

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1009082 Application #: 13DRB-70632, 13DRB-70633

Project Name: City of Albuquerque

Agent: Wilson & Company Inc. Phone #:

Your request was approved on 7-31-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): *City signatures, to record*

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

9082

DXF Electronic Approval Form

DRB Project Case #: 1009082

Subdivision Name: TRACT 1, BLOCK 2, VOLCANO CLIFFS UNIT 26

Surveyor: SCOTT CROSHAW


Contact Person: COYOTE M SPARROW

Contact Information: 348-4062

DXF Received: 7/19/2013

Hard Copy Received: 7/19/2013

Coordinate System: NMSP Grid (NAD 83)


Approved

7-19-2013
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **9082** to agiscov on **7/19/2013** Contact person notified on **7/19/2013**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1009082

AGENDA ITEM NO: 10

SUBJECT:

ENGINEERING COMMENTS:

Plat approval (s)

Hydrology has no objection to either of the plats.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 7-31-13

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 10

SUBJECT:

**TRACT 1, BLOCK 2, VOLCANO CLIFFS SUBDIVISION, UNIT 26
FINAL PLAT**

**LOTS 1A-1 AND 4A-1, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26
FINAL PLAT**

ENGINEERING COMMENTS:

TRACT 1, BLOCK 2, VOLCANO CLIFFS SUBDIVISION, UNIT 26
No adverse comments.

LOTS 1A-1 AND 4A-1, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26
No adverse comments.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Kristal D. Metro
Transportation Development

DATE: JULY 31, 2013
505-924-3991

CITY DEPARTMENT INFRASTRUCTURE LIST

Current DRC
Project Number: 693391_

FIGURE 12

Date Submitted: 7-17-13

ORIGINAL

INFRASTRUCTURE LIST

Date Site Plan Approved:

Date Preliminary Plat Approved: 7-17-13

Date Preliminary Plat Expires: 7-17-14

EXHIBIT "A"

DRB Project No.: 1009082

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DRB Application No.: 13-70582

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SAD 228 - PLAT OF LOTS 1A-1 and 4A-1, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 1-A AND 4A, BLOCK 3, together with Lots 2A-1, 2A-2, 2A-3 & 3A-1, Block 3, Volcano Cliffs Subdivision, Unit 26, together with portions of street RIGHT OF WAY for KIMMICK

DRIVE NW and CALLE NORTENA NW

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		PAVING							
		49' EOP-F	Arterial Paving w/C&G w/10' Trail w/ 2" Asphalt Paving South Side	Paseo del Norte NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		48' F-F	Residential Paving w/C&G (1/2 Section) w/6' SW East Side	Kimmick Drive NW	Valiente Road NW	Paseo del Norte NW	/	/	/
		48' F-F	Residential Paving w/C&G w/6' SW West Side & w/10' Trail w/ 2" Asphalt Paving East Side	Calle Nortena NW	155' N of Valiente Road NW	Paseo del Norte NW	/	/	/
		24' EOP-F	Residential Paving w/C&G w/6' SW West Side & w/10' Trail w/ 2" Asphalt Paving East Side	Calle Nortena NW	Valiente Road NW	155' N of Valiente Road NW	/	/	/
		24' EOP-F	Residential Paving w/C&G w/5' SW North Side	Valiente Road NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		WATER							
		8" Dia	Waterline w/ appurtenances	Valiente Road NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		12" Dia	Waterline w/ appurtenances	Calle Nortena NW	Valiente Road NW	Paseo del Norte NW	/	/	/
		STORM DRAIN							
		48" Dia	Storm Drain w/ Inlets & Appurtenances	Paseo del Norte NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		18"/24"/30" Dia	Storm Drain w/ Inlets, PillBox MHs & Appurtenances	Paseo del Norte NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		18"/24" Dia	Storm Drain	Calle Nortena NW	82' South of Paseo del Norte NW	Paseo del Norte NW	/	/	/

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location	From	To
SANITARY SEWER				
8" Dia	Sanitary Sewer w/ MHs and Appurtenances	Valiente Road NW	Kimmick Drive NW	Calle Nortena NW
8" Dia	Sanitary Sewer w/ MHs and Appurtenances	Calle Nortena NW	Valiente Road NW	90' South of Paseo del Norte NW

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/

CITY DEPARTMENT INFRASTRUCTURE LIST

Current DRC
Project Number_693391_

FIGURE 12

Date Submitted: 7-17-13

ORIGINAL

INFRASTRUCTURE LIST

Date Site Plan Approved: _____

Date Preliminary Plat Approved: 7-17-13

Date Preliminary Plat Expires: 7-17-14

DRB Project No.: 1009082

DRB Application No.: 13-70584

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SAD 228 - PLAT OF TRACT 1, BLOCK 2, VOLCANO CLIFFS SUBDIVISION, UNIT 26

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 5-A-1, 5A-2, 5A-3, 7A-1, 7A-2, 7a-3, 7A-4 & 7A-5, Block 2, together with Lot 6A, Block 2, together with Lot 6, Block 6, together with Lots 7A, 7B, 7C, 7D, 7E & 7F, Block 6, Volcano Cliffs Subdivision, Unit 26, together with portions of street RIGHT OF WAY for VALIENTE ROAD AND KIMMICK DRIVE NW

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PAVING									
		49' EOP-F	Arterial Paving w/C&G w/10' Trail w/ 2" Asphalt South Side	Paseo del Norte NW	963' West of Kimmick Drive NW	Kimmick Drive NW	/	/	/
		48' F-F	Residential Paving W/C&G (1/2 Section) w/6' SW West Side	Kimmick Drive NW	Valiente Road NW	Paseo del Norte	/	/	/
		24' F-EOP	Residential Paving w/C&G w/6' SW West Side	Kimmick Drive NW	Rosa Parks Rd NW	Valiente Road NW	/	/	/
		24' F-EOP	Residential Paving w/C&G w/6' SW West Side	Rosa Parks Rd NW	835' West of Kimmick Drive NW	335' West of Kimmick Drive NW	/	/	/
		33' F-EOP	Residential Paving w/C&G w/6' SW North Side	Rosa Parks Rd NW	335' West of Kimmick Drive NW	Kimmick Drive NW	/	/	/
WATER									
		8" Dia	Waterline w/ appurtenances	Kimmick Drive NW	Rosa Parks Rd NW	25' North of Valiente Road NW	/	/	/
STORM DRAIN									
		48" Dia	Storm Drain w/ Inlets & Appertenances	Paseo del Norte NW	856' West of Kimmick Drive NW	Kimmick Drive NW	/	/	/
		18" Dia	Storm Drain w/ Inlets & Appertenances	Paseo del Norte NW	295' West of Kimmick Drive NW	295' West of Kimmick Drive NW	/	/	/
		48" Dia	Storm Drain w/ MH	Rosa Parks Rd NW	276' West of Kimmick Drive NW	250' West of Kimmick Drive NW	/	/	/
SANITARY SEWER									
		8" Dia	Sanitary Sewer w/appurtenances	Rosa Parks Rd NW	665' West of Kimmick Drive NW	410' West of Kimmick Drive NW	/	/	/

NOTES

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The improvements identified above are the responsibility of SAD 228. By signing below, I, Michael Riordan, confirm that these improvements are being constructed with SAD 228 and that SAD 228 is financially responsible for the above listed items. The cost of these improvements are included in the current SAD 228. This agreement will constitute a Subdivision Improvement Agreement (SIA). Overseeing implementation of these items is my responsibility. The items listed above are estimated to cost \$704,117.00 and will be completed by the end of the project.

MT WA

[Signature]
Department of Municipal Development

6/12/13
Date

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

STEVEN METRO
NAME (print)

WILSON & COMPANY
FIRM

[Signature] 6-7-13
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

[Signature] 7-17-13
DRB CHAIR - date

[Signature] 7-17-13
TRANSPORTATION DEVELOPMENT - date

[Signature] 07/17/13
UTILITY DEVELOPMENT - date

[Signature] 7-17-13
CITY ENGINEER - date

[Signature] 7-17-13
PARKS & ~~GENERAL SERVICES~~ - date
Recreation

AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 28, 2012

Project# 1009082

12DRB-70082 VACATION OF PUBLIC UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC RIGHT-OF-WAY

JACKS HIGH COUNTRY INC agent(s) for LUTHER MARTINEZ request(s) the referenced/ above action(s) for a Public Drainage Easement on **PARCEL D, ELENA GALLEGOS GRANT**, zoned M-2, located on the south side of DESERT SURF CIRCLE NE east of ALEXANDER BLVD NE containing approximately 4.2561 acre(s). (F-16)

AMAFCA No comment.
COG No comment provided
TRANSIT No comment provided
ZONING ENFORCEMENT No comment provided
NEIGHBORHOOD COORDINATION
APS No comment provided
POLICE DEPARTMENT No comment provided
FIRE DEPARTMENT No comment provided
PNM ELECTRIC & GAS No comment provided
COMCAST No comment provided
QWEST No comment provided
ENVIRONMENTAL HEALTH No comment provided
M.R.G.C.D No comments provided.
OPEN SPACE DIVISION No comment provided
CITY ENGINEER Comments, if any, will be provided at the meeting

TRANSPORTATION DEVELOPMENT

PARKS AND RECREATION

ABCWUA

PLANNING DEPARTMENT

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1009082

AGENDA ITEM NO: ⁴~~2~~

SUBJECT:

ENGINEERING COMMENTS:

Vacation of Public Utility Easement

Hydrology has no objection.

Vacation of Public ROW

Valiente Road:

The area of the vacation appears to drain north to south and therefore not down this portion of Valiente Rd. Therefore, Hydrology has no objection.

Kimmick Dr:

Hydrology defers to Transportation.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: ¹¹⁻²⁸⁻¹²~~7-25-12~~

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 4

SUBJECT:

VACATION OF PUBLIC EASEMENTS
VACATION OF PUBLIC RIGHT-OF-WAY

ENGINEERING COMMENTS:

No objection to vacation of public utility easements.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure will be required.

Provide cross sections for the proposed roadway sections.

What is the roadway classification of Kimmick Drive and Rosa Parks Road? Larger radii may be required at the intersection of Kimmick / Paseo del Norte and Kimmick / Rosa Parks.

Is a traffic signal proposed at Kimmick / Paseo del Norte?

Does Valiente Road meet the criteria for a stub street (maximum number of units is 4 and the maximum length is 150' measured from the centerline of the intersecting street to the end of the stub street)?

Define the full right of way width of Paseo del Norte (156' ultimate).

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: NOVEMBER 28, 2012

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 2

SUBJECT:

VACATION OF PUBLIC UTILITY EASEMENTS
VACATION OF PUBLIC RIGHT-OF-WAY

ENGINEERING COMMENTS:

No objection to vacation of public utility easements.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure will be required.

Provide cross sections for the proposed roadway sections.

What is the roadway classification of Kimmick Drive and Rosa Parks Road? Larger radii may be required at the intersection of Kimmick / Paseo del Norte and Kimmick / Rosa Parks.

Is a traffic signal proposed at Kimmick / Paseo del Norte?

Does Valiente Road meet the criteria for a stub street (maximum number of units is 4 and the maximum length is 150' measured from the centerline of the intersecting street to the end of the stub street)?

Define the full right of way width of Paseo del Norte (156' ultimate).

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

08-29-12

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: JULY 25, 2012

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 1

SUBJECT:

VACATION OF PUBLIC UTILITY EASEMENTS
VACATION OF PUBLIC RIGHT-OF-WAY

ENGINEERING COMMENTS:

No objection to vacation of public utility easements.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure will be required.

Provide cross sections for the proposed roadway sections.

What is the roadway classification of Kimmick Drive and Rosa Parks Road? Larger radii may be required at the intersection of Kimmick / Paseo del Norte and Kimmick / Rosa Parks.

Is a traffic signal proposed at Kimmick / Paseo del Norte?

Does Valiente Road meet the criteria for a stub street (maximum number of units is 4 and the maximum length is 150' measured from the centerline of the intersecting street to the end of the stub street)?

Define the full right of way width of Paseo del Norte (156' ultimate).

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED __; DENIED __; DEFERRED X; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: JUNE 27, 2012

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1009082

AGENDA ITEM NO: 5

SUBJECT:

ENGINEERING COMMENTS:

Vacation of Public Utility Easement

Hydrology has no objection.

Vacation of Public ROW

Valiente Road:
The area of the vacation appears to drain north to south and therefore not down this portion of Valiente Rd. Therefore, Hydrology has no objection.

Kimmick Dr:
Hydrology defers to Transportation.

RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 4-04-12

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 5

SUBJECT:

VACATION OF PUBLIC EASEMENTS
VACATION OF PUBLIC RIGHT-OF-WAY

ENGINEERING COMMENTS:

No objection to vacation of public utility easements.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure will be required.

Provide cross sections for the proposed roadway sections.

What is the roadway classification of Kimmick Drive and Rosa Parks Road? A larger radii may be required at the intersection of Kimmick / Paseo del Norte and Kimmick / Rosa Parks.

Is a traffic signal proposed at Kimmick / Paseo del Norte?

Does Valiente Road meet the criteria for a stub street (maximum number of units is 4 and the maximum length is 150' measured from the centerline of the intersecting street to the end of the stub street)?

Define the full right of way width of Paseo del Norte (156' ultimate).

RESOLUTION:

05-09-12

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: APRIL 4, 2012

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

07/19/2013 Issued By: BLDAVM 198996

Category Code **910**
2013 070 632

Application Number: 13DRB-70632, Major - Final Plat Approval

Address:

Location Description: KIMMICK BETWEEN ROSA PARKS AND PASEO DEL NORTE

Project Number: 1009082

Applicant
CITY OF ALBUQUERQUE

NM

Agent / Contact
WILSON AND COMPANY INC
KRISTINE SUSCO
4900 LANG AVE NE
ALBUQUERQUE NM 87109

KISUSCO@WILSONCO.COM

<u>Application Fees</u>	
<u>APN Fee</u>	
<u>Conflict Mgmt Fee</u>	\$20.00
<u>DRB Actions</u>	
TOTAL:	\$20.00

City of Albuquerque Treasury
Date: 7/19/2013 Office: ANJEX
Stat ID: W900000/ Cashier: TRSDLF
Ref #: 2270 Trans #: 29
Permit #: 2013070632
Receipt Num 00143173
Payment Total: \$20.00
0901 Conflict Mgmt. Fee
MasterCard Tended: \$40.00
\$20.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

07/19/2013 Issued By: BLDAVM 199002

Category Code **910**
2013 070 633

Application Number: 13DRB-70633, Major - Final Plat Approval

Address:

Location Description: VALIENTE BETWEEN KIMMICK AND CALLE NORTENA

Project Number: 1009082

Applicant
CITY OF ALBUQUERQUE

NM

Agent / Contact
WILSON AND COMPANY INC
KRISTINE SUSCO
4900 LANG AVE NE
ALBUQUERQUE NM 87109

KISUSCO@WILSONCO.COM

Application Fees	
APN Fee	
Conflict Mgmt Fee	\$20.00
DRB Actions	
TOTAL:	\$20.00

City of Albuquerque Treasurer
Date: 7/19/2013 Office: AMHEX
Stat ID: W5001007 Cashier: TRSDLF
Patch: 2220 Trans: 4127
Permit #: 2013070633
Receipt Num: 00142124
Payment Total: \$20.00
0901 Conrl:ct Monoy. Fee
MasterCard Tendered: \$40.00

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 3

SUBJECT:

VACATION OF PUBLIC UTILITY EASEMENT
VACATION OF PUBLIC RIGHT-OF-WAY

ENGINEERING COMMENTS:

No objection to vacation of public utility easements.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure will be required.

Provide cross sections for the proposed roadway sections.

What is the roadway classification of Kimmick Drive and Rosa Parks Road? Larger radii may be required at the intersection of Kimmick / Paseo del Norte and Kimmick / Rosa Parks.

Is a traffic signal proposed at Kimmick / Paseo del Norte?

Does Valiente Road meet the criteria for a stub street (maximum number of units is 4 and the maximum length is 150' measured from the centerline of the intersecting street to the end of the stub street)?

Define the full right of way width of Paseo del Norte (156' ultimate).

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

09-26-12

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: AUGUST 29, 2012

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 3

SUBJECT:

VACATION OF PUBLIC EASEMENTS
VACATION OF PUBLIC RIGHT-OF-WAY

ENGINEERING COMMENTS:

No objection to vacation of public utility easements.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure will be required.

Provide cross sections for the proposed roadway sections.

What is the roadway classification of Kimmick Drive and Rosa Parks Road? Larger radii may be required at the intersection of Kimmick / Paseo del Norte and Kimmick / Rosa Parks.

Is a traffic signal proposed at Kimmick / Paseo del Norte?

Does Valiente Road meet the criteria for a stub street (maximum number of units is 4 and the maximum length is 150' measured from the centerline of the intersecting street to the end of the stub street)?

Define the full right of way width of Paseo del Norte (156' ultimate).

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: SEPTEMBER 26, 2012

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

Category Code **910**

06/14/2013 Issued By: PLNTES 194705

2013 070 585

Application Number: 13DRB-70585, Bulk Land Variance

Address:

Location Description: KIMMICK DR NW BETWEEN POSA PARKS RD AND PASEO DEL NORTE

Project Number: 1009082

Applicant
CITY OF ALBUQUERQUE

Agent / Contact
WILSON AND COMPANY INC
KRISTINE SUSCO
4900 LANG AVE NE
ALBUQUERQUE NM 87109

NM

KISUSCO@WILSONCO.COM

Application Fees

APN Fee	
Conflict Mgmt Fee	
DRB Actions	\$145.00
TOTAL:	\$145.00

City of Albuquerque Treasury
 Date: 6/14/2013 Office: ANMEX
 State ID: 05000007 Cashier: KRSDLF
 Batch: 2108 Trans #: 35
 Permit: 2013070585
 Receipt Num 00136235
 Payment Total: \$145.00
 0903 DRB Actions
 Check Tendered: \$145.00
 \$320.00

B3

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

06/14/2013 Issued By: PLNTES 194700

Category Code **910**
2013 070 582

Application Number: 13DRB-70582, Major - Preliminary Plat Approval

Address:

Location Description: VALIENTE RD NW BETWEEN KIMMICK DR NW AND CALLE NORTENA NW

Project Number: 1009082

Applicant
CITY OF ALBUQUERQUE

Agent / Contact
WILSON AND COMPANY INC
KRISTINE SUSCO
4900 LANG AVE NE
ALBUQUERQUE NM 87109

NM

KISUSCO@WILSONCO.COM

Application Fees

APN Fee	\$75.00
Conflict Mgmt Fee	\$20.00
DRB Actions	\$595.00
TOTAL:	\$690.00

City of Albuquerque Treasury
 Date: 6/14/2013 Office: ANHEX
 Stat ID: WS000007 Cashier: TRSOLF
 Batch: 2108 Trns #: 35
 Permit: 2013070582
 Receipt Num 00136242
 Payment Total: \$690.00
 0900 APN Fee \$75.00
 0901 Conflict Mgmt. Fee \$20.00
 0902 DRP Actions \$595.00
 Check Tendered: \$690.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

06/14/2013 Issued By: PLNTES 194704

Category Code **910**
2013 070 584

Application Number: 13DRB-70584, Major - Preliminary Plat Approval

Address:

Location Description: KIMMICK DR NW BETWEEN POSA PARKS RD AND PASEO DEL NORTE

Project Number: 1009082

Applicant
CITY OF ALBUQUERQUE

Agent / Contact
WILSON AND COMPANY INC
KRISTINE SUSCO
4900 LANG AVE NE
ALBUQUERQUE NM 87109

NM

KISUSCO@WILSONCO.COM

Application Fees	
APN Fee	\$75.00
Conflict Mgmt Fee	\$20.00
DRB Actions	\$580.00
TOTAL:	\$675.00

City of Albuquerque Treasurer
 Date: 6/14/2013 Office: AHMEX
 State ID: WSP000007 Cashier: TRSDLF
 Batch: 2102 Trms: 4:25
 Permit: 2013070584
 Receipt Num: 00136236
 Payment Total: \$675.00
 0900 APN Fee
 0201 Conflict Mgmt. Fee
 0402 DRB Actions
 Check tendered :

\$75.00
 \$20.00
 \$580.00
 \$675.00

City of Albuquerque Planning Department

B3

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

06/14/2013 Issued By: PLNTES 194703

Category Code **910**
2013 070 583

Application Number: 13DRB-70583, Bulk Land Variance

Address:

Location Description: VALIENTE RD NW BETWEEN KIMMICK DR NW AND CALLE NORTENA NW

Project Number: 1009082

Applicant
CITY OF ALBUQUERQUE

NM

Agent / Contact
WILSON AND COMPANY INC
KRISTINE SUSCO
4900 LANG AVE NE
ALBUQUERQUE NM 87109

KISUSCO@WILSONCO.COM

Application Fees

APN Fee

Conflict Mgmt Fee

DRB Actions **\$145.00**

TOTAL: \$145.00

City of Albuquerque Treasury
Date: 6/14/2013 Office: ANNEX
Stat ID: 03000007 Cashier: TRSDLF
Batch: 2108 Trans #: 36
Permit: 2013070583
Receipt Num: 00136271
Payment Total: \$145.00
0903 DRB Actions
Check Tendered : \$145.00
\$335.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

03/02/2012 Issued By: E08375 138241

Category Code **910**
2012 070 082

Application Number: 12DRB-70082, Vacation Of Public Easement

Address:

Location Description: PASEO DEL NORTE BETWEEN CALLE NORTENA AND CALLE PLATA RD

Project Number: 1009082

Applicant

Agent / Contact

WILSON AND COMPANY INC
COYOTE SPARROW
4900 LANG AVE NE
ALBUQUERQUE NM 87109

CMSPARROW@WILSONCO.COM




Application Fees

441018/4943000	APN Fee	\$75.00
441032/3416000	Conflict Mgmt Fee	\$20.00
441006/4958000	DRB Actions	\$1,380.00
TOTAL:		\$1,475.00

City Of Albuquerque
Treasury Division

3/7/2012 9:32AM LOC: ANNX
WS# 006 TRANS# 0013
RECEIPT# 00145064-00145064
PERMIT# 2012070082 TRSSVG
Trans Amt \$1,475.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$1,380.00
CK \$1,475.00
CHANGE \$0.00

Thank You

8. **Project# 1003777**
13DRB-70635 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL  TIERRA WEST, LLC agent(s) for JT PROPERTY, LLC request(s) the above action(s) for all or a portion of Lot(s) PARCEL 1 AND TR B-B, **MONARCH VILLAGE** zoned SU-1 FOR COMMERCIAL, located on JUAN TABO BETWEEN COPPER AND GRAND containing approximately 8.26 acre(s). (K-22) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN-OFF DELETED TO PLANNING FOR UTILITY SIGNATURES AND THE ADDITION OF THE WORDS "CROSS" TO INDICATE CROSS LOT DRAINAGE EASEMENT.**
9. **Project# 1007971**
13DRB-70631 EXT OF MAJOR
PRELIMINARY PLAT HIGH MESA CONSULTING GROUP agent(s) for MELCOR ZAMORA request(s) the above action(s) for all or a portion of Lot(s) 2, **LANDS OF DELLA P. SANCHEZ** zoned R-1, located on CARSON BETWEEN ALAMEDA DRAIN AND RIO GRANDE BLVD containing approximately 1.64 acre(s). (J-12) **THE ONE YEAR EXTENSION FOR THE PRELIMINARY PLAT WAS APPROVED.**
10. **Project# 1009082**
13DRB-70632 MAJOR - FINAL PLAT
APPROVAL
13DRB-70633 MAJOR - FINAL PLAT
APPROVAL  WILSON AND COMPANY INC agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) A PORTION OF BLK 2 & A PORTION OF BLK 6 TOGETHER W/ A PORTION OF VALIENTE RD & KIMMICK DR NW, **VOLCANO CLIFFS SUBD Unit(s) 26**, zoned SU-2/VCMX, located on KIMMICK BETWEEN ROSA PARKS AND PASEO DEL NORTE containing approximately 16.31 acre(s). (C-11) **THE FINAL PLATS WERE APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**
11. **Project# 1009567**
13DRB-70626 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL  WAYJOHN SURVAYING INC agent(s) for 4120 SILVER AVE LLC request(s) the above action(s) for all or a portion of Lot(s) 1-6, Block(s) 10, **MESA GRANDE** zoned OR-1, located on SILVER BETWEEN MONTCLAIRE AND SIERRA containing approximately .8577 acre(s). (K-17) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF, UTILITY COMPANY SIGNATURES, REAL PROPERTY SIGNATURE, AND TO RECORD.**
12. Approval of the Development Review Board Minutes for **July 10th ,17th & 24th 2013.**

Other Matters: None.

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1009082 Application #: 13DRB-70632, 13DRB-70633

Project Name: City of Albuquerque

Agent: Wilson & Company Inc. Phone #:

Your request was approved on 2-7-19 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): *Utility signatures to record*

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 9, 2013

Project# 1009082

12DRB-70082 VACATION OF PUBLIC UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) *[Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/11 6/27/12, 7/25/12, 8/29/12, 9/26/12, 10/31/12, 11/28/12, 12/19/12]*

At the January 9, 2013 Development Review Board meeting, the vacations were recommended for approval by City Council based on exhibits in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

Findings

The Subdivision Ordinance, Section 14-14-7-2, specifies that a vacation may be approved only when the following items are determined:

The public welfare is in no way served by retaining the way or easement;

The City of Albuquerque does not anticipate any need to utilize the existing easement for roadway purposes.

