

**SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION:**

**THE SITE:** The Site is Tract 1, Block 2 of the Volcano Heights Subdivision and Tracts 4 and 5 of the Volcano Cliffs Subdivision, Unit 26, comprising a total site area of 18.79 acres. The property boundaries are Paseo del Norte to the north, Rosa Parks Road to the south, Kimmick Drive to the east, and Calle Plata to the west.

**ZONING AND PROPOSED USE:** The Site is currently zoned SU-2 for VCMX and SU-2 for VCUR. Proposed Uses are Retail, Office, and Multi-Family Residential. The SU-2 VCUR zone refers to the RT, RG, and R2 zones with the following additions and exceptions:  
 1. A minor second dwelling unit up to 650 square feet associated with a single-family detached dwelling unit shall be permitted except in the front yard.  
 2. Parking structures shall be permitted underground.  
 3. Gated and/or walled developments are prohibited.

The SU-2 VCMX zone refers to the SU-1 MX, C-1, and R-2 zones with the following additions and exceptions:  
 1. Parking structures shall be permitted with ground floor level uses along the street façade.  
 2. Single-family detached developments are prohibited.  
 3. Gated and/or walled developments are prohibited.

The SU-2 VCMX mixed use requirement:  
 1. In order to develop a well-functioning mixed-use environment, all development over 10,000 square feet shall contain two or more of the following uses:  
 • Residential  
 • Retail/Service  
 • Office  
 • Civic  
 • Entertainment  
 2. Compliance shall be demonstrated by Master Development or Site Plans. The Planning Director may grant exceptions to property owners with parcels that are a half acre or smaller.

**APPLICABLE PLANS:** Volcano Cliffs Sector Development Plan, Northwest Mesa Escarpment Plan, West Side Strategic Plan, Albuquerque/Bernalillo County Comprehensive Plan.

**DEVELOPMENT PROCESS:**  
 1. Individual sites 5 acres in size or greater shall have site development plan submittals reviewed and approved by the Development Review Board (DRB) prior to issuance of any permits.  
 2. Subdivision of sites 5 acres in size or greater shall be as per a DRB-approved site development plan.  
 3. Sites less than 5 acres in size shall have a site development plan reviewed and approved administratively by the Planning Director or his/her designee prior to issuance of any permits.  
 4. All site development plan submittals shall be in accordance with applicable sections of the Zoning Code, the Volcano Cliffs SDP, and all submittal requirements.

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
**Vehicular Access:** Conceptual access is shown on the site plan. The primary access to this site is from Kimmick Drive (a Minor Collector between Rosa Parks Road and Unser Boulevard). Secondary access is from Rosa Parks Road (a Major Collector) and Calle Plata Road (a Local Road). No direct access to Paseo del Norte (a Regional Principal Arterial) is allowed. Additional access may be granted pending additional traffic analysis and approval by the City Engineer.  
**Transit Access:** There are no bus routes currently in this area.

**Bicycle Access:** The proposed Paseo del Norte Trail will run along the north side of Paseo del Norte. The proposed bike lanes in Kimmick Drive and Rosa Parks Road will connect to the proposed bike lanes and trail along Unser Boulevard.

**Pedestrian Access:** Sidewalks and pedestrian facilities will be provided along all of the external streets, as well as the internal private roadways. The internal pedestrian network will make connections to and from each of the buildings, through the parking areas, and to the public sidewalks within the adjacent rights-of-way.

**FLOOR AREA RATIO:** The minimum F.A.R. for the site is .30. There is no maximum F.A.R. Floor Area Ratio shall be defined as the gross floor area of all buildings at all levels, divided by the total site area of the project, minus undevelopable land (i.e. gross floor area/[total site area - undevelopable areas]). Parking structures shall not be counted toward the gross floor area calculations. Undevelopable land shall be defined as land this not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings. Significant rock outcroppings are defined as bedrock or other stratum a minimum of 6 feet high on its steepest side as measured from the adjacent 10% slope line and in excess of 500 square feet in surface area.

**RESIDENTIAL DENSITY:** Minimum residential density is 8 du/ac and maximum density is 20 du/ac. The density applies to the gross developable area for residential uses, exclusive of site constraints, such as undevelopable land (significant rock outcroppings) and parks, and inclusive of streets and parking. Minimum lot size is 2,200 square feet. See Floor Area Ratio section for a definition of undevelopable land and significant rock outcroppings.

