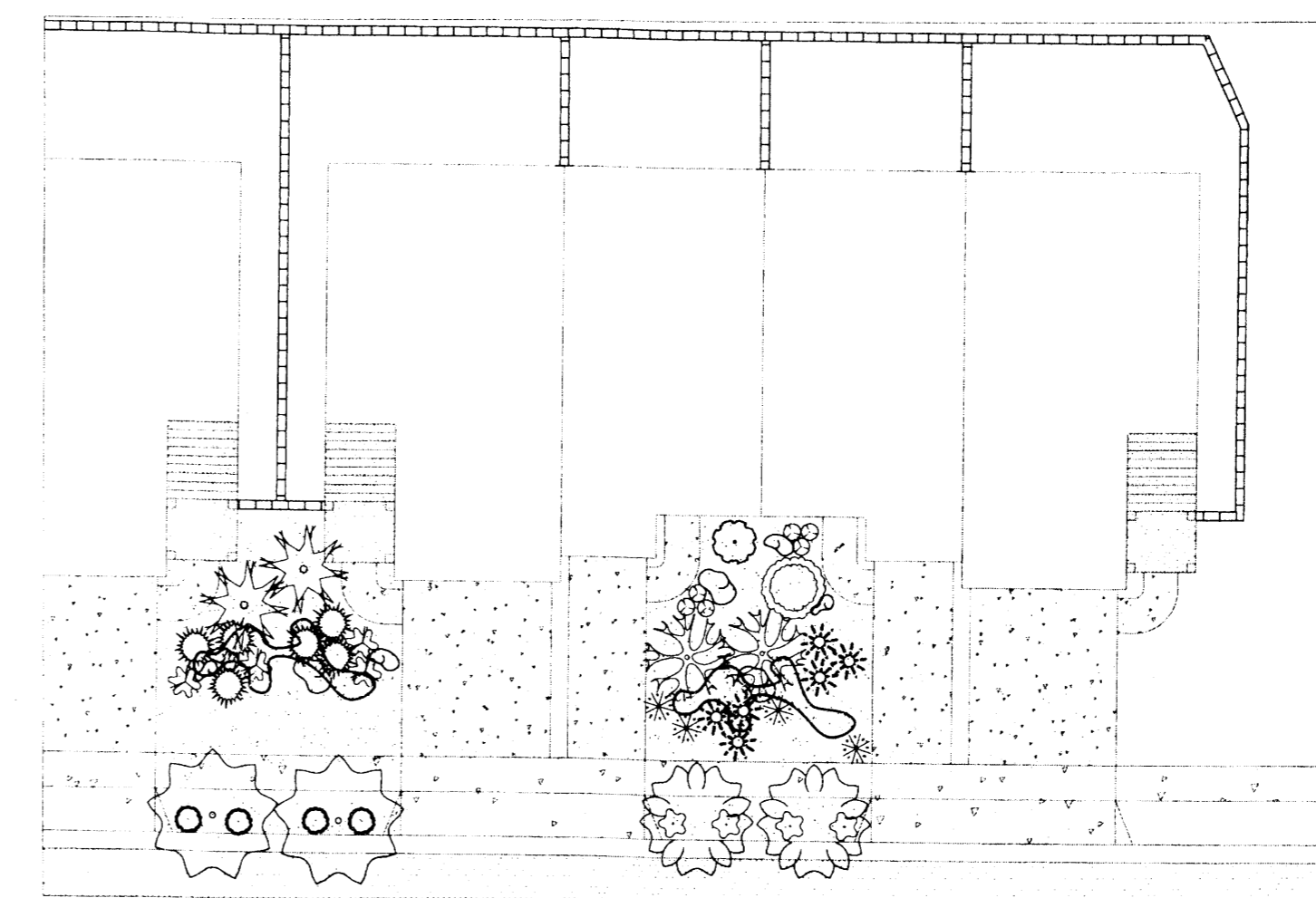
LANDSCAPE PLAN
SCALE: 1" = 50'