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
3. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by January 24, 2013 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

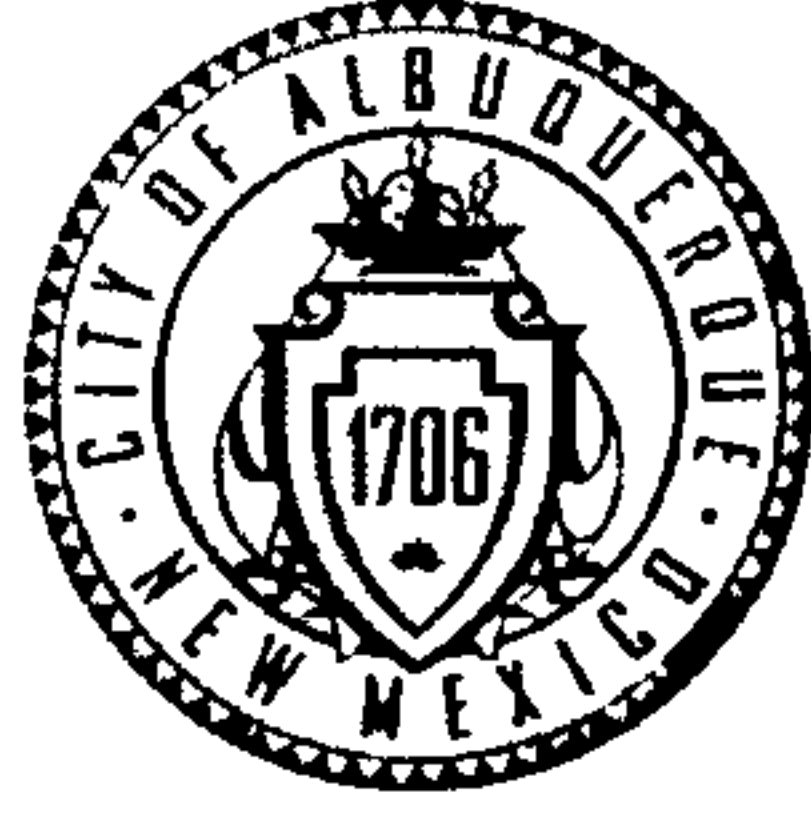
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Richard Dourte, Acting DRB Chair

Cc: Wilson & Company
Marilyn Maldonado
File



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 25, 2012 9:00 AM
MEMBERS:

Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant

Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

NOTE: Effective July 1, 2012, payment of Deferral Fees will be required PRIOR to hearing the deferred item.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1003372**
12DRB-70210 MAJOR - SDP FOR
BUILDING PERMIT

RBA ARCHITECTS agent(s) for GEORGE DAVIDSON request(s) the above action(s) for all or a portion of Lot(s) 30-A-3, Block(s) 11, Tract(s) A, **ALBUQUERQUE ACRES Unit(s) B**, zoned SU-2, M-1, located on OAKLAND AVE BETWEEN SAN MATEO AND I-25 containing approximately .424 acre(s). (C-18) *[Deferred from 7/11/12 at the agent's request]* **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION AND TO PLANNING.**
- 2. Project# 1009082**
12DRB-70082 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) *[Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/11 6/27/12]* **DEFERRED TO 8/29/12 AT THE AGENT'S REQUEST.**



DEVELOPMENT REVIEW BOARD

Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 27, 2012 9:00 AM

MEMBERS:

Jack Cloud, DRB Chair

Angela Gomez, Administrative Assistant

**Kristal Metro, Transportation Development
Curtis Cherne, City Engineer**

**Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1009082**
12DRB-70082 VACATION OF PUBLIC UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC RIGHT-OF-WAY
WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/12] **DEFERRED TO 7/25/12 AT THE AGENT'S REQUEST.**
2. **Project# 1009083**
12DRB-70078 VACATION OF PUBLIC UTILITY & DRAINAGE EASEMENT
12DRB-70081 VACATION OF PUBLIC ROADWAY EASEMENT
WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of Lots 10-11 and 19-22, Block 2, **VOLCANO CLIFFS Unit 14** and Lots 1-3, Block 2 **UNIT 25**, zoned SU-2/ VCUR & VCMX, located on ATRISCO DR NW and COMPASS DR NW south of PEREZOSO TRL NW containing approximately 12.5 acre(s). (D-9 & 10) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/12] **DEFERRED TO 7/11/12 AT THE AGENT'S REQUEST.**
3. **Project# 1009084**
12DRB-70079 VACATION OF PUBLIC UTILITY EASEMENT
12DRB-70080 VACATION OF PUBLIC RIGHT-OF-WAY
WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of COMPASS DRIVE NW plus Utility Easements in Block(s) 2, **VOLCANO CLIFFS Unit 19**, zoned SU-2/ VCLL, located on COMPASS DR NW between CAMINO DEL OSTE NW and COMPASS CT NW containing approximately 4.5 acre(s). (D-10) [Deferred from 3/28/12, 4/4/12, 5/9/12, 5/30/12] **DEFERRED TO 7/25/12 AT THE AGENT'S REQUEST.**

2. **Project# 1005029**
12DRB-70138 MAJOR - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR
SIA)
ISAACSON & ARFMAN, P.A. agent(s) for WESTERN
ALBUQUERQUE LAND HOLDINGS, LLC request(s) the
referenced/ above action(s) for THE MIREHAVEN
ARROYO as part of Tract(s) B & J **THE CROSSING
AND TRACT R, STORMCLOUD SUBDIVISION**
Unit(s) 3 & 4, zoned SU-2/R-LT, located west of UNSER
BLVD NW between TIERRA PINTADA BLVD NW and
LADER BLVD NW containing approximately 2.8 acre(s).
(H-9) **THE TWO YEAR EXTENSION OF THE
SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS
APPROVED.**

3. **Project# 1008830**
12DRB-70119 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT
AFRA CONSTRUCTION agent(s) for PARADISE RV
PARK request(s) the referenced/ above action(s) for Tract
3E, **TOWN OF ATRISCO GRANT, ROW 2, UNIT A**,
zoned SU-1 FOR C-2 USES AND CAMP GROUND,
located on the north side of VOLCANO RD NW between
98TH ST NW and 102ND ST NW containing approximately
5.3103 acre(s). (K-8, K-9) *[Deferred from 5/9/12, 5/23/12]*
DEFERRED TO 6/13/12 AT THE AGENT’S REQUEST.

4. **Project# 1009082**
12DRB-70082 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC
RIGHT-OF-WAY
WILSON & COMPANY agent(s) for MX LLC request(s)
the referenced/ above action(s) for VALIENTE ROAD NW
as well as a portion of KIMMICK DRIVE NW and CALLE
NORTENA NW plus Utility Easements in Blocks 2, 3 & 6
VOLCANO CLIFFS Unit 26, zoned SU-2/ VCMX,
located on the south side of PASEO DEL NORTE NW
between CALLE NORTENA NW and CALLE PLATA
NW containing approximately 30.7 acre(s). (C-11)
[Deferred from 3/28/12, 4/4/12, 5/9/12] **DEFERRED TO 6/27/12
AT THE AGENT’S REQUEST.**

5. **Project# 1009083**
12DRB-70078 VACATION OF PUBLIC
UTILITY & DRAINAGE EASEMENT
12DRB-70081 VACATION OF PUBLIC
ROADWAY EASEMENT
WILSON & COMPANY agent(s) for CITY OF
ALBUQUERQUE et.al. request(s) the referenced/ above
action(s) for all or a portion of Lots 10-11 and 19-22, Block
2, **VOLCANO CLIFFS Unit 14** and Lots 1-3, Block 2
UNIT 25, zoned SU-2/ VCUR & VCMX, located on
ATRISCO DR NW and COMPASS DR NW south of
PEREZOSO TRL NW containing approximately 12.5
acre(s). (D-9 & 10) *[Deferred from 3/28/12, 4/4/12, 5/9/12]*
DEFERRED TO 6/27/12 AT THE AGENT’S REQUEST.


6. **Project# 1009084**
12DRB-70079 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70080 VACATION OF PUBLIC
RIGHT-OF-WAY
WILSON & COMPANY agent(s) for CITY OF
ALBUQUERQUE et.al. request(s) the referenced/ above
action(s) for all or a portion of COMPASS DRIVE NW
plus Utility Easements in Block(s) 2, **VOLCANO
CLIFFS Unit 19**, zoned SU-2/ VCLL, located on
COMPASS DR NW bewteen CAMINO DEL OSTE NW
and COMPASS CT NW containing approximately 4.5
acre(s). (D-10) *[Deferred from 3/28/12, 4/4/12, 5/9/12]*
DEFERRED TO 6/27/12 AT THE AGENT’S REQUEST.


3. **Project# 1009082**
 12DRB-70082 VACATION OF PUBLIC UTILITY EASEMENT
 12DRB-70083 VACATION OF PUBLIC RIGHT-OF-WAY
 WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) *[Deferred from 3/28/12, 4/4/12]* **DEFERRED TO 5/30/12 AT THE AGENT'S REQUEST.**

4. **Project# 1009083**
 12DRB-70078 VACATION OF PUBLIC UTILITY & DRAINAGE EASEMENT
 12DRB-70081 VACATION OF PUBLIC ROADWAY EASEMENT
 WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of Lots 10-11 and 19-22, Block 2, **VOLCANO CLIFFS Unit 14** and Lots 1-3, Block 2 **UNIT 25**, zoned SU-2/ VCUR & VCMX, located on ATRISCO DR NW and COMPASS DR NW south of PEREZOSO TRL NW containing approximately 12.5 acre(s). (D-9 & 10) *[Deferred from 3/28/12, 4/4/12]* **DEFERRED TO 5/30/12 AT THE AGENT'S REQUEST.**


5. **Project# 1009084**
 12DRB-70079 VACATION OF PUBLIC UTILITY EASEMENT
 12DRB-70080 VACATION OF PUBLIC RIGHT-OF-WAY
 WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of COMPASS DRIVE NW plus Utility Easements in Block(s) 2, **VOLCANO CLIFFS Unit 19**, zoned SU-2/ VCLL, located on COMPASS DR NW bewteen CAMINO DEL OSTE NW and COMPASS CT NW containing approximately 4.5 acre(s). (D-10) *[Deferred from 3/28/12, 4/4/12]* **DEFERRED TO 5/30/12 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

6. **Project# 1009118**
 12DRB-70133 MINOR - SDP FOR BUILDING PERMIT 
 RMKM ARCHTECTURE P.C. agent(s) for SOUTHWEST CAPITOL/BANK OF LAS VEGAS request(s) the above action(s) for all or a portion of Tract(s) 349-A, zoned SU-2 (CLD), located on SE CORNER OF CENTRAL AND 15TH ST containing approximately .88 acre(s). (J-13) **DEFERRED TO 5/16/12 AT THE AGENT'S REQUEST.**

3. **Project# 1008435**
12DRB-70053 VACATION OF PUBLIC
RIGHT-OF-WAY 

ISAACSON AND ARFMAN PA agent(s) for MECHENBIER CONSTRUCTION, INC. request(s) the referenced/ above action(s) for all or a portion of PANORAMA/ TRAMWAY BOULEVARD NE adjacent to Tract N-2 **TANOAN PROPERTIES** and Tracts 17 & 18 **HIGH DESERT SUBDIVISION** zoned R-D, located on the west side of TRAMWAY BLVD NE north of ACADEMY RD NE containing approximately 5.2885 acre(s). (E-22) [Deferred from 3/21/12, 3/28/12] **THE VACATION WAS RECOMMENDED FOR APPROVAL BY CITY COUNCIL AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

4. **Project# 1005029**
12DRB-70043 VACATION OF PUBLIC
EASEMENT 
12DRB-70044 SIDEWALK WAIVER
12DRB-70045 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
12DRB-70046 MINOR - TEMP DEFR
SWDK CONST
12DRB-70047 MAJOR - PRELIMINARY
PLAT APPROVAL

ISAACSON & ARFMAN PA agent(s) for WESTERN ALBUQUERQUE LAND HOLDINGS LLC request(s) the referenced/ above action(s) for all or a portion of Tract(s) B & J, **THE CROSSING** and Tract R **STORMCLOUD UNIT 3** zoned SU-2 RLT and RD, located on the south side of TIERRA PINTADA BLVD NW between ARKANSAS RD NW and CALLE AZULEJO NW containing approximately 55.2416 acre(s). (H-9)[Deferred from 3/7/12, 3/21/12] **DEFERRED TO 4/11/12 AT THE AGENT'S REQUEST.**

5. **Project# 1009082**
12DRB-70082 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11) [Deferred from 3/28/12] **DEFERRED TO 5/9/12 AT THE AGENT'S REQUEST.**

6. **Project# 1009083**
12DRB-70078 VACATION OF PUBLIC
UTILITY & DRAINAGE EASEMENT
12DRB-70081 VACATION OF PUBLIC
ROADWAY EASEMENT

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of Lots 10-11 and 19-22, Block 2, **VOLCANO CLIFFS Unit 14** and Lots 1-3, Block 2 **UNIT 25**, zoned SU-2/ VCUR & VCMX, located on ATRISCO DR NW and COMPASS DR NW south of PEREZOSO TRL NW containing approximately 12.5 acre(s). (D-9 & 10) [Deferred from 3/28/12] **DEFERRED TO 5/9/12 AT THE AGENT'S REQUEST.**



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 28, 2012 9:00 AM


MEMBERS:

Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant


Kristal Metro, Transportation Development
Curtis Cherne, City Engineer

Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1008656** 
12DRB-70073 VACATION OF EASEMENT
12DRB-70074 SIDEWALK VARIANCE
12DRB-70075 SUBDIVISION DESIGN VARIANCE FROM MIN DPM STDS
12DRB-70076 MINOR - TEMP DEFERRAL SIDEWALK CONSRUCTION
12DRB-70077 PRELIMINARY PLAT
12DRB-70102 EPC APPROVED SDP FOR SUBDIVISION

MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for GLENDALE, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 4-9, Block 12, **NORTH ALBUQUERQUE ACRES Tract 1 Unit 3**, zoned R-D, located on the south side of GLENDALE AVE NE between WYOMING BLVD NE and BARSTOW ST NE. containing approximately 5.993 acre(s). **(B19)DEFERRED TO 4/18/12 AT THE AGENT'S REQUEST.**

2. **Project# 1009082**
12DRB-70082 VACATION OF PUBLIC UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC RIGHT-OF-WAY 

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). **(C-11) DEFERRED TO 4/4/12 AT THE AGENT'S REQUEST.**

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009082

AGENDA ITEM NO: 4

SUBJECT:

VACATION OF PUBLIC UTILITY EASEMENTS
VACATION OF PUBLIC RIGHT-OF-WAY

ENGINEERING COMMENTS:

No objection to vacation of public utility easements.

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

Infrastructure will be required.

Provide cross sections for the proposed roadway sections.

What is the roadway classification of Kimmick Drive and Rosa Parks Road? Larger radii may be required at the intersection of Kimmick / Paseo del Norte and Kimmick / Rosa Parks.

Is a traffic signal proposed at Kimmick / Paseo del Norte?

Does Valiente Road meet the criteria for a stub street (maximum number of units is 4 and the maximum length is 150' measured from the centerline of the intersecting street to the end of the stub street)?

Define the full right of way width of Paseo del Norte (156' ultimate).

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

06-27-12

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: MAY 30, 2012



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

March 28, 2012

Project# 1009082

12DRB-70082 VACATION OF PUBLIC UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11)

AMAFCA No comment.
COG No comments provided.
TRANSIT No comments provided.
ZONING ENFORCEMENT No comments provided.
NEIGHBORHOOD COORDINATION
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT Northwest Area Command - No Crime Prevention or CPTED comments concerning the proposed Vacation of Public Easement or the Vacation of Public Right-of-Way requests at this time.
FIRE DEPARTMENT No comments provided.
PNM ELECTRIC & NMGAS No comments provided.
COMCAST No comments provided.
Centurylink No comments provided.
ENVIRONMENTAL HEALTH No comments provided.
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION No comments provided.

CITY ENGINEER

Comments, if any, will be provided at the meeting

TRANSPORTATION DEVELOPMENT

PARKS AND RECREATION

No comments

ABCWUA

PLANNING DEPARTMENT

Refer to comments from affected agencies plus any public hearing comments regarding proposed vacation. An authorization letter is needed from a majority of the owners of the property abutting the proposed vacation.

The nearly 'right angled' proposed vacation for Calle Nortena in the NE corner of Block 3 presents an unusual right-of-way configuration as does the proposed vacations at Kimmick and Paseo – proposed street alignments are needed to demonstrate that the required subdivision will be suitable per the Subdivision Ordinance for orderly and harmonious development.

In order to recommend approval of the proposed vacation, the DRB must find that the public welfare is in no way served by retaining the right of way, or that the development made possible is more beneficial than any detriment resulting from the vacation.

Based on the extent of the proposed vacation, the City Council has the sole authority to approve the vacation by ordinance.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, March 28, 2012**, beginning at **9:00 a.m.** for the purpose of considering the following items. The Development Review Board will hold a Pre-Hearing Discussion in the Conference Room of Suite 201, Lobby Level, Plaza del Sol Building, 600 2nd St NW, Albuquerque, NM on Tuesday, **MARCH 27, 2012**, beginning at 3:00 p.m. for the purpose of reviewing these items prior to the public hearing; no action or public comments will be taken at this Discussion.

Project# 1008656

12DRB-70073 VACATION OF EASEMENT
12DRB-70074 SIDEWALK VARIANCE
12DRB-70075 SUBDIVISION DESIGN
VARIANCE FROM MIN DPM STDS
12DRB-70076 MINOR - TEMP DEFERRAL
SIDEWALK CONSRUCTION
12DRB-70077 PRELIMINARY PLAT

MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for GLENDALE, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 4-9, Block 12, **NORTH ALBUQUERQUE ACRES Tract 1 Unit 3**, zoned R-D, located on the south side of GLENDALE AVE NE between WYOMING BLVD NE and BARSTOW ST NE. containing approximately 5.993 acre(s). (B19)

Project# 1009082

12DRB-70082 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11)

Project# 1009083

12DRB-70078 VACATION OF PUBLIC
UTILITY & DRAINAGE EASEMENT
12DRB-70081 VACATION OF PUBLIC
ROADWAY EASEMENT

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of Lots 10-11 and 19-22, Block 2, **VOLCANO CLIFFS Unit 14** and Lots 1-3, Block 2 **UNIT 25**, zoned SU-2/ VCUR & VCMX, located on ATRISCO DR NW and COMPASS DR NW south of PEREZOSO TRL NW containing approximately 12.5 acre(s). (D-9 & 10)

Project# 1009084

12DRB-70079 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70080 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of COMPASS DRIVE NW plus Utility Easements in Block(s) 2, **VOLCANO CLIFFS Unit 19**, zoned SU-2/ VCLL, located on COMPASS DR NW bewteen CAMINO DEL OSTE NW and COMPASS CT NW containing approximately 4.5 acre(s). (D-10)

Project# 1009164

12DRB-70070 ELECTRICAL LINE
LOCATION VARIANCE

PNM request(s) the referenced/above action(s) for an **OVERHEAD DISTRIBUTION LINE** between **Innovation Substation 13 Feeder and Four Hill Substation 12**, located at JUAN TABO BLVD SE and MONACHOS RD SE south of the TIJERA ARROYO. (M-21 & 22)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, DRB Chair, Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 12, 2012.

7. **Project# 1009027**
11DRB-70354 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- DOUG SMITH agent(s) for DIANA TORRES request(s) the above action(s) for all or a portion of Lot(s) 6, 7, & 8, Block(s) 5, **PARKLAND HILLS ADDITION** zoned R-1, located on ON CARLISLE BLDV SE BETWEEN BURTON AVE SE & PERSHING AVE SE containing approximately .4649 acre(s). (L-16) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

8. **Project# 1009081**
11DRB-70349 SKETCH PLAT REVIEW
AND COMMENT
- INTEGRATED DESIGN & ARCHITECTURE agent(s) for DE ANZA DEVELOPER LLC / CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 1-17, Block(s) 004, **MESA GRAND ADDITION**, zoned CCR-2, located on CENTRAL AVE BETWEEN WASHINGTON AND GRACELAND containing approximately 2.08 acre(s). (K-17)**THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**
9. **Project# 1009082**
11DRB-70350 SKETCH PLAT REVIEW
AND COMMENT
- WILSON AND COMPANY INC request(s) the above action(s) for all or a portion of Lot(s) VARIOUS, **VOLCANO CLIFFS UNIT 26** located on ON PASEO DEL CALLE NORTENA BETWEEN CALLE PLATA AND RIDGEWAY containing approximately 32 acre(s). (C-11) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**
10. **Project# 1009083**
11DRB-70351 SKETCH PLAT REVIEW
AND COMMENT
- WILSON AND COMPANY INC request(s) the above action(s) for all or a portion of **VOLCANO CLIFFS UNITS 14 & 15** zoned R-1, located on ON ATRISCO BETWEEN ROSA PARKS AND COMPASS containing approximately 12 acre(s). (D-09, D-10) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**
11. **Project# 1009084**
11DRB-70352 SKETCH PLAT REVIEW
AND COMMENT
- WILSON AND COMPANY INC request(s) the above action(s) for all or a portion of **VOLCANO CLIFFS UNIT 19** located on ON CAMINO DEL OESTE BETWEEN URRACA AND RIO AGUILAR containing approximately 4 acre(s). (D-10) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED.**
12. Approval of the Development Review Board Minutes for June 2011.

Other Matters: None.

ADJOURNED: 10:30

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
December 21, 2011
DRB Comments**

ITEM # 9

PROJECT # 1009082 APPLICATION # 11-70350


RE: Volcano Cliffs, Unit 26

Plat Title should be an extension of the existing subdivision name.

Proposed Lot 1A, Block 1 for ABCWUA does not appear to provide for uniform right of way for adjacent streets; more detail will be required.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

HEARINGS DATE: 12-21-11 (SK)

City of **Albuquerque**  DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

APPEAL / PROTEST of...

- Street Name Change (Local & Collector)
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): KRISTINE SUSCO/WILSON & Company PHONE: 348-4191
 ADDRESS: 4900 LANG AVE NE FAX: 348-4072
 CITY: ALB STATE: NM ZIP: 87109 E-MAIL: KISUSCO@WILSONCO.COM

APPLICANT: CITY OF ALBUQUERQUE ETAL PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE: _____ ZIP: _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A PORTION OF BLK 2 & A PORTION OF BLK 6 together w/a portion of Unit: 26
VALENTE RD & KIMMICK DR NW
 Subdiv/Addn/TBKA: VOLCANO CLIFFS SUBD
 Existing Zoning: SU-2VCMX Proposed zoning: SAME MRGCD Map No. _____
 Zone Atlas page(s): C-112 UPC Code: 1-011-064-001-177-30409

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1009082
12 DRB-70082 ; EC-393 ; DRB-13-70584

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 16 No. of proposed lots: 1 TRACT Total site area (acres): 16.31 Act
 LOCATION OF PROPERTY BY STREETS: On or Near: KIMMICK DR NW
 Between: ROSA PARKS RD and PASEO DEL NORTE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Kristine Susco DATE 7-19-13
 (Print Name) KRISTINE SUSCO Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>BDRB-70632</u>	<u>FP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Hearing date July 31, 2013 Total \$20.00

[Signature]
 Staff signature & Date 7-19-13

Project # 1009082

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) Your attendance is required.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) Your attendance is required.

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
Kristine Susco 7-19-13
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13 - DRB - 70632

7-19-13
[Signature]
Planner signature / date
Project # 1009082

City of **Albuquerque**  DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental Form (SF)

SUBDIVISION
 Major subdivision action
 Minor subdivision action
 Vacation
 Variance (Non-Zoning)

SITE DEVELOPMENT PLAN
 for Subdivision
 for Building Permit
 Administrative Amendment/Approval (AA)
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STORM DRAINAGE (Form D)
 Storm Drainage Cost Allocation Plan

Z ZONING & PLANNING
 Annexation
 V Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
 P Adoption of Rank 2 or 3 Plan or similar
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 D Street Name Change (Local & Collector)
 L A APPEAL / PROTEST of...
 Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

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 ADDRESS: 4900 LANG AVE NE FAX: 348-4072
 CITY: ALB STATE: NM ZIP: 87109 E-MAIL: KISUSCO@WILSONCO.COM

APPLICANT: CITY OF ALBUQUERQUE ETAL PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE: _____ ZIP: _____ E-MAIL: _____
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: PLAT APPROVAL

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 Subdiv/Addn/TBKA: VOLCANO CLIFFS SUBD
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 Zone Atlas page(s): C-112 UPC Code: 1-011-064-001-177-30409

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12 DRB-70082 ; EC-393 ; DRB-13-70584

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 Between: ROSA PARKS RD and PASEO DEL NORTE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Kristine Susco DATE 7-19-13
 (Print Name) KRISTINE SUSCO Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13 DRB-70632</u>	<u>EP</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>July 31, 2013</u>			Total <u>\$20.00</u>

[Signature] 7-19-13 Project # 1009082
 Staff signature & Date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

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- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) Your attendance is required.

- Preliminary Plat reduced to 8 5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) Your attendance is required.

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
Kristine Susco 7-19-13
Applicant signature / date




Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13 - DRB - 70632

[Signature] 7-19-13
Planner signature / date
Project # 1009082

City of **Albuquerque**  DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): KRISTINE SUSCO/WILSON & Company PHONE: 348-4191
 ADDRESS: 4900 LANG AVE NE FAX: 348-4072
 CITY: ALB STATE NM ZIP 87109 E-MAIL: KISUSCO@WILSONCO.COM

APPLICANT: CITY OF ALBUQUERQUE ETAL PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. BLK 3 and a portion of Kimmick Dr and Block: BLK 3 Unit: 26
 Subdiv/Addn/TBKA: Calle Nortena NW VOLCANO CLIFFS SUBD
 Existing Zoning: SU-2 VCMX Proposed zoning: same MRGCD Map No _____
 Zone Atlas page(s): C-11-2 UPC Code: 1-011-064-182-178-30506

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1009082, 12-DRB-70082; EC-393; DRB-70582

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 6 No. of proposed lots: 2 Total site area (acres): 13.39 Act
 LOCATION OF PROPERTY BY STREETS: On or Near: VALIENTE RD NW
 Between: KIMMICK DR NW and CALLE Nortena NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Kristine Susco DATE 7-19-13

(Print Name) KRISTINE SUSCO Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB-70633</u>	<u>FP</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
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[Signature]
 7-19-13
 Staff signature & Date

Project # 1009082

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KRISTINE SUSCO
 Kristine Susco
 Applicant name (print)
 Kristine Susco 7-19-13
 Applicant signature / date



Form revised October 2007

- Checklists complete
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- Application case numbers
13 - DRB-70633

[Signature] 7-19-13
 Planner signature / date
 Project # 1009082

City of **Albuquerque**  DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental Form (SF)

- | | |
|---|--|
| <input checked="" type="checkbox"/> SUBDIVISION | <input checked="" type="checkbox"/> Z ZONING & PLANNING |
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| <input type="checkbox"/> for Subdivision | |
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FOR OFFICIAL USE ONLY

Revised: 4/2012

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KRISTINE SUSCO
 Kristine Susco (Applicant name (print))
 Kristine Susco 7-19-13
 Kristine Susco (Applicant signature / date)

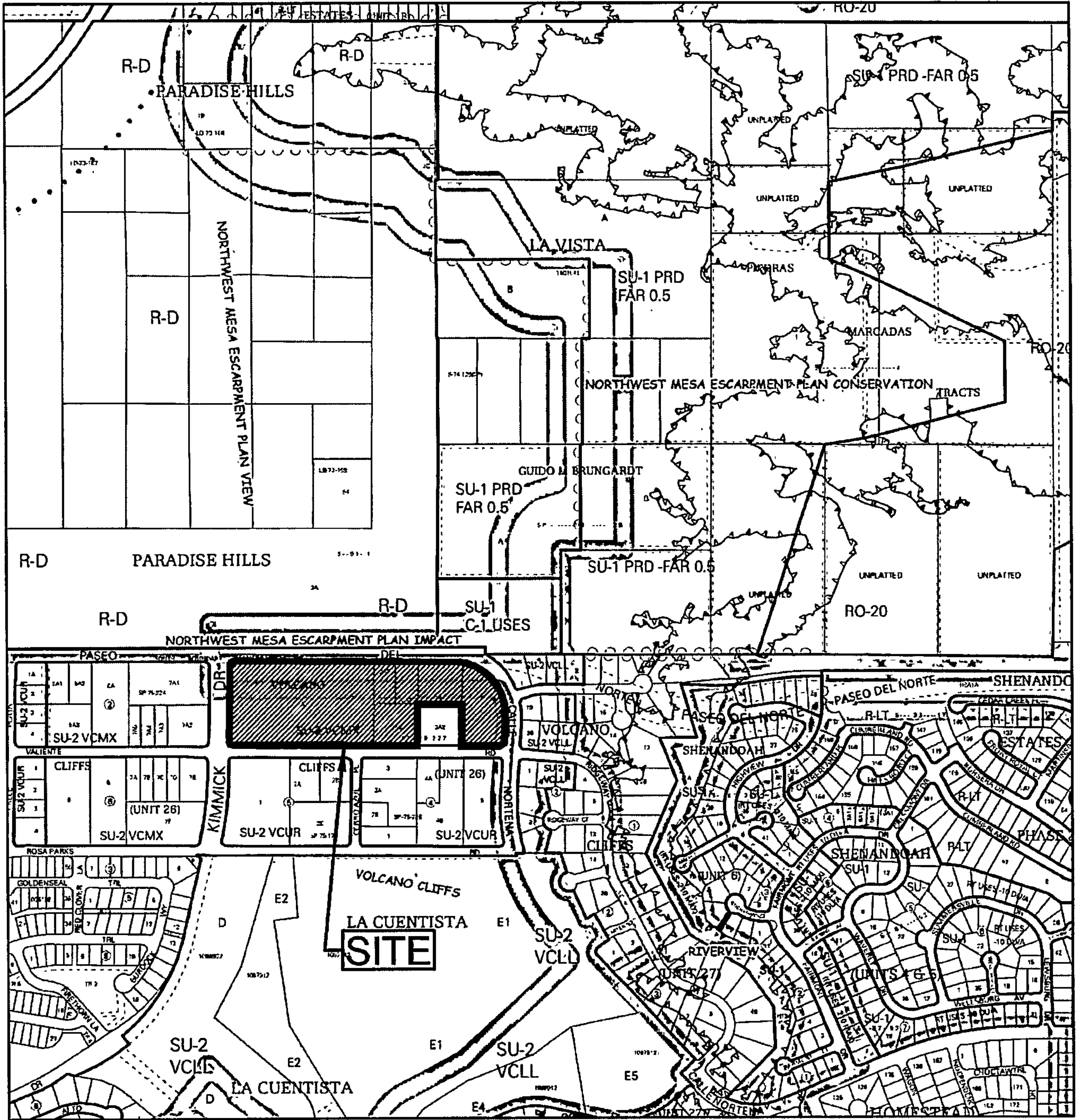


Form revised October 2007

- Checklists complete
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- Case #s assigned
- Related #s listed