**Residential Garages Access**

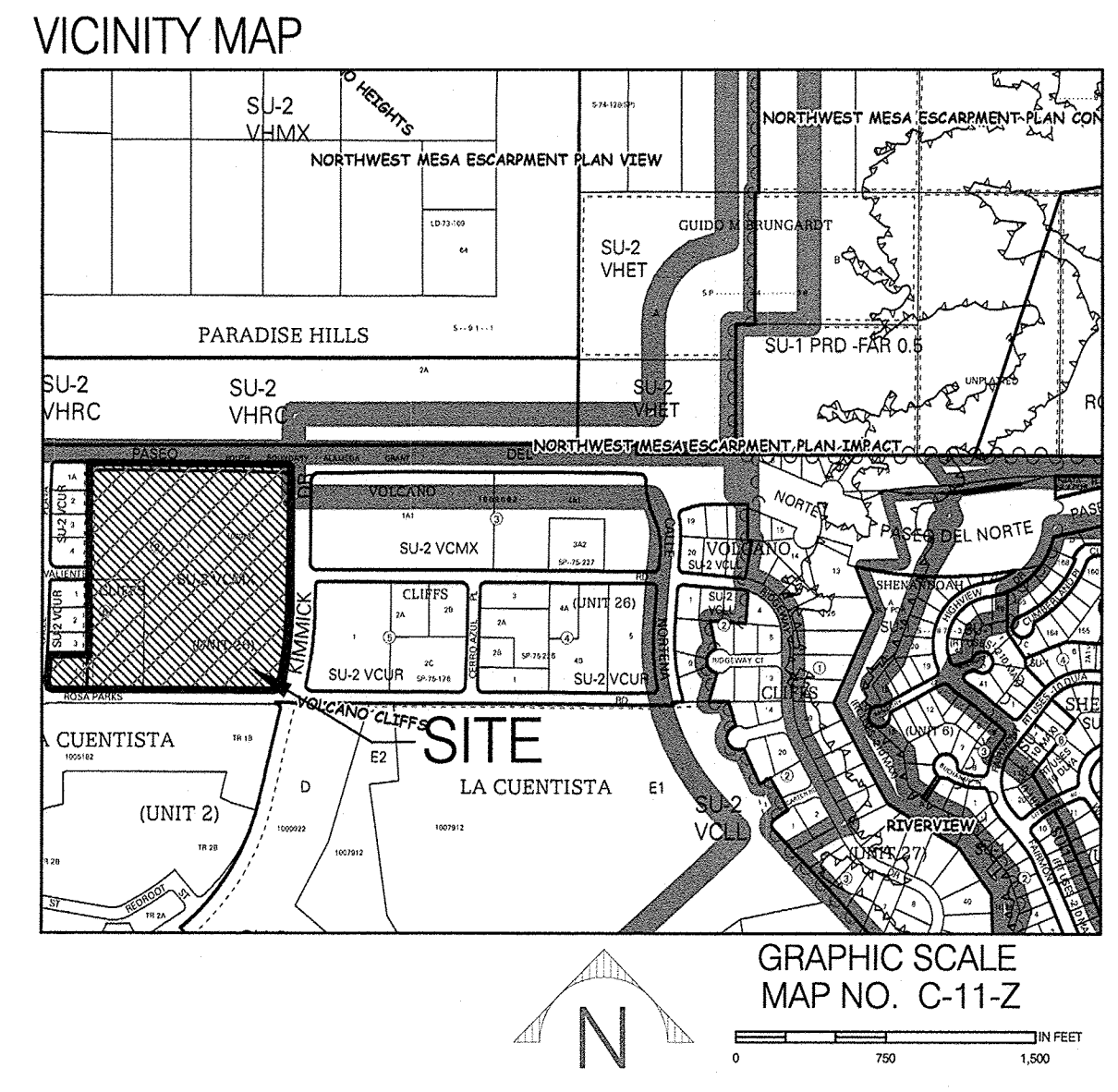
- Where alleys are available, residential garages shall be accessed via the alley. On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.
- Where the uses are allowed, townhouses and courtyard apartments shall use rear-loaded garages.
- Front-loaded garages on residential lots less than 40 feet wide shall be prohibited. Garages on these lots shall be either Garage Type A or D in Figure 7 per standards in the Table 3, Volcano Cliffs SDP Chapter 4.II.B.5.
- Lots equal to or greater than 40 feet shall use any of the garage types in Figure 7 per the requirements in Table 3, Volcano Cliffs SDP Chapter 4.II.B.5.
- Front-loaded three-car garages are not permitted on lots equal to or less than 55 feet wide.
- Garage Types D and F may be accessed from either front or side.
- Driveway access, including drive pad but exclusive of wings, is limited to 20 feet for Garage Types B, C, D, E, and F except where providing access from alleys.
- Where allowed, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the abutting property owner prior to being issued a building permit.

