

**PLAT FOR  
SAWMILL CROSSING UNIT 1  
WITHIN  
THE TOWN OF ALBUQUERQUE GRANT  
PROJECTED SECTION 7  
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
DECEMBER, 2013**

**LEGAL DESCRIPTION:**

A tract of land situate within the Town of Albuquerque Grant, projected Section 7, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of LOT B-1-A-2, DUKE CITY LUMBER COMPANY ADDITION, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 1995 in Volume 95C, Folio 451, and containing 6.9323 acres more or less.

**PURPOSE OF PLAT:**

- Subdivide Lot B-1-A-2, Duke City Lumber Company Addition into twenty seven (27) Residential lots and three (3) tracts.
- Dedicated Right-Of-Way and grant easements as shown hereon in this plat.
- Vacate easements as shown hereon in this plat.

**TABLE OF CONTENTS:**

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS AND EASEMENTS
- SHEET 3 FINAL PLAT GEOMETRY
- SHEET 4 CURVE, LINE TABLES AND PUE NOTES

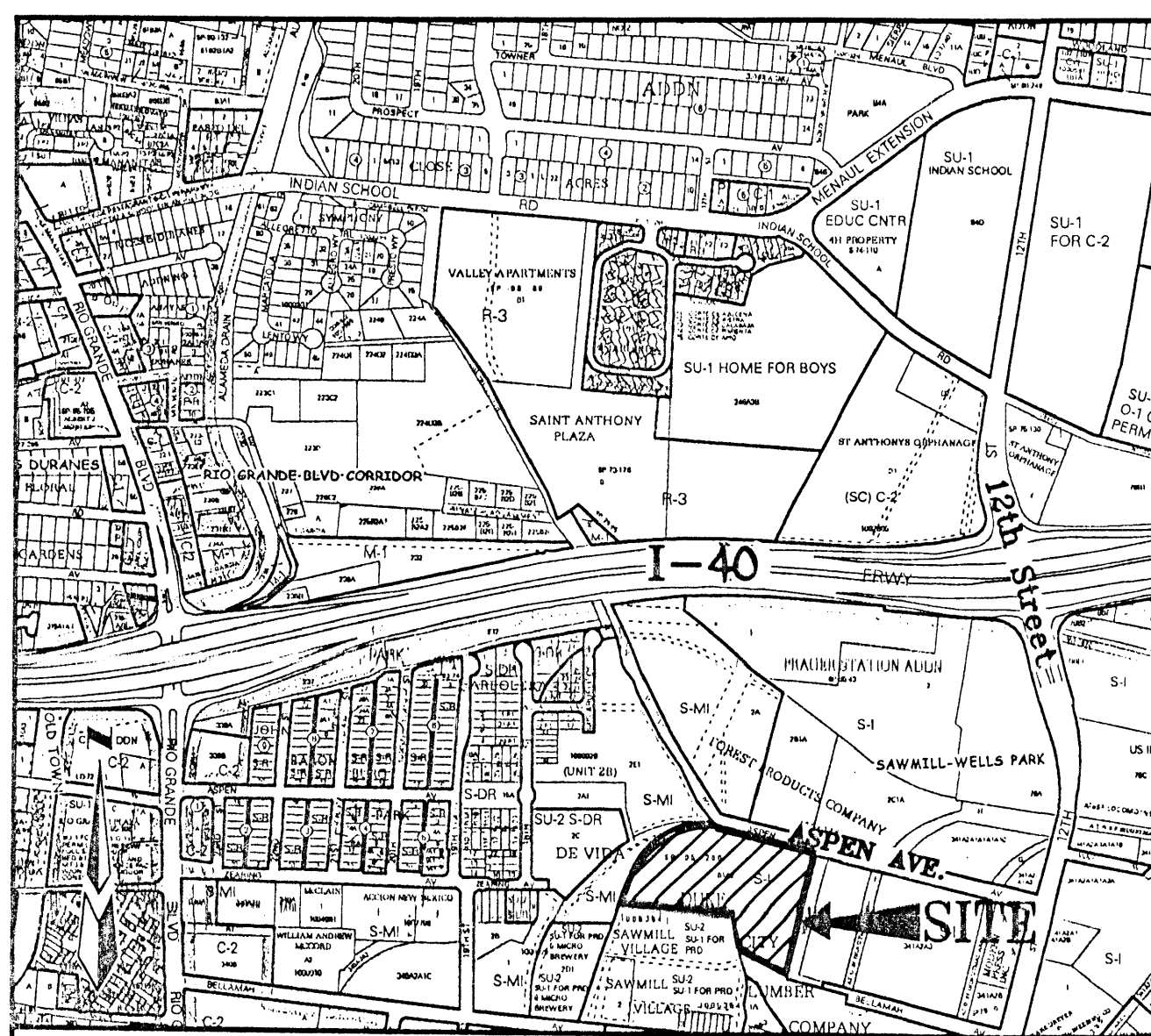
**NOTES:**

- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:

"DUKE CITY LUMBER COMPANY ADDITION", (12-15-1995, 95C-451)  
 "DUKE CITY LUMBER COMPANY ADDITION", (05-17-1996, 96C-204)  
 "DUKE CITY LUMBER COMPANY ADDITION", (09-17-1990, 90C-222)  
 "DUKE CITY LUMBER COMPANY ADDITION", (04-04-1978, D8-102)  
 "DUKE CITY LUMBER COMPANY ADDITION", (12-22-1971, D4-177)  
 "SAWMILL VILLAGE", (08-23-2010, 2010C-103)  
 "LANDS OF FOREST PRODUCTS CO.", (05-25-1990, 90C-135)  
 "LANDS OF FOREST PRODUCTS CO.", (02-11-2010, 2010C-19)  
 "ARBOLERA DE VIDA UNIT 2B", (04-14-2008, 2008C-70)  
 "SPECIAL WARRANTY DEED", (02-28-1992, 199217638)  
 "LANDS OF OTTO SCHEER", (Dated 09-09-1943)  
 "INDUSTRIAL PROPERTY & LEAD TRACK", (Dated 04-28-1947)

ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

- FIELD SURVEY PERFORMED IN JANUARY, 2012.
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X AND ZONE X (AREAS PROTECTED BY DIKES AND LEVEES), AS SHOWN ON PANEL 331 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008.
- AS NECESSARY, EACH REAR YARD SHALL CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARD RUNOFF FROM ADJOINING LOTS. SIDE YARDS THAT ARE NOT PART OF AN ATTACHED DWELLING SHALL ALSO CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARDS FLOWS TO THE STREET.
- TRACT B SHALL CONTAIN A 3-FOOT PRIVATE DRAINAGE EASEMENT ALONG THE REAR YARD BOUNDARY OF LOT 67 FOR THE BENEFIT OF LOTS 68 AND 69.
- SIDEWALK CULVERTS AT THE STREET AND OTHER IMPROVEMENTS WITHIN PRIVATE DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNER(S) WHO BENEFIT FROM THE EASEMENTS.
- SOLAR NOTE:** NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.



**VICINITY MAP NO SCALE ZONE ATLAS: H-13**

**SUBDIVISION DATA**

GROSS ACREAGE 6.9323 Acres  
 ZONE ATLAS NO. H-13-Z  
 NO. OF EXISTING LOTS 1  
 NO. OF LOTS/TRACTS CREATED 27 LOTS & 3 TRACTS  
 NO. OF TRACTS ELIMINATED 1  
 MILES OF FULL WIDTH STREETS CREATED 0.1071 MILES  
 AREA DEDICATED TO CITY OF ALBUQUERQUE 0.6355 Acres  
 DATE OF SURVEY JANUARY, 2012

**FREE CONSENT AND DEDICATION:**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

SAWMILL CROSSING LLC, Owner Lot B-1-A-2, Duke City Lumber Company Addition

Keith Cheshire, Managing Member

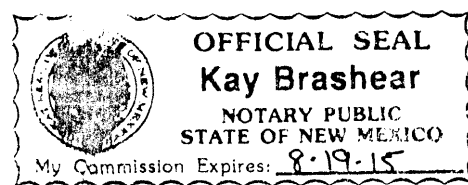
*Keith Cheshire* 1/16/14  
 Keith Cheshire, Managing Member Date

**OWNER'S ACKNOWLEDGMENT:**

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO ss

This instrument was acknowledged before me on January 16, 2014  
 By Keith Cheshire, Managing Member of Sawmill Crossing LLC, a New Mexico Limited Liability Company on behalf of said Company

*Kay Brashear* 8-19-15  
 NOTARY PUBLIC MY COMMISSION EXPIRES



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101205936462540210 PROPERTY OWNER OF RECORD.

Sawmill Crossings LLC  
 BERNALILLO COUNTY TREASURER'S OFFICE  
*Anna Kelle* 2/16/14

DOCH 2014019749

03/11/2014 11:24 AM Page 1 of 5  
 City of Albuquerque, Bernalillo County, New Mexico  
 Toulous Oliveira, Bernalillo County

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1009046

Application Number: 14 DRB-70030

**PLAT APPROVAL**

**Utility Approvals:**

*Fernando Vega* 1-31-14  
 PNM Electric Services Date

*Patricia Ramirez* 1/31/2014  
 New Mexico Gas Company Date

*Rita Ramirez* 2-2-14  
 Qwest Corp dba CenturyLink BC Date

*[Signature]* 1/31/14  
 Comcast Date

*[Signature]* 1-31-14  
 City Surveyor Date

*[Signature]* 3-10-14  
 Real Property Division Date

*[Signature]* 3-10-14  
 Environmental Health Department Date

*[Signature]* 02-26-14  
 Traffic Engineering, Transportation Division Date

*[Signature]* 02-26-14  
 Albuquerque Bernalillo Water Utility Authority Date

*[Signature]* 02-26-14  
 Parks and Recreation Department Date

*[Signature]* 3-3-14  
 AMAFCA Date

*[Signature]* 3-3-14  
 City Engineer Date

*[Signature]* 3-10-14  
 DRB Chairperson, Planning Department Date

**SURVEYOR'S CERTIFICATION:**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

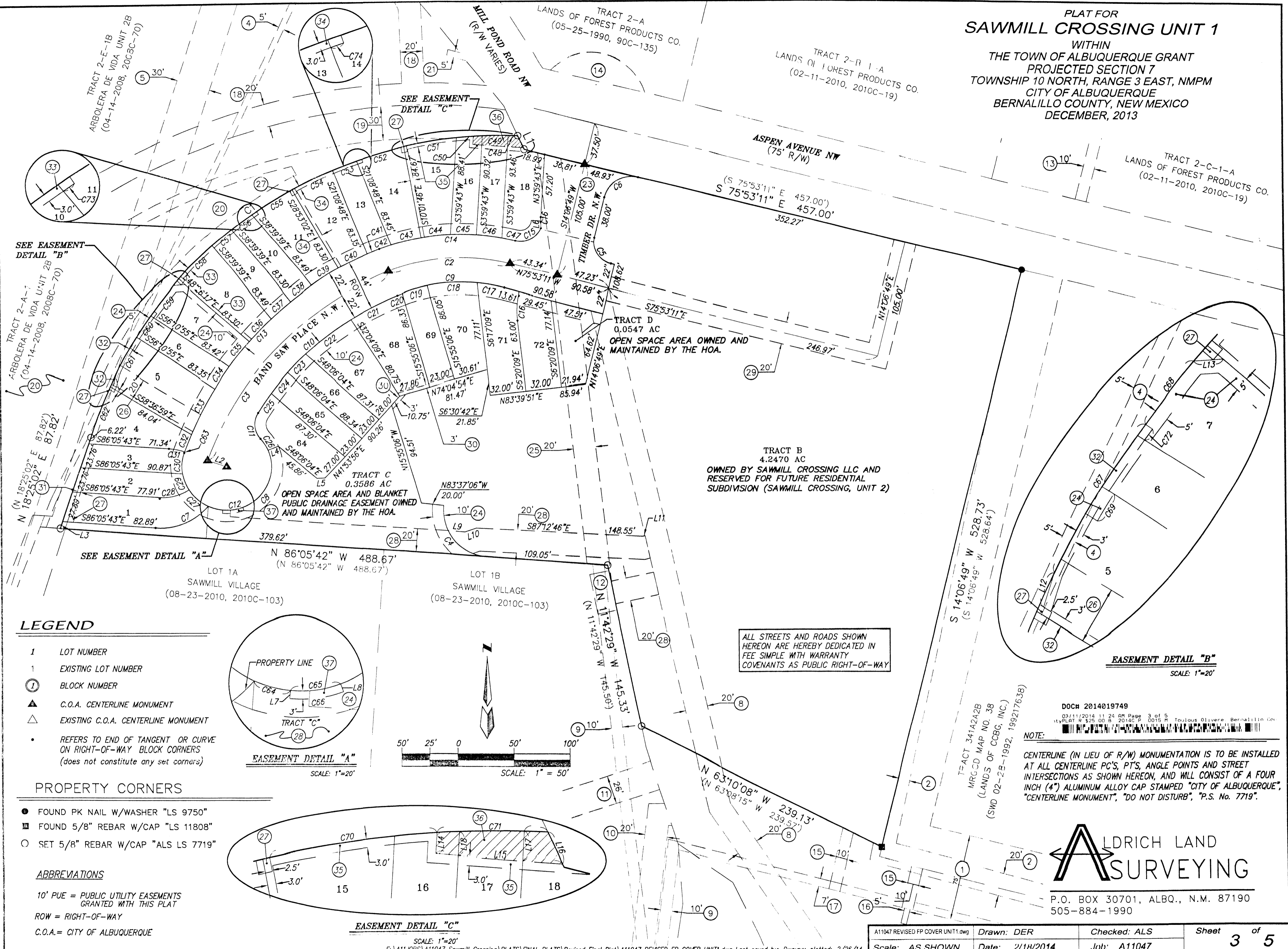
*Timothy Aldrich* 01/22/14  
 Timothy Aldrich P.S. No. 7719 Date



P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990



PLAT FOR  
**SAWMILL CROSSING UNIT 1**  
 WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 PROJECTED SECTION 7  
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 DECEMBER, 2013



TRACT 2-C-1-A  
 LANDS OF FOREST PRODUCTS CO.  
 (02-11-2010, 2010C-19)

TRACT 2-R 1-A  
 LANDS OF FOREST PRODUCTS CO.  
 (02-11-2010, 2010C-19)

TRACT 2-A  
 LANDS OF FOREST PRODUCTS CO.  
 (05-25-1990, 90C-135)

TRACT 2-E-1B  
 ARBOLERA DE VIDA UNIT 2B  
 (04-14-2008, 20C8C-70)

SEE EASEMENT  
 DETAIL "B"

SEE EASEMENT  
 DETAIL "C"

SEE EASEMENT  
 DETAIL "A"

TRACT B  
 4.2470 AC  
 OWNED BY SAWMILL CROSSING LLC AND  
 RESERVED FOR FUTURE RESIDENTIAL  
 SUBDIVISION (SAWMILL CROSSING, UNIT 2)

TRACT C  
 0.3506 AC  
 OPEN SPACE AREA AND BLANKET  
 PUBLIC DRAINAGE EASEMENT OWNED  
 AND MAINTAINED BY THE HOA.

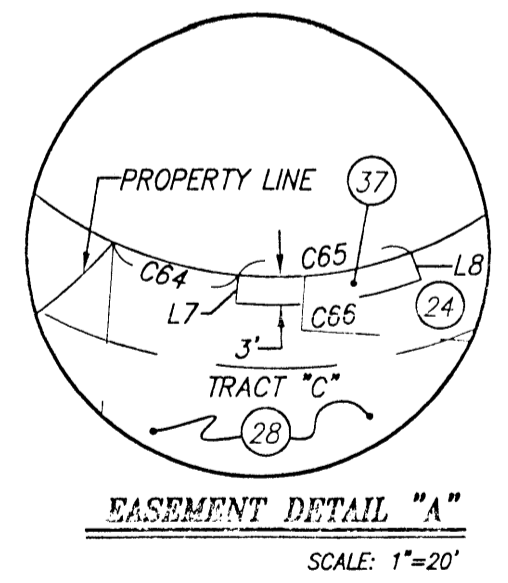
TRACT D  
 0.0547 AC  
 OPEN SPACE AREA OWNED AND  
 MAINTAINED BY THE HOA.

LOT 1A  
 SAWMILL VILLAGE  
 (08-23-2010, 2010C-103)

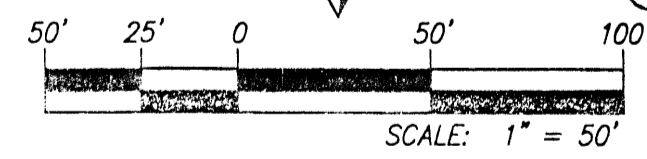
LOT 1B  
 SAWMILL VILLAGE  
 (08-23-2010, 2010C-103)

**LEGEND**

- 1 LOT NUMBER
- 1 EXISTING LOT NUMBER
- ① BLOCK NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- △ EXISTING C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)



ALL STREETS AND ROADS SHOWN  
 HEREON ARE HEREBY DEDICATED IN  
 FEE SIMPLE WITH WARRANTY  
 COVENANTS AS PUBLIC RIGHT-OF-WAY

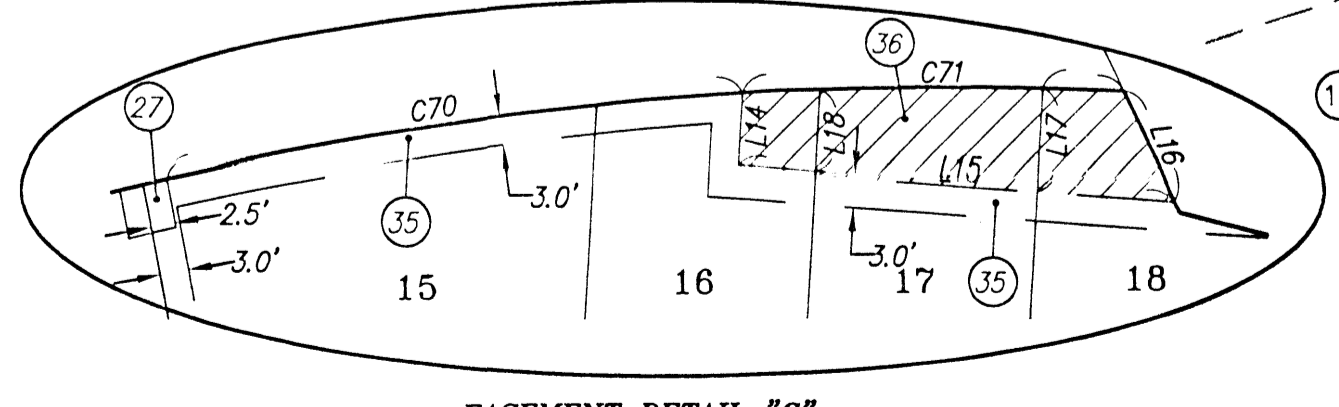


**PROPERTY CORNERS**

- FOUND PK NAIL W/WASHER "LS 9750"
- FOUND 5/8" REBAR W/CAP "LS 11808"
- SET 5/8" REBAR W/CAP "ALS LS 7719"

**ABBREVIATIONS**

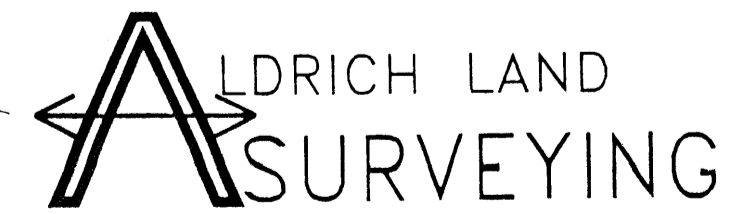
- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- ROW = RIGHT-OF-WAY
- C.O.A. = CITY OF ALBUQUERQUE



S 14°06'49" W 528.73'  
 (S 14°06'49" W 528.64')

EASEMENT DETAIL "B"  
 SCALE: 1" = 20'

DOCH 2014019749  
 03/11/2014 11:24 AM Page 3 of 5  
 City of Albuquerque, Bernalillo County, New Mexico  
 Toulous Oliveira, Bernalillo County, New Mexico  
 NOTE:  
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "P.S. No. 7719".



P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

PLAT FOR  
**SAWMILL CROSSING UNIT 1**  
 WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 PROJECTED SECTION 7  
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 DECEMBER, 2013

Curve Table						
Curve #	Length	Radius	Tangent	Delta	Chord Bearing	Chord Length
C2	110.68	180.00	57.15	35°13'50"	S86°29'54"W	108.94
C3	241.04	278.43	128.66	49°36'05"	S44°04'57"W	233.58
C4	64.56	40.00	41.77	92°28'36"	S39°51'24"E	57.78
C5	31.42	20.00	20.00	90°00'00"	S30°53'11"E	28.28
C6	39.20	25.00	24.93	89°49'45"	S59°01'42"W	35.30
C7	52.52	55.46	28.42	54°15'43"	N68°05'11"E	50.58
C8	95.97	40.00	102.76	137°27'49"	N46°03'57"E	74.55
C9	97.15	158.00	50.17	35°13'50"	S86°29'54"W	95.63
C10	165.05	256.43	85.50	36°52'40"	S50°26'39"W	162.21
C11	25.46	20.00	14.78	72°56'15"	S4°27'48"E	23.78
C12	167.70	40.00	-68.98	240°12'50"	N79°10'29"E	69.21
C13	260.08	300.43	138.82	49°36'05"	S44°04'57"W	252.04
C14	123.61	202.00	63.81	35°03'38"	S86°24'48"W	121.69
C15	28.08	20.00	16.91	80°26'13"	N63°43'30"E	25.83
C16	4.36	50.00	2.18	5°00'02"	S1°29'41"W	4.36
C17	24.62	158.00	12.34	8°55'45"	N80°21'03"W	24.60
C18	44.81	158.00	22.55	16°14'55"	S87°03'37"W	44.66
C19	23.02	158.00	11.53	8°20'55"	S74°45'43"W	23.00
C20	4.70	158.00	2.35	1°42'16"	S69°44'07"W	4.70
C21	46.47	256.43	23.30	10°23'01"	S63°41'29"W	46.41
C22	51.32	256.43	25.75	11°28'01"	S52°45'57"W	51.24
C23	23.03	256.43	11.52	5°08'45"	S44°27'34"W	23.02
C24	23.03	256.43	11.52	5°08'46"	S39°18'49"W	23.02
C25	21.19	256.43	10.60	4°44'07"	S34°22'23"W	21.19
C26	12.75	40.00	6.43	18°15'58"	N31°47'57"W	12.70
C27	22.75	40.00	11.69	32°35'13"	S48°54'32"E	22.44
C28	27.66	43.00	14.33	36°51'25"	N75°28'35"E	27.19
C29	16.01	40.00	8.11	22°55'52"	S21°09'00"E	15.90
C30	20.32	40.00	10.39	29°06'43"	S4°52'17"W	20.11
C31	14.35	52.00	7.22	15°49'01"	N78°11'12"W	14.31
C32	17.30	300.43	8.65	3°17'56"	S21°08'03"W	17.30
C33	46.36	300.43	23.22	8°50'26"	S27°12'15"W	46.31
C34	23.01	300.43	11.51	4°23'15"	S33°49'05"W	23.00
C35	29.10	300.43	14.56	5°33'01"	S38°47'13"W	29.09
C36	28.24	300.43	14.13	5°23'11"	S44°15'19"W	28.23
C37	23.02	300.43	11.52	4°23'26"	S49°08'38"W	23.02
C38	23.02	300.43	11.52	4°23'26"	S53°32'04"W	23.02
C39	28.24	300.43	14.13	5°23'11"	S58°25'23"W	28.23
C40	29.11	300.43	14.56	5°33'03"	S63°53'30"W	29.09
C41	11.62	300.43	5.81	2°12'58"	S67°46'30"W	11.62
C42	11.39	202.00	5.70	3°13'50"	S70°29'54"W	11.39
C43	27.70	202.00	13.87	7°51'25"	S76°02'31"W	27.68
C44	26.39	202.00	13.22	7°29'12"	S83°42'50"W	26.38
C45	23.05	202.00	11.54	6°32'17"	N89°16'26"W	23.04
C46	23.05	202.00	11.54	6°32'17"	N82°44'09"W	23.04
C47	12.02	202.00	6.01	3°24'38"	N77°45'42"W	12.02
C48	8.41	383.73	4.21	1°15'22"	N88°10'51"W	8.41
C49	23.08	383.73	11.54	3°26'44"	S89°28'06"W	23.07
C50	23.23	383.73	11.62	3°28'06"	S86°00'41"W	23.23
C51	47.78	383.73	23.92	7°08'03"	S80°42'37"W	47.75
C52	43.98	383.73	22.01	6°34'00"	S73°51'35"W	43.95
C53	23.00	383.73	11.51	3°26'05"	S68°51'33"W	23.00
C54	40.36	383.73	20.20	6°01'32"	S64°07'44"W	40.34
C55	42.47	383.73	21.26	6°20'27"	S57°56'45"W	42.45

Curve Table						
Curve #	Length	Radius	Tangent	Delta	Chord Bearing	Chord Length
C56	23.01	383.73	11.51	3°26'11"	S53°03'26"W	23.01
C57	23.01	383.73	11.51	3°26'11"	S49°37'16"W	23.01
C58	42.47	383.73	21.26	6°20'27"	S44°43'57"W	42.45
C59	63.37	383.73	31.75	9°27'41"	S36°49'53"W	63.29
C60	63.37	383.73	31.75	9°27'41"	S36°49'53"W	63.29
C61	49.83	383.73	24.95	7°26'25"	S28°22'50"W	49.79
C62	49.52	383.73	24.80	7°23'39"	S20°57'48"W	49.49
C63	1.06	300.43	0.53	0°12'11"	S19°23'00"W	1.06
C64	13.46	40.00	6.80	19°17'08"	S74°50'43"E	13.40
C65	18.16	40.00	9.24	26°00'21"	N82°30'33"E	18.00
C66	19.52	43.00	9.93	26°00'21"	N82°30'33"E	19.35
C67	62.86	383.73	31.50	9°23'10"	S31°35'20"W	62.79
C68	27.93	383.73	13.97	4°10'11"	S38°22'00"W	27.92
C69	11.42	378.73	5.71	1°43'39"	S31°12'52"W	11.42
C70	60.45	383.73	30.29	9°01'32"	S82°01'47"W	60.39
C71	39.55	383.73	19.79	5°54'17"	S89°29'41"W	39.53
C72	4.87	380.73	2.44	0°43'59"	S35°54'56"W	4.87
C73	4.78	380.73	2.39	0°43'10"	S55°09'44"W	4.78
C74	4.87	380.73	2.44	0°43'59"	S70°57'24"W	4.87

Line Table		
LINE	BEARING	DISTANCE
L2	S70°43'06"E	18.00'
L3	N18°25'02"E	6.20'
L4	N67°20'02"E	9.94'
L5	N86°53'56"E	7.07'
L6	N1°00'20"W	5.90'
L7	N5°30'43"E	3.00'
L8	N20°29'38"W	3.00'
L9	S86°05'42"E	14.99'
L10	N71°24'18"E	10.66'
L11	N77°02'49"E	2.21'
L12	N18°24'11"E	12.57'
L13	N86°33'43"E	10.52'
L14	S3°59'43"W	7.56'
L15	S86°00'17"E	45.23'
L16	S24°39'11"E	12.15'
L17	S3°59'43"W	10.34'
L18	S3°59'43"W	8.52'

Lot Area Table	
LOT#	Area
1	0.0725 Ac.
2	0.0502 Ac.
3	0.0459 Ac.
4	0.0661 Ac.
5	0.0920 Ac.
6	0.0440 Ac.
7	0.0664 Ac.
8	0.0676 Ac.
9	0.0440 Ac.
10	0.0440 Ac.
11	0.0676 Ac.
12	0.0664 Ac.
13	0.0440 Ac.
14	0.0690 Ac.

Lot Area Table	
LOT#	Area
15	0.0731 Ac.
16	0.0471 Ac.
17	0.0485 Ac.
18	0.0654 Ac.
64	0.0653 Ac.
65	0.0465 Ac.
66	0.0465 Ac.
67	0.0764 Ac.
68	0.0757 Ac.
69	0.0457 Ac.
70	0.0708 Ac.
71	0.0704 Ac.
72	0.0602 Ac.

Tract Area Table	
Name	Area
Tract B	4.2470 Ac.
Tract C	0.3586 Ac.
Tract D	0.0547 Ac.
ROW	0.6388 Ac.



DOCH 2014019749  
 03/11/2014 11:24 AM Page 4 of 5  
 City: PLAT R 325 00 8 20100 P. 0015 H. Toulouse Olivero, Bernalillo Co., NM

P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

A11047 REVISED FP COVER UNIT1.dwg	Drawn: DER	Checked: ALS	Sheet 4 of 5
Scale: AS SHOWN	Date: 2/18/2014	Job: A11047	

**PUBLIC UTILITY EASEMENTS (PUE)**

Shown on this plat are granted for the common and joint use of:

Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.

New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.

XFINITY for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**Disclaimer**

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**EASEMENT KEYED NOTES:**

- ① 75' RESERVED FOR PUBLIC UTILITIES BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854) (HATCHED PORTION VACATED WITH 13DRB-70518)
- ② 20' SANITARY SEWER EASEMENT BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)
- ③ 10' PNM EASEMENT (06-25-1968, BK. MISC 107, PG. 297-30) 10' PNM EASEMENT BY JUDGEMENT (06-25-1968, BK. MISC 107, PG. 301-304) (HATCHED PORTION VACATED WITH 13DRB-70518)
- ④ 5' PNM EASEMENT (03-18-1950, BK. D135, PG. 547-549)
- ⑤ 30' COA PERMANENT UTILITY EASEMENT BY JUDGEMENT (04-09-1968, BK. MISC 99, PG. 776-780)
- ⑥ 17' RAILROAD EASEMENT (10-24-2003, BK. A67, PG. 4653) (HATCHED PORTION VACATED WITH 13DRB-70518)
- ⑦ 20' NON-EXCLUSIVE RAILWAY EASEMENT (01-24-1980, BK. D113A, PG. 278-280) (HATCHED PORTION VACATED WITH 13DRB-70518)
- ⑧ 20' COA PUBLIC WATERLINE EASEMENT CENTERED ON EXISTING WATERLINE. LOCATION IS APPROXIMATE (09-17-1990, 90C-222) (HATCHED PORTION VACATED WITH 13DRB-70518)
- ⑨ 10' QWEST EASEMENT (08-06-2003, BK. A61, PG. 8569)
- ⑩ 20' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)
- ⑪ 20' COA PUBLIC ACCESS EASEMENT MAINTAINED BY OWNERS OF SAWMILL VILLAGE (08-23-2010, 2010C-103)
- ⑫ 17.4' X 35' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)
- ⑬ 10' PNM EASEMENT (01-07-1953, BK. D228, PG. 93-96)
- ⑭ COA PUBLIC TEMPORARY TURN-AROUND EASEMENT (05-25-1990, 90C-135)
- ⑮ 10' PUE (05-17-1996, 96C-204)
- ⑯ 5' PNM ANCHOR EASEMENT (05-17-1996, 96C-204)
- ⑰ 7' UTILITY EASEMENT (04-04-1978, D8-102)
- ⑱ 20' COA PUBLIC EMERGENCY ACCESS EASEMENT (10-06-2005, 2005C-325)
- ⑲ 30' BN & SF RAILWAY COMPANY EASEMENT (04-11-2005, 2005C-106)
- ⑳ COA PUBLIC DRAINAGE EASEMENT (04-11-2005, 2005C-106)
- ㉑ 10' PNM ANCHOR EASEMENT (04-11-2005, 2005C-106)
- ㉒ 20' RAILROAD TRACK EASEMENT (12-02-2003, BK. A63, PG. 5318) (TO BE VACATED BY THIS PLAT)
- ㉓ EXISTING PUBLIC ROADWAY EASEMENT (01-25-2013, DOC. #201300)
- ㉔ NEW 5' PUBLIC UTILITY EASEMENT, ALONG THE BACK OF LOTS 5 & 6 AND ALONG THE BACK & SIDE OF LOT 7, GRANTED WITH THIS PLAT. (SEE EASEMENT DETAIL "B" ON SHEET 3).
- ㉕ EXISTING 20' PNM EASEMENT (04-18-2013, DOC #2013043075)
- ㉖ NEW 20 FOOT PUBLIC SANITARY SEWER EASEMENT GRANTED TO ABCWUA WITH THIS PLAT.
- ㉗ NEW 5x5 FOOT WIDE LANDSCAPE EASEMENT GRANTED TO LOT 1 AND TO BE MAINTAINED BY UNDERLYING PROPERTY OWNER BY THIS PLAT.
- ㉘ NEW 20 FOOT PUBLIC WATER LINE EASEMENT GRANTED TO ABCWUA WITH THIS PLAT.
- ㉙ NEW 20 FOOT PUBLIC SANITARY SEWER EASEMENT GRANTED TO ABCWUA WITH THIS PLAT.
- ㉚ NEW 3 FOOT PRIVATE DRAINAGE EASEMENT GRANTED TO AND FOR THE BENEFIT OF LOTS 68 & 69 AND TRACT C BY THIS PLAT AND TO BE MAINTAINED BY UNDERLYING PROPERTY OWNERS.
- ㉛ NEW 3' PRIVATE DRAINAGE EASEMENT GRANTED TO AND FOR THE BENEFIT OF LOTS 1-4 WITH THIS PLAT AND TO BE MAINTAINED BY UNDERLYING PROPERTY OWNERS. (SEE EASEMENT DETAIL ON SHEET 2.).
- ㉜ NEW 3' PRIVATE DRAINAGE EASEMENT GRANTED TO AND FOR THE BENEFIT OF LOTS 5-7 WITH THIS PLAT AND TO BE MAINTAINED BY UNDERLYING PROPERTY OWNERS. (SEE EASEMENT DETAIL "B" ON SHEET 3).
- ㉝ NEW 3' PRIVATE DRAINAGE EASEMENT GRANTED TO AND FOR THE BENEFIT OF LOTS 8-11 WITH THIS PLAT AND TO BE MAINTAINED BY UNDERLYING PROPERTY OWNERS.
- ㉞ NEW 3' PRIVATE DRAINAGE EASEMENT GRANTED TO AND FOR THE BENEFIT OF LOTS 12-14 WITH THIS PLAT AND TO BE MAINTAINED BY UNDERLYING PROPERTY OWNERS.
- ㉟ NEW 3' PRIVATE DRAINAGE EASEMENT GRANTED TO AND FOR THE BENEFIT OF LOTS 15-18 WITH THIS PLAT AND TO BE MAINTAINED BY UNDERLYING PROPERTY OWNERS. SEE EASEMENT DETAIL "C" ON SHEET 3.
- ㊱ NEW PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA WITH THIS PLAT. (WIDTH VARIES- SEE EASEMENT DETAIL "C" ON SHEET 3).
- ㊲ NEW 3' PUBLIC SIDEWALK EASEMENT GRANTED WITH THIS PLAT TO THE CITY OF ALBUQUERQUE. (SEE EASEMENT DETAIL "A" ON SHEET 3).

PLAT FOR  
**SAWMILL CROSSING UNIT 1**  
 WITHIN  
 THE TOWN OF ALBUQUERQUE GRANT  
 PROJECTED SECTION 7  
 TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 DECEMBER, 2013

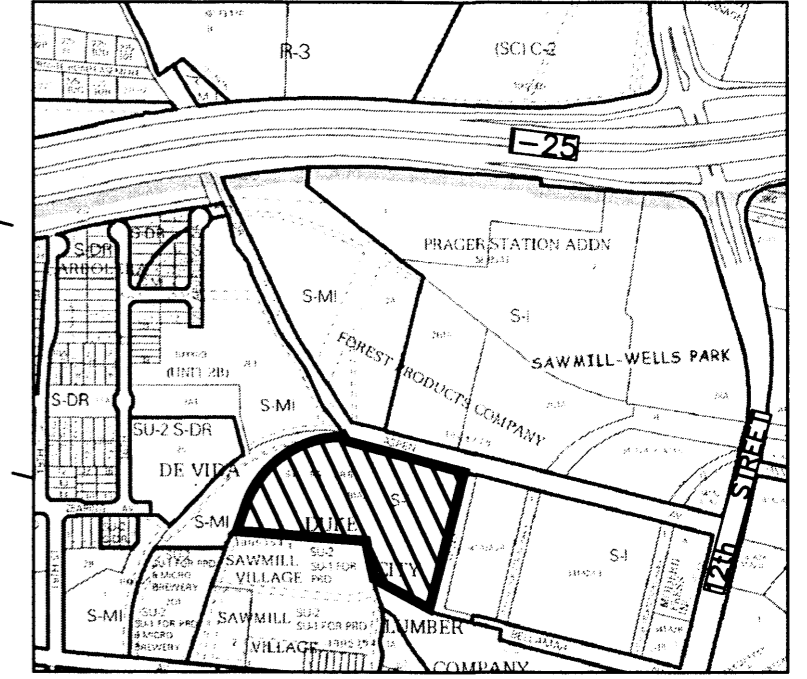
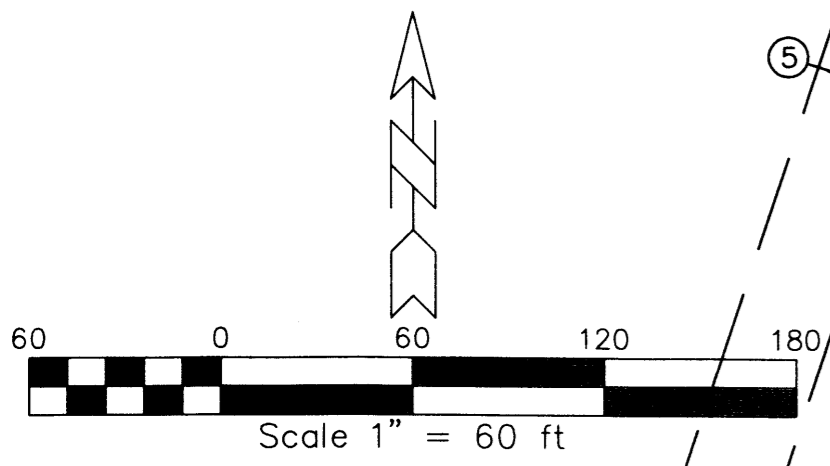
**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBQ., N.M. 87190  
 505.884.1990

DOCH 2014019749

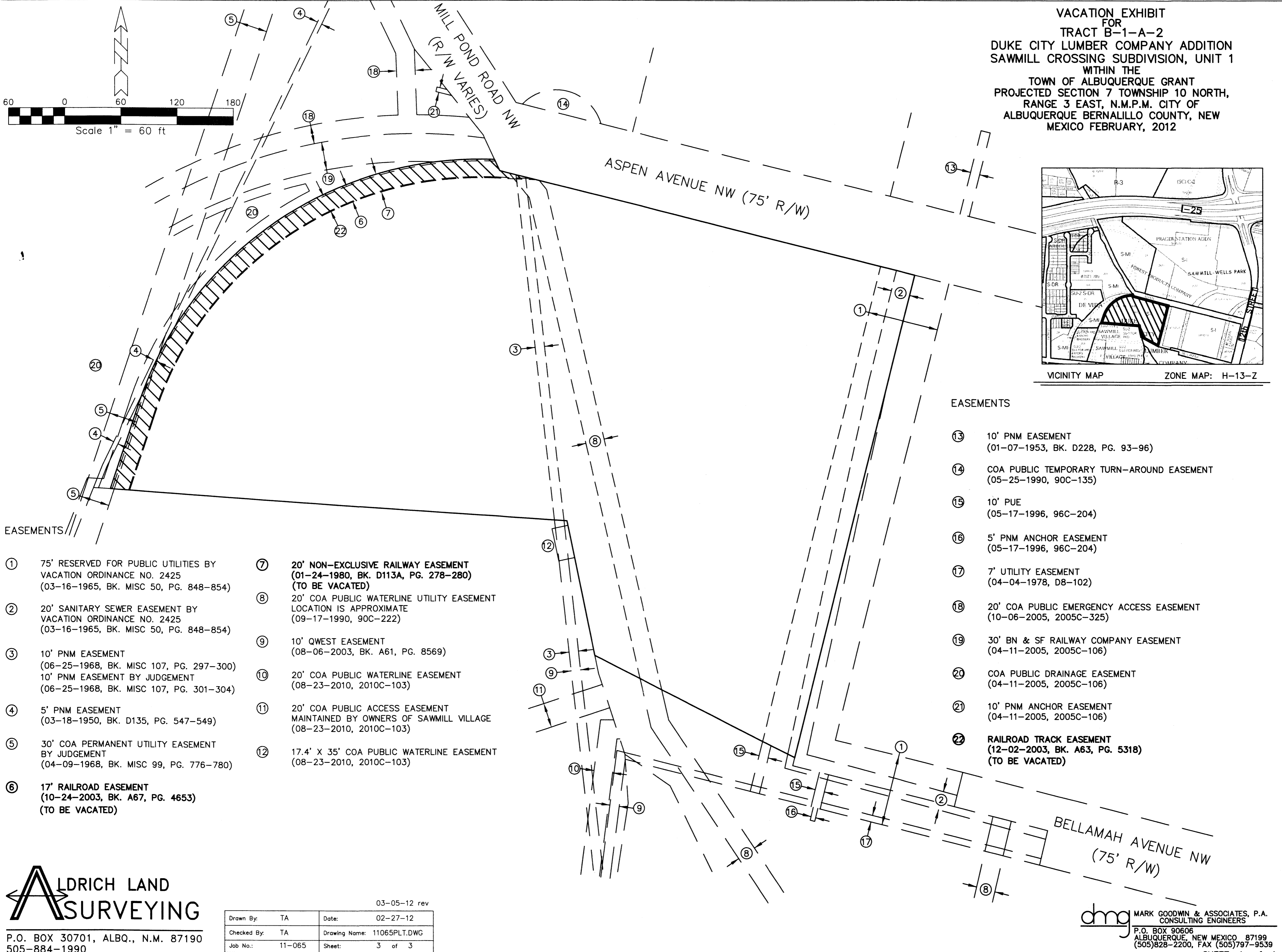
03/11/2014 11:24 AM Page 5 of 5  
 F:\A11047 Sawmill Crossing\PLATS\FINAL PLATS\Revised Final Plat\A11047 REVISED FP COVER UNIT1.dwg Last saved by: Dwayne; plotted: 2/26/14

A11047 REVISED FP COVER UNIT1.dwg	Drawn: DER	Checked: ALS	Sheet 5 of 5
Scale: AS SHOWN	Date: 2/18/2014	Job: A11047	

VACATION EXHIBIT  
 FOR  
 TRACT B-1-A-2  
 DUKE CITY LUMBER COMPANY ADDITION  
 SAWMILL CROSSING SUBDIVISION, UNIT 1  
 WITHIN THE  
 TOWN OF ALBUQUERQUE GRANT  
 PROJECTED SECTION 7 TOWNSHIP 10 NORTH,  
 RANGE 3 EAST, N.M.P.M. CITY OF  
 ALBUQUERQUE BERNALILLO COUNTY, NEW  
 MEXICO FEBRUARY, 2012



VICINITY MAP      ZONE MAP: H-13-Z



- EASEMENTS**
- ① 75' RESERVED FOR PUBLIC UTILITIES BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)
  - ② 20' SANITARY SEWER EASEMENT BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)
  - ③ 10' PNM EASEMENT (06-25-1968, BK. MISC 107, PG. 297-300)  
10' PNM EASEMENT BY JUDGEMENT (06-25-1968, BK. MISC 107, PG. 301-304)
  - ④ 5' PNM EASEMENT (03-18-1950, BK. D135, PG. 547-549)
  - ⑤ 30' COA PERMANENT UTILITY EASEMENT BY JUDGEMENT (04-09-1968, BK. MISC 99, PG. 776-780)
  - ⑥ 17' RAILROAD EASEMENT (10-24-2003, BK. A67, PG. 4653) (TO BE VACATED)

- ⑦ 20' NON-EXCLUSIVE RAILWAY EASEMENT (01-24-1980, BK. D113A, PG. 278-280) (TO BE VACATED)
- ⑧ 20' COA PUBLIC WATERLINE UTILITY EASEMENT LOCATION IS APPROXIMATE (09-17-1990, 90C-222)
- ⑨ 10' QWEST EASEMENT (08-06-2003, BK. A61, PG. 8569)
- ⑩ 20' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)
- ⑪ 20' COA PUBLIC ACCESS EASEMENT MAINTAINED BY OWNERS OF SAWMILL VILLAGE (08-23-2010, 2010C-103)
- ⑫ 17.4' X 35' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)

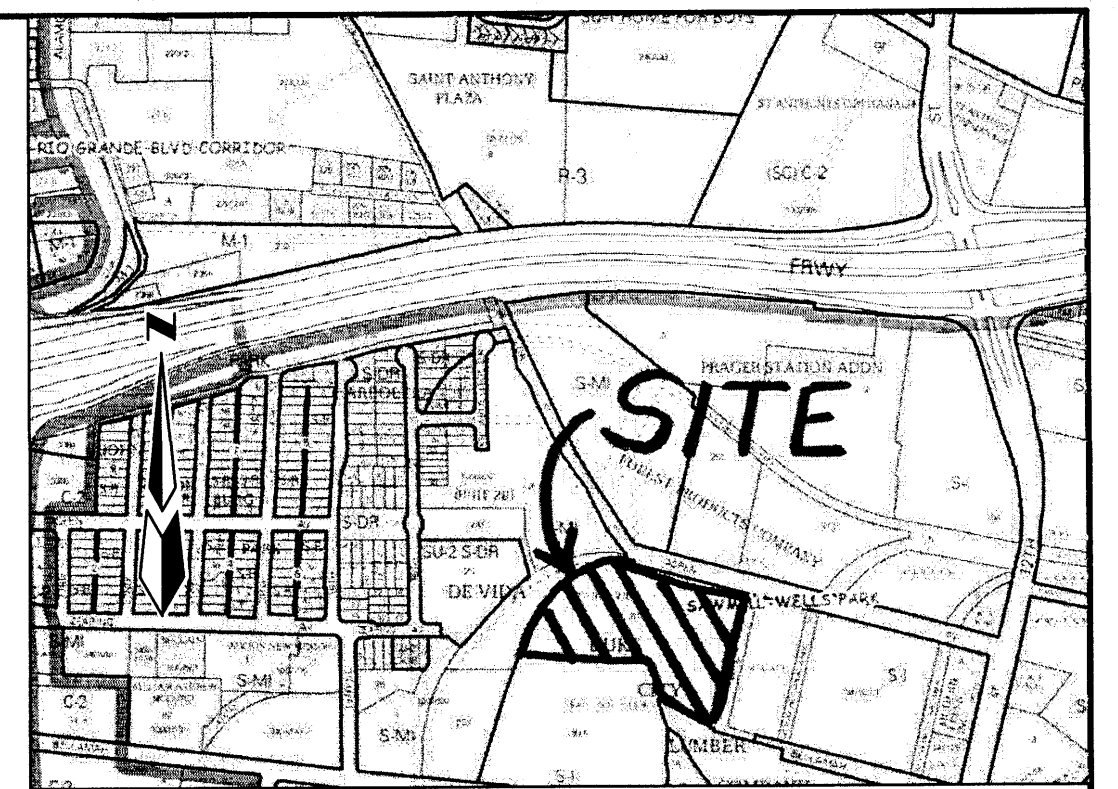
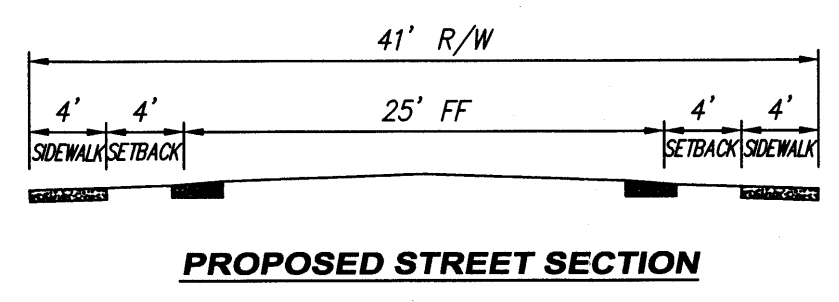
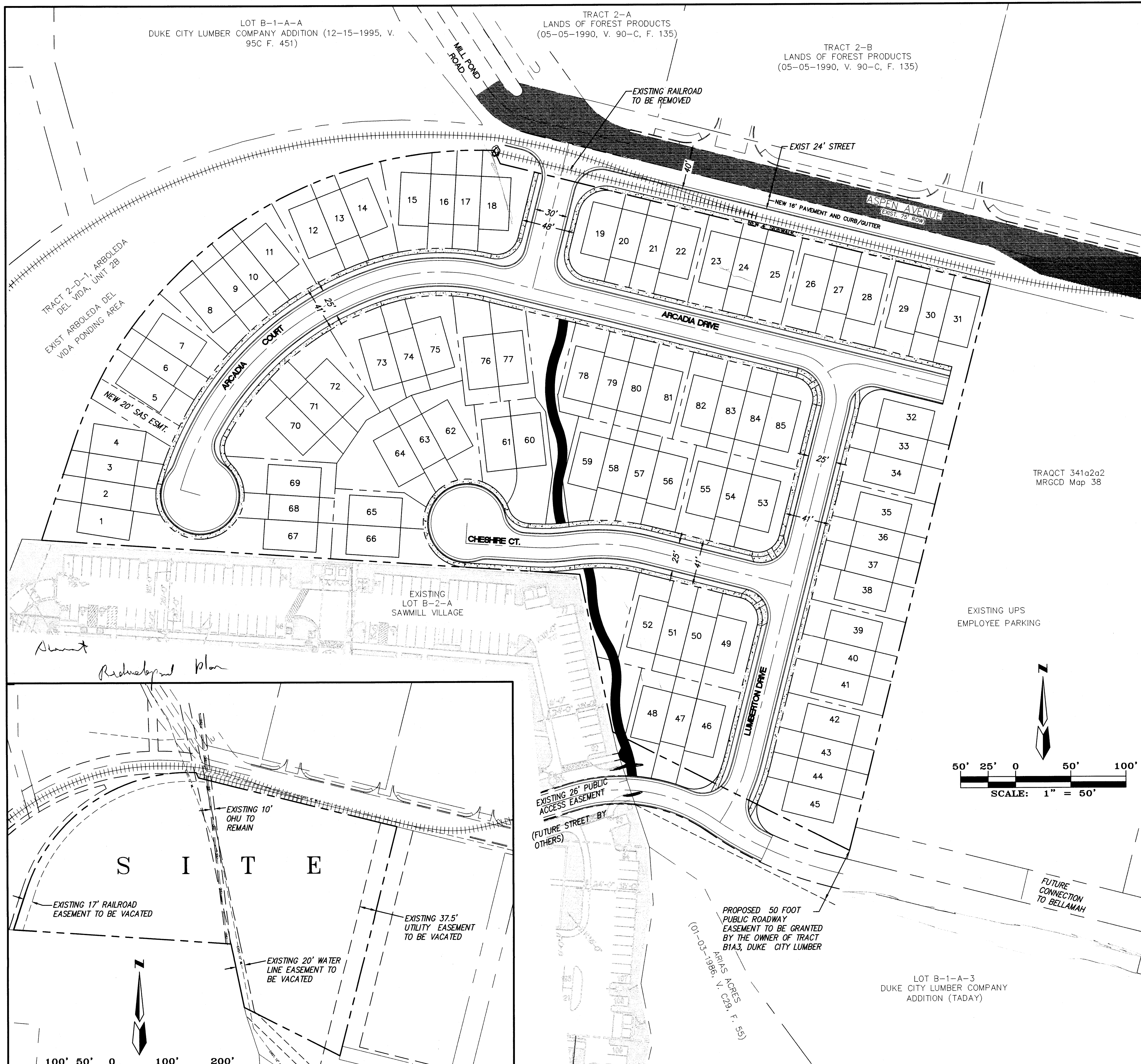
- EASEMENTS**
- ⑬ 10' PNM EASEMENT (01-07-1953, BK. D228, PG. 93-96)
  - ⑭ COA PUBLIC TEMPORARY TURN-AROUND EASEMENT (05-25-1990, 90C-135)
  - ⑮ 10' PUE (05-17-1996, 96C-204)
  - ⑯ 5' PNM ANCHOR EASEMENT (05-17-1996, 96C-204)
  - ⑰ 7' UTILITY EASEMENT (04-04-1978, D8-102)
  - ⑱ 20' COA PUBLIC EMERGENCY ACCESS EASEMENT (10-06-2005, 2005C-325)
  - ⑲ 30' BN & SF RAILWAY COMPANY EASEMENT (04-11-2005, 2005C-106)
  - ⑳ COA PUBLIC DRAINAGE EASEMENT (04-11-2005, 2005C-106)
  - ㉑ 10' PNM ANCHOR EASEMENT (04-11-2005, 2005C-106)
  - ㉒ RAILROAD TRACK EASEMENT (12-02-2003, BK. A63, PG. 5318) (TO BE VACATED)

**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

03-05-12 rev

Drawn By: TA	Date: 02-27-12
Checked By: TA	Drawing Name: 11065PLT.DWG
Job No.: 11-065	Sheet: 3 of 3

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539  
 SHEET 1 of 1



VICINITY MAP  
SCALE: 1"=750' ZONE ATLAS PAGE: H-13

**LEGAL DESCRIPTION**

That a certain parcel of land situate within the Town of Albuquerque Grant in projected Section 7, Township 19 North, range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo county, New Mexico, being and comprising Tract lettered "B-1-A-2", DUKE CITY LUMBER COMPANY filed in the office of the county Clerk of Bernalillo County, New Mexico, on December 15, 1995, in Volume 95C, Folio 451, containing .6,9292 acres, more or less.

**THE SITE:**

The site area is presently zoned SU-2 / S-I, being Tract B1A2, Duke City Lumber.

**PROPOSED USE CHANGES:**

The property is to be changed to SU-2 / SU-1 for a Planned Residential Development.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**

**Vehicular Access:** Primary access will be via Aspen Avenue with secondary access via a new connection to an off-site extension of Bellamah Avenue from the adjoining Sawmill Village. Bellamah will eventually be extended 350' to the east where it will connect to the existing Bellamah Ave. upon redevelopment of Tract "B-1-A-3", Duke City Lumber Company. Internal access through the site will be via public streets.

**Pedestrian, Bicycle and Trail Access:** New sidewalks will meet the current development process manual requirements. A new Trail will connect to the Sawmill Village south of site just off the Bellamah Ave. extension.

**Transit Access:** Route 36 runs along 12th street which is 1000 feet east of the site. Route 790 runs in Rio Grade Blvd, which is approximately 2000 ft west of the site.

**INTERNAL CIRCULATION REQUIREMENTS:**

Internal circulation will be via public on-site streets, which will contain 4' sidewalks on each side of the street and an 8' paved trail through the site.

**BUILDING HEIGHTS AND SETBACKS:**

Maximum allowed building heights shall be 26 feet. See setback provisions under design standards for minimum standards.

**MAXIMUM TOTAL DWELLING UNITS:**

Maximum total number of residential units shall be 85.

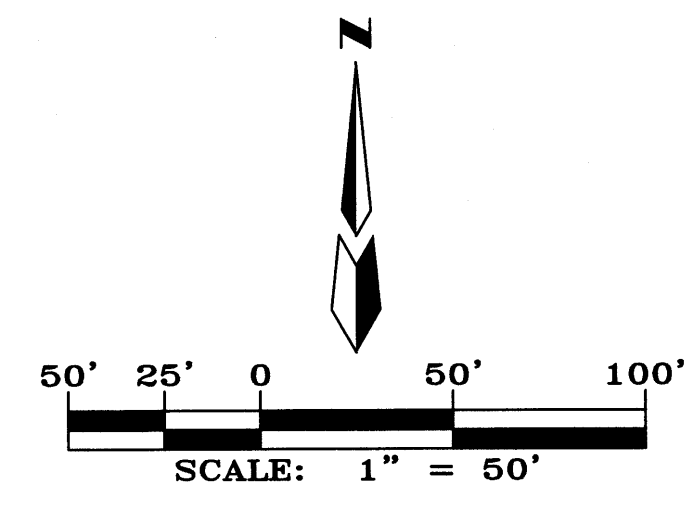
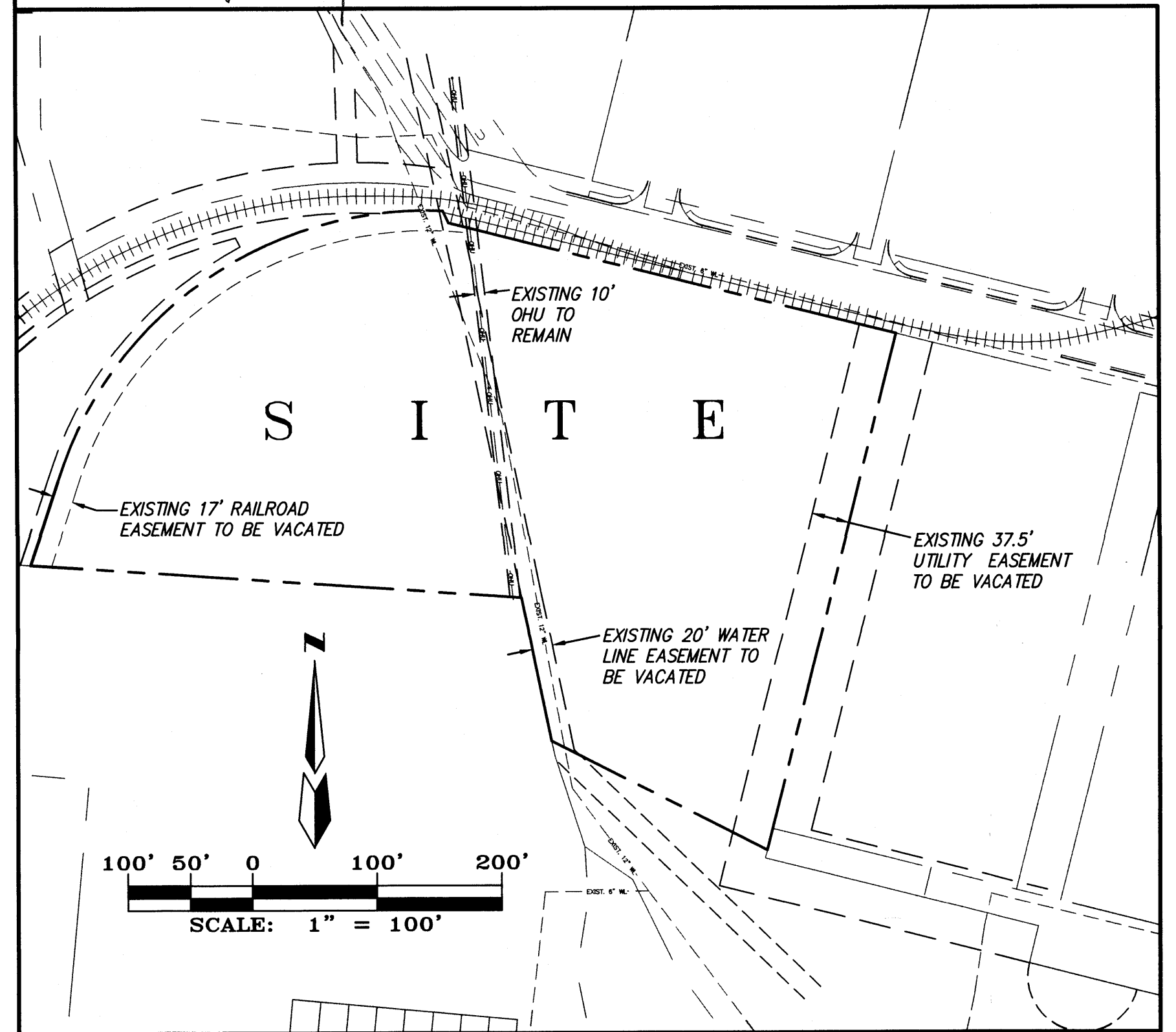
**LANDSCAPE STANDARDS:**

For Landscaping information, see on Sheet 5 of this plan set. All landscaping shall be per the City of Albuquerque Zoning Ordinance and shall comply with the Street Tree Ordinance.

**APPROVALS PROCESS:**

Upon approval of this SITE PLAN FOR SUBDIVISION, site development plan for building permit approval shall conform to the design standards presented herein and be delegated to the DRB.