Application case numbers
13 - DRB-70433

[Signature] 7-19-13
 [Signature] (Planner signature / date)
 Project # 1009082



For more current information and details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-11-Z

Selected Symbols

SÉCTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 1/10/2013

11111111

July 31. 2013

CITY DEPARTMENT INFRASTRUCTURE LIST

Current DRC
Project Number: 693891

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1009082
DRB Application No.: _____

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**SAD 228 - PLAT OF LOTS 1A-1 and 4A-1, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 1-A AND 4A, BLOCK 3, together with Lots 2A-1, 2A-2, 2A-3 & 3A-1, Block 3, Volcano Cliffs Subdivision, Unit 26, together with portions of street RIGHT OF WAY for KIMMICK
DRIVE NW and CALLE NORTENA NW
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PAVING									
		49' EOP-F	Arterial Paving w/C&G w/10' Trail w/ 2" Asphalt Paving South Side	Paseo del Norte NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		48' F-F	Residential Paving w/C&G (1/2 Section) w/6' SW East Side	Kimmick Drive NW	Valiente Road NW	Paseo del Norte NW	/	/	/
		48' F-F	Residential Paving w/C&G w/6' SW West Side & w/10' Trail w/ 2" Asphalt Paving East Side	Calle Nortena NW	155' N of Valiente Road NW	Paseo del Norte NW	/	/	/
		24' EOP-F	Residential Paving w/C&G w/6' SW West Side & w/10' Trail w/ 2" Asphalt Paving East Side	Calle Nortena NW	Valiente Road NW	155' N of Valiente Road NW	/	/	/
		24' EOP-F	Residential Paving w/C&G w/5' SW North Side	Valiente Road NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
WATER									
		8" Dia	Waterline w/ appurtenances	Valiente Road NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		12" Dia	Waterline w/ appurtenances	Calle Nortena NW	Valiente Road NW	Paseo del Norte NW	/	/	/
STORM DRAIN									
		48" Dia	Storm Drain w/ Inlets & Appurtenances	Paseo del Norte NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		18"/24"/30" Dia	Storm Drain w/ Inlets, PillBox MHs & Appurtenances	Paseo del Norte NW	Kimmick Drive NW	Calle Nortena NW	/	/	/
		18"/24" Dia	Storm Drain	Calle Nortena NW	82' South of Paseo del Norte NW	Paseo del Norte NW	/	/	/

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location	From	To
SANITARY SEWER				
8" Dia	Sanitary Sewer w/ MHs and Appurtenances	Valiente Road NW	Kimmick Drive NW	Calle Nortena NW
8" Dia	Sanitary Sewer w/ MHs and Appurtenances	Calle Nortena NW	Valiente Road NW	90' South of Paseo del Norte NW

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/

NOTES

1
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6
7

The improvements identified above are the responsibility of SAD 228. By signing below, I, Michael Riordan, confirm that these improvements are being constructed with SAD 228 and that SAD 228 is financially responsible for the above listed items. The cost of these improvements are included in the current SAD 228. This agreement will constitute a Subdivision Improvement Agreement (SIA). Overseeing implementation of these items is my responsibility. The items listed above are estimated to cost \$1,107,000.00 and will be completed by the end of the project.

MS WA

[Signature]
Department of Municipal Development

6/12/13
Date

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

STEVEN METRO
NAME (print)

WILSON & COMPANY
FIRM

[Signature] *6-7-13*
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

- date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

V

P

D

L

Street Name Change (Local & Collector)

A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): KRISTINE SUSCO/WILSON & Company PHONE: 348-4191
 ADDRESS: 4900 LANG AVE NE FAX: 348-4072
 CITY: ALB STATE: NM ZIP: 87109 E-MAIL: KISUSCO@WILSONCO.COM

APPLICANT: CITY OF ALBUQUERQUE ETAL PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE: _____ ZIP: _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL, BULK LAND VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. BLK 3 and a portion of Kimmick Dr and Block: BLK 3 Unit: 26

Subdiv/Addn/TBKA: Calle Nortena NW VOLCANO CLIFFS SUBD

Existing Zoning: SU-2 VCMX Proposed zoning: same MRGCD Map No _____

Zone Atlas page(s): C-11-2 UPC Code: 1-011-064-182-178-30506

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1009082, 12-DRB-70082; EC-393

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____

No. of existing lots: 6 No. of proposed lots: 2 Total site area (acres): 13.39 Act

LOCATION OF PROPERTY BY STREETS: On or Near: VALIENTE RD NW

Between: Kimmick Dr NW and Calle Nortena NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 12-21-11

SIGNATURE Kristine Susco DATE 12.21.11

(Print Name) KRISTINE SUSCO Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

13DRB-70582
3DRB-70583

Action

PP
BLV
ADV
SME

S.F.

Fees

\$ 595.00
\$ 145.00
\$ 75.00
\$ 20.00
\$ _____

Total

\$ 835.00

Hearing date July 17, 2013

[Signature]

6-14-13
Staff signature & Date

Project # 1009082

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
6-14-13
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 13DRB- _____ -70582

[Signature] 6-14-13
Planner signature / date
 Project # 1009082

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** *Major 5.2* (PUBLIC HEARING CASE)
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived. *SEE 5.2 LTR*
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
Kristine 6-14-13
Applicant signature / date



Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DRB - ~~70583~~
- 70583
- _____

[Signature] 6-14-13
Planner signature / date
Project # 1009082

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 2 2013 To July 17 2013

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

6-14-13
(Date)

I issued 2 signs for this application, 6-14-13
(Date)

[Signature]
(Staff Member)

DRB PROJECT NUMBER: 1009082



SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): KRISTINE SUSCO/WILSON & Company PHONE: 348-4191
 ADDRESS: 4900 LANG AVE NE FAX: 348-4072
 CITY: ALB STATE: NM ZIP: 87109 E-MAIL: KISUSCO@WILSONCO.COM

APPLICANT: CITY OF ALBUQUERQUE ETAL PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE: _____ ZIP: _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL, BULK LAND VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. BLK 3 and a portion of Kimmick Dr and Block: BLK 3 Unit: 26
 Subdiv/Addn/TBKA: Calle Nortena NW VOLCANO CLIFFS SUBD
 Existing Zoning: SU-2 VCMX Proposed zoning: same MRGCD Map No _____
 Zone Atlas page(s): C-11-2 UPC Code: 1-011-064-182-178-30506

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1009082, 12-DRB-70082; EC-393

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 6 No. of proposed lots: 2 Total site area (acres): 13.39 Acs
 LOCATION OF PROPERTY BY STREETS: On or Near: VALIENTE RD NW
 Between: KIMMICK DR NW and CALLE NORTENA NW
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 12-21-11

SIGNATURE Kristine Susco DATE 12.21.11

(Print Name) KRISTINE SUSCO Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13DRB-70582</u>	<u>PP</u>	---	<u>\$ 595.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>3DRB-70583</u>	<u>BLV</u>	---	<u>\$ 145.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	---	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	<u>SME</u>	---	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	---	<u>\$ _____</u>
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	---	<u>\$ _____</u>
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	---	<u>\$ _____</u>
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	---	<u>\$ _____</u>
				Total
				<u>\$ 835.00</u>

Hearing date July 17, 2013

[Signature] 6-14-13
 Staff signature & Date

Project # 1009082

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8 5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
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- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
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- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
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- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
 Applicant name (print)
6-14-13
 Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 3DRB- _____ - 70582

[Signature] 6-14-13
 Planner signature / date
 Project # 1009082

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** *Major 5-2* (PUBLIC HEARING CASE)
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived. *SEE 5-2 LTR*
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
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- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
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 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
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I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
Kristine 6-14-13
Applicant signature / date

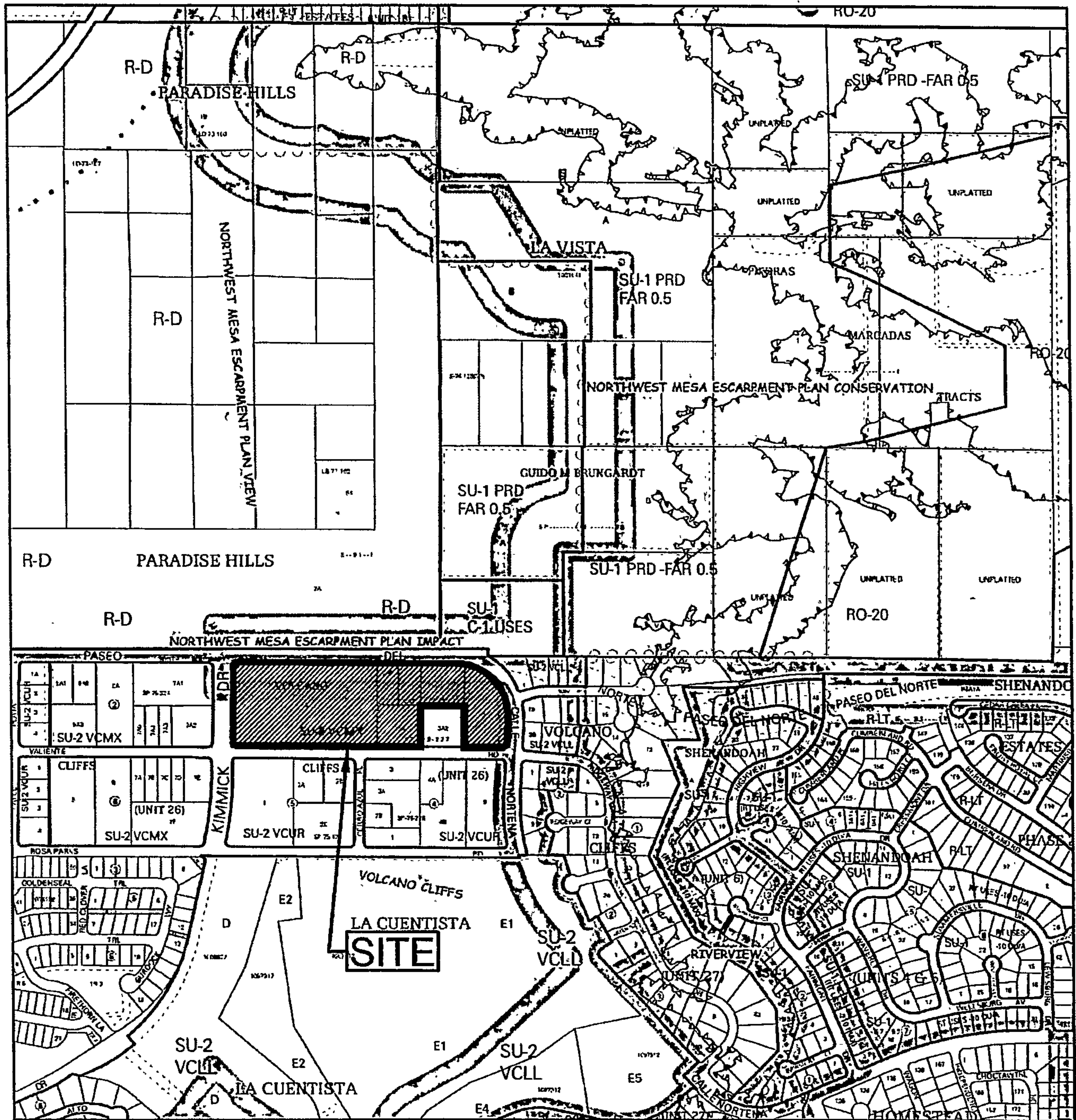


Form revised 4/07

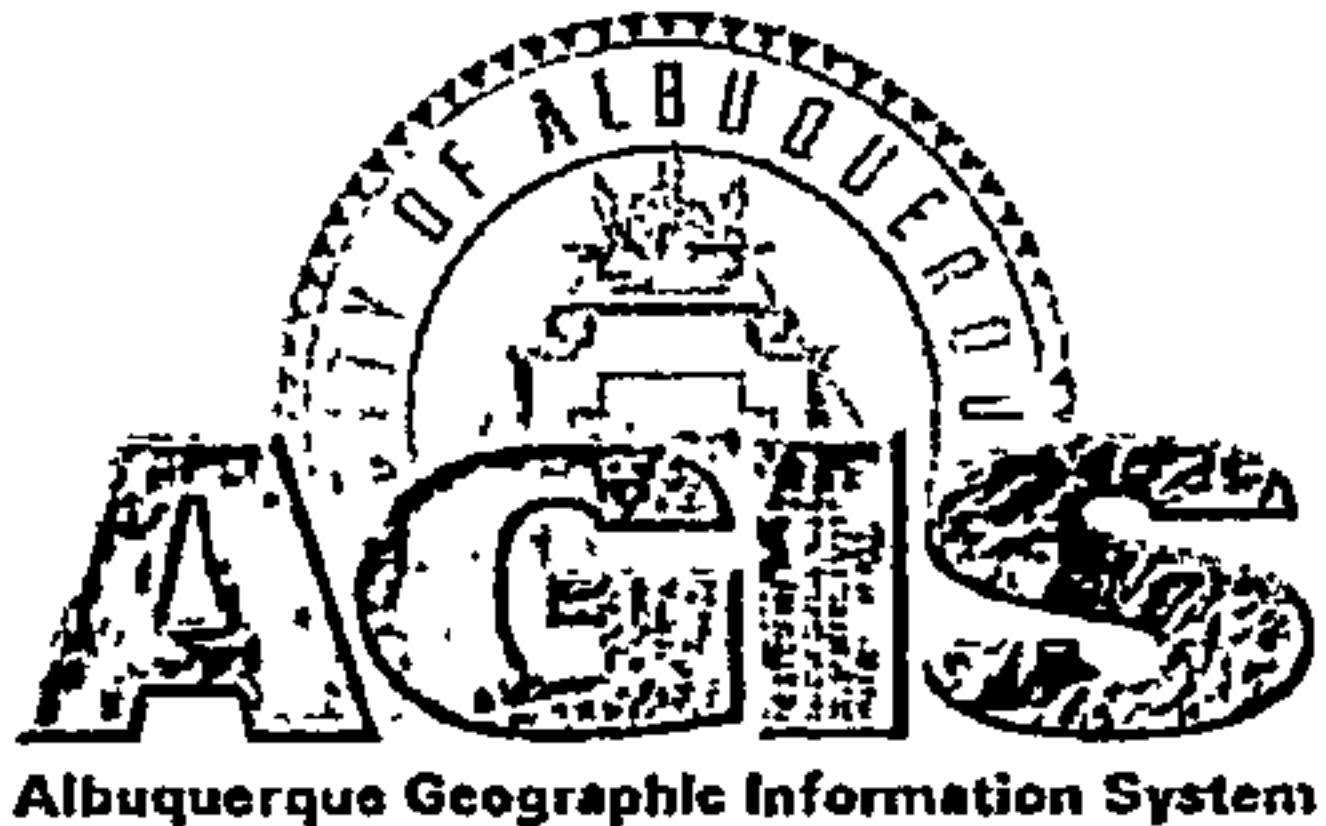
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 BDRB _____
 _____ 70583

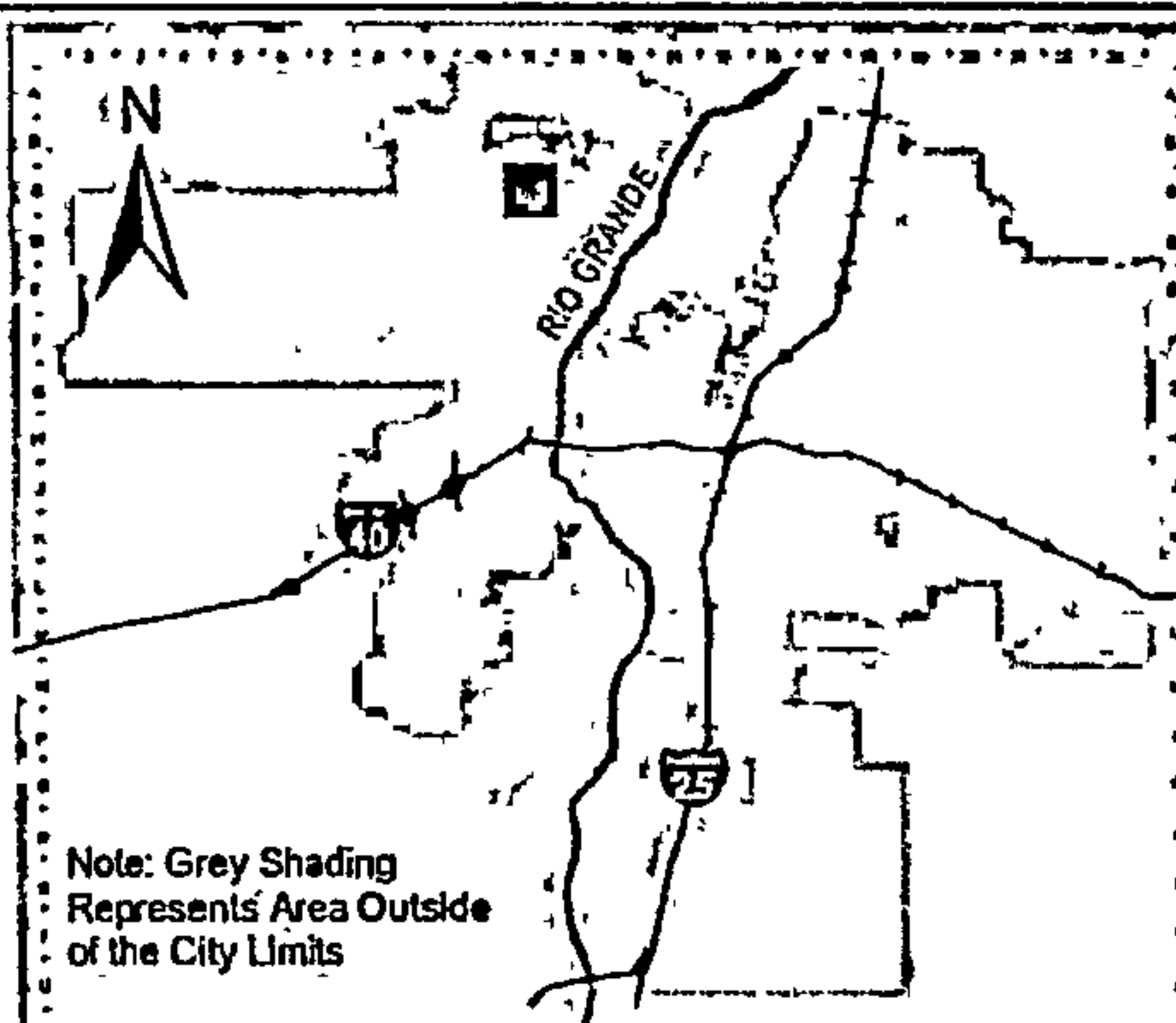
[Signature] 6-14-13
Planner signature / date
 Project # 1009082



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 1/10/2013



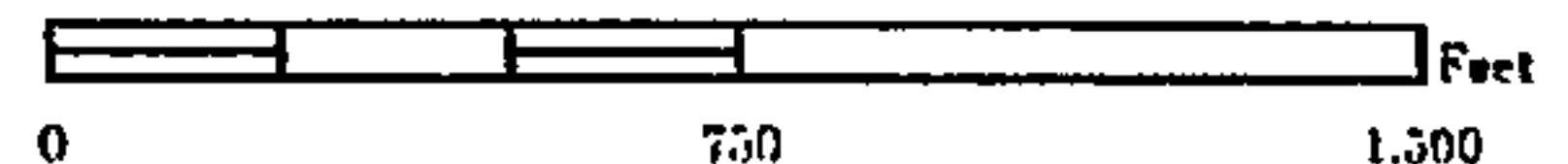
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

C-11-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

14 June 2013

Jack Cloud, Chairperson
Development Review Board
City of Albuquerque Planning Department
600 Second St. NW
Plaza Del Sol
Albuquerque, NM 87103

Re: **Preliminary Plat Submittal**
Tract 1, Block 2, Unit 26 Volcano Cliffs Subdivision
DRB Case No.: 1009082

Dear Mr. Cloud:

Wilson & Company, acting as agents for the City of Albuquerque, request approval for the Preliminary Plat as referenced above. The platting action allows for the dedication of Right of Way for Paseo del Norte and facilitates access solutions to properties adjacent to Paseo del Norte that are currently land locked by access limitations.

Additionally, we request approval for a Bulk Land Variance for this platting action; the plat combines sixteen lots into one Tract. This action facilitates future construction of public infrastructure as well as private development suited to the character of the area as well as long range planning.

Finally, we request approval of a Design Variance from Minimum DPM Standards. The stub street created by the approved vacation of Valiente Rd NW public ROW adjacent to the proposed Tract 1 is 190.2' long as measured from the intersection of Valiente Rd NW and Calle Plata Rd NW to the western boundary of the proposed bulk land plat. This represents a very minor Design Variance of 40.2' in the stub street length.

By granting this Design Variance, the created stub street will adequately serve the two existing lots, both of which also have frontage along Calle Plata Rd NW. The stub street provides sufficient rights-of-way for the adjacent properties, eliminates practical difficulty in bulk platting of this area and will not be injurious to the public safety, health or welfare.

Please contact me at 348-4191 if you have an questions. Thank you.

Sincerely,

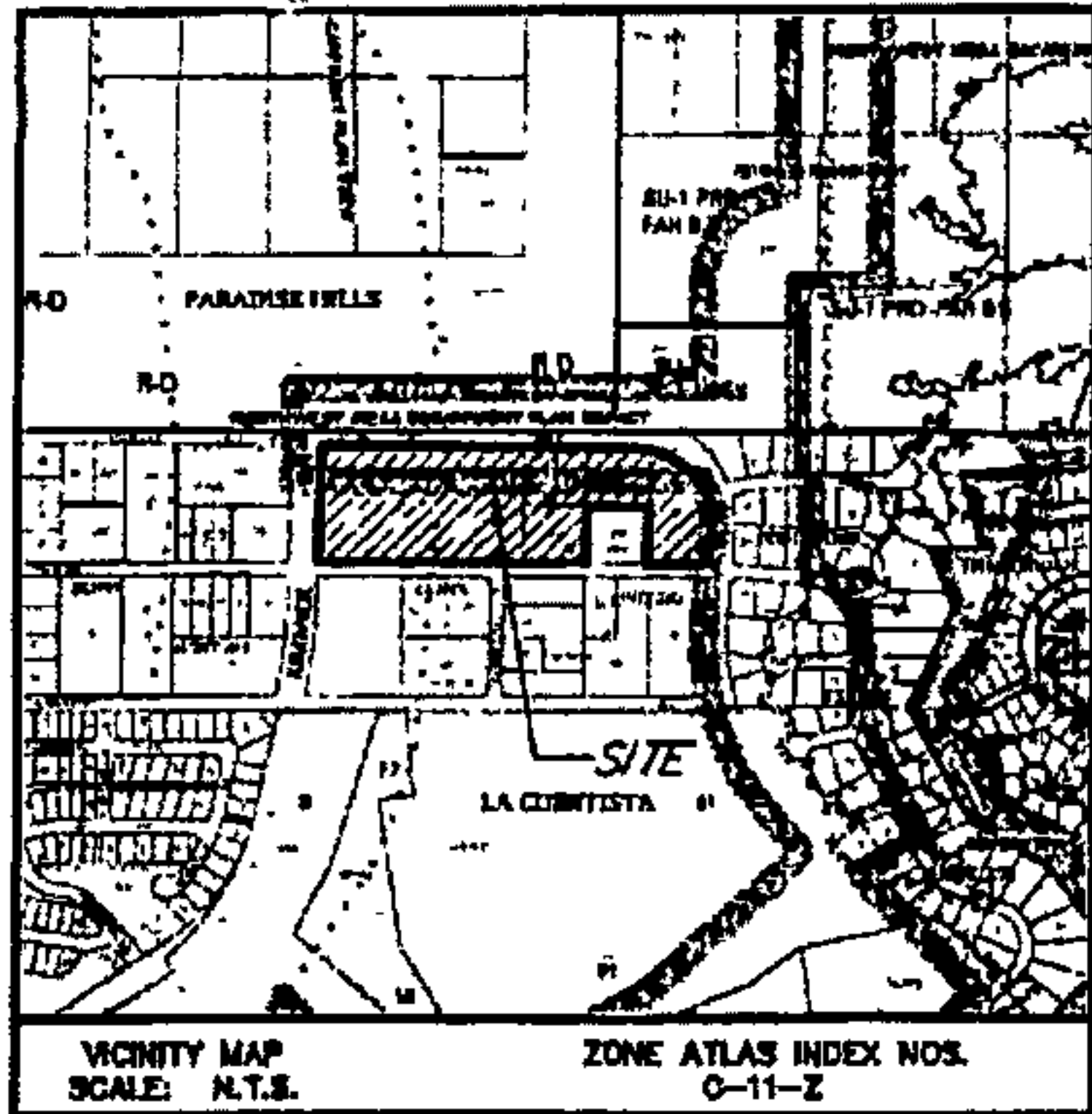
Kristine Sisco
Project Designer

Wilson & Company, Inc., Engineers & Architects



SHARED OWNERSHIP • COLLABORATION
INTENSITY • DISCIPLINE • SOLUTIONS

Volcano Vista AP# 877



SUBDIVISION DATA:

TOTAL NO. OF LOTS EXISTING: 6
 TOTAL NO. OF LOTS CREATED: 2
 GROSS SUBDIVISION ACREAGE: 13.3885 ACRES
 TOTAL MILES OF STREETS CREATED: 0
 ZONE ATLAS INDEX NO: C-11-Z
 DATE OF SURVEY: APRIL 2010
 CURRENT ZONING: SU-2 VCMX

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT SIX EXISTING LOTS INCLUDING: LOTS 1-A, 2A-1, 2A-2, 2-A3, 3A-1, AND 4A, BLOCK 3, UNIT 26, VOLCANO CLIFFS SUBDIVISION, INTO TWO LOTS; VACATE AND GRANT EASEMENTS; AND VACATE AND DEDICATE RIGHT-OF-WAY FOR PASEO DEL NORTE, KIMMICK DRIVE, VALENTE ROAD AND CALLE NORTENA.