- Design**
- When viewed from the street, garage doors shall not exceed 50% of the total front façade area, inclusive of porches, so that garage doors do not dominate the front façade. Except for Garage Type D, garages must be set back from the main façade of the dwelling unit. The main façade must share a common roof with the dwelling and/or garage.
  - Garage types are limited by lot width, per Table 3, Volcano Cliffs SDP Chapter 4.II.B.5.
  - Three-car garages on lots greater than 55 feet wide shall have a third garage setback of two (2) feet minimum from the primary garage façade.
  - Where there is no setback from the property line, gutters and downspouts shall drain to the street or water harvesting area to avoid impact to abutting lots.
  - The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door.
  - Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble the main structure.

**LANDSCAPE PLAN:** Landscape plans shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance, and the Design Guidelines. Landscaping shall meet City of Albuquerque standard landscape requirements for non-residential development per the City Landscape Regulations (Section 14.16.3.10).

**STREETS:** All interior streets shall be private.

**UTILITIES:** All public waterlines that are not within public rights-of-way shall be located in public waterline easements granted to the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). All sanitary sewer lines shall be private. Public waterline and sanitary sewer extensions may be required for Site Plans for Building Permit.



**SETBACKS AND HEIGHT - SU-2 VCMX**  
**Setback and Frontage**  
 1. Building setbacks (measured from the property line) shall be as follows:  
 a. Front setback: No minimum, 10 feet maximum; however, 50% of the building frontage may be set back farther than 10 feet to accommodate patios and courtyards.  
 b. Side Setback:  
 i. Attached: No minimum  
 ii. Non-attached: 5 feet minimum  
 c. Rear setback: 15 feet minimum  
 d. Residential garage setbacks:  
 i. Side setback: No minimum  
 ii. Rear setback: No minimum  
 iii. Property owners seeking to construct a garage on the property line shall obtain a signed maintenance easement from the abutting property owner prior to issuance of a building permit.  
 2. The following features may encroach into the sidewalk right-of-way, per City encroachment agreement:  
 a. Eaves (4 feet maximum),  
 b. Awnings (8 feet maximum), and  
 c. Minor ornamental features (2 feet maximum).  
 d. Over sidewalk, projections shall be a minimum of 8 feet above finished grade.

**Height**  
 1. Building height limits as follows:  
 a. Minimum: 26 feet  
 b. Maximum: 35 feet  
 c. Square footage above 26 feet is limited to 50% of the building footprint.  
 d. Where a site is adjacent to a site zoned R-1, SU-2/VCLL, or SU-2/VCCR, height is limited to 26 feet.  
 e. Sites within 1,500 feet of the Escarpment edge, the height is limited to 26 feet.  
 2. Chimneys and cupolas may extend 10 feet beyond height limits. Screened equipment and flagpoles may extend 6 feet beyond height limits. Solar panels shall not count toward height limits. Screened equipment shall be set back 15 feet from the façade.

**SETBACKS AND HEIGHT - SU-2 VCUR**  
**Setback and Frontage**  
 1. Building setbacks (measured from the property line) and shall be as follows:  
 a. Front setback: 5 feet minimum, 15 feet maximum  
 b. Side setback:  
 i. Attached: No minimum  
 ii. Non-attached: 5 feet minimum  
 c. Rear setback:  
 i. Without alley: 15 feet minimum  
 ii. With alley: 5 feet minimum  
 d. Residential garage setbacks:  
 i. Residential garages shall be set back from the front façade.  
 ii. Garage side setback: No minimum, if there is alley access.  
 iii. Garage rear setback: No minimum from rear property line, if there is alley access.  
 iv. Property owners seeking to construct a garage on the property line shall obtain a signed maintenance easement from the abutting property owner prior to issuance of a building permit.

**Height**  
 1. Building height limits are as follows:  
 a. Minimum: None  
 b. Maximum: 26 feet  
 c. For sites adjacent to SU-2/VCVC, the maximum building height is 35 feet.  
 d. For areas within 200 feet of the northern boundary line of the VCSDF, the maximum building height is 35 feet.  
 e. Square footage above 26 feet is limited to 50% of the building footprint.  
 2. Chimneys and cupolas may extend 10 feet beyond height limits. Screened equipment and flagpoles may extend 6 feet beyond height limits. Solar panels shall not count toward height limits. Screened equipment shall be set back 15 feet from the façade.