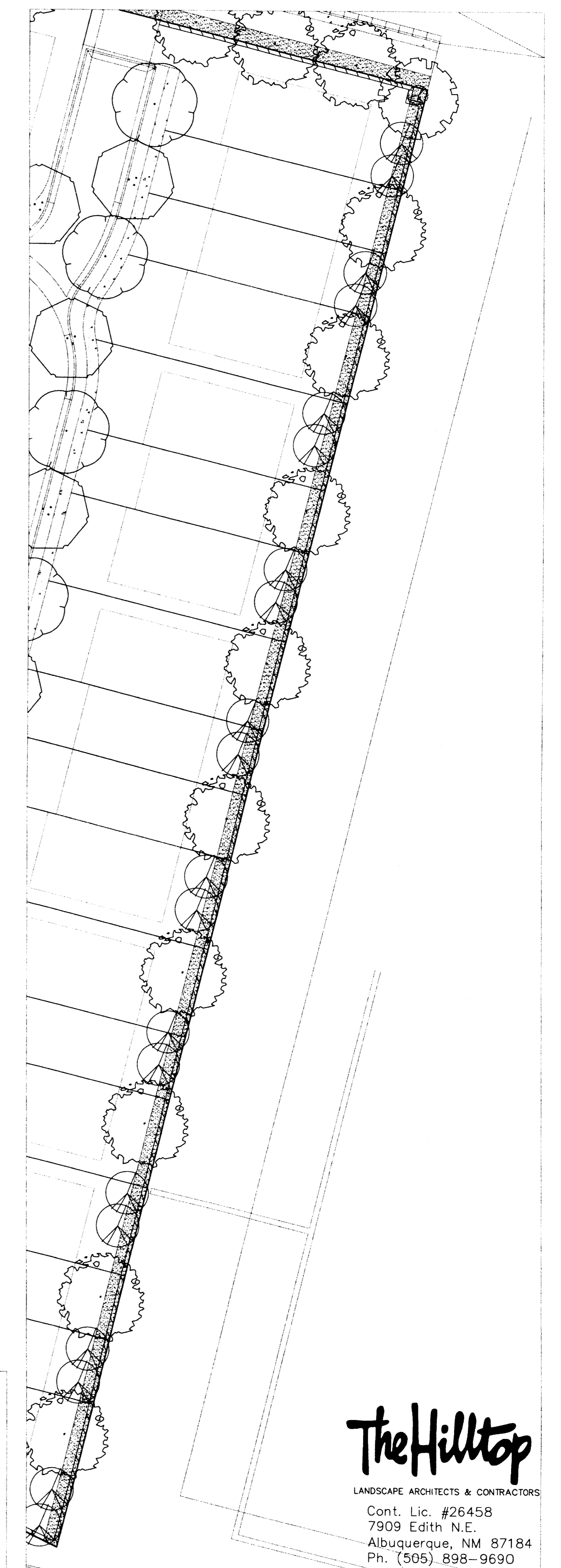
PICNIC AREA DETAIL
SCALE: 1" = 30'



PEDESTRIAN TRAIL
SCALE: 1" = 30'



TYPICAL LOT DETAIL
SCALE: 1" = 20'



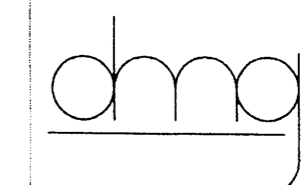
EAST BOUNDARY
SCALE: 1" = 30'

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS
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7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

REVISED: 5-17-12 CMJ

SAWMILL CROSSING
LANDSCAPE PLAN



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CONSULTING ENGINEERS

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ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

Designed: JM Drawn: SPS Checked: DMG Sheet 5 of 6
Scale: 1" = 50' Date: 11/17/2011 Job: A11047

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

SHADE TREE

COMMON HACKBERRY 46 (Shown Schematically Or)
Celtis occidentalis
 2' Gal., 12-14' Inst./40' x 40' maturity
 Water (M) Allergy (L) 0sf

SYCAMORE 48 (Shown Schematically Only)
Platanus spp.
 2' Gal., 12-14' Inst./60' x 70' maturity
 Water (M+) Allergy (H) 0sf