GENERAL NOTES:

- COUNCIL BILL R-11-308 CREATES SPECIAL ASSESSMENT DISTRICT 228 (SAD 228) AND STATES THAT THE ADDITION OF IMPROVEMENTS TO THE DISTRICT IS IN THE GENERAL INTEREST OF THE CITY. THE TRACTS, EASEMENTS, AND RIGHT-OF-WAY SHOWN ON THIS PLAT ARE WITHIN THE IMPROVEMENT LIMITS DEFINED BY COUNCIL BILL R-11-308 FOR SAD 228.
- FIELD SURVEY WAS PERFORMED IN APRIL 2010.
- BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 83), BASED ON A LINE FROM CONTROL STATION 3-E10 TO CONTROL STATION 13-D10 BEARING = N.5412'22"E.
- ALL DISTANCES ARE GROUND DISTANCES.
- CORNERS SHOWN AS ARE 5/8" REBAR WITH CAP STAMPED "C.S. CROSHAW PS 14733", UNLESS OTHERWISE INDICATED.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #: 1-011-084-182-178-30508
 PROPERTY OWNER OF RECORD: LEDERER A G JR (L2A2,B3,U26)
 UNIFORM PROPERTY CODE #: 1-011-084-127-185-30501
 PROPERTY OWNER OF RECORD: VOLCANO CLIFFS INC. (L1A1,B3,U26)
 UNIFORM PROPERTY CODE #: 1-011-084-223-185-30504
 PROPERTY OWNER OF RECORD: GROUP 1 U28 VC LLC (L4A,B3,U26)
 UNIFORM PROPERTY CODE #: 1-011-084-177-186-30302
 PROPERTY OWNER OF RECORD: STEVEN J. METRO (L2A3,B3,U26)
 UNIFORM PROPERTY CODE #: 1-011-084-200-178-30505
 PROPERTY OWNER OF RECORD: GROUP 1 U28 VC LLC (L3A1,B3,U26)
 UNIFORM PROPERTY CODE #: 1-011-084-171-178-30807
 PROPERTY OWNER OF RECORD: FOLKINS GLENN O ETUX ETAL (L2A1,B3,U26)

BERNALILLO COUNTY TREASURER'S OFFICE: _____ DATE: _____

INDEXING INFORMATION FOR COUNTY CLERK

OWNER(S): VARIOUS
 SECTION 14, T.11 N., R.2 E., N.M.P.M.
 SUBDIVISION: VOLCANO CLIFFS SUBDIVISION, UNIT 26

Layout Name: UNIT 26 B3-DRB-01
 Drawing Name: S1C3218078_Boundary (replathese) dwg
 NETWORK ADDRESS: m:\RR\08-400-104-00\CAOD\MAPPING\ABO\SAD 228\ Plat By: PAJ

LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND BEING COMPRISED OF LOTS 1A & 4A, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 18, 1971 IN VOLUME D4, FOLIO 175, TOGETHER WITH, LOTS 2A-1, 2A-2, 2A-3 & 3A-1, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 17, 1975 IN VOLUME C10, FOLIO 161, TOGETHER WITH, PORTIONS OF STREET RIGHT OF WAY FOR KIMMICK DRIVE AND CALLE NORTENA ROAD; SAID COMPRISED PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE MOST NORTHERLY CORNER OF SAID COMPRISED PARCEL HEREIN DESCRIBED, BEING THE SAME POINT AS THE MOST NORTHERLY CORNER OF SAID LOT 1-A, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26 AND ALSO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PASEO DEL NORTE (FORMERLY AVENIDA DE JAIMITO); WHENCE, THE A.C.S. (ALBUQUERQUE CONTROL STATION) 3-E10, A BRASS CAP IN PLACE, BEARS S.29°58'24"W., 9,659.28 FEET DISTANT; THENCE, FROM SAID POINT OF BEGINNING, ALONG SAID SOUTHERLY RIGHT OF WAY LINE,
 S.89°43'24"E., A DISTANCE OF 1,144.94 FEET TO A POINT OF CURVATURE; THENCE,
 SOUTHEASTERLY, 127.60 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 283.70 FEET, AND A CENTRAL ANGLE OF 25°48'15" SUBTENDED BY A CHORD OF 126.53 FEET WHICH BEARS S.76°50'17"E. TO A POINT ON A NON-RADIAL CURVE, BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF CALLE NORTENA; THENCE, LEAVING SAID WESTERLY RIGHT OF WAY LINE, SOUTHEASTERLY, 88.91 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1,422.00 FEET, AND A CENTRAL ANGLE OF 03°30'08" SUBTENDED BY A CHORD OF 88.89 FEET WHICH BEARS S.86°58'20"E. TO A POINT OF COMPOUND CURVATURE; THENCE,
 SOUTHEASTERLY, 37.00 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AND A CENTRAL ANGLE OF 84°47'59" SUBTENDED BY A CHORD OF 33.72 FEET WHICH BEARS S.42°49'18"E. TO A POINT OF REVERSE CURVATURE; THENCE,
 SOUTHEASTERLY, 79.95 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A RADIUS OF 386.00 FEET, AND A CENTRAL ANGLE OF 11°52'03" SUBTENDED BY A CHORD OF 79.81 FEET WHICH BEARS S.06°21'20"E. TO A POINT ON A CURVE, BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF CALLE NORTENA; THENCE, ALONG SAID WESTERLY RIGHT OF WAY LINE,
 SOUTHEASTERLY, 113.99 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 283.70 FEET, AND A CENTRAL ANGLE OF 23°01'13" SUBTENDED BY A CHORD OF 113.22 FEET WHICH BEARS S.19°31'15"E. TO A POINT ON A CURVE; THENCE, LEAVING SAID WESTERLY RIGHT OF WAY LINE,
 SOUTHEASTERLY, 127.71 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 309.30 FEET, AND A CENTRAL ANGLE OF 23°39'28" SUBTENDED BY A CHORD OF 126.81 FEET WHICH BEARS S.06°49'42"E. TO A POINT OF TANGENCY; THENCE,
 S.03°28'32"W., A DISTANCE OF 47.57 FEET TO A POINT OF CURVATURE; THENCE,
 SOUTHWESTERLY, 37.89 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, HAVING A CENTRAL ANGLE OF 88°50'33" SUBTENDED BY A CHORD OF 34.37 FEET WHICH BEARS S.46°53'49"W. TO A POINT OF TANGENCY; THENCE,
 N.89°40'55"W., A DISTANCE OF 10.08 FEET TO A POINT ON A CURVE; THENCE,
 SOUTHWESTERLY, 7.09 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AND A CENTRAL ANGLE OF 16°15'37" SUBTENDED BY A CHORD OF 7.07 FEET WHICH BEARS S.82°11'17"W. TO A POINT OF TANGENCY, BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VALENTE ROAD; THENCE, ALONG SAID NORTHERLY RIGHT OF WAY LINE,
 N.89°40'55"W., A DISTANCE OF 191.95 FEET TO AN ANGLE POINT; THENCE, LEAVING SAID NORTHERLY RIGHT OF WAY LINE,
 N.00°19'05"E., A DISTANCE OF 220.40 FEET TO AN ANGLE POINT; THENCE,
 N.89°42'57"W., A DISTANCE OF 235.01 FEET TO AN ANGLE POINT; THENCE,
 S.00°19'05"W., A DISTANCE OF 220.26 FEET TO AN ANGLE POINT, BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID VALENTE ROAD; THENCE, ALONG SAID NORTHERLY RIGHT OF WAY LINE,
 N.89°40'55"W., A DISTANCE OF 989.99 FEET TO A POINT OF CURVATURE; THENCE,
 NORTHWESTERLY, 7.09 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AND A CENTRAL ANGLE OF 16°15'37" SUBTENDED BY A CHORD OF 7.07 FEET WHICH BEARS N.81°33'06"W. TO A POINT OF NON-TANGENCY; THENCE, LEAVING SAID NORTHERLY RIGHT OF WAY LINE,
 N.89°40'55"W., A DISTANCE OF 10.00 FEET TO A POINT OF CURVATURE; THENCE,
 NORTHWESTERLY, 39.27 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AND A CENTRAL ANGLE OF 90°00'00" SUBTENDED BY A CHORD OF 35.36 FEET WHICH BEARS N.44°40'55"W. TO A POINT OF TANGENCY; THENCE,
 N.00°19'05"E., A DISTANCE OF 345.09 FEET TO A POINT OF CURVATURE; THENCE,
 NORTHEASTERLY, 36.07 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 35.00 FEET, AND A CENTRAL ANGLE OF 59°03'01" SUBTENDED BY A CHORD OF 34.50 FEET WHICH BEARS N.29°50'36"E. TO A POINT OF NON-TANGENCY, BEING A POINT ON THE EASTERLY RIGHT OF WAY LINE OF KIMMICK DRIVE; THENCE, ALONG SAID EASTERLY RIGHT OF WAY LINE,
 N.00°19'05"E., A DISTANCE OF 13.61 FEET TO A POINT OF CURVATURE; THENCE,
 NORTHEASTERLY, 39.25 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AND A CENTRAL ANGLE OF 89°57'31" SUBTENDED BY A CHORD OF 35.34 FEET WHICH BEARS N.45°17'57"E. TO A POINT OF TANGENCY, BEING THE MOST NORTHERLY CORNER OF SAID COMPRISED PARCEL HEREIN DESCRIBED, THE POINT OF BEGINNING;
 SAID COMPRISED PARCEL CONTAINING AN AREA OF 583,205 SQUARE FEET OR 13.3885 ACRES, MORE OR LESS.

NOTICE OF SUBDIVISION PLAT CONDITIONS:

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.
 FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNERS FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OR ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENT AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

IT IS UNDERSTOOD THAT A SEPARATE NOTICE OF THESE CONDITIONS IS TO BE RECORDED WITH THE COUNTY CLERK AT THE TIME OF FINAL PLAT RECORDING.

SOLAR NOTE:

SUBDIVISION ORDINANCE SECTION 14-14-4-7. PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS ON PROPERTY WITHIN THE AREA FOR WHICH DRB APPROVAL IS SOUGHT. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

PLAT OF
 LOTS 1A-1 and 4A-1, BLOCK 3
 VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of Block 3,
 together with, a portion of
 Kimmick Drive NW & Calle Nortena NW,
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTION 14
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY 2013

PROJECT NUMBER: 1009082
 APPLICATION NUMBER: 11DRB-70350

PLAT APPROVAL

UTILITY APPROVALS: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DECIDED TO BE IN THE PUBLIC INTEREST. DISCLAIMER: IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON, CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT, WHICH ARE NOT SHOWN ON THIS PLAT.

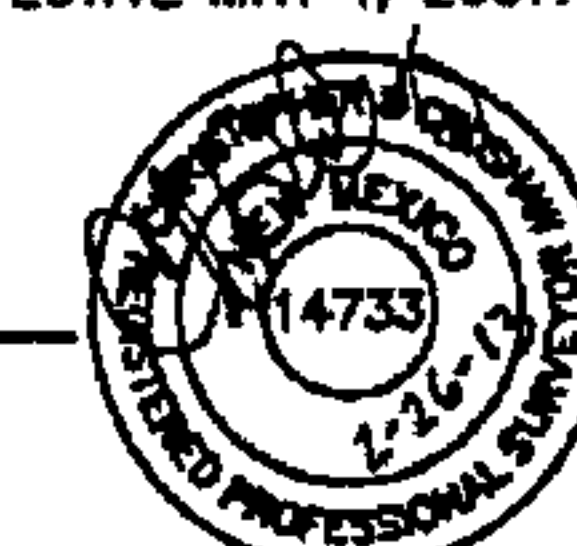
NEW MEXICO GAS COMPANY	DATE
PNM ELECTRIC SERVICES	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
CITY APPROVALS:	
<i>Daryl P. Acosta</i>	3-19-13
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007.

WILSON & COMPANY

4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-0000



Christopher S. Croshaw
 CHRISTOPHER S. CROSHAW
 N.M.P.L.S. #14733
 2-26-2013
 DATE

PLAT OF
 LOTS 1A-1 and 4A-1, BLOCK 3
 VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of Block 3,
 together with, a portion of
 Kimmick Drive NW & Calle Nortena NW,
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTION 14
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY 2013

FREE CONSENT AND DEDICATION:

THE LOTS SHOWN HEREON ARE REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS. SAID OWNERS DO HEREBY DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR PASEO DEL NORTE, VALIENTE ROAD AND CALLE NORTENA TO THE CITY OF ALBUQUERQUE, AS SHOWN HEREON, IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN; ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR OVERHEAD AND/OR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND AND/OR OVERHEAD UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS; SAID OWNERS DO HEREBY WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.


PROPERTY OWNER SIGNATURE(S):

LOT 2A-1, 2A-2, 2A-3, 3A-1, 4A, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26:

Billy J. Wright 2-28-2013
 BILLY J. WRIGHT, MANAGER DATE
 FOR: GROUP 1 U26 VC, LLC

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 28 DAY OF February, 2013, BY BILLY J. WRIGHT.

NOTARY PUBLIC: Kristi K. Winters 
 MY COMMISSION EXPIRES: 2-24-17

Kyle Falls 2/27/13
 KYLE FALLS, MANAGER DATE
 FOR: GROUP 1 U26 VC, LLC

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 27th DAY OF February, 2013, BY KYLE FALLS.


NOTARY PUBLIC: Michelle D. Susan-Taylor
 MY COMMISSION EXPIRES: December 21, 2016

LOT 1A, BLOCK 3, VOLCANO CLIFFS SUBDIVISION, UNIT 26:

Billy J. Wright 2-28-2013
 BILLY J. WRIGHT DATE
 FOR: VOLCANO CLIFFS, INC., A NEW MEXICO CORPORATION

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 28 DAY OF February, 2013, BY BILLY J. WRIGHT.

NOTARY PUBLIC: Kristi K. Winters 
 MY COMMISSION EXPIRES: 2-24-17

Tomas A. Zamora 2/27/13
 TOMAS A. ZAMORA DATE
 FOR: SONORA LAND I, A NEW MEXICO LIMITED PARTNERSHIP

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 27th DAY OF February, 2013, BY TOMAS A. ZAMORA.

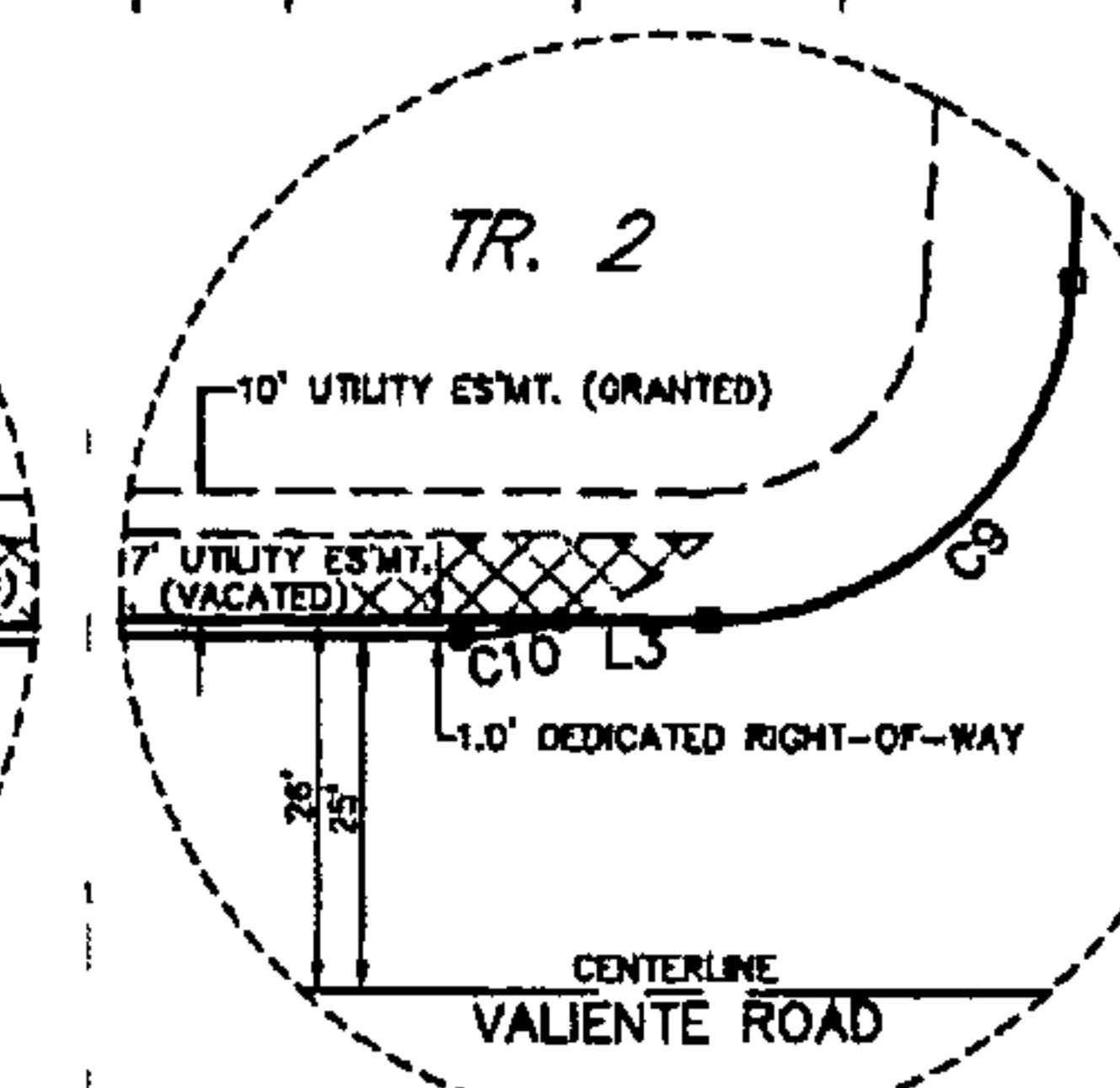
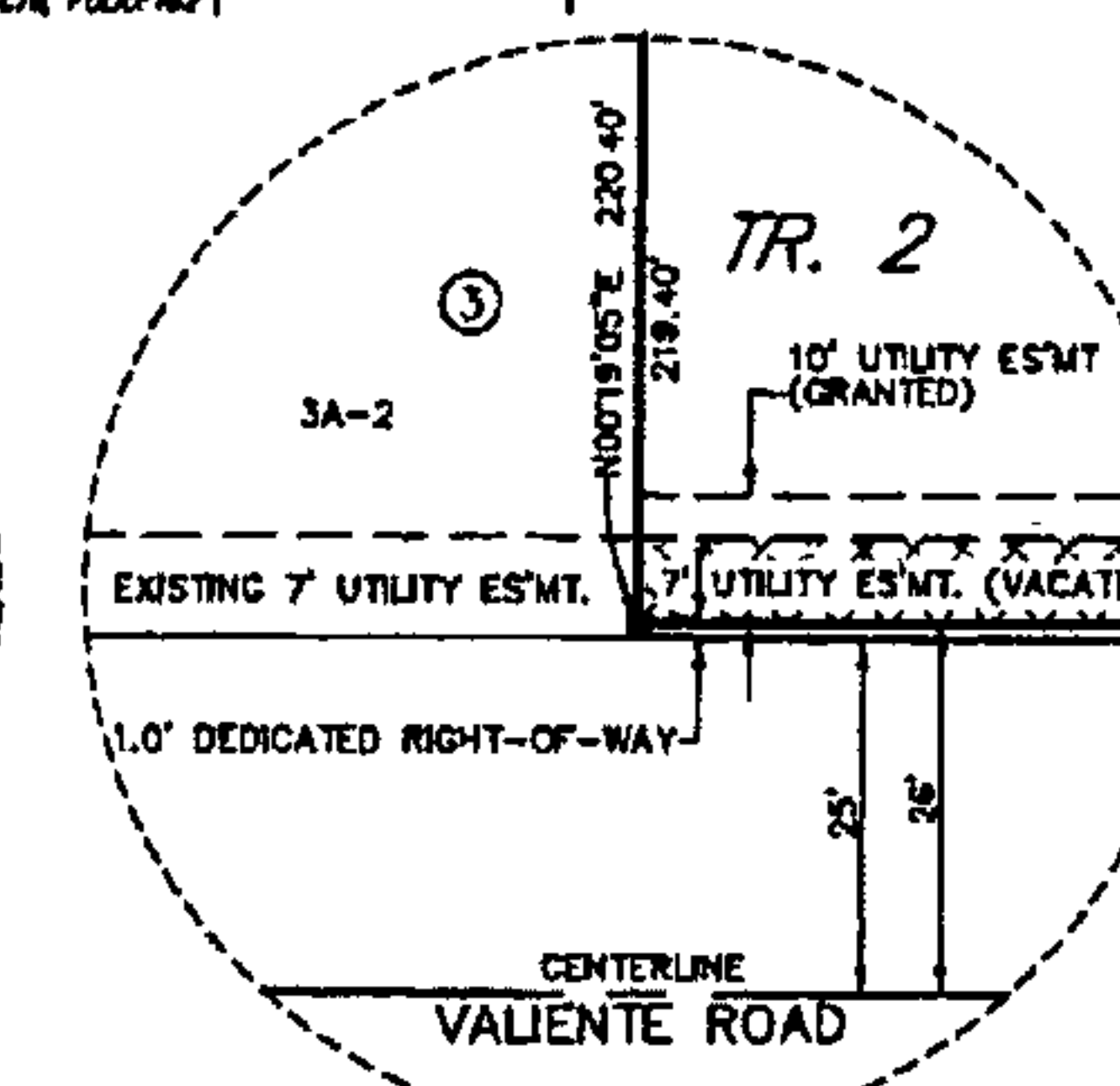
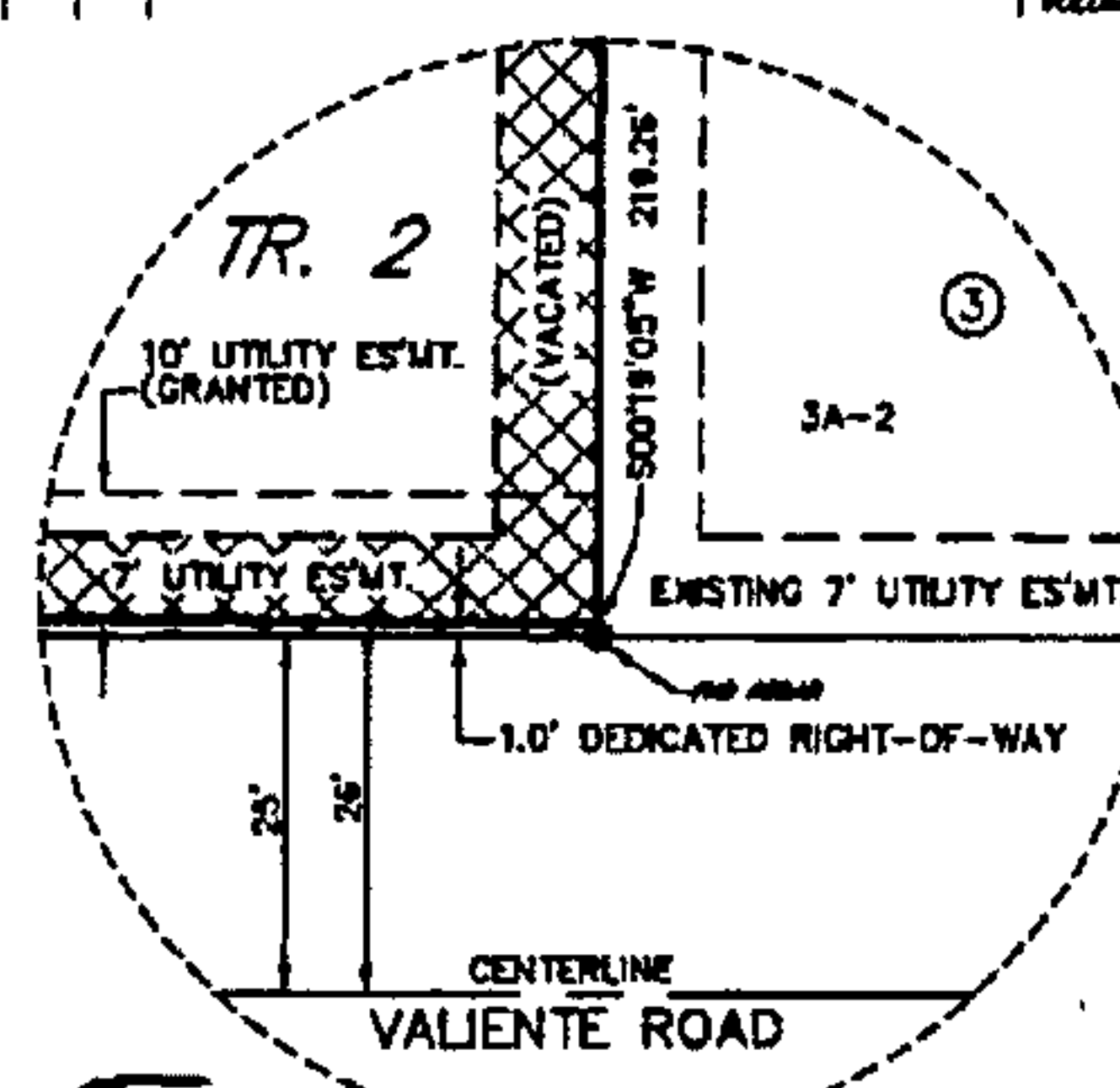
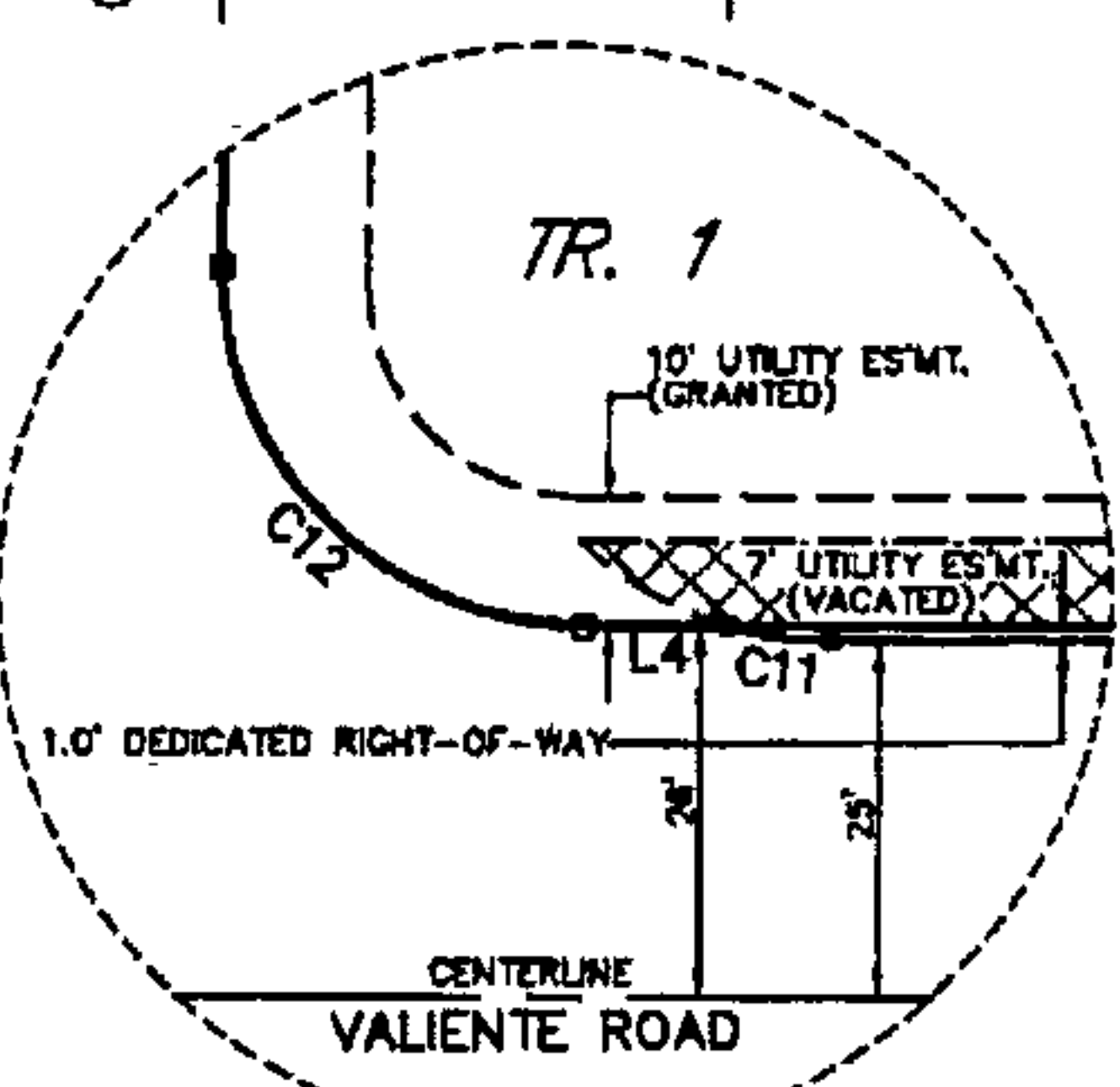
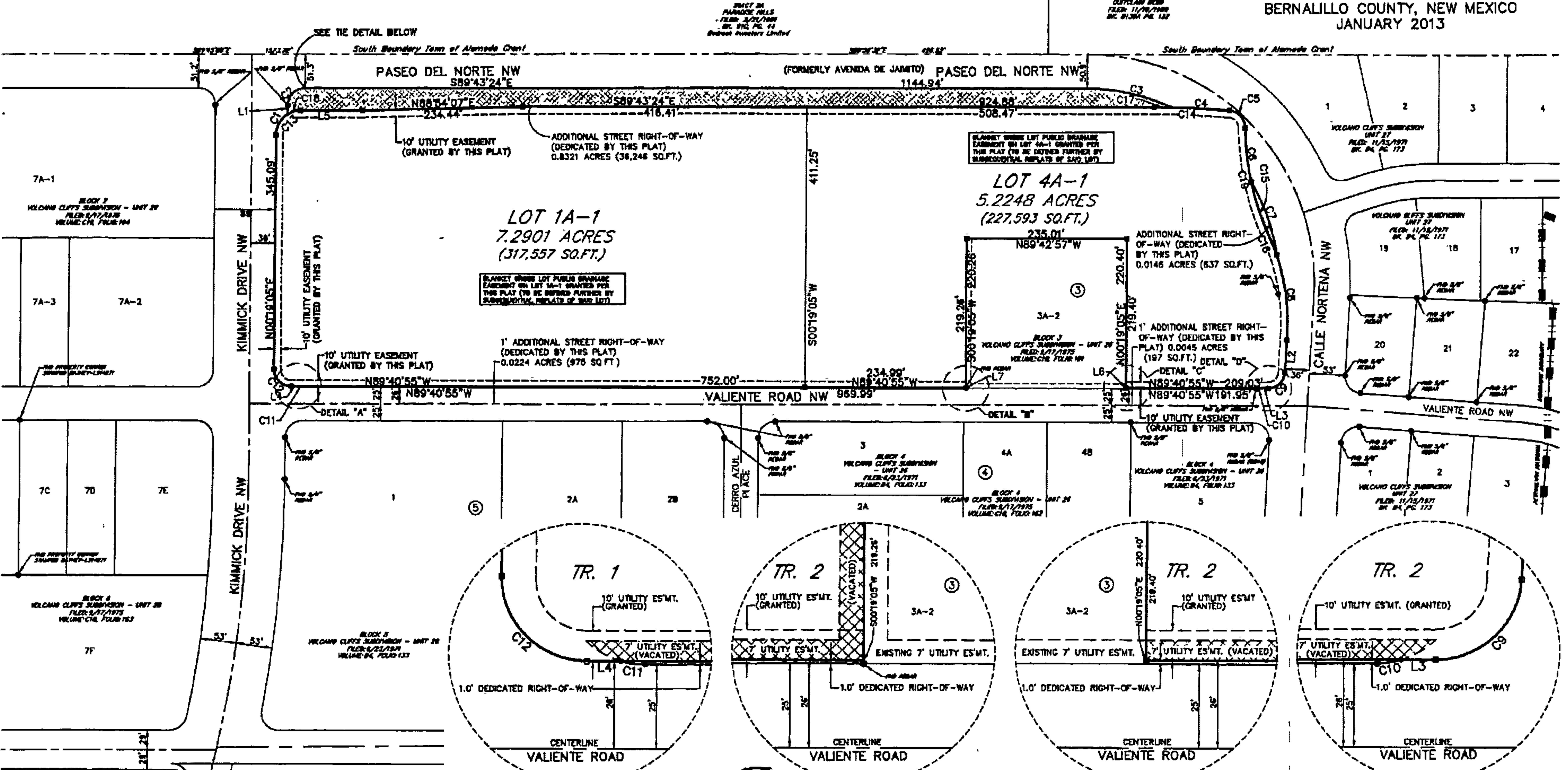
NOTARY PUBLIC: Michelle D. Susan-Taylor
 MY COMMISSION EXPIRES: December 21, 2016