PROJECT NUMBER: 1009082  
 Application Number: 17 DRB-70159  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated [ ] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Ronald M. Ward</i>	9/13/17
Traffic Engineering, Transportation Division	Date
<i>Christy Cade</i>	09-13-17
ABCWUA	Date
<i>C. Santoral</i>	9/13/17
Parks and Recreation Department	Date
<i>James D. Hughes</i>	9-13-2017
City Engineer	Date
N/A	9-29-17
* Environmental Health Department (conditional)	Date
N/A	9-29-17
Solid Waste Management	Date
<i>Pat Chab</i>	9-29-17
DRB Chairperson, Planning Department	Date

# THE CLIFFS ON PASEO

SITE PLAN FOR SUBDIVISION

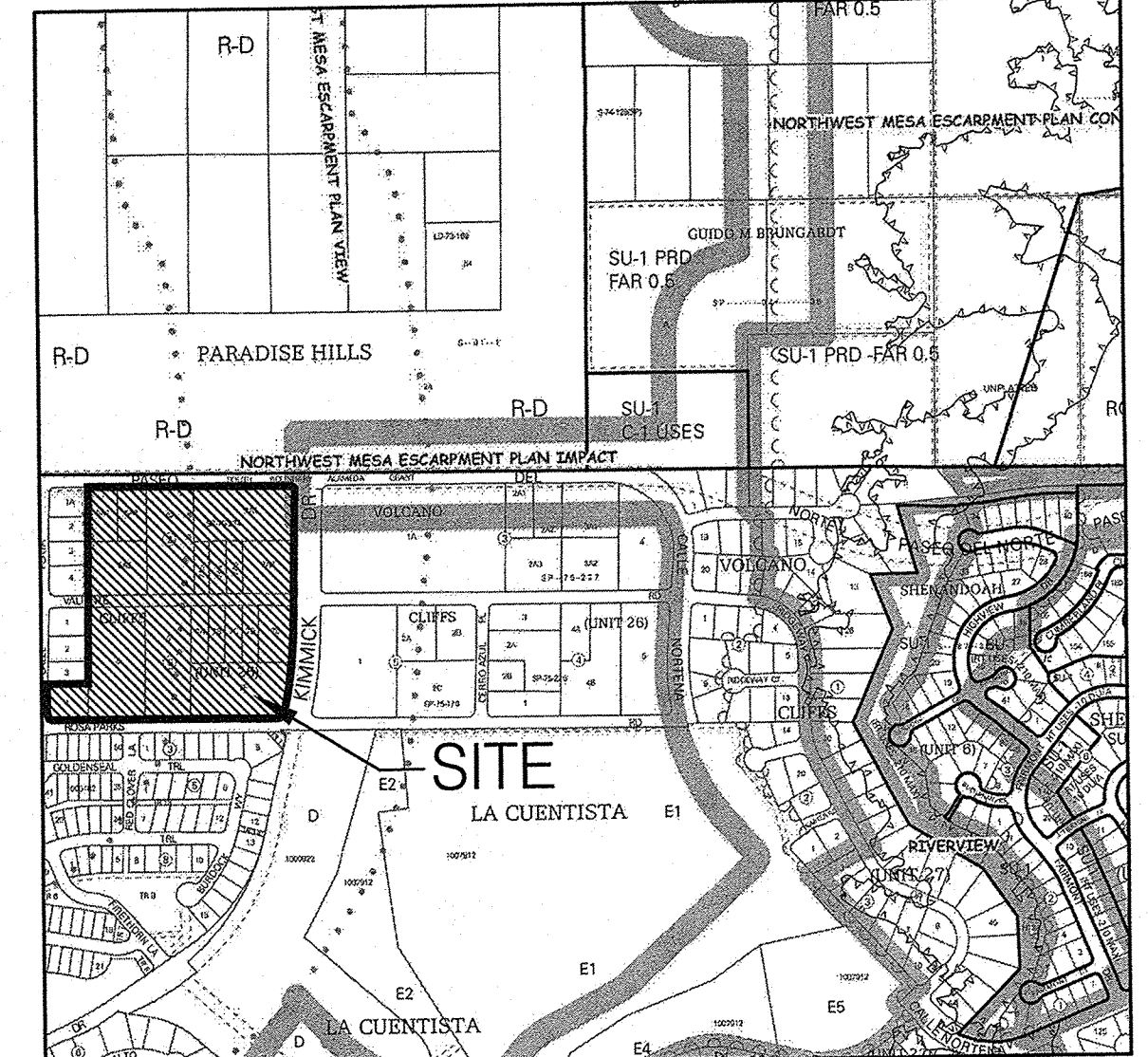
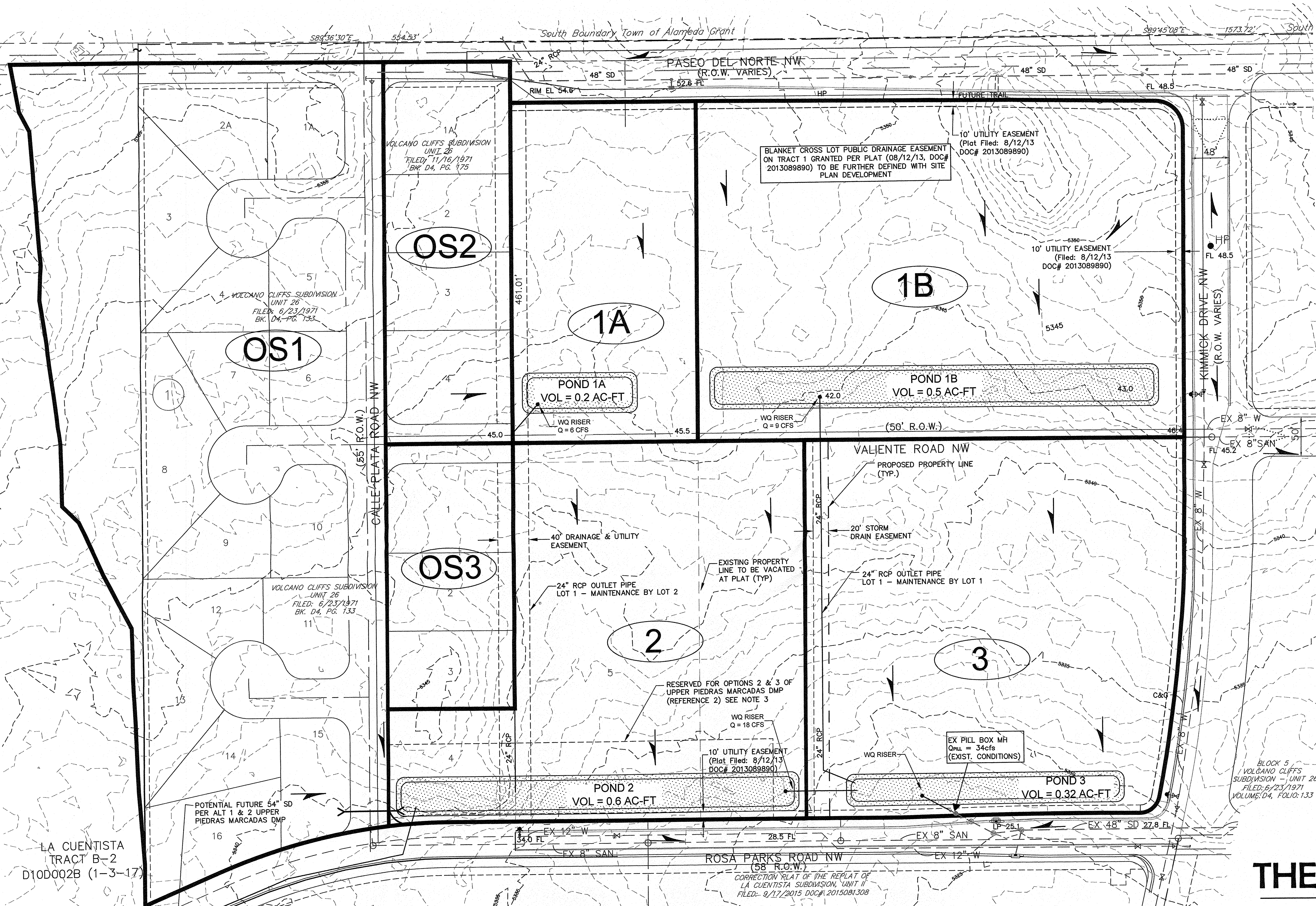
Prepared for:  
 Group II U26 VC, LLC  
 8860 Desert Finch Lane NE  
 Albuquerque, NM 87122