<b>APPLICATION NUMBER:</b> _____	<b>PROJECT NUMBER:</b> _____
<b>City Approvals:</b>	
Traffic Engineering, Transportation Division	Date _____
Utilities Development	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
DRB Chairperson, Planning Department	Date _____



**EXISTING EASEMENTS**

**PREPARED BY:**  
D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200

**PREPARED FOR:**  
RIO GRANDE PROPERTIES, INC  
7400 HANCOCK CT. NE  
ALBUQUERQUE, NM 87109  
PH: (505) 797-1134  
FAX: (505) 797-8589

**LEGEND**

- NEW CURB AND GUTTER
- NEW SIDEWALK
- - - - EXIST. EASEMENT LINE
- EXIST. PAVED TRAIL
- EXIST. PAVEMENT
- OHU — EXIST. OVERHEAD UTIL. LINES
- - - - EXIST. PERMANENT CURB
- - - - EXIST. ASPHALT CURB
- PROPERTY LINE
- - - - NEW EASEMENT LINE
- +++++ EXIST. RAILROAD TRACK

PLAN INDEX	SHEETS
SITE PLAN FOR SUBDIVISION	1
DESIGN STANDARDS	2
CONCEPTUAL GRADING & DRAINAGE PLAN	3
CONCEPTUAL UTILITY PLAN	4
LANDSCAPING PLAN	5

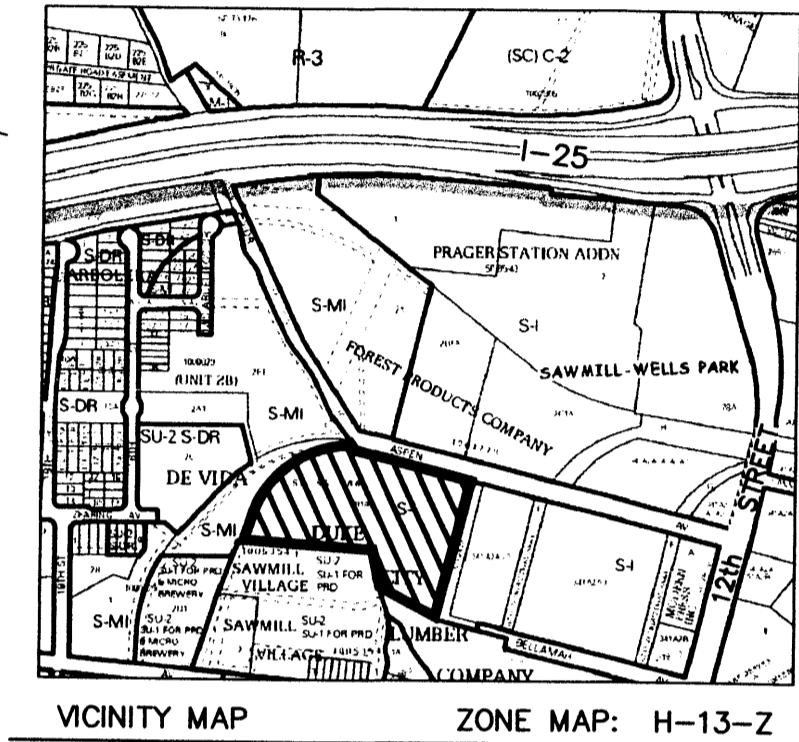
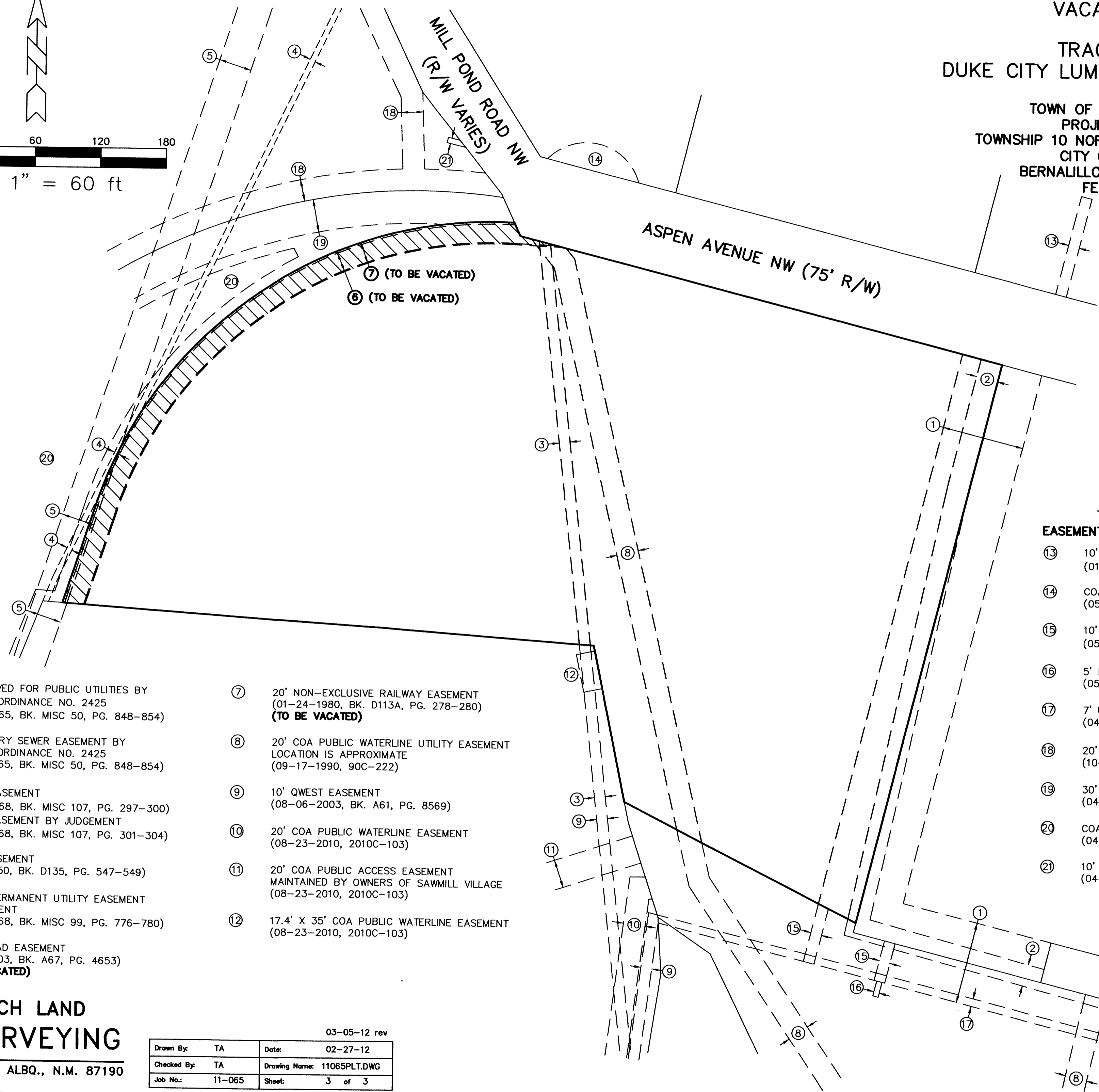
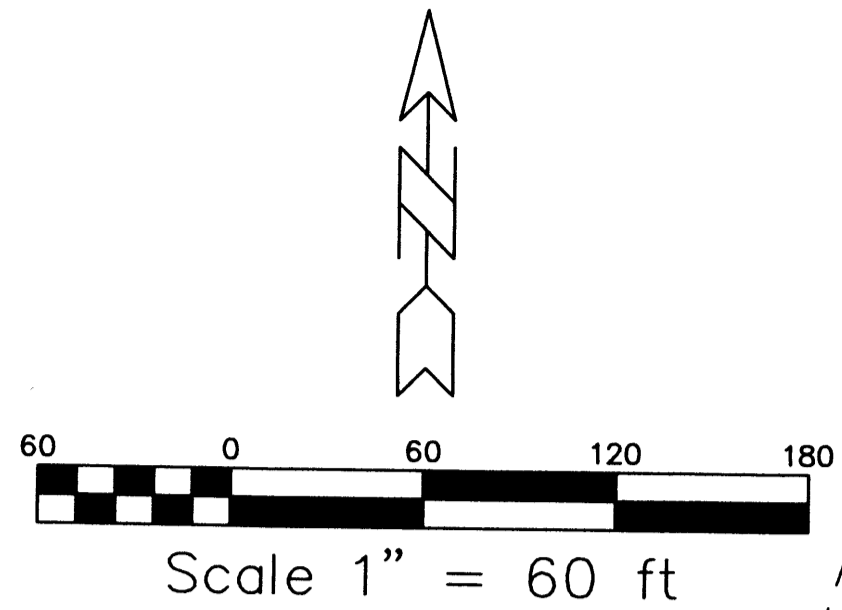
**SAWMILL CROSSING**  
**SITE PLAN FOR SUBDIVISION**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG Sheet 1 of 5  
Scale: 1" = 20' Date: 3/11/2011 Job: A10061

VACATION EXHIBIT  
FOR  
TRACT B-1-A-2  
DUKE CITY LUMBER COMPANY ADDITION

WITHIN THE  
TOWN OF ALBUQUERQUE GRANT  
PROJECTED SECTION 7  
TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
FEBRUARY, 2012



EASEMENTS

- |   |   |
|---|---|
| <p>① 75' RESERVED FOR PUBLIC UTILITIES BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)</p> <p>② 20' SANITARY SEWER EASEMENT BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)</p> <p>③ 10' PNM EASEMENT (06-25-1968, BK. MISC 107, PG. 297-300)<br/>10' PNM EASEMENT BY JUDGEMENT (06-25-1968, BK. MISC 107, PG. 301-304)</p> <p>④ 5' PNM EASEMENT (03-18-1950, BK. D135, PG. 547-549)</p> <p>⑤ 30' COA PERMANENT UTILITY EASEMENT BY JUDGEMENT (04-09-1968, BK. MISC 99, PG. 776-780)</p> <p>⑥ 17' RAILROAD EASEMENT (10-24-2003, BK. A67, PG. 4653) (TO BE VACATED)</p> | <p>⑦ 20' NON-EXCLUSIVE RAILWAY EASEMENT (01-24-1980, BK. D113A, PG. 278-280) (TO BE VACATED)</p> <p>⑧ 20' COA PUBLIC WATERLINE UTILITY EASEMENT LOCATION IS APPROXIMATE (09-17-1990, 90C-222)</p> <p>⑨ 10' QWEST EASEMENT (08-06-2003, BK. A61, PG. 8569)</p> <p>⑩ 20' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)</p> <p>⑪ 20' COA PUBLIC ACCESS EASEMENT MAINTAINED BY OWNERS OF SAWMILL VILLAGE (08-23-2010, 2010C-103)</p> <p>⑫ 17.4' X 35' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)</p> |
|---|---|

EASEMENTS

- |  |
|--|
| <p>⑬ 10' PNM EASEMENT (01-07-1953, BK. D228, PG. 93-96)</p> <p>⑭ COA PUBLIC TEMPORARY TURN-AROUND EASEMENT (05-25-1990, 90C-135)</p> <p>⑮ 10' PUE (05-17-1996, 96C-204)</p> <p>⑯ 5' PNM ANCHOR EASEMENT (05-17-1996, 96C-204)</p> <p>⑰ 7' UTILITY EASEMENT (04-04-1978, D8-102)</p> <p>⑱ 20' COA PUBLIC EMERGENCY ACCESS EASEMENT (10-06-2005, 2005C-325)</p> <p>⑲ 30' BN &amp; SF RAILWAY COMPANY EASEMENT (04-11-2005, 2005C-106)</p> <p>⑳ COA PUBLIC DRAINAGE EASEMENT (04-11-2005, 2005C-106)</p> <p>㉑ 10' PNM ANCHOR EASEMENT (04-11-2005, 2005C-106)</p> |
|--|

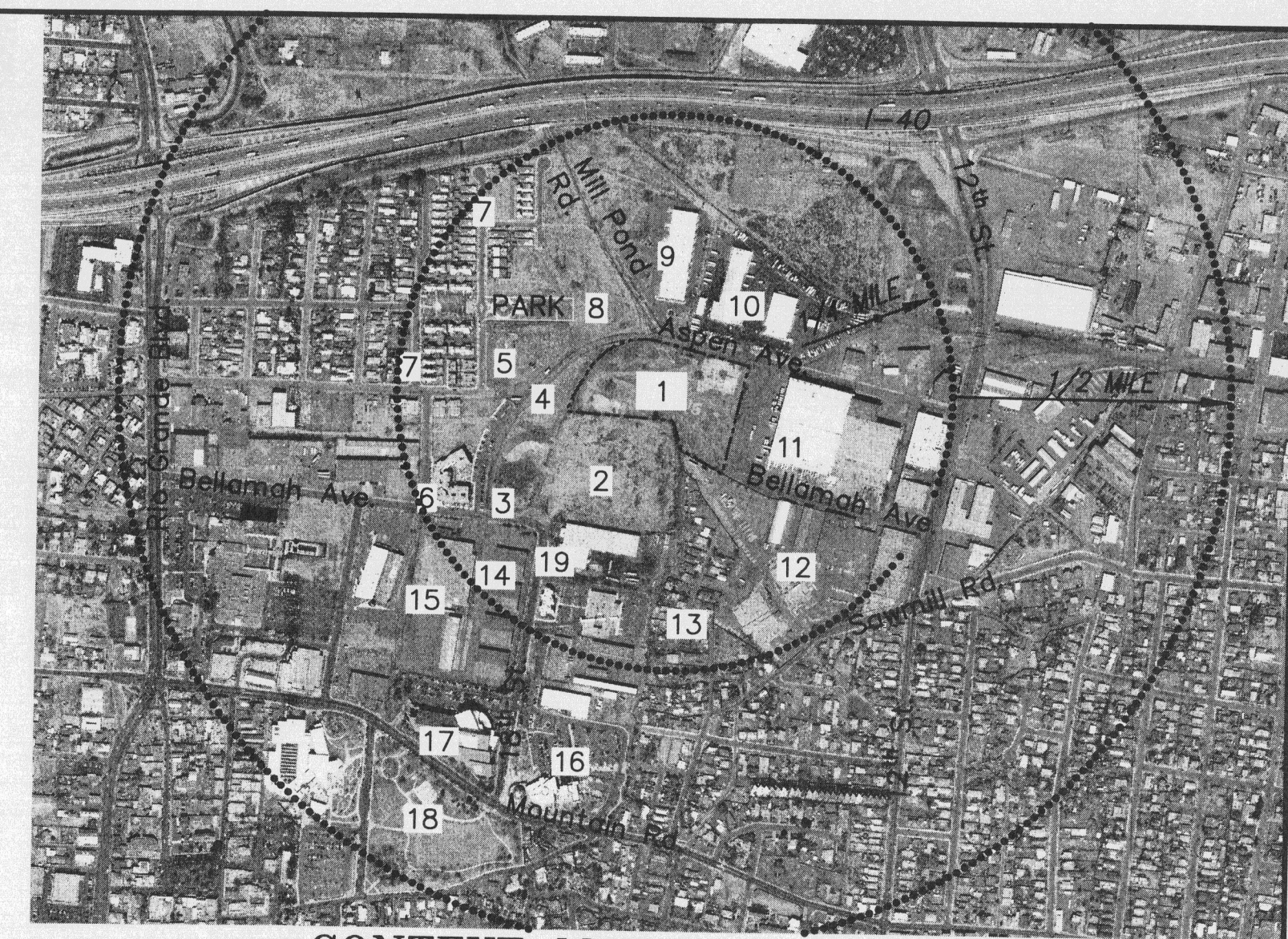
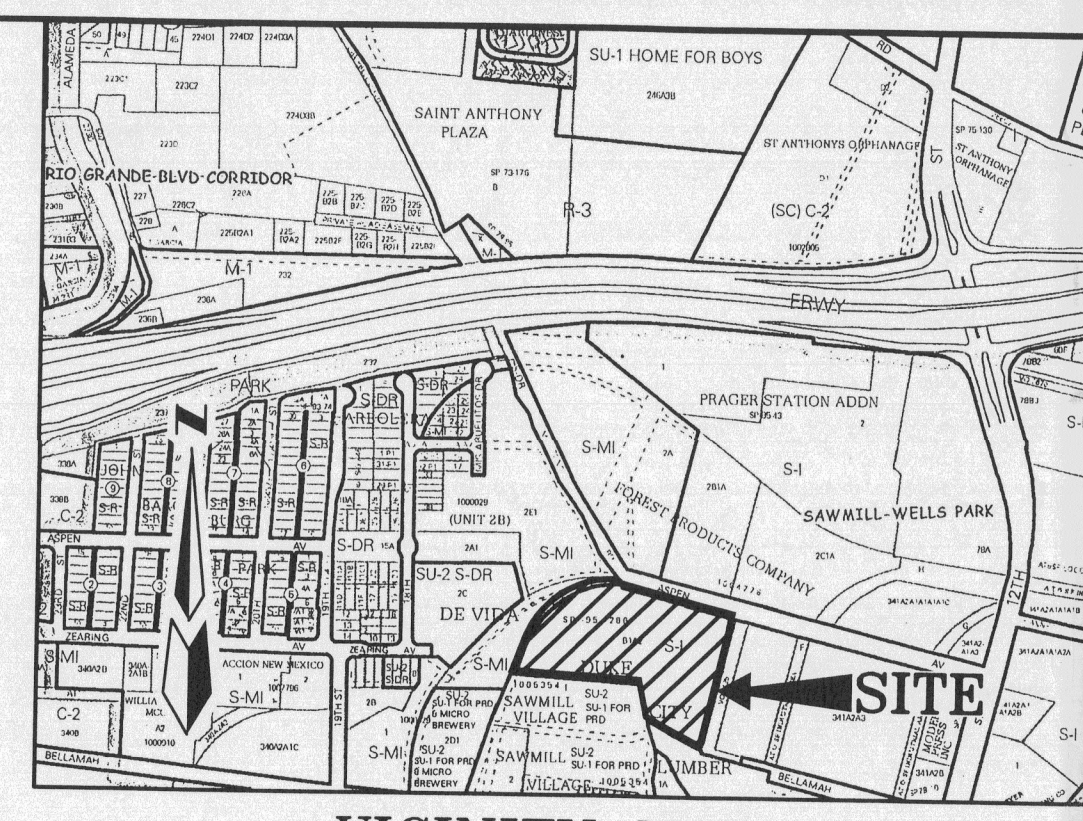
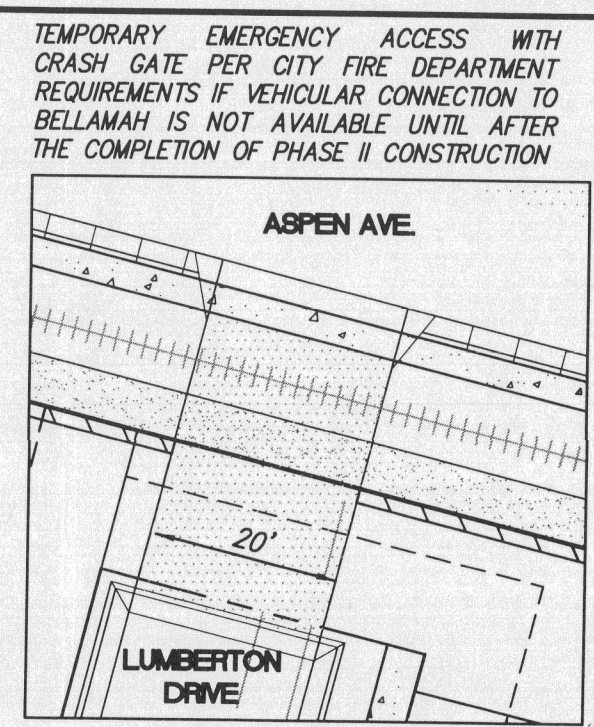
**ALDRICH LAND SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190  
505-884-1990

Drawn By: TA	Date: 02-27-12
Checked By: TA	Drawing Name: 11065PLT.DWG
Job No.: 11-065	Sheet: 3 of 3

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539





**CONTEXT MAP**

- |                           |  |  |
|---------------------------|--|--|
| 1. SUBJECT SITE           | 8. FUTURE SCLT ECONOMIC DEVELOPMENT              | 14. VACANT (SCLT OWNERSHIP)                    |
| 2. SAWMILL VILLAGE (SCLT) | 9. ROGER COX WAREHOUSE                           | 15. FORMER BLUE LINX WAREHOUSE (EXPLORA-OWNED) |
| 3. KESHET DANCE (COA)     | 10. ROBERTS TRUCK RENTAL & SERVICE               | 16. EXPLORA                                    |
| 4. PONDING AREA FOR SCLT  | 11. UNITED PARCEL SERVICE                        | 17. NM MUSEUM OF NATURAL HISTORY               |
| 5. SCLT SENIOR HOUSING    | 12. NM TIMBER & VIGA (FORMERLY CIELO AT SAWMILL) | 18. TIGUEX PARK                                |
| 6. SCLT LOFTS APARTMENTS  | 13. EXISTING 15TH ST. (SAWMILL NEIGHBORHOOD)     | 19. EXISTING OFFICE/WAREHOUSE                  |
| 7. SCLT ARBOLERA DE VIDA  |  |  |

**LEGAL DESCRIPTION**

That a certain parcel of land situate within the Town of Albuquerque Grant in projected Section 7, Township 19 North, range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo county, New Mexico, being and comprising Tract lettered "B-1-A-2", DUKE CITY LUMBER COMPANY filed in the office of the county Clerk of Bernalillo County, New Mexico, on December 15, 1995, in Volume 95C, Folio 451, containing 6.9292 acres, more or less.

**THE SITE:**

The site area is presently zoned SU-2 / S-1 and under the jurisdiction of the Sawmill / Wells Park Sector Development Plan and the Sawmill / Wells Park Community Metropolitan Redevelopment Area Plan.

**PROPOSED USE CHANGES:**

The property is to be changed to SU-2 / SU-1 for Planned Residential Development. Allowed uses shall be as permissive in the City R-T Zone.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**

**Vehicular Access:** Primary access will be via Aspen Avenue with secondary access via a new connection to an off-site extension of Bellamah Avenue from the adjoining Sawmill Village. Bellamah will eventually be extended 350' to the east where it will connect to the existing Bellamah Ave. upon redevelopment of Tract "B-1-A-3", Duke City Lumber Company. Internal access through the site will be via public streets.

**Pedestrian, Bicycle and Trail Access:** New sidewalks will meet the current development process manual requirements. A new 6' sidewalk will eventually connect to the Sawmill Village south of site just off the Bellamah Ave. extension. This walking trail shall contain at least four park benches and maximum 3-foot bollard lighting for pedestrian safety spaced at 100' on center along its length.

**TRANSIT ACCESS:**

Route 36 runs along 12th street which is 1000 feet east of the site. Route 790 runs along Rio Grade Blvd, which is approximately 2000 ft west of the site.

**INTERNAL CIRCULATION REQUIREMENTS:**

Internal circulation will be via public on-site streets, which will contain 4' sidewalks on each side of the street and a 6' sidewalk north-south through the middle of the site.

**BUILDING HEIGHTS AND SETBACKS:**

Maximum allowed building heights shall be 26 feet. See setback provisions under design standards.

**MAXIMUM TOTAL DWELLING UNITS AND MINIMUM LOT AREA:**

Maximum total number of residential units shall be 80 and overall site density shall not exceed 12 du/ac.

**LANDSCAPE STANDARDS:**

For Landscaping information see Sheet 5 of this plan set. All landscaping shall be per the City of Albuquerque Zoning Ordinance.

**PHASING:**

Phase I will consist of 27 lots and obtain its access from Aspen Ave. Once Phase I is close to buildout, Phase II construction will be undertaken and the entire project will be completed, with secondary access being off Bellamah Ave.

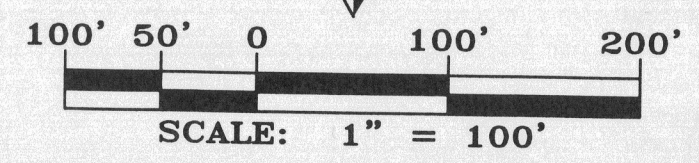
APPLICATION NUMBER: \_\_\_\_\_ PROJECT NUMBER: 1009046

City Approvals:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

**PLAN INDEX**

PLAN INDEX	SHEETS
SITE PLAN FOR SUBDIVISION	1
DESIGN STANDARDS	2
DESIGN STANDARDS AND CONCEPTUAL UTILITY PLAN	3
CONCEPTUAL GRADING & DRAINAGE PLAN	4
LANDSCAPING PLAN	5&6

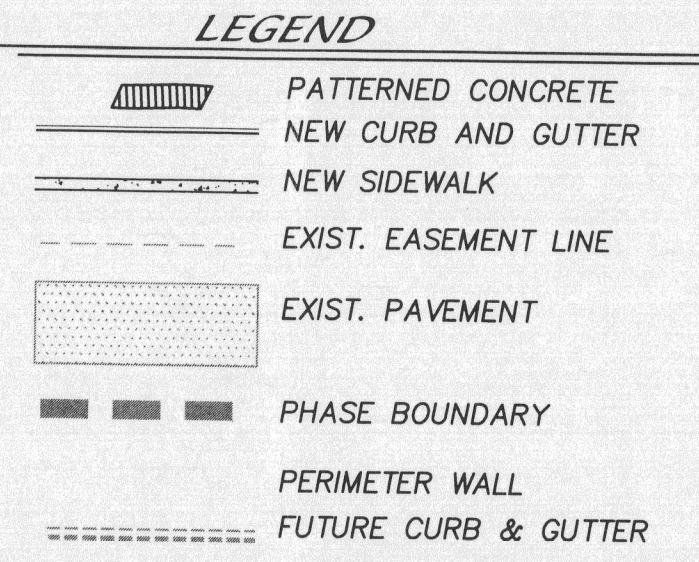


**EXISTING EASEMENTS**



**PREPARED BY:**  
 D. MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 828-2200

**PREPARED FOR:**  
 SAWMILL CROSSING, LLC  
 7400 HANCOCK CT. NE  
 ALBUQUERQUE, NM 87109  
 PH: (505) 797-1134  
 FAX: (505) 797-8589



**SAWMILL CROSSING**  
**SITE PLAN FOR SUBDIVISION**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

JM	Drawn: SPS	Checked: DMG	Sheet 1 of 6
Scale: 1" = 50'	Date: 11/22/2011	Job: A11047	

LAST REVISED: 02-01-12

F:\A11\JOBS\A11047 Sawmill Crossing\SITE PLANS\A11047 sawmill siteplan2.dwg, 4/24/2012 9:33:12 AM, stephen

**SITE DESIGN STANDARDS**

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Sawmill Area. The Sawmill Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all observers within Sawmill Crossing. Development shall comply with the general regulations of the Zoning Code and the Sawmill/Wells Park Sector Development Plan, except where otherwise noted herein. Where there is a conflict between the regulations and these design standards, the more restrictive shall apply.

**I. BUILDING FORMS**

All new dwellings shall be attached townhomes and joined together as two units, three units, or in a four-unit building, with each home being on its own lot. As detailed on this sheet, the townhomes located on the outside shall have minimum typical lot dimensions of at least 32 feet by 83 feet and the buildings will be 27 feet by 48 feet. With the three and four unit buildings, either one or two slightly smaller inside units (minimum 23 foot by 83 foot lot and 23 foot by 45 foot dwelling) will be combined with the outside units. Facades of inside units shall be recessed at least 3 feet behind the facades of exterior units. Interior dwelling areas will range from 880 SF up to 1650 SF.

- A. The maximum number of connected dwelling units shall be four.
- B. All buildings shall be two stories.

**II. ARCHITECTURAL STANDARDS**

- A. The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
- B. Typical building styles within this development shall be Southwest or New Mexico Vernacular, Pueblo, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
- C. Inside townhome facades shall be recessed in at least 5 feet or protrude out at least 5 feet from their garage front.
- D. Roofs may be flat, pitched, or combination of both, and they may be metal with colors being limited to earth-toned browns, grays, gavalume, and greens. When not flat, roof slopes shall be 30 to 45 degrees.
- E. All front doors of dwellings shall face the street.
- F. The garage doors on outside townhomes shall not be wider than 16 feet and on inside townhomes not wider than 8 feet. With four connected units the maximum allowed garage door width shall be 50% of total building width. With three connected units the maximum allowed width shall be 52%, and with two connected units the maximum allowed width shall be 59%.
- G. Exterior finishes on all new homes shall be stucco that is limited to earth-toned shades of brown, tan or sage green. Standard, untextured 8-inch by 16-inch CMU block is not allowed as a finish material for buildings. Where more than one dwelling unit is attached, the stucco color of the inside unit(s) shall be of a different color than the outside units.
- H. Accent materials shall consist of rock, tile, or brick in the entry portals, front doors, window frames and related trim. These elements shall be limited to shades of white, blue, brown, or green.
- I. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.
- J. Not less than 12.5% of a building facade facing public R/W shall be windows (to include garage door windows). New windows shall be recessed at least 2 inches or surrounded by a casing not less than 2 inches wide. Reflective glass is not permitted.

**III. PEDESTRIAN ACCESS AND CIRCULATION**

- A. Running north to south through the middle of Sawmill Crossing is a proposed 6-foot sidewalk that shall connect directly between Aspen Avenue and Bellamah Avenue. This sidewalk shall also connect to where a new sidewalk is stubbed out by the adjoining Sawmill Village. North of the subject property the new on-site pedestrian route shall be extended to tie into the existing sidewalk along the west side of Mill Pond Road. Inside the site benches shall be provided every 100 feet along the route.
- B. New sidewalks shall be installed in front of all new dwellings and along the south side of the on-site ponding area.
- C. All pedestrian improvements shall be handicap accessible and constructed according to the ADA regulations. New handicap ramps shall be installed at all street intersections and wherever a sidewalk has to cross a street, with pavement markings to identify the cross-walk.
- D. Lot 27 shall contain a handicap accessible dwelling with interior design features intended to accommodate handicapped individuals. It shall be eligible to be converted to a conventional dwelling if it is not sought after by a handicapped individual. Handicapped accessible units may be less than two stories.

**IV. OPEN SPACE**

- A. Minimum area of usable open space for outside townhomes shall be 1200 SF, while minimum usable area for inside townhomes shall be at least 600 SF.
- B. At least 10,000 SF of additional open space shall be provided on the pedestrian route running through the middle of the site and in the picnic area.

**V. LIGHTING STANDARDS**

- A. Lighting on public streets shall be in accordance with the City's DPM and Regulation 14-16-3-9 of the Zoning Code.
- B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways, provided that up-lighting fixtures are not used.
- C. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

**VI. LANDSCAPE STANDARDS**

- A. **Front Yard Minimum**
  - 1 Accent Tree at least 2" caliper or 10 feet high at the time of planting
  - 4 Shrubs (minimum 5 gallon)
  - 4 Shrubs (minimum 1 gallon)
  - 2 Landscape Boulders (3' x 3' minimum, with only one being placed in middle units)
- B. Accentuating "river rock" (max. 25% of area) and bark mulch (tree wells only) is also permitted in front yard landscaping.
- C. At a minimum, all front yard landscaping and common area landscaping shall be required to contain 1/2" to 3/4" diameter Santa Ana Tan, Santa Fe Brown, or Pueblo Rose (or similar) rock over filter fabric in all front yard areas that are not covered with living vegetative groundcover.
- D. Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- E. Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- G. Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- H. Shade trees spaced at least 30 feet on center shall be installed along the site's north boundary within Aspen Ave. and maintained by the HOA. A minimum of 75% of the ground in this area shall be covered with live plant material using anticipated mature tree and plant sizes.

**VII. SCREENING / WALLS & FENCES**

- A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code. Walls shall be colored, consist of a patterned scheme, and be constructed of split-face concrete masonry topped with a continuous cap (see detail this sheet).
- B. Side and courtyard walls shall be limited to 5 feet high.
- C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- D. Maximum rear yard and perimeter wall heights shall be 6 feet, unless noted otherwise.

**VIII. SETBACKS**

- A. Minimum Front Yard: 15 feet, except for lot 60, which contains a minimum 10' setback
- B. Minimum Rear Yard: 15 feet, unless noted otherwise in the setback variance detail, on this sheet. Lots 32 thru 45 shall contain a minimum 18' rear yard setback.
- C. Minimum Side Yard: No required setback, although there shall be at least 10 feet on the street side of corner lots (except lot 45).
- D. There shall also be a minimum of 10 feet between residential buildings.
- E. Building portions over 15 feet high shall be set back not less 25 feet from the front property line, except for the fronts of inside townhomes over the garage, which shall be set back not less than 23 feet from the front property line.

**IX. OFF-STREET PARKING**

- A. For townhomes located on the outside of each building the minimum number of off-street parking spaces provided shall be four. For townhomes located on the inside of buildings the minimum number of off-street parking spaces provided shall be two.
- B. Driveways shall not be less than 20 feet long.
- C. No more than 50% of each front, side, or rear yard setback area off a street shall be used for parking and/or driveway (except not more than 53% on outside units).

**X. UTILITIES**

- A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground. Refer to additional information provided on Sheet 5 regarding protection of existing on site transmission line.
- B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies

**XI. SIGNAGE**

- A. Signage allowed within the site shall be as illustrated on the wall below with two signs being located at the entry.

**XII. NOISE**

- A. New dwellings on Lot 19 through Lot 45 shall use sound insulation and other noise attenuation measures to allow for an indoor sound level of no more than 45 dB(A). Building plans for dwellings on these lots shall be reviewed and certified by a qualified acoustical consultant to check for this limitation.

**XIII. APPROVAL PROCESS**

- A. Being less than 10 acres in size, the Environmental Planning Commission shall be the final authority for this request approval, with final Site Development Plan for Subdivision sign-off being delegated to the Development Review Board. Upon DRB approval of this Site Development Plan for Subdivision, building permit applications shall be checked for compliance to these design standards and approved by city Building Permit officials if they comply.
- B. In accordance with the Zoning Code, the Planning Director shall have the discretion to approve minor amendments to this site development plan, whereas major amendments shall be approved by the EPC.

**SAWMILL/WELLS PARK SECTOR DEVELOPMENT PLAN**

(within the General Regulations only those that apply to residential uses are listed below)

**General SU-2 Regulations**

**3. RESIDENTIAL BUILDING DESIGN:**

- 3.a. Building exterior materials (stucco, brick, wood, etc.), color, window and door styles, and roof slope and materials shall be the same or similar on all parts of a structure and on all detached dwelling units on one lot.
- 3.b. Buildings shall not exceed 26 feet in height. Building portions over 15 feet high shall be set back not less than 25 feet from property lines abutting the public right-of-way or a private street and not less than 10 feet from interior side property lines.
- 3.c. The slope of new roofs shall range from flat to not more than a 45 degree angle.

**NOTES AND ILLUSTRATIONS**

THIS PLAN COMPLIES (REFER TO STANDARD II.D. AND II.G.)

THIS PLAN COMPLIES WITH MAXIMUM BUILDING HEIGHT LIMIT (REF. SHEET 1)

**EXCEPTION**

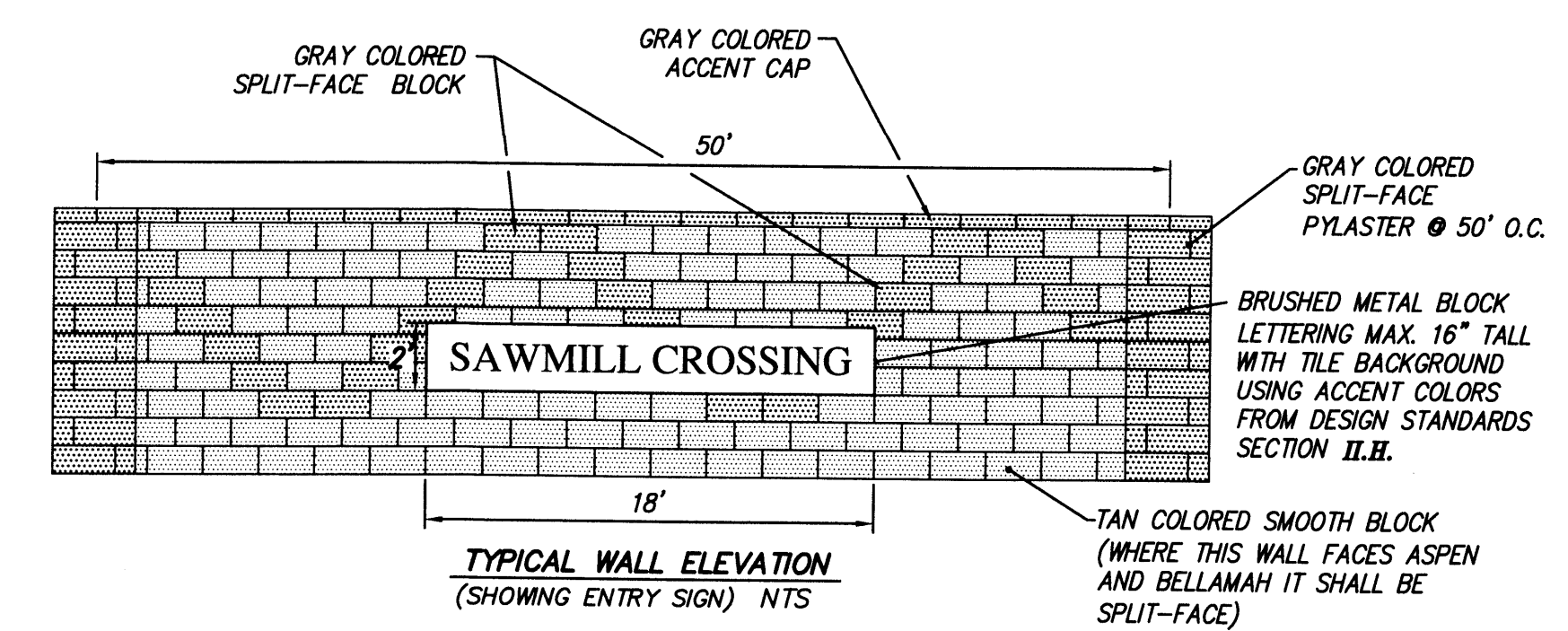
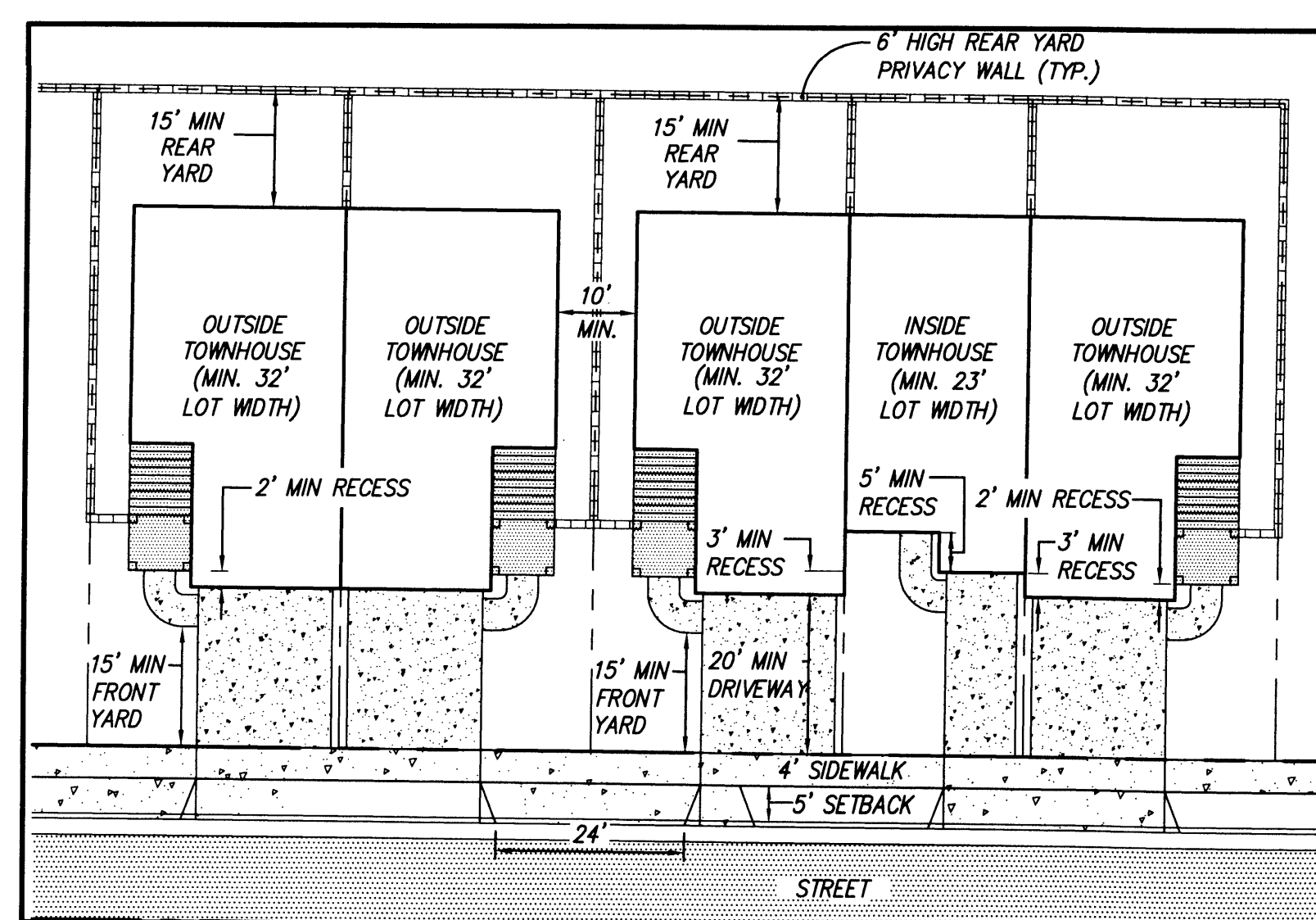
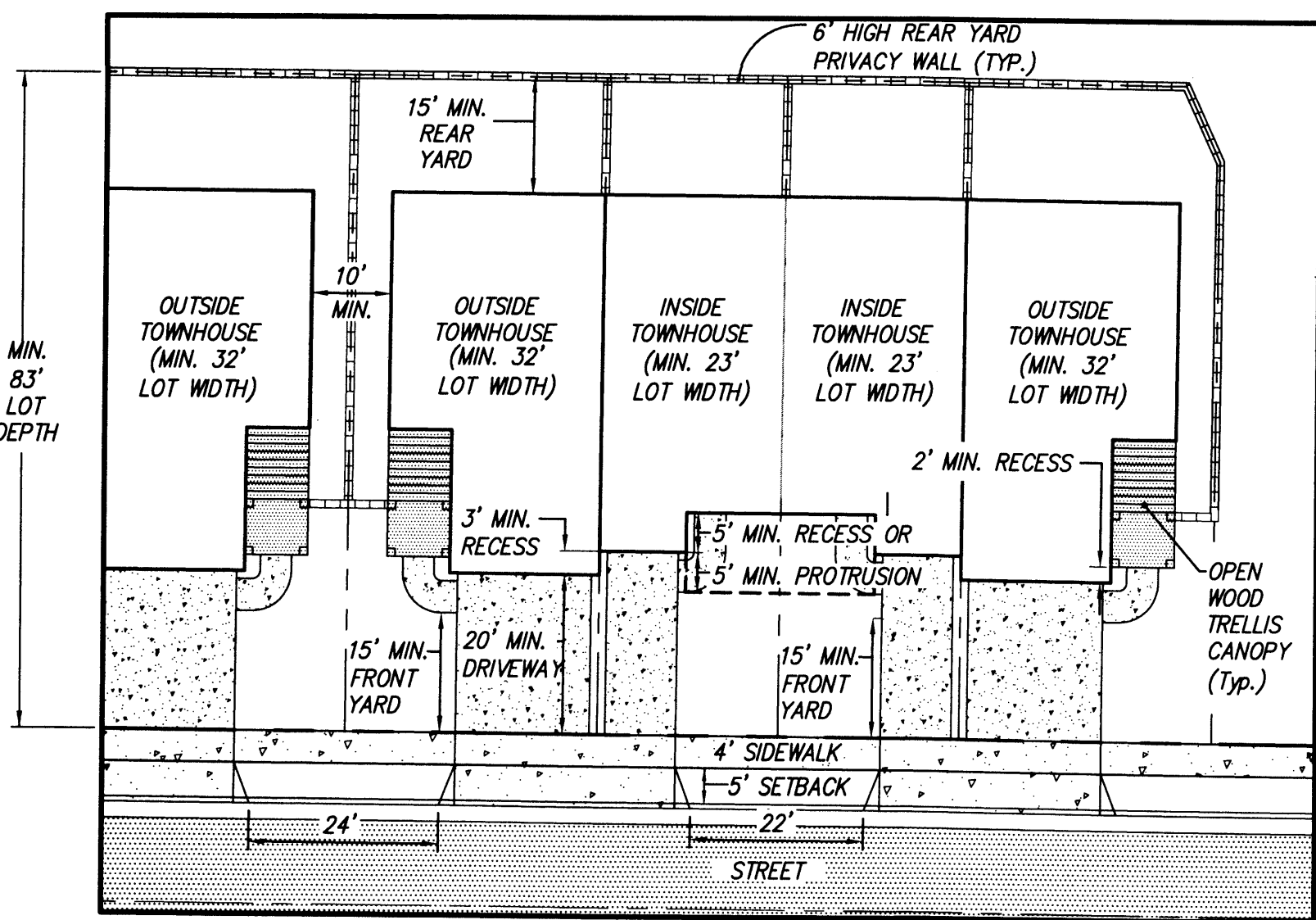
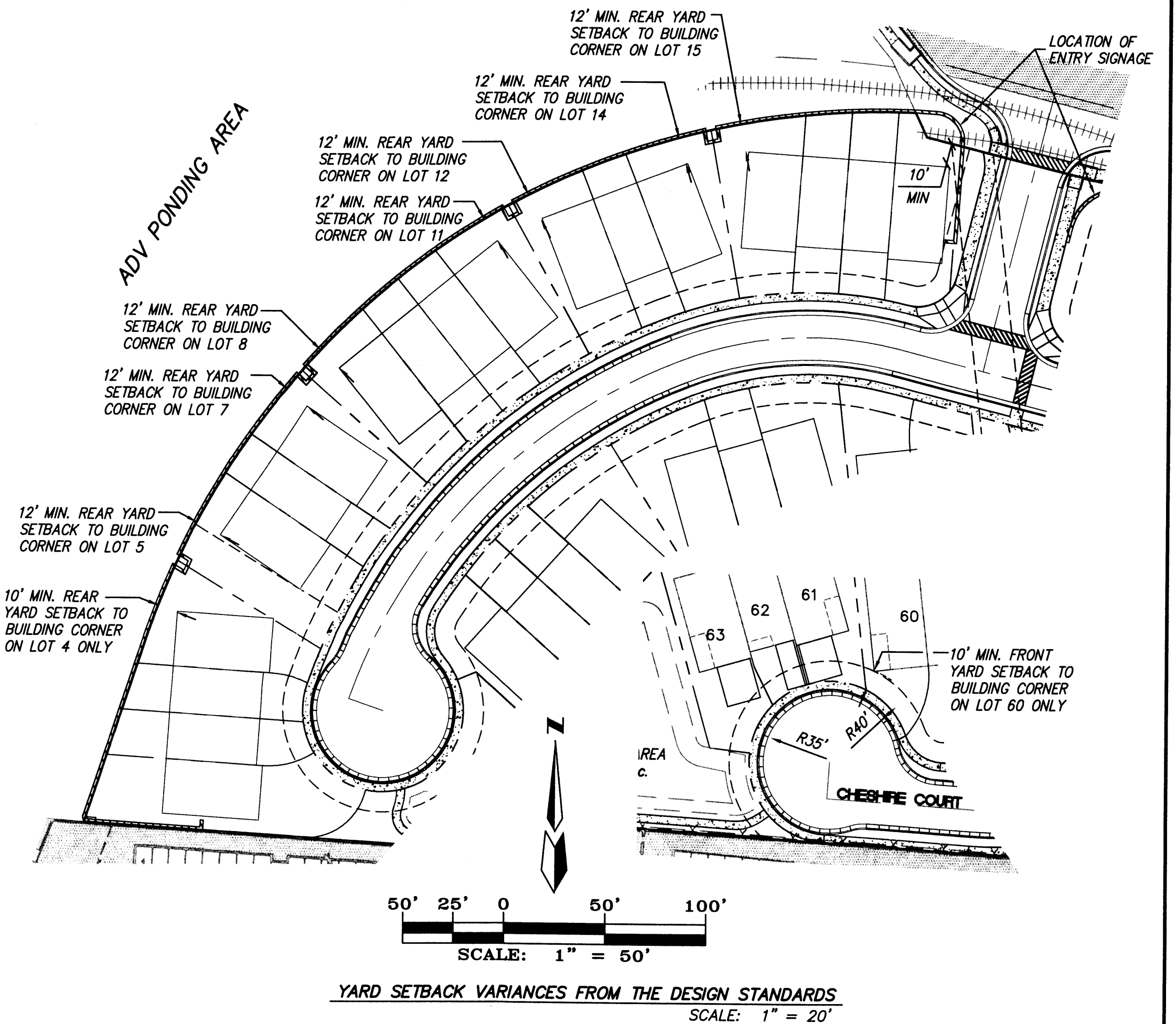
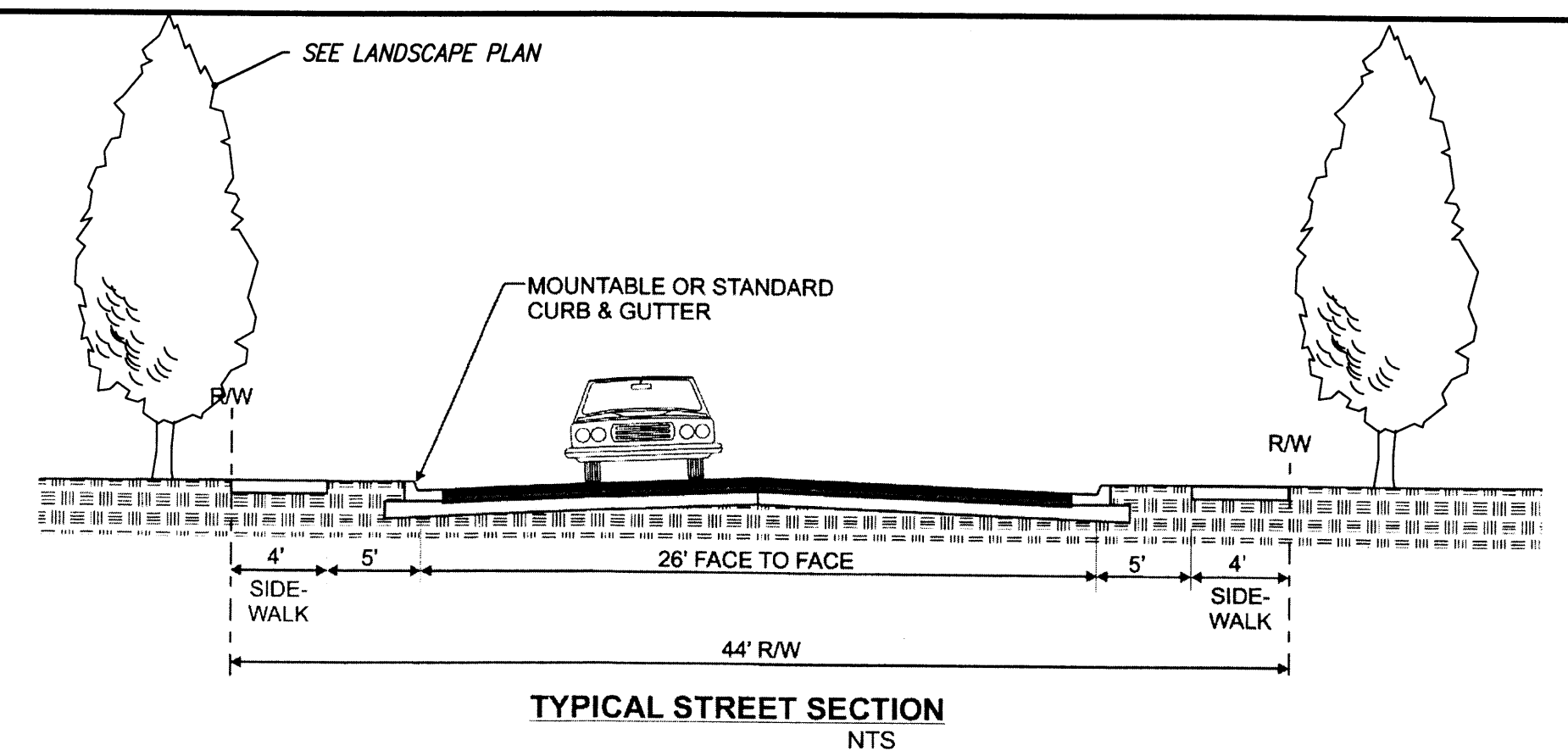
This plan also complies with minimum second story front setbacks (Standard VII.E.), except for one-half of the facades on inside units, which are setback at least 23 feet from the street R/W. This variance from the regulation is designed to counteract the appearance of multiple second story facades at 25 feet back from the R/W (on outside units). The other half of the inside unit is setback at least 28 feet from the R/W (see below) to provide supplemental facade articulation.

Regarding the 10 foot setback from interior side property lines, this regulation was created to lessen the apparent impact of 2nd story buildings upon adjoining single-story homes (as indicated in the regulatory notes). This would not be the case in Sawmill Crossing since all the homes are planned to be two-story, and there are no other single-story homes in the vicinity of the subject site (the three-story Sawmill Village is directly to the south).

The roof slopes and styles indicated in 3.c., 3.d., 3.e., and 3.f. are found in Sawmill/Wells Park.

THIS PLAN COMPLIES

SEE CONTINUATION ON SHEET 3



SEE SHEET 4 FOR DETAIL ON PERIMETER WALL ALONG WEST BOUNDARY OF SITE.

**SAWMILL CROSSING DESIGN STANDARDS**

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG  
Scale: 1" = 50' Date: 2/1/2012 Job: A11047 Sheet 2 of 6

LAST REVISED: 02-01-12

**SITE DESIGN STANDARDS (CONT.)**  
**SAWMILL/WELLS PARK SECTOR DEVELOPMENT PLAN (CONT.)**

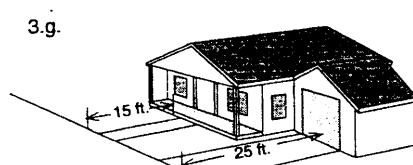
**General SU-2 Regulations**

**RESIDENTIAL BUILDING DESIGN (continued)**

3.e. The slope of roofs on new buildings over 15 feet high shall be 30 to 45 degrees.

**EXCEPTION (REF. II.D.)**

3.e. The front roofs of these buildings display both gable-end and hip roof styles, but the rear parts of the dwellings are flat-roofed. These flat roofs more easily accommodate mechanical units that can be more effectively hidden with the parapets of flat roofs when compared to sloped roofs. Furthermore, flat roofs on nearby existing two and three story buildings (Sawmill Village and the Lofts) have already become an accepted style in the neighborhood.



3.g. Garage fronts shall be set back not less than 25 feet from the property line abutting a public right-of-way or private street.

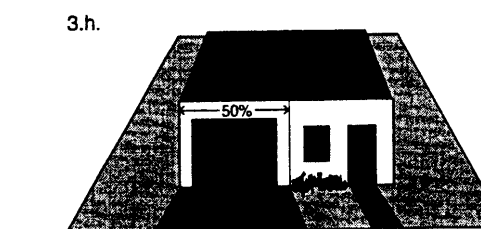
3.g. and h. Most lots in Sawmill/Wells Park either have no garages or small, inconspicuous set back garages. Continuing this lot development pattern will contribute greatly to maintaining neighborhood character.

**EXCEPTION (REF. IX.B.)**

3.g. Garages on outside townhomes are setback 20 feet from the R/W instead of the 25 foot minimum of regulation 3.g. This exception is the same as the reduced garage setback allowed in the SU-2/S-DR Zone by the 2006 Sawmill/Wells Park Sector Plan Amendment.

As cited in the text of the amendment that legislated this change to the SU-2/S-DR Zone, the variance is not in conflict with any applicable plans, including the Albuquerque Bernalillo County Comprehensive Plan and the City's Zoning Code.

3.h. Not more than 50% of a building's street frontage width shall be garage front.



**EXCEPTION FOR TWO AND THREE UNIT BUILDINGS (REF. II.F.)**

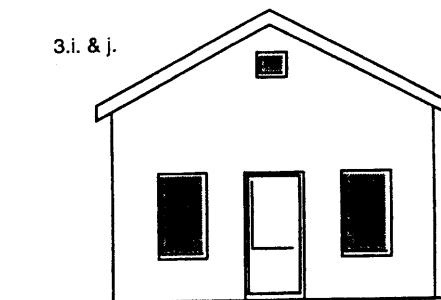
3.h. The zoning code requires that four off-street parking spaces be provided for the three bedroom dwellings proposed with this request and the wider garages help to achieve compliance with this requirement. The narrow lots required for providing new townhomes in this neighborhood are necessary in order to attain higher density and keep the dwellings affordable. This regulation was established for replicating the appearance of small or no garage fronts on existing single family detached homes within older areas of the existing Sawmill Neighborhoods, which are not in close proximity to this request.

3.i. Front doors shall face the street. In townhouse and multiple dwelling unit development, the dwelling unit(s) adjacent to the public right-of-way shall face front doors toward the street.

3.i. and 3.j. are intended to complement existing development and to increase safety by improving surveillance on residential streets.

**THIS PLAN COMPLIES (REF. II.E.)**

3.j. Not less than 12.5% of a building facade facing a public right-of-way or private street shall be windows.



**THIS PLAN COMPLIES (REF. II.J.)**

3.j. New buildings will promote street surveillance by containing numerous garage windows, first-floor windows, and second-story windows and decks to comply with this regulation.

3.k. New windows shall be recessed not less than 2 inches and/or shall be surrounded by a window casing not less than 2 inches wide.

3.k. Windows are often the only distinguishing architectural feature on the simple homes in Sawmill/Wells Park. Replacement windows that are installed without recesses or casing often destroy the architectural character of the original home.

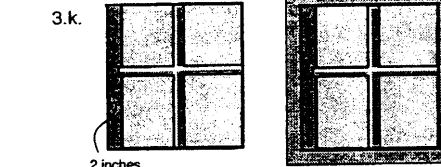
**THIS PLAN COMPLIES (REF. II.J.)**

3.l. Standard, unstuccoed 8-inch by 16-inch CMU block is not allowed as a finish material for buildings.

A casing is a flat or molded exposed trim molding, framing, or lining around a window.

**THIS PLAN COMPLIES (REF. II.G.)**

3.m. Reflective glass is not permitted.



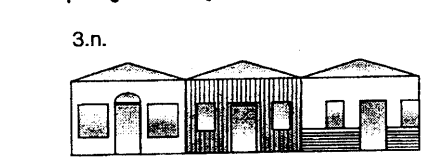
**THIS PLAN COMPLIES (REF. II.J.)**

3.n. Residential buildings with over 35 linear feet of building facade width facing and visible from a public right-of-way shall be designed to appear as a collection of smaller building blocks rather than a single large box or block.

3.n. Most of the houses in Sawmill/Wells Park are small and on small lots. Articulating the facades of large buildings will create interest along the street and will help large buildings fit into the community.

**THIS PLAN COMPLIES (REF. I.A. AND II.G.)**

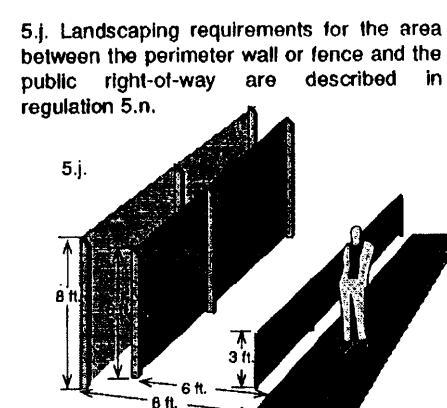
3.n. Each segment of the new building facade varies from one side to the other, with outside units displaying a gable roof while half of the inside units are topped with a hip roof. The facade setbacks of these units exhibit frequent variability from one side of the building to the other in an effort to create the appearance of several smaller buildings. Stucco colors shall also vary from one unit to another.



**General SU-2 Regulations**

**5. ENCLOSURE AND SCREENING (continued)**

5.j. New site perimeter walls and fences and retaining walls contiguous to the public street right-of-way exceeding three feet in height shall be located inside the property line not less than the same number of feet as the height of the wall or fence.



**VARIANCE ON LOCATION**

5.j. A 5-foot setback shall be installed along Aspen Ave. against 5-foot perimeter wall within the R/W. The 75 feet of existing Aspen R/W is more than necessary for its local street status, thus the outside 5-foot can sufficiently accommodate the proposed setback without compromising its intended function.

5.l. Standard unstuccoed 8 inch by 16 inch CMU block is not allowed as a finish material for site perimeter walls facing the public right-of-way.

**THIS PLAN COMPLIES (REF. VII. B and C.)**

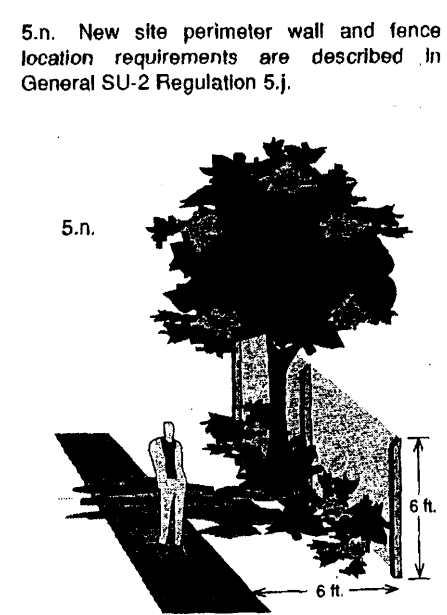
5.l. Split-face CMU block colored tan and gray will be installed along and facing Aspen Ave., which is not standard unstuccoed CMU.

5.n. All properties shall comply with the following regulation:

The property owner shall plant and maintain the area between the public right-of-way and site perimeter fences and walls located inside the property line.

Tree species shall be capable of shading the sidewalk at tree maturity. Shrubs shall be maintained to avoid blocking the sidewalk or obstructing clear sight triangles.

A minimum of 75% of the ground area between the wall and public right-of-way shall be covered with live plant material. Ground coverage shall be calculated by using the projected mature tree canopy sizes and mature plant sizes.



**VARIANCE ON LOCATION (REF. VI.H.)**

5.n. A 5-foot landscape buffer shall be installed and maintained by the HOA along Aspen Ave. within the R/W. A 5-foot landscaped buffer shall be installed along Aspen Ave. against the 5-foot perimeter wall within the R/W. The 75 feet of existing Aspen Ave. R/W is more than necessary for its local street status (collector road R/W widths are typically 68 ft.), thus the outside 5 feet of existing R/W can sufficiently accommodate the proposed landscaping buffer without compromising the street's intended function. The application shall obtain an encroachment agreement for the installation of landscaping within the R/W prior to the Aspen Ave. construction plans being approved by the City's Design Review Committee.

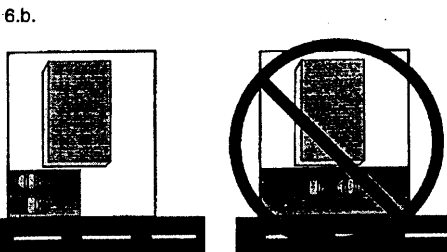
6.a. No more than 50% of each front, side, or rear yard setback area contiguous to a public right-of-way shall be used for parking and/or driveway.

6.a. and b. These regulations are intended to prevent areas next to public rights-of-way from becoming areas-of-cars that discourage people from walking on public sidewalks.

**EXCEPTION (REF. IX.C.)**

6.a. Garages on outside townhomes are 16 feet wide and their driveways are 17 feet wide. This additional 12 inches causes this regulation to be exceeded by 3%. The reason for this exception is due to the fact that driveways are traditionally at least 6 inches wider on each side of the garage opening to ensure that drainage flows away from the garage opening. It also keeps the opening clear of adjoining landscaping and it provides sufficient walking space around parked vehicles. The additional 3% of driveway width would be perceived as being relatively negligible when compared to the lot's entire 32-foot width.

6.b. The parking area, which includes any required walls, fences and landscaping, and/or driveway shall not be more than 50% of the property line contiguous to the public street right-of-way.