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000
 SHEET 2 OF 4

PLAT OF
LOTS 1A-1 and 4A-1, BLOCK 3
VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of Block 3,
 together with, a portion of
 Kimmick Drive NW & Calle Nortena NW,
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTION 14
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY 2013

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C1	59°37'00"	35.00'	36.07'	N29°30'36"E 34.50'
C2	89°57'31"	35.00'	36.25'	N45°17'51"E 35.34'
C3	25°48'45"	368.70'	127.60'	S78°30'17"E 126.53'
C4	07°30'06"	1422.00'	86.91'	S89°38'20"E 86.89'
C5	84°47'39"	25.00'	37.00'	S42°48'18"E 33.72'
C6	17°52'53"	386.00'	78.85'	S09°31'20"E 78.81'
C7	23°07'13"	363.70'	113.89'	S19°31'15"E 113.28'
C8	23°39'28"	368.30'	127.71'	S06°49'42"E 126.81'
C9	86°50'33"	35.00'	37.89'	S48°53'49"W 34.37'
C10	18°15'37"	25.00'	7.08'	S82°11'17"W 7.07'

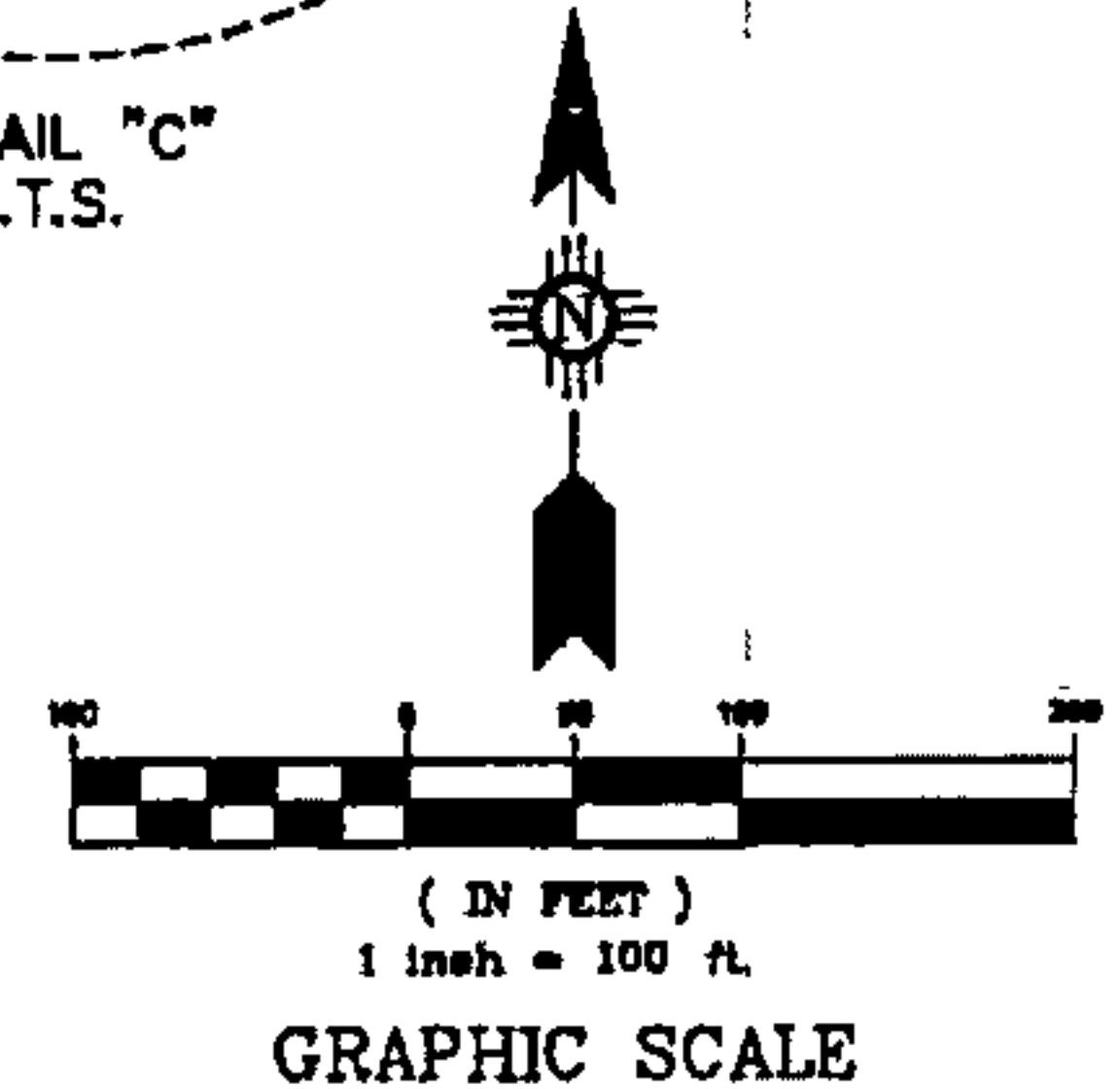
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C11	16°15'37"	25.00'	7.08'	N81°33'06"W 7.07'
C12	80°00'00"	25.00'	38.37'	N44°40'55"W 35.36'
C13	89°57'31"	35.00'	36.25'	N45°17'51"E 35.34'
C14	04°30'07"	1422.00'	111.73'	S87°28'21"E 111.70'
C15	12°26'11"	386.00'	83.78'	S18°30'27"E 83.62'
C16	03°43'21"	436.46'	29.88'	S22°22'45"E 28.83'
C17	01°08'01"	1422.00'	84.82'	N89°13'34"W 84.82'
C18	30°54'30"	35.00'	18.88'	S74°48'31"W 18.65'
C19	24°18'14"	386.00'	163.74'	S12°34'26"E 162.51'



LINE NO.	BEARING	DISTANCE
L1	N00°19'03"E	13.61'
L2	S03°28'32"W	47.57'
L3	N89°40'55"W	10.08'
L4	N89°40'55"W	10.08'
L5	N89°43'24"W	81.24'
L6	N00°19'03"E	1.00'
L7	S00°19'03"W	1.00'

ACS CONTROL STATION "ACS 3-E10" DATA:
 3 1/4 BRASS DISC SET IN CONCRETE POST
 NEW MEXICO STATE PLANE GRID
 COORDINATES (CENTRAL ZONE)
 X=1,489,056.808 Y=1,512,627.844
 ELEV=5318.888 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999872418
 DELTA ALPHA=(-)00°18'20.35" (NAD 1983)
 Plot By: PAJ

ACS CONTROL STATION "ACS 13-D10" DATA:
 3 1/4 BRASS DISC SET FLUSH IN LAVA ROCK
 NEW MEXICO STATE PLANE GRID COORDINATES
 (CENTRAL ZONE)
 X=1,501,318.810 Y=1,514,258.688
 GROUND TO GRID FACTOR=0.999872421
 DELTA ALPHA=(-)00°18'04.84" (NAD 1983)



WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
SHEET 3 OF 4
 WCI PROJ. NO. 08-400-104-00

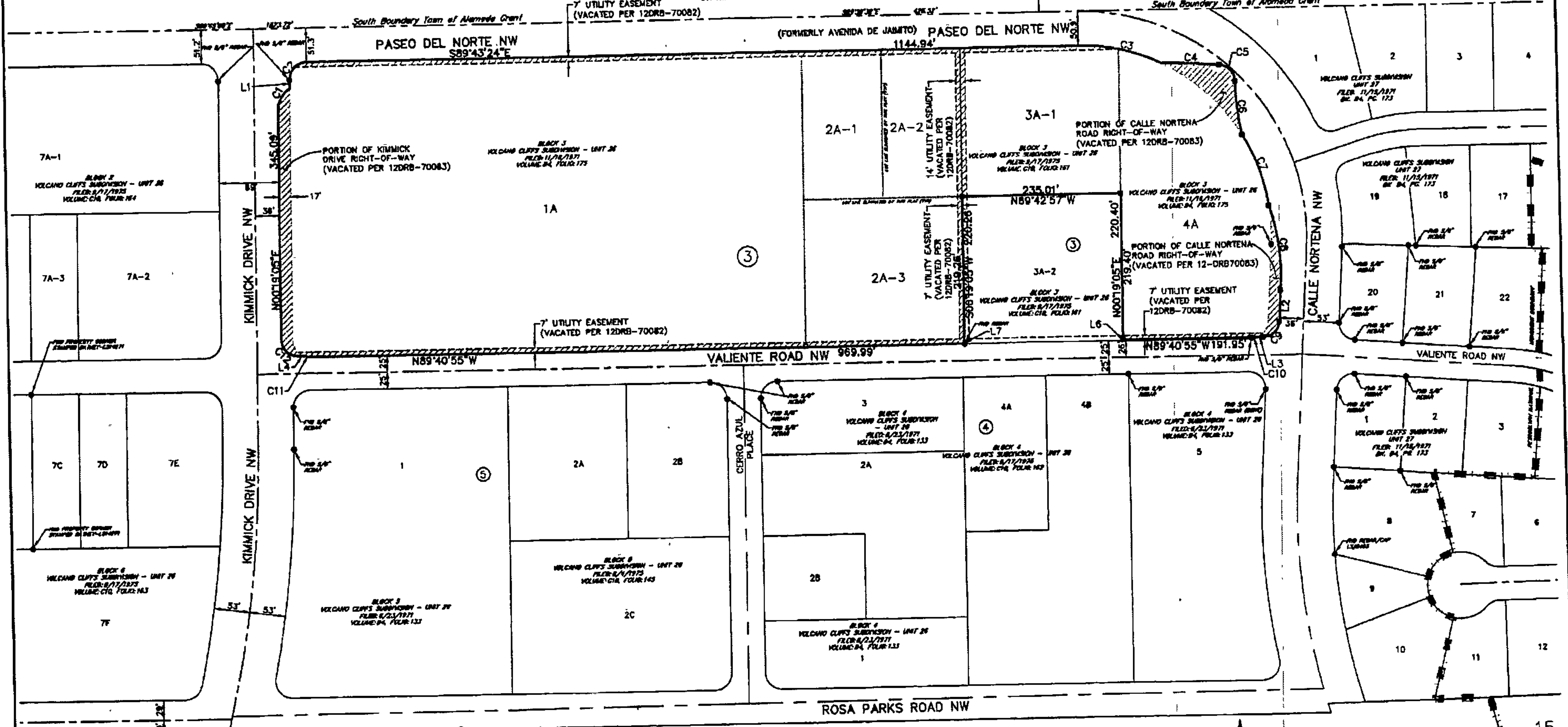
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 Drawing Name: SX3218078_Boundary (replatbase).dwg
 NETWORK ADDRESS: m:\RR\08-400-104-00\CADD\MAPPING\ABQ\SAD 228 REPLATS\

VACATION EXHIBIT FOR
 PLAT OF
 LOTS 1A-1 and 4A-1, BLOCK 3
 VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of Block 3,
 together with, a portion of
 Kimmick Drive NW & Calle Nortena NW,
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTION 14
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY 2013

PUBLIC UTILITY EASEMENT VACATED PER 12DRB-70082
 PUBLIC RIGHT-OF-WAY VACATED PER 12DRB-70083

TRACT 26
 PARADISE HILLS
 FILED: 2/21/1999
 BY: SAC, PC: 44
 Deputch Investors Limited

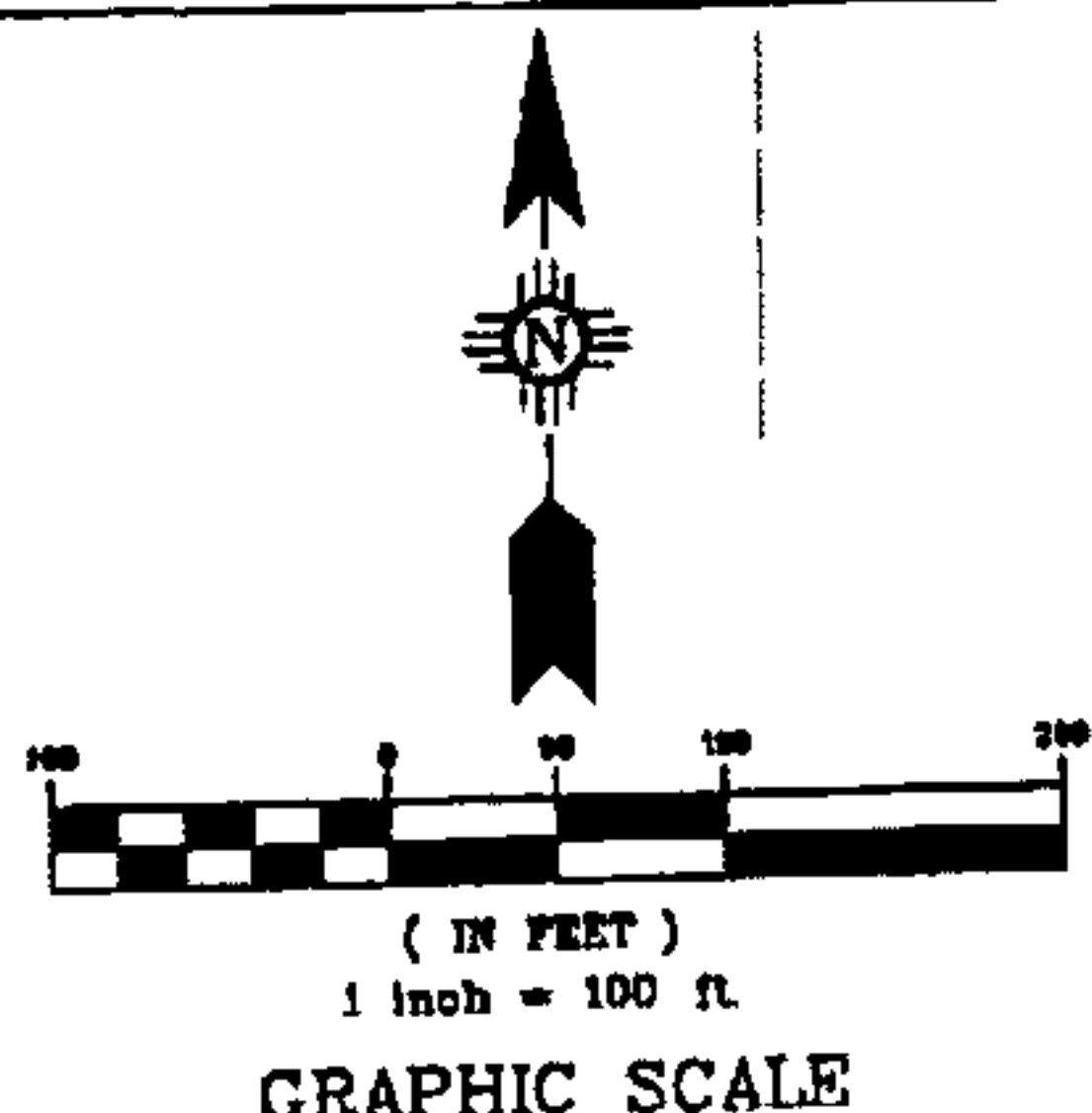
BARILAN BESS
 FILED: 11/16/1989
 BY: DL304 PC 122



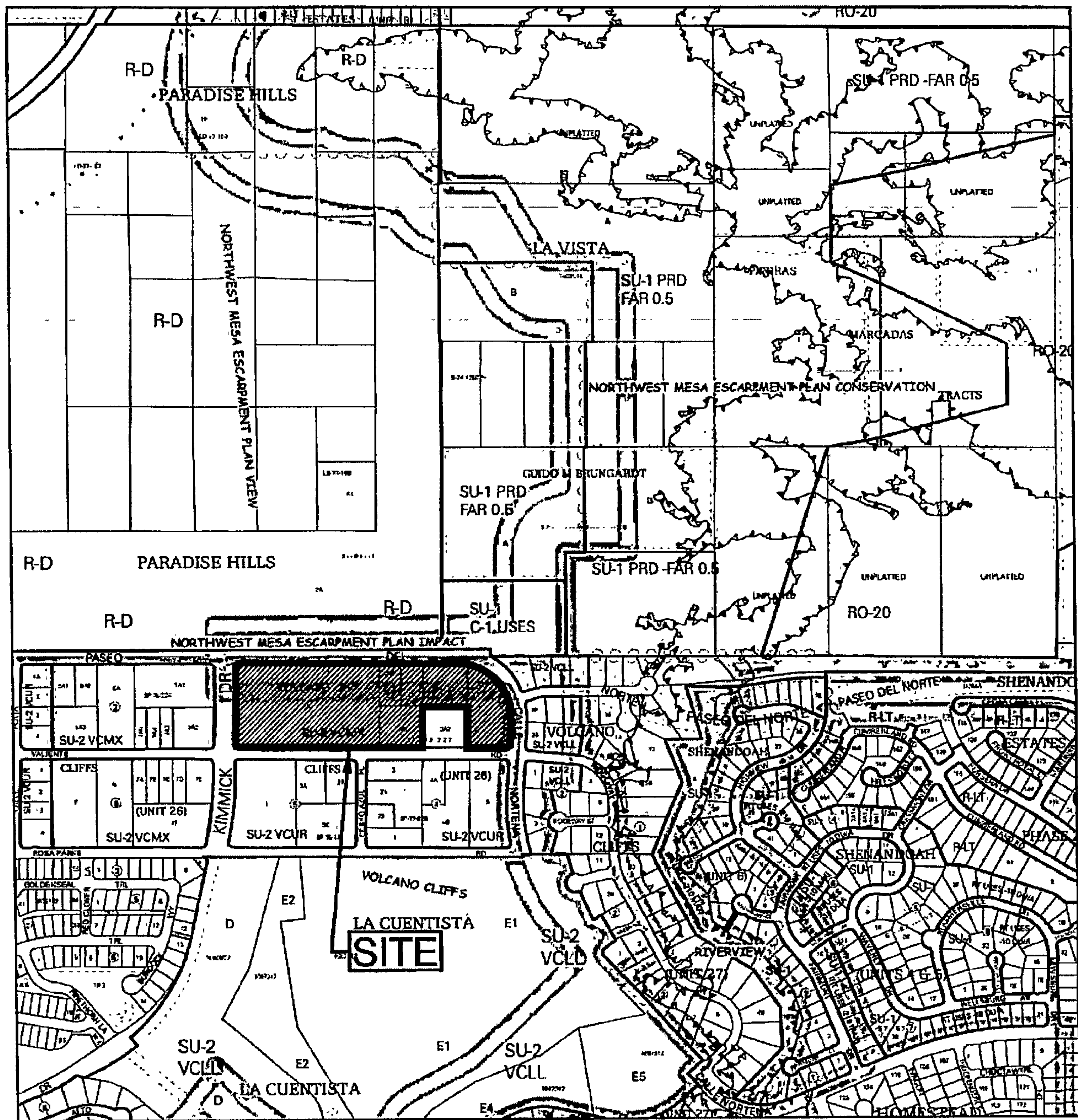
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C1	89°01'	35.00'	36.07'	N89°30'39"E 34.50'
C2	89°57'31"	25.00'	32.23'	N45°17'51"E 35.34'
C3	85°48'15"	863.70'	127.60'	S78°50'17"E 126.93'
C4	07°30'06"	1422.00'	86.91'	S88°58'20"E 86.88'
C5	84°47'39"	25.00'	32.00'	S42°48'18"E 31.72'
C6	11°52'03"	388.00'	72.85'	S09°21'20"E 72.81'
C7	23°01'13"	883.70'	113.88'	S18°51'15"E 113.22'
C8	23°39'28"	308.30'	127.71'	S08°49'42"E 126.81'
C9	86°50'33"	25.00'	32.89'	S48°53'48"W 34.37'
C10	18°15'37"	25.00'	7.00'	S62°11'17"W 7.07'

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C11	18°15'37"	25.00'	7.10'	N81°33'08"W 7.07'
C12	90°00'00"	25.00'	32.27'	N44°40'55"W 35.36'
C13	89°57'31"	35.00'	54.95'	N45°17'51"E 48.48'
C14	84°30'57"	1422.00'	111.73'	S87°28'21"E 111.70'
C15	12°26'11"	388.00'	83.78'	S18°30'27"E 83.62'
C16	03°43'21"	458.48'	22.88'	S27°24'43"E 22.85'
C17	01°00'01"	1422.00'	24.82'	N89°13'24"W 24.82'
C18	30°54'30"	35.00'	18.88'	S74°48'21"W 18.65'
C19	24°18'14"	388.00'	163.24'	S12°34'06"E 162.31'

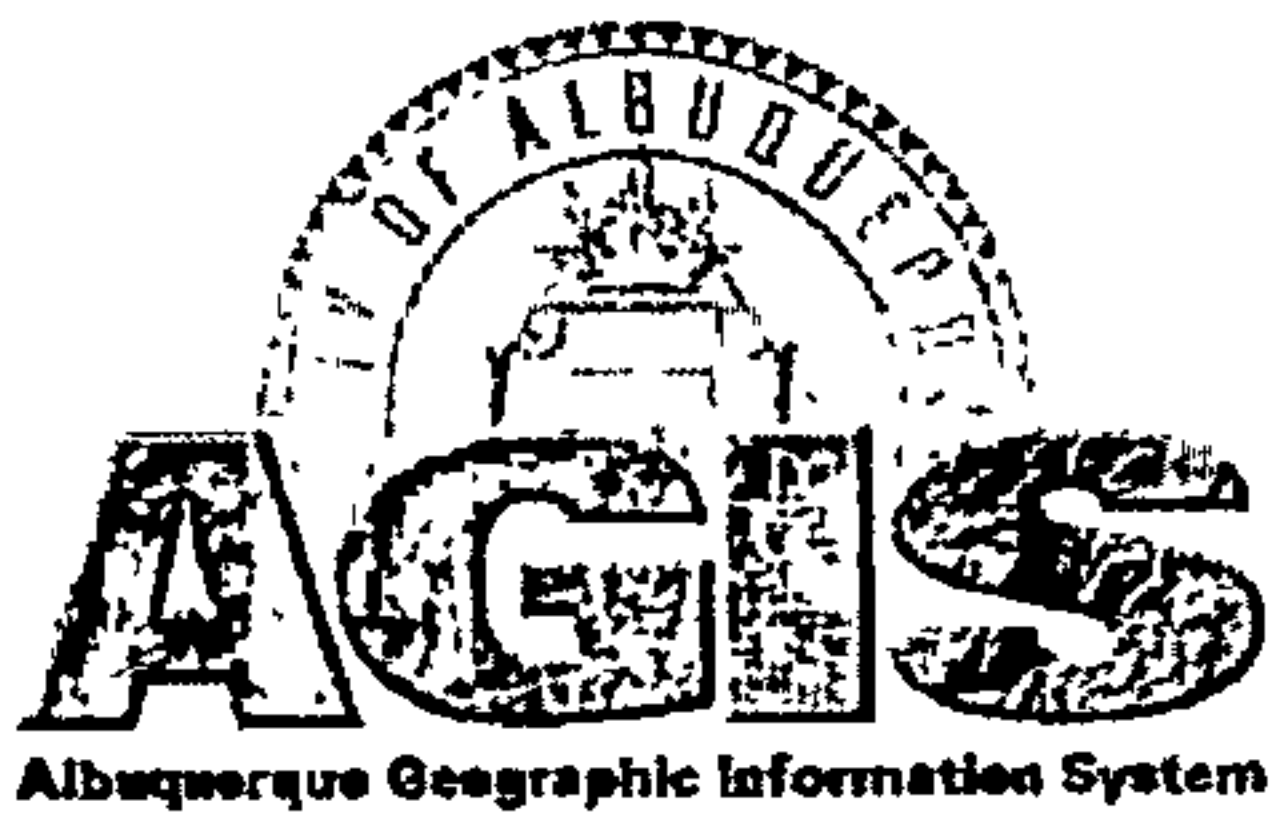
LINE NO.	BEARING	DISTANCE
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L2	S07°28'32"W	47.57'
L3	N89°40'55"W	10.08'
L4	N89°40'55"W	10.00'
L5	N89°41'24"W	81.24'
L6	N00°19'05"E	1.00'
L7	S00°19'05"W	1.00'