Prepared by:  
 Consensus Planning, Inc.  
 302 Eighth Street NW  
 Albuquerque, NM 87102

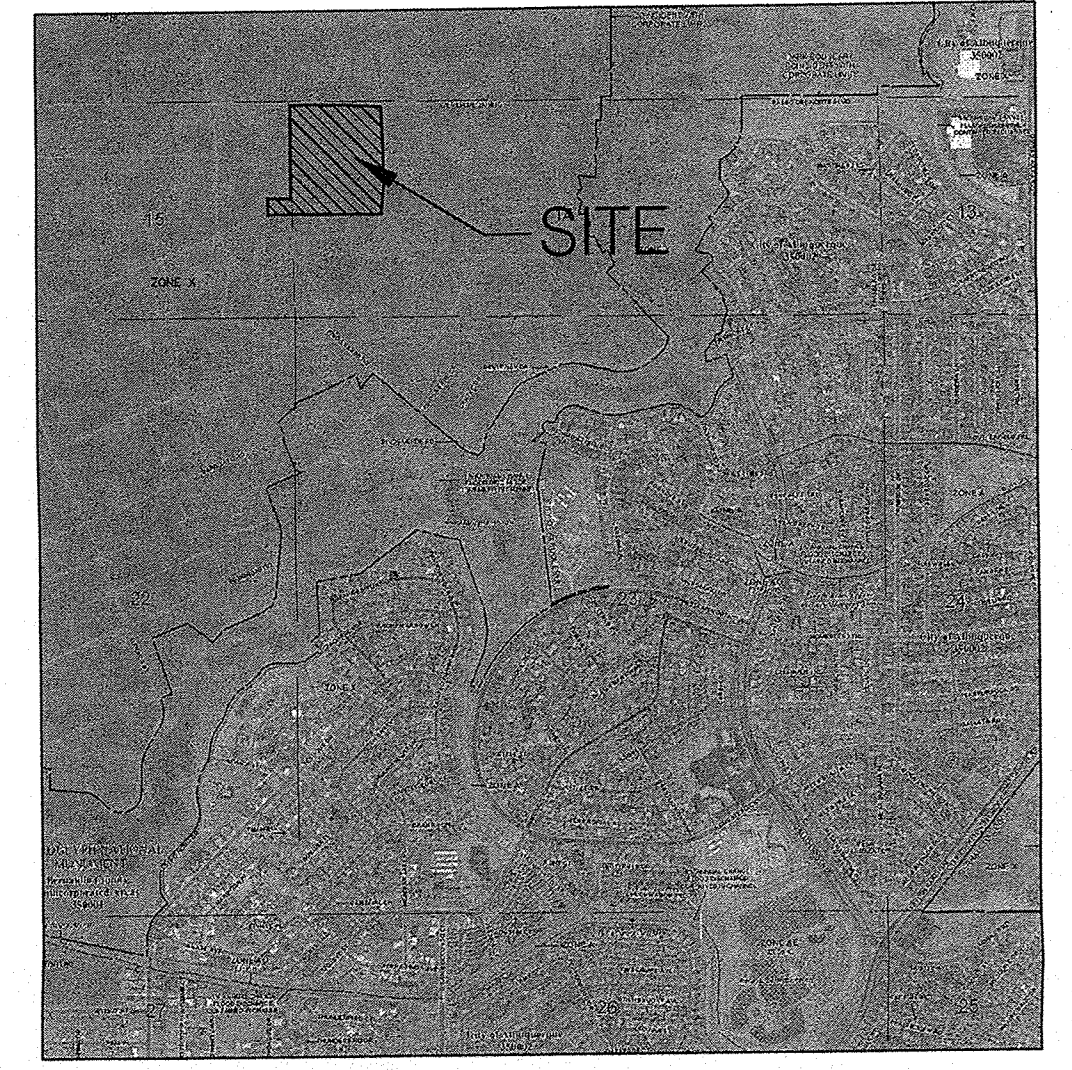


1009082





VICINITY MAP  
C-11-Z



FEMA FIRM 35001C0112G  
SEPT. 26, 2008

- NOTES:
1. THE PURPOSE OF THIS CONCEPTUAL GRADING & DRAINAGE PLAN IS TO SHOW THE GENERAL DRAINAGE PATTERNS FOR THE THREE LOTS. EACH LOT MAY DEVELOP INDEPENDENTLY OF THE OTHER LOTS. THE FINAL LOT DEVELOPMENT SITE PLANS WILL ADDRESS THE DETAILS OF THE GRADING & DRAINAGE WITHIN THE LIMITS OF THIS PLAN.
  2. THE DETENTION PONDS SHOWN ON THE PLAN ARE CONCEPTUAL IN LOCATION AND WILL CHANGE WITH THE FINAL SITE PLANS. THE RETENTION OF THE DEVELOPED FLOWS SHOWN ON THIS PLAN ARE BASED ON 85% TYPE D LAND COVER, AND 5% TYPE B, AND 10% TYPE C LAND COVER. THE RELEASE RATES ARE BASED ON ALL TYPE A LAND COVER TO REPRESENT EXISTING CONDITIONS.
  3. A 100' x 500' AREA IN LOT 2 WILL BE RESERVED FOR A POTENTIAL REGIONAL DETENTION POND AS DESCRIBED IN OPTIONS 2 & 3 OF THE UPM DMP (REFERENCE NO. 2). THIS POTENTIAL FUTURE DETENTION POND WOULD HAVE 5.26 AC-FT OF STORAGE (50'B, 3:1 SS, 6'D).