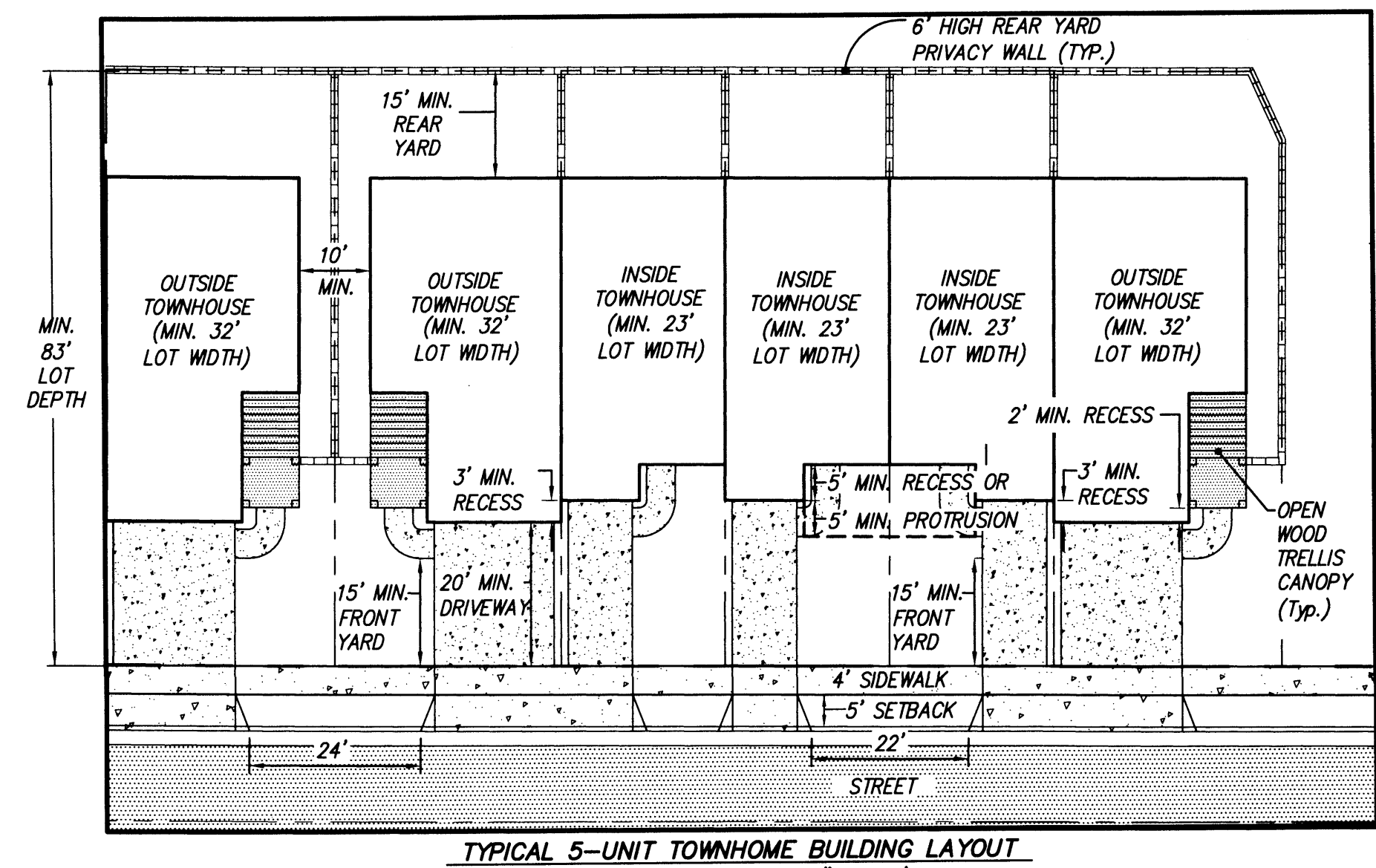
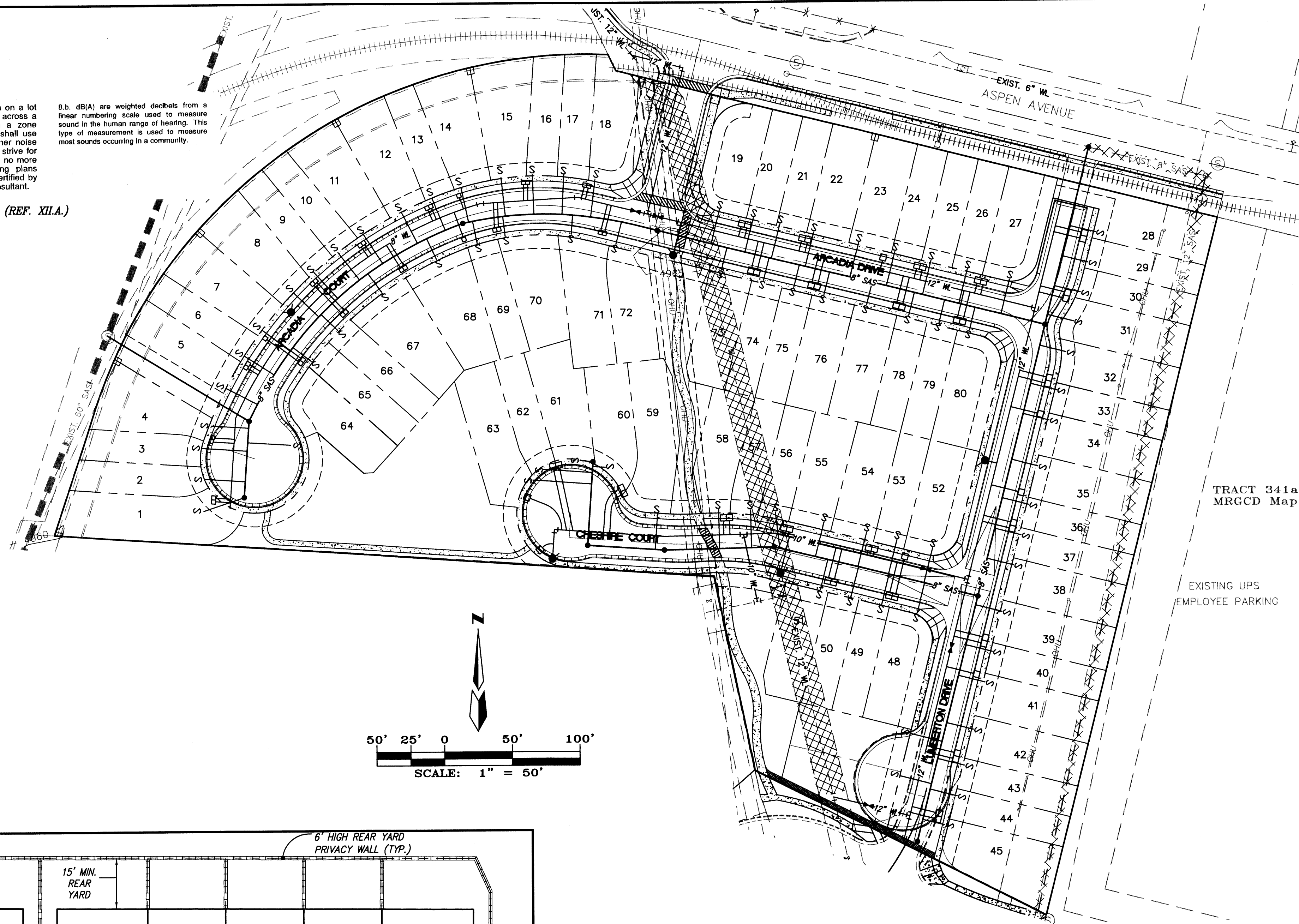
**EXCEPTION (REF. IX.C.)**

6.b. Garages on outside townhomes are 16 feet wide and their driveways are 17 feet wide. This additional 12 inches causes this regulation to be exceeded by 3%. The reason for this exception is due to the fact that driveways are traditionally at least 6 inches wider on each side of the garage opening to ensure that drainage flows away from the garage opening and to also keep it clear of adjoining landscaping in addition to providing sufficient walking space around parked vehicles. The additional 3% of driveway width would be perceived as being relatively negligible when compared to the lot's entire 32-foot width.

8.b. New residential buildings on a lot within, contiguous to, or across a public right-of-way from a zone allowing industrial uses shall use sound insulation and other noise attenuation measures to strive for an indoor sound level of no more than 45 dBA. Building plans shall be prepared and certified by a qualified acoustical consultant.

**THIS PLAN COMPLIES (REF. XI.A.)**

8.b. dBA are weighted decibels from a linear numbering scale used to measure sound in the human range of hearing. This type of measurement is used to measure most sounds occurring in a community.



**LEGEND**

—OHU—	EXISTING OVERHEAD UTILITY LINES
—IB—	EXISTING IRRIGATION BOX
—FH—	EXISTING FIRE HYDRANT
—WV—	EXISTING WATER VALVE
—WV—	EXISTING WATER VALVE
—SM—	EXISTING SANITARY SEWER MANHOLE
—SD—	EXISTING STORM DRAIN MANHOLE
—SDI—	EXISTING STORM DRAIN INLET
—L—	EXISTING LIGHT POST
—SB—	EXISTING SIGNAL BOX
—X—	EXISTING WIRE FENCE
—S—	EXISTING SIGN
—SAS—	EXISTING SANITARY SEWER LINE
—SDP—	EXISTING STORM DRAIN PIPE
—8" SAS—	NEW SANITARY SEWER LINE
—6" WL—	NEW WATERLINE
—B—	NEW DOUBLE WATER METER
—S—	NEW SANITARY SEWER MANHOLE
—S—	NEW SANITARY SEWER LINE
—F—	NEW FIRE HYDRANT SERVICE LINE
—X—	REMOVE & DISPOSE EXISTING UTILITY TO BE REROUTED THROUGH SUBDIVISION STREET.

**SAWMILL CROSSING**  
**DESIGN STANDARDS AND**  
**CONCEPTUAL UTILITY PLAN**

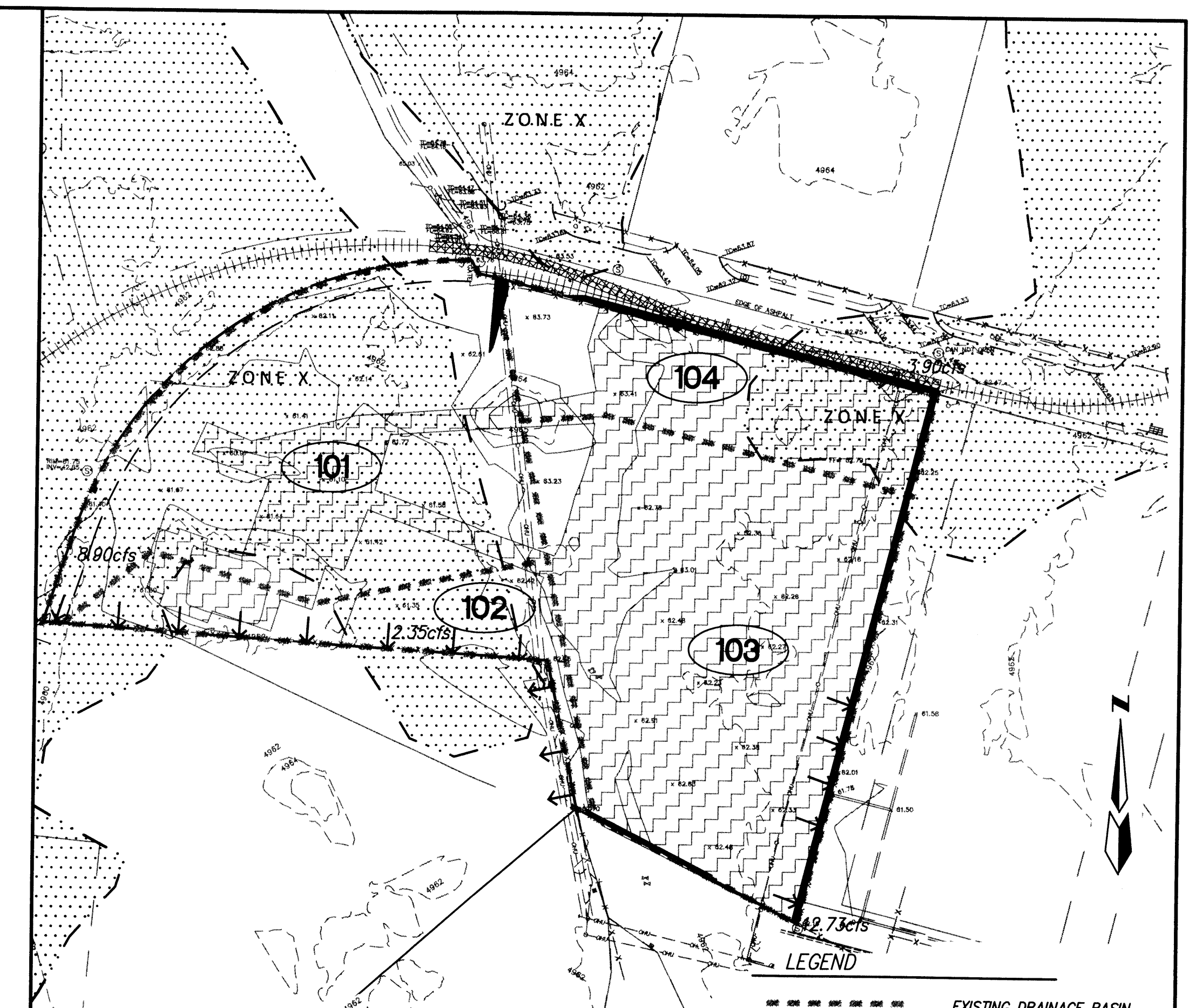
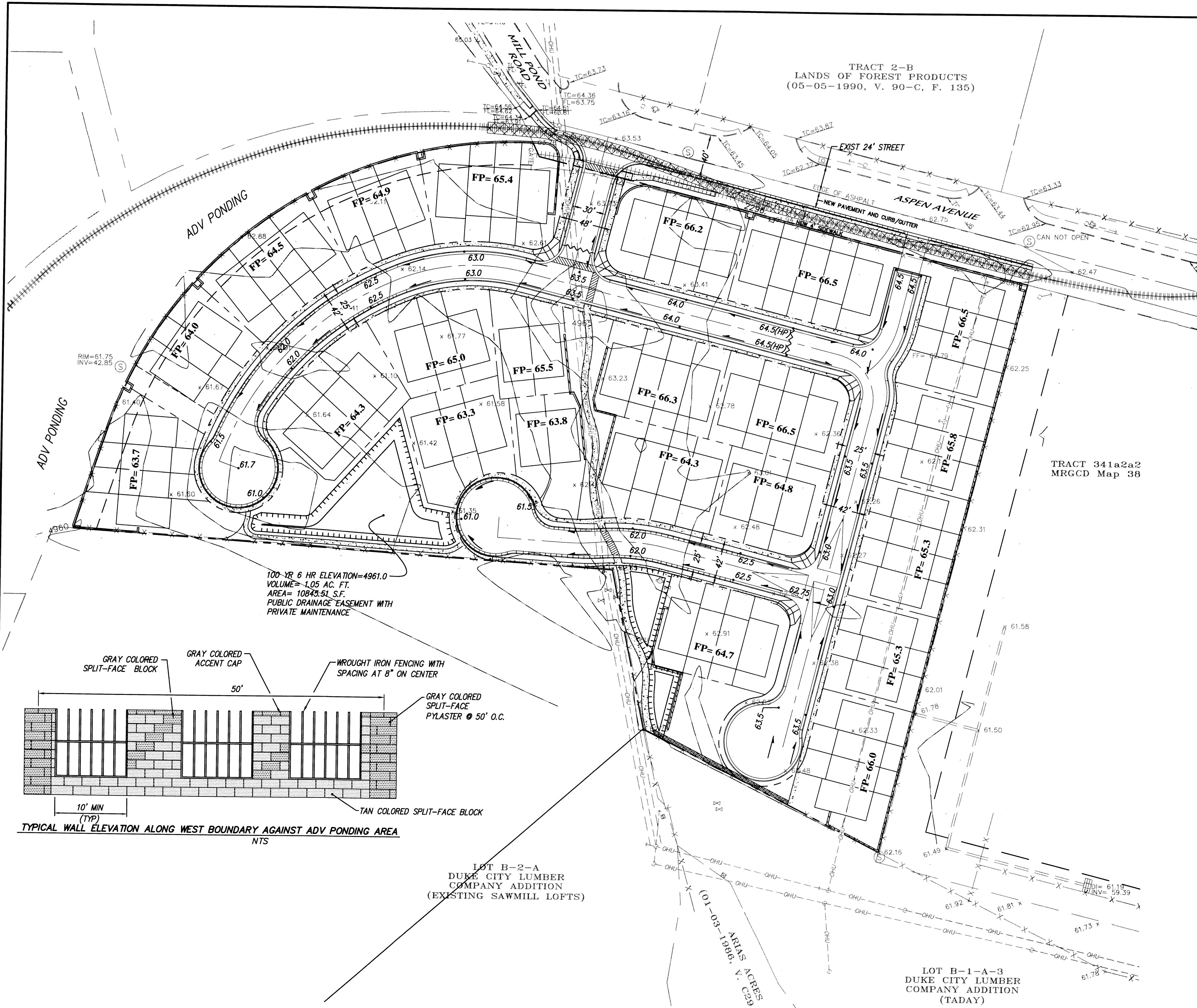
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

LAST REVISED: 03-26-12

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 3 of 6
Scale: 1" = 20'	Date: 2/1/2012	Job: A11047	

TRACT 2-B  
LANDS OF FOREST PRODUCTS  
(05-05-1990, V. 90-C, F. 135)



SAWMILL PREDEVELOPMENT DRAINAGE DETAIL  
SCALE: 1"=100'

PRE DEVELOPMENT RUNOFF CALCULATION

ID	AREA (AC)	IMPERV (%)	Q <sub>100</sub> (cfs)
101	2.5	30	8.92
102	0.7	15	2.35
103	2.8	95	12.73
104	0.9	80	3.90
TOTAL	6.9	-	27.90

- LEGEND
- 4962 --- EXISTING CONTOUR
  - 63.0 X --- EXISTING SPOT ELEVATION
  - --- EXISTING CURB & GUTTER
  - --- NEW WALL
  - --- NEW SIDEWALK
  - --- NEW CURB & GUTTER
  - 61.7 --- NEW SPOT ELEVATION
  - FP= 64.8 --- NEW FINISHED PAD ELEVATION
  - --- NEW FLOW DIRECTION ARROW
  - --- EXISTING DRAINAGE BASIN BOUNDARY
  - 103 --- DRAINAGE BASIN ID
  - --- DRAINAGE FLOW
  - --- EXISTING IMPERVIOUS AREA
  - --- LIMITS OF FLOOD HAZARD ZONE X (SHADED)
  - --- LIMITS OF FLOOD HAZARD ZONE X (SHADED)
  - 4962 --- EXISTING CONTOUR

LEGAL DESCRIPTION:  
LOT B-1-A-2 OF THE DUKE CITY LUMBER ADDITION  
6.9292 ACRES FILLED DECEMBER 15, 1995.  
VOLUME 95C FOLIO 451  
ZONE ATLAS PAGE - H-13

EXISTING SITE TOPOGRAPHY

TOPOGRAPHIC INFORMATION ON THIS PLAN WAS OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. IT IS PART OF THE 2004 TOPOGRAPHIC SURVEY ON NAVD '88 DATUM AND IT HAS A 2' CONTOUR INTERVAL. EXISTING IMPERVIOUS SURFACES ON THE SITE HAVE BEEN DIGITIZED BASED ON A 2010 ORTHOPHOTO OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. THERE ARE SEVERAL CONCRETE BUILDING FOUNDATIONS REMAINING ON THE SITE, BUT THERE ARE NOT ANY EXISTING STRUCTURES. THERE IS EXTENSIVE ASPHALT PAVING ON THE SITE THAT HAS NOT BEEN MAINTAINED FOR SEVERAL YEARS SO IT HAS TALL GRASS AND WEEDS GROWING IN THE CRACKS. THE SITE IS LOCATED ON A RIDGE THAT BISECTS THE SITE IN A NORTH/SOUTH DIRECTION. AN ELECTRIC POWER TRANSMISSION LINE AND ABEWJA WATERLINE AS LOCATED ON THE CREST OF THAT RIDGE. THE SITE IS FLAT SLOPING EAST AND WEST AWAY FROM THE RIDGE AT ABOUT 1% SLOPE. THERE IS NO DRAINAGE ONTO THIS SITE FROM ADJOINING PROPERTY BECAUSE THIS SITE IS HIGHER THAN NEIGHBORING PROPERTIES IN ALL DIRECTIONS EXCEPT NORTH AND ASPEN AVE. DRAINS TO THE EAST. FROM THE RIDGE ELEVATION, 4964' THE ELEVATION DECREASES ABOUT 2' TO THE EAST PROPERTY LINE AND ABOUT 4' TO THE WEST PROPERTY LINE.

STORM WATER RUNOFF FROM THE EAST HALF OF THIS SITE APPEARS TO HAVE HISTORICALLY DRAINED ON THE SURFACE INTO THE PROPERTY TO THE EAST OF THIS SITE. A VALLEY GUTTER IS LOCATED IN THE ASPHALT PAVING ABOUT 100' NORTH OF THE SOUTH EDGE OF THIS SITE AND DRAINS THRU THE PARKING LOT EAST OF THIS SITE INTO A MUCH DEEPER VALLEY GUTTER IN THAT NEIGHBORING PARKING LOT. THAT DEEPER VALLEY GUTTER DRAINS FROM NORTH TO SOUTH. IT INTERCEPTS ALL OF THE DRAINAGE FROM THE EAST HALF OF THIS SITE TOGETHER WITH DRAINAGE FROM THE OFFSITE PARKING LOT LOCATED EAST OF THIS SITE AND CONVEYS IT TO AN EXISTING SMALL (10" OR 12") STORM SEWER LOCATED 300' EAST OF THIS SITE IN BELLAMAH AVE. EXCESS DRAINAGE MAY CREATE NUISANCE PONDING EITHER IN BELLAMAH AVE. OR THE PRIVATE PROPERTY SOUTH OF BELLAMAH AVE.

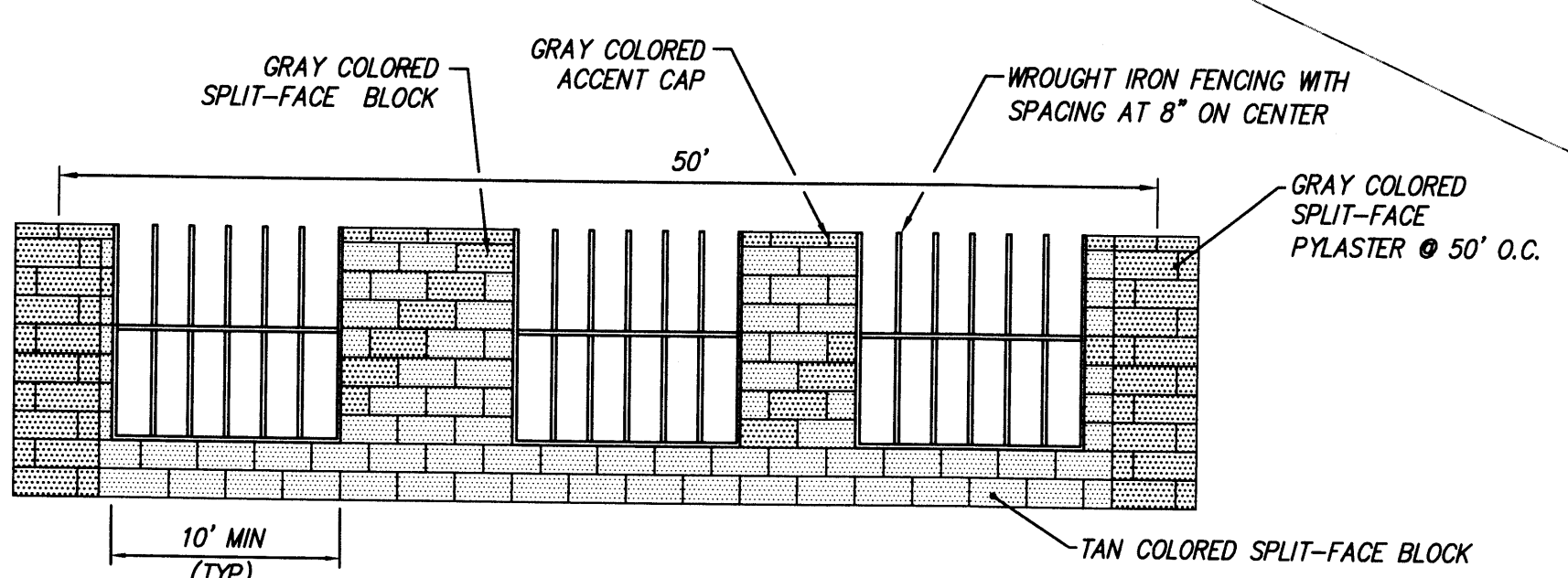
A RAILROAD SPUR ALONG THE NORTH AND WEST EDGE OF THE SITE IS DEPRESSED SLIGHTLY BELOW THE ADJACENT TERRAIN. THE RAILS AND TIES HAVE BEEN REMOVED FROM THE WEST HALF OF THE SITE. STORM WATER RUNOFF FROM THE WEST HALF OF THE SITE IS COLLECTED IN THE DEPRESSED RAIL SPUR AND CONVEYED TO THE SOUTH IN THAT HISTORIC SPUR ALIGNMENT. THE SITE DOES NOT DRAIN DIRECTLY INTO THE PRIVATE RETENTION/DETENTION POND ADJOINING THIS PROPERTY TO THE WEST. THERE IS AN EXISTING 60" SAS INTERCEPTOR LOCATED ON THE PROPERTY WEST OF THIS SITE BETWEEN THIS SITE AND THAT EXISTING PRIVATE POND. BOTH THE WEST HALF OF THIS SITE AND A 20 ACRE AREA DRAINING INTO THE EXISTING OFFSITE POND HAVE HISTORICALLY DRAINED TO AN EXISTING 18" STORM SEWER LINE IN BELLAMAH AVE. WHICH ONLY HAS 4CFS CAPACITY; NOT ENOUGH CAPACITY TO CONVEY THE HISTORIC RUNOFF; THIS RESULTING IN EXISTING OFFSITE PONDING AREAS TO THE SOUTH AND WEST OF THE SITE.

FLOODPLAIN: ACCORDING TO FLOOD INSURANCE RATE MAP FIRM, MAP NUMBER 35001C0331G, REVISED SEPTEMBER 26, 2008, THERE ARE NOT ANY REGULATED FLOOD HAZARD ZONES ON THIS SITE. THERE IS HOWEVER, A NON-REGULATED SHADED ZONE "X" ON THE NORTHEAST CORNER AND IN THE SOUTHWEST CORNER INDICATING EITHER A 500-YR FLOODZONE OR AN AREA PROTECTED BY LEVEE. THERE ARE ALSO TWO "AH" ONES, "ELEVATION = 4959'" LOCATED ABOUT 500' WEST AND SOUTHWEST OF THIS SITE.

DRAINAGE MANAGEMENT PLAN: DUE TO THE LIMITED CAPACITY OF EXISTING DOWNSTREAM DRAINAGE FACILITIES, ALL ONSITE STORM WATER RUNOFF FROM THE 100-YR RECURRENCE INTERVAL SIX HOUR DURATION STORM WILL BE CONTAINED IN ONSITE PRIVATELY MAINTAINED RETENTION POND. EXCESS VOLUME, IF ANY, WILL DRAIN AT A RATE NOT TO EXCEED 1.0 CFS IN ITS HISTORIC DISCHARGE LOCATION.

POST DEVELOPMENT VOLUME CALCULATIONS

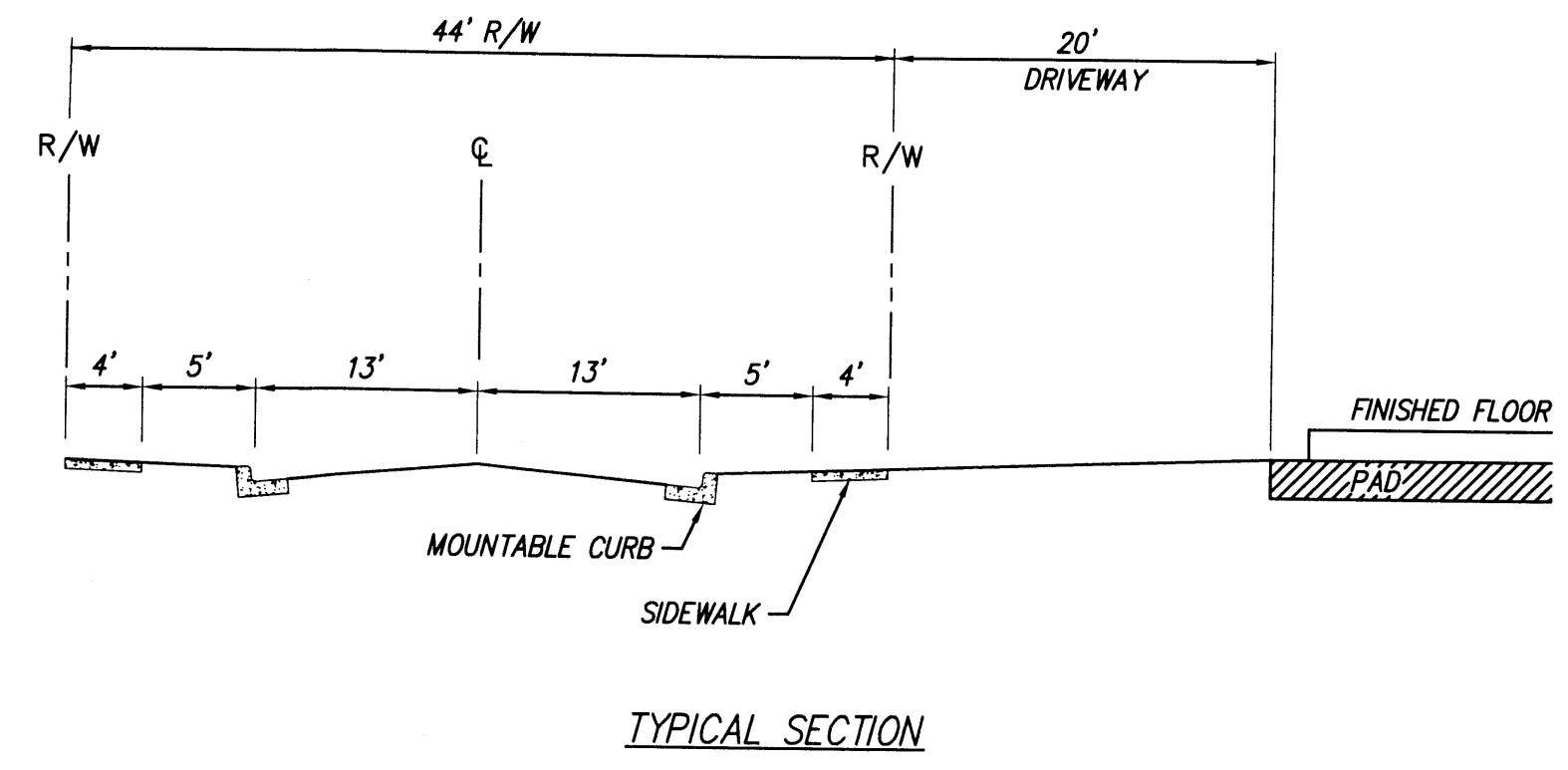
USE 70% IMPERVIOUS FROM TABLE A-5
MEXCESS PRECIPITATION FROM TABLE A-8 (ZONE2)
$2yr[(70\% \times 0.79) + (30\% \times 0.15)] = 0.60"$
$100yr[(70\% \times 2.12) + (30\% \times 1.13)] = 1.82"$
$2yr(6hr) Volume = 15,028cfs = 0.34 ac ft$
$100yr(6hr) Volume = 45,585cfs = 1.05 ac ft$



TYPICAL WALL ELEVATION ALONG WEST BOUNDARY AGAINST ADV PONDING AREA NTS

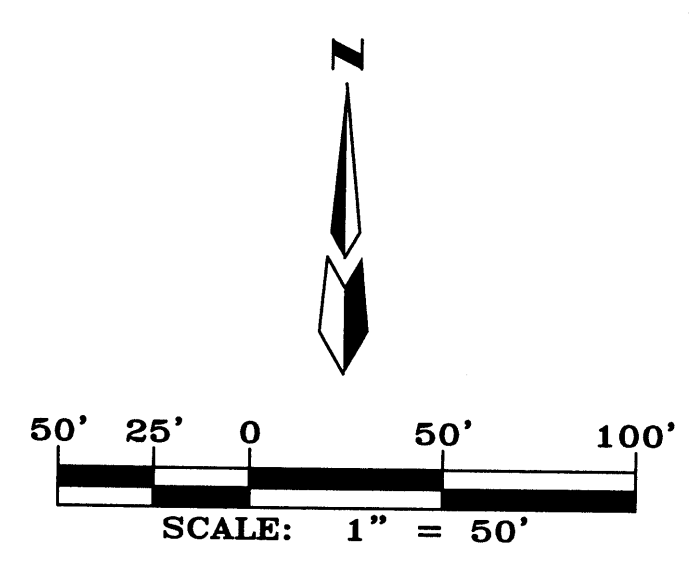
LOT B-2-A  
DUKE CITY LUMBER  
COMPANY ADDITION  
(EXISTING SAWMILL LOFTS)

LOT B-1-A-3  
DUKE CITY LUMBER  
COMPANY ADDITION  
(TADAY)



TYPICAL SECTION

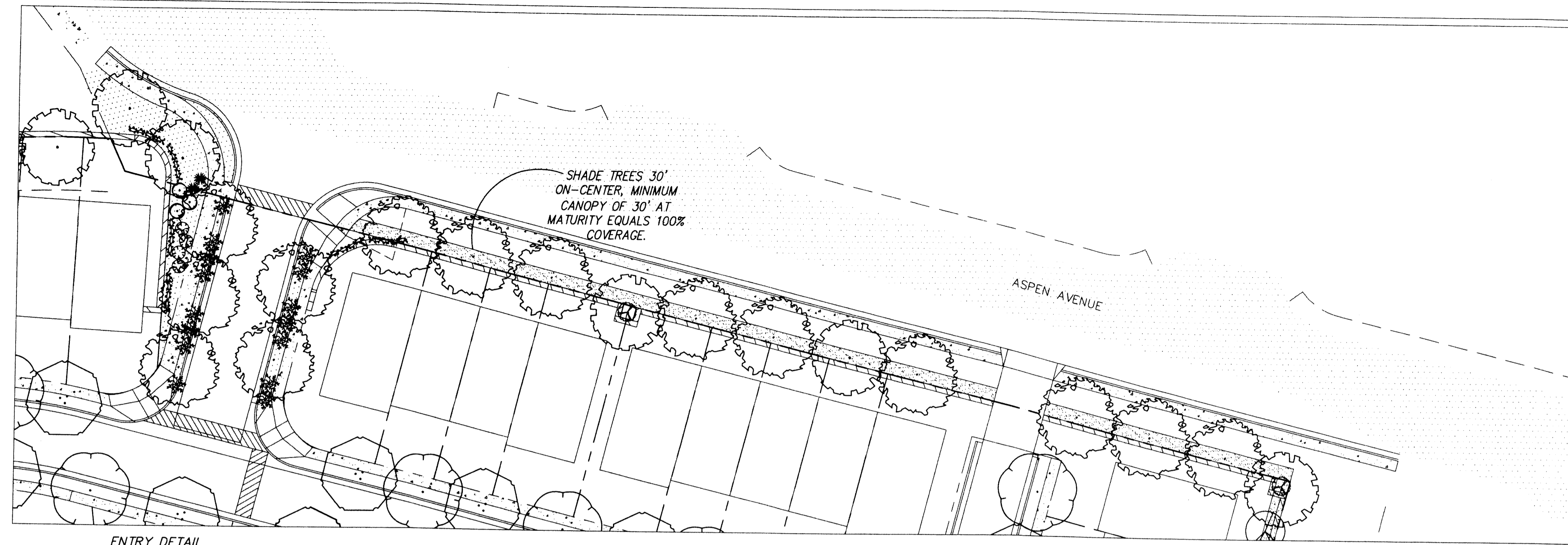
- LEGEND
- 4962 --- EXISTING CONTOUR PER SURVEY BY ALDRICH LAND SURVEYING
  - 63.0 X --- EXISTING SPOT ELEVATION
  - --- EXISTING CURB & GUTTER
  - --- NEW WALL
  - --- NEW SIDEWALK
  - --- NEW CURB & GUTTER
  - 61.7 --- NEW SPOT ELEVATION
  - FP= 64.8 --- NEW FINISHED PAD ELEVATION
  - --- NEW FLOW DIRECTION ARROW



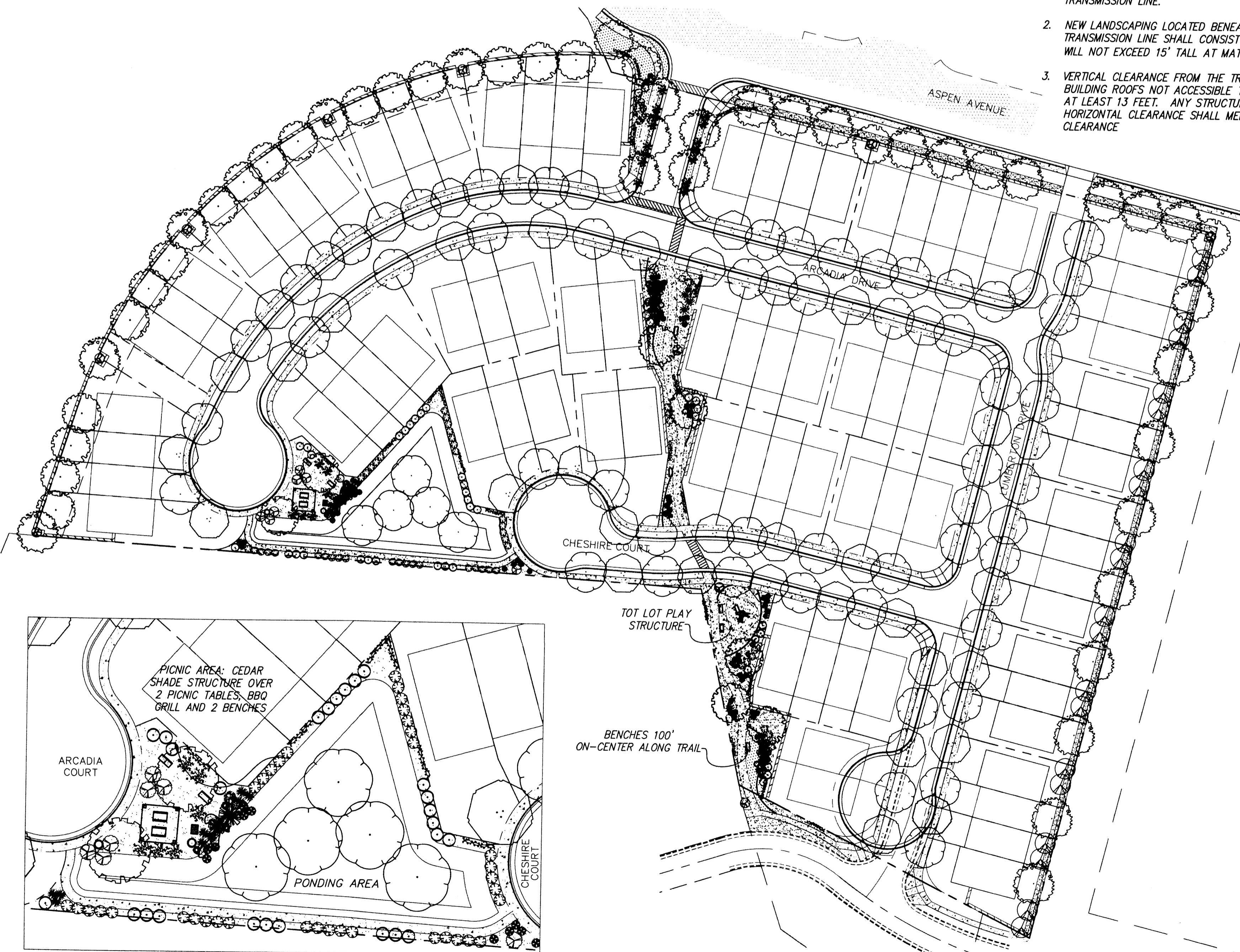
SAWMILL CROSSING  
CONCEPTUAL GRADING PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

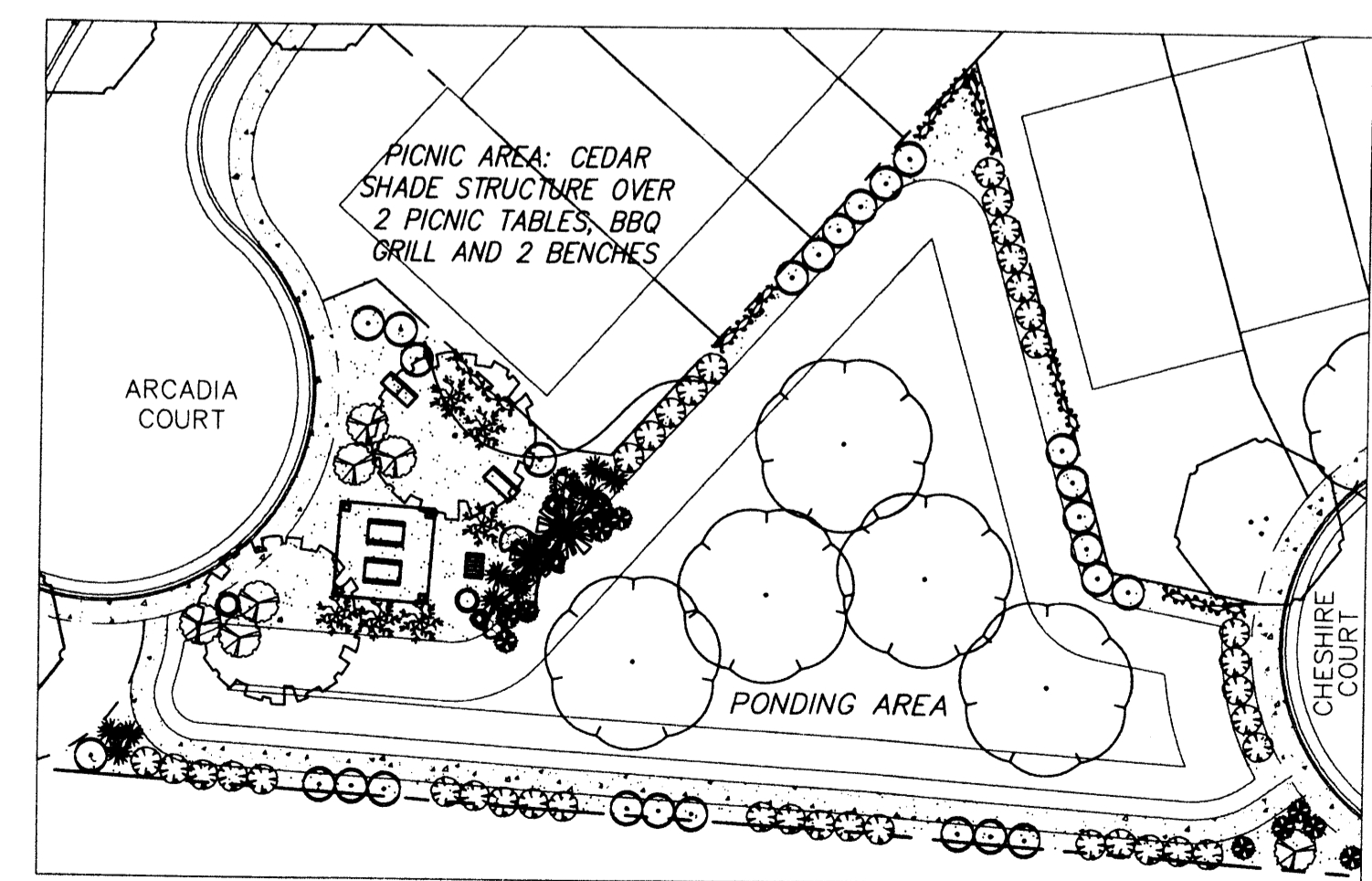
Designed: JM Drawn: SPS Checked: DMG Sheet 4 of 6  
Scale: 1" = 20' Date: 2/1/2012 Job: A10061



ENTRY DETAIL  
SCALE: 1" = 30'

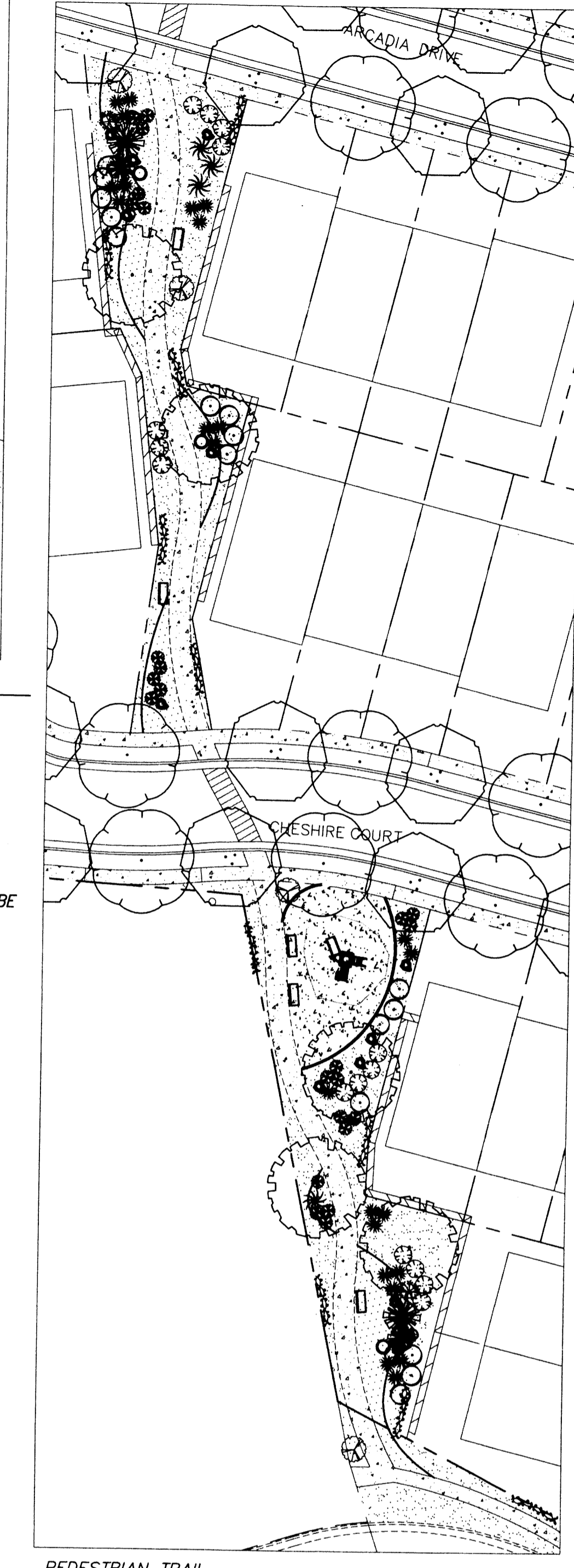


LANDSCAPE PLAN  
SCALE: 1" = 50'

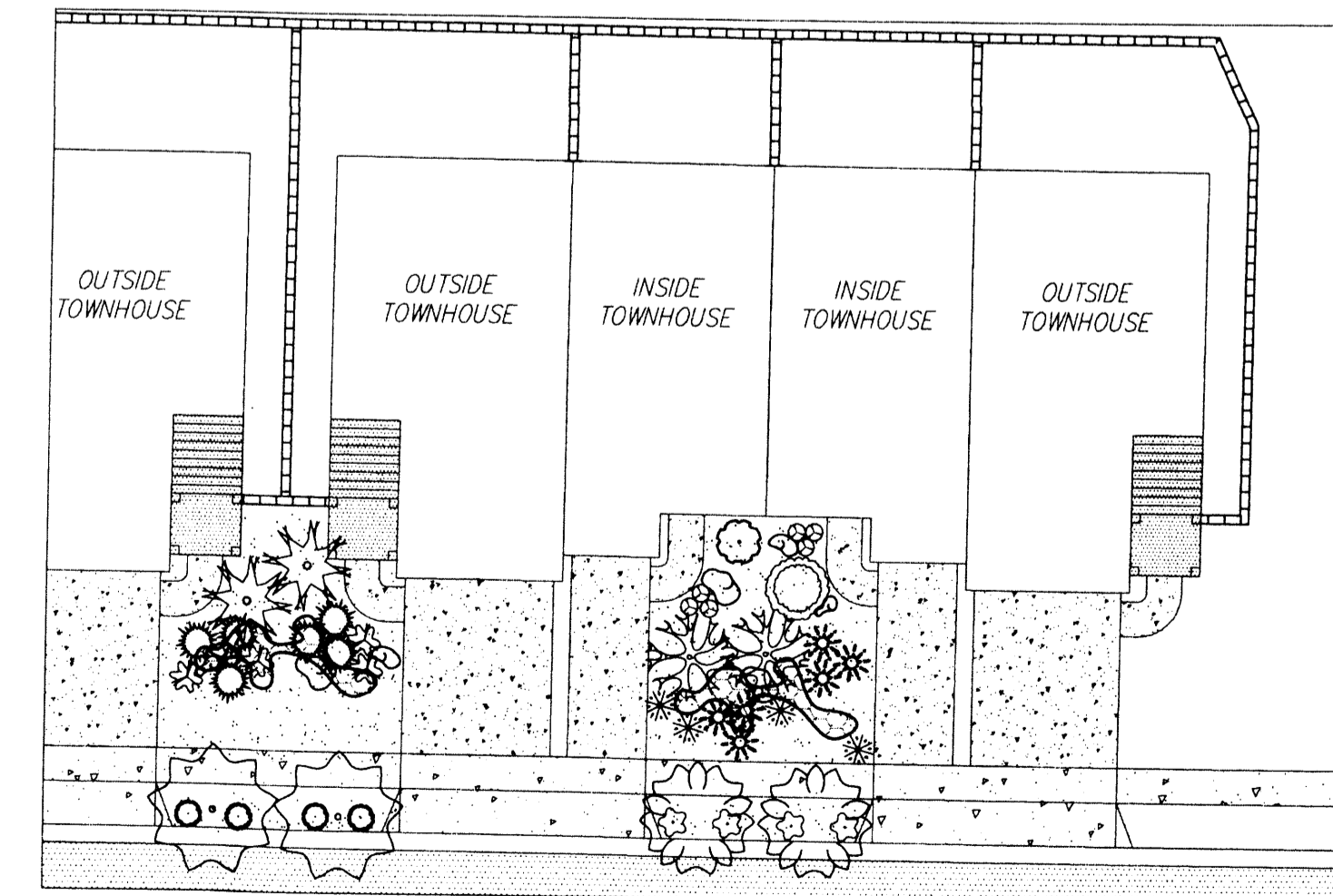


PICNIC AREA DETAIL  
SCALE: 1" = 30'

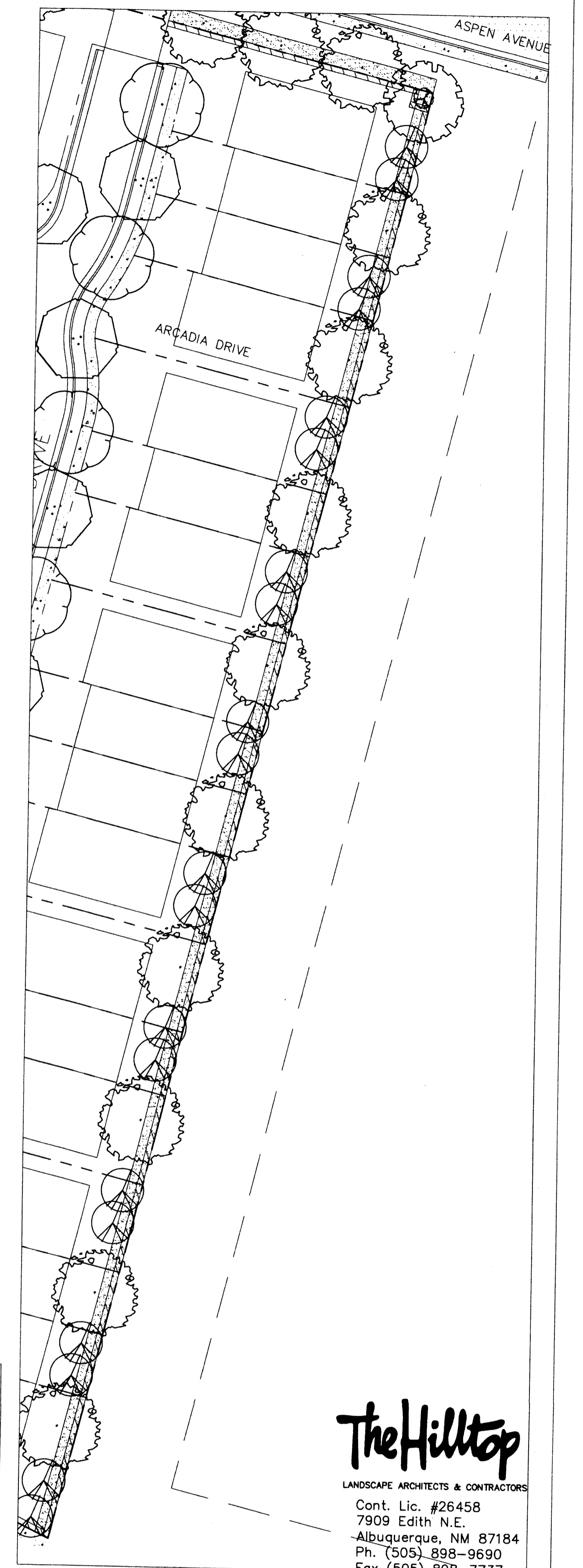
- NOTES
1. IF PLAYGROUND EQUIPMENT IS INSTALLED, IT SHALL BE LOCATED AT LEAST 40 FEET AWAY FROM THE EXISTING OH TRANSMISSION LINE.
  2. NEW LANDSCAPING LOCATED BENEATH THE EXISTING OH TRANSMISSION LINE SHALL CONSIST OF TREE SPECIES THAT WILL NOT EXCEED 15' TALL AT MATURITY.
  3. VERTICAL CLEARANCE FROM THE TRANSMISSION LINE TO BUILDING ROOFS NOT ACCESSIBLE TO PEDESTRIANS SHALL BE AT LEAST 13 FEET. ANY STRUCTURE NOT MEETING HORIZONTAL CLEARANCE SHALL MEET THE VERTICAL CLEARANCE.



PEDESTRIAN TRAIL  
SCALE: 1" = 30'



TYPICAL LOT DETAIL  
SCALE: 1" = 20'



EAST BOUNDARY  
SCALE: 1" = 30'

**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
-Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7237  
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

REVISED: 12-29-11 CMJ

SAWMILL CROSSING  
LANDSCAPE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 5 of 6
Scale: 1" = 50'	Date: 11/17/2011	Job: A11047	

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

**SHADE TREE**

**COMMON HAZELBERRY** (Shown Schematically Only)  
*Celtis occidentalis*  
 2" Gal., 12-14' Inst./40' x 40' maturity  
 Water (M) Allergy (L) 0sf

**SYCAMORE** (Shown Schematically Only)  
*Platanus spp.*  
 2" Gal., 12-14' Inst./60' x 70' maturity  
 Water (M+) Allergy (H) 0sf

**CHITALPA**  
*Chilopsis x Catalpa*  
 2" Gal., 12-14' Inst./30' x 30' maturity  
 Water (M) Allergy (L) 0sf

**AUTUMN BLAZE MAPLE**  
*Acer x Freemanii 'Autumn Blaze'*  
 2" Gal., 12-14' Inst./40' x 50' maturity  
 Water (M) Allergy (L) 0sf

**SCREENING TREE**

**WESTERN RED CEDAR**  
*Thuja plicata 'Green Giant'*  
 15 Gal., 10' Inst./40' x 15' maturity  
 Water (M) Allergy (L) 225sf

**DESERT ACCENTS**

**PALM YUCCA**  
*Yucca faxoniana*  
 5 Gal., 15' x 6' maturity  
 Water (L) Allergy (L) 0sf

**COTILLO**  
*Fouquieria splendens*  
 4'-6' Inst./15' x 10' maturity  
 Water (L) Allergy (L) 0sf

**RUSSIAN SAGE**  
*Ferovskia atriplicifolia*  
 5 Gal., 18"-3' Inst./6' x 6' maturity  
 Water (M) Allergy (L) 36sf

**CHAMISA**  
*Chrysothamnus nauseosus*  
 1 Gal., 6"-15" Inst./5' x 5' maturity  
 Water (L) Allergy (L) 25sf

**BANANA YUCCA**  
*Yucca baccata*  
 5 Gal., 18"-3' Inst./4' x 5' maturity  
 Water (L) Allergy (L) 25sf

**RED YUCCA**  
*Hesperaloe parviflora*  
 5 Gal., 18"-3' Inst./3' x 4' maturity  
 Water (L+) Allergy (L) 16sf

**REGAL MIST**  
*Muhlenbergia capillaris*  
 5 Gal., 12"-3' Inst./3' x 3' maturity  
 Water (M) Allergy (L) 4sf

**MUGO PINE**  
*Pinus mugo*  
 5 Gal., 12"-3' Inst./3' x 3' maturity  
 Water (M) Allergy (L) 4sf

**GROUNDCOVERS**

**BUFFALO JUNIPER**  
*Juniperus sabinia 'Buffalo'*  
 5 Gal., 24"-4' Inst./2' x 8' maturity  
 Water (L+) Allergy (L) 64sf  
 Symbol indicates 3 plants

**LADY BANK'S ROSE**  
*Rosa banksiae*  
 5 Gal., 24"-4' Inst./3' x 20' maturity  
 Water (M) Allergy (L) 400sf  
 Unstaked Groundcover

**VINES**

**TRUMPET VINE**  
*Campsis radicans*  
 1 Gal., 6"-15" Inst./climbing to 40'  
 Water (M) Allergy (L)

**HARDSCAPES**

**COMMERCIAL GRADE STEEL EDGING**

**4" CONCRETE MORGUE**

**SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**

**3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**

**BIOENGINEERED WOOD FIBER COMPACTED TO A 12" DEPTH WITH FILTER FABRIC**

**OVERSIZED GRAVEL & BOULDERS**

\* DENOTES EVERGREEN PLANT MATERIAL

**FRONT YARD PLANT MATERIAL**

**VITEX**  
*Vitex agnus-castus*  
 15 Gal., 4-10' Inst./20' x 20' maturity  
 Water (M) Allergy (L) 225sf

**NEW MEXICO OLIVE**  
*Forestiera neomexicana*  
 15 Gal., 4-10' Inst./20' x 20' maturity  
 Water (M) Allergy (L) 225sf

**ROSE OF SHARON**  
*Ribes cereum*  
 5 Gal., 24" Inst./10' x 10' maturity  
 Water (M) Allergy (L) 100sf

**SPANISH BROOM**  
*Genista hispanica*  
 5 Gal., 2-4' Inst./10' x 10' maturity  
 Water (M) Allergy (L) 100sf

**SCOTCH BROOM**  
*Cytisus scoparius*  
 5 Gal., 18"-3' Inst./4' x 4' maturity  
 Water (M) Allergy (L) 16sf

**BLUE MIST SPIREA**  
*Caryopteris clandonensis*  
 5 Gal., 12"-3' Inst./3' x 3' maturity  
 Water (M) Allergy (L) 4sf

**DEER GRASS**  
*Muhlenbergia rigens*  
 1 Gal., 6"-15" Inst./4' x 4' maturity  
 Water (M) Allergy (L) 16sf

**POTENTILLA**  
*Potentilla fruticosa*  
 1 Gal., 3"-15" Inst./3' x 3' maturity  
 Water (M+) Allergy (L) 4sf

**THREADGRASS**  
*Stipa tenuissima*  
 1 Gal., 3"-15" Inst./2' x 2' maturity  
 Water (L+) Allergy (L) 4sf

**CATMINT**  
*Nepeta mussini*  
 1 Gal., 3"-15" Inst./1' x 2' maturity  
 Water (M) Allergy (L) 4sf

**COURTYARD PLANT MATERIAL**

**GREEN MOUND JUNIPER**  
*Juniperus procumbens 'Green Mound'*  
 5 Gal., 6"-15" Inst./8' x 8' maturity  
 Water (L+) Allergy (H) 64sf

**NANDINA**  
*Nandina domestica*  
 5 Gal., 2-4' Inst./8' x 5' maturity  
 Water (M+) Allergy (L) 25sf

**WILDFLOWER**  
 1 Gal., 3"-15" Inst./varies at maturity  
 Water (varies) Allergy (varies) 4sf

**3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**

**OVERSIZED GRAVEL & BOULDERS**

\* DENOTES EVERGREEN PLANT MATERIAL

**LANDSCAPE NOTES:**  
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.

Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.

Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.

Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.

**IRRIGATION NOTES:**  
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

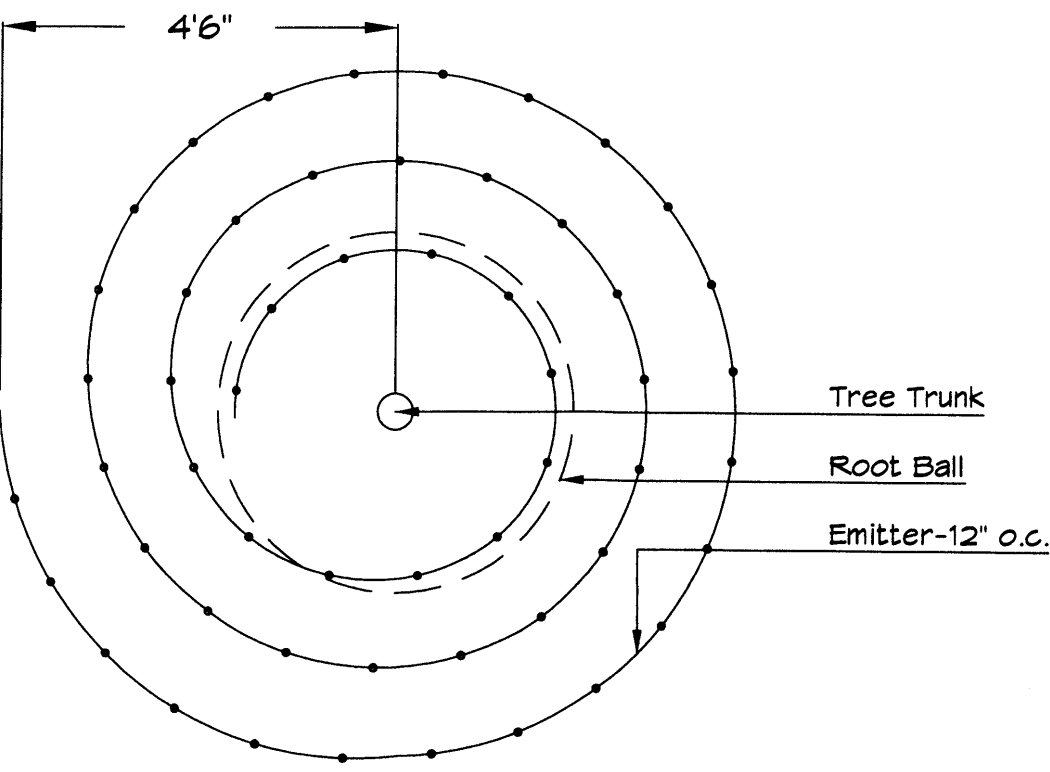
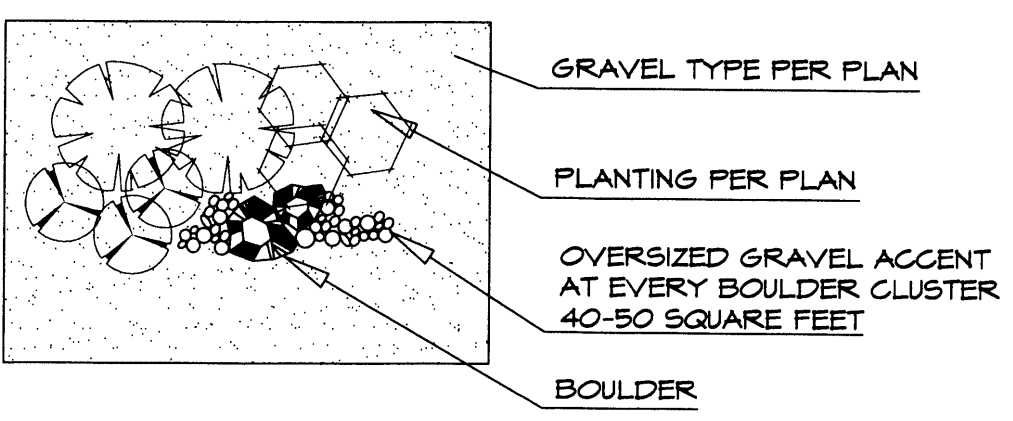
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

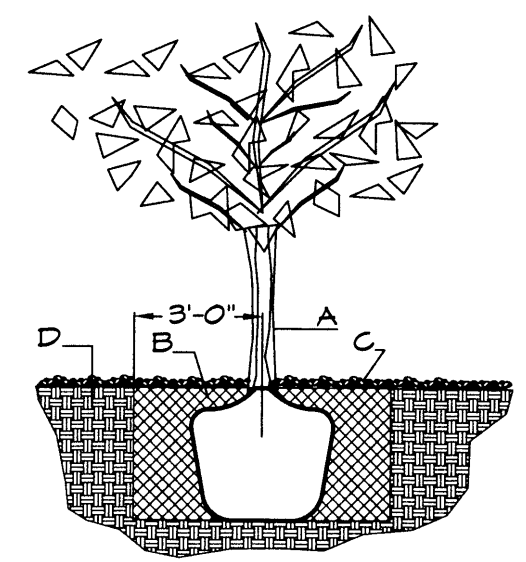
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**GRAVEL ACCENT DETAIL**



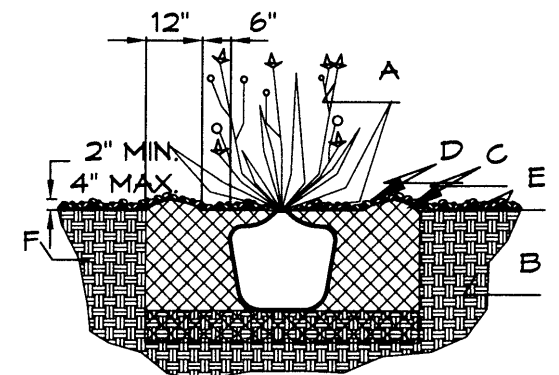
**Netafim Spiral Detail**



**TREE PLANTING DETAIL**

**GENERAL NOTES:**  
 1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
 2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DIG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED. THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**  
 A. TREE  
 B. BACKFILL WITH EXISTING SOIL.  
 C. 3" DEPTH OF GRAVEL MULCH.  
 D. UNDISTURBED SOIL.