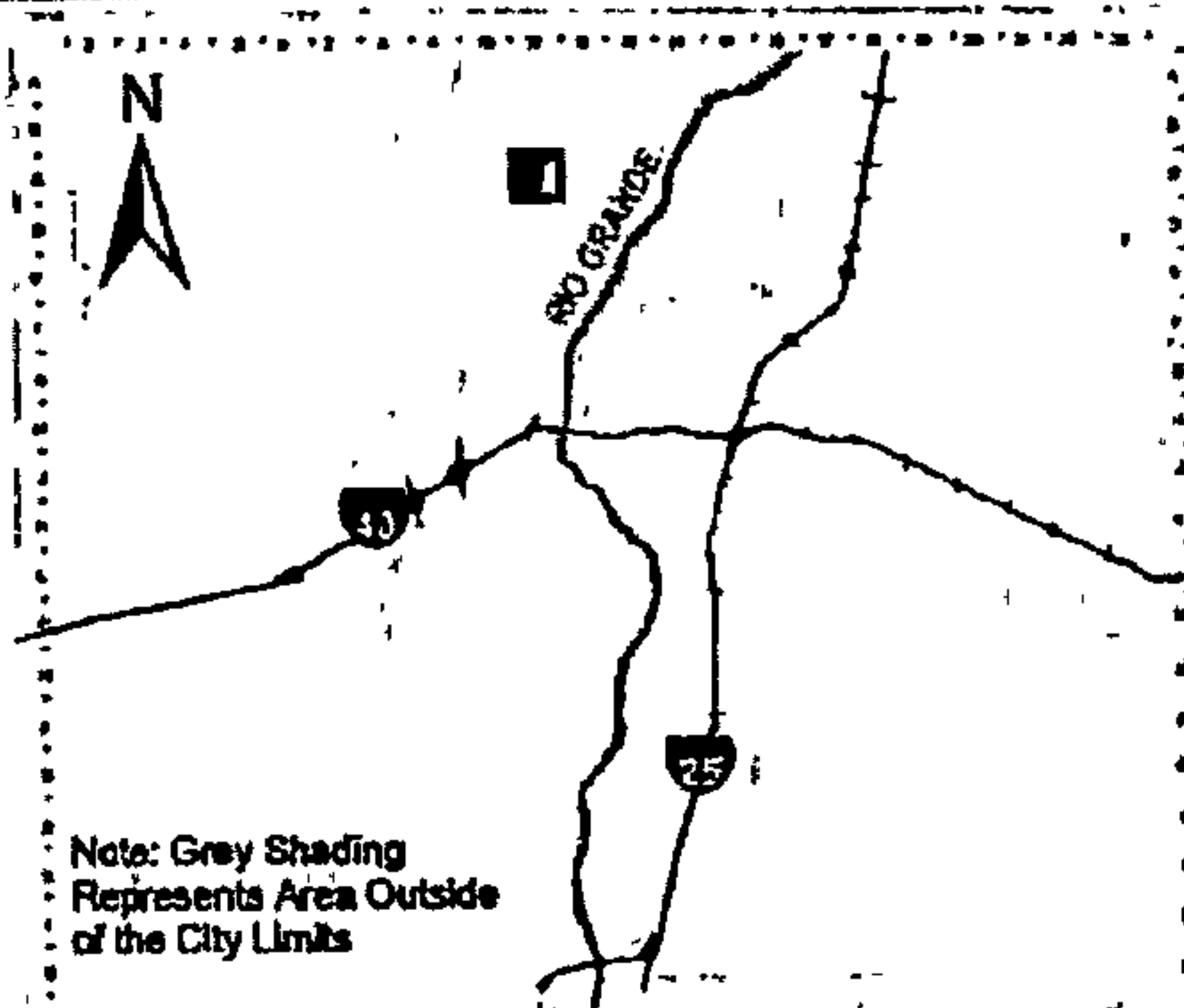
WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
 SHEET 4 OF 4
 WCI PROJ. NO. 08-400-104-00



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 1/10/2013

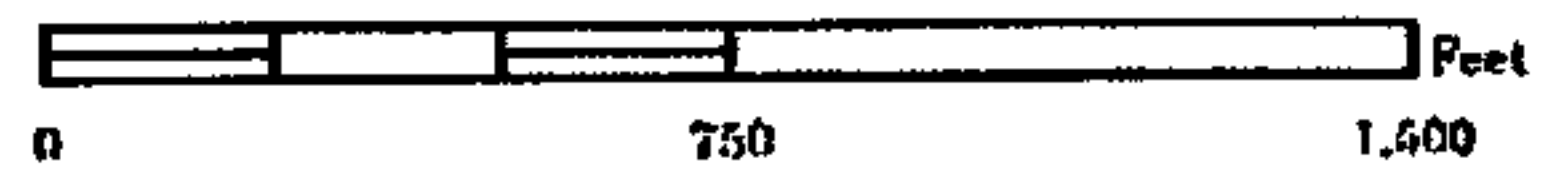


Zone Atlas Page:

C-11-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

May 22, 2013

Coyote Sparrow
Wilson and Company
4900 Lang Avenue NE/87109
PHONE: 505-348-4062/**FAX:** 505-348-4055
E-mail: Coyote.Sparrow@wilsonco.com

Dear Coyote:

Thank you for your inquiry of **May 22, 2013** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOTS 1A, 2A1, 2A2, 2A3, 3A1, 4A, BLOCK 3, UNIT 26, VOLCANO CLIFFS SUBDIVISION, LOCATED ON THE SOUTH SIDE OF PASEO DEL NORTE NW BETWEEN CALLE NORTENA NW AND KIMMICK DRIVE NW** zone map **C-11**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

PARADISE HILLS CIVIC ASSOC. "R"

Tom Anderson, 10013 Plunkett Dr. NW/87114 897-2593 (h)

Maria Warren, 5020 Russell NW/87114 440-2240 (h)

VOLCANO CLIFFS PROPERTY OWNERS ASSOC.

Dave Heil, 160 Itasca Rd., Rio Rancho, NM/87124 228-7189 (c)

Ralph Davis, 5612 Popo Dr. NW/87120 280-6512 (c)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing.

IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

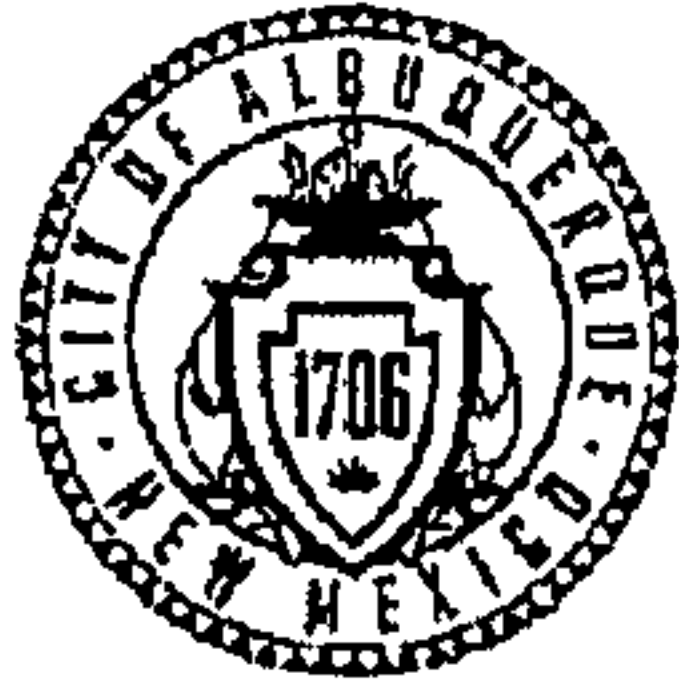
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **05/22/13** Time Entered: **4:40 p.m.** ONC Rep. Initials: **siw**



DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: swinklepleck@cabq.gov. ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914.

Zone Map and this Developer Inquiry Sheet MUST be provided with request.
Please mark/hatch Zone Map where Property is located.

Your Developer Inquiry is for the following:

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
- EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
- Administrative Amendments (AA's) Submittal City Project Submittal

CONTACT NAME: COYOTE SPARROW

COMPANY NAME: WILSON & COMPANY

ADDRESS/ZIP: 4900 LANG AVE NE 87109

PHONE: 348-4062 FAX: 348-4055

LEGAL DESCRIPTION INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

LOTS 1A, 2A1, 2A2, 2A3, 3A1, 4A, BLOCK 3, UNIT 26
VOLCANO CLIFFS SUBDIVISION

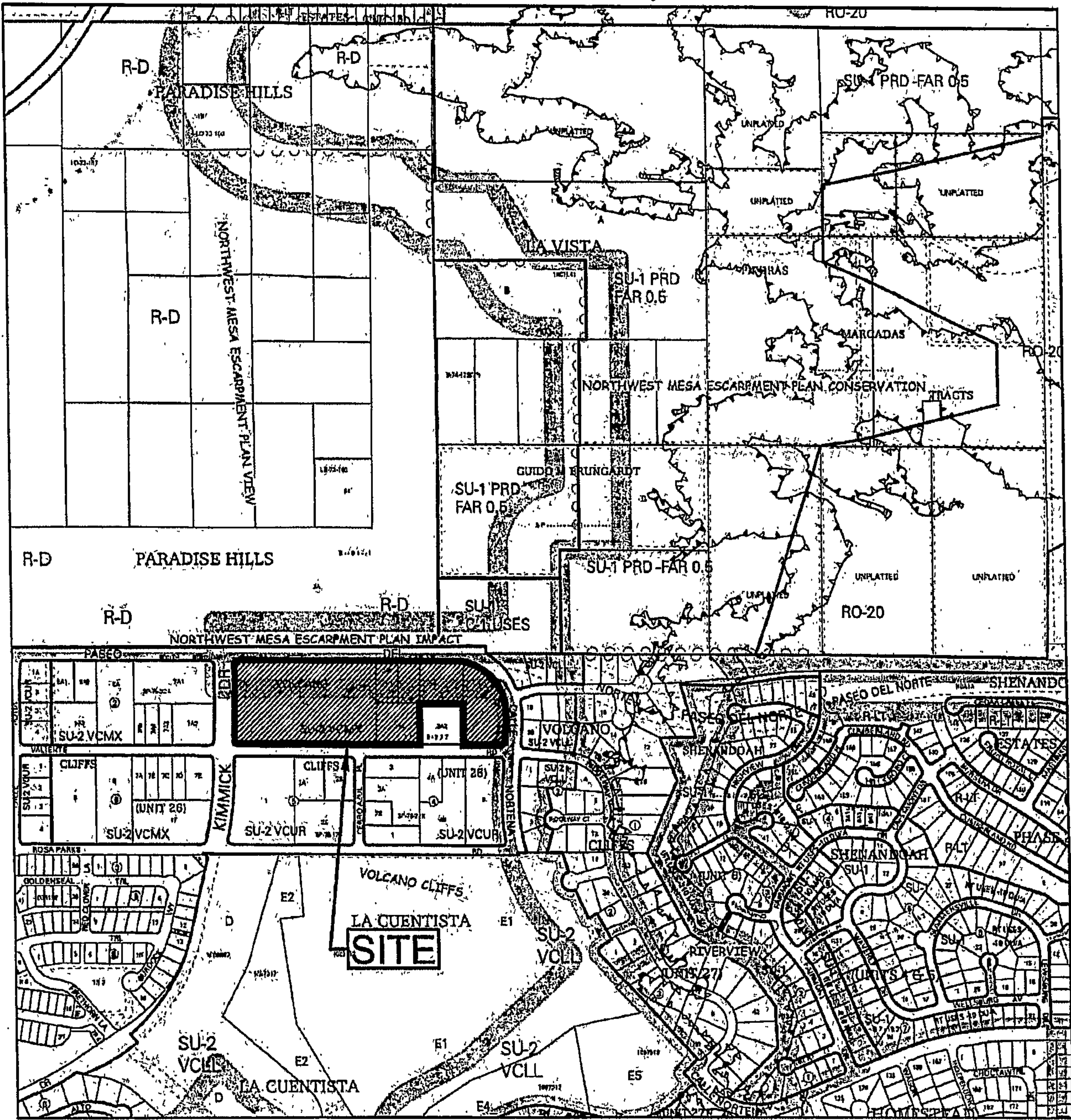
LEGAL DESCRIPTION

LOCATED ON SOUTH SIDE OF PASO DEL NORTE NW
STREET NAME OR OTHER IDENTIFYING LANDMARK


BETWEEN CALLE NORTENA NW AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

KIMMICK DR. NW
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE (C11).

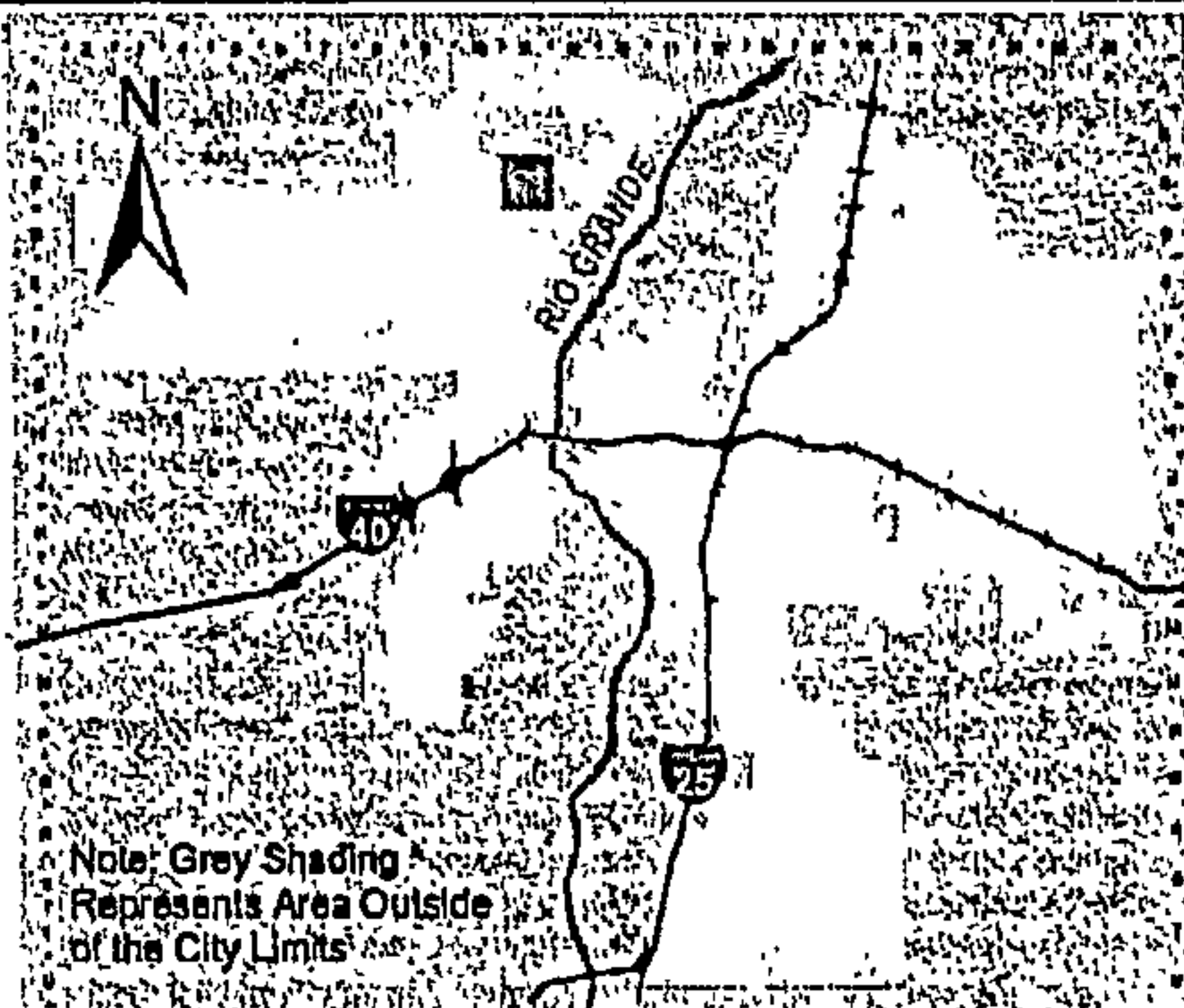


For more current information and details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System

Map amended through: 1/10/2013



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-11-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zones
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Tom Anderson
Paradise Hills Civic Association
10013 Plunkett Dr. NW
Albuquerque, NM 87114
(505) 897-2593(h)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance Approvals**

Dear Mr. Anderson:

This letter is to inform the **Paradise Hills Civic Association** that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Calle Nortena and Valiente Rd NW along with **Block 3, Unit 26**, Volcano Cliffs Subdivision. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte and re-platting of lots into two Lots to allow for future development that provides access to lots currently land locked by Paseo del Norte. This action is in relationship to SAD 228.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July ~~10~~ **7**, 2013 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,


WILSON & COMPANY, INC.

Kristine Susco
Project Designer
Email: kiskusco@wilsonco.com

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Maria Warren
Paradise Hills Civic Association
5020 Russell NW
Albuquerque, NM 87114
(505) 440-2240(h)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance Approvals**

Dear Ms. Warren:

This letter is to inform the **Paradise Hills Civic Association** that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Calle Nortena and Valiente Rd NW along with **Block 3, Unit 26**, Volcano Cliffs Subdivision. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte and re-platting of lots into two Lots to allow for future development that provides access to lots currently land locked by Paseo del Norte. This action is in relationship to SAD 228.

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If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,



WILSON & COMPANY, INC.

Kristine Susco
Project Designer
Email: kiskusco@wilsonco.com

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Dave Heil

Volcano Cliffs Property Owners Association (VCC)

160 Itasca Rd. SE

Rio Rancho, NM 87124

(505) 228-7189 (c)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance Approvals**

Dear Mr. Heil:

This letter is to inform the Volcano Cliffs Property Owners Association (VCC) that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Calle Nortena and Valiente Rd NW along with **Block 3, Unit 26**, Volcano Cliffs Subdivision. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte and re-platting of lots into two Lots to allow for future development that provides access to lots currently land locked by Paseo del Norte. This action is in relationship to SAD 228.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 10, 2013 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,


WILSON & COMPANY, INC.

Kristine Susco

Project Designer

Email: kiskusco@wilsonco.com



SHARED OWNERSHIP • COLLABORATION
INTENSITY • DISCIPLINE • SOLUTIONS

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Ralph Davis

Volcano Cliffs Property Owners Association (VCC)

5612 Popo Dr. NW

Albuquerque, NM 87120

(505) 280-6512 (c)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance**

Dear Mr. Davis:

This letter is to inform the Volcano Cliffs Property Owners Association (VCC) that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Calle Nortena and Valiente Rd NW along with **Block 3, Unit 26**, Volcano Cliffs Subdivision. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte and re-platting of lots into two Lots to allow for future development that provides access to lots currently land locked by Paseo del Norte. This action is in relationship to SAD 228.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 17, 2013 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,



WILSON & COMPANY, INC.

Kristine Susco

Project Designer

Email: kiskusco@wilsonco.com



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INTENSITY • DISCIPLINE • SOLUTIONS

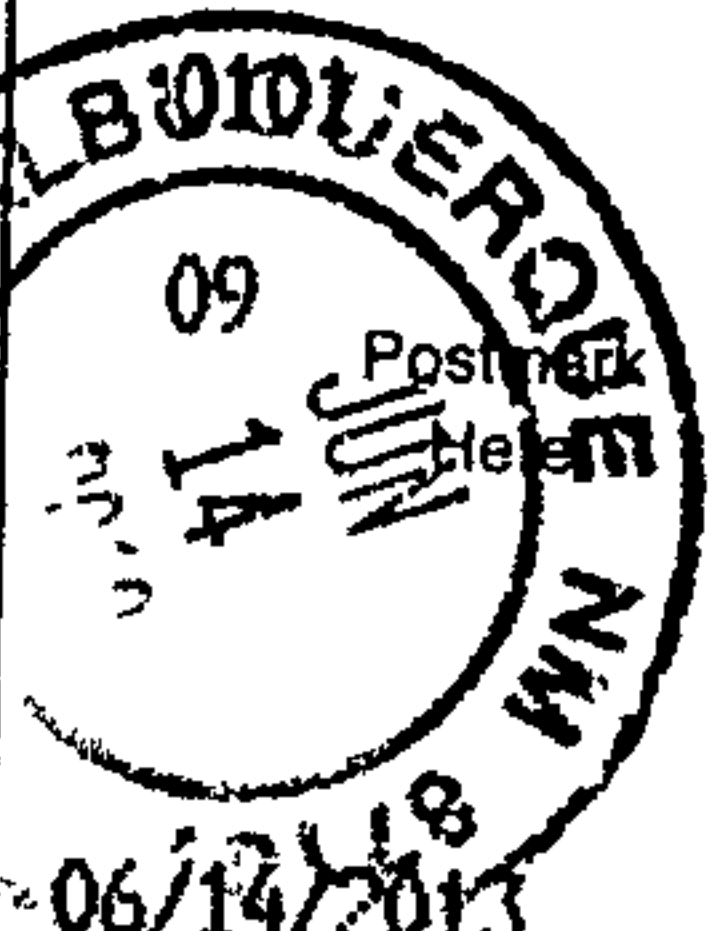
7007 3020 0002 7971 4117

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE
ALBUQUERQUE NM 87114

Postage	\$ 1.12
Certified Fee	\$3.10
Return Receipt Fee (Endorsement Required)	\$2.55
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.77



Sent **Mr Ralph Davis**
 Street, Apt or PO Box **Volcano Cliffs Property Owners Association**
5612 Popo Dr NW
 City, State **Albuquerque, NM 87120**

PS Form 3800, August 2006 See Reverse for Instructions

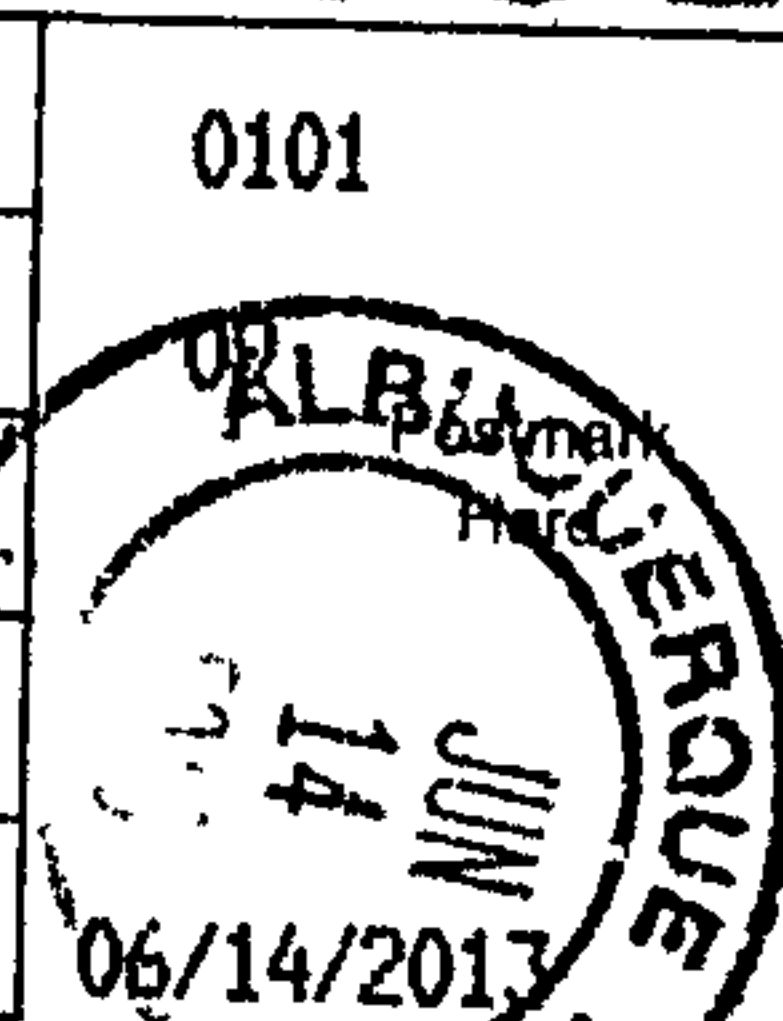
7007 3020 0002 7971 4124

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For delivery information visit our website at www.usps.com

OFFICIAL USE
ALBUQUERQUE NM 87114

Postage	\$ - \$1.12
Certified Fee	\$3.10
Return Receipt Fee (Endorsement Required)	\$2.55
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.77



Sent To **Ms. Maria Warren**
 Street, Apt or PO Box **Paradise Hills Civic Association**
5020 Russell NW
 City, State **Albuquerque, NM 87114**

PS Form 3800, August 2006 See Reverse for Instructions

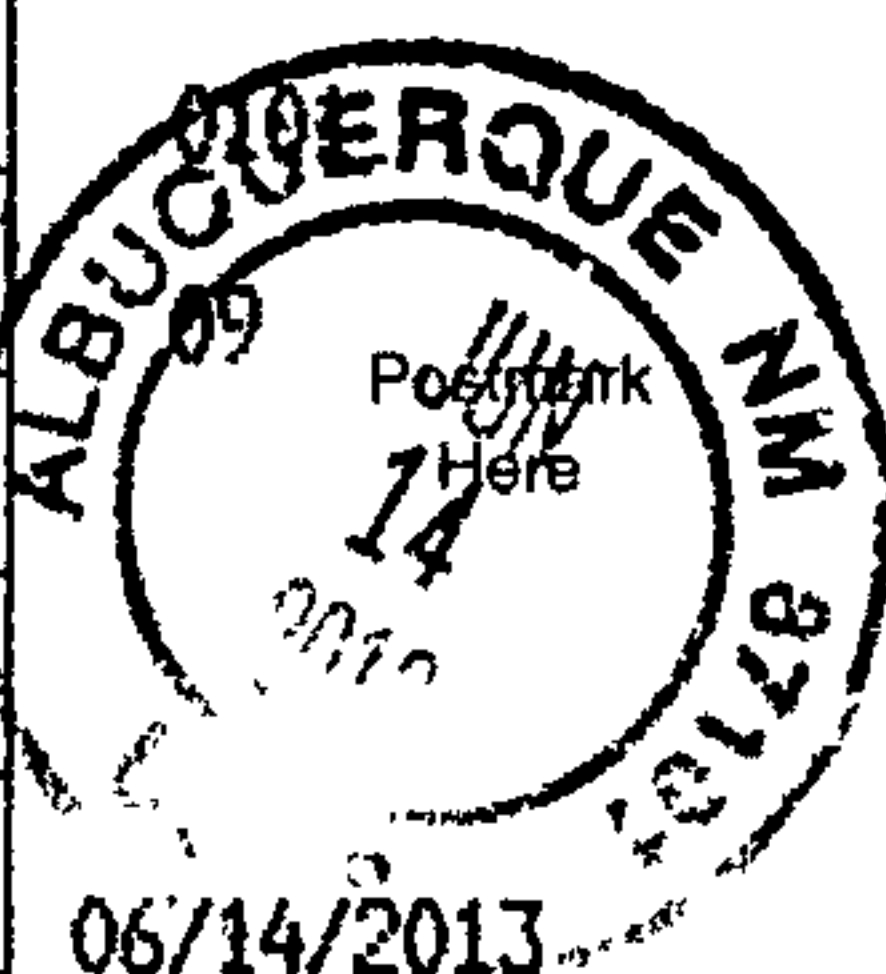
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U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE
RIO RANCHO NM 87124