CHITALPA 26
Chilopsis x Catalpa
 2' Gal., 12-14' Inst./30' x 30' maturity
 Water (M) Allergy (L) 0sf

AUTUMN BLAZE MAPLE 25
Acer x Freemanii 'Autumn Blaze'
 2' Gal., 12-14' Inst./40' x 40' maturity
 Water (M) Allergy (L) 0sf

SMALL TREE FOR OHV COMPLIANCE

NEW MEXICO OLIVE 11
Forestiera neomexicana
 15 Gal., 4-10' Inst./15' x 15' maturity
 Water (M) Allergy (L) 225sf

SCREENING TREE

WESTERN RED CEDAR 20
Thuja plicata 'Green Giant'
 15 Gal., 10' Inst./40' x 15' maturity
 Water (M) Allergy (L) 225sf

DESERT ACCENTS

PALM YUCCA 6
Yucca faxonia
 5 Gal., 15' x 6' maturity
 Water (L) Allergy (L) 0sf

OCOTILLO 3
Fouquieria splendens
 4-6' Inst./15' x 10' maturity
 Water (L) Allergy (L) 0sf

RUSSIAN SAGE 44
Perovskia atriplicifolia
 5 Gal., 18"-3' Inst./6' x 6' maturity
 Water (M) Allergy (L) 36sf

CHAMISA 56
Chrysothamnus nauseosus
 1 Gal., 6"-15" Inst./5' x 5' maturity
 Water (L) Allergy (L) 25sf

BANANA YUCCA 4
Yucca baccata
 5 Gal., 18"-3' Inst./4' x 5' maturity
 Water (L) Allergy (L) 25sf

RED YUCCA 35
Hesperaloe parviflora
 5 Gal., 18"-3' Inst./3' x 4' maturity
 Water (L+) Allergy (L) 16sf

REGAL MIST 35
Muhlenbergia capillaris
 5 Gal., 12"-3' Inst./3' x 3' maturity
 Water (M) Allergy (L) 4sf

MUGO PINE 5
Pinus mugo
 5 Gal., 12"-3' Inst./3' x 3' maturity
 Water (M) Allergy (L) 4sf

GROUNDCOVERS

BUFFALO JUNIPER 21
Juniperus sabinna 'Buffalo'
 5 Gal., 24"-4' Inst./2' x 8' maturity
 Water (L+) Allergy (L) 64sf
 Symbol indicates 3 plants

LADY BANK'S ROSE 18
Rosa banksiae
 5 Gal., 24"-4' Inst./3' x 20' maturity
 Water (M) Allergy (L) 400sf
 Unstaked Groundcover

VINES

TRUMPET VINE 22
Campsis radicans
 1 Gal., 6"-15" Inst./climbing to 40'
 Water (M) Allergy (L)

HARDSCAPES

- ~ COMMERCIAL GRADE STEEL EDGING
- ~ 4" CONCRETE MOWCURE
- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- BIOENGINEERED WOOD FIBER COMPACTED TO A 12" DEPTH WITH FILTER FABRIC
- OVERSIZED GRAVEL & 15 BOULDERS

* DENOTES EVERGREEN PLANT MATERIAL

FRONT YARD PLANT MATERIAL

VITEX
Vitex agnus-castus
 15 Gal., 4-10' Inst./20' x 20' maturity
 Water (M) Allergy (L) 225sf

NEW MEXICO OLIVE
Forestiera neomexicana
 15 Gal., 4-10' Inst./20' x 20' maturity
 Water (M) Allergy (L) 225sf

ROSE OF SHARON
Hibiscus syriacus
 5 Gal., 2-4' Inst./10' x 10' maturity
 Water (M) Allergy (L) 100sf

SPANISH BROOM
Genista hispanica
 5 Gal., 2-4' Inst./10' x 10' maturity
 Water (M) Allergy (L) 100sf

SCOTCH BROOM
Cytisus scoparius
 5 Gal., 18"-3' Inst./4' x 4' maturity
 Water (M) Allergy (L) 16sf