**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**  
 1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**  
 A. SHRUB.  
 B. BACKFILL WITH EXISTING SOIL.  
 C. EARTH BERM AROUND WATER RETENTION BASIN.  
 D. 3" DEPTH OF GRAVEL MULCH.  
 E. FINISH GRADE.  
 F. UNDISTURBED SOIL.



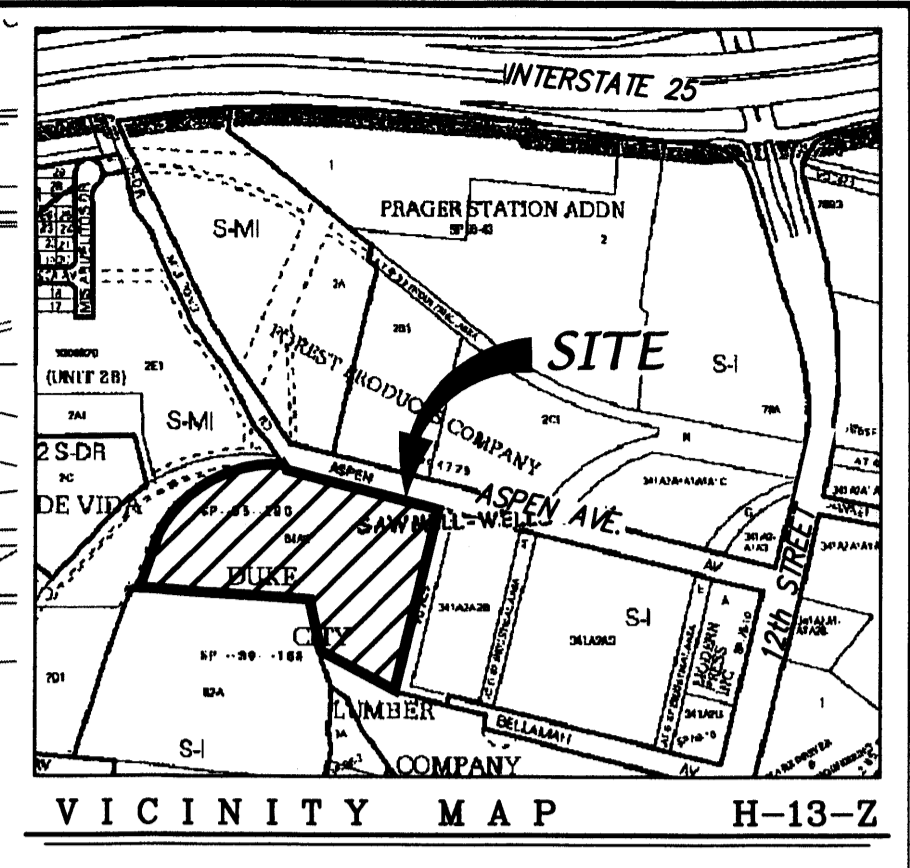
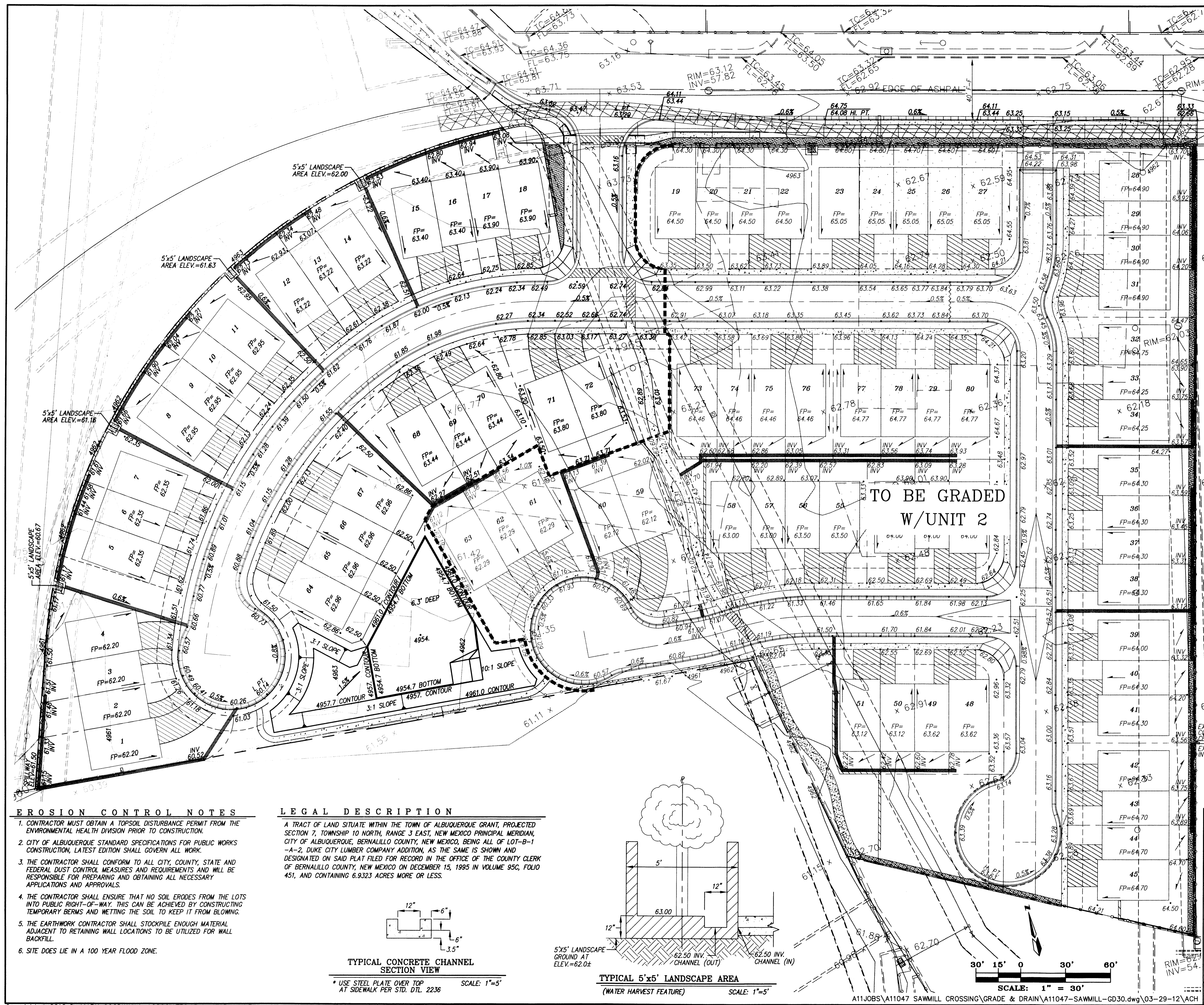
LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cmj@hilltoplandscaping.com  
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractor and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

REVISED: 12-29-11 CMJ

**SAWMILL CROSSING  
 LANDSCAPE PLAN**

**dmj MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS**  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 6 of 6
Scale: 1" = 50'	Date: 11/17/2011	Job: A11047	



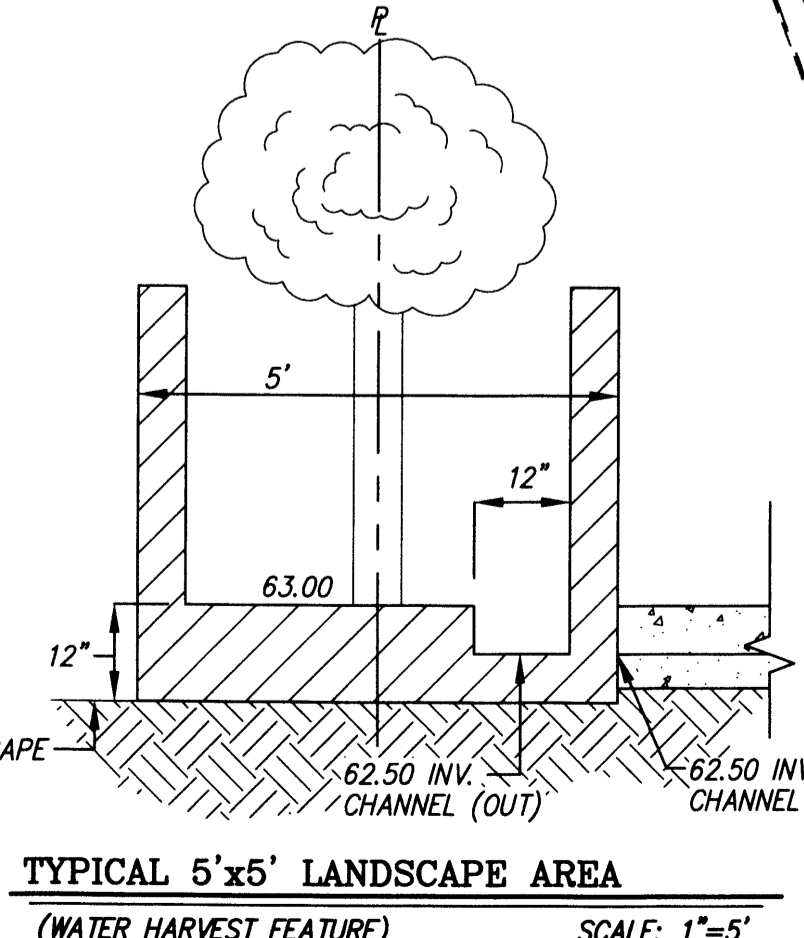
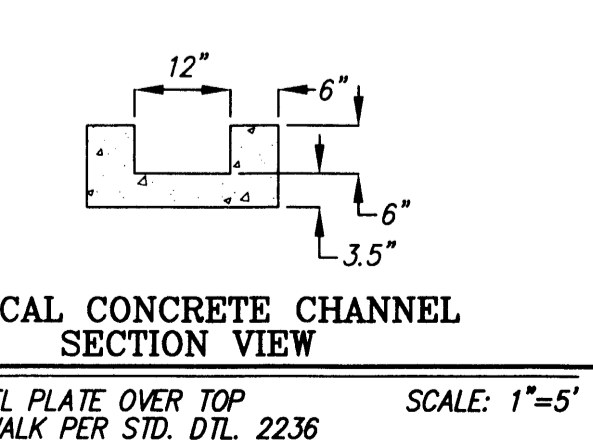
**LEGEND**

TC=	EXIST. TOP CURB/FLOWLINE
FL=	EXIST. CONCRETE/SIDEWALK
x 00.00	EXIST. SPOT ELEVATION
○	EXIST. FIRE HYDRANT VALVE
○	EXIST. FIRE HYDRANT
—	EXIST. GUY WIRE
○	EXIST. OVERHEAD ELECTRIC
○	EXIST. POWER POLE
○	EXIST. SANITARY SEWER MANHOLE
○	EXIST. WATER VALVE
○	EXIST. WATER SPIGOT
+	EXIST. RAILROAD TRACKS
+	EXIST. SIGN
+	EXIST. DROP INLET
+	EXIST. TELEPHONE PEDESTAL
+	EXIST. WATER METER
+	EXIST. SPRINKLER CONTROL VALVE
+	EXIST. STORM DRAIN MANHOLE
---	NEW PROPERTY LINE
---	NEW LOT LINES
---	NEW RIGHT-OF-WAY
---	NEW CENTER LINE
---	NEW MOUNTABLE CURB & GUTTER
---	NEW STANDARD CURB & GUTTER
---	NEW SPOT ELEVATION
---	NEW SWALE
---	NEW FINISHED PAD ELEVATION
---	NEW RUNOFF DIRECTION
---	NEW WATER BLOCK
---	NEW RETAINING WALL
---	NEW STORM DRAIN INLET
---	NEW SLOPE
---	NEW STORM DRAIN LINE
---	NEW SIDEWALK GRATE
---	NEW TOWNHOME ROOF RUNOFF TO FRONT YARD
---	NEW 6" CRUSHER FINE TRAIL
---	NEW 2" DRAINAGE CHANNEL
---	NEW EXIST. RAILROAD TRACK
---	NO CONSTRUCTION ZONE
---	NEW LANDSCAPE AREA
---	NEW OPENING IN WALL TO ALLOW RUNOFF TO PASS
---	NEW 6" SIDEWALK
---	NEW DRIVE PADS
---	NEW PHASE LINE

- EROSION CONTROL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  - CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
  - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
  - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  - THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
  - SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.

**LEGAL DESCRIPTION**

A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 7, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF LOT-B-1 -A-2, DUKE CITY LUMBER COMPANY ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 15, 1995 IN VOLUME 95C, FOLD 451, AND CONTAINING 6.9323 ACRES MORE OR LESS.



**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT**

TITLE: **SAWMILL CROSSING - UNIT 1  
 GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. \_\_\_\_\_ ZONE MAP NO. **H-13-Z** SHEET **1** OF **1**

DESIGNED BY **DLH** DATE **03/12**  
 DRAWN BY **ACH** DATE **03/12**  
 CHECKED BY **DMG** DATE **03/12**

**AS BUILT INFORMATION**

CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTOR'S NAME	DATE
FIELD CHANGE BY	DATE
REVISION BY	DATE
CORRECTED BY	DATE
RECORDED BY	DATE
NO.	

**BENCH MARKS**

ACS Brass Cap stamped "5-JL3A"  
 From the intersection of I-40 and Rio Grande Boulevard, travel south on Rio Grande 0.4 miles to Mountain Road. Turn left onto Mountain Road and travel east 0.2 miles to 19th Street and the station on the left.

**SURVEY INFORMATION**

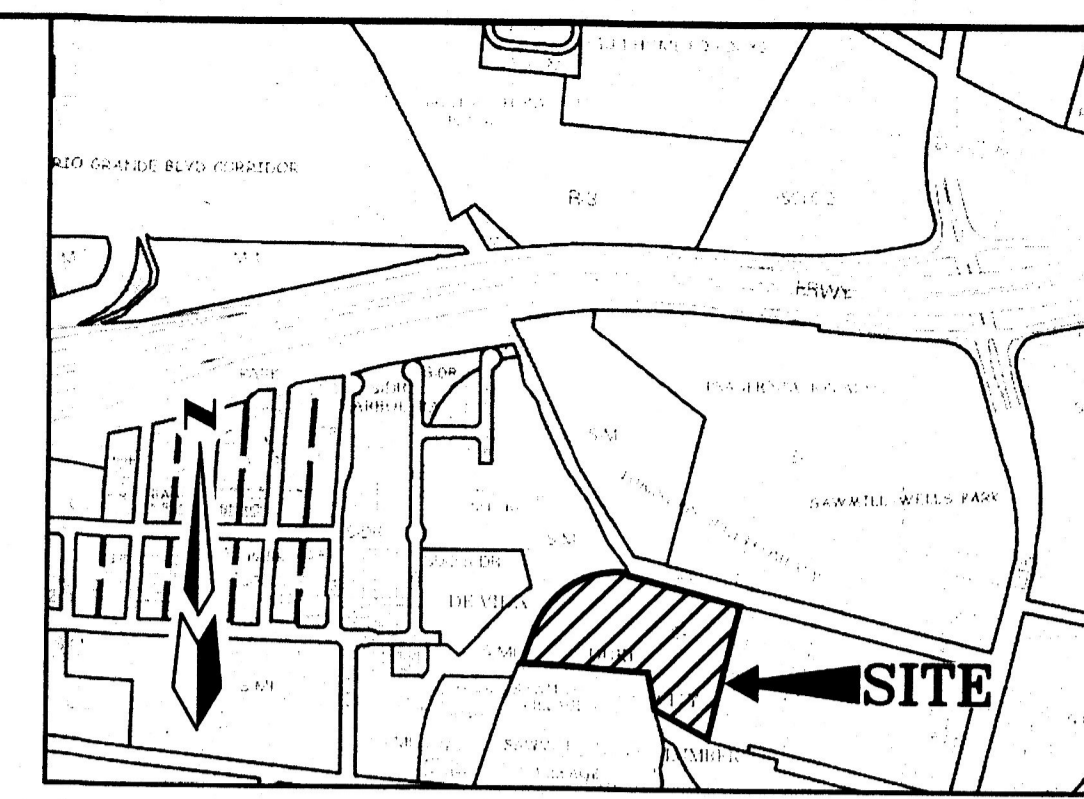
NO.	DATE	BY

**ENGINEER'S SEAL**

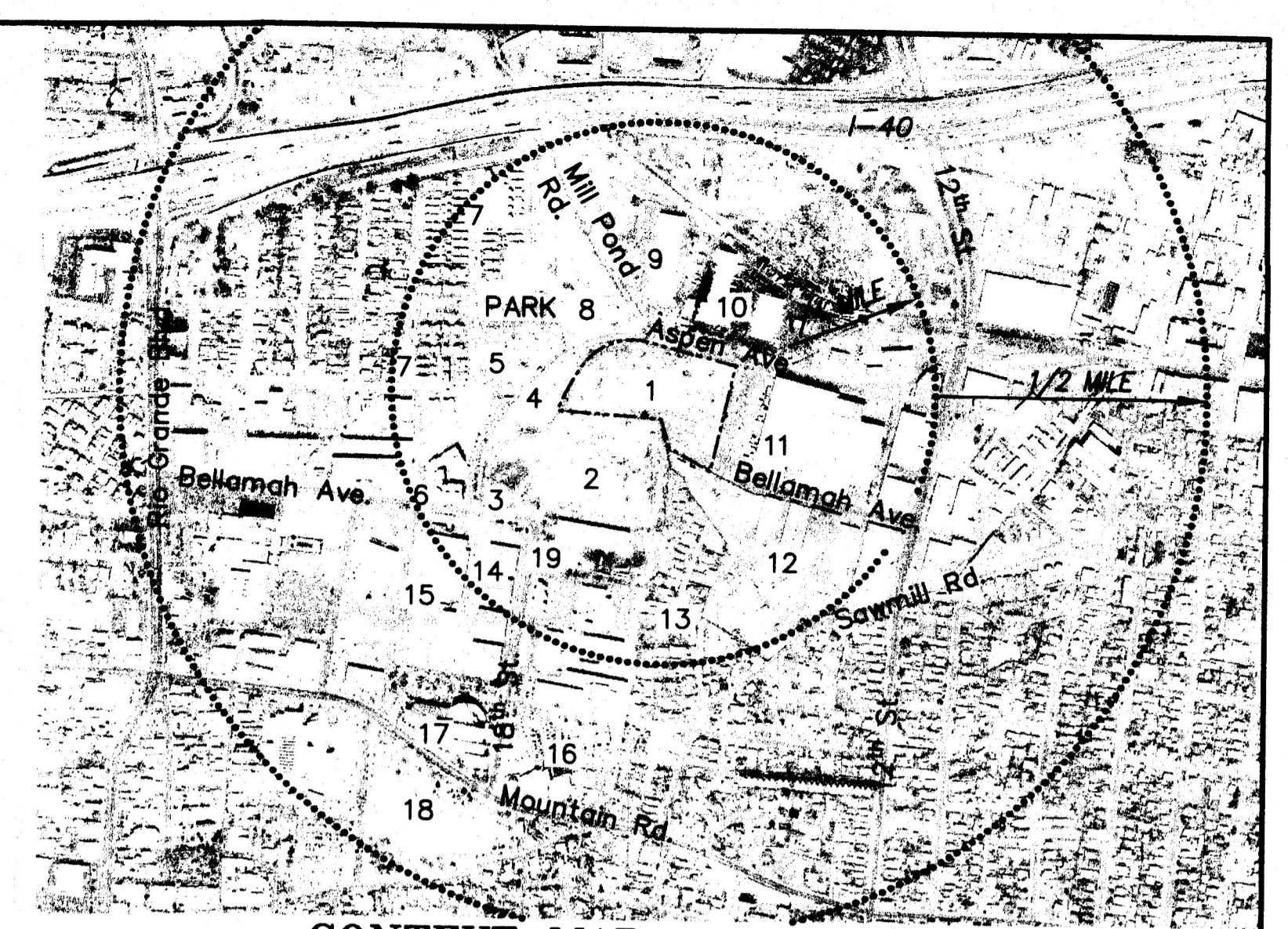
NO.	DATE	BY

E:\A11\JOB\A11047 SAWMILL CROSSING\GRADE & DRAIN\A11047-SAWMILL-GD30.dwg 4/5/2012 4:52:58 PM, PLOT 7/10 Sheets  
 Copyright © 2012 D. MARK GOODWIN & ASSOCIATES, P.A. All Rights Reserved.

TEMPORARY EMERGENCY ACCESS WITH CRASH GATE PER CITY FIRE DEPARTMENT REQUIREMENTS IF VEHICULAR CONNECTION TO BELLAMAH IS NOT AVAILABLE UNTIL AFTER THE COMPLETION OF PHASE II CONSTRUCTION

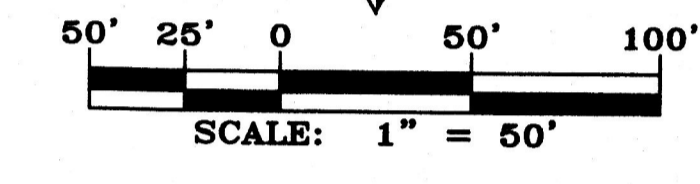


VICINITY MAP  
SCALE: 1"=750' ZONE ATLAS PAGE: H-13



CONTEXT MAP

- |                           |  |  |
|---------------------------|--|--|
| 1. SUBJECT SITE           | 8. FUTURE SCLT ECONOMIC DEVELOPMENT              | 14. VACANT (SCLT OWNERSHIP)                    |
| 2. SAWMILL VILLAGE (SCLT) | 9. ROGER COX WAREHOUSE                           | 15. FORMER BLUE LINX WAREHOUSE (EXPLORA-OWNED) |
| 3. KESHET DANCE (COA)     | 10. ROBERTS TRUCK RENTAL & SERVICE               | 16. EXPLORA                                    |
| 4. PONDING AREA FOR SCLT  | 11. UNITED PARCEL SERVICE                        | 17. NM MUSEUM OF NATURAL HISTORY               |
| 5. SCLT SENIOR HOUSING    | 12. NM TIMBER & VIGA (FORMERLY CIELO AT SAWMILL) | 18. TIGUEX PARK                                |
| 6. SCLT LOFTS APARTMENTS  | 13. EXISTING 15TH ST. (SAWMILL NEIGHBORHOOD)     | 19. EXISTING OFFICE/WAREHOUSE                  |
| 7. SCLT ARBOLERA DE VIDA  |  |  |



**LEGAL DESCRIPTION**

That a certain parcel of land situate within the Town of Albuquerque Grant in projected Section 7, Township 19 North, range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo county, New Mexico, being and comprising Tract lettered "B-1-A-2", DUKE CITY LUMBER COMPANY filed in the office of the county Clerk of Bernalillo County, New Mexico, on December 15, 1995, in Volume 95C, Folio 451, containing 6.9292 acres, more or less.

**THE SITE:**

The site area is presently zoned SU-2 / S-1 and under the jurisdiction of the Sawmill / Wells Park Sector Development Plan and the Sawmill / Wells Park Community Metropolitan Redevelopment Area Plan.

**PROPOSED USE CHANGES:**

The property is to be changed to SU-2 / SU-1 for Planned Residential Development. Allowed uses shall be as permissive in the City R-T Zone.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**

**Vehicular Access:** Primary access will be via Aspen Avenue with secondary access via a new connection to an off-site extension of Bellamah Avenue from the adjoining Sawmill Village. Bellamah will eventually be extended 350' to the east where it will connect to the existing Bellamah Ave. upon redevelopment of Tract "B-1-A-3", Duke City Lumber Company. Internal access through the site will be via public streets.

**Pedestrian, Bicycle and Trail Access:** New sidewalks will meet the current development process manual requirements. A new 6' sidewalk will connect to the Sawmill Village south of site just off the Bellamah Ave. extension. This walking trail shall contain at least four park benches spaced at 100' on center along its length.

**Transit Access:** Route 36 runs along 12th street which is 1000 feet east of the site. Route 790 runs along Rio Grade Blvd, which is approximately 2000 ft west of the site.

**INTERNAL CIRCULATION REQUIREMENTS:**

Internal circulation will be via public on-site streets, which will contain 4' sidewalks on each side of the street and a 6' sidewalk north-south through the middle of the site.

**BUILDING HEIGHTS AND SETBACKS:**

Maximum allowed building heights shall be 26 feet. See setback provisions under design standards.

**MAXIMUM TOTAL DWELLING UNITS AND MINIMUM LOT AREA:**

Maximum total number of residential units shall be 80 and overall site density shall not exceed 12 du/ac.

**LANDSCAPE STANDARDS:**

For Landscaping information see Sheet 5 of this plan set. All landscaping shall be per the City of Albuquerque Zoning Ordinance.

**PHASING:**

Phase I will consist of 27 lots and obtain its access from Aspen Ave. Once Phase I is close to buildout, Phase II construction will be undertaken and the entire project will be completed, with secondary access being off Bellamah Ave.

APPLICATION NUMBER: \_\_\_\_\_ PROJECT NUMBER: 1009046

City Approvals:

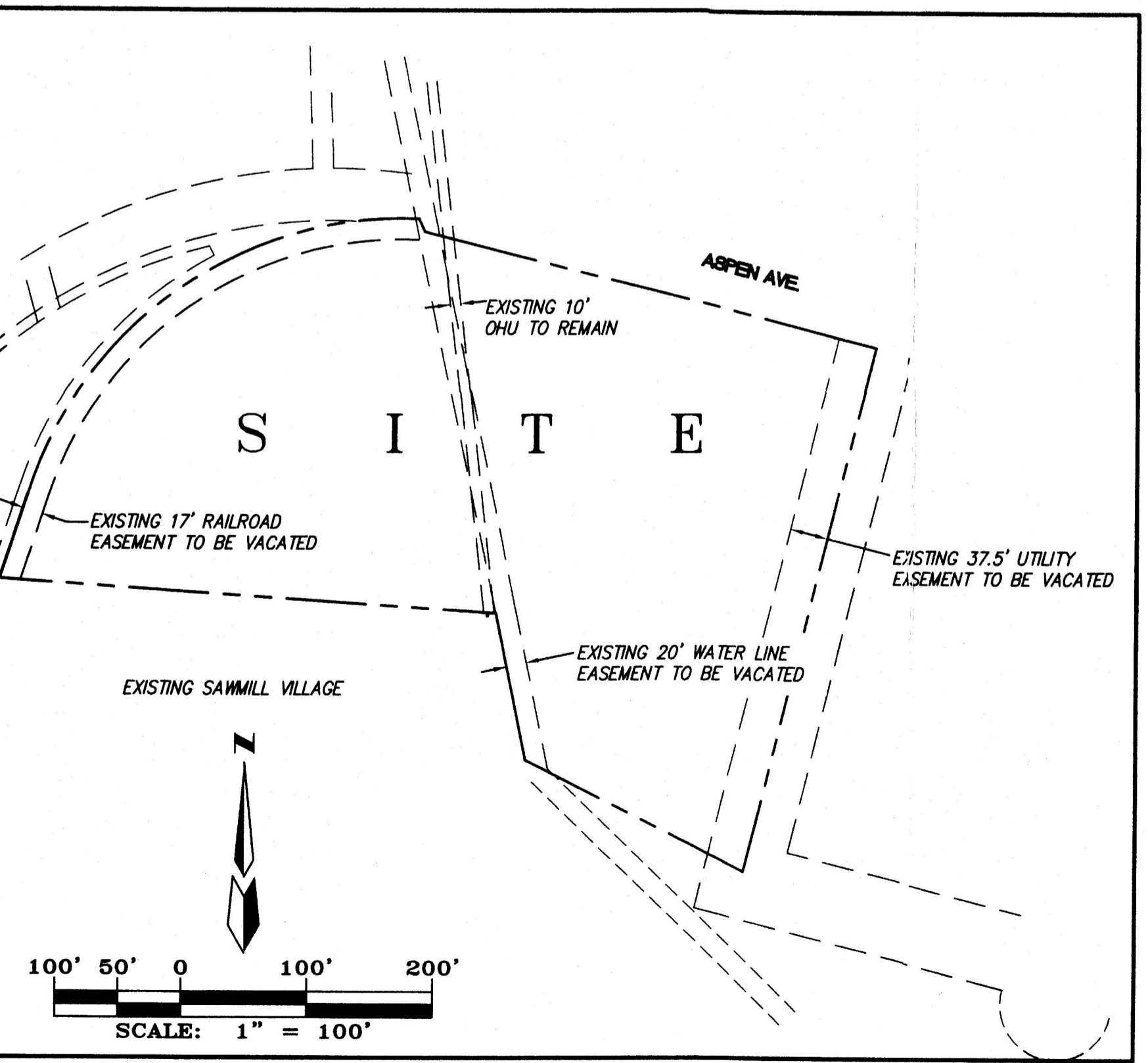
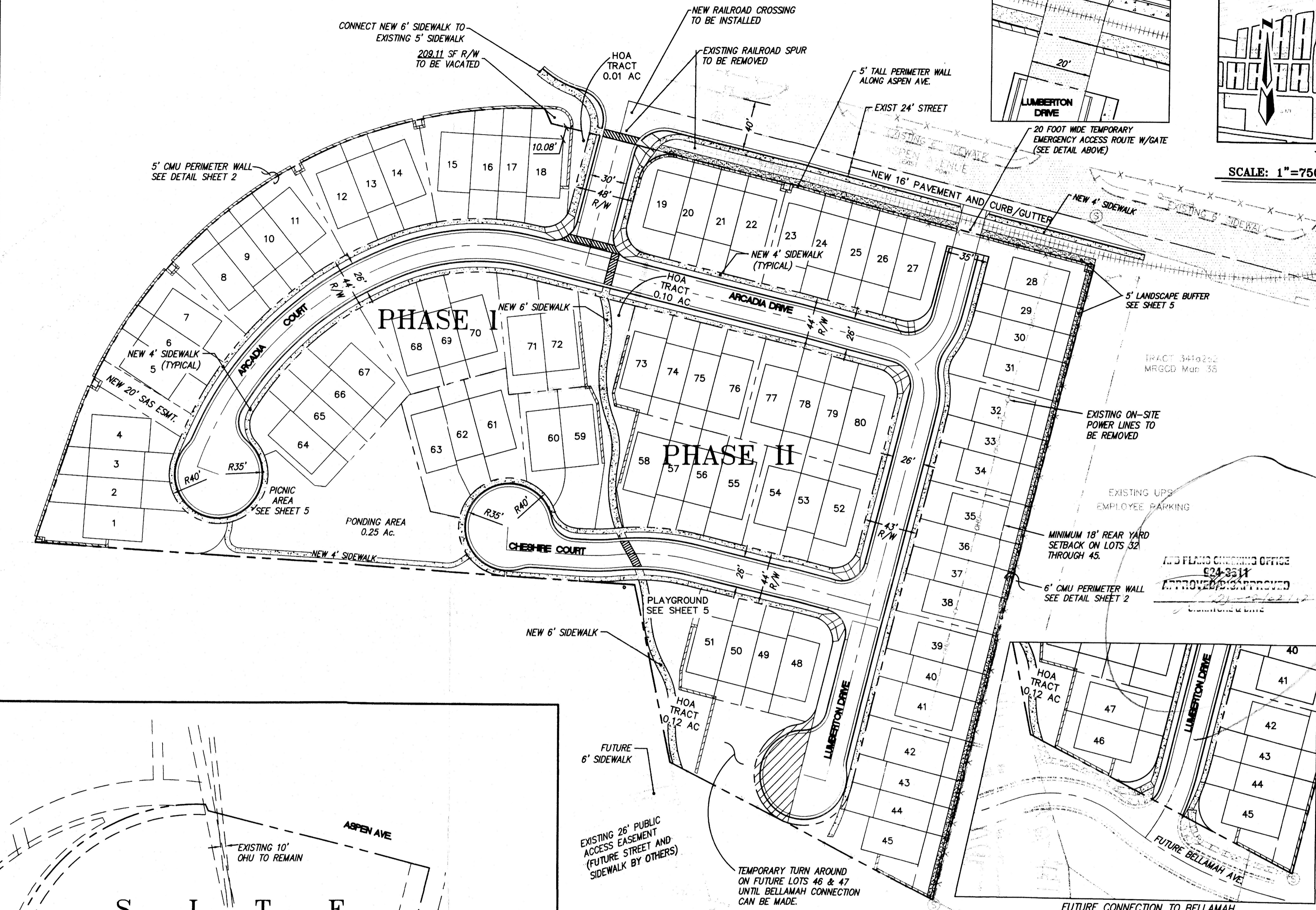
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

**PLAN INDEX**

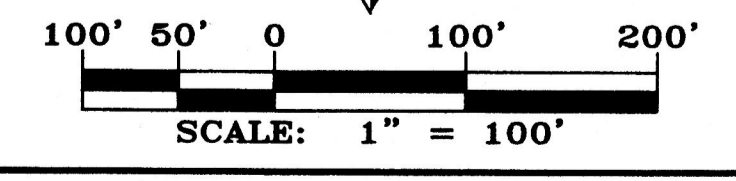
PLAN INDEX	SHEETS
SITE PLAN FOR SUBDIVISION	1
DESIGN STANDARDS	2
DESIGN STANDARDS AND CONCEPTUAL UTILITY PLAN	3
CONCEPTUAL GRADING & DRAINAGE PLAN	4
LANDSCAPING PLAN	5&6

**SAWMILL CROSSING**  
**SITE PLAN FOR SUBDIVISION**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539



EXISTING EASEMENTS



**PREPARED BY:**  
D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200

**PREPARED FOR:**  
SAWMILL CROSSING, LLC  
7400 HANCOCK CT. NE  
ALBUQUERQUE, NM 87109  
Ph: (505) 797-1134  
FAX: (505) 797-8589

**LEGEND**

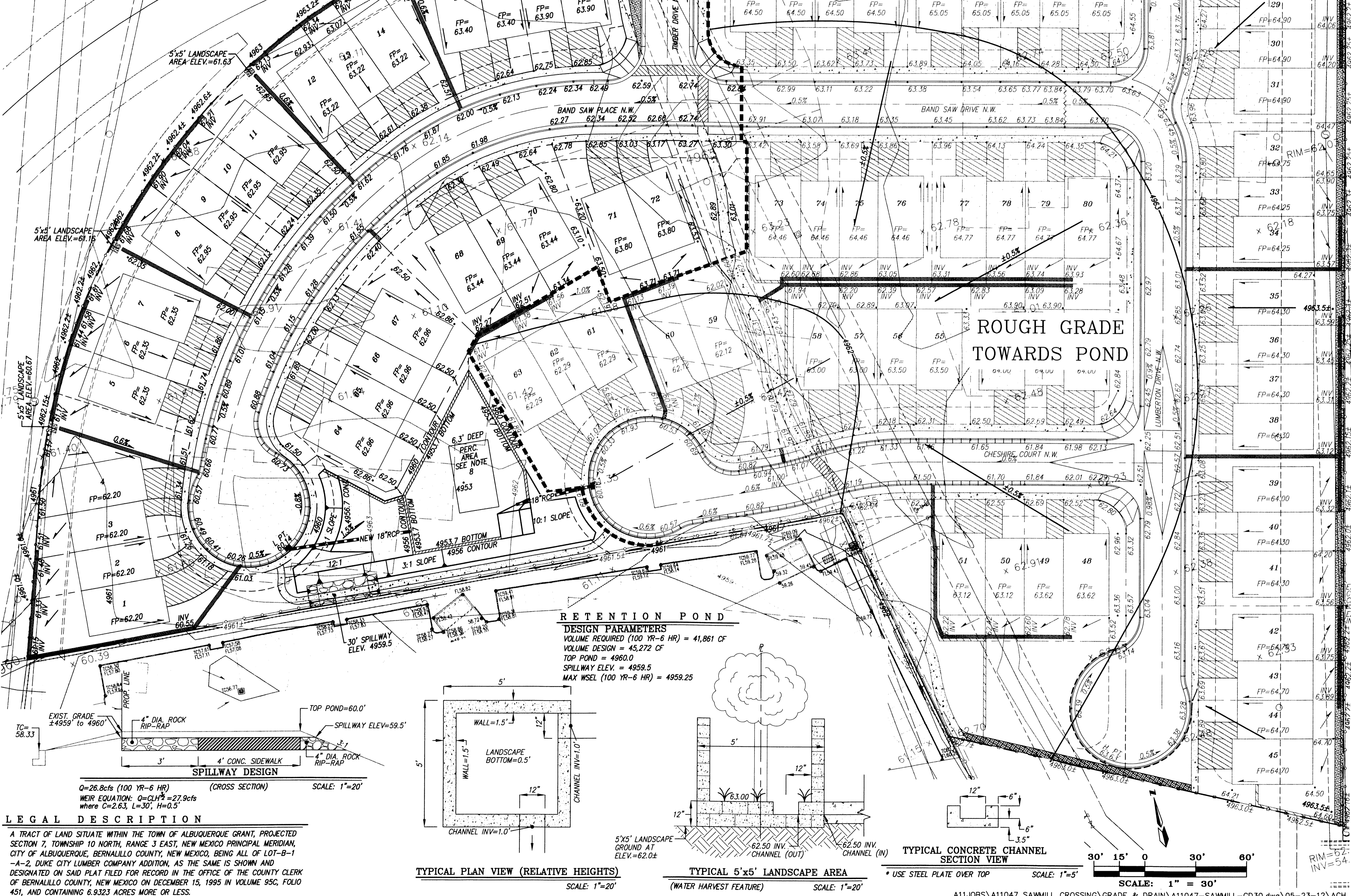
- |  |                      |  |                             |
|--|----------------------|--|-----------------------------|
|  | PATTERNED CONCRETE   |  | EXIST. OVERHEAD UTIL. LINES |
|  | NEW CURB AND GUTTER  |  | EXIST. PERMANENT CURB       |
|  | NEW SIDEWALK         |  | PROPERTY LINE               |
|  | EXIST. EASEMENT LINE |  | NEW EASEMENT LINE           |
|  | EXIST. PAVEMENT      |  | EXIST. RAILROAD TRACK       |
|  | PHASE BOUNDARY       |  | EXIST. SAS MANHOLE          |
|  | PERIMETER WALL       |  | NEW HC RAMP                 |
|  | FUTURE CURB & GUTTER |  | EXISTING FENCE              |

JOB:A11047 Sawmill Crossing\SITE PLANS\A11047 sawmill siteplan2.dwg, 2/2/2012 12:53:32 PM, Stephen

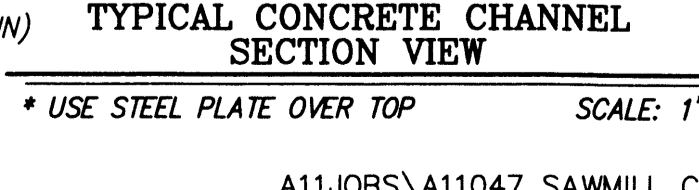
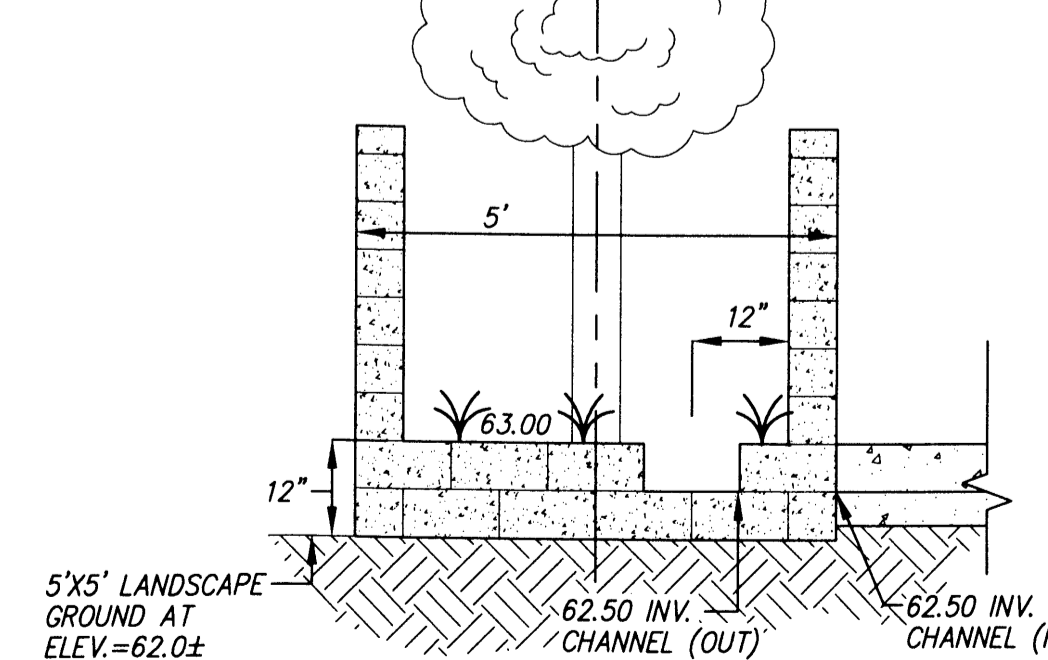
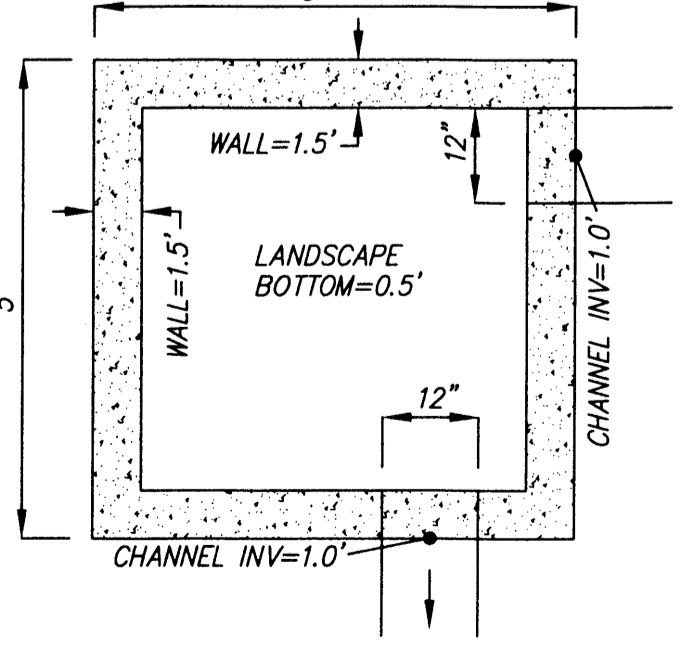


**EROSION CONTROL NOTES**

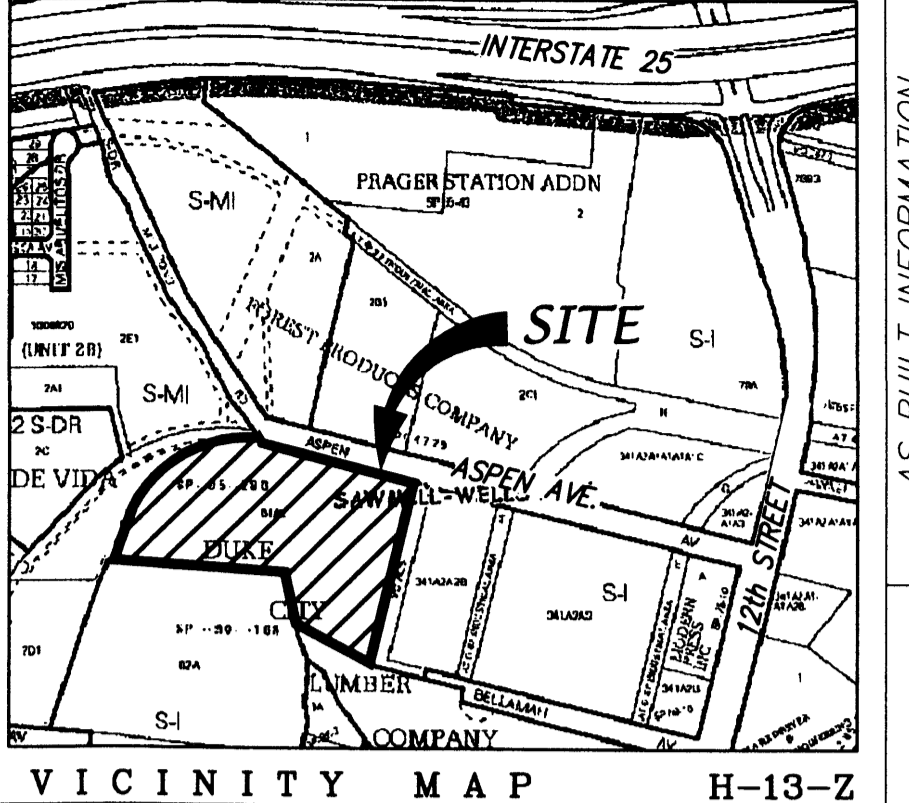
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
6. SITE DOES LIE IN A 100 YEAR FLOOD ZONE.
7. LOTS 42-44 DRAIN TO BACKYARD CHANNELS AND THEN EASTWARD THROUGH AND EXISTING OFF-SITE CHANNEL.
8. PERCOLATION TESTS TO BE DONE ON SOILS UNDER PONDING AREA TO DETERMINE DESIGN PARAMETERS TO FACILITATE PERCOLATION OF THE 100 YR-6 HR STORM VOLUME IN A 72 HOUR PERIOD LESS THAN AND NOT TO EXCEED 96 HOURS. FINAL DESIGN TO BE DETERMINED PRIOR TO OR A-2 DRC.



**RETENTION POND**  
**DESIGN PARAMETERS**  
 VOLUME REQUIRED (100 YR-6 HR) = 41,861 CF  
 VOLUME DESIGN = 45,272 CF  
 TOP POND = 4960.0  
 SPILLWAY ELEV. = 4959.5  
 MAX WSEL (100 YR-6 HR) = 4959.25



**LEGAL DESCRIPTION**  
 A TRACT OF LAND SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 7, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF LOT-B-1-A-2, DUKE CITY LUMBER COMPANY ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 15, 1995 IN VOLUME 95C, FOLIO 451, AND CONTAINING 6.9323 ACRES MORE OR LESS.



**LEGEND**

- TC= EXIST. TOP CURB/FLOWLINE
- FL= EXIST. CONCRETE/SIDEWALK
- 00.00 EXIST. SPOT ELEVATION
- ⊕ EXIST. FIRE HYDRANT
- EXIST. GUY WIRE
- EXIST. OVERHEAD ELECTRIC
- EXIST. POWER POLE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. WATER VALVE
- EXIST. RAILROAD TRACKS
- EXIST. SIGN
- EXIST. DROP INLET
- EXIST. TELEPHONE PEDESTAL
- EXIST. WATER METER
- EXIST. STORM DRAIN MANHOLE
- NEW PROPERTY LINE
- NEW LOT LINES
- NEW RIGHT-OF-WAY
- NEW CENTER LINE
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW SPOT ELEVATION
- NEW SWALE
- NEW FINISHED PAD ELEVATION
- NEW RUNOFF DIRECTION
- NEW WATER BLOCK
- NEW RETAINING WALL
- NEW GARDEN WALL
- NEW SIDEWALK GRATE
- NEW STORM DRAIN INLET
- NEW SLOPE
- NEW STORM DRAIN LINE
- NEW CONTOUR
- NEW TOWNHOM. ROOF RUNOFF TO FRONT YARD
- NEW 6" CRUSHER FINE TRAIL
- NEW 1" WIDE DRAINAGE CHANNEL
- NEW EXIST. RAILROAD TRACK NO CONSTRUCTION ZONE
- NEW LANDSCAPE AREA
- NEW OPENING IN WALL TO ALLOW RUNOFF TO PASS
- NEW SIDEWALK
- NEW DRIVE PADS
- NEW PHASE LINE
- NEW OFFSITE PAVEMENT

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

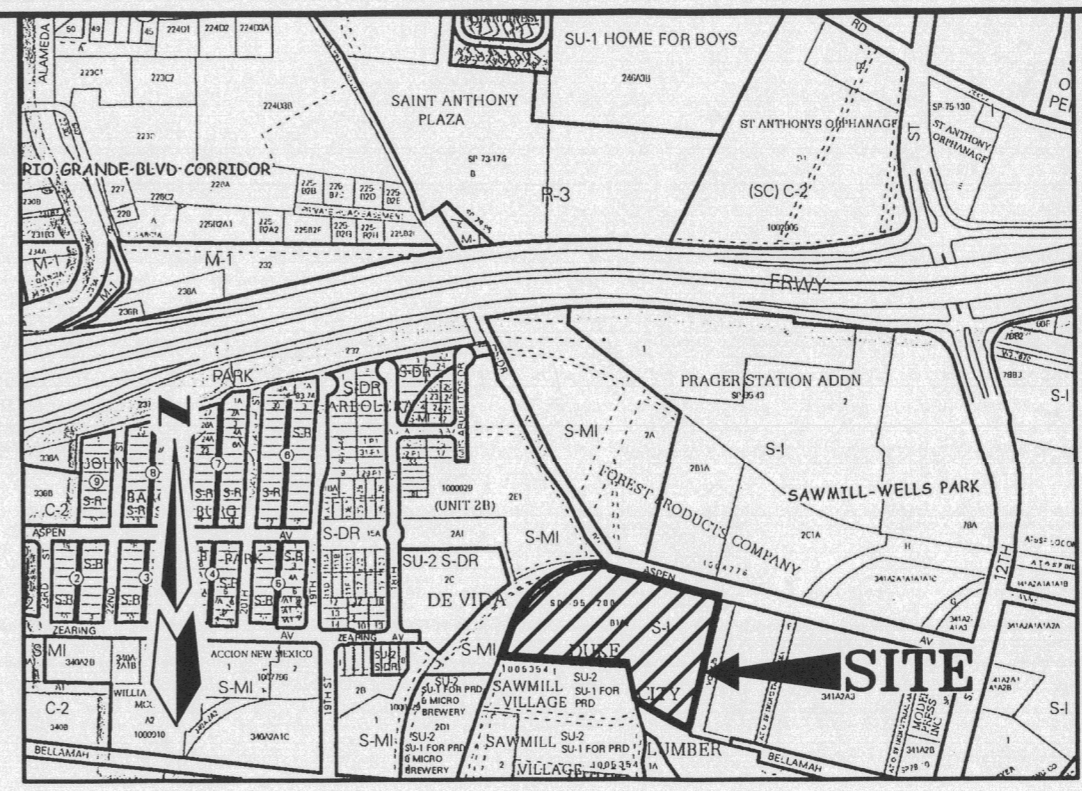
TITLE: **SAWMILL CROSSING - UNIT 1 GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	H-13-Z	1	1

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S ACCEPTANCE BY DATE	DATE	NO.	BY	NO.	BY
REVISIONS		REVISIONS		REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE

**DRAINAGE NOTE**  
 AS NECESSARY, EACH REAR YARD SHALL CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARD RUNOFF FROM ADJOINING LOTS, TO BE FURTHER DETAILED ON THE FINAL PLAT. SIDE YARDS THAT ARE NOT PART OF AN ATTACHED DWELLING SHALL ALSO CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARDS FLOWS TO THE STREET.

TEMPORARY EMERGENCY ACCESS WITH CRASH GATE PER CITY FIRE DEPARTMENT REQUIREMENTS IF VEHICULAR CONNECTION TO BELLAMAH IS NOT AVAILABLE UNTIL AFTER THE COMPLETION OF PHASE II CONSTRUCTION

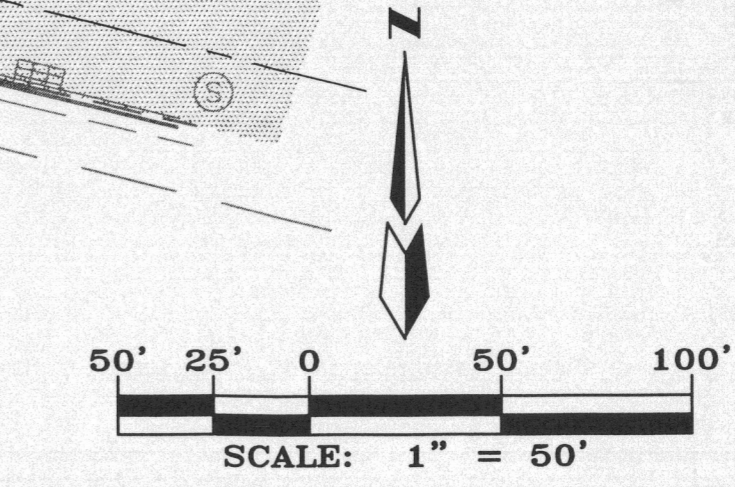


**VICINITY MAP**  
 SCALE: 1"=750' ZONE ATLAS PAGE: H-13



**CONTEXT MAP**

- |                           |  |  |
|---------------------------|--|--|
| 1. SUBJECT SITE           | 8. FUTURE SCLT ECONOMIC DEVELOPMENT              | 14. VACANT (SCLT OWNERSHIP)                    |
| 2. SAWMILL VILLAGE (SCLT) | 9. ROGER COX WAREHOUSE                           | 15. FORMER BLUE LINX WAREHOUSE (EXPLORA-OWNED) |
| 3. KESHET DANCE (COA)     | 10. ROBERTS TRUCK RENTAL & SERVICE               | 16. EXPLORA                                    |
| 4. PONDING AREA FOR SCLT  | 11. UNITED PARCEL SERVICE                        | 17. NM MUSEUM OF NATURAL HISTORY               |
| 5. SCLT SENIOR HOUSING    | 12. NM TIMBER & VIGA (FORMERLY CIELO AT SAWMILL) | 18. TIGUEX PARK                                |
| 6. SCLT LOFTS APARTMENTS  | 13. EXISTING 15TH ST. (SAWMILL NEIGHBORHOOD)     | 19. EXISTING OFFICE/WAREHOUSE                  |



**LEGAL DESCRIPTION**

That a certain parcel of land situate within the Town of Albuquerque Grant in projected Section 7, Township 19 North, range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo county, New Mexico, being and comprising Tract lettered "B-1-A-2", DUKE CITY LUMBER COMPANY filed in the office of the county Clerk of Bernalillo County, New Mexico, on December 15, 1995, in Volume 95C, Folio 451, containing 6.9292 acres, more or less.

**THE SITE:**

The site area is presently zoned SU-2 / S-1 and under the jurisdiction of the Sawmill / Wells Park Sector Development Plan and the Sawmill / Wells Park Community Metropolitan Redevelopment Area Plan.

**PROPOSED USE CHANGES:**

The property is to be changed to SU-2 / SU-1 for Planned Residential Development. Allowed uses shall be as permissive in the City R-T Zone.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**

**Vehicular Access:** Primary access will be via Aspen Avenue with secondary access via a new connection to an off-site extension of Bellamah Avenue from the adjoining Sawmill Village. Bellamah will eventually be extended 350' to the east where it will connect to the existing Bellamah Ave. upon redevelopment of Tract "B-1-A-3", Duke City Lumber Company. Internal access through the site will be via public streets.

**Pedestrian, Bicycle and Trail Access:** New sidewalks will meet the current development process manual requirements. A new 6' sidewalk will eventually connect to the Sawmill Village south of site just off the Bellamah Ave. extension. This walking trail shall contain at least four park benches and maximum 3-foot bollard lighting for pedestrian safety spaced at 100' on center along its length.

**Transit Access:** Route 36 runs along 12th street which is 1000 feet east of the site. Route 790 runs along Rio Grade Blvd, which is approximately 2000 ft west of the site.

**INTERNAL CIRCULATION REQUIREMENTS:**

Internal circulation will be via public on-site streets, which will contain 4' sidewalks on each side of the street and a 6' sidewalk north-south through the middle of the site.

**BUILDING HEIGHTS AND SETBACKS:**

Maximum allowed building heights shall be 26 feet. See setback provisions under design standards.

**MAXIMUM TOTAL DWELLING UNITS AND MINIMUM LOT AREA:**

Maximum total number of residential units shall be 80 and overall site density shall not exceed 12 du/ac.

**LANDSCAPE STANDARDS:**

For Landscaping information see Sheet 5 of this plan set. All landscaping shall be per the City of Albuquerque Zoning Ordinance.

**PHASING:**

Phase I will consist of 27 lots and obtain its access from Aspen Ave. Once Phase I is close to buildout, Phase II construction will be undertaken and the entire project will be completed, with secondary access being off Bellamah Ave.

APPLICATION NUMBER: \_\_\_\_\_ PROJECT NUMBER: 1009046

City Approvals:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

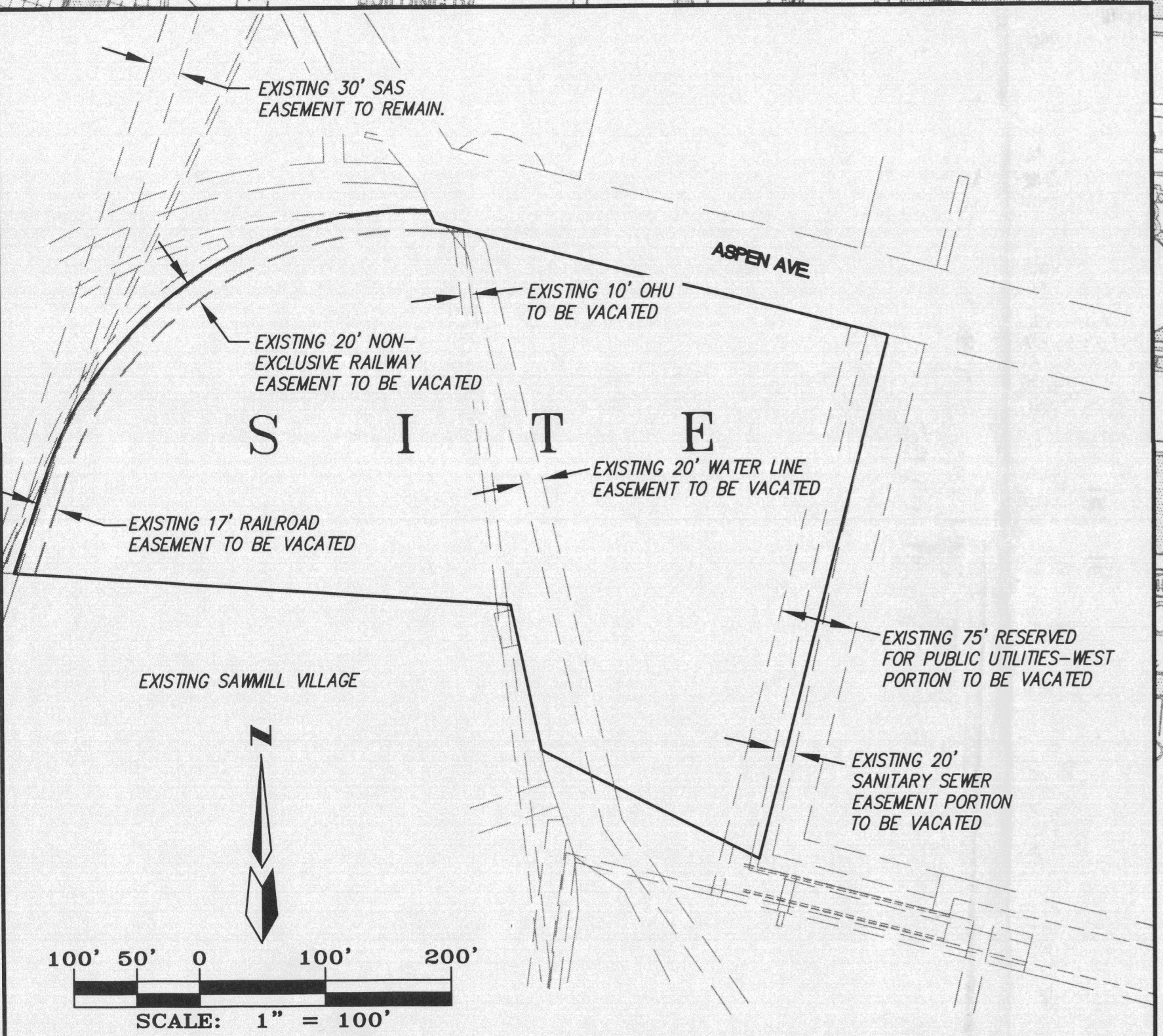
**PLAN INDEX**

PLAN INDEX	SHEETS
SITE PLAN FOR SUBDIVISION	1
DESIGN STANDARDS	2
DESIGN STANDARDS AND CONCEPTUAL UTILITY PLAN	3
CONCEPTUAL GRADING & DRAINAGE PLAN	4
LANDSCAPING PLAN	5&6

**SAWMILL CROSSING**  
**SITE PLAN FOR SUBDIVISION**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

LAST REVISED: 05-15-12  
 Scale: 1" = 50' Date: 11/22/2011 Job: A11047 Sheet 1 of 6



**EXISTING EASEMENTS**

**PREPARED BY:**  
 D. MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 828-2200

**PREPARED FOR:**  
 SAWMILL CROSSING, LLC  
 7400 HANCOCK CT. NE  
 ALBUQUERQUE, NM 87109  
 PH: (505) 797-1134  
 FAX: (505) 797-8589

**LEGEND**

[Patterned Box]	PATTERNED CONCRETE	[OHU Line]	EXIST. OVERHEAD UTIL. LINES
[Line with Dashes]	NEW CURB AND GUTTER	[Solid Line]	EXIST. PERMANENT CURB
[Line with Dots]	NEW SIDEWALK	[Dashed Line]	PROPERTY LINE
[Line with Triangles]	EXIST. EASEMENT LINE	[Dashed Line]	NEW EASEMENT LINE
[Stippled Box]	EXIST. PAVEMENT	[Line with X's]	EXIST. RAILROAD TRACK
[Thick Dashed Line]	PHASE BOUNDARY	[Circle with X]	EXIST. SAS MANHOLE
[Thin Dashed Line]	PERIMETER WALL	[Line with Arrow]	NEW HC RAMP
[Line with Dashes]	FUTURE CURB & GUTTER	[Line with X's]	EXISTING FENCE

**SITE DESIGN STANDARDS**

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Sawmill Area. The Sawmill Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all observers within Sawmill Crossing. Development shall comply with the general regulations of the Zoning Code and the Sawmill/Wells Park Sector Development Plan, except where otherwise noted herein. Where there is a conflict between the regulations and these design standards, the more restrictive shall apply.

**I. BUILDING FORMS**

All new dwellings shall be attached townhomes and joined together as two units, three units, or in a four-unit building, with each home being on its own lot. As detailed on this sheet, the townhomes located on the outside shall have minimum typical lot dimensions of at least 32 feet by 83 feet and the buildings will be 27 feet by 48 feet. With the three and four unit buildings, either one or two slightly smaller inside units (minimum 23 foot by 83 foot lot and 23 foot by 45 foot dwelling) will be combined with the outside units. Facades of inside units shall be recessed at least 3 feet behind the facades of exterior units. Interior dwelling areas will range from 880 SF up to 1650 SF.

- A. The maximum number of connected dwelling units shall be four.
- B. All buildings shall be two stories.

**II. ARCHITECTURAL STANDARDS**

- A. The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
- B. Typical building styles within this development shall be Southwest or New Mexico Vernacular, Pueblo, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
- C. Inside townhome facades shall be recessed in at least 5 feet or protrude out at least 5 feet from their garage front.
- D. Roofs may be flat, pitched, or combination of both, and they may be metal with colors being limited to earth-toned browns, grays, galvalume, and greens. When not flat, roof slopes shall be 30 to 45 degrees.
- E. All front doors of dwellings shall face the street.
- F. The garage doors on outside townhomes shall not be wider than 16 feet and on inside townhomes not wider than 8 feet. With four connected units the maximum allowed garage door width shall be 50% of total building width. With three connected units the maximum allowed width shall be 52%, and with two connected units the maximum allowed width shall be 59%.
- G. Exterior finishes on all new homes shall be stucco that is limited to earth-toned shades of brown, tan or sage green. Standard, unstuccoed 8-inch by 16-inch CMU block is not allowed as a finish material for buildings. Where more than one dwelling unit is attached, the stucco color of the inside unit(s) shall be of a different color than the outside units.
- H. Accent materials shall consist of rock, tile, or brick in the entry portals, front doors, window frames and related trim. These elements shall be limited to shades of white, blue, brown, or green.
- I. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.
- J. Not less than 12.5% of a building facade facing public R/W shall be windows (to include garage door windows). New windows shall be recessed at least 2 inches or surrounded by a casing not less than 2 inches wide. Reflective glass is not permitted.