LA CUENTISTA  
TRACT B-2  
D10D002B (1-3-17)

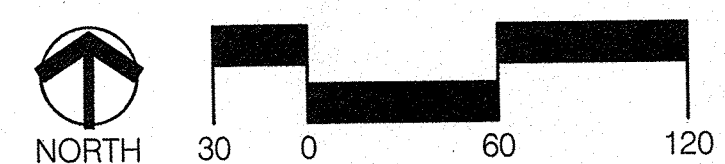
- REFERENCES:
1. THE SAD 228 DRAINAGE REPORT, BY WILSON & COMPANY, DATED JANUARY 2012, AND PREPARED FOR THE CITY OF ALBUQUERQUE, IS THE REFERENCE DOCUMENT FOR THIS DRAINAGE MASTER PLAN. SPECIFICS OF THE REPORT WILL BE ADHERED TO AND EXPANDED UPON IN FUTURE INDIVIDUAL DETAILED SITE PLANS FOR DEVELOPMENT.
  2. UPPER PIEDRAS MARCADAS (UPM) WATERSHED DRAINAGE AND WATER QUALITY MANAGEMENT PLAN VOLUME 3- DEVELOPED CONDITIONS BY WILSON & COMPANY, DATED APRIL 2017, AND PREPARED FOR AMAFCA, IS THE REFERENCE DOCUMENT FOR THIS DRAINAGE MASTER PLAN. SPECIFICS OF THE REPORT WILL BE ADHERED TO AND EXPANDED UPON IN FUTURE INDIVIDUAL DETAILED SITE PLANS FOR DEVELOPMENT.

HYDROLOGY TABLE - AHYMO SUMMARY

SUB-BASIN	AREA	EXISTING CONDITIONS		DEVELOPED	
		PEAK FLOW	RUNOFF VOLUME	PEAK FLOW	RUNOFF VOLUME
OS1	9.32	12.31	0.414	12.31	0.414
OS2	1.85	2.70	0.082	2.70	0.082
OS3	1.29	0.19	0.006	0.19	0.006
1A	2.40	3.53	0.108	9.30	0.416
1B	6.28	9.10	0.278	23.97	1.072
2	4.76	6.87	0.210	18.10	0.809
3	5.35	7.80	0.238	20.55	0.919



Scale: 1" = 60'



# THE CLIFFS ON PASEO

CONCEPTUAL GRADING & DRAINAGE PLAN  
NOT FOR CONSTRUCTION

Prepared for:  
Group II U26 VC, LLC  
8860 Desert Finch Lane NE  
Albuquerque, NM 87122