Postage	\$ 1.12
Certified Fee	\$3.10
Return Receipt Fee (Endorsement Required)	\$2.55
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.77



Sent **Mr Dave Heil**
 Street, Apt or PO Box **Volcano Cliffs Property Owners Association**
160 Itasca Rd SE
 City, State **Rio Rancho, NM 87124**

PS Form 3800, August 2006 See Reverse for Instructions

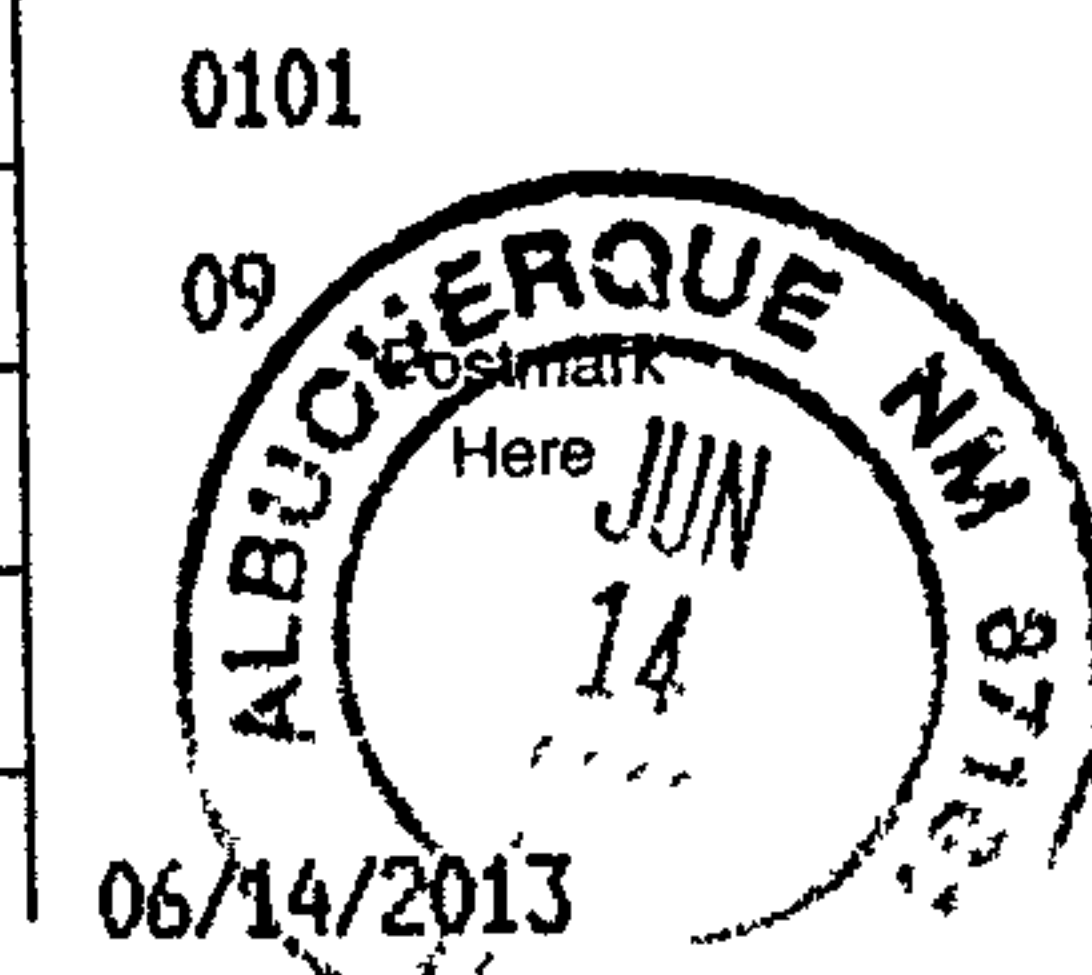
7007 3020 0002 7971 4049

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE
ALBUQUERQUE NM 87114

Postage	\$ 1.12
Certified Fee	\$3.10
Return Receipt Fee (Endorsement Required)	\$0.00
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 4.22



Sent To **Mr. Tom Anderson**
 Street, Apt or PO Box **Paradise Hills Civic Association**
10013 Plunkett Dr. NW
 City, State **Albuquerque, NM 87114**

PS Form 3800, August 2006 See Reverse for Instructions

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Wilson & Company DATE OF REQUEST: 5/3/13 ZONE ATLAS PAGE(S): C-11

CURRENT:

ZONING SU-2 VCMX
PARCEL SIZE (AC/SQ. FT.) _____

LEGAL DESCRIPTION:

LOT OR TRACT # 6 Lots Attached BLOCK # 3, U26
SUBDIVISION NAME Volcano Cliffs Subdivision

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER REPLAT

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 6
BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 5-3-13

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

5-3-13
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / / _____
-FINALIZED / / TRAFFIC ENGINEER DATE

Lot 1A, B 3, U26

Lot 2A-1, B3, U26

Lot 2A-2, B3, U26

Lot 2A-3, B3, U26

Lot 3A-1, B3, U26

Lot 3A-2, B3, U26

Lot 4A, B 3, U26

**ALBUQUERQUE PUBLIC SCHOOLS
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WAIVER**

Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), having reviewed the proposed plat of Tract 1, Block 2, Volcano Cliffs Unit 26 which is zoned as SU-2 VCMX, on May 22, 2013 submitted by Billy J Wright and Steven J Metro for Group II U26 VC, LLC, owner(s) of above property, has determined that no Pre-Development Facilities Fee Agreement is required with respect to that proposed plat because the property owner (s) propose to consolidate 16 existing lots into one tract. Causing no net gain of residential units.

ALBUQUERQUE PUBLIC SCHOOLS

By: _____
Signature

April Winters, Facility Fee Planner
Name (printed or typed) and title

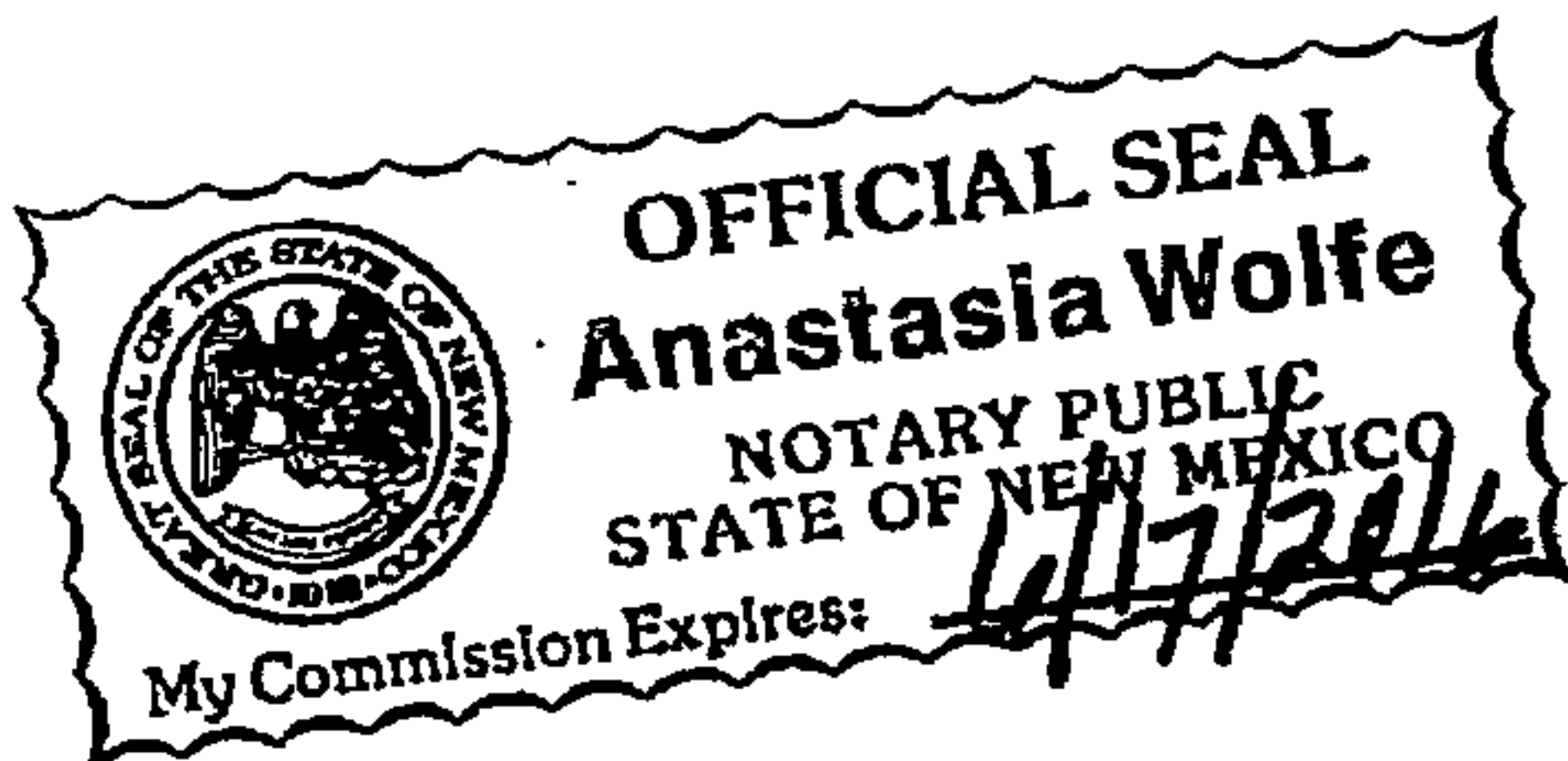
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

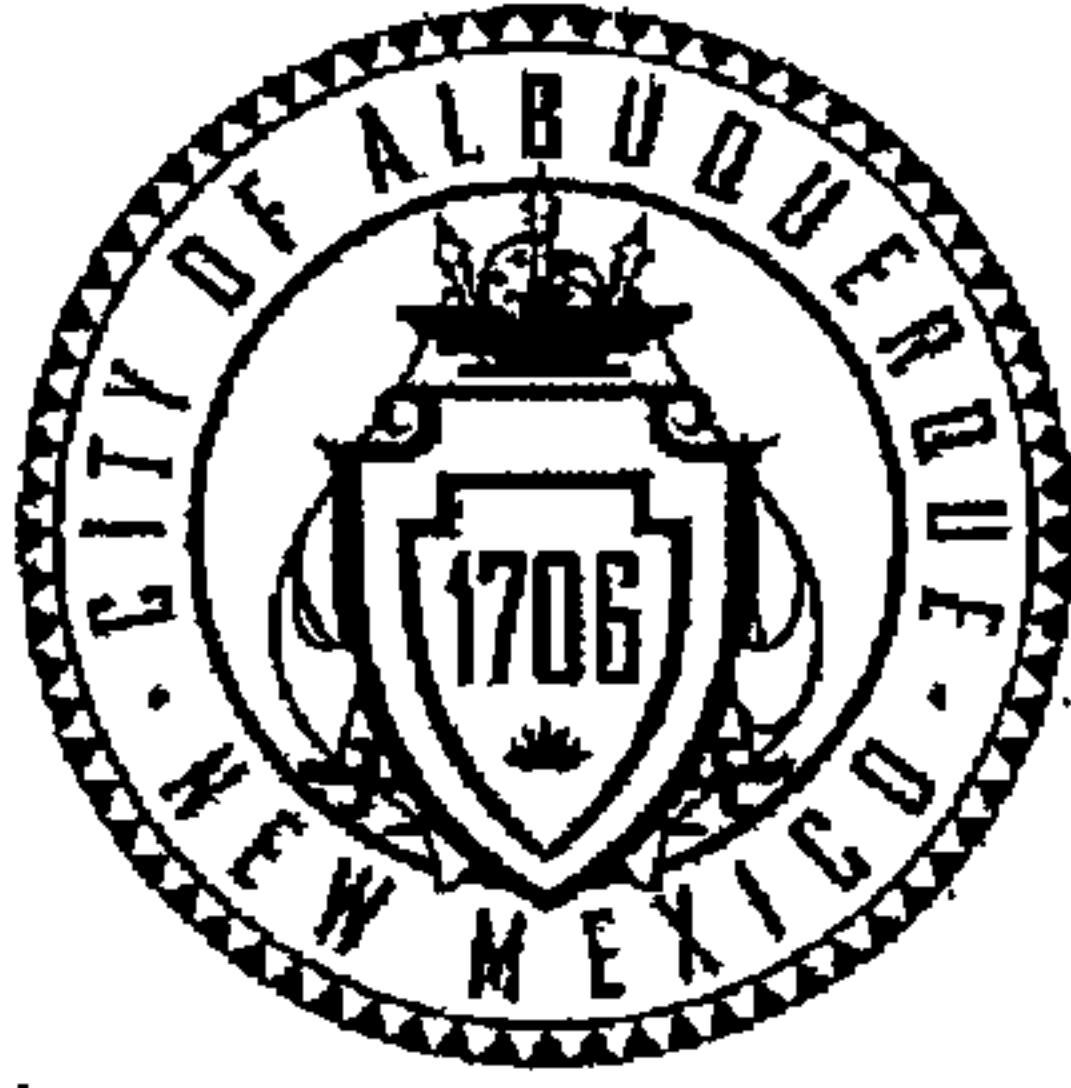
This instrument was acknowledged before me on May 22, 2013, by April Winters as Facility Fee Planner of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

(Seal)

Anastasia Wolfe
Notary Public

My commission expires: 6/17/2016





City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
October 19, 2012

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s): SAD 228, COA Project No. 693391

Case Number(s): 1009082 (11 DRB-70350)

Agent: Wilson & Company, (Envir Sub Marron & Associates)

Applicant: COA SAD 228

**Legal Description: Lots 1-A, 2A-1, 2A-2, 2A-3, 3A-1 and 4A, Block 3, Unit 26;
Lots 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4 and 7A-5, Block 2,
Unit 26;
Lots 6, 7A, 7B, 7C, 7D, 7E and 7F, Block 6, Unit 26;
All in Volcano Cliffs Subdivision, Bernalillo County, New Mexico**

Zoning: SU-2 VCMX

Acreage: 13.39 acres

Zone Atlas Page: C-11-Z

CERTIFICATE OF NO EFFECT: Yes _____ No _____

CERTIFICATE OF APPROVAL: Yes X No _____

TREATMENT PLAN REVIEW: Data recovery proposed for sites LA 69709 and LA 170178, located in Special Assessment District 228. Proposed level of work and field methodology for both sites is adequate to obtain sufficient data. Recommend that archaeological monitoring of construction activities along the common boundary between SAD 228 and Petroglyph National Monument also be included in proposed scope of work to ensure compliance with New Mexico Historic Sites Act (in particular, site LA 52083 which is located right at the boundary).

SUPPORTING DOCUMENTATION: Proposal Letter from Shelly Herbst (Marron & Associates) to Steven Metro (Wilson & Company) dated October 15, 2012.

SITE VISIT: n/a

RECOMMENDATION(S):

- **CERTIFICATE OF APPROVAL IS ISSUED (ref O-07-72).**

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division
City Archaeologist

CITY DEPARTMENT INFRASTRUCTURE LIST

Current DRC
Project Number: 693391

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1009082
DRB Application No.: _____

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**SAD 228 - PLAT OF TRACT 1, BLOCK 2, VOLCANO CLIFFS SUBDIVISION, UNIT 26
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 5-A-1, 5A-2, 5A-3, 7A-1, 7A-2, 7a-3, 7A-4 & 7A-5, Block 2, together with Lot 6A, Block 2, together with Lot 6, Block 6, together with Lots 7A, 7B, 7C, 7D, 7E & 7F, Block 6,
Volcano Cliffs Subdivision, Unit 26, together with portions of street RIGHT OF WAY for VALIENTE ROAD AND KIMMICK DRIVE NW**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PAVING									
		49' EOP-F	Arterial Paving w/C&G w/10' Trail w/ 2" Asphalt South Side	Paseo del Norte NW	963' West of Kimmick Drive NW	Kimmick Drive NW	/	/	/
		48' F-F	Residential Paving W/C&G (1/2 Section) w/6' SW West Side	Kimmick Drive NW	Valiente Road NW	Paseo del Norte	/	/	/
		24' F-EOP	Residential Paving w/C&G w/6' SW West Side	Kimmick Drive NW	Rosa Parks Rd NW	Valiente Road NW	/	/	/
		24' F-EOP	Residential Paving w/C&G w/6' SW West Side	Rosa Parks Rd NW	835' West of Kimmick Drive NW	335' West of Kimmick Drive NW	/	/	/
		33' F-EOP	Residential Paving w/C&G w/6' SW North Side	Rosa Parks Rd NW	335' West of Kimmick Drive NW	Kimmick Drive NW	/	/	/
WATER									
		8" Dia	Waterline w/ appurtenances	Kimmick Drive NW	Rosa Parks Rd NW	25' North of Valiente Road NW	/	/	/
STORM DRAIN									
		48" Dia	Storm Drain w/ Inlets & Appertenances	Paseo del Norte NW	856' West of Kimmick Drive NW	Kimmick Drive NW	/	/	/
		18" Dia	Storm Drain w/ Inlets & Appertenances	Paseo del Norte NW	295' West of Kimmick Drive NW	295' West of Kimmick Drive NW	/	/	/
		48" Dia	Storm Drain w/ MH	Rosa Parks Rd NW	276' West of Kimmick Drive NW	250' West of Kimmick Drive NW	/	/	/
SANITARY SEWER									
		8" Dia	Sanitary Sewer w/appurtenances	Rosa Parks Rd NW	665' West of Kimmick Drive NW	410' West of Kimmick Drive NW	/	/	/



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

Z ZONING & PLANNING

Annexation

V

Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)

P

Adoption of Rank 2 or 3 Plan or similar
 Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D

Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): KRISTINE SUSCO/WILSON & Cmpny PHONE: 348-4191
 ADDRESS: 4900 LANG AVE NE FAX: 348-4072
 CITY: ALB STATE NM ZIP 87109 E-MAIL: KISUSCO@WILSONCO.COM

APPLICANT: CITY OF ALBUQUERQUE ETAL PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL, BULK LAND VARIANCE, SUBDIVISION DESIGN VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A PORTION OF BLK 2 & A PORTION OF BLK 6 together w/a portion of Unit: 26

Subdiv/Addn/TBKA: VALENTE RD & KIMMICK DR NW VOLCANO CLIFFS SUBD

Existing Zoning: SU-2 VCMX Proposed zoning: SAME MRGCD Map No _____

Zone Atlas page(s): C-112 UPC Code: 1-011-064-001-177-30409

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1009082
12 DRB-70082 ; EC-393

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____

No. of existing lots: 16 No. of proposed lots: 1 TRACT Total site area (acres): 16.31 Act

LOCATION OF PROPERTY BY STREETS: On or Near: KIMMICK DR NW

Between: ROSA PARKS RD and PASEO DEL NORTE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 12-21-11

SIGNATURE Kristine Susco DATE 6-14-13

(Print Name) KRISTINE SUSCO Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

13DRB - 70584
13DRB - 70585
13DRB - 70586

Action

PD
BLK
SPV
ADY
CMF

S.F.

Fees

\$ 580.00
 \$ 145.00
 \$ 0
 \$ 75.00
 \$ 20.00

Total

\$ 820.00

Hearing date July 17, 2013

[Signature]

6-14-13
 Staff signature & Date

Project # 1009082

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
6-14-13
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13DRB - _____ - 70584

[Signature] 6-14-13
Planner signature / date
Project # 1009082

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** *Major S-2* (PUBLIC HEARING CASE)
 - Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived. **SEE LTR S-2**
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
 - Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance - *See Main LTR S-2*
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
 - The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
[Signature] 6-14-13
Applicant signature / date



Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DR15 - 70585
13DR15 - 70586

[Signature] 6-14-13
Planner signature / date
Project # 1009082

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 2 2013 To July 17 2013

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature] 6-14-13
 (Applicant or Agent) (Date)

I issued 2 signs for this application, 6-14-13 [Signature]
 (Date) (Staff Member)

DRB PROJECT NUMBER: 1009082



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development
SHABIH RIZVI, Transit & Parking Department
STEVE MONTIEL, Council of Governments
LYNN MAZUR, AMAFCA
STEVE SINK, APD Crime Prevention
JAY LEE EVANS, Open Space Division
RAY SANCHEZ, Fire Department
DAVID KILPATRICK, Zoning Enforcement Inspector
STEPHANI WINKLEPLECK, Neighborhood Coordination
DANIEL ARAGON, Public Service Company of New Mexico
PATRICK SANCHEZ, New Mexico Gas Company
APRIL WINTERS, Albuquerque Public Schools
MICHELE RAMIREZ, CenturyLink
MIKE MORTUS, Comcast Cable
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1009082

Wednesday, July 17, 2013

Comments must be received by:

Wednesday, July 10, 2013

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

If you have any questions, please contact me at 924-3946 or agomez@cabq.gov



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Z
- Annexation
- V
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd Regulations
- D
- Street Name Change (Local & Collector)
- L A
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): KRISTINE SUSCO/WILSON & Company PHONE: 348-4191
 ADDRESS: 4900 LANG AVE NE FAX: 348-4072
 CITY: ALB STATE NM ZIP 87109 E-MAIL: KISUSCO@WILSONCO.COM

APPLICANT: CITY OF ALBUQUERQUE ETAL PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: PRELIMINARY PLAT APPROVAL, BULK LAND VARIANCE, SUBDIVISION DESIGN VARIANCE

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A PORTION OF BLK 2 & A PORTION OF BLK 6 together w/ a portion of Unit 26
VALENTE RD & KIMMICK DR NW
 Subdiv/Addn/TBKA: VOLCANO CLIFFS SUBD
 Existing Zoning: SU-2VCMX Proposed zoning: SAME MRGCD Map No _____
 Zone Atlas page(s): C-112 UPC Code: 1-011-064-001-177-30409

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1009082
12 DRB-70082 ; EC-393

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 16 No. of proposed lots: 1 TRACT Total site area (acres): 16.31 Act
 LOCATION OF PROPERTY BY STREETS. On or Near: KIMMICK DR NW
 Between: ROSA PARKS RD and PASEO DEL NORTE
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 12-21-11

SIGNATURE Kristine Susco DATE 6-14-13
 (Print Name) KRISTINE SUSCO Applicant: Agent

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S F.	Fees
<u>13DRB - 70584</u>	<u>PP</u>	_____	<u>\$ 580.00</u>
<u>13DRB - 70585</u>	<u>BLK</u>	_____	<u>\$ 145.00</u>
<u>13DRB - 70586</u>	<u>SPV</u>	_____	<u>\$ 0</u>
_____	<u>ADY</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
			Total
			<u>\$ 820.00</u>

Hearing date July 17, 2013
6-14-13 Project # 1009082

Staff signature & Date

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more. Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
Applicant name (print)
6-14-13
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DRB - 70584

[Signature] 6-14-13
Planner signature / date
Project # 1009082

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** *Major S-2* (PUBLIC HEARING CASE) 24 copies
- Application for ~~Minor Plat on FORM 5-3~~, including those submittal requirements.
 - Letter briefly describing and explaining the request, compliance with the Development Process Manual, and all improvements to be waived *SEE LTR S-2*
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for City owned public right-of-way)
 - ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8 5" by 11") 24 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire
 DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)**
- ___ Scale drawing showing the proposed variance or waiver (not to exceed 8 5" by 14") 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance - *See Main LTR S-2*
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
- ___ The complete document which created the private easement/recorded plat (not to exceed 8 5" by 14") 6 copies
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO
 Applicant name (print)
Kristine Susco 6-14-13
 Applicant signature / date

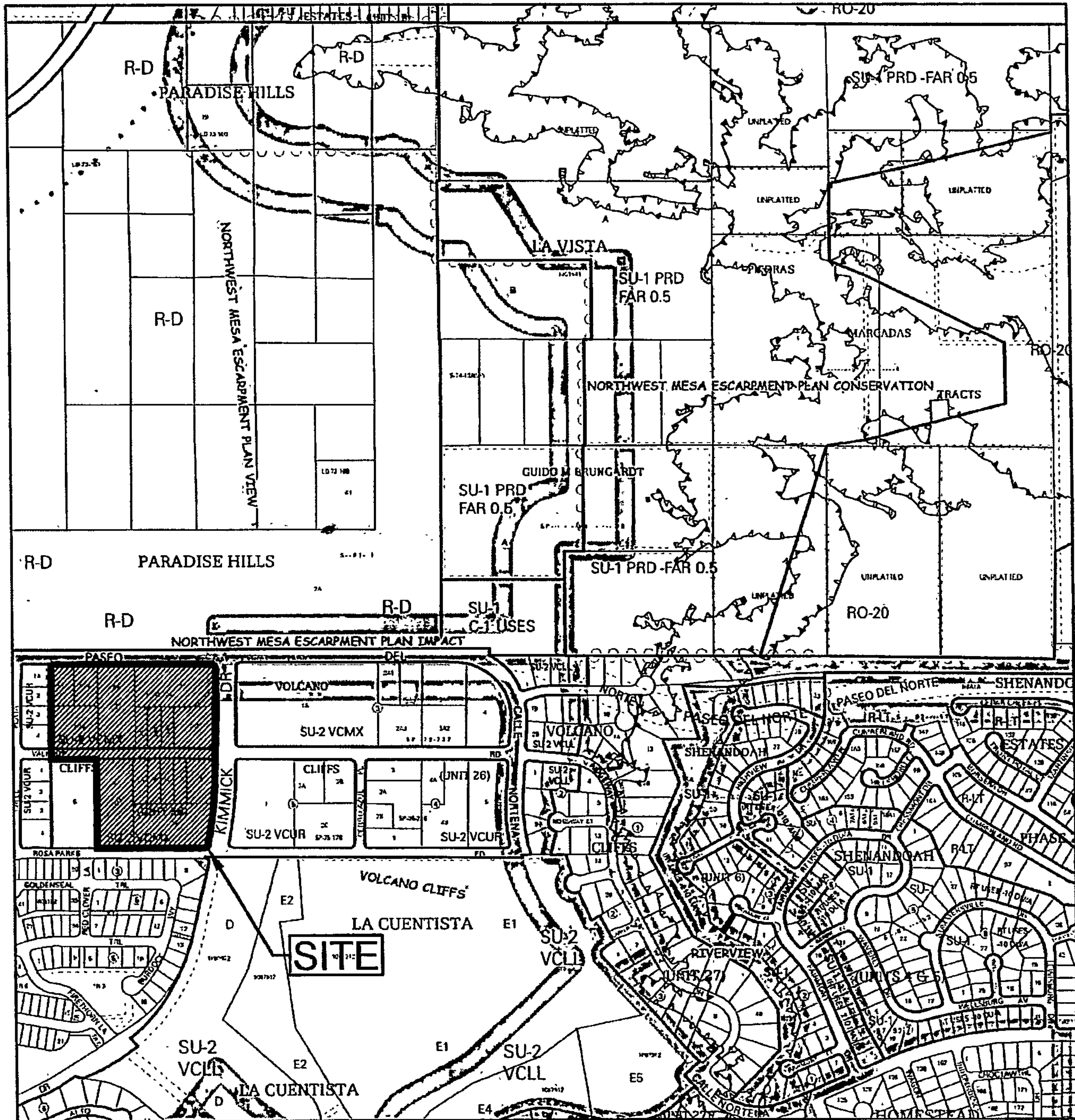


Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 13DRB - - - - - 70585
 13DRB - - - - - 70586