**III. PEDESTRIAN ACCESS AND CIRCULATION**

- A. Running north to south through the middle of Sawmill Crossing is a proposed 6-foot sidewalk that shall connect directly between Aspen Avenue and Bellamah Avenue. This sidewalk shall also connect to where a new sidewalk is stubbed out by the adjoining Sawmill Village. North of the subject property the new on-site pedestrian route shall be extended to tie into the existing sidewalk along the west side of Mill Pond Road. Inside the site benches shall be provided every 100 feet along the route.
- B. New sidewalks shall be installed in front of all new dwellings and along the south side of the on-site ponding area.
- C. All pedestrian improvements shall be handicap accessible and constructed according to the ADA regulations. New handicap ramps shall be installed at all street intersections and wherever a sidewalk has to cross a street, with pavement markings to identify the cross-walk.
- D. Lot 27 shall contain a handicap accessible dwelling with interior design features intended to accommodate handicapped individuals. It shall be eligible to be converted to a conventional dwelling if it is not sought after by a handicapped individual. Handicapped accessible units may be less than two stories.

**IV. OPEN SPACE**

- A. Minimum area of usable open space for outside townhomes shall be 1200 SF, while minimum usable area for inside townhomes shall be at least 600 SF.
- B. At least 10,000 SF of additional open space shall be provided on the pedestrian route running through the middle of the site and in the picnic area.

**V. LIGHTING STANDARDS**

- A. Lighting on public streets shall be in accordance with the City's DPM and Regulation 14-16-3-9 of the Zoning Code.
- B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways, provided that up-lighting fixtures are not used.
- C. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

**VI. LANDSCAPE STANDARDS**

- A. **Front Yard Minimum**
  - 1. Accent Tree of at least 2" caliper or 10 feet high at the time of planting
  - 4. Shrubs (minimum 5 gallon)
  - 4. Shrubs (minimum 1 gallon)
  - 2. Landscape Boulders (3' x 3' minimum, with only one being placed in middle units)
- B. Accentuating "river rock" (max. 25% of area) and bark mulch (tree wells only) is also permitted in front yard landscaping.
- C. At a minimum, all front yard landscaping and common area landscaping shall be required to contain 1/2" to 3/4" diameter Santa Ana Tan, Santa Fe Brown, or Pueblo Rose (or similar) rock over filter fabric in all front yard areas that are not covered with living vegetative groundcover.
- D. Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- E. Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- G. Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- H. Shade trees spaced at least 30 feet on center shall be installed along the site's north boundary within Aspen Ave. and maintained by the HOA. A minimum of 75% of the ground in this area shall be covered with live plant material using anticipated mature tree and plant sizes.

**VII. SCREENING / WALLS & FENCES**

- A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code. Walls shall be colored, consist of a patterned scheme, and be constructed of split-face concrete masonry topped with a continuous cap (see detail this sheet).
- B. Side and courtyard walls shall be limited to 5 feet high.
- C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- D. Maximum rear yard and perimeter wall heights shall be 6 feet, unless noted otherwise.

**VIII. SETBACKS**

- A. Minimum Front Yard: 15 feet, except for lot 60, which contains a minimum 10' setback
- B. Minimum Rear Yard: 15 feet, unless noted otherwise in the setback variance detail, on this sheet. Lots 32 thru 45 shall contain a minimum 18' rear yard setback.
- C. Minimum Side Yard: No required setback, although there shall be at least 10 feet on the street side of corner lots (except Lots 18 and 45).
- D. There shall also be a minimum of 10 feet between residential buildings.
- E. Building portions over 15 feet high shall be set back not less than 25 feet from the front property line, except for the fronts of inside townhomes over the garage, which shall be set back not less than 23 feet from the front property line.

**IX. OFF-STREET PARKING**

- A. For townhomes located on the outside of each building the minimum number of off-street parking spaces provided shall be four. For townhomes located on the inside of buildings the minimum number of off-street parking spaces provided shall be two.
- B. Driveways shall not be less than 20 feet long.
- C. No more than 50% of each front, side, or rear yard setback area off a street shall be used for parking and/or driveway (except not more than 53% on outside units).

**X. UTILITIES**

- A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground. Refer to additional information provided on Sheet 5 regarding protection of existing on site transmission line.
- B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies. Vertical clearance from the transmission line to building roofs not accessible to pedestrians shall be at least 13 feet. Any structure not meeting horizontal clearance shall meet the vertical clearance.

**XI. SIGNAGE**

- A. Signage allowed within the site shall be as illustrated on the wall below with two signs being located at the entry.

**XII. NOISE**

- A. New dwellings on Lot 19 through Lot 45 shall use sound insulation and other noise attenuation measures to allow for an indoor sound level of no more than 45 dB(A). Building plans for dwellings on these lots shall be reviewed and certified by a qualified acoustical consultant to check for this limitation.

**XIII. APPROVAL PROCESS**

- A. Being less than 10 acres in size, the Environmental Planning Commission shall be the final authority for this request approval, with final Site Development Plan for Subdivision sign-off being delegated to the Development Review Board. Upon DRB approval of this Site Development Plan for Subdivision, building permit applications shall be checked for compliance to these design standards and approved by city Building Permit officials if they comply.
- B. In accordance with the Zoning Code, the Planning Director shall have the discretion to approve minor amendments to this site development plan, whereas major amendments shall be approved by the EPC.

**SAWMILL/WELLS PARK SECTOR DEVELOPMENT PLAN**

(within the General Regulations only those that apply to residential uses are listed below)

**General SU-2 Regulations**

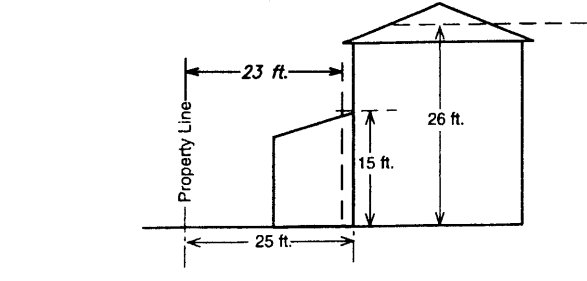
**3. RESIDENTIAL BUILDING DESIGN:**

3.a. Building exterior materials (stucco, brick, wood, etc.), color, window and door styles, and roof slope and materials shall be the same or similar on all parts of a structure and on all detached dwelling units on one lot.

THIS PLAN COMPLIES (REFER TO STANDARD II.D. AND II.G.)

3.b. Buildings shall not exceed 26 feet in height. Building portions over 15 feet high shall be set back not less than 25 feet from property lines abutting the public right-of-way of a private street and not less than 10 feet from interior side property lines.

3.b.



THIS PLAN COMPLIES WITH MAXIMUM BUILDING HEIGHT LIMIT (REF. SHEET 1)

**EXCEPTION**

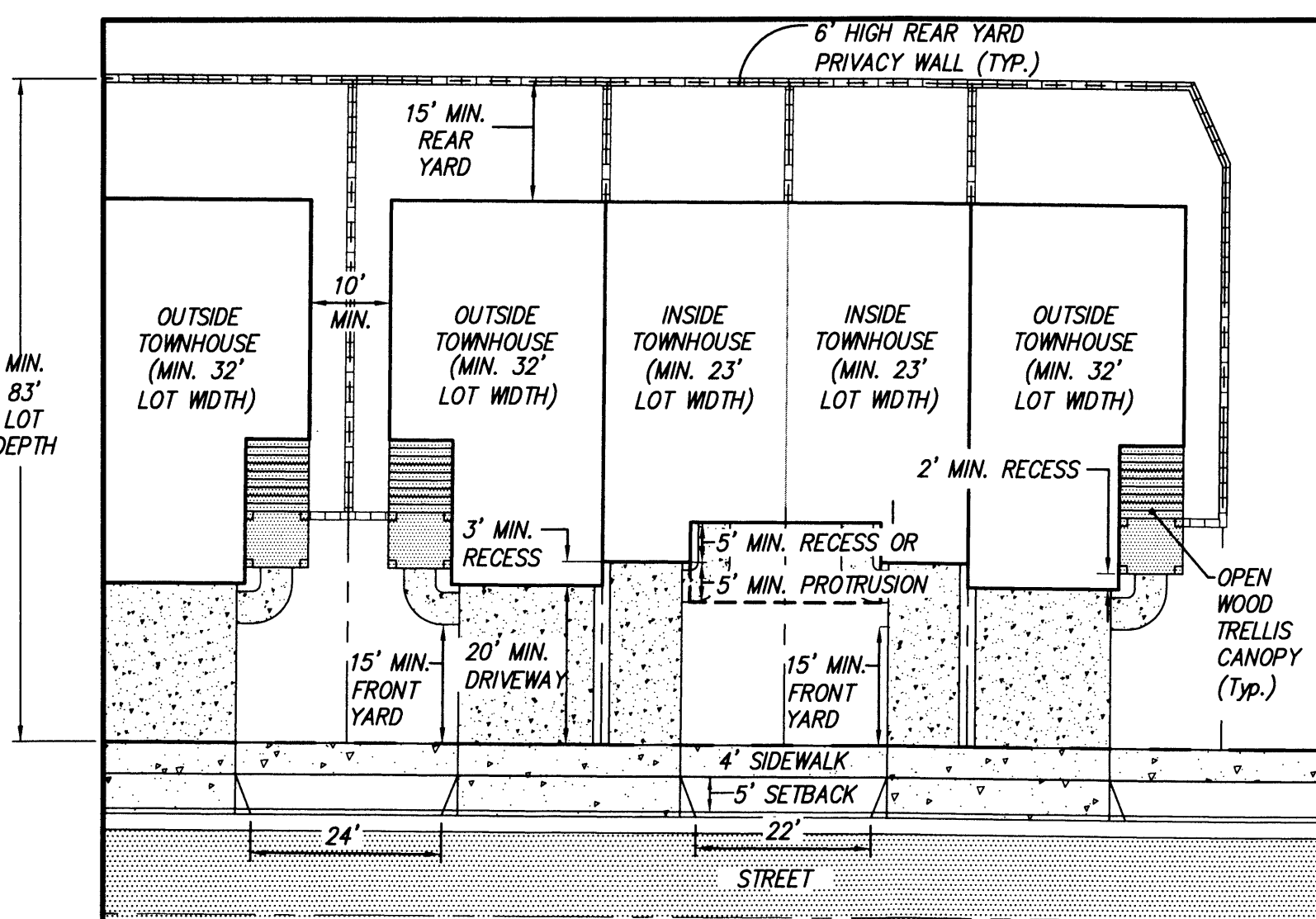
This plan also complies with minimum second story front setbacks (Standard VIII.E.), except for one-half of the facades on inside units, which are setback at least 23 feet from the street R/W. This variance from the regulation is designed to counteract the appearance of multiple second story facades at 25 feet back from the R/W (on outside units). The other half of the inside unit is setback at least 28 feet from the R/W (see below) to provide supplemental facade articulation.

Regarding the 10 foot setback from interior side property lines, this regulation was created to lessen the apparent impact of 2nd story buildings upon adjoining single-story homes (as indicated in the regulatory notes). This would not be the case in Sawmill Crossing since all the homes are planned to be two-story, and there are no other single-story homes in the vicinity of the subject site (the three-story Sawmill Village is directly to the south).

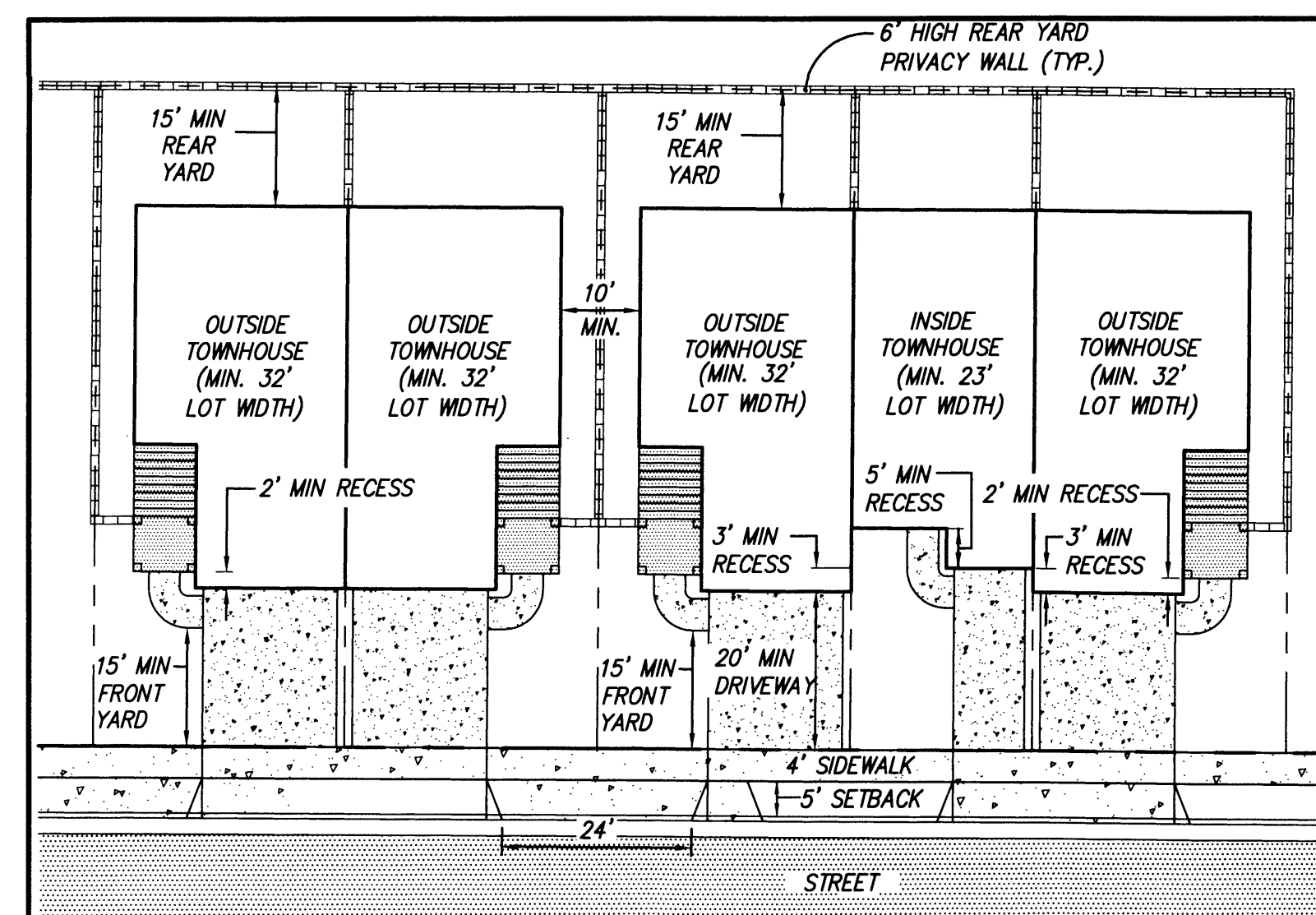
3.c. The slope of new roofs shall range from flat to not more than a 45 degree angle.

THIS PLAN COMPLIES

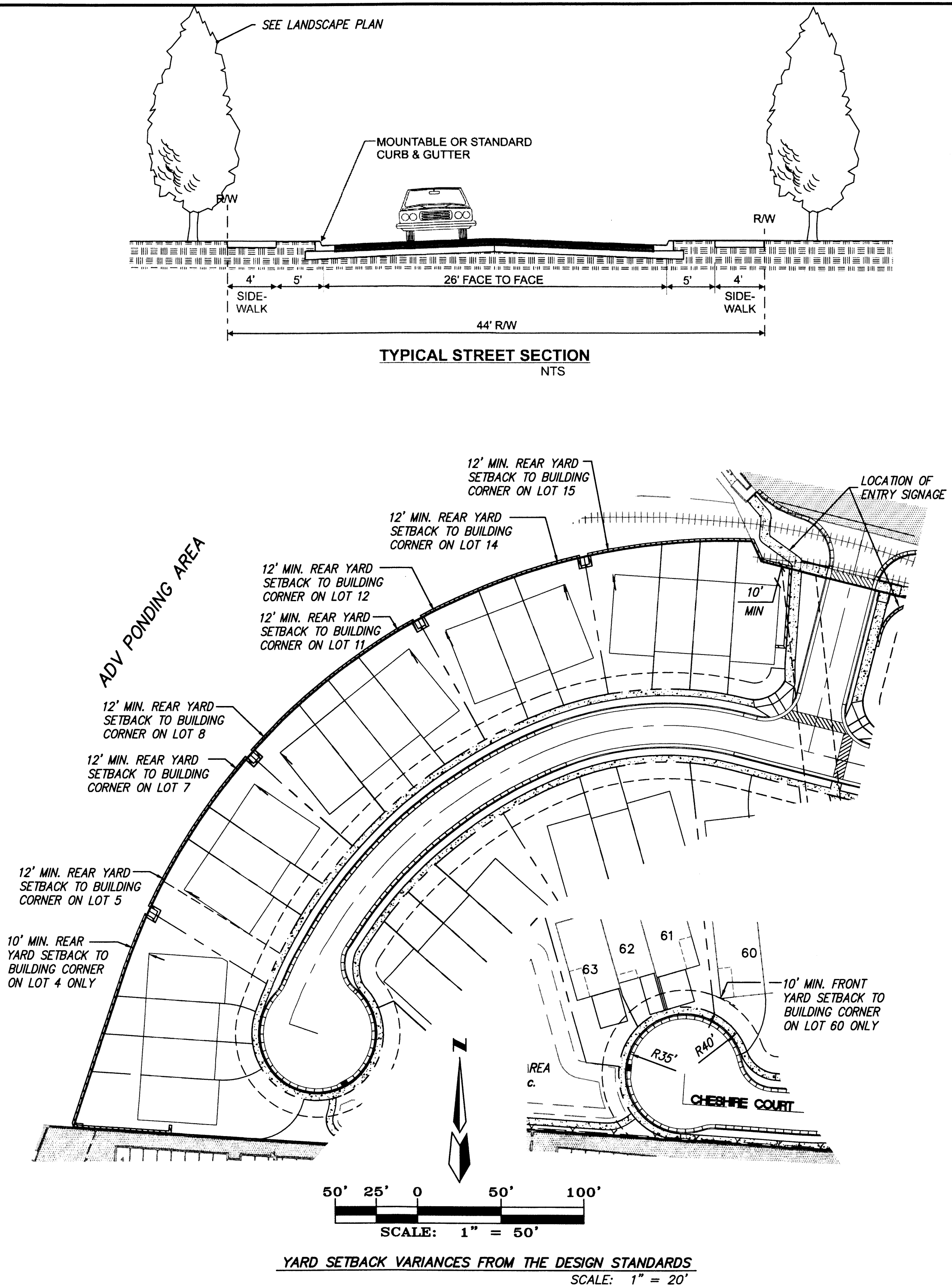
**SEE CONTINUATION ON SHEET 3**



TYPICAL 4-UNIT TOWNHOME BUILDING LAYOUT  
SCALE: 1" = 20'



TYPICAL 2-AND 3-UNIT TOWNHOME BUILDING LAYOUT  
SCALE: 1" = 20'



SEE SHEET 4 FOR DETAIL ON PERIMETER WALL ALONG WEST BOUNDARY OF SITE.

**SAWMILL CROSSING**  
**DESIGN STANDARDS**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG Sheet 2 of 6  
Date: 2/1/2012 Job: A11047

LAST REVISED: 05-15-12

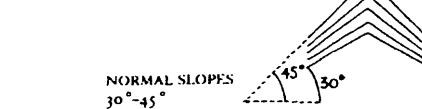
**SITE DESIGN STANDARDS (CONT.)**

**SAWMILL/WELLS PARK SECTOR DEVELOPMENT PLAN (CONT.)**

**General SU-2 Regulations**

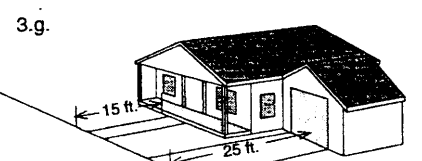
**RESIDENTIAL BUILDING DESIGN NOTES AND ILLUSTRATIONS (continued):**

3.e. The slope of roofs on new buildings over 15 feet high shall be 30 to 45 degrees.



**EXCEPTION (REF. II.D.)**

3.e. The front roofs of these buildings display both gable-end and hip roof styles, but the rear parts of the dwellings are flat-roofed. These flat roofs more easily accommodate mechanical units that can be more effectively hidden with the parapets of flat roofs when compared to sloped roofs. Furthermore, flat roofs on nearby existing two and three story buildings (Sawmill Village and the Lofts) have already become an accepted style in the neighborhood.



3.g. Garage fronts shall be set back not less than 25 feet from the property line abutting a public right-of-way or private street.

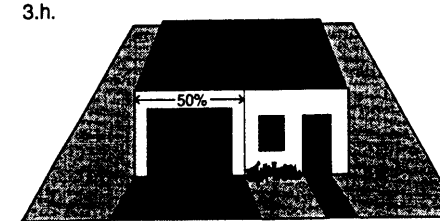
3.g and h. Most lots in Sawmill/Wells Park either have no garage or small, inconspicuous set back garages. Continuing this lot development pattern will contribute greatly to maintaining neighborhood character.

**EXCEPTION (REF. IX.B.)**

3.g. Garages on outside townhomes are setback 20 feet from the R/W instead of the 25 foot minimum of regulation 3.g. This exception is the same as the reduced garage setback allowed in the SU-2/S-DR Zone by the 2006 Sawmill/Wells Park Sector Plan Amendment.

As cited in the text of the amendment that legislated this change to the SU-2/S-DR Zone, the variance is not in conflict with any applicable plans, including the Albuquerque Bernalillo County Comprehensive Plan and the City's Zoning Code.

3.h. Not more than 50% of a building's street frontage width shall be garage front.

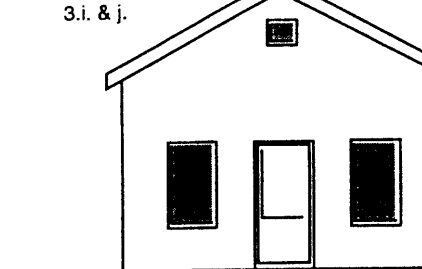


**EXCEPTION FOR TWO AND THREE UNIT BUILDINGS (REF. II.F.)**

3.h. The zoning code requires that four off-street parking spaces be provided for the three bedroom dwellings proposed with this request and the wider garages help to achieve compliance with this requirement. The narrow lots required for providing new townhomes in this neighborhood are necessary in order to attain higher density and keep the dwellings affordable. This regulation was established for replicating the appearance of small or no garage fronts on existing single family detached homes within older areas of the existing Sawmill Neighborhoods, which are not in close proximity to this request.

3.i. Front doors shall face the street. In townhouse and multiple dwelling unit development, the dwelling unit(s) adjacent to the public right-of-way shall face front doors toward the street.

3.i. and 3.j. are intended to complement existing development and to increase safety by improving surveillance on residential streets.



**THIS PLAN COMPLIES (REF. II.E.)**

3.j. Not less than 12.5% of a building facade facing a public right-of-way or private street shall be windows.

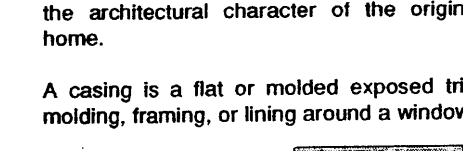
3.j. Underlined text indicates amendments adopted by Council Resolution R-14, Enactment # 24-2000.

**THIS PLAN COMPLIES (REF. II.J.)**

3.j. New buildings will promote street surveillance by containing numerous garage windows, first-floor windows, and second-story windows and decks to comply with this regulation.

3.k. New windows shall be recessed not less than 2 inches and/or shall be surrounded by a window casing not less than 2 inches wide.

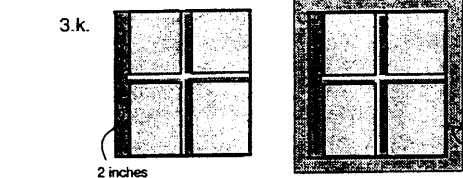
3.k. Windows are often the only distinguishing architectural feature on the simple homes in Sawmill/Wells Park. Replacement windows that are installed without recesses or casing often destroy the architectural character of the original home.



**THIS PLAN COMPLIES (REF. II.J.)**

3.l. Standard, unstuccoed 8-inch by 16-inch CMU block is not allowed as a finish material for buildings.

A casing is a flat or molded exposed trim molding, framing, or lining around a window.



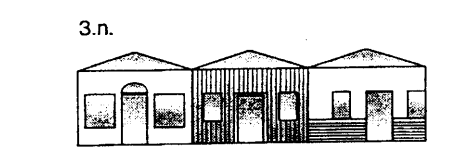
**THIS PLAN COMPLIES (REF. II.G.)**

3.m. Reflective glass is not permitted.

**THIS PLAN COMPLIES (REF. II.J.)**

3.n. Residential buildings with over 35 linear feet of building facade width facing and visible from a public right-of-way shall be designed to appear as a collection of smaller building blocks rather than a single large box or block.

3.n. Most of the houses in Sawmill/Wells Park are small and on small lots. Articulating the facades of large buildings will create interest along the street and will help large buildings fit into the community.



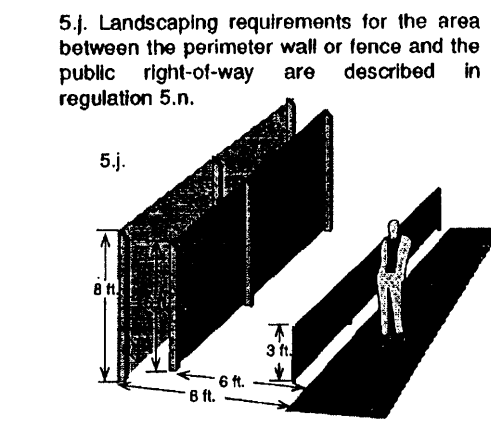
**THIS PLAN COMPLIES (REF. I.A. AND II.G.)**

3.n. Each segment of the new building facade varies from one side to the other, with outside units displaying a gable roof while half of the inside units are topped with a hip roof. The facade setbacks of these units exhibit frequent variability from one side of the building to the other in an effort to create the appearance of several smaller buildings. Stucco colors shall also vary from one unit to another.

**General SU-2 Regulations**

**5. ENCLOSURE AND SCREENING (continued):**

5.j. New site perimeter walls and fences and retaining walls contiguous to the public street right-of-way exceeding three feet in height shall be located inside the property line not less than the same number of feet as the height of the wall or fence.



**VARIANCE ON LOCATION**

5.j. A 5-foot setback shall be installed along Aspen Ave. against 5-foot perimeter wall within the R/W. The 75 feet of existing Aspen R/W is more than necessary for its local street status, thus the outside 5-foot can sufficiently accommodate the proposed setback without compromising its intended function.

5.l. Standard unstuccoed 8 inch by 16 inch CMU block is not allowed as a finish material for site perimeter walls facing the public right-of-way.

**THIS PLAN COMPLIES (REF. VII B and C.)**

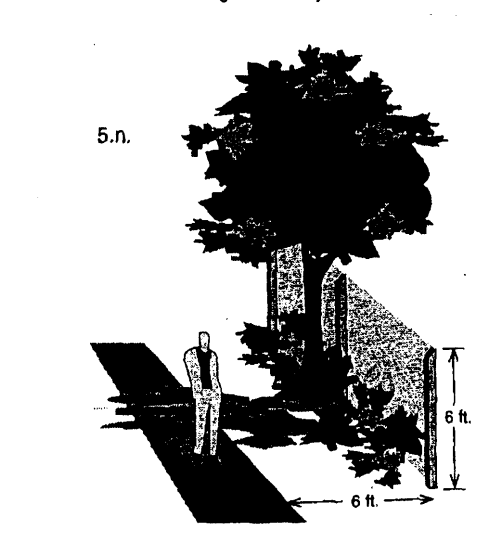
5.l. Split-face CMU block colored tan and gray will be installed along and facing Aspen Ave., which is not standard unstuccoed CMU.

5.n. All properties shall comply with the following regulation:

The property owner shall plant and maintain the area between the public right-of-way and site perimeter fences and walls located inside the property line.

Tree species shall be capable of shading the sidewalk at tree maturity. Shrubs shall be maintained to avoid blocking the sidewalk or obstructing clear sight triangles.

A minimum of 75% of the ground area between the wall and public right-of-way shall be covered with live plant material. Ground coverage shall be calculated by using the projected mature tree canopy sizes and mature plant sizes.

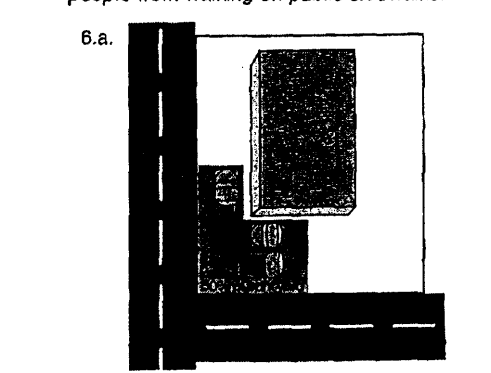


**VARIANCE ON LOCATION (REF. VII.H.)**

5.n. A 5-foot landscape buffer shall be installed and maintained by the HOA along Aspen Ave. within the R/W. A 5-foot landscaped buffer shall be installed along Aspen Ave. against the 5-foot perimeter wall within the R/W. The 75 feet of existing Aspen Ave. R/W is more than necessary for its local street status (collector road R/W widths are typically 68 ft.), thus the outside 5 feet of existing R/W can sufficiently accommodate the proposed landscaping buffer without compromising the street's intended function. The application shall obtain an encroachment agreement for the installation of landscaping within the R/W prior to the Aspen Ave. construction plans being approved by the City's Design Review Committee.

6.a. No more than 50% of each front, side, or rear yard set-back area contiguous to a public right-of-way shall be used for parking and/or driveway.

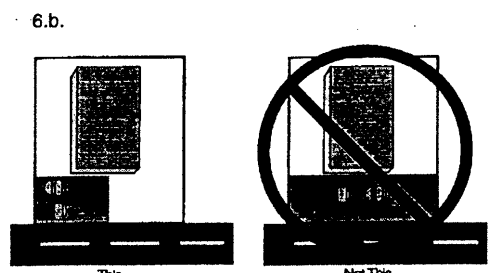
6.a. and b. These regulations are intended to prevent areas next to public right-of-way from becoming seas-of-cars that discourage people from walking on public sidewalks.



**EXCEPTION (REF. IX.C.)**

6.a. Garages on outside townhomes are 16 feet wide and their driveways are 17 feet wide. This additional 12 inches causes this regulation to be exceeded by 3%. The reason for this exception is due to the fact that driveways are traditionally at least 6 inches wider on each side of the garage opening to ensure that drainage flows away from the garage opening. It also keeps the opening clear of adjoining landscaping and it provides sufficient walking space around parked vehicles. The additional 3% of driveway width would be perceived as being relatively negligible when compared to the lot's entire 32-foot width.

6.b. The parking area, which includes any required walls, fences and landscaping, and/or driveway shall not be more than 50% of the property line contiguous to the public street right-of-way.

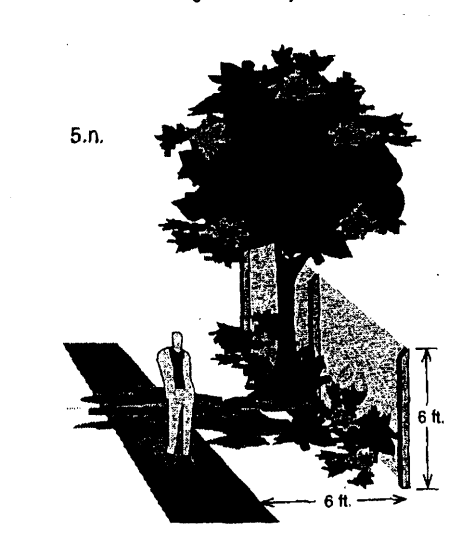
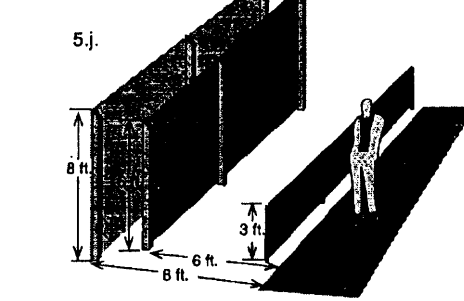


**EXCEPTION (REF. IX.C.)**

6.b. Garages on outside townhomes are 16 feet wide and their driveways are 17 feet wide. This additional 12 inches causes this regulation to be exceeded by 3%. The reason for this exception is due to the fact that driveways are traditionally at least 6 inches wider on each side of the garage opening to ensure that drainage flows away from the garage opening and to also keep it clear of adjoining landscaping in addition to providing sufficient walking space around parked vehicles. The additional 3% of driveway width would be perceived as being relatively negligible when compared to the lot's entire 32-foot width.

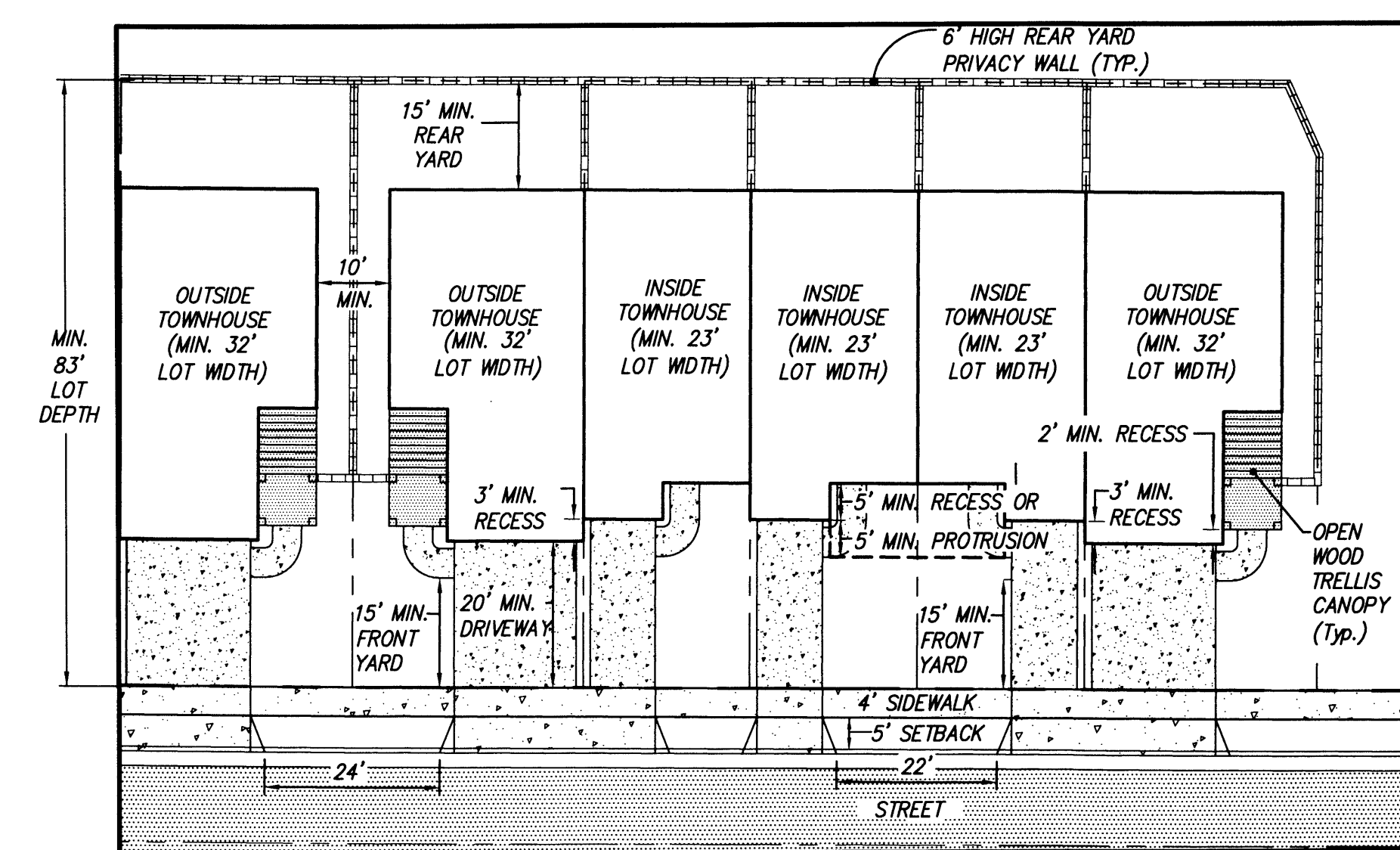
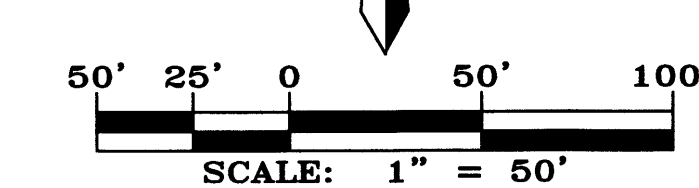
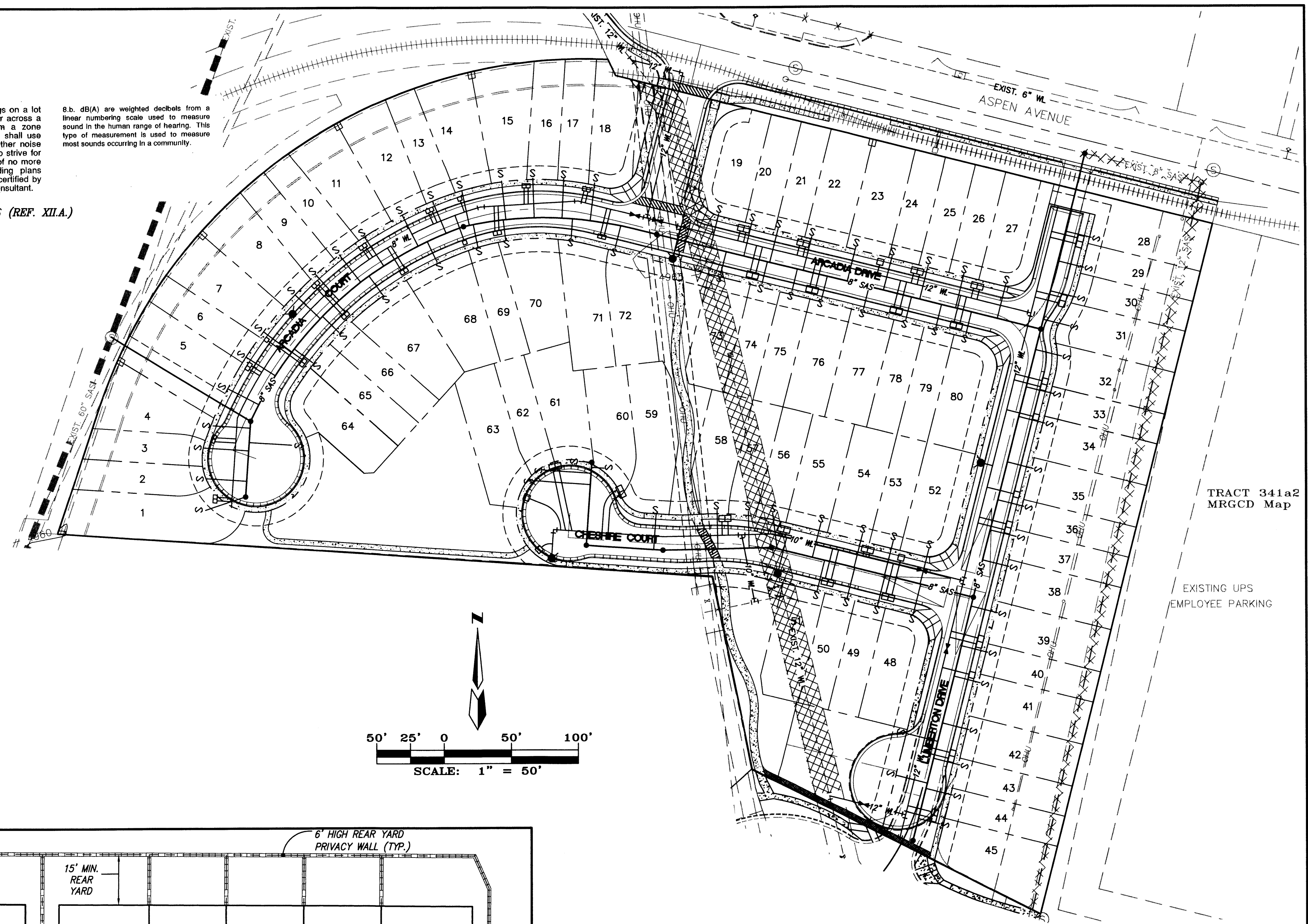
**NOTES AND ILLUSTRATIONS**

5.j. Landscaping requirements for the area between the perimeter wall or fence and the public right-of-way are described in regulation 5.n.



8.b. New residential buildings on a lot within, contiguous to, or across a public right-of-way from a zone allowing industrial uses shall use sound insulation and other noise attenuation measures to drive for an indoor sound level of no more than 45 dB(A). Building plans shall be prepared and certified by a qualified acoustical consultant.

**THIS PLAN COMPLIES (REF. XII.A.)**



**TYPICAL 5-UNIT TOWNHOME BUILDING LAYOUT**  
SCALE: 1" = 20'

**LEGEND**

- OH- EXISTING OVERHEAD UTILITY LINES
- ⊗ EXISTING IRRIGATION BOX
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING STORM DRAIN MANHOLE
- ⊕ EXISTING STORM DRAIN INLET
- ⊕ EXISTING LIGHT POST
- ⊕ EXISTING SIGNAL BOX
- ⊕ EXISTING WIRE FENCE
- ⊕ EXISTING SIGN
- SAS- EXISTING SANITARY SEWER LINE
- SD- EXISTING STORM DRAIN PIPE
- 6" SAS- NEW SANITARY SEWER LINE
- 6" WL- NEW WATERLINE
- ⊕ NEW DOUBLE WATER METER
- ⊕ NEW SANITARY SEWER MANHOLE
- ⊕ NEW SANITARY SERVICE LINE
- ⊕ NEW FIRE HYDRANT SERVICE LINE
- ⊕ REMOVE & DISPOSE EXISTING UTILITY TO BE REROUTED THROUGH SUBDIVISION STREET.

**SAWMILL CROSSING**  
**DESIGN STANDARDS AND**  
**CONCEPTUAL UTILITY PLAN**

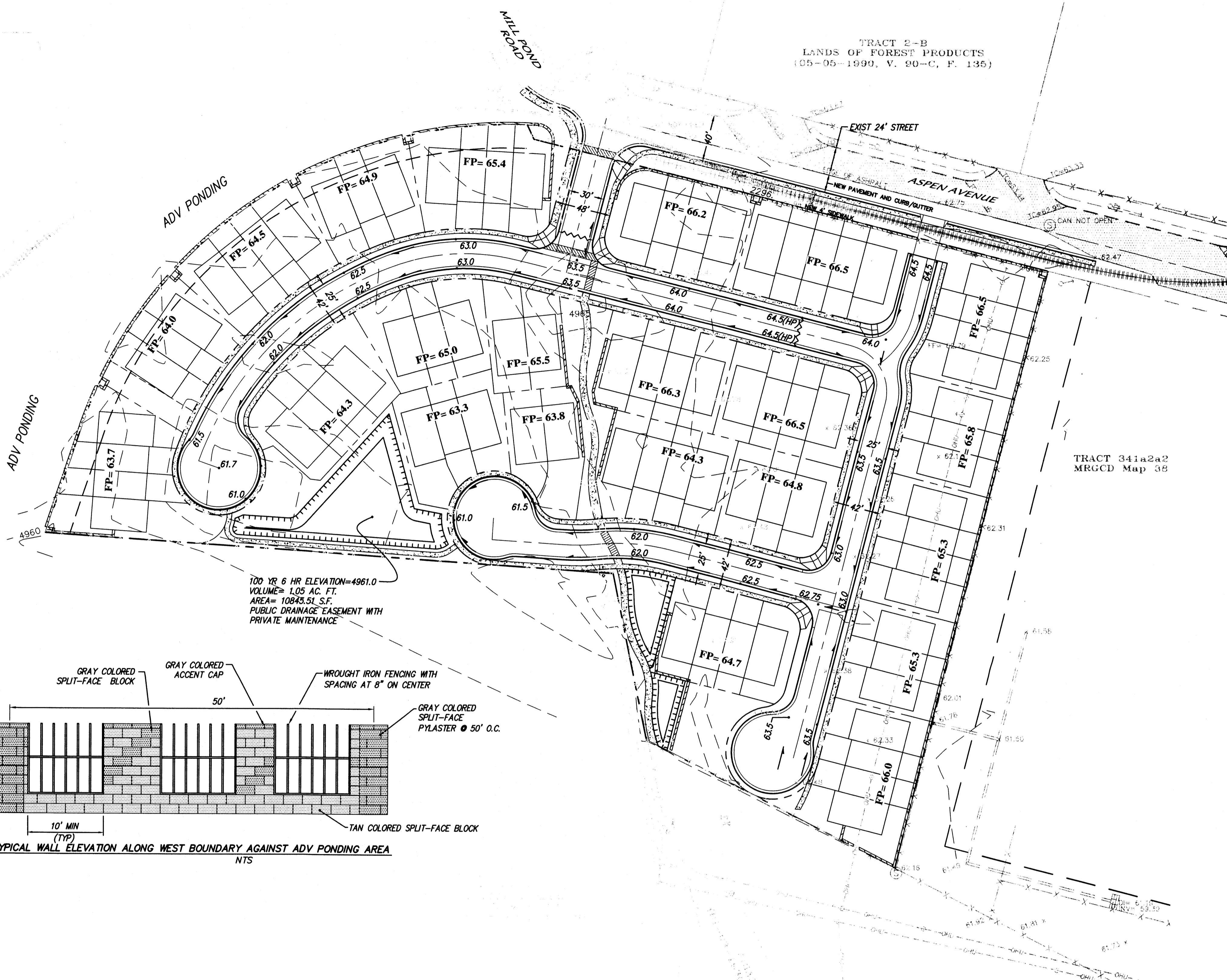
dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

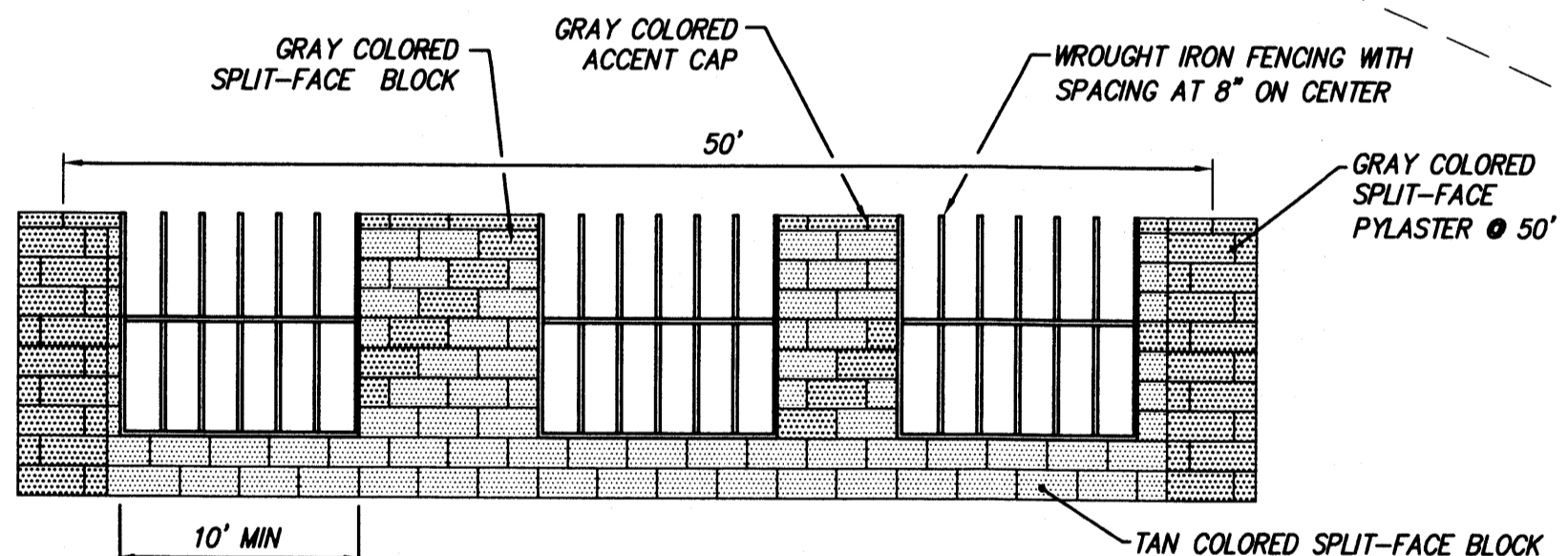
LAST REVISED: 03-26-12

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 3 of 6
Scale: 1" = 20'	Date: 2/1/2012	Job: A11047	

TRACT 2-B  
LANDS OF FOREST PRODUCTS  
105-05-1990, V. 90-C, F. 135)

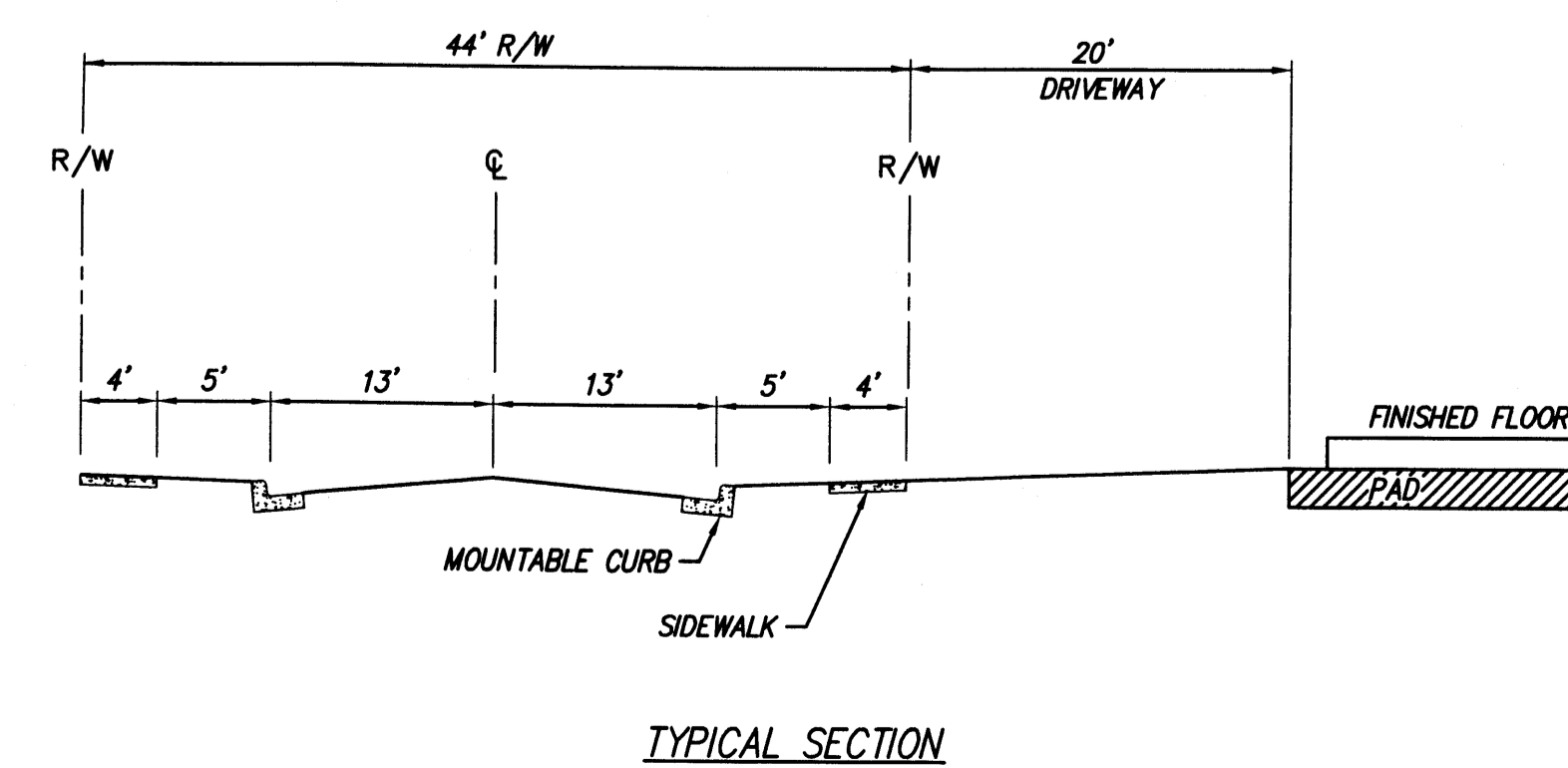
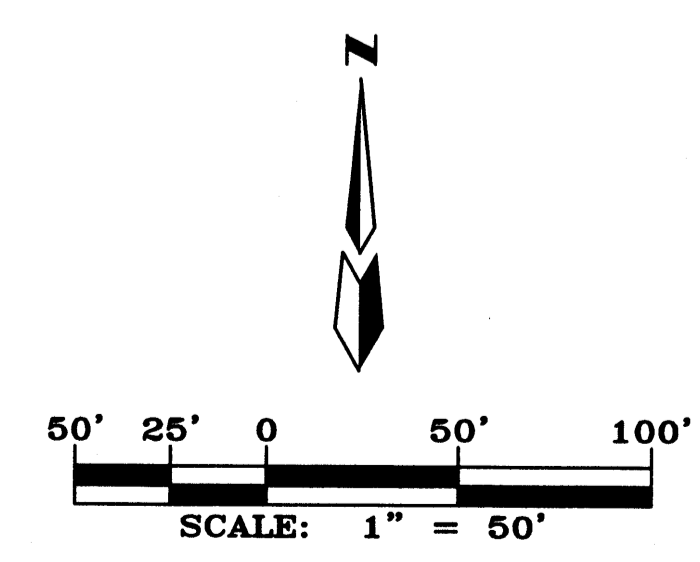


100 YR 6 HR ELEVATION=4961.0  
VOLUME= 1.05 AC. FT.  
AREA= 10843.51 S.F.  
PUBLIC DRAINAGE EASEMENT WITH  
PRIVATE MAINTENANCE

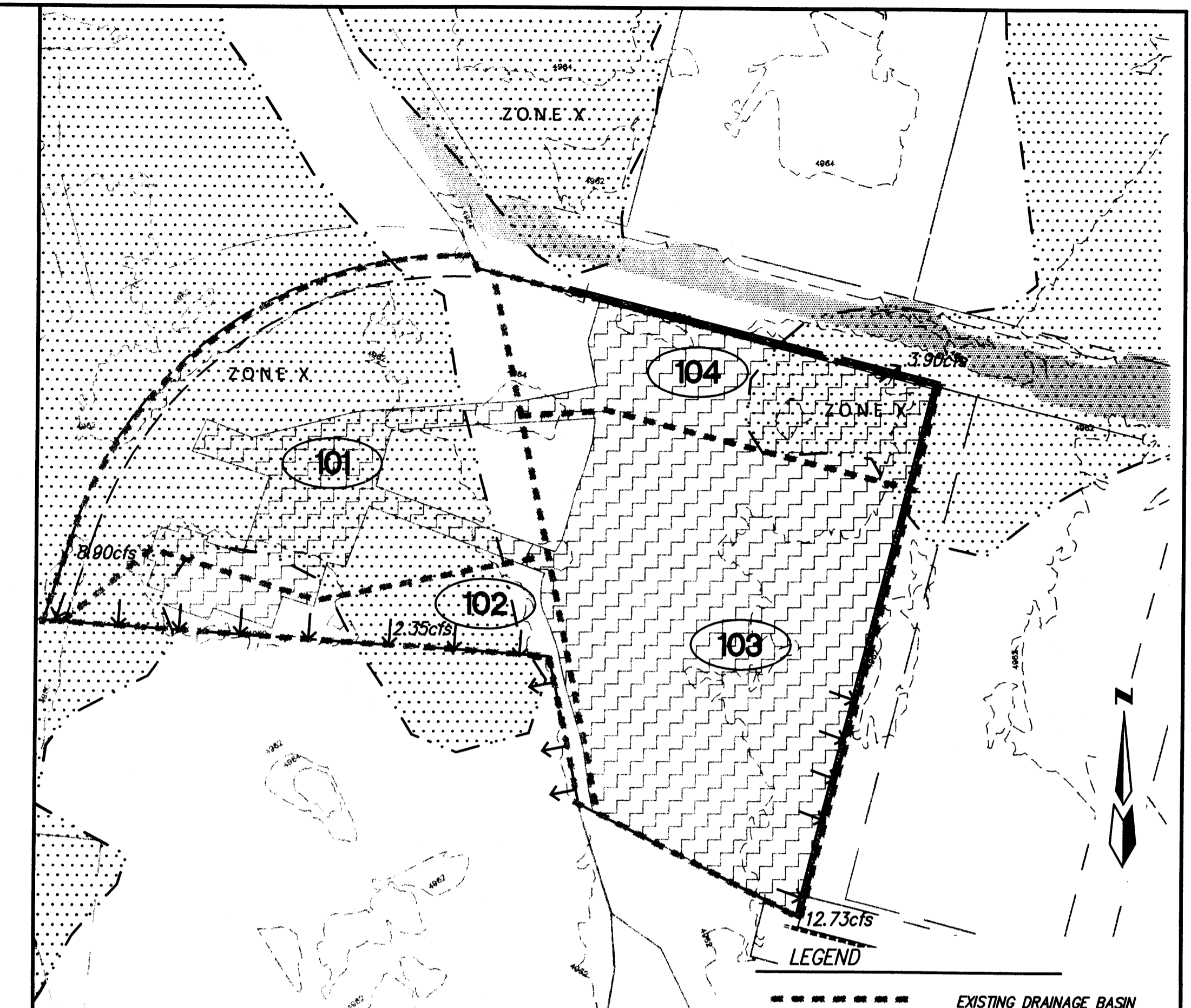


TYPICAL WALL ELEVATION ALONG WEST BOUNDARY AGAINST ADV PONDING AREA  
NTS

- LEGEND**
- 4962 --- EXISTING CONTOUR PER SURVEY BY ALDRICH LAND SURVEYING
  - EXISTING SPOT ELEVATION
  - EXISTING CURB & GUTTER
  - ===== NEW WALL
  - ===== NEW SIDEWALK
  - ===== NEW CURB & GUTTER
  - .61.7 NEW SPOT ELEVATION
  - FP= 64.8 NEW FINISHED PAD ELEVATION
  - NEW FLOW DIRECTION ARROW



TYPICAL SECTION



SAWMILL PREDEVELOPMENT DRAINAGE DETAIL  
SCALE: 1"=100'

PRE DEVELOPMENT RUNOFF CALCULATION

ID	AREA (AC)	IMPERV (%)	Q <sub>100</sub> (cfs)
101	2.5	30	8.92
102	0.7	15	2.35
103	2.8	95	12.73
104	0.9	80	3.90
TOTAL	6.9	-	27.90

- LEGEND**
- EXISTING DRAINAGE BASIN BOUNDARY
  - 103 DRAINAGE BASIN ID
  - ← DRAINAGE FLOW
  - ===== EXISTING IMPERVIOUS AREA
  - LIMITS OF FLOOD HAZARD ZONE X (SHADED)
  - LIMITS OF FLOOD HAZARD ZONE X (SHADED)
  - 4962 --- EXISTING CONTOUR

**LEGAL DESCRIPTION:**  
LOT B-1-A-2 OF THE DUKE CITY LUMBER ADDITION  
6.9292 ACRES FILLED DECEMBER 15, 1995.  
VOLUME 95C FOLIO 451  
ZONE ATLAS PAGE - H-13

**EXISTING SITE TOPOGRAPHY**

TOPOGRAPHIC INFORMATION ON THIS PLAN WAS OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. IT IS PART OF THE 2004 TOPOGRAPHIC SURVEY ON NAVD '88 DATUM AND IT HAS A 2' CONTOUR INTERVAL. EXISTING IMPERVIOUS SURFACES ON THE SITE HAVE BEEN DIGITIZED BASED ON A 2010 ORTHOPHOTO OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. THERE ARE SEVERAL EXISTING CONCRETE BUILDING FOUNDATIONS REMAINING ON THE SITE, BUT THERE ARE NOT ANY EXISTING STRUCTURES. THERE IS EXTENSIVE ASPHALT PAVING ON THE SITE THAT HAS NOT BEEN MAINTAINED FOR SEVERAL YEARS SO IT HAS TALL GRASS AND WEEDS GROWING IN THE CRACKS. THE SITE IS LOCATED ON A RIDGE THAT BISECTS THE SITE IN A NORTH/SOUTH DIRECTION. AN ELECTRIC POWER TRANSMISSION LINE AND ABRONIA WATERLINE AS LOCATED ON THE CREST OF THAT RIDGE. THE SITE IS FLAT SLOPING EAST AND WEST AWAY FROM THE RIDGE AT ABOUT 1% SLOPE. THERE IS NO DRAINING ONTO THIS SITE FROM ADJOINING PROPERTY BECAUSE THIS SITE IS HIGHER THAN NEIGHBORING PROPERTIES IN ALL DIRECTIONS EXCEPT NORTH AND ASPEN AVE. DRAINS TO THE EAST. FROM THE RIDGE ELEVATION, 4964' THE ELEVATION DECREASES ABOUT 2' TO THE EAST PROPERTY LINE AND ABOUT 4' TO THE WEST PROPERTY LINE.

STORM WATER RUNOFF FROM THE EAST HALF OF THIS SITE APPEARS TO HAVE HISTORICALLY DRAINED ON THE SURFACE INTO THE PROPERTY TO THE EAST OF THIS SITE. A VALLEY GUTTER IS LOCATED IN THE ASPHALT PAVING ABOUT 100' NORTH OF THE SOUTH EDGE OF THIS SITE AND DRAINS THRU THE PARKING LOT EAST OF THIS SITE INTO A MUCH DEEPER VALLEY GUTTER IN THAT NEIGHBORING PARKING LOT. THAT DEEPER VALLEY GUTTER DRAINS FROM NORTH TO SOUTH. IT INTERCEPTS ALL OF THE DRAINAGE FROM THE EAST HALF OF THIS SITE TOGETHER WITH DRAINAGE FROM THE OFFSITE PARKING LOT LOCATED EAST OF THIS SITE AND CONVEYS IT TO AN EXISTING SMALL (10" OR 12") STORM SEWER LOCATED 300' EAST OF THIS SITE IN BELLAHMAH AVE. EXCESS DRAINAGE MAY CREATE NUISANCE PONDING EITHER IN BELLAHMAH AVE. ON THE PRIVATE PROPERTY SOUTH OF BELLAHMAH AVE.

A RAILROAD SPUR ALONG THE NORTH AND WEST EDGE OF THE SITE IS DEPRESSED SLIGHTLY BELOW THE ADJACENT TERRAIN. THE RAILS AND TIES HAVE BEEN REMOVED FROM THE WEST HALF OF THE SITE. STORM WATER RUNOFF FROM THE WEST HALF OF THE SITE IS COLLECTED IN THE DEPRESSED RAIL SPUR AND CONVEYED TO THE SOUTH IN THAT HISTORIC SPUR ALIGNMENT. THE SITE DOES NOT DRAIN DIRECTLY INTO THE PRIVATE RETENTION/DETENTION POND ADJOINING THIS PROPERTY TO THE WEST. THERE IS AN EXISTING 60" SAS INTERCEPTOR LOCATED ON THE PROPERTY WEST OF THIS SITE BETWEEN THIS SITE AND THAT EXISTING PRIVATE POND. BOTH THE WEST HALF OF THIS SITE AND A 20 ACRE AREA DRAINING INTO THE EXISTING OFFSITE POND HAVE HISTORICALLY DRAINED TO AN EXISTING 18" STORM SEWER LINE IN BELLAHMAH AVE. WHICH ONLY HAS 40FS CAPACITY; NOT ENOUGH CAPACITY TO CONVEY THE HISTORIC RUNOFF; THUS RESULTING IN EXISTING OFFSITE PONDING AREAS TO THE SOUTH AND WEST OF THE SITE.