BLUE MIST SPIREA
Garryopteris glandonensis
 5 Gal., 12"-3' Inst./3' x 3' maturity
 Water (M) Allergy (L) 4sf

DEER GRASS
Muhlenbergia rigens
 1 Gal., 6"-15" Inst./4' x 4' maturity
 Water (M) Allergy (L) 16sf

POTENTILLA
Potentilla fruticosa
 1 Gal., 3"-15" Inst./3' x 3' maturity
 Water (M+) Allergy (L) 4sf

THREADGRASS
Stipa tenuissima
 1 Gal., 3"-15" Inst./2' x 2' maturity
 Water (L+) Allergy (L) 4sf

CATMINT
Nepeta mussini
 1 Gal., 3"-15" Inst./1' x 2' maturity
 Water (M) Allergy (L) 4sf

COURTYARD PLANT MATERIAL

GREEN MOUND JUNIPER
Juniperus procumbens 'Green Mound'
 5 Gal., 6"-15" Inst./8' x 8' maturity
 Water (L+) Allergy (H) 64sf

NANDINA
Nandina domestica
 5 Gal., 2-4' Inst./8' x 5' maturity
 Water (M+) Allergy (L) 25sf

WILDFLOWER
 1 Gal., 3"-15" Inst./varies at maturity
 Water (varies) Allergy (varies) 4sf

HARDSCAPES
 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

OVERSIZED GRAVEL & BOULDERS

* DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.

Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.

Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

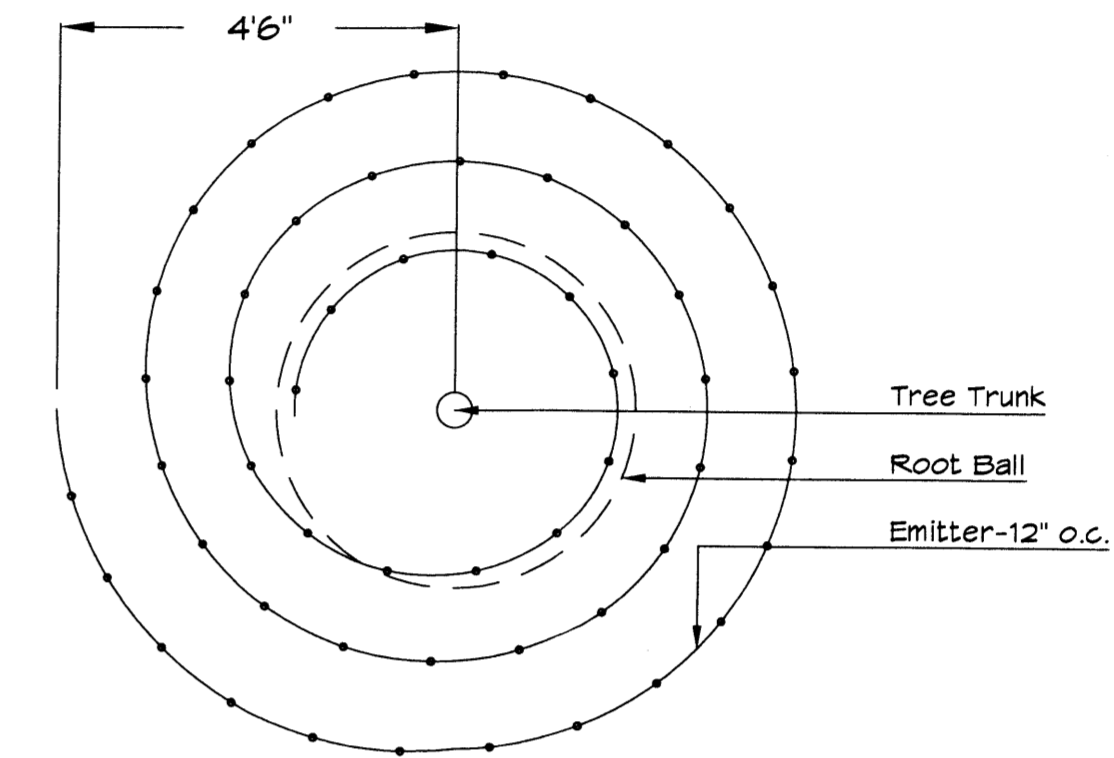
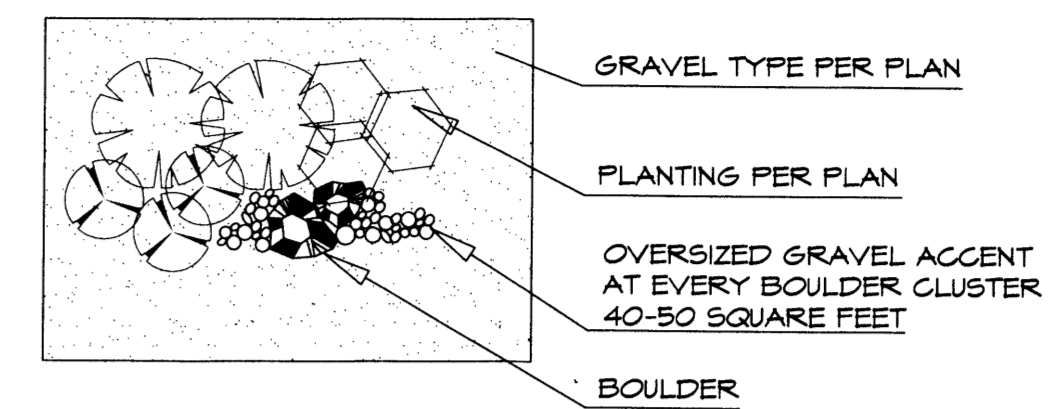
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