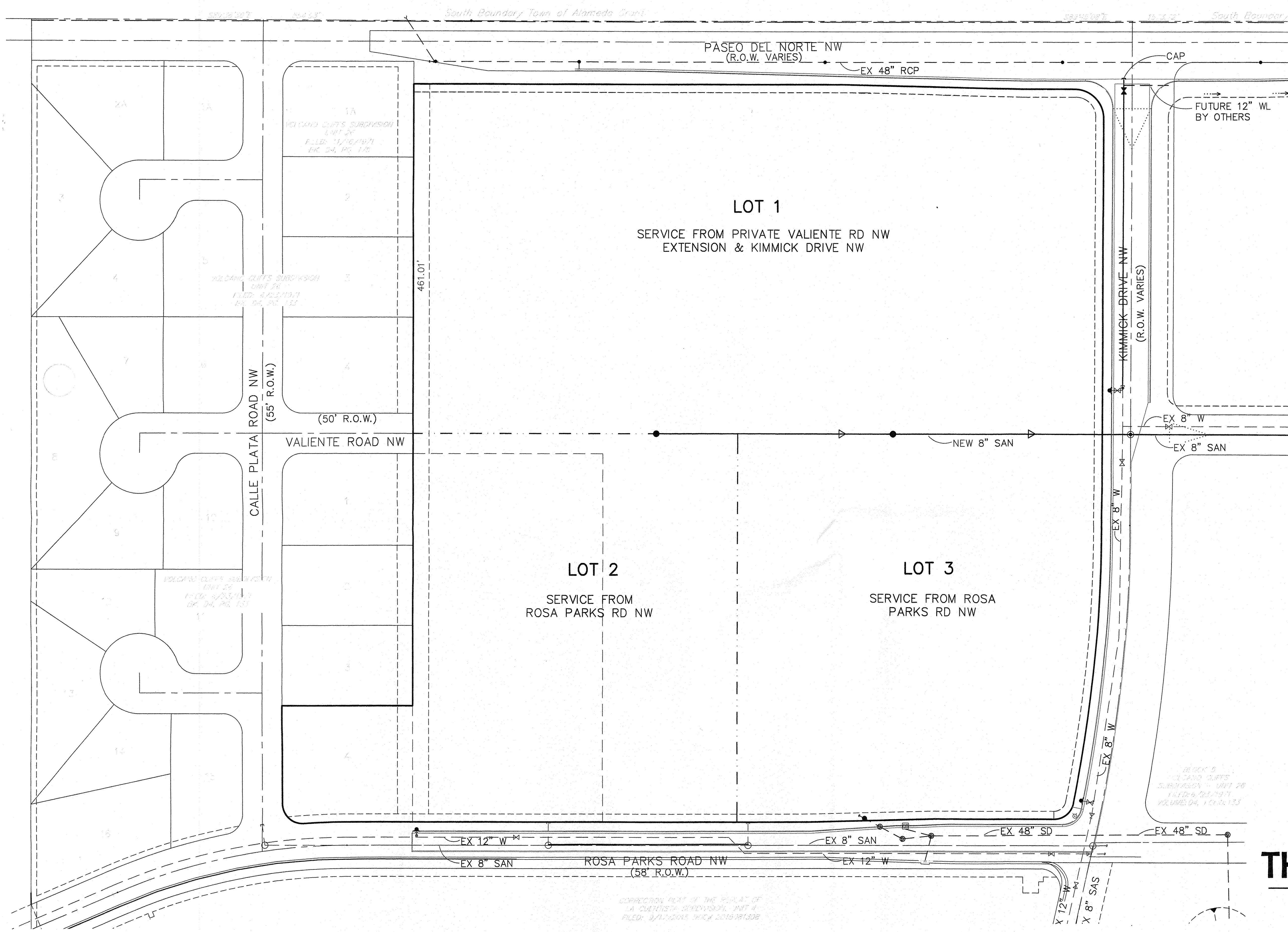


Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

September 5, 2017

Sheet 2 of 3





- NOTES:
1. DEVELOPMENT SHALL COMPLY WITH THE APPROVED DEVELOPMENT AGREEMENT FOR SPECIAL ASSESSMENT DISTRICT 228.
  2. PUBLIC WATER LINE AND PUBLIC SANITARY SEWER EXTENSIONS WILL BE REQUIRED ON AN INFRASTRUCTURE LIST ASSOCIATED WITH THE PRELIMINARY PLAT. EXTENSIONS MAY INCLUDE COVERING THE PROPERTY FRONTAGE ALONG PASEO DEL NORTE.
  3. REQUEST A WATER AND SANITARY SEWER AVAILABILITY/SERVICABILITY STATEMENT ONLINE AT THE FOLLOWING LINK: <http://abcwu.org/AvailabilityStatement.aspx>. REQUESTS SHALL INCLUDE FIRE MARSHAL REQUIREMENTS. A COMPLETED STATEMENT MUST BE OBTAINED PRIOR TO APPROVAL OF THE PROPOSED PLAT.
  4. THE PRO RATA ASSESSMENTS FOR LOT 2 AND 3 MUST BE PAID PRIOR TO APPROVAL OF THE PROPOSED PLAT. PRO RATA ASSESSMENTS FOR LOT 2 FOR WATER IS \$4,573 AND FOR SANITARY SEWER IS \$4,534. PRO RATA ASSESSMENTS FOR LOT 3 FOR WATER IS \$3,600 AND FOR SANITARY SEWER IS \$6,100.
  5. THIS IS THE SITE PLAN FOR BULK LAND PLAT. ALL FUTURE SITE DEVELOPMENT PLANS SHALL BE SUBMITTED TO DRB FOR APPROVAL.

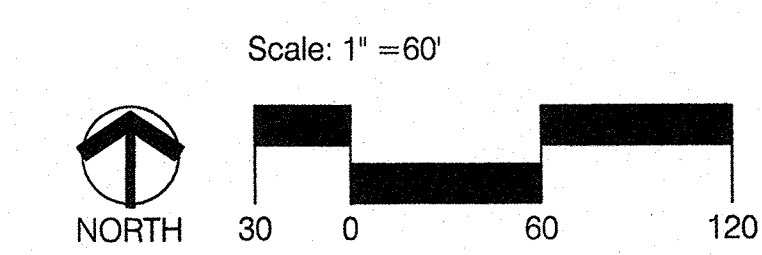
# THE CLIFFS ON PASEO

CONCEPTUAL UTILITY PLAN  
NOT FOR CONSTRUCTION

Prepared for:  
Group II U26 VC, LLC  
8860 Desert Finch Lane NE  
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Prepared by:  
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September 5, 2017

Sheet 3 of 3

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