**FLOODPLAINS**

ACCORDING TO FLOOD INSURANCE RATE MAP FIRM, MAP NUMBER 3500100331G, REVISED SEPTEMBER 26, 2008, THERE ARE NOT ANY REGULATED FLOOD HAZARD ZONES ON THIS SITE. THERE IS HOWEVER, A NON-REGULATED SHADED ZONE "X" ON THE NORTHEAST CORNER AND IN THE SOUTHWEST CORNER INDICATING EITHER A 500 -YR FLOODZONE OR AN AREA PROTECTED BY LEVEE. THERE ARE ALSO TWO "AH" ONES, "ELEVATION = 4959'" LOCATED ABOUT 500' WEST AND SOUTHWEST OF THIS SITE.

**DRAINAGE MANAGEMENT PLAN**

DUE TO THE LIMITED CAPACITY OF EXISTING DOWNSTREAM DRAINAGE FACILITIES, ALL ONSITE STORM WATER RUNOFF FROM THE 100-YR RECURRENCE INTERVAL SIX HOUR DURATION STORM WILL BE CONTAINED IN ONSITE PRIVATELY MAINTAINED RETENTION POND. EXCESS VOLUME, IF ANY, WILL DRAIN AT A RATE NOT TO EXCEED 1.0 CFS IN ITS HISTORIC DISCHARGE LOCATION.

POST DEVELOPMENT VOLUME CALCULATIONS

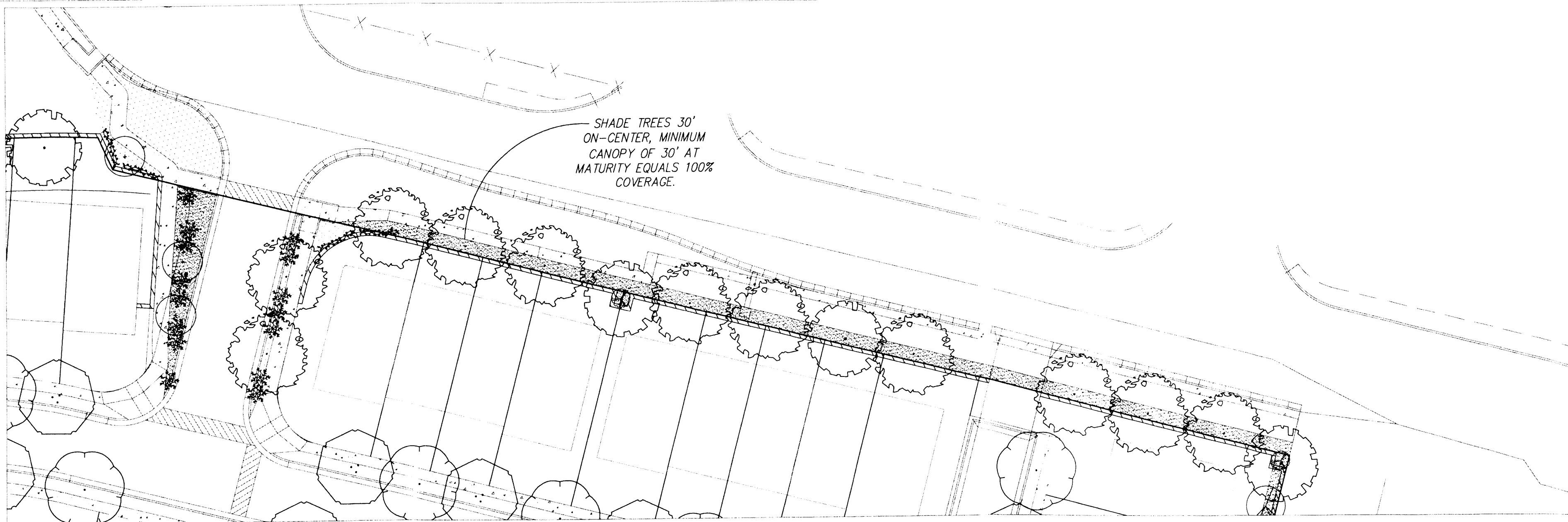
USE 70% IMPERVIOUS FROM TABLE A-5
MECESS PRECIPITATION FROM TABLE A-8 (ZONE2)
$2yr[(70\% \times 0.79") + (30\% \times 0.15")] = 0.60"$
$100yr[(70\% \times 2.12") + (30\% \times 1.13")] = 1.82"$
$2yr(6hr)Volume = 15,028cf = 0.34 ac ft$
$100yr 6hr Volume = 45,585cf = 1.05 ac ft$

**SAWMILL CROSSING**  
**CONCEPTUAL GRADING PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

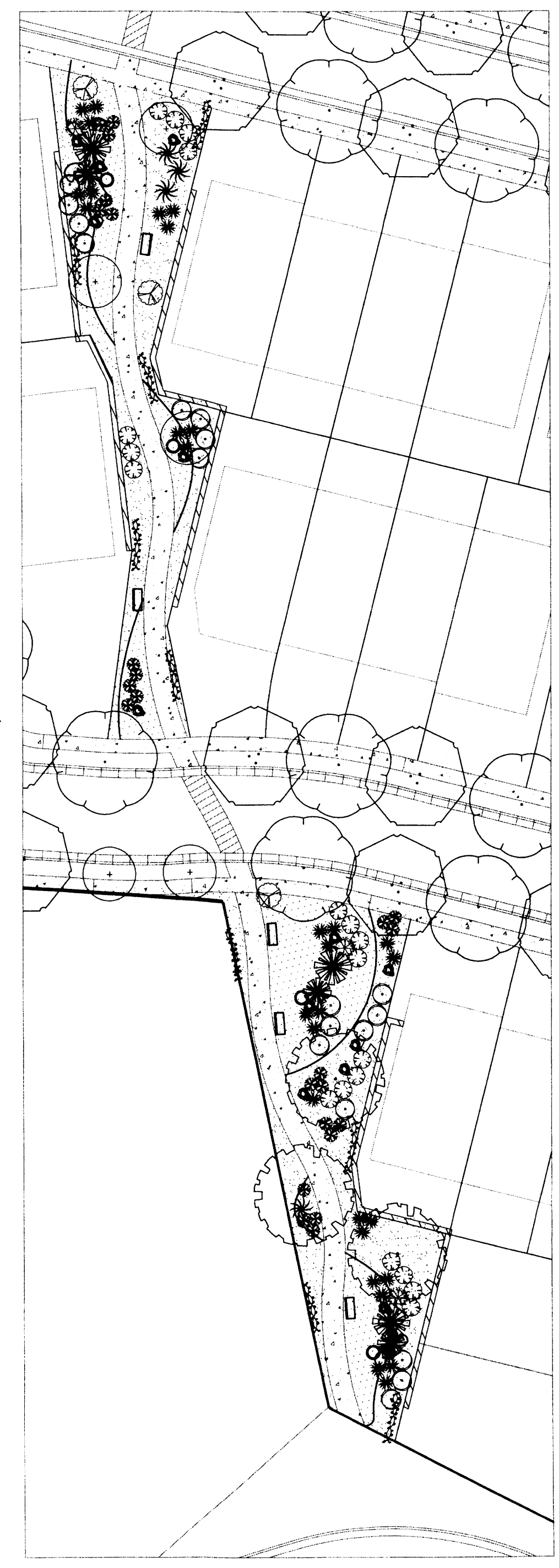
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG  
Scale: 1" = 20' Date: 2/1/2012 Job: A10061 Sheet 4 of 6

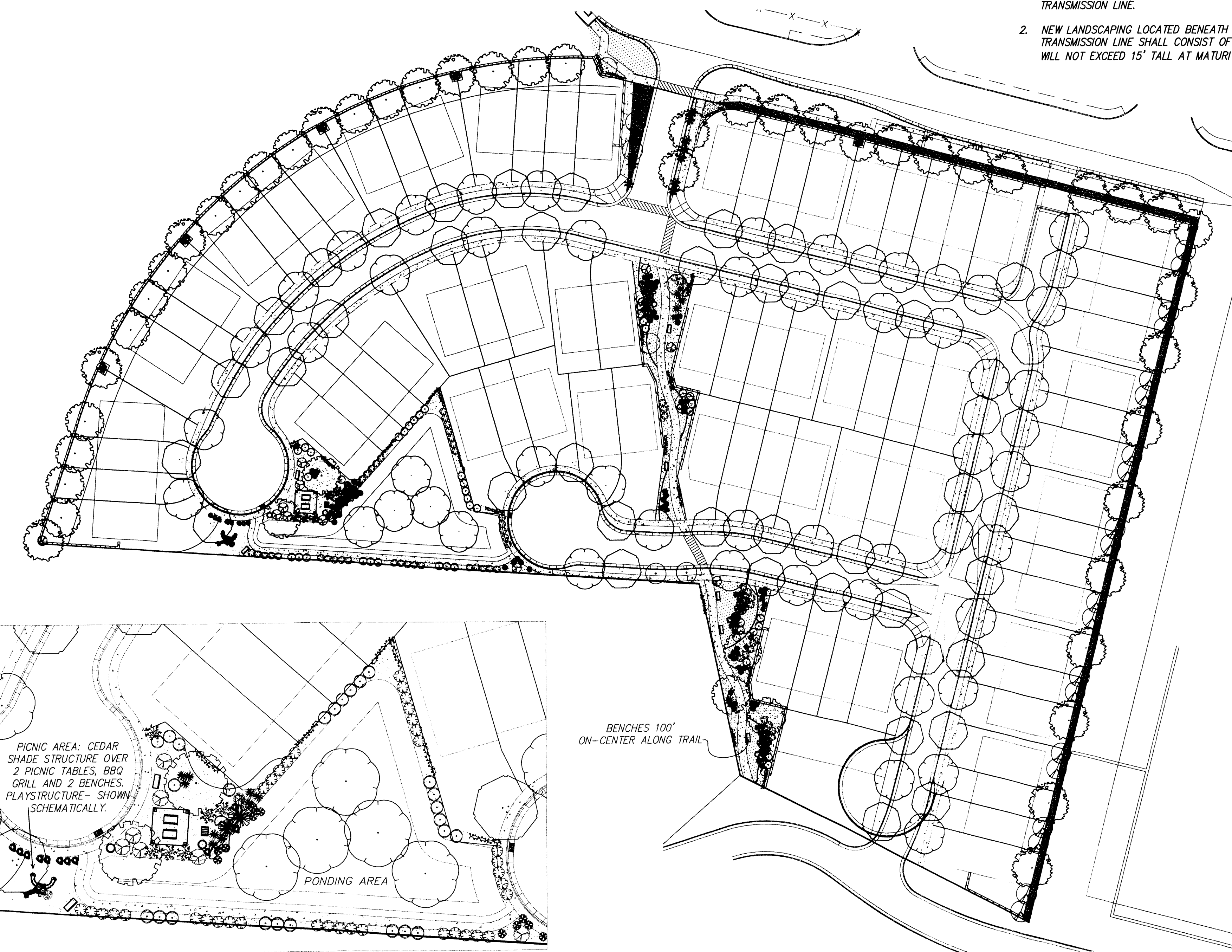


ENTRY DETAIL  
SCALE: 1" = 30'

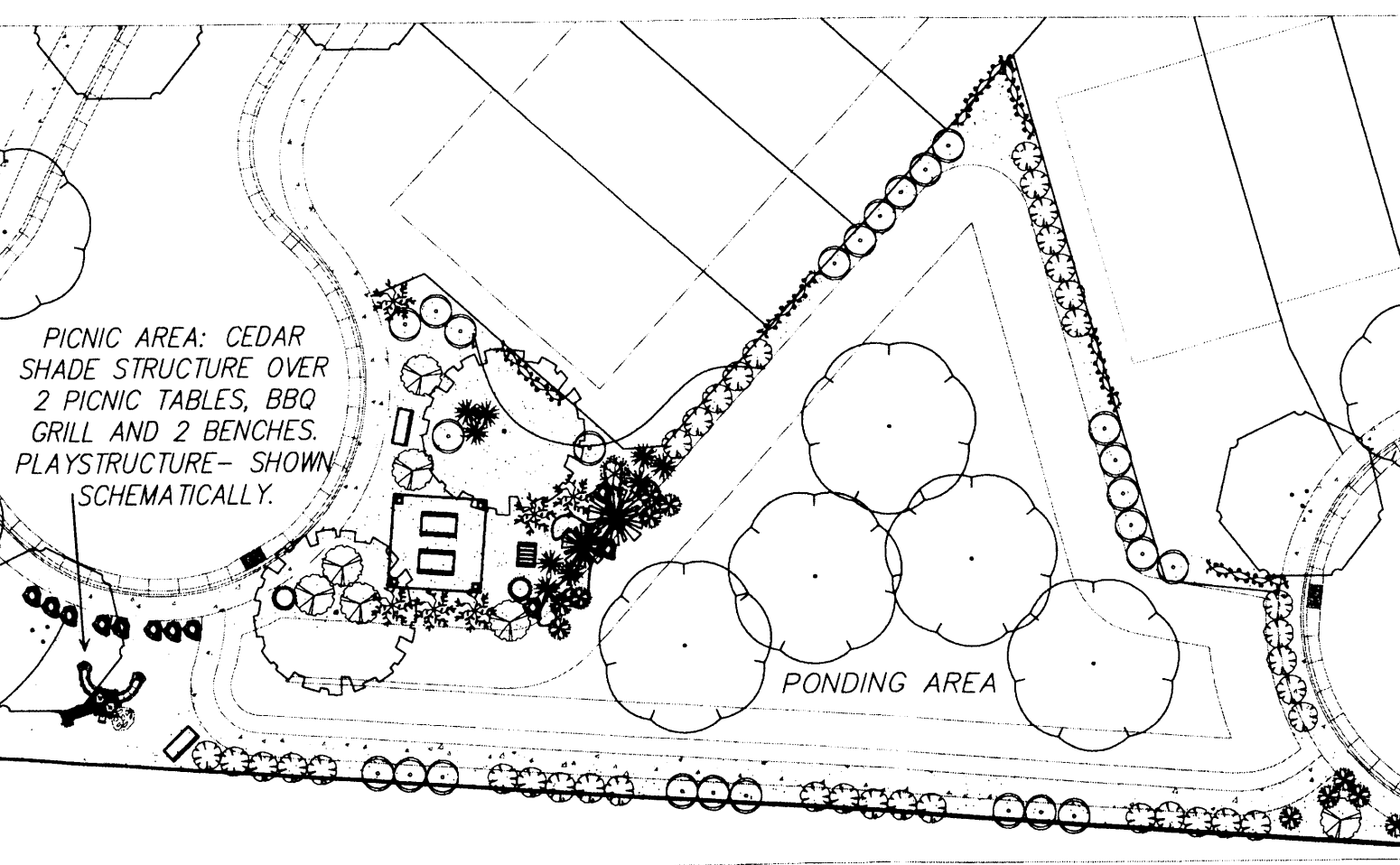
- NOTES**
1. IF PLAYGROUND EQUIPMENT IS INSTALLED, IT SHALL BE LOCATED AT LEAST 40 FEET AWAY FROM THE EXISTING OH TRANSMISSION LINE.
  2. NEW LANDSCAPING LOCATED BENEATH THE EXISTING OH TRANSMISSION LINE SHALL CONSIST OF TREE SPECIES THAT WILL NOT EXCEED 15' TALL AT MATURITY.



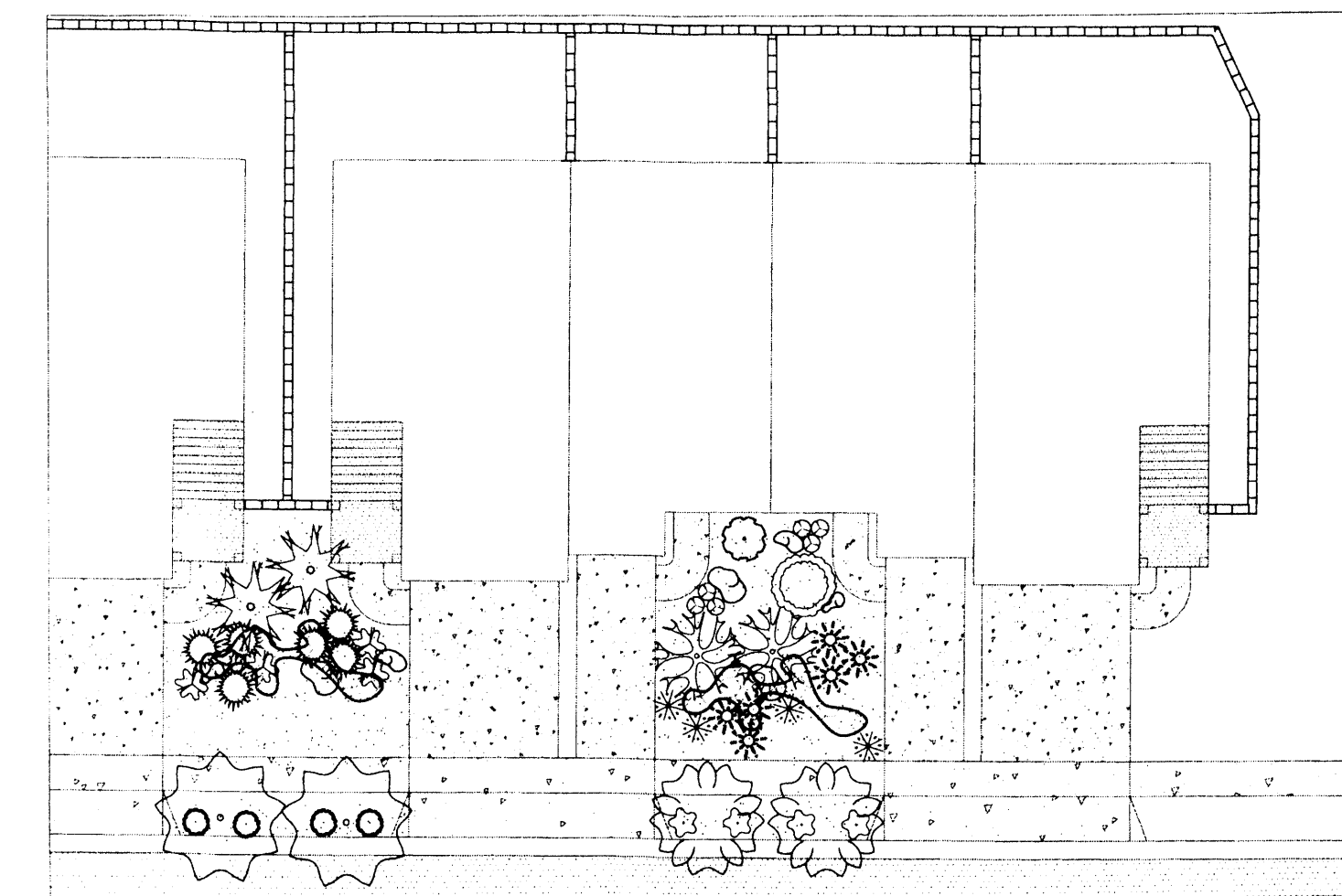
PEDESTRIAN TRAIL  
SCALE: 1" = 30'



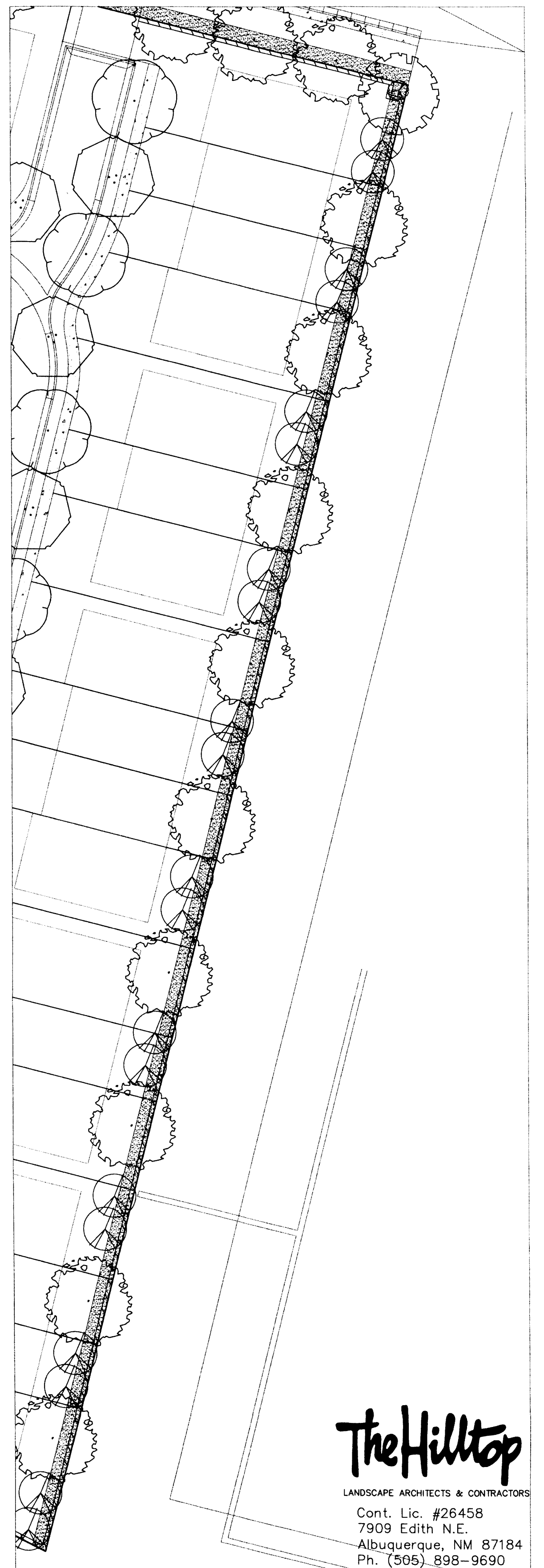
LANDSCAPE PLAN  
SCALE: 1" = 50'



PICNIC AREA DETAIL  
SCALE: 1" = 30'



TYPICAL LOT DETAIL  
SCALE: 1" = 20'



EAST BOUNDARY  
SCALE: 1" = 30'

**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7237  
 cmj@hilltoplandscaping.com

REVISED: 5-17-12 CMJ

**SAWMILL CROSSING  
LANDSCAPE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Scale: 1" = 50'	Date: 11/17/2011	Job: A11047	Sheet 5 of 6
--------------	------------	--------------	-----------------	------------------	-------------	--------------

I:\ALDOB5A11047 Sawmill Crossing\LANDSCAPE PLANS\A11047 Sawmill Landscape\_1.dwg, 3/29/2012 6:20:36 PM, Stephen

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

**SHADE TREE**

- COMMON HACKBERRY 46 (Shown Schematically Or) *Celtis occidentalis*  
2" Gal., 12-14' Inst./40' x 40' maturity  
Water (M) Allergy (L) 0sf
- SYCAMORE 48 (Shown Schematically Only) *Platanus spp.*  
2" Gal., 12-14' Inst./60' x 70' maturity  
Water (M+) Allergy (H) 0sf

**CHITALPA 26**

- Chilopsis x Catalpa*  
2" Gal., 12-14' Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf

**AUTUMN BLAZE MAPLE 25**

- Acer x Freemanii 'Autumn Blaze'*  
2" Gal., 12-14' Inst./40' x 50' maturity  
Water (M) Allergy (L) 0sf

**SMALL TREE FOR 'OHU' COMPLIANCE**

- NEW MEXICO OLIVE 11 *Forestiera neomexicana*  
15 Gal., 4-10' Inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf

**SCREENING TREE**

- WESTERN RED CEDAR 20 *Thuja plicata 'Green Giant'*  
15 Gal., 10' Inst./40' x 15' maturity  
Water (M) Allergy (L) 225sf

**DESERT ACCENTS**

- PALM YUCCA 6 *Yucca faxonla*  
5 gal., 15' x 6' maturity  
Water (L) Allergy (L) 0sf

**OCOTILLO 3**

- Fouquieria splendens*  
4'-6" Inst./15' x 10' maturity  
Water (L) Allergy (L) 0sf

**RUSSIAN SAGE 44**

- Perovskia atriplicifolia*  
5 Gal., 18"-3' Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf

**CHAMISA 56**

- Chrysothamnus nauseosus*  
1 Gal., 6"-15" Inst./3' x 3' maturity  
Water (L) Allergy (L) 25sf

**BANANA YUCCA 4**

- Yucca baccata*  
5 Gal., 18"-3' Inst./4' x 5' maturity  
Water (L) Allergy (L) 25sf

**RED YUCCA 35**

- Hesperaloe parviflora*  
5 Gal., 18"-3' Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf

**REGAL MIST 35**

- Muhlenbergia capillaris*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf

**MUGO PINE 5**

- Pinus mugo*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf

**GROUNDCOVERS**

- BUFFALO JUNIPER 21 *Juniperus sabina 'Buffalo'*  
5 Gal., 24"-4' Inst./2' x 3' maturity  
Water (L+) Allergy (L) 64sf  
Symbol indicates 3 plants

**LADY BANK'S ROSE 18**

- Rosa banksiae*  
5 Gal., 24"-4' Inst./3' x 20' maturity  
Water (M) Allergy (L) 400sf  
Unstaked groundcover

**VINES**

- TRUMPET VINE 22 *Campsis radicans*  
1 Gal., 6"-15" Inst./climbing to 40'  
Water (M) Allergy (L)

**HARDSCAPES**

- COMMERCIAL GRADE STEEL EDGING
- 4" CONCRETE MOUNCURB

- SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

- BIOENGINEERED WOOD FIBER COMPACTED TO A 12" DEPTH WITH FILTER FABRIC

- OVERSIZED GRAVEL & 15 BOULDERS

\* DENOTES EVERGREEN PLANT MATERIAL

**FRONT YARD PLANT MATERIAL**

- VITEX *Vitex agnus-castus*  
15 Gal., 4-10' Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf

**NEW MEXICO OLIVE**

- Forestiera neomexicana*  
15 Gal., 4-10' Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf

**ROSE OF SHARON**

- Hibiscus syriacus*  
5 Gal., 2-4' Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf

**SPANISH BROOM**

- Genista hispanica*  
5 Gal., 2-4' Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf

**SCOTCH BROOM**

- Cytisus scoparius*  
5 Gal., 18"-3' Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf

**BLUE MIST SPIREA**

- Caryopteris clandonensis*  
5 Gal., 12"-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf

**DEER GRASS**

- Muhlenbergia rigens*  
1 Gal., 6"-15" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf

**POTENTILLA**

- Potentilla fruticosa*  
1 Gal., 3"-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 4sf

**THREADGRASS**

- Stipa tenuissima*  
1 Gal., 3"-15" Inst./2' x 2' maturity  
Water (L+) Allergy (L) 4sf

**CATMINT**

- Nepeta mussini*  
1 Gal., 3"-15" Inst./1' x 2' maturity  
Water (M) Allergy (L) 4sf

**COURTYARD PLANT MATERIAL**

- GREEN MOUND JUNIPER *Juniperus procumbens 'Green Mound'*  
5 Gal., 6"-15" Inst./8' x 8' maturity  
Water (L+) Allergy (H) 64sf

**NANDINA**

- Nandina domestica*  
5 Gal., 2-4' Inst./8' x 5' maturity  
Water (M+) Allergy (L) 25sf

**WILDFLOWER**

- 1 Gal., 3"-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf

**HARDSCAPES**

- 3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

**OVERSIZED GRAVEL**

- & 15 BOULDERS

\* DENOTES EVERGREEN PLANT MATERIAL

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.

Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.

Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.

Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

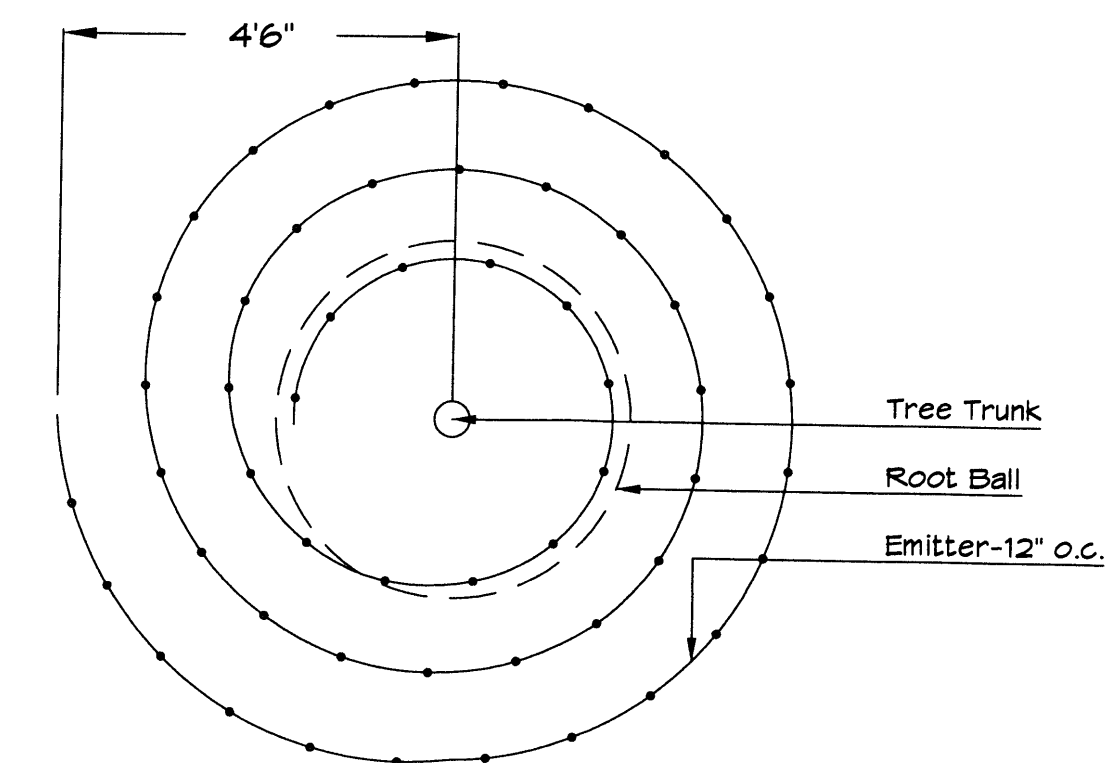
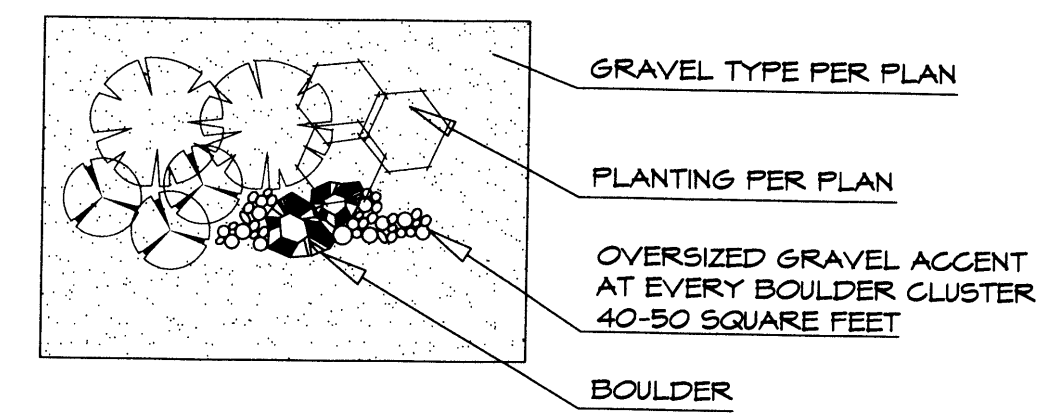
Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

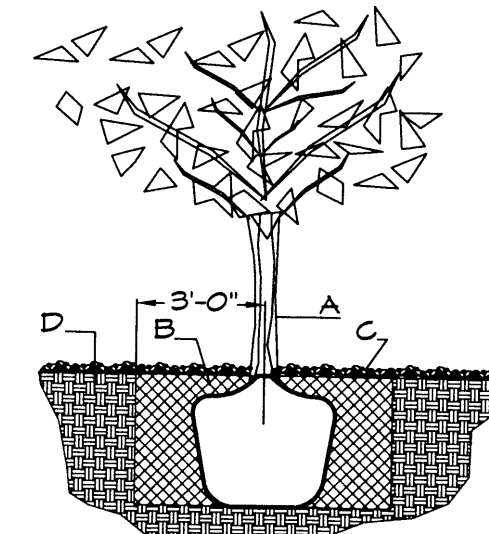
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**GRAVEL ACCENT DETAIL**



**Netafim Spiral Detail**



**TREE PLANTING DETAIL**

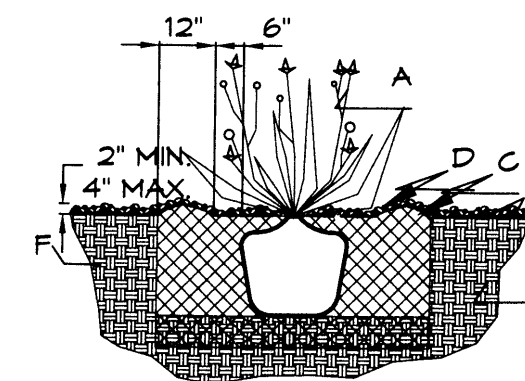
NTS

**GENERAL NOTES:**

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**

- TREE
- BACKFILL WITH EXISTING SOIL.
- 3" DEPTH OF GRAVEL MULCH.
- UNDISTURBED SOIL.



**SHRUB PLANTING DETAIL**

NTS

**GENERAL NOTES:**

- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**

- SHRUB.
- BACKFILL WITH EXISTING SOIL.
- EARTH BERM AROUND WATER RETENTION BASIN.
- 3" DEPTH OF GRAVEL MULCH.
- FINISH GRADE.
- UNDISTURBED SOIL.

**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS

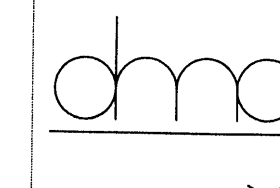
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

REVISED: 5-17-12 CMJ

**SAWMILL CROSSING**

**LANDSCAPE PLAN**



**MARK GOODWIN & ASSOCIATES, P.A.**  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 6 of 6
Scale: 1" = 50'	Date: 11/17/2011	Job: A11047	

**PRELIMINARY PLAT FOR  
SAWMILL CROSSING  
UNIT 1**  
WITHIN THE  
TOWN OF ALBUQUERQUE GRANT  
PROJECTED SECTION 7  
TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2012

LINE	BEARING	DISTANCE
L1	S 24°39'11" E (S24°39'11"E)	13.34' (13.34')

**SUBDIVISION DATA**

GROSS ACREAGE	6.9323 AC
ZONE ATLAS NO.	H-13-Z
NO. OF LOTS EXISTING	1 LOTS
NO. OF LOTS/TRACTS CREATED	27 LOTS/4 TRACTS
DATE OF SURVEY	JANUARY, 2012

**DESCRIPTION**

A tract of land situate within the Town of Albuquerque Grant, projected Section 7, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of LOT B-1-A-2, DUKE CITY LUMBER COMPANY ADDITION, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 1995 in Volume 95C, Folio 451, and containing 6.9323 acres more or less.

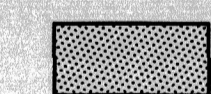



**PURPOSE OF PLAT**

- SUBDIVIDE LOT B-1-A-2, DUKE CITY LUMBER COMPANY ADDITION INTO 27 RESIDENTIAL LOTS, AND 4 TRACTS.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

**NOTES**

- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
  - "DUKE CITY LUMBER COMPANY ADDITION", (12-15-1995, 95C-451)
  - "DUKE CITY LUMBER COMPANY ADDITION", (05-17-1996, 96C-204)
  - "DUKE CITY LUMBER COMPANY ADDITION", (09-17-1990, 90C-222)
  - "DUKE CITY LUMBER COMPANY ADDITION", (04-04-1978, D8-102)
  - "DUKE CITY LUMBER COMPANY ADDITION", (12-22-1971, D4-177)
  - "SAWMILL VILLAGE", (08-23-2010, 2010C-103)
  - "LANDS OF FOREST PRODUCTS CO.", (05-25-1990, 90C-135)
  - "LANDS OF FOREST PRODUCTS CO.", (02-11-2010, 2010C-19)
  - "ARBOLERA DE VIDA UNIT 2B", (04-14-2008, 2008C-70)
  - "SPECIAL WARRANTY DEED", (02-28-1992, 199217638)
  - "LANDS OF OTTO SCHEER", (Dated 09-09-1943)
  - "INDUSTRIAL PROPERTY & LEAD TRACK", (Dated 04-28-1947)
- ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY PERFORMED IN JANUARY, 2012.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: S-1
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X AND ZONE X (AREAS PROTECTED BY DIKES AND LEVEES), AS SHOWN ON PANEL 331 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008.
- AS NECESSARY, EACH REAR YARD SHALL CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARD RUNOFF FROM ADJOINING LOTS, TO BE FURTHER DETAILED ON THE FINAL PLAT. SIDE YARDS THAT ARE NOT PART OF AN ATTACHED DWELLING SHALL ALSO CONTAIN A PRIVATE DRAINAGE EASEMENT TO CONVEY REAR YARDS FLOWS TO THE STREET.
- TRACT B SHALL CONTAIN A 3-FOOT PRIVATE DRAINAGE EASEMENT ALONG THE REAR YARD BOUNDARY OF LOT 67 FOR THE BENEFIT OF LOTS 68 AND 69.
- SIDEWALK CULVERTS AT THE STREET AND OTHER IMPROVEMENTS WITHIN PRIVATE DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE PROPERTY OWNER(S) WHO BENEFIT FROM THE EASEMENTS.

**LEGEND**

-  LIMITS OF VACATION
-  RIGHT OF WAY VACATION
-  CENTER LINE MONUMENT OF PUBLIC ROADWAY.
-  SET 5/8 REBAR WITH CAP "LS 7719".

**SURVEYOR**

ALDRICH LAND SURVEYING  
P.O. BOX 30701  
ALBUQUERQUE, N.M. 87190  
(505) 884-1990

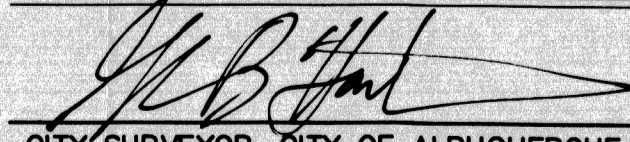
**OWNERS**

SAWMILL CROSSING, LLC  
7400 HANCOCK CT. NE  
ALBUQUERQUE, NM 87109  
PH: (505) 797-1134  
FAX: (505) 797-8589


**ENGINEERS**

D. MARK GOODWIN &  
ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90806  
ALBUQUERQUE, NM 87199  
(505) 828-2200

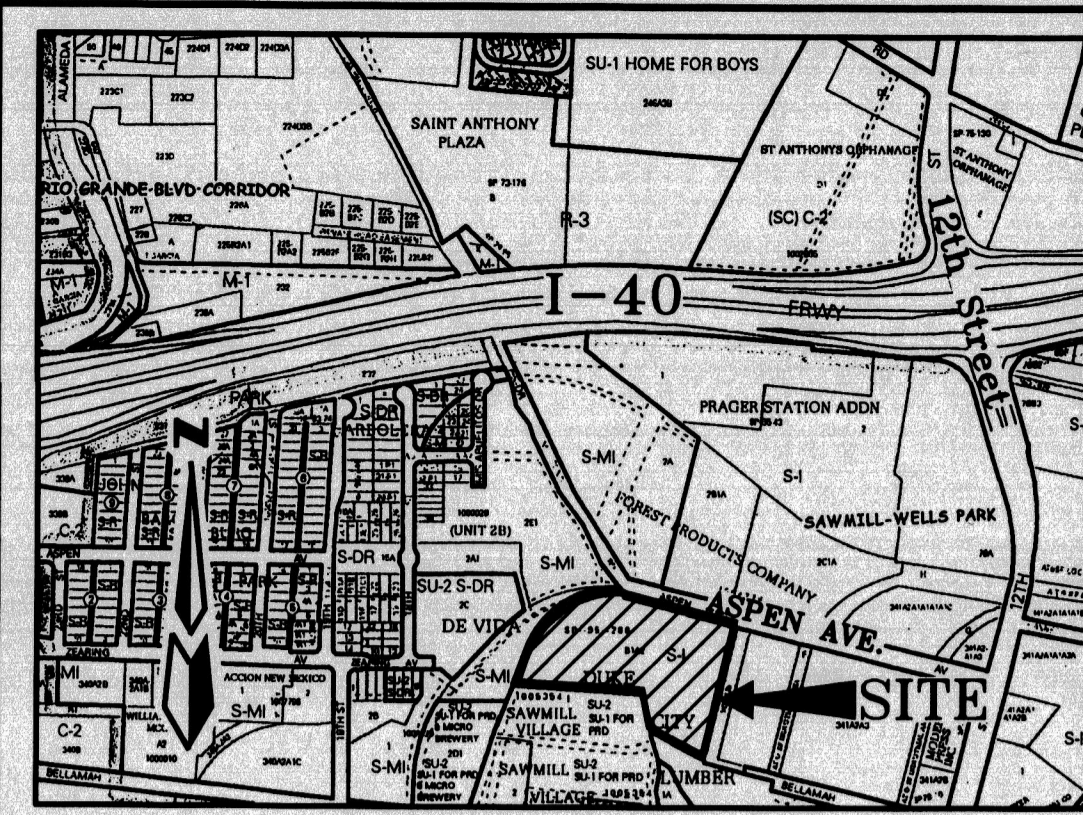
**APPROVED**

  
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.

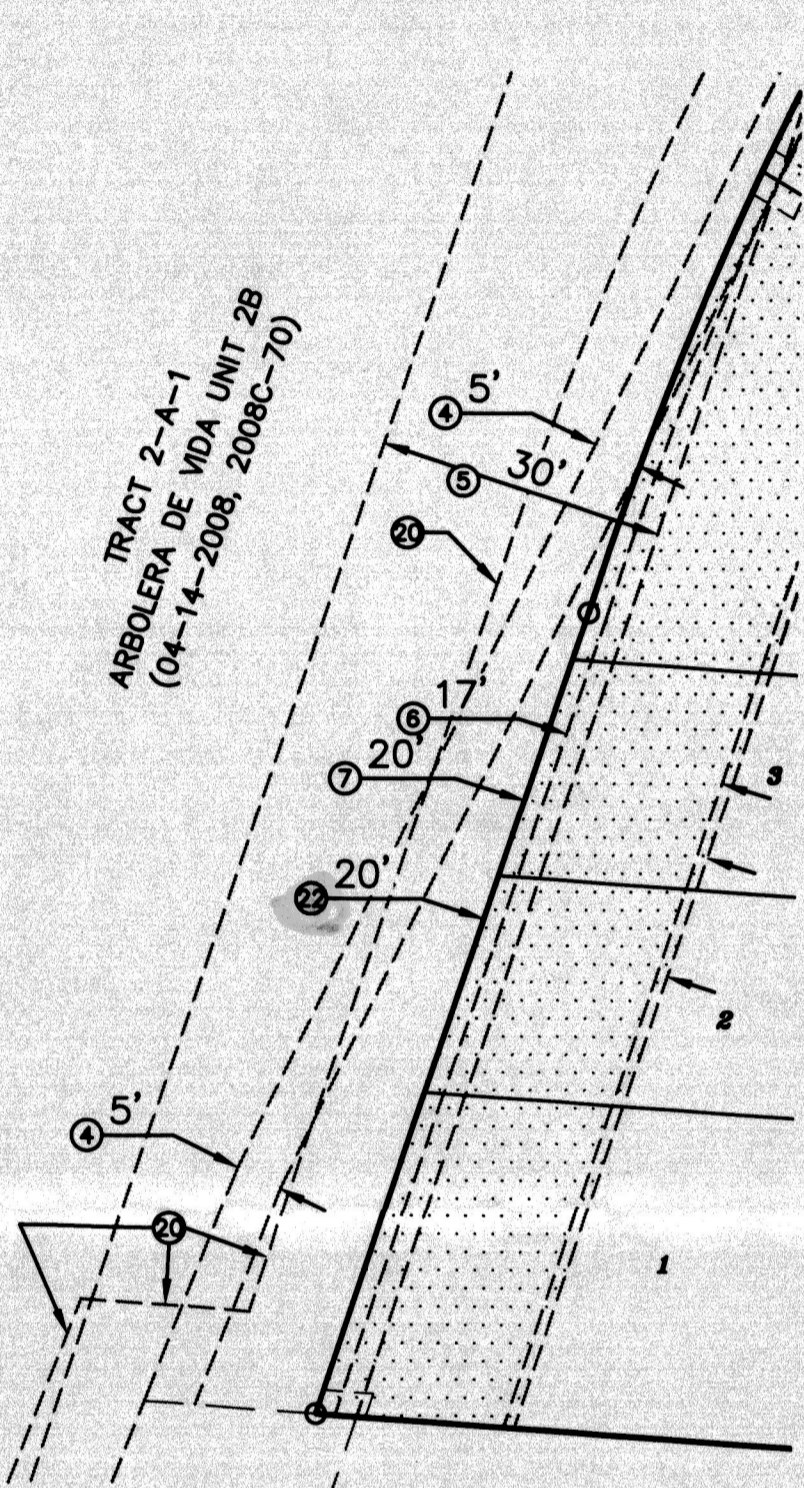
5/17/12  
DATE

SAWMILL CROSSING, LLC,  
OWNER OF TRACT B-1-A-2  
  
KEITH CHESHIRE, MANAGER

5/16/12  
DATE



**VICINITY MAP**  
SCALE: 1"=750' ZONE ATLAS PAGE: H-13



**SW CORNER EASEMENT DETAIL**  
SCALE: 1"=20'

**NOTES**

- TRACT B  
OWNED BY SAWMILL CROSSING LLC AND RESERVED FOR FUTURE RESIDENTIAL SUBDIVISION (SAWMILL CROSSING, UNIT 2)
- TRACT C  
OPEN SPACE AREA AND BLANKET PUBLIC DRAINAGE EASEMENT OWNED AND MAINTAINED BY THE HOA.
- TRACT D  
OPEN SPACE AREA OWNED AND MAINTAINED BY THE HOA.

AGRS MONUMENT  
S-1131A  
N=1491318.377  
E=1515633.327  
G-G=0.999684462  
Δα=00°14'23.54"  
CENTRAL ZONE  
ELEVATION=4960.499  
(NAD83/NAVD88)

**EASEMENTS**

- |   |  |  |
|---|--|--|
| ① 75' RESERVED FOR PUBLIC UTILITIES BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854) (HATCHED PORTION TO BE VACATED) | ⑩ 20' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)                                      | ⑲ 10' PNM ANCHOR EASEMENT (04-11-2005, 2005C-106)  |
| ② 20' SANITARY SEWER EASEMENT BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)                                       | ⑪ 20' COA PUBLIC ACCESS EASEMENT MAINTAINED BY OWNERS OF SAWMILL VILLAGE (08-23-2010, 2010C-103) | ⑳ 20' RAILROAD TRACK EASEMENT (12-02-2003, BK. A63, PG. 5318) (TO BE VACATED)                              |
| ③ 10' PNM EASEMENT (06-25-1968, BK. MISC 107, PG. 297-30)   | ⑫ 17.4' X 35' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)                              | ㉑ 68' COA FLOATING PUBLIC ROADWAY EASEMENT (12-15-1995, 95C-451) (TO BE VACATED)                           |
| ④ 10' PNM EASEMENT BY JUDGEMENT (06-25-1968, BK. MISC 107, PG. 301-304) (HATCHED PORTION TO BE VACATED)                                   | ⑬ 10' PNM EASEMENT (01-07-1953, BK. D228, PG. 93-96)   | ㉒ NEW 10' PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT.  |
| ⑤ 5' PNM EASEMENT (03-18-1950, BK. D135, PG. 547-549)   | ⑭ COA PUBLIC TEMPORARY TURN-AROUND EASEMENT (05-25-1990, 90C-135)                                | ㉓ NEW 20' PNM EASEMENT GRANTED WITH THIS PLAT.   |
| ⑥ 30' COA PERMANENT UTILITY EASEMENT BY JUDGEMENT (04-09-1968, BK. MISC 99, PG. 776-780)  | ⑮ 10' PUE (05-17-1996, 96C-204)  | ㉔ NEW 20 FOOT PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT.                                       |
| ⑦ 17' RAILROAD EASEMENT (10-24-2003, BK. A67, PG. 4653) (HATCHED PORTION TO BE VACATED)   | ⑯ 5' PNM ANCHOR EASEMENT (05-17-1996, 96C-204)   | ㉕ NEW 5x5 FOOT WIDE LANDSCAPE EASEMENT GRANTED TO AND TO BE JOINTLY MAINTAINED BY ADJACENT PROPERTY OWNERS |
| ⑧ 20' NON-EXCLUSIVE RAILWAY EASEMENT (01-24-1980, BK. D113A, PG. 278-280) (HATCHED PORTION TO BE VACATED)                                 | ⑰ 7' UTILITY EASEMENT (04-04-1978, D8-102)   | ㉖ NEW 20 FOOT PUBLIC WATER LINE EASEMENT GRANTED BY THIS PLAT.   |
| ⑨ 20' COA PUBLIC WATERLINE UTILITY EASEMENT LOCATION IS APPROXIMATE (09-17-1990, 90C-222) (HATCHED PORTION TO BE VACATED)                 | ⑱ 20' COA PUBLIC EMERGENCY ACCESS EASEMENT (10-06-2005, 2005C-325)                               |  |
| ⑩ 10' QWEST EASEMENT (08-06-2003, BK. A61, PG. 8569)  | ⑳ 30' BN & SF RAILWAY COMPANY EASEMENT (04-11-2005, 2005C-106)                                   |  |
|   | ㉑ COA PUBLIC DRAINAGE EASEMENT (04-11-2005, 2005C-106)   |  |

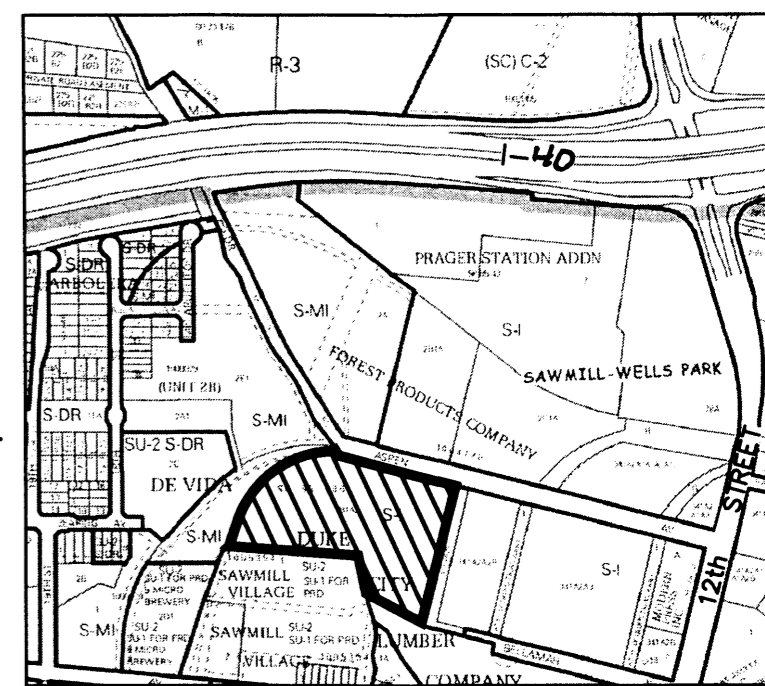
LOT#	Area
1	0.1005 Ac.
2	0.0499 Ac.
3	0.0455 Ac.
4	0.0665 Ac.
5	0.0920 Ac.
6	0.0440 Ac.
7	0.0684 Ac.
8	0.0676 Ac.
9	0.0440 Ac.
10	0.0440 Ac.
11	0.0676 Ac.
12	0.0664 Ac.
13	0.0440 Ac.
14	0.0690 Ac.

LOT#	Area
15	0.0731 Ac.
16	0.0471 Ac.
17	0.0485 Ac.
18	0.0629 Ac.
64	0.0653 Ac.
65	0.0465 Ac.
66	0.0465 Ac.
67	0.0764 Ac.
68	0.0757 Ac.
69	0.0457 Ac.
70	0.0708 Ac.
71	0.0703 Ac.
72	0.0602 Ac.

Name	Area
Tract B	4.2470 Ac.
Tract C	0.3330 Ac.
Tract D	0.0547 Ac.
ROW	0.6285 Ac.



VACATION EXHIBIT  
FOR  
TRACT B-1-A-2  
DUKE CITY LUMBER COMPANY ADDITION  
SAWMILL CROSSING SUBDIVISION, UNIT 1  
WITHIN THE  
TOWN OF ALBUQUERQUE GRANT  
PROJECTED SECTION 7 TOWNSHIP 10 NORTH,  
RANGE 3 EAST, N.M.P.M. CITY OF  
ALBUQUERQUE BERNALILLO COUNTY, NEW  
MEXICO FEBRUARY, 2012



VICINITY MAP ZONE MAP: H-13-Z

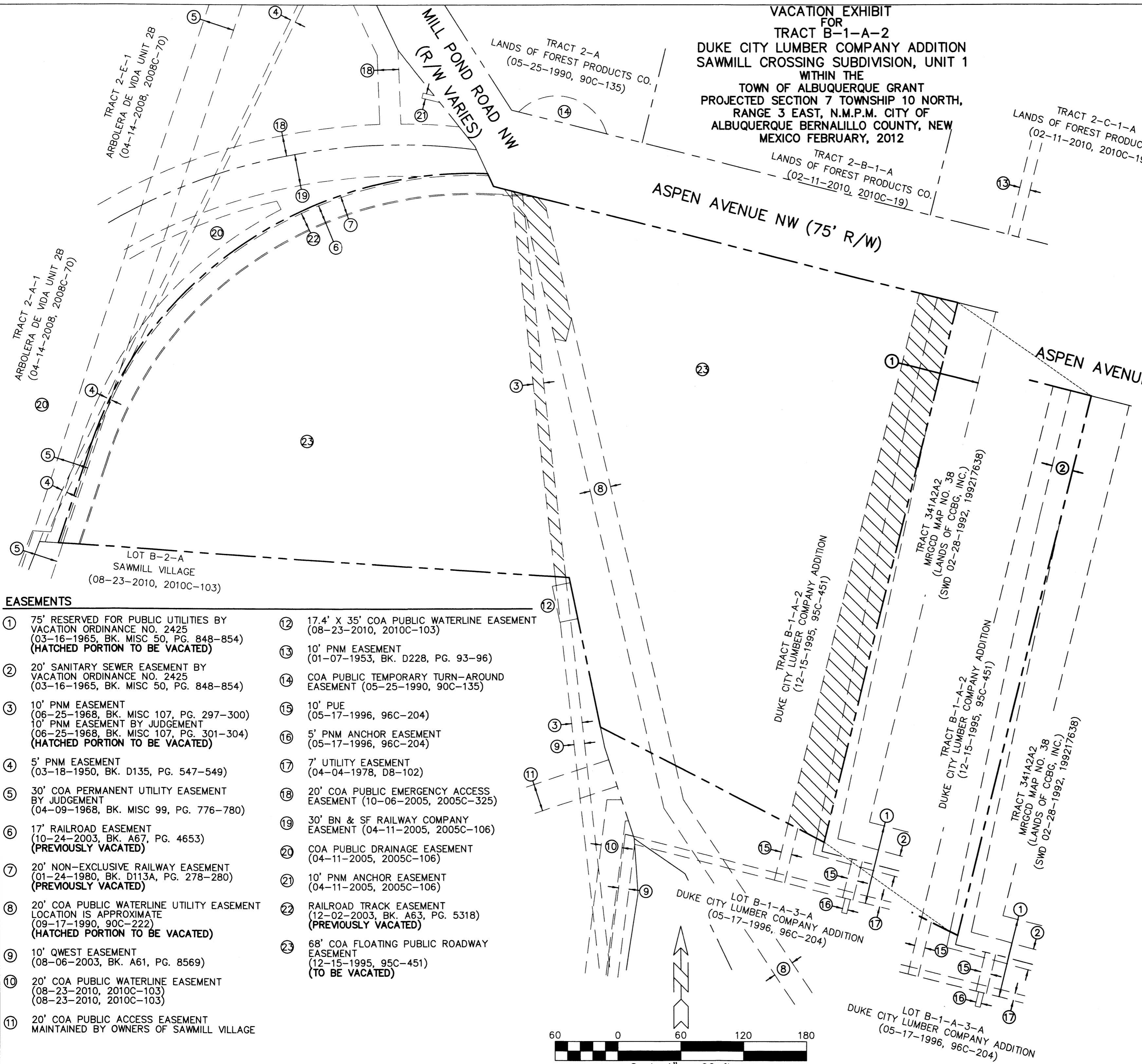
SUMMARY OF EASEMENT VACATIONS

The subject property is encumbered by the following on-site easements, all of which are to be vacated (numbering refers to easements designated on attached VACATION EXHIBIT):

1. West half of 75-foot reservation for public utilities created by Vacation Ordinance No. 2425 (formerly 15th Street), filed 03-16-1965
3. 10' PNM easement created by Judgment, filed 06-16-1968
8. Portion of 20' Public Waterline Easement created by Plat of Lots B-1-A and B-2-A, Duke City Lumber Company, filed 09-17-1990 (cross-hatched portion only)
23. Floating 68' Public Roadway Easement by Plat of Lots B-1-A-1, B-1-A-2 and B-1-A-3, Duke City Lumber Co., filed 12-15-1995

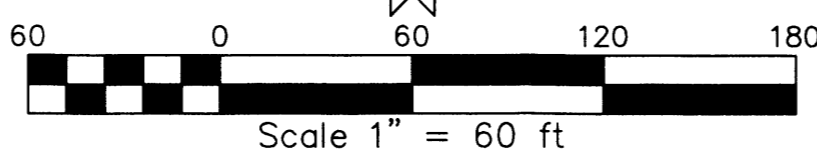
Explanation for Vacations

- 1 - With the vacation of 15th Street in 1965, a reservation for public utilities was maintained over the area of former right-of-way. A separate 20-foot sanitary sewer easement was granted through this reservation area in 1990 by the Plat of Lots B-1-A and B-1-A, Duke City Lumber. There is no need for any other utilities to be placed within this easement now or in the future. Any utilities located there now will be removed in connection with proposed redevelopment of this property, except for the existing SAS that will be removed with Unit II
- 3 - The existing 10-foot wide PNM easement is being vacated so that a new 20-foot easement can be granted in its place.
- 8 - Portion of the existing 20-foot public waterline easement running through the site contains an existing 12-inch waterline that will be removed and relocated into a proposed new public streets running into the site.
- 23 - The floating 68' public roadway easement from Bellamah Ave. westerly was granted in accordance with the Long Range Major Street Plan across Tracts B-1-A-1 and B-1-A-2, Duke City Lumber Co. in 2008. The west portion of this easement was vacated across Lot B-1-A-1 in connection with the plat of Arbolera de Vida, Unit 2B, filed 04-14-2008, since it was no longer shown on the LRMSF at that time. Since 2008, The Sawmill Community Land Trust has excavated a deep ponding area just west of Tract B-1-A-2, thus making it unlikely that a roadway connection to Bellamah west of the site can be made.