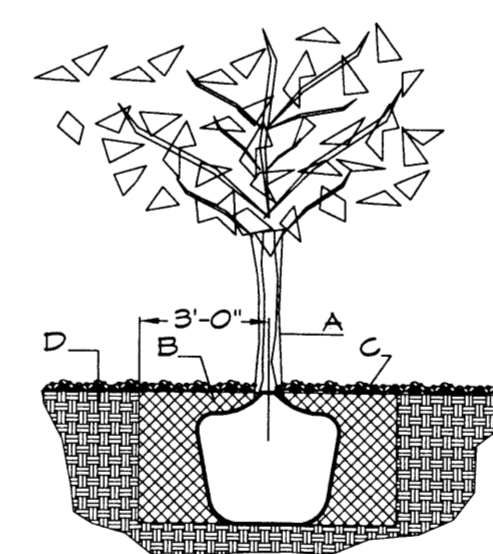
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/BUILDER.

GRAVEL ACCENT DETAIL



Netafim Spiral Detail



TREE PLANTING DETAIL

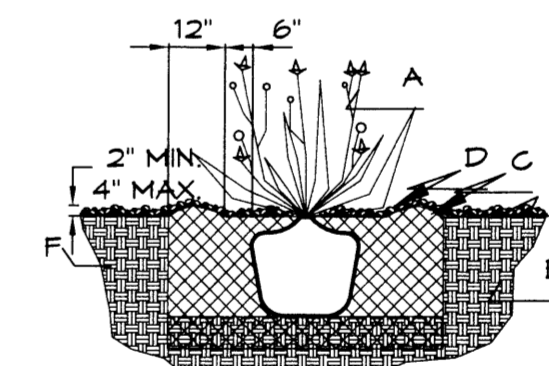
NTS

GENERAL NOTES:

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL

NTS

GENERAL NOTES:

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- A. SHRUB
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

The Hilltop

LANDSCAPE ARCHITECTS & CONTRACTORS

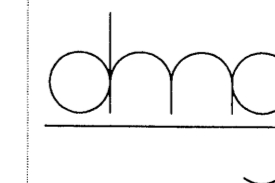
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 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless applicable fees have been paid or prior written consent is obtained. All plants shall be sized per American Standard for Nursery Stock.

REVISED: 5-17-12 CMJ

SAWMILL CROSSING

LANDSCAPE PLAN



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 CONSULTING ENGINEERS

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 (505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG
 Scale: 1" = 50' Date: 11/17/2011 Job: A11047 Sheet 6 of 6