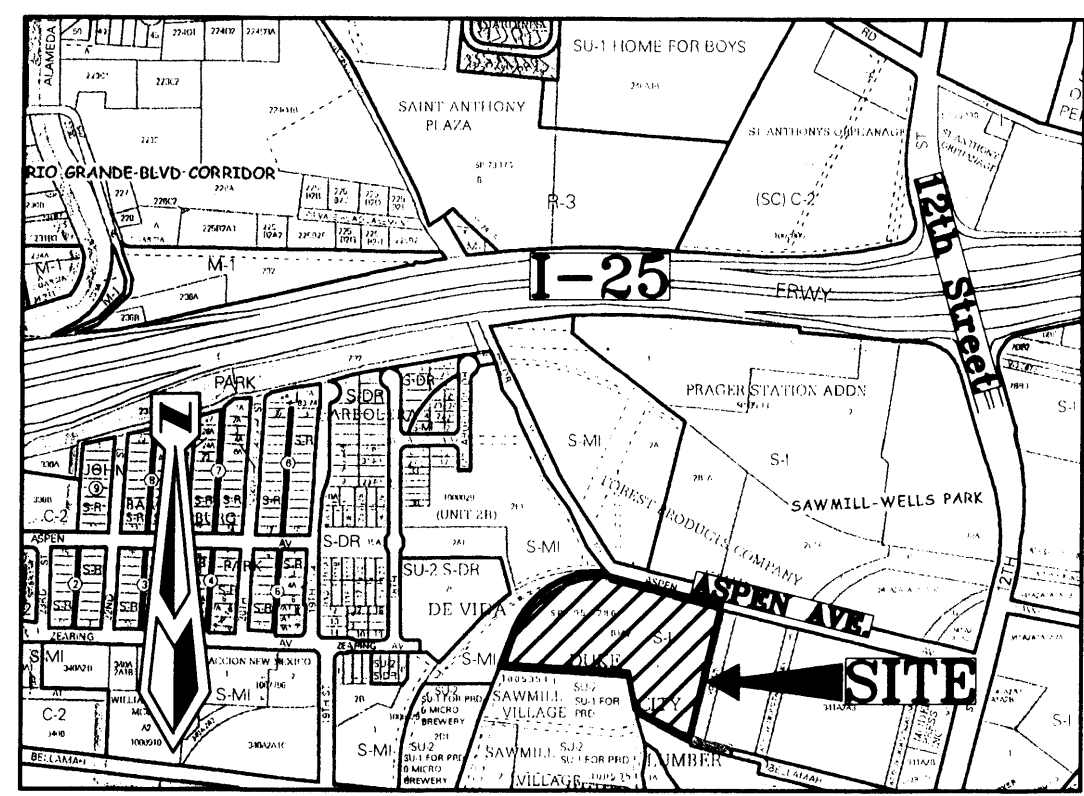
EASEMENTS

- |  |  |
|--|--|
| ① 75' RESERVED FOR PUBLIC UTILITIES BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854) (HATCHED PORTION TO BE VACATED)                        | ⑫ 17.4' X 35' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)              |
| ② 20' SANITARY SEWER EASEMENT BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)  | ⑬ 10' PNM EASEMENT (01-07-1953, BK. D228, PG. 93-96)                             |
| ③ 10' PNM EASEMENT (06-25-1968, BK. MISC 107, PG. 297-300) 10' PNM EASEMENT BY JUDGEMENT (06-25-1968, BK. MISC 107, PG. 301-304) (HATCHED PORTION TO BE VACATED) | ⑭ COA PUBLIC TEMPORARY TURN-AROUND EASEMENT (05-25-1990, 90C-135)                |
| ④ 5' PNM EASEMENT (03-18-1950, BK. D135, PG. 547-549)  | ⑮ 10' PUE (05-17-1996, 96C-204)  |
| ⑤ 30' COA PERMANENT UTILITY EASEMENT BY JUDGEMENT (04-09-1968, BK. MISC 99, PG. 776-780)   | ⑯ 5' PNM ANCHOR EASEMENT (05-17-1996, 96C-204)                                   |
| ⑥ 17' RAILROAD EASEMENT (10-24-2003, BK. A67, PG. 4653) (PREVIOUSLY VACATED)   | ⑰ 7' UTILITY EASEMENT (04-04-1978, D8-102)                                       |
| ⑦ 20' NON-EXCLUSIVE RAILWAY EASEMENT (01-24-1980, BK. D113A, PG. 278-280) (PREVIOUSLY VACATED)   | ⑱ 20' COA PUBLIC EMERGENCY ACCESS EASEMENT (10-06-2005, 2005C-325)               |
| ⑧ 20' COA PUBLIC WATERLINE UTILITY EASEMENT LOCATION IS APPROXIMATE (09-17-1990, 90C-222) (HATCHED PORTION TO BE VACATED)  | ⑲ 30' BN & SF RAILWAY COMPANY EASEMENT (04-11-2005, 2005C-106)                   |
| ⑨ 10' QWEST EASEMENT (08-06-2003, BK. A61, PG. 8569)   | ⑳ COA PUBLIC DRAINAGE EASEMENT (04-11-2005, 2005C-106)                           |
| ⑩ 20' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103) (08-23-2010, 2010C-103)  | ㉑ 10' PNM ANCHOR EASEMENT (04-11-2005, 2005C-106)                                |
| ⑪ 20' COA PUBLIC ACCESS EASEMENT MAINTAINED BY OWNERS OF SAWMILL VILLAGE   | ㉒ RAILROAD TRACK EASEMENT (12-02-2003, BK. A63, PG. 5318) (PREVIOUSLY VACATED)   |
|  | ㉓ 68' COA FLOATING PUBLIC ROADWAY EASEMENT (12-15-1995, 95C-451) (TO BE VACATED) |



Scale 1" = 60 ft

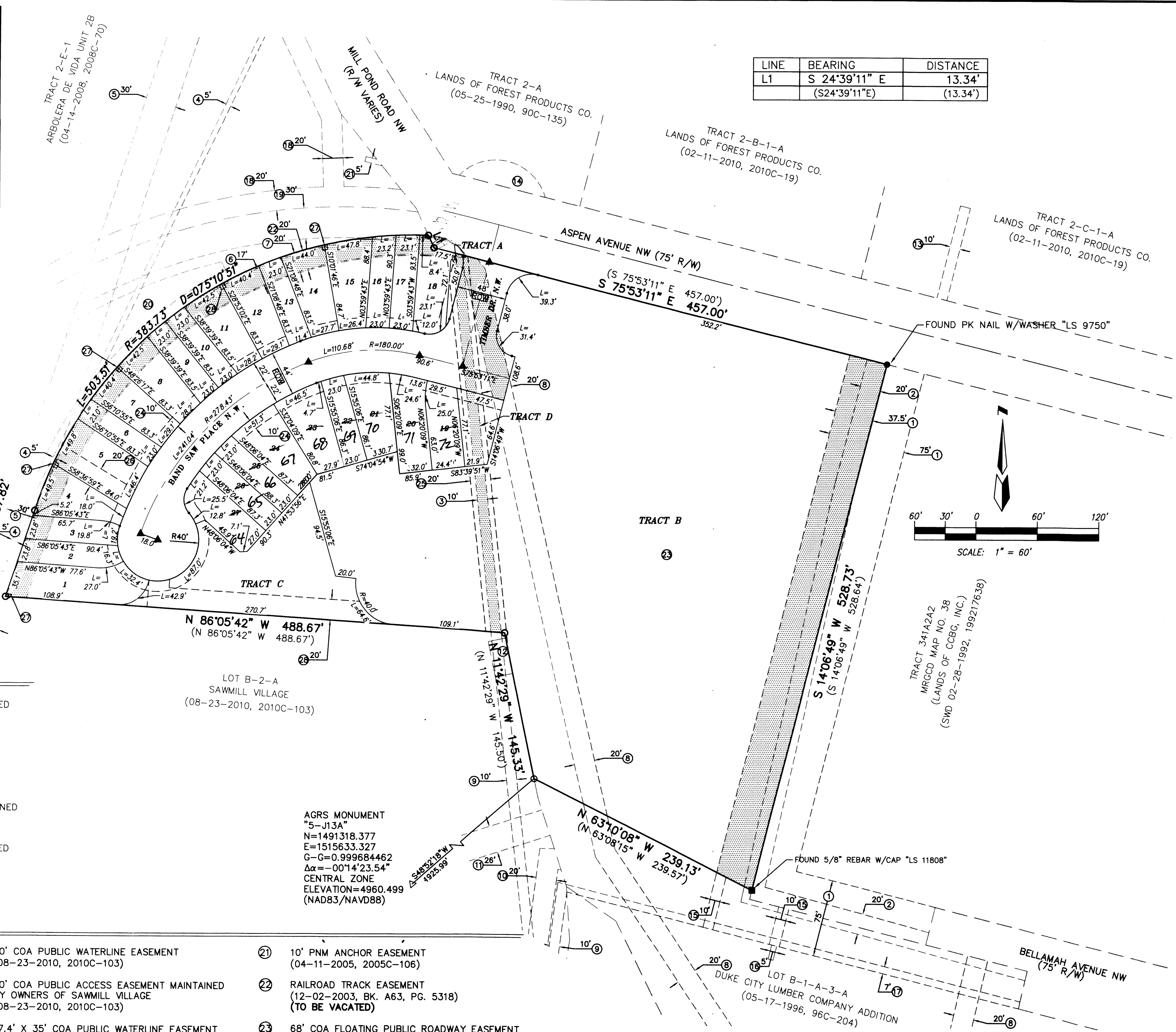
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539



VICINITY MAP  
SCALE: 1"=750'  
ZONE ATLAS PAGE: H-13

PRELIMINARY PLAT FOR  
**SAWMILL CROSSING**  
**UNIT 1**  
WITHIN THE  
TOWN OF ALBUQUERQUE GRANT  
PROJECTED SECTION 7  
TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2012

LINE	BEARING	DISTANCE
L1	S 24°39'11" E	13.34'
	(S24°39'11"E)	(13.34')



**SUBDIVISION DATA**

GROSS ACREAGE	6.9323 AC
ZONE ATLAS NO.	H-13-Z
NO. OF LOTS EXISTING	1 LOTS
NO. OF LOTS/TRACTS CREATED	27 LOTS/4 TRACTS
DATE OF SURVEY	JANUARY, 2012

**DESCRIPTION**

A tract of land situate within the Town of Albuquerque Grant, projected Section 7, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of LOT B-1-A-2, DUKE CITY LUMBER COMPANY ADDITION, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 15, 1995 in Volume 95C, Folio 451, and containing 6.9323 acres more or less.

**PURPOSE OF PLAT**

- SUBDIVIDE LOT B-1-A-2, DUKE CITY LUMBER COMPANY ADDITION INTO 27 RESIDENTIAL LOTS, AND 4 TRACTS.
- GRANT NEW EASEMENTS AS SHOWN.
- VACATE EASEMENTS AS SHOWN.

**NOTES**

- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY IS FROM THE PLAT OF RECORD ENTITLED:
  - "DUKE CITY LUMBER COMPANY ADDITION", (12-15-1995, 95C-451)
  - "DUKE CITY LUMBER COMPANY ADDITION", (05-17-1996, 96C-204)
  - "DUKE CITY LUMBER COMPANY ADDITION", (09-17-1990, 90C-222)
  - "DUKE CITY LUMBER COMPANY ADDITION", (04-04-1978, D8-102)
  - "DUKE CITY LUMBER COMPANY ADDITION", (12-22-1971, D4-177)
  - "SAWMILL VILLAGE", (08-23-2010, 2010C-103)
  - "LANDS OF FOREST PRODUCTS CO.", (05-25-1990, 90C-135)
  - "LANDS OF FOREST PRODUCTS CO.", (02-11-2010, 2010C-19)
  - "ARBOLERA DE VIDA UNIT 2B", (04-14-2008, 2008C-70)
  - "SPECIAL WARRANTY DEED", (02-28-1992, 1992I7638)
  - "LANDS OF OTTO SCHEER", (Dated 09-09-1943)
  - "INDUSTRIAL PROPERTY & LEAD TRACK", (Dated 04-28-1947)
- ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY PERFORMED IN JANUARY, 2012.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: S-1
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X AND ZONE X (AREAS PROTECTED BY DIKES AND LEVEES), AS SHOWN ON PANEL 331 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008.

**NOTES**

- TRACT A**  
OPEN SPACE AREA OWNED AND MAINTAINED BY THE HOA.
- TRACT B**  
OWNED BY SAWMILL CROSSING LLC AND RESERVED FOR FUTURE RESIDENTIAL SUBDIVISION (SAWMILL CROSSING, UNIT 2)
- TRACT C**  
OPEN SPACE AREA AND BLANKET PUBLIC DRAINAGE EASEMENT OWNED AND MAINTAINED BY THE HOA.
- TRACT D**  
OPEN SPACE AREA OWNED AND MAINTAINED BY THE HOA.

**EASEMENTS**

- |   |  |  |
|---|--|--|
| ① 75' RESERVED FOR PUBLIC UTILITIES BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854) (HATCHED PORTION TO BE VACATED) | ⑩ 20' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)                                      | ⑳ 10' PNM ANCHOR EASEMENT (04-11-2005, 2005C-106)  |
| ② 20' SANITARY SEWER EASEMENT BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)                                       | ⑪ 20' COA PUBLIC ACCESS EASEMENT MAINTAINED BY OWNERS OF SAWMILL VILLAGE (08-23-2010, 2010C-103) | ㉑ RAILROAD TRACK EASEMENT (12-02-2003, BK. A63, PG. 5318) (TO BE VACATED)                          |
| ③ 10' PNM EASEMENT (06-25-1968, BK. MISC 107, PG. 297-30)   | ⑫ 17.4' X 35' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)                              | ㉒ 68' COA FLOATING PUBLIC ROADWAY EASEMENT (12-15-1995, 95C-451) (TO BE VACATED)                   |
| ④ 5' PNM EASEMENT (03-18-1950, BK. D135, PG. 547-549)   | ⑬ 10' PNM EASEMENT (01-07-1953, BK. D228, PG. 93-96)   | ㉓ NEW 10' PUBLIC UTILITY EASEMENT GRANTED WITH THIS PLAT.  |
| ⑤ 30' COA PERMANENT UTILITY EASEMENT BY JUDGEMENT (04-09-1968, BK. MISC 99, PG. 776-780)  | ⑭ COA PUBLIC TEMPORARY TURN-AROUND EASEMENT (05-25-1990, 90C-135)                                | ㉔ NEW 20' PNM EASEMENT GRANTED WITH THIS PLAT.   |
| ⑥ 17' RAILROAD EASEMENT (10-24-2003, BK. A67, PG. 4653) (HATCHED PORTION TO BE VACATED)   | ⑮ 10' PUE (05-17-1996, 96C-204)  | ㉕ NEW 20 FOOT PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT.                               |
| ⑦ 20' NON-EXCLUSIVE RAILWAY EASEMENT (01-24-1980, BK. D113A, PG. 278-280) (HATCHED PORTION TO BE VACATED)                                 | ⑯ 5' PNM ANCHOR EASEMENT (05-17-1996, 96C-204)   | ㉖ NEW 5x5 FOOT WIDE LANDSCAPE EASEMENT GRANTED TO AND TO BE MAINTAINED BY ADJACENT PROPERTY OWNERS |
| ⑧ 20' COA PUBLIC WATERLINE UTILITY EASEMENT LOCATION IS APPROXIMATE (09-17-1990, 90C-222) (HATCHED PORTION TO BE VACATED)                 | ⑰ 7' UTILITY EASEMENT (04-04-1978, D8-102)   | ㉗ NEW 20 FOOT PUBLIC WATER LINE EASEMENT GRANTED BY THIS PLAT.                                     |
| ⑨ 10' QWEST EASEMENT (08-06-2003, BK. A61, PG. 8569)  | ⑱ 30' BN & SF RAILWAY COMPANY EASEMENT (04-11-2005, 2005C-106)                                   |  |
|   | ㉘ COA PUBLIC DRAINAGE EASEMENT (04-11-2005, 2005C-106)   |  |

Lot Area Table

LOT#	Area
1	0.1005 Ac.
2	0.0499 Ac.
3	0.0455 Ac.
4	0.0665 Ac.
5	0.0920 Ac.
6	0.0440 Ac.
7	0.0664 Ac.
8	0.0676 Ac.
9	0.0440 Ac.
10	0.0440 Ac.
11	0.0676 Ac.
12	0.0664 Ac.
13	0.0440 Ac.
14	0.0690 Ac.

Lot Area Table

LOT#	Area
15	0.0731 Ac.
16	0.0471 Ac.
17	0.0485 Ac.
18	0.0629 Ac.
19	0.0602 Ac.
20	0.0703 Ac.
21	0.0708 Ac.
22	0.0457 Ac.
23	0.0757 Ac.
24	0.0764 Ac.
25	0.0465 Ac.
26	0.0465 Ac.
27	0.0653 Ac.

Tract Area Table

Name	Area
Tract A	0.0127 Ac.
Tract B	4.2470 Ac.
Tract C	0.3330 Ac.
Tract D	0.0547 Ac.
ROW	0.6285 Ac.

**LEGEND**

- [Hatched Box] LIMITS OF VACATION
- [Dashed Line] RIGHT OF WAY VACATION
- [Triangle] CENTER LINE MONUMENT OF PUBLIC ROADWAY.
- [Circle] SET 5/8 REBAR WITH CAP "LS 7719".

**SURVEYOR**

ALDRICH LAND SURVEYING  
P.O. BOX 30701  
ALBUQUERQUE, N.M. 87190  
(505) 884-1990

**OWNERS**

SAWMILL CROSSING, LLC  
7400 HANCOCK CT. NE  
ALBUQUERQUE, NM 87109  
PH: (505) 797-1134  
FAX: (505) 797-8589

**ENGINEERS**

D. MARK GOODWIN &  
ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90608  
ALBUQUERQUE, NM 87199  
(505) 828-2200

**APPROVED**

*[Signature]*  
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.

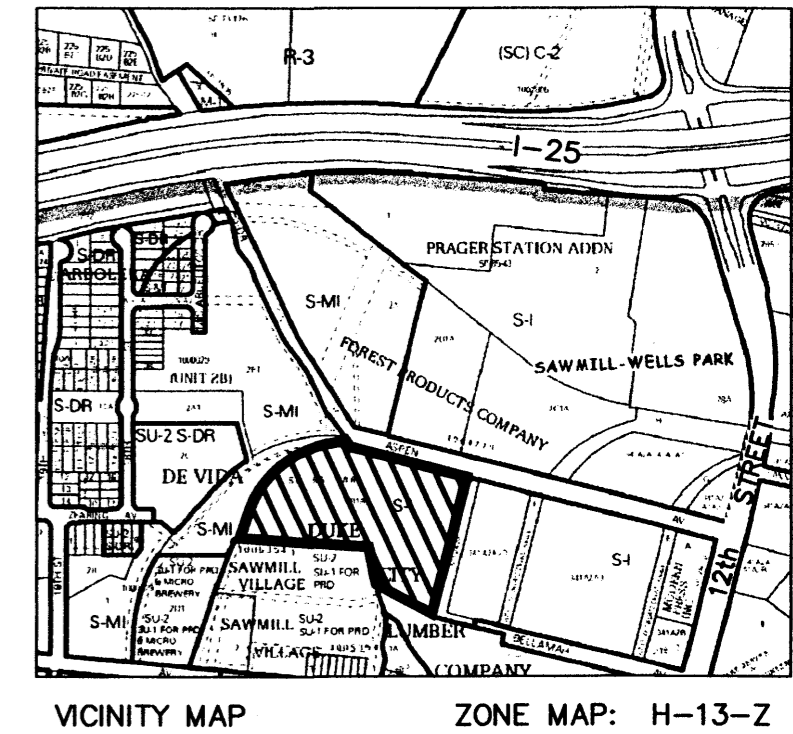
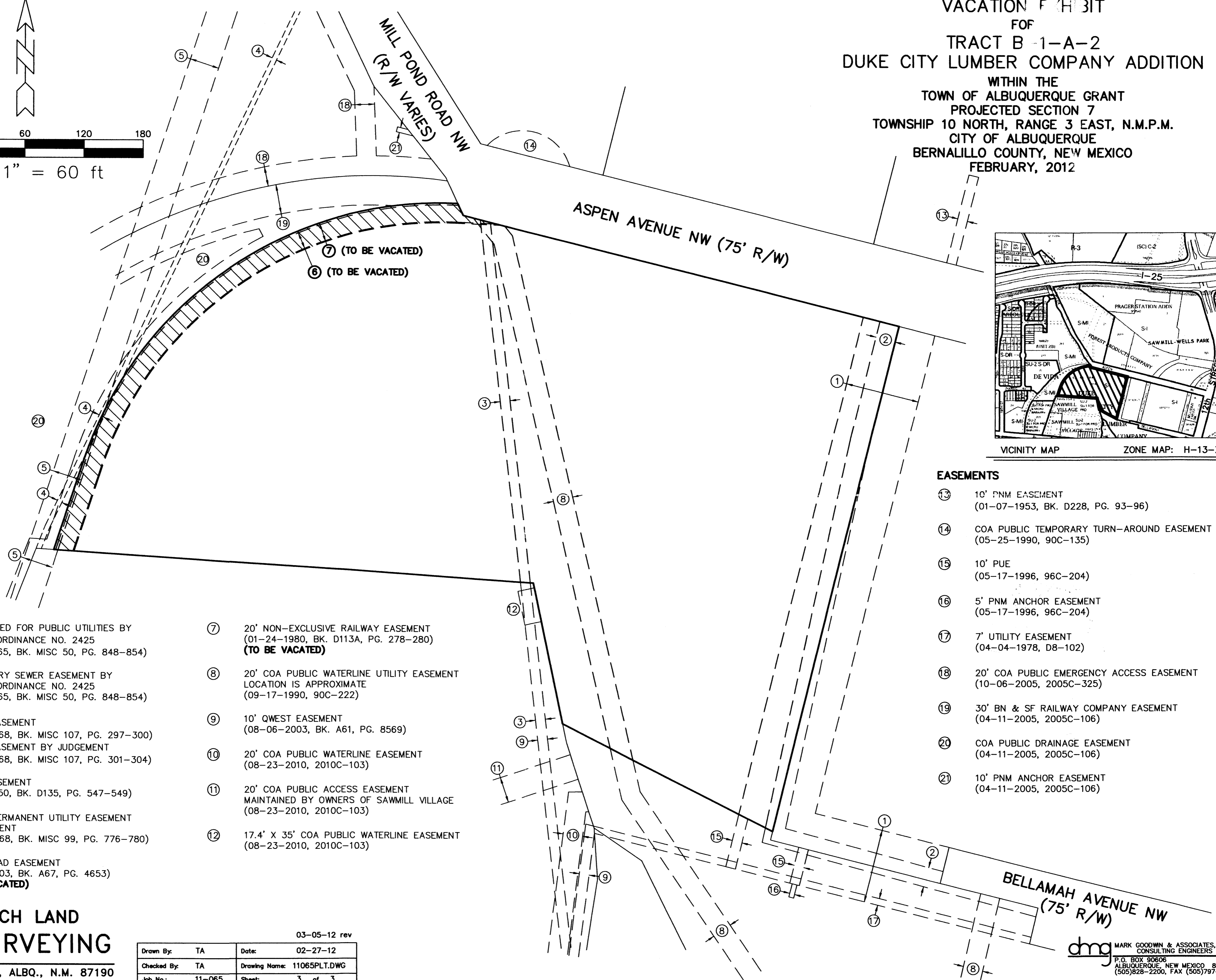
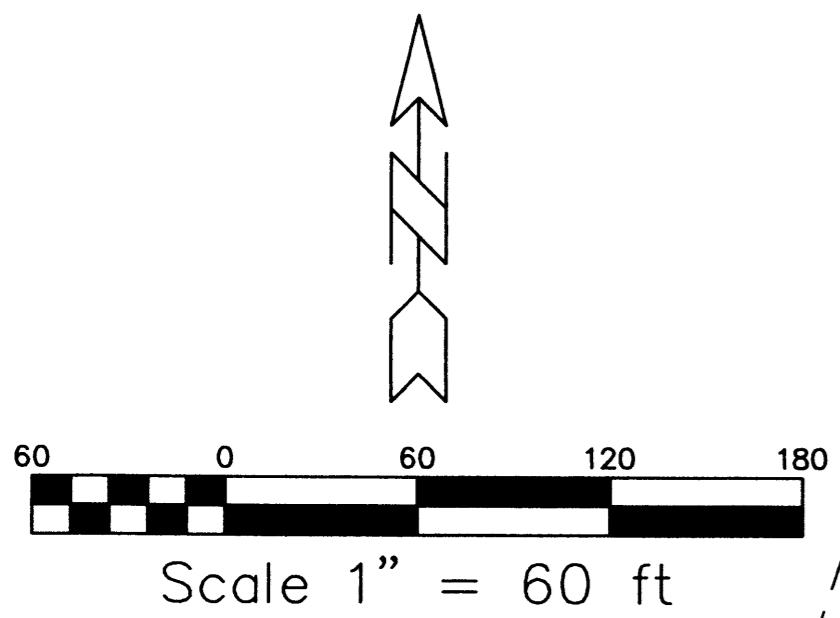
4/2/12  
DATE

SAWMILL CROSSING LLC,  
OWNER OF TRACT B-1-A-2

KEITH CHESHIRE, MANAGER

*[Signature]*  
3/29/12  
DATE

VACATION EASEMENT  
 FOR  
 TRACT B-1-A-2  
 DUKE CITY LUMBER COMPANY ADDITION  
 WITHIN THE  
 TOWN OF ALBUQUERQUE GRANT  
 PROJECTED SECTION 7  
 TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2012



**EASEMENTS**

- ① 75' RESERVED FOR PUBLIC UTILITIES BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)
- ② 20' SANITARY SEWER EASEMENT BY VACATION ORDINANCE NO. 2425 (03-16-1965, BK. MISC 50, PG. 848-854)
- ③ 10' PNM EASEMENT (06-25-1968, BK. MISC 107, PG. 297-300)  
10' PNM EASEMENT BY JUDGEMENT (06-25-1968, BK. MISC 107, PG. 301-304)
- ④ 5' PNM EASEMENT (03-18-1950, BK. D135, PG. 547-549)
- ⑤ 30' COA PERMANENT UTILITY EASEMENT BY JUDGEMENT (04-09-1968, BK. MISC 99, PG. 776-780)
- ⑥ 17' RAILROAD EASEMENT (10-24-2003, BK. A67, PG. 4653) (TO BE VACATED)

- ⑦ 20' NON-EXCLUSIVE RAILWAY EASEMENT (01-24-1980, BK. D113A, PG. 278-280) (TO BE VACATED)
- ⑧ 20' COA PUBLIC WATERLINE UTILITY EASEMENT LOCATION IS APPROXIMATE (09-17-1990, 90C-222)
- ⑨ 10' QWEST EASEMENT (08-06-2003, BK. A61, PG. 8569)
- ⑩ 20' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)
- ⑪ 20' COA PUBLIC ACCESS EASEMENT MAINTAINED BY OWNERS OF SAWMILL VILLAGE (08-23-2010, 2010C-103)
- ⑫ 17.4' X 35' COA PUBLIC WATERLINE EASEMENT (08-23-2010, 2010C-103)

**EASEMENTS**

- ⑬ 10' PNM EASEMENT (01-07-1953, BK. D228, PG. 93-96)
- ⑭ COA PUBLIC TEMPORARY TURN-AROUND EASEMENT (05-25-1990, 90C-135)
- ⑮ 10' PUE (05-17-1996, 96C-204)
- ⑯ 5' PNM ANCHOR EASEMENT (05-17-1996, 96C-204)
- ⑰ 7' UTILITY EASEMENT (04-04-1978, D8-102)
- ⑱ 20' COA PUBLIC EMERGENCY ACCESS EASEMENT (10-06-2005, 2005C-325)
- ⑲ 30' BN & SF RAILWAY COMPANY EASEMENT (04-11-2005, 2005C-106)
- ⑳ COA PUBLIC DRAINAGE EASEMENT (04-11-2005, 2005C-106)
- ㉑ 10' PNM ANCHOR EASEMENT (04-11-2005, 2005C-106)

**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

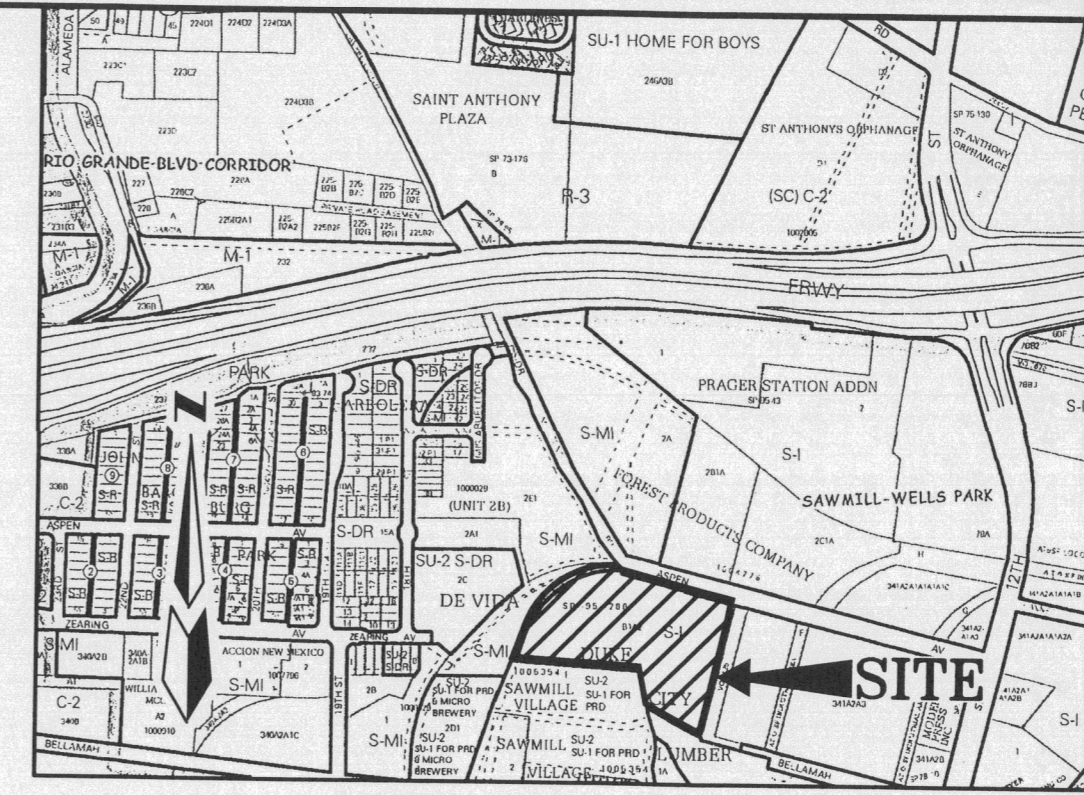
03-05-12 rev

Drawn By:	TA	Date:	02-27-12
Checked By:	TA	Drawing Name:	11065PLT.DWG
Job No.:	11-065	Sheet:	3 of 3

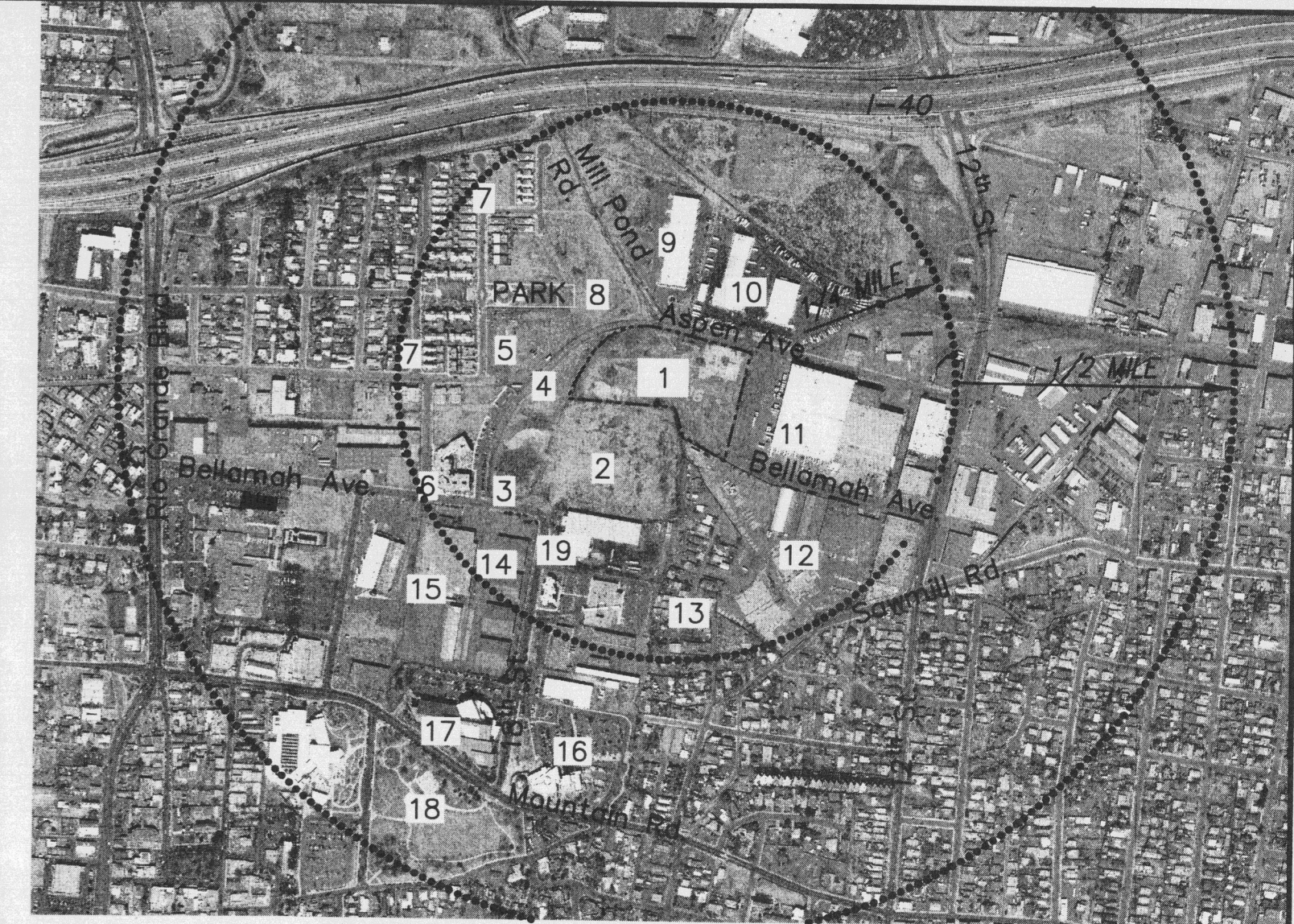
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9531

F:\A11\JOB\SA11047 Sawmill Crossing\SURVEY\11065PLT.dwg, 3/9/2012 8:39:31 AM, ndmg\ngwin\HP Design\let 1050C by HP, CHRIS

TEMPORARY EMERGENCY ACCESS WITH CRASH GATE PER CITY FIRE DEPARTMENT REQUIREMENTS IF VEHICULAR CONNECTION TO BELLAMAH IS NOT AVAILABLE UNTIL AFTER THE COMPLETION OF PHASE II CONSTRUCTION

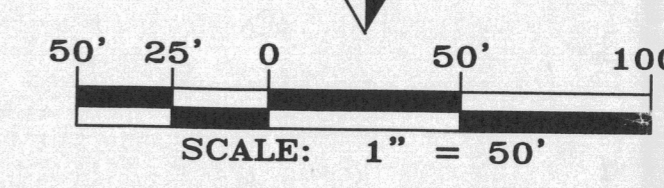


VICINITY MAP  
SCALE: 1"=750'  
ZONE ATLAS PAGE: H-13



CONTEXT MAP

- |                           |  |  |
|---------------------------|--|--|
| 1. SUBJECT SITE           | 8. FUTURE SCLT ECONOMIC DEVELOPMENT              | 14. VACANT (SCLT OWNERSHIP)                    |
| 2. SAWMILL VILLAGE (SCLT) | 9. ROGER COX WAREHOUSE                           | 15. FORMER BLUE LINX WAREHOUSE (EXPLORA-OWNED) |
| 3. KESHET DANCE (COA)     | 10. ROBERTS TRUCK RENTAL & SERVICE               | 16. EXPLORA                                    |
| 4. PONDING AREA FOR SCLT  | 11. UNITED PARCEL SERVICE                        | 17. NM MUSEUM OF NATURAL HISTORY               |
| 5. SCLT SENIOR HOUSING    | 12. NM TIMBER & VIGA (FORMERLY CIELO AT SAWMILL) | 18. TIGUEX PARK                                |
| 6. SCLT LOFTS APARTMENTS  | 13. EXISTING 15TH ST. (SAWMILL NEIGHBORHOOD)     | 19. EXISTING OFFICE/WAREHOUSE                  |
| 7. SCLT ARBOLERA DE VIDA  |  |  |



**LEGAL DESCRIPTION**

That a certain parcel of land situate within the Town of Albuquerque Grant in projected Section 7, Township 19 North, range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo county, New Mexico, being and comprising Tract lettered "B-1-A-2", DUKE CITY LUMBER COMPANY filed in the office of the county Clerk of Bernalillo County, New Mexico, on December 15, 1995, in Volume 95C, Folio 451, containing 6.9292 acres, more or less.

**THE SITE:**

The site area is presently zoned SU-2 / SU-1 and under the jurisdiction of the Sawmill / Wells Park Sector Development Plan and the Sawmill / Wells Park Community Metropolitan Redevelopment Area Plan.

**PROPOSED USE CHANGES:**

The property is to be changed to SU-2 / SU-1 for Planned Residential Development. Allowed uses shall be as permissive in the City R-T Zone.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**

Vehicular Access: Primary access will be via Aspen Avenue with secondary access via a new connection to an off-site extension of Bellamah Avenue from the adjoining Sawmill Village. Bellamah will eventually be extended 350' to the east where it will connect to the existing Bellamah Ave. upon redevelopment of Tract "B-1-A-3", Duke City Lumber Company. Internal access through the site will be via public streets.

**Pedestrian, Bicycle and Trail Access:**

New sidewalks will meet the current development process manual requirements. A new 6' sidewalk will eventually connect to the Sawmill Village south of site just off the Bellamah Ave. extension. This walking trail shall contain at least four park benches and maximum 3-foot bollard lighting for pedestrian safety spaced at 100' on center along its length.

**Transit Access:**

Route 36 runs along 12th street which is 1000 feet east of the site. Route 790 runs along Rio Grade Blvd, which is approximately 2000 ft west of the site.

**INTERNAL CIRCULATION REQUIREMENTS:**

Internal circulation will be via public on-site streets, which will contain 4' sidewalks on each side of the street and a 6' sidewalk north-south through the middle of the site.

**BUILDING HEIGHTS AND SETBACKS:**

Maximum allowed building heights shall be 26 feet. See setback provisions under design standards.

**MAXIMUM TOTAL DWELLING UNITS AND MINIMUM LOT AREA:**

Maximum total number of residential units shall be 80 and overall site density shall not exceed 12 du/ac.

**LANDSCAPE STANDARDS:**

For Landscaping information see Sheet 5 of this plan set. All landscaping shall be per the City of Albuquerque Zoning Ordinance.

**PHASING:**

Phase I will consist of 27 lots and obtain its access from Aspen Ave. Once Phase I is close to buildout, Phase II construction will be undertaken and the entire project will be completed, with secondary access being off Bellamah Ave.

APPLICATION NUMBER: \_\_\_\_\_ PROJECT NUMBER: 1009046

City Approvals:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

PLAN INDEX

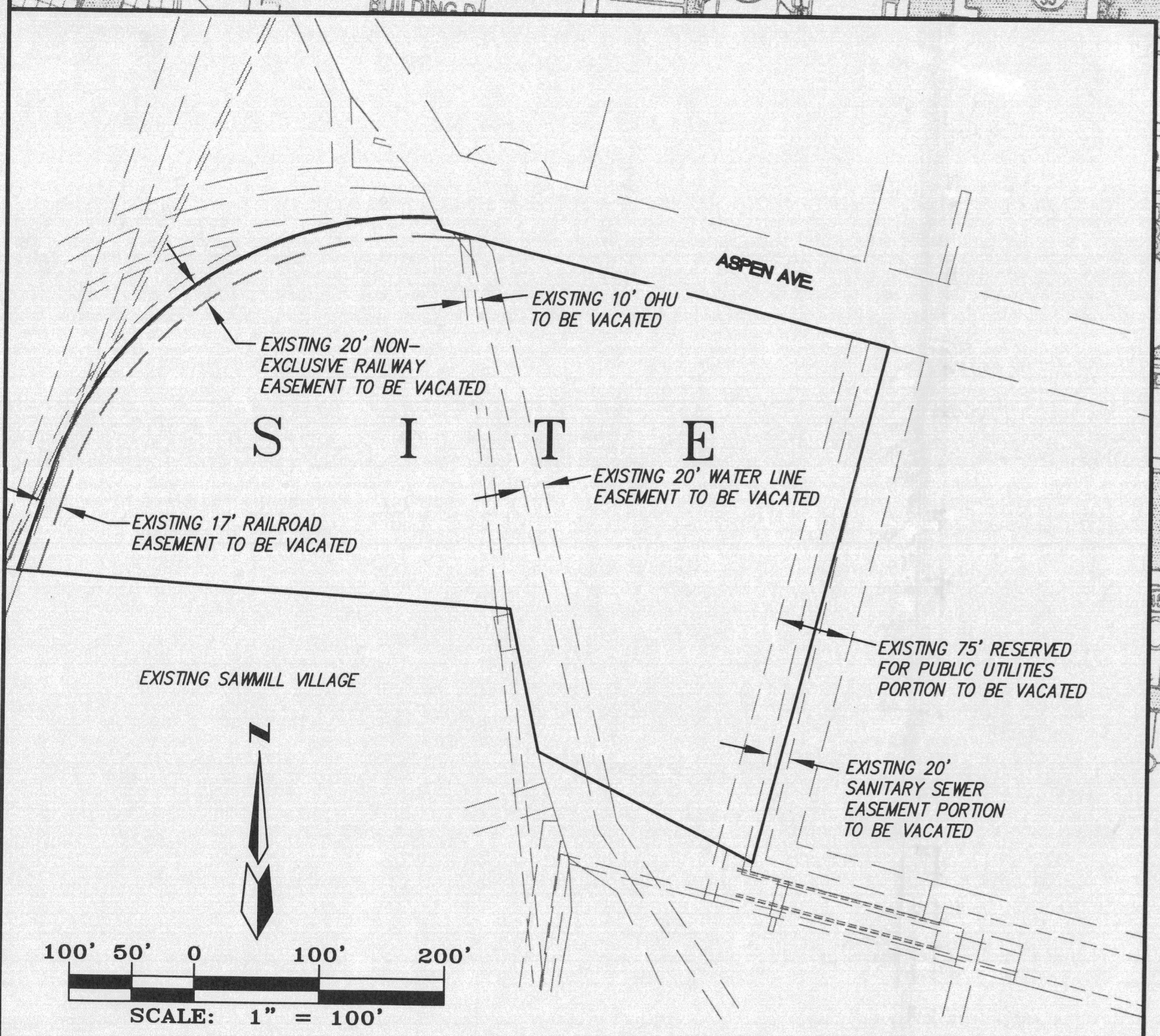
PLAN INDEX	SHEETS
SITE PLAN FOR SUBDIVISION	1
DESIGN STANDARDS	2
DESIGN STANDARDS AND CONCEPTUAL UTILITY PLAN	3
CONCEPTUAL GRADING & DRAINAGE PLAN	4
LANDSCAPING PLAN	5&6

**SAWMILL CROSSING**  
**SITE PLAN FOR SUBDIVISION**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

LAST REVISED: 02-01-12  
Scale: 1" = 50' Date: 11/22/2011 Job: A11047 Sheet 1 of 6



**EXISTING EASEMENTS**

**PREPARED BY:**  
D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200

**PREPARED FOR:**  
SAWMILL CROSSING, LLC  
7400 HANCOCK CT. NE  
ALBUQUERQUE, NM 87109  
PH: (505) 797-1134  
FAX: (505) 797-8589

**LEGEND**

- PATTERNED CONCRETE
- NEW CURB AND GUTTER
- NEW SIDEWALK
- EXIST. EASEMENT LINE
- EXIST. PAVEMENT
- PHASE BOUNDARY
- PERIMETER WALL
- FUTURE CURB & GUTTER
- EXIST. OVERHEAD UTIL. LINES
- EXIST. PERMANENT CURB
- PROPERTY LINE
- NEW EASEMENT LINE
- EXIST. RAILROAD TRACK
- EXIST. SAS MANHOLE
- NEW HC RAMP
- EXISTING FENCE

F:\A11047\SAWMILL CROSSING\SITE PLANS\A11047 SAWMILL SITEPLAN2.DWG 4/24/2012 9:33:12 AM, stephen

**SITE DESIGN STANDARDS**

The purpose of these design standards is to enhance the developed surface appearance so that new residents and their visitors can experience a positive visual feel within their new home environment. These standards establish the basis from which the new home builder will use to create an inviting and vibrant community that when combined with distinctive identities can be unique to the Sawmill Area. The Sawmill Sector Development Plan has been utilized as the foundation from which key aesthetic elements have been generated, but the ultimate goal is to enhance the minimums so that a recognizable difference can be perceived by all observers within Sawmill Crossing. Development shall comply with the general regulations of the Zoning Code and the Sawmill/Wells Park Sector Development Plan, except where otherwise noted herein. Where there is a conflict between the regulations and these design standards, the more restrictive shall apply.

**I. BUILDING FORMS**

All new dwellings shall be attached townhomes and joined together as two units, three units, or in a four-unit building, with each home being on its own lot. As detailed on this sheet, the townhomes located on the outside shall have minimum typical lot dimensions of at least 32 feet by 83 feet and the buildings will be 27 feet by 48 feet. With the three and four unit buildings, either one or two slightly smaller inside units (minimum 23 foot by 83 foot lot and 23 foot by 45 foot dwelling) will be combined with the outside units. Facades of inside units shall be recessed at least 3 feet behind the facades of exterior units. Interior dwelling areas will range from 880 SF up to 1650 SF.

- A. The maximum number of connected dwelling units shall be four.
- B. All buildings shall be two stories.

**II. ARCHITECTURAL STANDARDS**

- A. The exterior building materials utilized in construction of the homes, including colors, window and door styles, and roof slope and materials, shall be the same or similar on all parts of the structure.
- B. Typical building styles within this development shall be Southwest or New Mexico Vernacular, Pueblo, Territorial, or Northern New Mexico. Minor variations to these typical appearances may be allowed in order to customize individual homeowner preferences, provided the fundamental characteristics of the particular style are maintained. Courtyards and their walls shall also be consistent with the theme of the main building.
- C. Inside townhome facades shall be recessed in at least 5 feet or protrude out at least 5 feet from their garage front.
- D. Roofs may be flat, pitched, or combination of both, and they may be metal with colors being limited to earth-toned browns, grays, gavalume, and greens. When not flat, roof slopes shall be 30 to 45 degrees.
- E. All front doors of dwellings shall face the street.
- F. The garage doors on outside townhomes shall not be wider than 16 feet and on inside townhomes not wider than 8 feet. With four connected units the maximum allowed garage door width shall be 50% of total building width. With three connected units the maximum allowed width shall be 52%, and with two connected units the maximum allowed width shall be 59%.
- G. Exterior finishes on all new homes shall be stucco that is limited to earth-toned shades of brown, tan or sage green. Standard, untextured 8-inch by 16-inch CMU block is not allowed as a finish material for buildings. Where more than one dwelling unit is attached, the stucco color of the inside unit(s) shall be of a different color than the outside units.
- H. Accent materials shall consist of rock, tile, or brick in the entry portals, front doors, window frames and related trim. These elements shall be limited to shades of white, blue, brown, or green.
- I. Exterior doors and garage doors shall be composed of painted metal, stained wood or painted wood, all of which shall match the architectural theme of the dwelling.
- J. Not less than 12.5% of a building facade facing public R/W shall be windows (to include garage door windows). New windows shall be recessed at least 2 inches or surrounded by a casing not less than 2 inches wide. Reflective glass is not permitted.

**III. PEDESTRIAN ACCESS AND CIRCULATION**

- A. Running north to south through the middle of Sawmill Crossing is a proposed 6-foot sidewalk that shall connect directly between Aspen Avenue and Bellamah Avenue. This sidewalk shall also connect to where a new sidewalk is stubbed out by the adjoining Sawmill Village. North of the subject property the new on-site pedestrian route shall be extended to tie into the existing sidewalk along the west side of Mill Pond Road. Inside the site benches shall be provided every 100 feet along the route.
- B. New sidewalks shall be installed in front of all new dwellings and along the south side of the on-site ponding area.
- C. All pedestrian improvements shall be handicap accessible and constructed according to the ADA regulations. New handicap ramps shall be installed at all street intersections and wherever a sidewalk has to cross a street, with pavement markings to identify the cross-walk.
- D. Lot 27 shall contain a handicap accessible dwelling with interior design features intended to accommodate handicapped individuals. It shall be eligible to be converted to a conventional dwelling if it is not sought after by a handicapped individual. Handicapped accessible units may be less than two stories.

**IV. OPEN SPACE**

- A. Minimum area of usable open space for outside townhomes shall be 1200 SF, while minimum usable area for inside townhomes shall be at least 600 SF.
- B. At least 10,000 SF of additional open space shall be provided on the pedestrian route running through the middle of the site and in the picnic area.

**V. LIGHTING STANDARDS**

- A. Lighting on public streets shall be in accordance with the City's DPM and Regulation 14-16-3.9 of the Zoning Code.
- B. The use of low-profile, spread-lighting fixtures may be used to accent and provide illumination of landscaped walkways, provided that up-lighting fixtures are not used.
- C. Building mounted lighting shall be shielded and designed to minimize fugitive lighting across property lines, and not projecting upward so that dark skies can be preserved.

**VI. LANDSCAPE STANDARDS**

- A. Front Yard Minimum
  - 1. Accent Tree at least 2" caliper or 10 feet high at the time of planting
  - 4. Shrubs (minimum 5 gallon)
  - 4. Shrubs (minimum 1 gallon)
  - 2. Landscape Boulders (3' x 3' minimum, with only one being placed in middle units)
- B. Accentuating "river rock" (max. 25% of area) and bark mulch (free wells only) is also permitted in front yard landscaping.
- C. At a minimum, all front yard landscaping and common area landscaping shall be required to contain 1/2" to 3/4" diameter Santa Ana Tan, Santa Fe Brown, or Pueblo Rose (or similar) rock over filter fabric in all front yard areas that are not covered with living vegetative groundcover.
- D. Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.
- E. Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition.
- F. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.
- G. Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.
- H. Shade trees spaced at least 30 feet on center shall be installed along the site's north boundary within Aspen Ave. and maintained by the HOA. A minimum of 75% of the ground in this area shall be covered with live plant material using anticipated mature tree and plant sizes.

**VII. SCREENING / WALLS & FENCES**

- A. Perimeter walls around the property shall be designed in accordance with Section 14-16-3-19 (B) of the City Zoning Code. Walls shall be colored, consist of a patterned scheme, and be constructed of split-face concrete masonry topped with a continuous cap (see detail this sheet).
- B. Side and courtyard walls shall be limited to 5 feet high.
- C. Unfinished gray block, barbed wire, chain-link, and vinyl fencing are prohibited.
- D. Maximum rear yard and perimeter wall heights shall be 6 feet, unless noted otherwise.

**VIII. SETBACKS**

- A. Minimum Front Yard: 15 feet, except for lot 60, which contains a minimum 10' setback
- B. Minimum Rear Yard: 15 feet, unless noted otherwise in the setback variance detail, on this sheet. Lots 32 thru 45 shall contain a minimum 18' rear yard setback.
- C. Minimum Side Yard: No required setback, although there shall be at least 10 feet on the street side of corner lots (except lot 45).
- D. There shall also be a minimum of 10 feet between residential buildings.
- E. Building portions over 15 feet high shall be set back not less 25 feet from the front property line, except for the fronts of inside townhomes over the garage, which shall be set back not less than 23 feet from the front property line.

**IX. OFF-STREET PARKING**

- A. For townhomes located on the outside of each building the minimum number of off-street parking spaces provided shall be four. For townhomes located on the inside of buildings the minimum number of off-street parking spaces provided shall be two.
- B. Driveways shall not be less than 20 feet long.
- C. No more than 50% of each front, side, or rear yard setback area off a street shall be used for parking and/or driveway (except not more than 53% on outside units).

**X. UTILITIES**

- A. All new electric distribution, telecommunication, and cable TV lines associated with the project shall be placed underground. Refer to additional information provided on Sheet 5 regarding protection of existing on site transmission line.
- B. Primary cable boxes, transformers, switch gears, and main-line telephone distribution cabinets shall be screened with walls and vegetation to the extent possible, provided they are still compliant with the standards of all dry utility companies

**XI. SIGNAGE**

- A. Signage allowed within the site shall be as illustrated on the wall below with two signs being located at the entry.

**XII. NOISE**

- A. New dwellings on Lot 19 through Lot 45 shall use sound insulation and other noise attenuation measures to allow for an indoor sound level of no more than 45 dB(A). Building plans for dwellings on these lots shall be reviewed and certified by a qualified acoustical consultant to check for this limitation.

**XIII. APPROVAL PROCESS**

- A. Being less than 10 acres in size, the Environmental Planning Commission shall be the final authority for this request approval, with final Site Development Plan for Subdivision sign-off being delegated to the Development Review Board. Upon DRB approval of this Site Development Plan for Subdivision, building permit applications shall be checked for compliance to these design standards and approved by city Building Permit officials if they comply.
- B. In accordance with the Zoning Code, the Planning Director shall have the discretion to approve minor amendments to this site development plan, whereas major amendments shall be approved by the EPC.

**SAWMILL/WELLS PARK SECTOR DEVELOPMENT PLAN**  
(within the General Regulations only those that apply to residential uses are listed below)

**General SU-2 Regulations**

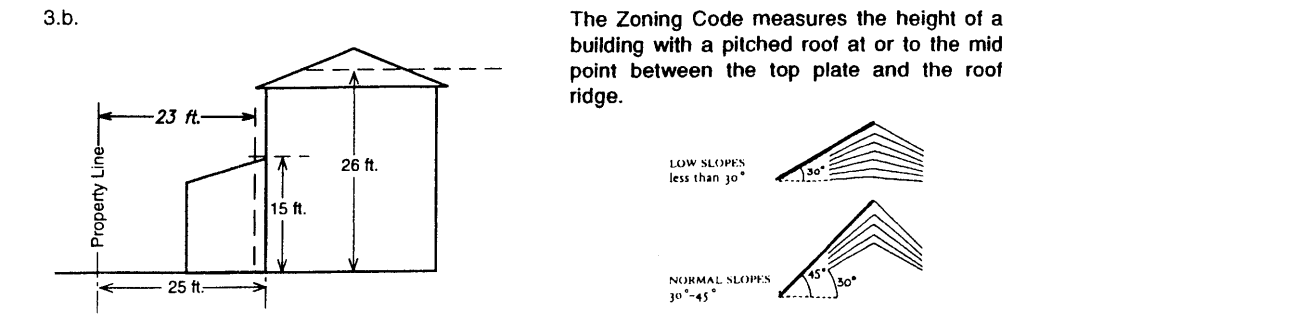
**3. RESIDENTIAL BUILDING DESIGN:** NOTES AND ILLUSTRATIONS

3.a. Building exterior materials (stucco, brick, wood, etc.), color, window and door styles, and roof slope and materials shall be the same or similar on all parts of a structure and on all detached dwelling units on one lot.

**THIS PLAN COMPLIES (REFER TO STANDARD I.I.D. AND I.I.G.)**

3.b. Buildings shall not exceed 26 feet in height. Building portions over 15 feet high shall be set back not less than 25 feet from property lines abutting the public right-of-way or a private street and not less than 10 feet from interior side property lines.

3.b. Sawmill/Wells Park homes are predominantly small and one story. Regulation 3.b. allows two story homes and second story additions to be built if the second story is set back. The set back should prevent these larger homes from dominating and compromising the small-scale character of the neighborhoods.



**THIS PLAN COMPLIES WITH MAXIMUM BUILDING HEIGHT LIMIT (REF. SHEET 1)**

**EXCEPTION**

This plan also complies with minimum second story front setbacks (Standard VIII.E.), except for one-half of the facades on inside units, which are setback at least 23 feet from the street R/W. This variance from the regulation is designed to counteract the appearance of multiple second story facades at 25 feet back from the R/W (on outside units). The other half of the inside unit is setback at least 28 feet from the R/W (see below) to provide supplemental facade articulation.

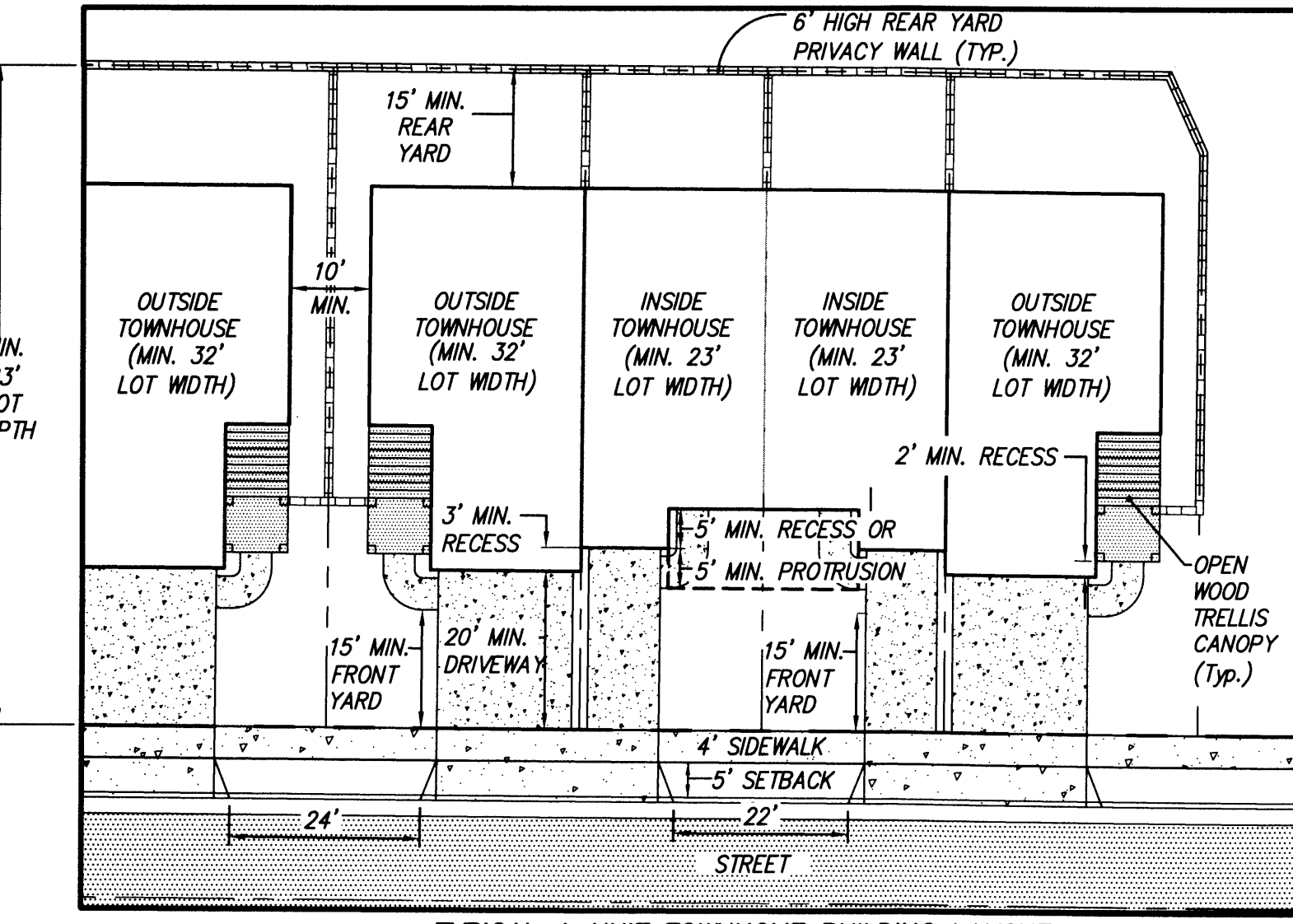
Regarding the 10 foot setback from interior side property lines, this regulation was created to lessen the apparent impact of 2nd story buildings upon adjoining single-story homes (as indicated in the regulatory notes). This would not be the case in Sawmill Crossing since all the homes are planned to be two-story, and there are no other single-story homes in the vicinity of the subject site (the three-story Sawmill Village is directly to the south).

3.c. The slope of new roofs shall range from flat to not more than a 45 degree angle.

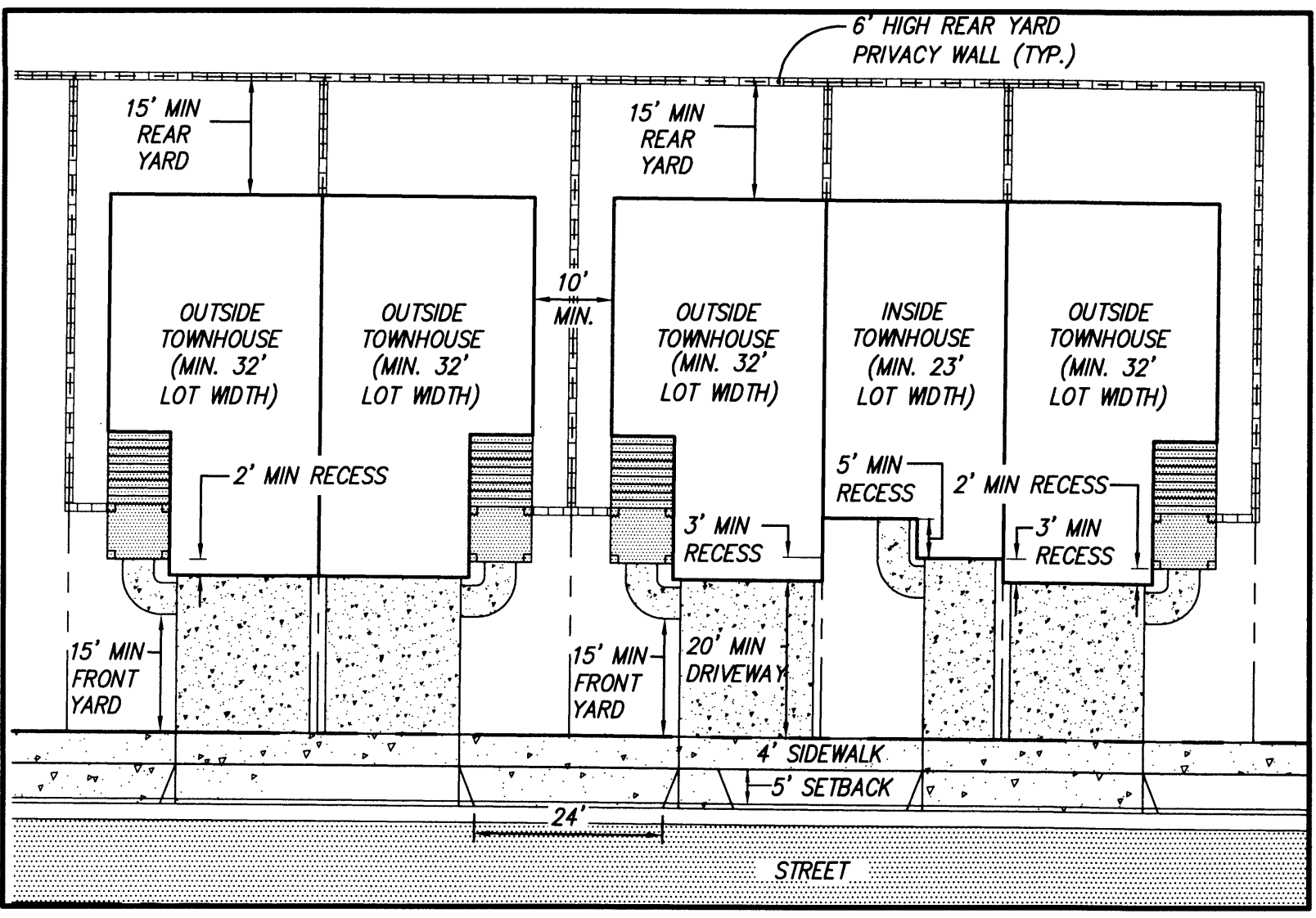
3.c. The roof slopes and styles indicated in 3.c., 3.d., 3.e., and 3.f. are found in Sawmill/Wells Park.

**THIS PLAN COMPLIES**

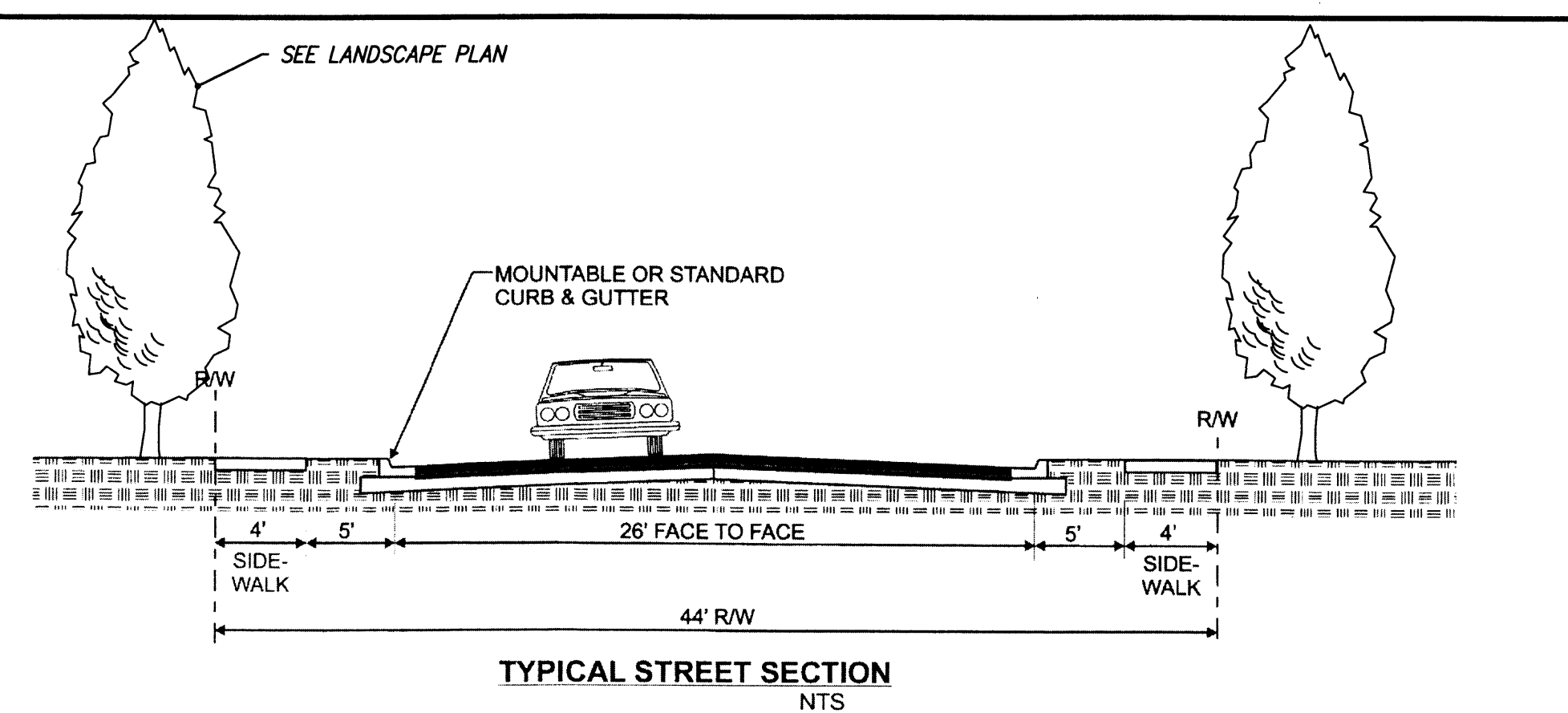
SEE CONTINUATION ON SHEET 3



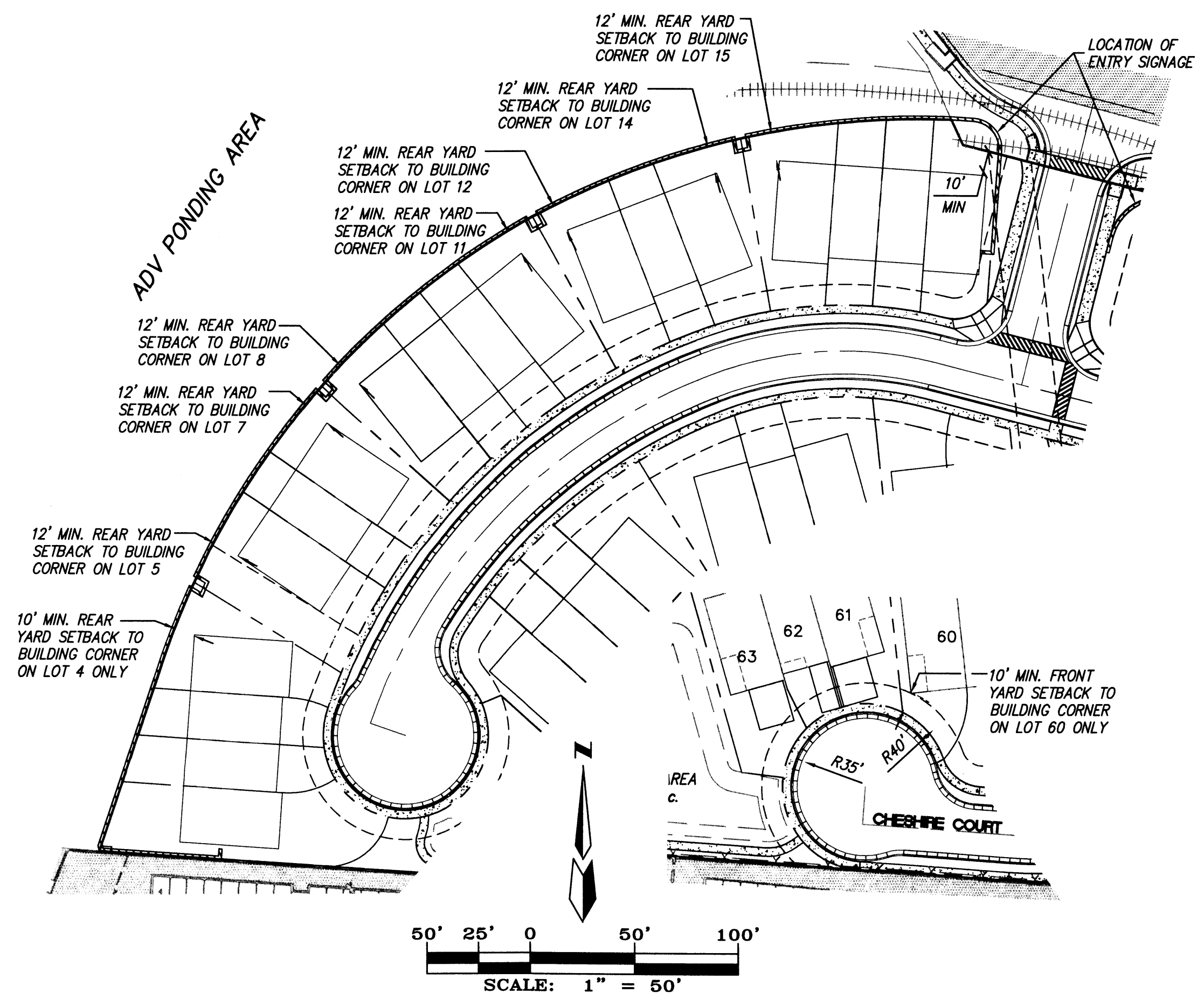
**TYPICAL 4-UNIT TOWNHOME BUILDING LAYOUT**  
SCALE: 1" = 20'



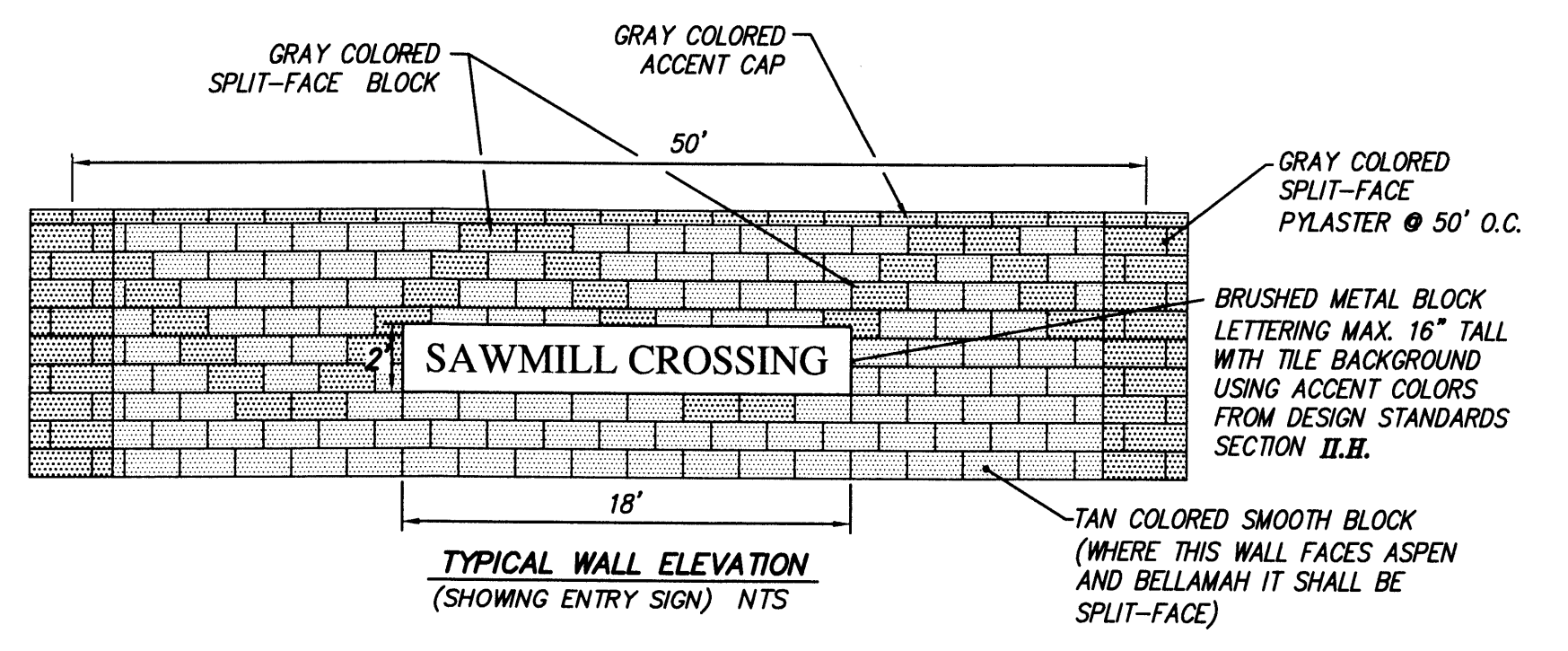
**TYPICAL 2- AND 3-UNIT TOWNHOME BUILDING LAYOUT**  
SCALE: 1" = 20'



**TYPICAL STREET SECTION**  
NTS



**YARD SETBACK VARIANCES FROM THE DESIGN STANDARDS**  
SCALE: 1" = 20'



SEE SHEET 4 FOR DETAIL ON PERIMETER WALL ALONG WEST BOUNDARY OF SITE.

**SAWMILL CROSSING**  
**DESIGN STANDARDS**

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

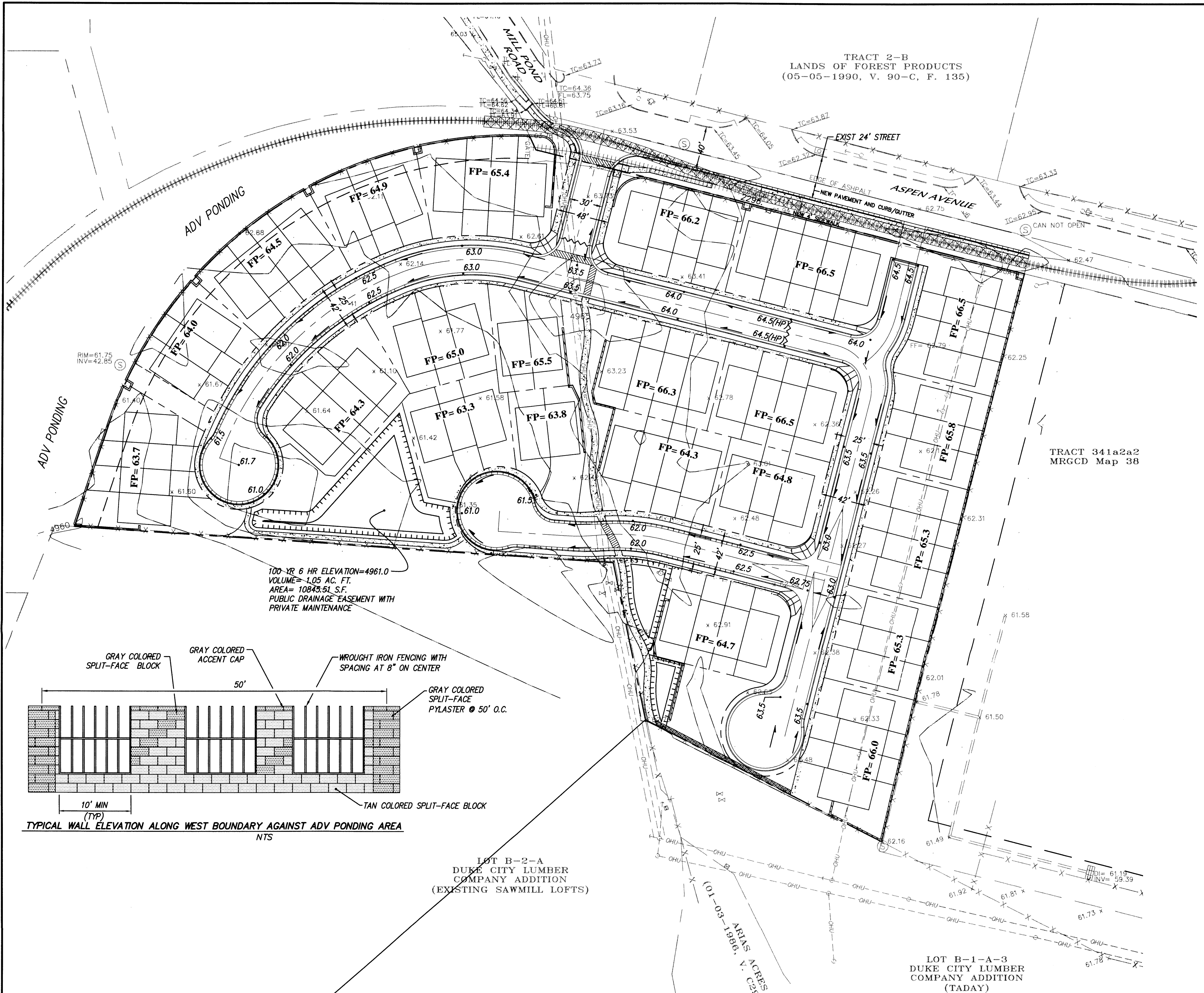
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG  
Scale: 1" = 50' Date: 2/1/2012 Job: A11047

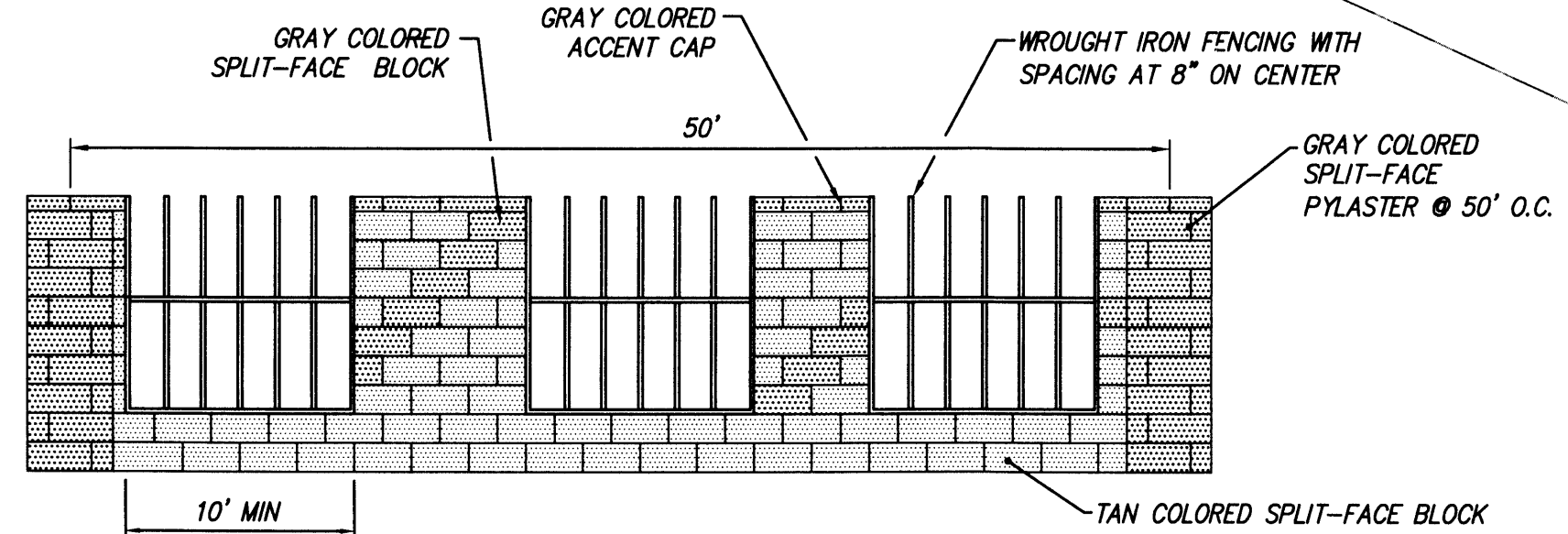
LAST REVISED: 02-01-12  
Sheet 2 of 6



TRACT 2-B  
LANDS OF FOREST PRODUCTS  
(05-05-1990, V. 90-C, F. 135)



100-YR 6 HR ELEVATION=4961.0  
VOLUME= 1.05 AC. FT.  
AREA= 10845.51 S.F.  
PUBLIC DRAINAGE EASEMENT WITH  
PRIVATE MAINTENANCE

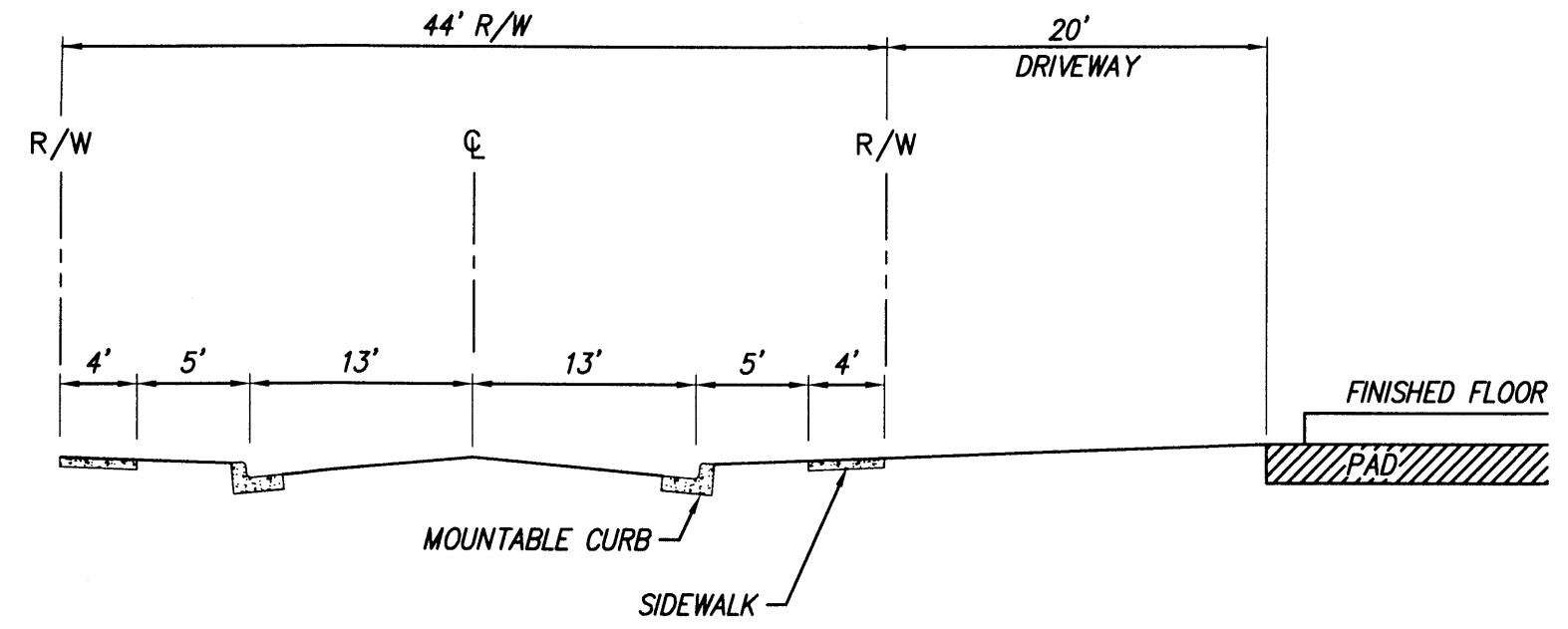
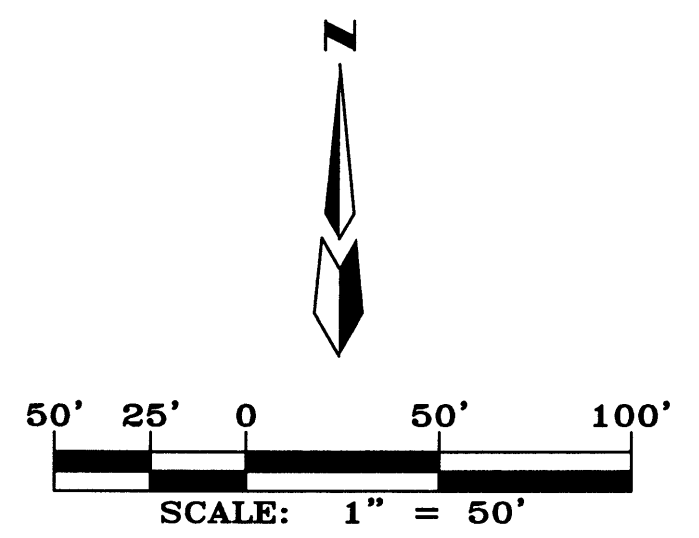


TYPICAL WALL ELEVATION ALONG WEST BOUNDARY AGAINST ADV PONDING AREA  
NTS

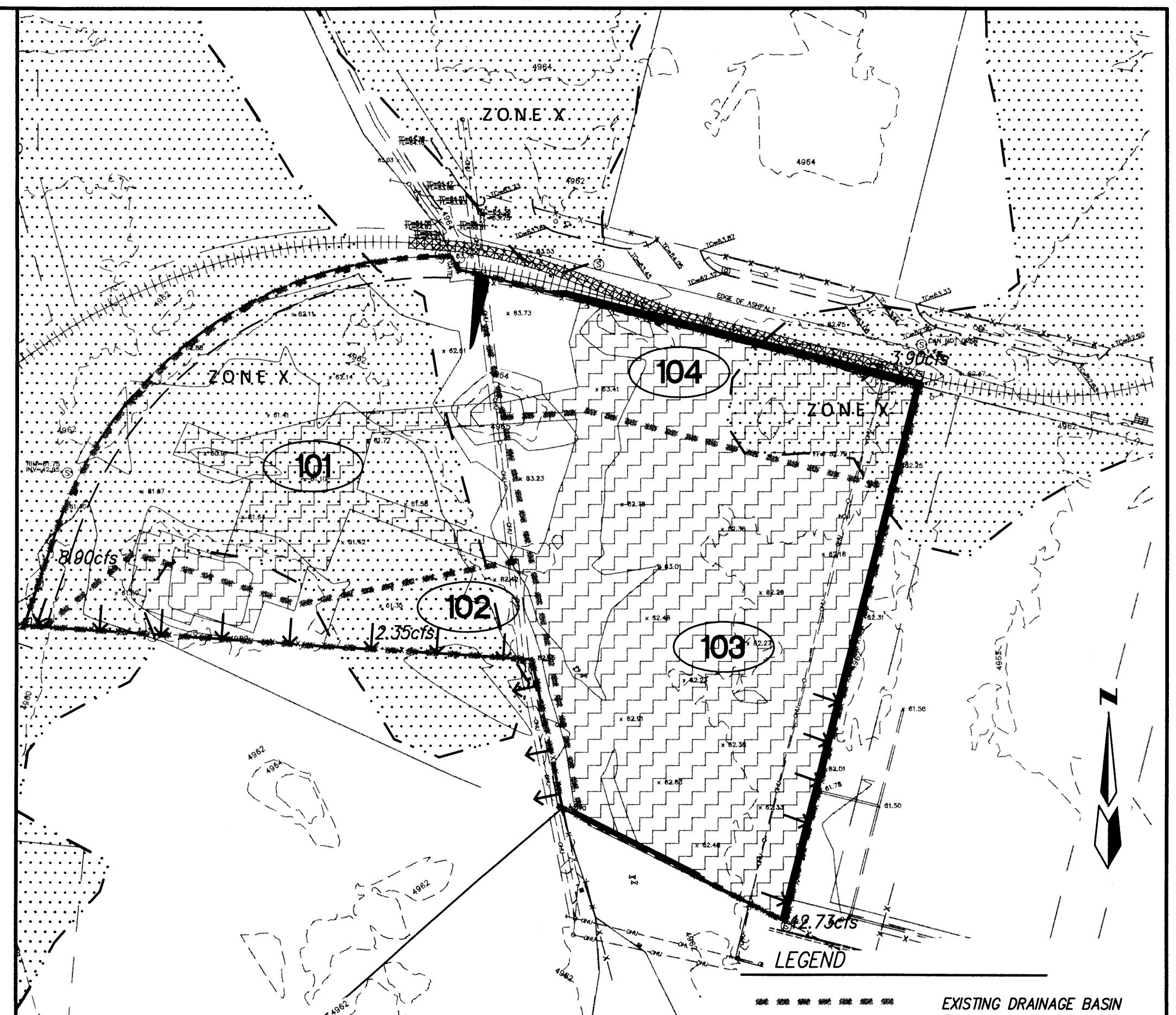
LOT B-2-A  
DUKE CITY LUMBER  
COMPANY ADDITION  
(EXISTING SAWMILL LOFTS)

LOT B-1-A-3  
DUKE CITY LUMBER  
COMPANY ADDITION  
(TADAY)

- LEGEND**
- 4962--- EXISTING CONTOUR PER SURVEY BY ALDRICH LAND SURVEYING
  - 63.0 X EXISTING SPOT ELEVATION
  - == EXISTING CURB & GUTTER
  - ===== NEW WALL
  - ===== NEW SIDEWALK
  - ===== NEW CURB & GUTTER
  - .61.7 NEW SPOT ELEVATION
  - FP= 64.8 NEW FINISHED PAD ELEVATION
  - ← NEW FLOW DIRECTION ARROW



TYPICAL SECTION



SAWMILL PREDEVELOPMENT DRAINAGE DETAIL  
SCALE: 1"=100'

PRE DEVELOPMENT RUNOFF CALCULATION			
ID	AREA (AC)	IMPERV (%)	Q <sub>100</sub> (cfs)
101	2.5	30	8.92
102	0.7	15	2.35
103	2.8	95	12.73
104	0.9	80	3.90
TOTAL	6.9	-	27.90

- LEGEND**
- EXISTING DRAINAGE BASIN BOUNDARY
  - 103 DRAINAGE BASIN ID
  - ← DRAINAGE FLOW
  - ===== EXISTING IMPERVIOUS AREA
  - LIMITS OF FLOOD HAZARD ZONE X (SHADED)
  - LIMITS OF FLOOD HAZARD ZONE X (SHADED)
  - 4962--- EXISTING CONTOUR

**LEGAL DESCRIPTION:**  
LOT B-1-A-2 OF THE DUKE CITY LUMBER ADDITION  
6.9292 ACRES FILLED DECEMBER 15, 1995.  
VOLUME 95C FOLIO 451  
ZONE ATLAS PAGE -- H-13

**EXISTING SITE TOPOGRAPHY**

TOPOGRAPHIC INFORMATION ON THIS PLAN WAS OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. IT IS PART OF THE 2004 TOPOGRAPHIC SURVEY ON NAVD '88 DATUM AND IT HAS A 2 CONTOUR INTERVAL. EXISTING IMPERVIOUS SURFACES ON THE SITE HAVE BEEN DIGITIZED BASED ON A 2010 ORTHOPHOTO OBTAINED FROM BERNALILLO COUNTY GIS WEBSITE. THERE ARE SEVERAL CONCRETE BUILDING FOUNDATIONS REMAINING ON THE SITE, BUT THERE ARE NOT ANY EXISTING STRUCTURES. THERE IS EXTENSIVE ASPHALT PAVING ON THE SITE THAT HAS NOT BEEN MAINTAINED FOR SEVERAL YEARS SO IT HAS TALL GRASS AND WEEDS GROWING IN THE CRACKS. THE SITE IS LOCATED ON A RIDGE THAT BISECTS THE SITE IN A NORTH/SOUTH DIRECTION. AN ELECTRIC POWER TRANSMISSION LINE AND ABCWIA WATERLINE AS LOCATED ON THE CREST OF THAT RIDGE. THE SITE IS FLAT SLOPING EAST AND WEST AWAY FROM THE RIDGE AT ABOUT 1% SLOPE. THERE IS NO DRAINING ONTO THIS SITE FROM ADJOINING PROPERTY BECAUSE THIS SITE IS HIGHER THAN NEIGHBORING PROPERTIES IN ALL DIRECTIONS EXCEPT NORTH AND ASPEN AVE. DRAINS TO THE EAST. FROM THE RIDGE ELEVATION, 4964' THE ELEVATION DECREASES ABOUT 2' TO THE EAST PROPERTY LINE AND ABOUT 4' TO THE WEST PROPERTY LINE.

STORM WATER RUNOFF FROM THE EAST HALF OF THIS SITE APPEARS TO HAVE HISTORICALLY DRAINED ON THE SURFACE INTO THE PROPERTY TO THE EAST OF THIS SITE. A VALLEY GUTTER IS LOCATED IN THE ASPHALT PAVING ABOUT 100' NORTH OF THE SOUTH EDGE OF THIS SITE AND DRAINS THRU THE PARKING LOT EAST OF THIS SITE INTO A MUCH DEEPER VALLEY GUTTER IN THAT NEIGHBORING PARKING LOT. THAT DEEPER VALLEY GUTTER DRAINS FROM NORTH TO SOUTH. IT INTERCEPTS ALL OF THE DRAINAGE FROM THE EAST HALF OF THIS SITE TOGETHER WITH DRAINAGE FROM THE OFFSITE PARKING LOT LOCATED EAST OF THIS SITE AND CONVEYS IT TO AN EXISTING SMALL (10' OR 12') STORM SEWER LOCATED 300' EAST OF THIS SITE IN BELLAMAH AVE. EXCESS DRAINAGE MAY CREATE NUISANCE PONDING EITHER IN BELLAMAH AVE. OR THE PRIVATE PROPERTY SOUTH OF BELLAMAH AVE.

A RAILROAD SPUR ALONG THE NORTH AND WEST EDGE OF THE SITE IS DEPRESSED SLIGHTLY BELOW THE ADJACENT TERRAIN. THE RAILS AND TIES HAVE BEEN REMOVED FROM THE WEST HALF OF THE SITE. STORM WATER RUNOFF FROM THE WEST HALF OF THE SITE IS COLLECTED IN THE DEPRESSED RAIL SPUR AND CONVEYED TO THE SOUTH IN THAT HISTORIC SPUR ALIGNMENT. THE SITE DOES NOT DRAIN DIRECTLY INTO THE PRIVATE RETENTION/DETENTION POND ADJOINING THIS PROPERTY TO THE WEST. THERE IS AN EXISTING 60" SAS INTERCEPTOR LOCATED ON THE PROPERTY WEST OF THIS SITE BETWEEN THIS SITE AND THAT EXISTING PRIVATE POND. BOTH THE WEST HALF OF THIS SITE AND A 20 ACRE AREA DRAINING INTO THE EXISTING OFFSITE POND HAVE HISTORICALLY DRAINED TO AN EXISTING 18" STORM SEWER LINE IN BELLAMAH AVE. WHICH ONLY HAS 40FS CAPACITY; NOT ENOUGH CAPACITY TO CONVEY THE HISTORIC RUNOFF; THIS RESULTING IN EXISTING OFFSITE PONDING AREAS TO THE SOUTH AND WEST OF THE SITE.

**FLOODPLAINS**

ACCORDING TO FLOOD INSURANCE RATE MAP FIRM, MAP NUMBER 35001C0331G, REVISED SEPTEMBER 26, 2008, THERE ARE NOT ANY REGULATED FLOOD HAZARD ZONES ON THIS SITE. THERE IS HOWEVER, A NON-REGULATED SHADED ZONE "X" ON THE NORTHEAST CORNER AND IN THE SOUTHWEST CORNER INDICATING EITHER A 500 - YR FLOODZONE OR AN AREA PROTECTED BY LEVEE. THERE ARE ALSO TWO "AH" ONES, "ELEVATION = 4959'" LOCATED ABOUT 500' WEST AND SOUTHWEST OF THIS SITE.

**DRAINAGE MANAGEMENT PLAN**

DUE TO THE LIMITED CAPACITY OF EXISTING DOWNSTREAM DRAINAGE FACILITIES, ALL ONSITE STORM WATER RUNOFF FROM THE 100-YR RECURRENCE INTERVAL SIX HOUR DURATION STORM WILL BE CONTAINED IN ONSITE PRIVATELY MAINTAINED RETENTION POND. EXCESS VOLUME, IF ANY, WILL DRAIN AT A RATE NOT TO EXCEED 1.0 CFS IN ITS HISTORIC DISCHARGE LOCATION.

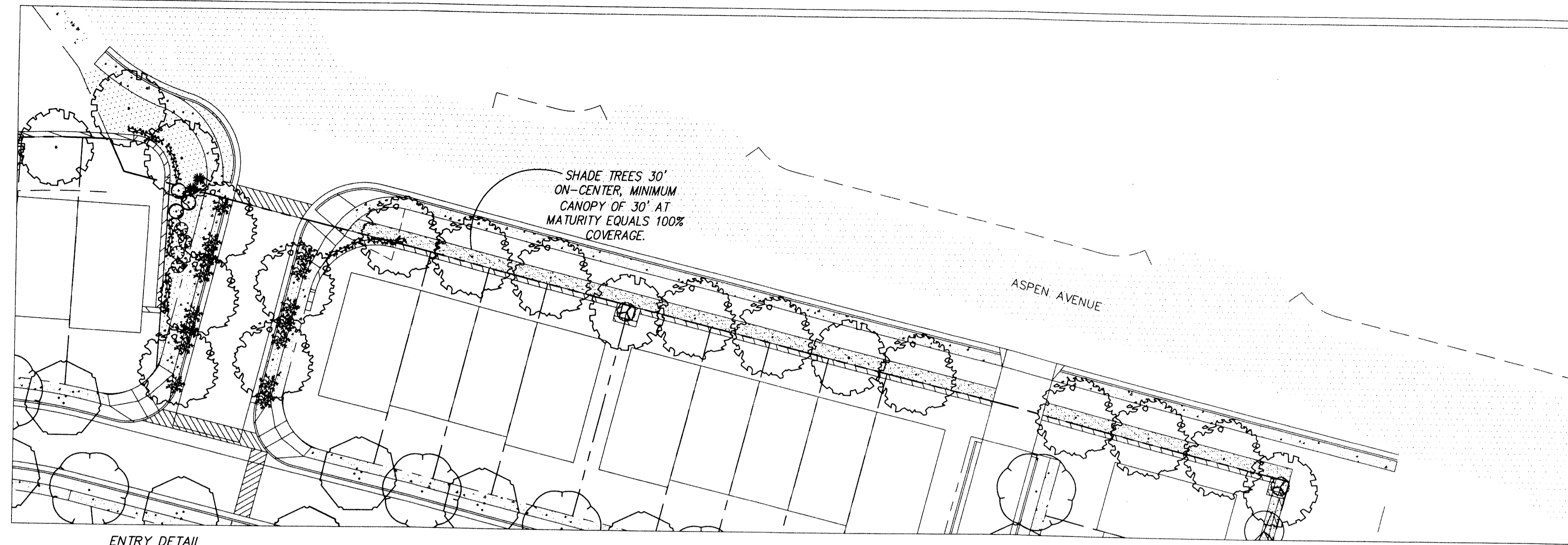
**POST DEVELOPMENT VOLUME CALCULATIONS**

USE 70% IMPERVIOUS FROM TABLE A-5
MEXCESS PRECIPITATION FROM TABLE A-8 (ZONE2)
$2yr[(70\% \times 0.79) + (30\% \times 0.15)] = 0.60"$
$100yr[(70\% \times 2.12) + (30\% \times 1.13)] = 1.82"$
2yr(6hr) Volume = 15,028cf = 0.34 ac ft
100yr 6hr Volume = 45,585cf = 1.05 ac ft

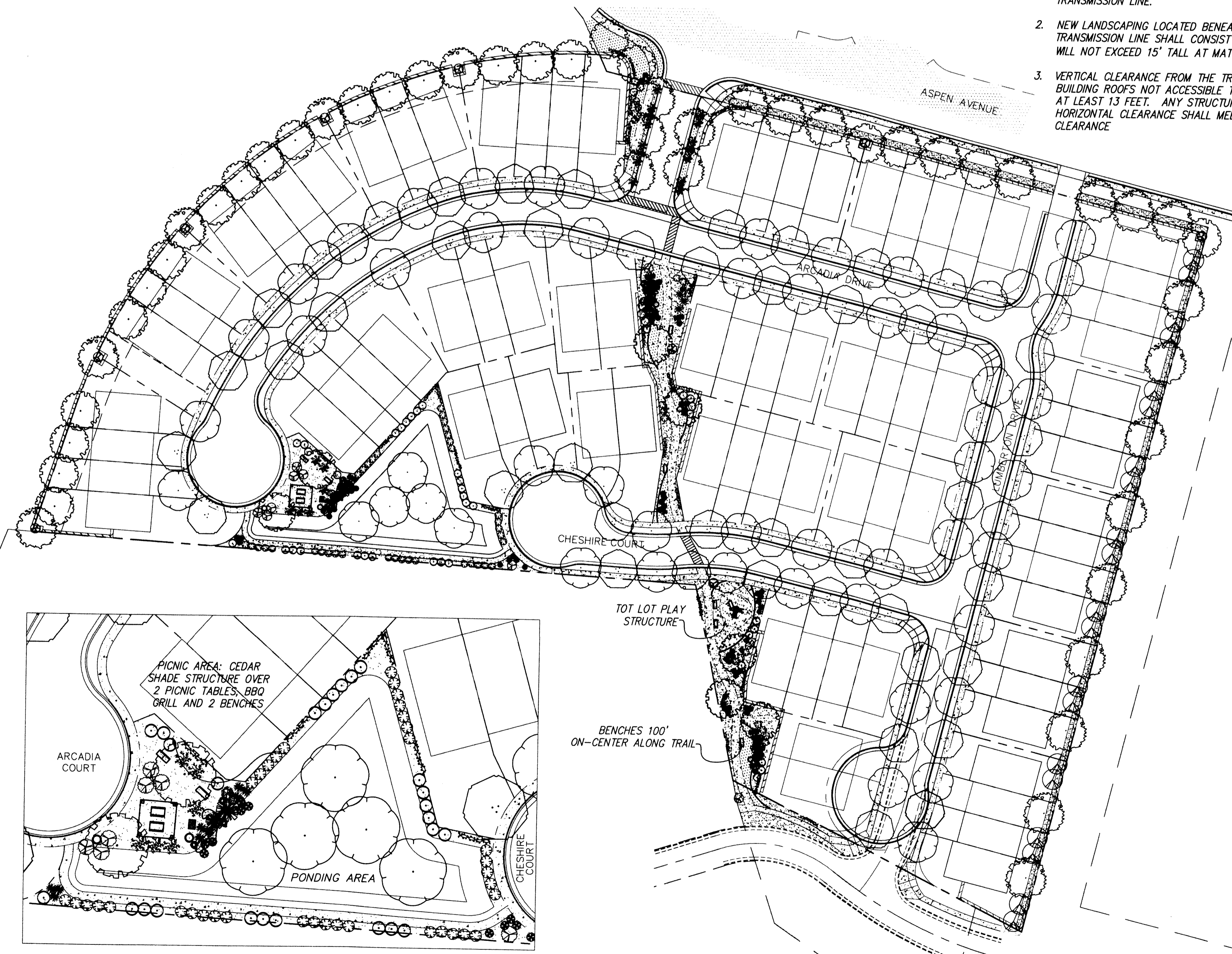
**SAWMILL CROSSING  
CONCEPTUAL GRADING PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

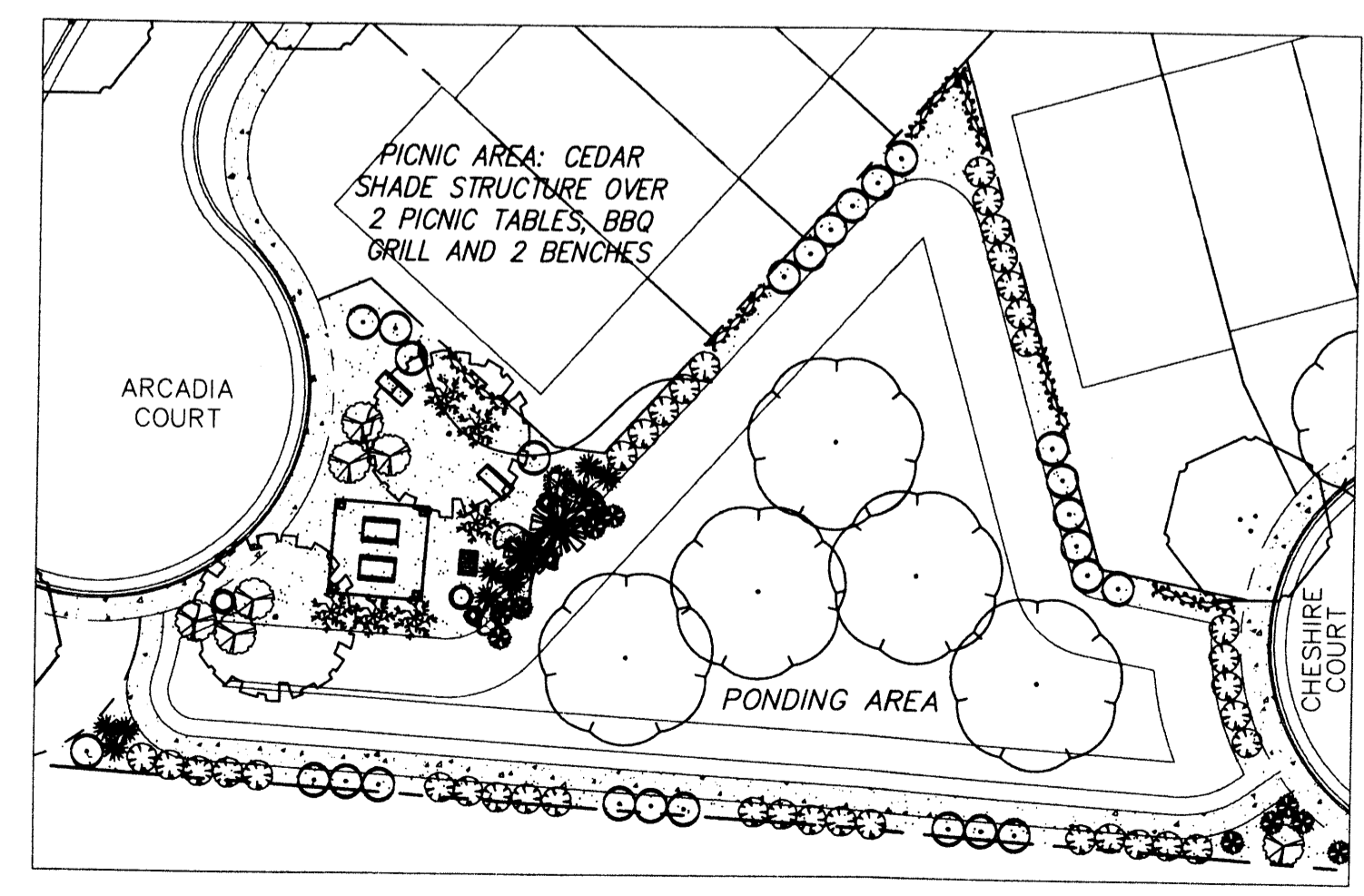
Designed: JM Drawn: SPS Checked: DMG Sheet 4 of 6  
Scale: 1" = 20' Date: 2/1/2012 Job: A10061



ENTRY DETAIL  
SCALE: 1" = 30'

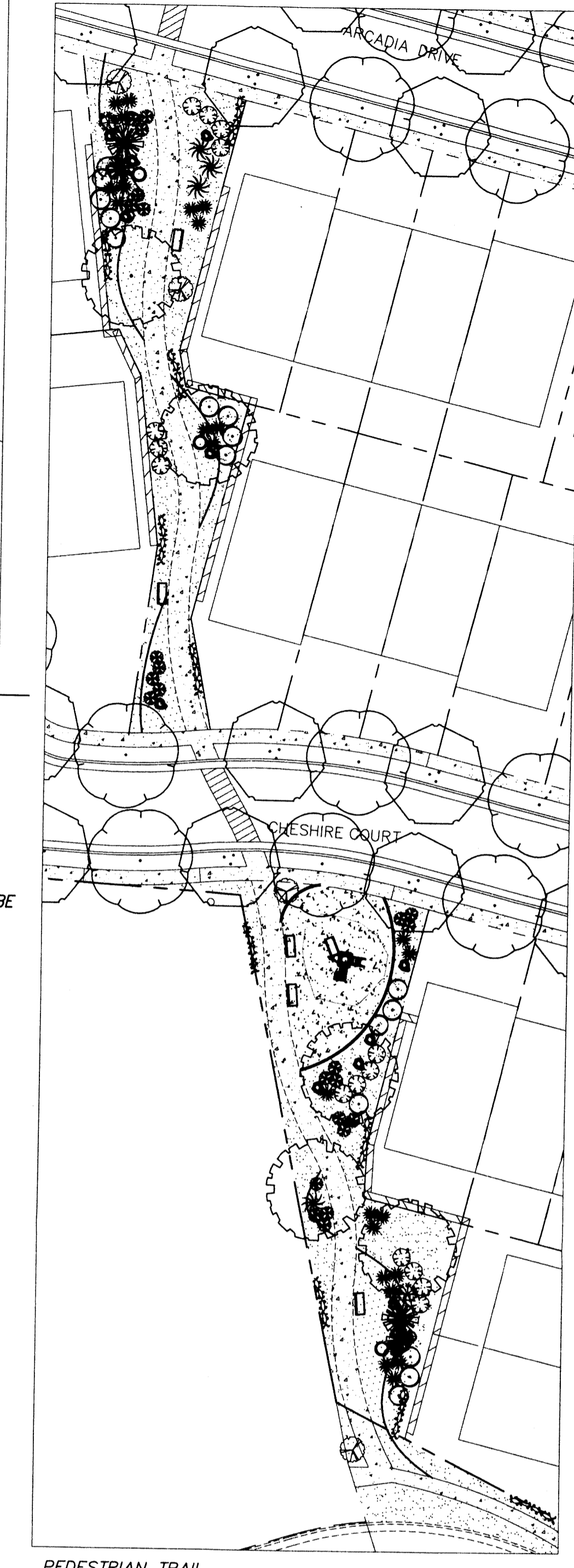


LANDSCAPE PLAN  
SCALE: 1" = 50'

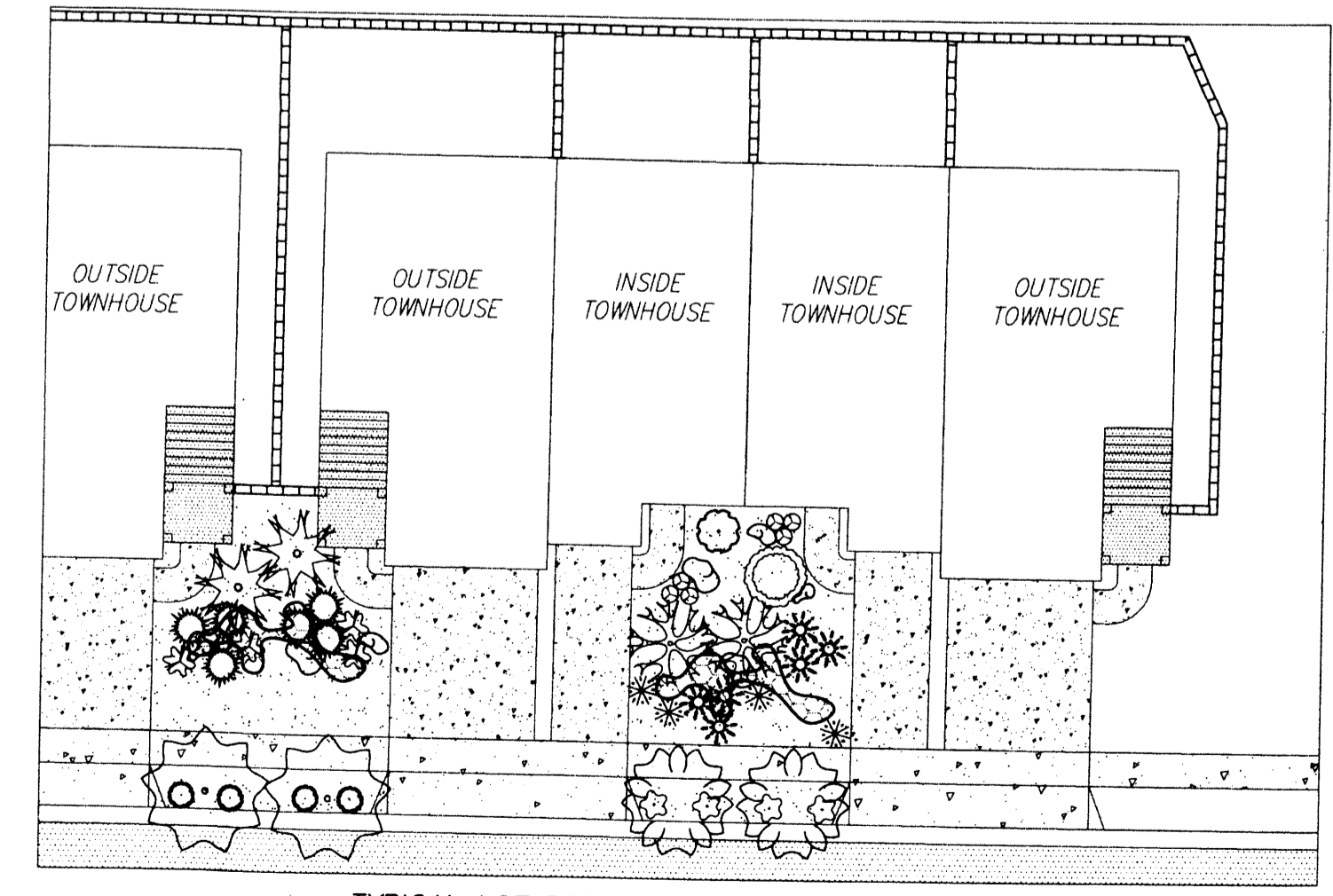


PICNIC AREA DETAIL  
SCALE: 1" = 30'

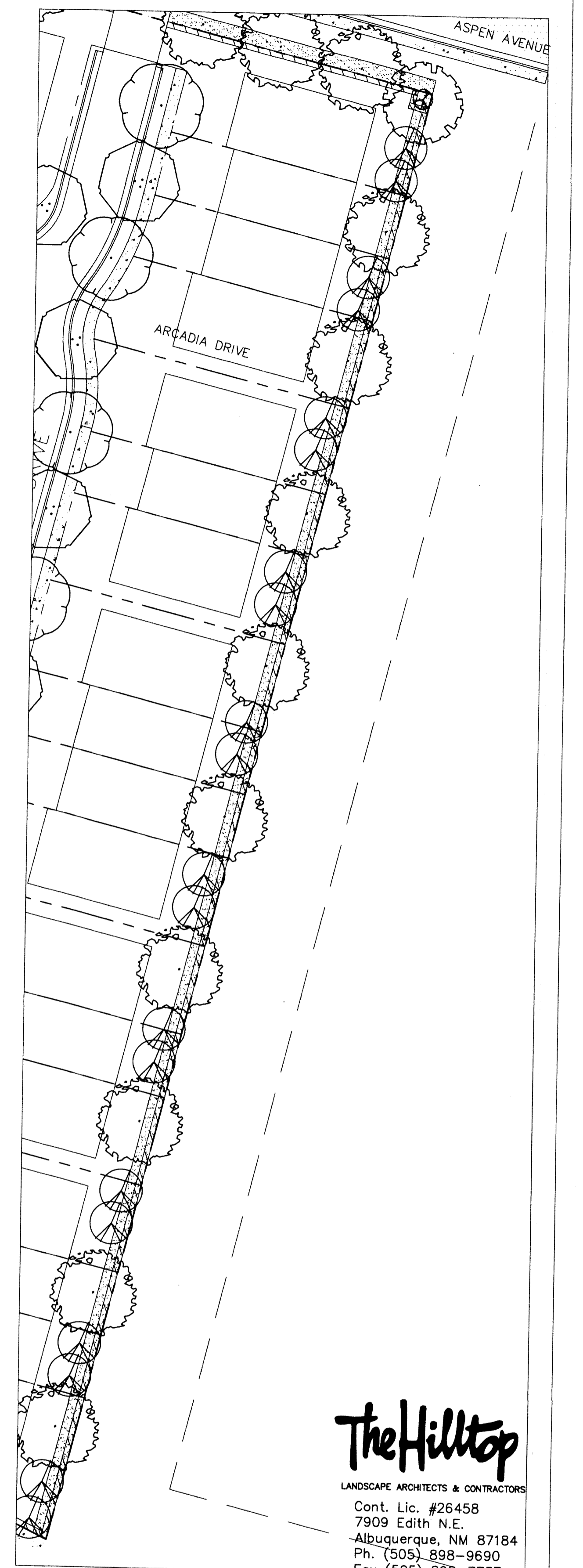
- NOTES
1. IF PLAYGROUND EQUIPMENT IS INSTALLED, IT SHALL BE LOCATED AT LEAST 40 FEET AWAY FROM THE EXISTING OH TRANSMISSION LINE.
  2. NEW LANDSCAPING LOCATED BENEATH THE EXISTING OH TRANSMISSION LINE SHALL CONSIST OF TREE SPECIES THAT WILL NOT EXCEED 15' TALL AT MATURITY.
  3. VERTICAL CLEARANCE FROM THE TRANSMISSION LINE TO BUILDING ROOFS NOT ACCESSIBLE TO PEDESTRIANS SHALL BE AT LEAST 13 FEET. ANY STRUCTURE NOT MEETING HORIZONTAL CLEARANCE SHALL MEET THE VERTICAL CLEARANCE.



PEDESTRIAN TRAIL  
SCALE: 1" = 30'



TYPICAL LOT DETAIL  
SCALE: 1" = 20'



EAST BOUNDARY  
SCALE: 1" = 30'

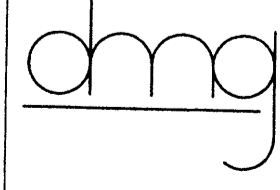
**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7237  
cmj@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed. All plants shall be sized per American Standard for Nursery Stock.

REVISED: 12-29-11 CMJ

SAWMILL CROSSING  
LANDSCAPE PLAN



MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 5 of 6
Scale: 1" = 50'	Date: 11/17/2011	Job: A11047	



**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

**SHADE TREE**

**COMMON HACKBERRY** (Shown Schematically Only)  
Celtis occidentalis  
2' Gal., 12-14' Inst./40' x 40' maturity  
Water (M) Allergy (L) 0sf

**SYCAMORE** (Shown Schematically Only)  
Platanus spp.  
2' Gal., 12-14' Inst./60' x 70' maturity  
Water (M+) Allergy (H) 0sf

**CHITALPA**  
Chilopsis x Catalpa  
2' Gal., 12-14' Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf

**AUTUMN BLAZE MAPLE**  
Acer x Freemanii 'Autumn Blaze'  
2' Gal., 12-14' Inst./40' x 50' maturity  
Water (M) Allergy (L) 0sf

**SCREENING TREE**

**WESTERN RED CEDAR**  
Thuja plicata 'Green Giant'  
15 Gal., 10' Inst./40' x 15' maturity  
Water (M) Allergy (L) 225sf

**DESERT ACCENTS**

**PALM YUCCA**  
Yucca faxoniana  
5 Gal., 15' x 6' maturity  
Water (L) Allergy (L) 0sf

**OCOTILLO**  
Fouquieria splendens  
4'-6' Inst./15' x 10' maturity  
Water (L) Allergy (L) 0sf

**RUSSIAN SAGE**  
Perovskia atriplicifolia  
5 Gal., 18'-3' Inst./6' x 6' maturity  
Water (M) Allergy (L) 36sf

**CHAMISA**  
Chrysothamnus nauseosus  
1 Gal., 6'-15' Inst./5' x 5' maturity  
Water (L) Allergy (L) 25sf

**BANANA YUCCA**  
Yucca baccata  
5 Gal., 18'-3' Inst./4' x 5' maturity  
Water (L) Allergy (L) 25sf

**RED YUCCA**  
Hesperaloe parviflora  
5 Gal., 18'-3' Inst./3' x 4' maturity  
Water (L+) Allergy (L) 16sf

**REGAL MIST**  
Muhlenbergia capillaris  
5 Gal., 12'-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf

**MUGO PINE**  
Pinus mugo  
5 Gal., 12'-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf

**GROUNDCOVERS**

**BUFFALO JUNIPER**  
Juniperus sabinia 'Buffalo'  
5 Gal., 24'-4' Inst./2' x 8' maturity  
Water (L+) Allergy (L) 64sf  
Symbol indicates 3 plants

**LADY BANK'S ROSE**  
Rosa banksiae  
5 Gal., 24'-4' Inst./3' x 20' maturity  
Water (M) Allergy (L) 400sf  
Unstaked Groundcover

**VINES**

**TRUMPET VINE**  
Campsis radicans  
1 Gal., 6'-15' Inst./climbing to 40'  
Water (M) Allergy (L)

**HARDSCAPES**

**COMMERCIAL GRADE STEEL EDGING**

**4" CONCRETE MONOCURB**

**SANTA FE BROWN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**

**3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**

**BIOENGINEERED WOOD FIBER COMPACTED TO A 12" DEPTH WITH FILTER FABRIC**

**OVERSIZED GRAVEL & BOULDERS**

\* DENOTES EVERGREEN PLANT MATERIAL

**FRONT YARD PLANT MATERIAL**

**VITEX**  
Vitex agnus-castus  
15 Gal., 4'-10' Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf

**NEW MEXICO OLIVE**  
Forsythia fremontiana  
15 Gal., 4'-10' Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf

**ROSE OF SHARON**  
Hibiscus syriacus  
5 Gal., 2'-2 1/2' Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf

**SPANISH BROOM**  
Genista hispanica  
5 Gal., 2'-4' Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf

**SCOTCH BROOM**  
Cytisus scoparius  
5 Gal., 18'-3' Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf

**BLUE MIST SPIREA**  
Caryopteris clandonensis  
5 Gal., 12'-3' Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf

**DEER GRASS**  
Muhlenbergia rigens  
1 Gal., 6'-15' Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf

**POTENTILLA**  
Potentilla fruticosa  
1 Gal., 3'-15' Inst./3' x 3' maturity  
Water (M+) Allergy (L) 4sf

**THREADGRASS**  
Stipa tenuissima  
1 Gal., 3'-15' Inst./2' x 2' maturity  
Water (L+) Allergy (L) 4sf

**CATMINT**  
Nepeta mussini  
1 Gal., 3'-15' Inst./1' x 2' maturity  
Water (M) Allergy (L) 4sf

**COURTYARD PLANT MATERIAL**

**GREEN MOUND JUNIPER**  
Juniperus procumbens 'Green Mound'  
5 Gal., 6'-15' Inst./8' x 8' maturity  
Water (L+) Allergy (H) 64sf

**NANDINA**  
Nandina domestica  
5 Gal., 2'-4' Inst./8' x 5' maturity  
Water (M+) Allergy (L) 25sf

**MILDFLOWER**  
1 Gal., 3'-15' Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf

**3/4" SANTA ANA TAN GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH**

**OVERSIZED GRAVEL & BOULDERS**

\* DENOTES EVERGREEN PLANT MATERIAL

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Automatic underground irrigation systems are required to support all landscaped areas and its design shall be in accordance with the City's Water Conservation Landscaping Ordinance.

Within individual lots landscaping and irrigation system maintenance shall be the responsibility of the homeowner, including that which is between the curb and sidewalk. Landscaping shall be maintained in a healthy and attractive condition. Irrigation and landscaping maintenance outside of individual lots shall be the responsibility of the HOA.

Xeric principles are to be employed when designing landscaped areas and they shall include the use of water harvesting areas to the extent possible.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

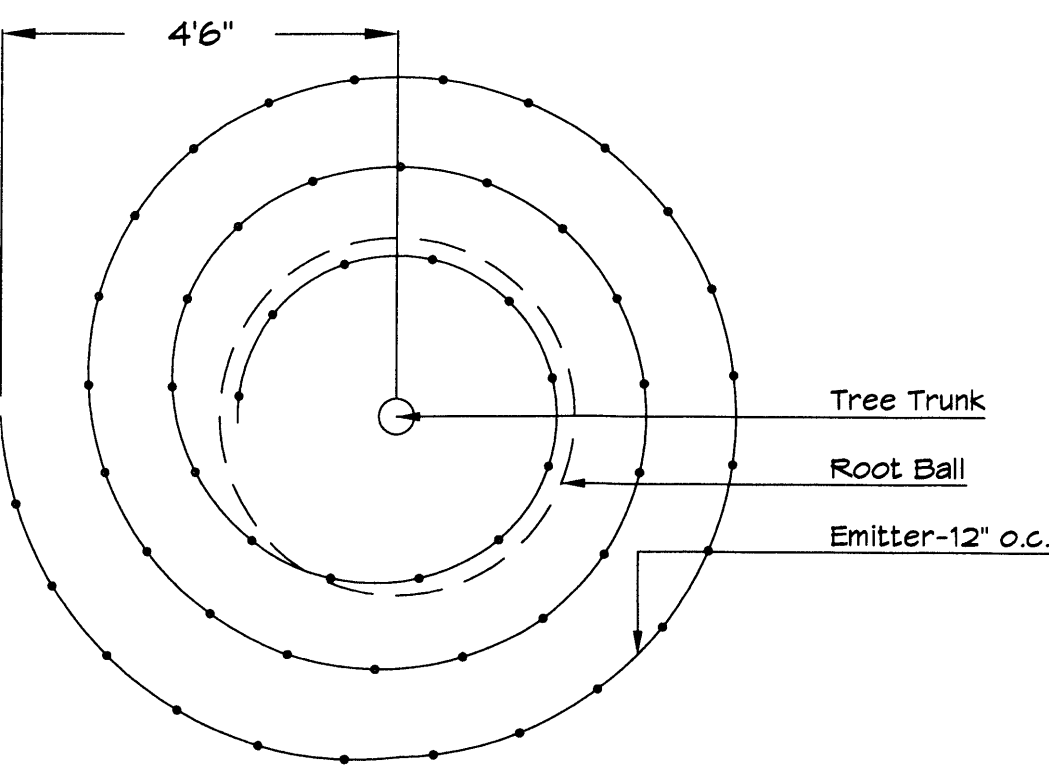
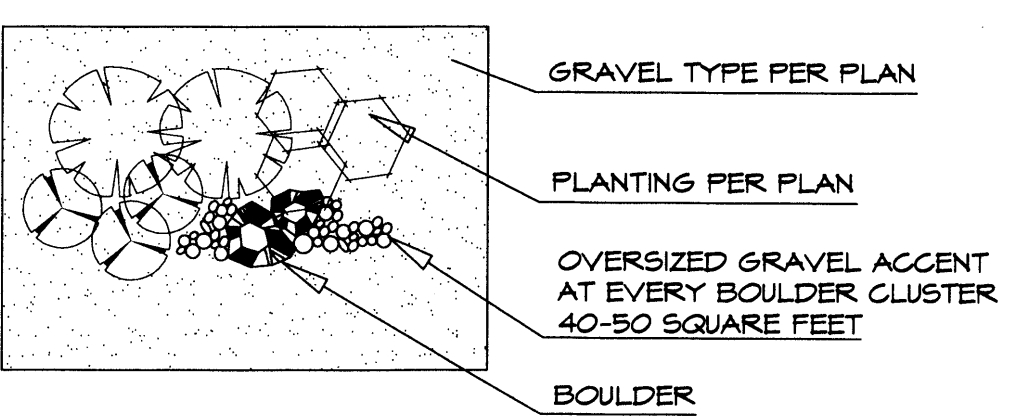
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

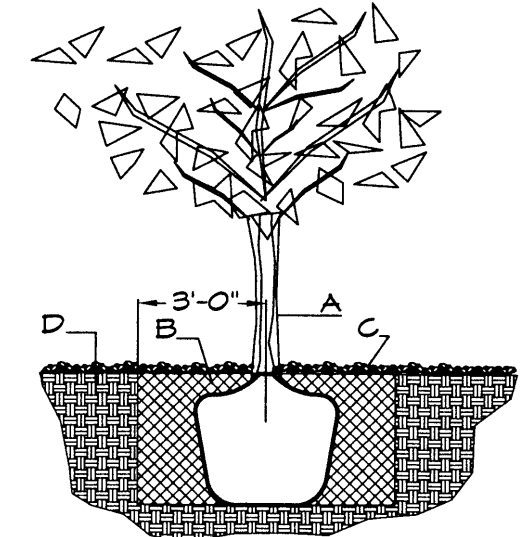
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**GRAVEL ACCENT DETAIL**



**Netafim Spiral Detail**



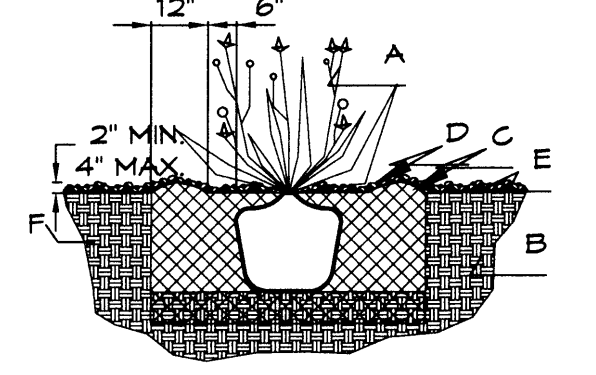
**TREE PLANTING DETAIL**

**GENERAL NOTES:**

1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

**CONSTRUCTION NOTES:**

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.



**SHRUB PLANTING DETAIL**

**GENERAL NOTES:**

1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

**CONSTRUCTION NOTES:**

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.



LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmj@hilltoplandscaping.com  
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reissued or copied unless applicable fees have been paid or an order placed. All plants shall be sized per American Standard for Nursery Stock.

REVISED: 12-29-11 CMJ

**SAWMILL CROSSING**

**LANDSCAPE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 6 of 6
Scale: 1" = 50'	Date: 11/17/2011	Job: A11047	