[Signature] 6-14-13
 Planner signature / date
 Project # 1009082



For more current information and details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-11-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Map amended through: 1/10/2013

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

13 June 2013

Jack Cloud, Chairperson
Development Review Board
City of Albuquerque Planning Department
600 Second St. NW
Plaza Del Sol
Albuquerque, NM 87103

Re: **Preliminary Plat Submittal**
Lots 1A-1 and 4A-1, Block 3, Unit 26 Volcano Cliffs Subdivision
DRB Case No.: 1009082

Dear Mr. Cloud:

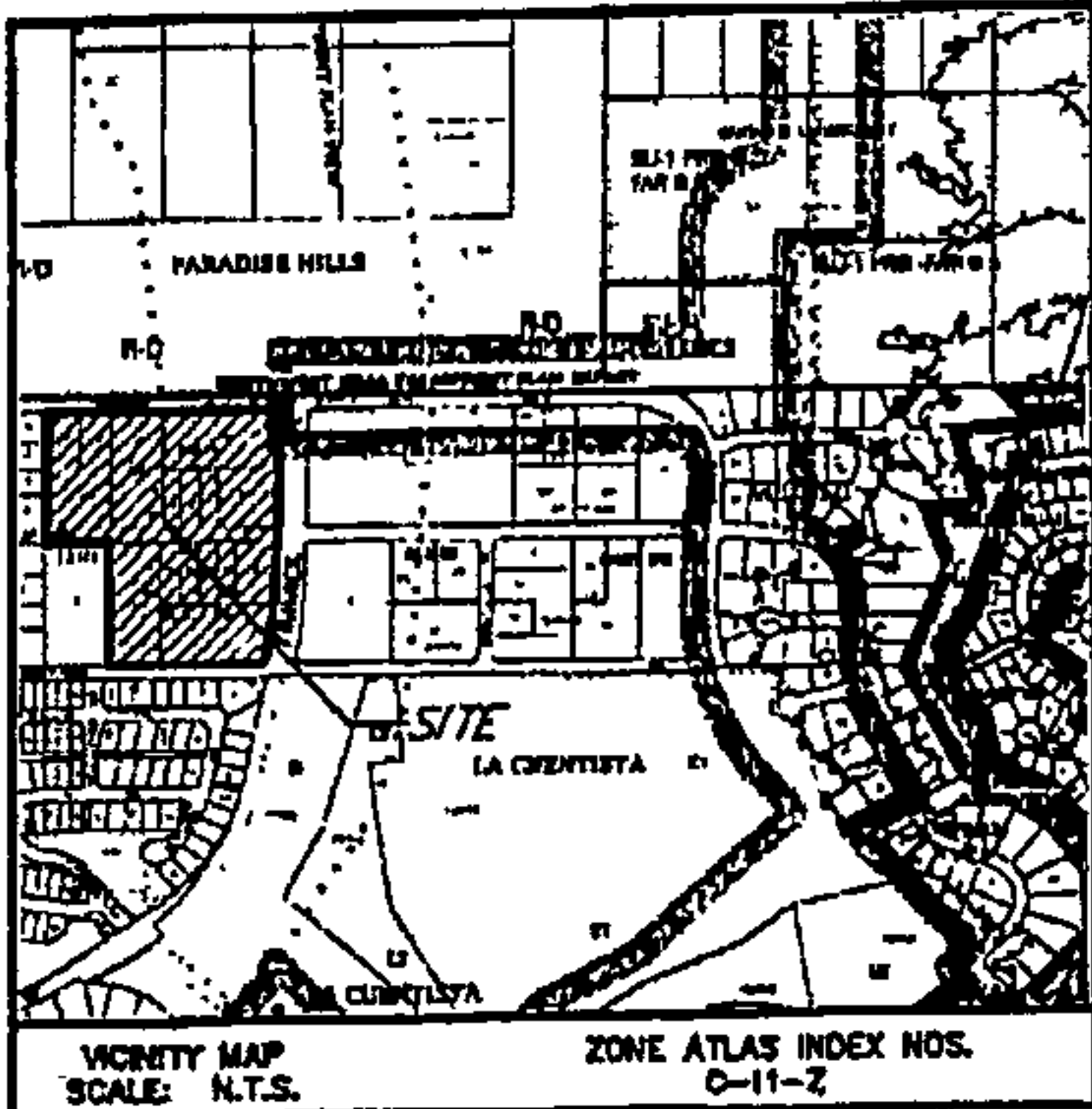
Wilson & Company, acting as agents for the City of Albuquerque, request approval for the Preliminary Plat as referenced above. The platting action allows for the dedication of Right of Way for Paseo del Norte and facilitates access solutions to properties adjacent to Paseo del Norte that are currently land locked by access limitations.

Additionally, we request approval for a Bulk Land Variance for this platting action; the plat combines six lots into two lots. This action facilitates future construction of public infrastructure as well as private development.

Please contact me at 348-4191 if you have an questions. Thank you.

Sincerely,


Kristine Susco
Project Designer
Wilson & Company, Inc.



SUBDIVISION DATA:

TOTAL NO. OF LOTS EXISTING: 16
 TOTAL NO. OF TRACTS CREATED: 1
 GROSS SUBDIVISION ACREAGE: 16.3143 ACRES
 TOTAL MILES OF STREETS CREATED: 0
 ZONE ATLAS INDEX NO: C-11-7
 DATE OF SURVEY: APRIL 2010
 CURRENT ZONING: SU-2 UCMX

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT SIXTEEN EXISTING LOTS INCLUDING: LOTS 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4, AND 7A-5, BLOCK 2 AND LOTS 6, 7A, 7B, 7C, 7D, 7E, AND 7F, BLOCK 6, UNIT 26, VOLCANO CLIFFS SUBDIVISION, INTO ONE TRACT; VACATE AND GRANT EASEMENTS; AND VACATE AND DEDICATE RIGHT-OF-WAY FOR PASEO DEL NORTE, KIMMICK DRIVE, VALIENTE ROAD, AND ROSA PARKS ROAD.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

- UNIFORM PROPERTY CODE # : 1-011-084-001-177-30409 (LSA1,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-006-167-30401 (LSA3,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-040-187-30403 (L7A5,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-027-118-30102 (L8,B9,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-040-128-30108 (L7A,B8,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-071-128-30104 (L7E,B8,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-058-107-30103 (L7F,B9,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-088-157-30408 (L7A2,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-054-187-30405 (L7A3,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-056-177-30407 (L7A1,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-082-128-30105 (L7D,B8,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-027-188-30402 (LSA2,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-012-177-30406 (LSA2,B2,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-047-128-30107 (L7B,B8,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-054-128-30106 (L7D,B8,U28)
- UNIFORM PROPERTY CODE # : 1-011-084-047-157-30404 (L7A4,B2,U28)

PROPERTY OWNER OF RECORD: GROUP II U28 VC, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

BERNALILLO COUNTY TREASURER'S OFFICE: _____ DATE: _____

INDEXING INFORMATION FOR COUNTY CLERK

OWNER(S): VARIOUS
 SECTIONS 14&15, T.11 N., R.2 E., N.M.P.M.
 SUBDIVISION: VOLCANO CLIFFS SUBDIVISION, UNITS 26 & 27

Layout Name: MX-LLC-West-DRB-01
 Drawing Name: SX3218078_Boundary (replatbase).dwg
 NETWORK ADDRESS: m:\RR\08-400-104-00\CAOD\MAPPING\ABC\SAD 228\

LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND BEING COMPRISED OF LOTS 5A-1, 5A-2, 5A-3, 7A-1, 7A-2, 7A-3, 7A-4 & 7A-5, BLOCK 2, VOLCANO CLIFFS SUBDIVISION, UNIT 26, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 17, 1975 IN VOLUME C10, FOLIO 164, TOGETHER WITH, LOT 6A, BLOCK 2, VOLCANO CLIFFS SUBDIVISION, UNIT 26, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 16, 1971 IN VOLUME D4, FOLIO 175, TOGETHER WITH, LOT 6, BLOCK 6, VOLCANO CLIFFS SUBDIVISION, UNIT 26, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 23, 1971 IN VOLUME D4, FOLIO 133, TOGETHER WITH, LOTS 7A, 7B, 7C, 7D, 7E & 7F, BLOCK 6, VOLCANO CLIFFS SUBDIVISION, UNIT 26, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 17, 1975 IN VOLUME C10, FOLIO 163, TOGETHER WITH, PORTIONS OF STREET RIGHT OF WAY FOR VALIENTE ROAD AND KIMMICK DRIVE; SAID COMPRISED PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID COMPRISED PARCEL HEREIN DESCRIBED, BEING THE SAME POINT AS THE SOUTHWEST CORNER OF SAID LOT 6, BLOCK 6, VOLCANO CLIFFS SUBDIVISION, UNIT 26 (D4-133) AND ALSO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ROSA PARKS ROAD; WHENCE, THE A.C.S. (ALBUQUERQUE CONTROL STATION) 3-E10, A BRASS CAP IN PLACE, BEARS S.28°46'14"W., 8,487.09 FEET DISTANT; THENCE, FROM SAID POINT OF BEGINNING, LEAVING SAID NORTHERLY RIGHT OF WAY LINE, N.00°19'05"E., A DISTANCE OF 480.00 FEET TO AN ANGLE POINT, BEING THE SAME POINT AS THE NORTHWEST CORNER OF SAID LOT 6, BLOCK 6; THENCE, N.89°40'55"W., A DISTANCE OF 239.98 FEET TO AN ANGLE POINT; THENCE, N.00°19'05"E., A DISTANCE OF 489.01 FEET TO THE NORTHWEST CORNER OF SAID COMPRISED PARCEL HEREIN DESCRIBED, BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF PASEO DEL NORTE (FORMERLY AVENIDA DE JAIMITO); THENCE, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, S.89°43'24"E., A DISTANCE OF 829.13 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY, 39.28 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 90°02'29" SUBTENDED BY A CHORD OF 35.37 FEET WHICH BEARS S.44°42'09"E. TO A POINT OF TANGENCY BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF KIMMICK DRIVE; THENCE, ALONG SAID WESTERLY RIGHT OF WAY LINE, S.00°19'05"W., A DISTANCE OF 14.33 FEET TO A POINT ON A CURVE; THENCE, LEAVING SAID WESTERLY RIGHT OF WAY LINE, SOUTHEASTERLY, 35.20 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 36.78 FEET AND A CENTRAL ANGLE OF 54°49'28" SUBTENDED BY A CHORD OF 33.87 FEET WHICH BEARS S.29°48'38"E. TO A POINT OF TANGENCY; THENCE, S.00°19'05"W., A DISTANCE OF 509.90 FEET TO A POINT OF CURVATURE; THENCE, SOUTHWESTERLY, 348.19 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1,781.34 FEET AND A CENTRAL ANGLE OF 11°13'53" SUBTENDED BY A CHORD OF 348.83 FEET WHICH BEARS S.03°56'02"W. TO A POINT OF COMPOUND CURVATURE; THENCE, SOUTHWESTERLY, 34.37 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 78°48'06" SUBTENDED BY A CHORD OF 31.73 FEET WHICH BEARS S.50°56'02"W. TO A POINT OF TANGENCY; THENCE, N.89°40'55"W., A DISTANCE OF 4.58 FEET TO A POINT ON A CURVE, BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID KIMMICK DRIVE; THENCE, ALONG SAID WESTERLY RIGHT OF WAY LINE, SOUTHWESTERLY, 14.34 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 32°51'38" SUBTENDED BY A CHORD OF 14.14 FEET WHICH BEARS S.73°53'17"W. TO A POINT OF TANGENCY, BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SAID ROSA PARKS; THENCE, ALONG SAID NORTHERLY RIGHT OF WAY LINE, N.89°40'55"W., A DISTANCE OF 554.41 FEET TO THE SOUTHWEST CORNER OF SAID COMPRISED PARCEL HEREIN DESCRIBED, THE POINT OF BEGINNING;
 SAID COMPRISED PARCEL CONTAINING AN AREA OF 710,649 SQUARE FEET OR 16.3143 ACRES, MORE OR LESS.

NOTICE OF SUBDIVISION PLAT CONDITIONS:

A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED OR REMOVED WHEN FUTURE PLATS OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OR ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS: WATER AND SANITARY SEWER AVAILABILITY; FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS; PARK AND OPEN SPACE REQUIREMENTS; DRAINAGE REQUIREMENT AND/OR IMPROVEMENTS; AND EXCAVATION, FILLING OR GRADING REQUIREMENTS. ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

IT IS UNDERSTOOD THAT A SEPARATE NOTICE OF THESE CONDITIONS IS TO BE RECORDED WITH THE COUNTY CLERK AT THE TIME OF FINAL PLAT RECORDING.

GENERAL NOTES:

1. COUNCIL BILL R-11-308 CREATES SPECIAL ASSESSMENT DISTRICT 228 (SAD 228) AND STATES THAT THE ADDITION OF IMPROVEMENTS TO THE DISTRICT IS IN THE GENERAL INTEREST OF THE CITY. THE TRACTS, EASEMENTS, AND RIGHT-OF-WAY SHOWN ON THIS PLAT ARE WITHIN THE IMPROVEMENT LIMITS DEFINED BY COUNCIL BILL R-11-308 FOR SAD 228.
2. FIELD SURVEY WAS PERFORMED IN APRIL 2010.
3. BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE HAD 83). BASED ON A LINE FROM CONTROL STATION 3_E10 TO CONTROL STATION 13-D10 BEARING = N.54°12'22"E.
4. ALL DISTANCES ARE GROUND DISTANCES.
5. CORNERS SHOWN AS ARE 5/8" REBAR WITH CAP STAMPED "C.S. CROSHAW PS 14733", UNLESS OTHERWISE INDICATED.

SOLAR NOTE:

SUBDIVISION ORDINANCE SECTION 14-14-4-7. PROHIBITION ON PRIVATE RESTRICTIONS: ON THE INSTALLATION OF SOLAR COLLECTORS ON PROPERTY WITHIN THE AREA FOR WHICH DRB APPROVAL IS SOUGHT. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

PLAT OF
 TRACT 1, BLOCK 2
 VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of a portion of Block 2
 & a portion of Block 6,
 together with, a portion of
 Valiente Road & Kimmick Drive NW
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTIONS 14 & 15
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE

PROJECT NUMBER: 1009082 BERNALILLO COUNTY, NEW MEXICO
 APPLICATION NUMBER: 11DRB-70350 APRIL 2013

PLAT APPROVAL

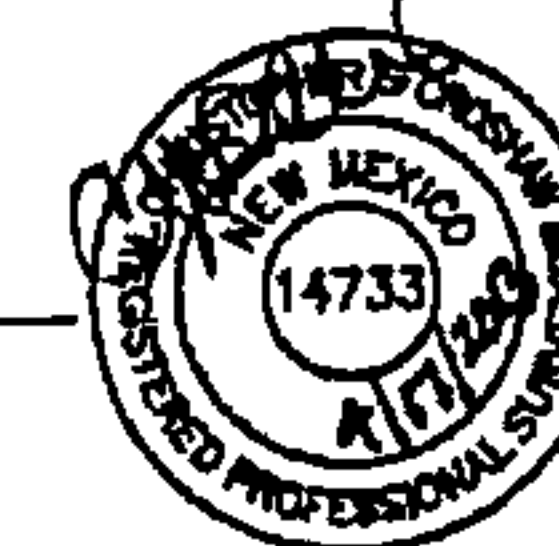
UTILITY APPROVALS: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEDED TO BE IN THE PUBLIC INTEREST. DISCLAIMER: IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) AND QWEST CORPORATION D/B/A/ CENTURYLINK DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON, CONSEQUENTLY, PNM AND NMGC AND QWEST CORPORATION D/B/A/ CENTURYLINK DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT, WHICH ARE NOT SHOWN ON THIS PLAT.

NEW MEXICO GAS COMPANY	DATE
PNM ELECTRIC SERVICES	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
CITY APPROVALS: <i>Christopher S. Croshaw</i>	4-24-13 DATE
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007.

Christopher S. Croshaw
 CHRISTOPHER S. CROSHAW
 N.M.P.L.S. #14733
 4/17/2013
 DATE



WILSON & COMPANY
 4800 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
 SHEET 1 OF 4

FREE CONSENT AND DEDICATION:

THE TRACTS SHOWN HEREON ARE REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS. SAID OWNERS DO HEREBY DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR PASEO DEL NORTE AND ROSA PARKS ROAD TO THE CITY OF ALBUQUERQUE, AS SHOWN HEREON, IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN; ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR OVERHEAD AND/OR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND AND/OR OVERHEAD UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS; SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

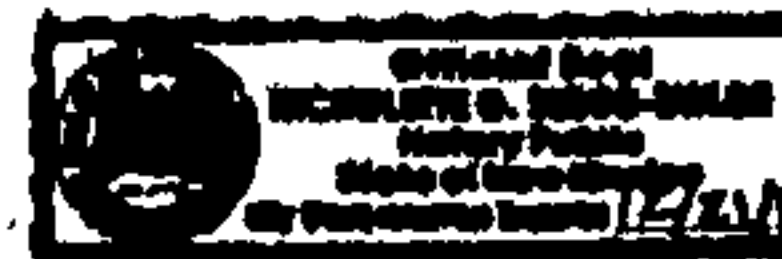
PLAT OF
TRACT 1, BLOCK 2
VOLCANO CLIFFS SUBDIVISION, UNIT 26
A Replat of a portion of Block 2 &
a portion of Block 6,
together with, a portion of
Valiente Road & Kimmick Drive NW
Volcano Cliffs Subdivision, Unit 26
WITHIN SECTIONS 14 & 15
T.11 N., R.2 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 2013

PROPERTY OWNER SIGNATURE(S):

LOTS 5A1, 5A2, 5A3, 6A, 7A1, 7A2, 7A3, 7A4, 7A5, BLOCK 2,
AND LOTS 6, 7A, 7B, 7C, 7D, 7E, 7F, BLOCK 6, VOLCANO CLIFFS
SUBDIVISION, UNIT 26:

Billy J. Wright 4-17-2013
DATE
BILLY J. WRIGHT, MANAGER
FOR: GROUP II U26 VC, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 17th DAY OF
April, 2013, BY BILLY J. WRIGHT.

NOTARY PUBLIC: *Nicholite H. Duran-Taylor*
MY COMMISSION EXPIRES: December 21, 2016

Steven J. Metro 4-17-13
DATE
STEVEN J. METRO, MANAGER
FOR: GROUP II U26 VC, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 17th DAY OF
April, 2013, BY STEVEN J. METRO.

NOTARY PUBLIC: *Nicholite H. Duran-Taylor*
MY COMMISSION EXPIRES: December 21, 2016

**WILSON
& COMPANY**
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000
SHEET 2 OF 4

PLAT OF
TRACT 1, BLOCK 2
VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Repeat of a portion of Block 2
 & a portion of Block 6,
 together with, a portion of
 Valiente Road & Kimmick Drive NW
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTIONS 14 & 15
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2013

LINE TABLE

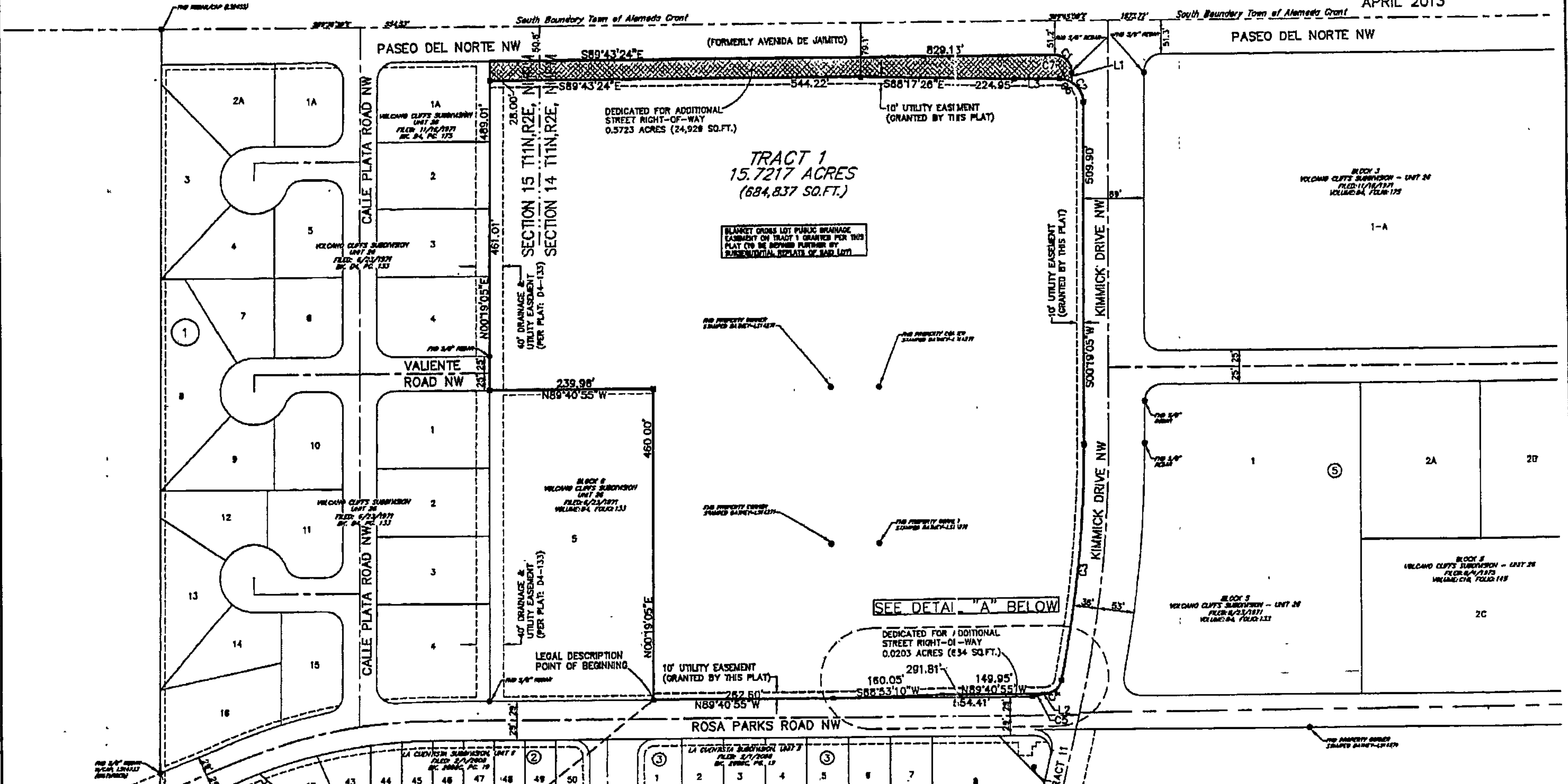
LINE NO.	BEARING	DISTANCE
L1	S00°19'05"W	14.33'
L2	N89°40'55"W	4.58'
L3	S89°43'24"E	67.02'

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C1	90°02'29"	25.00'	39.28'	S44°42'09"E 35.37'
C2	54°49'26"	36.78'	35.20'	S29°48'36"E 33.87'
C3	117°3'53"	1781.34'	349.19'	S05°56'02"W 348.63'
C4	78°46'06"	23.00'	34.37'	S50°36'02"W 31.73'
C5	32°51'36"	25.00'	14.34'	S73°53'17"W 14.14'
C6	84°36'32"	36.78'	54.31'	S44°42'09"E 49.52'
C7	29°47'06"	36.78'	19.12'	N72°06'52"W 18.91'

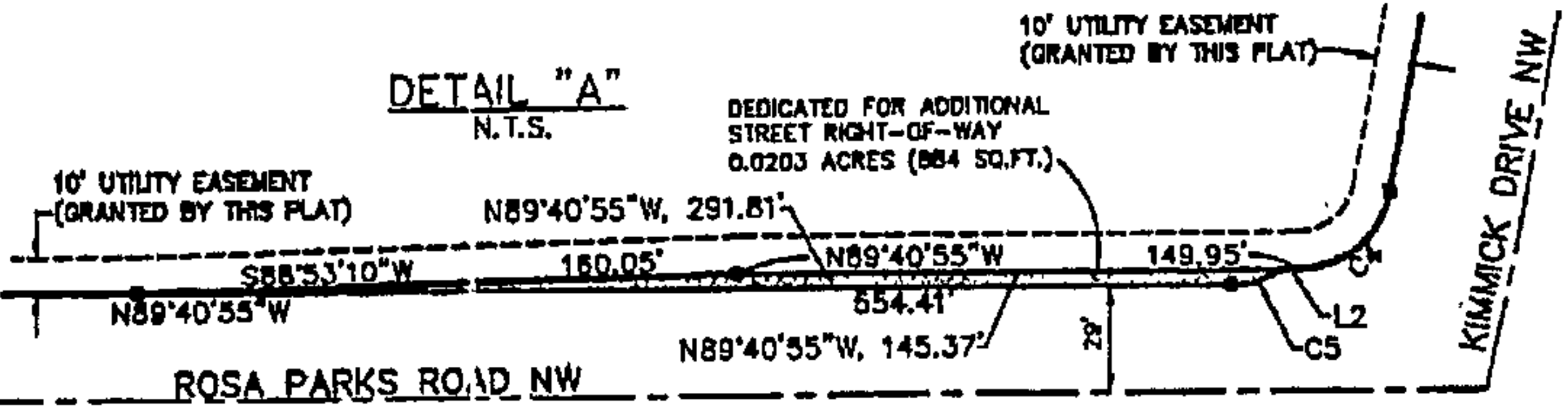


TRACT 24
 VOLCANO CLIFFS
 PLAT: 2/21/1991
 BC: 816, PG: 34
 Subdiv. boundary limited



ACS CONTROL STATION "ACS 3-E10" DATA:
 3 1/4 BRASS DISC SET IN CONCRETE POST
 NEW MEXICO STATE PLANE GRID
 COORDINATES (CENTRAL ZONE)
 X=1,499,059.808 Y=1,512,627.846
 ELEV=5318.888 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999872416
 DELTA ALPHA=(-)00°16'20.35" (NAD 1983)

ACS CONTROL STATION "ACS 13-D10" DATA:
 3 1/4 BRASS DISC SET FLUSH IN LAVA ROCK
 NEW MEXICO STATE PLANE GRID COORDINATES
 (CENTRAL ZONE)
 X=1,501,318.610 Y=1,514,258.688
 GROUND TO GRID FACTOR=0.999872421
 DELTA ALPHA=(-)00°18'04.84" (NAD 1983)



WILSON & COMPANY
 4000 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
SHEET 3 OF 4
 WCI PROJ. NO. 08-400-104-00

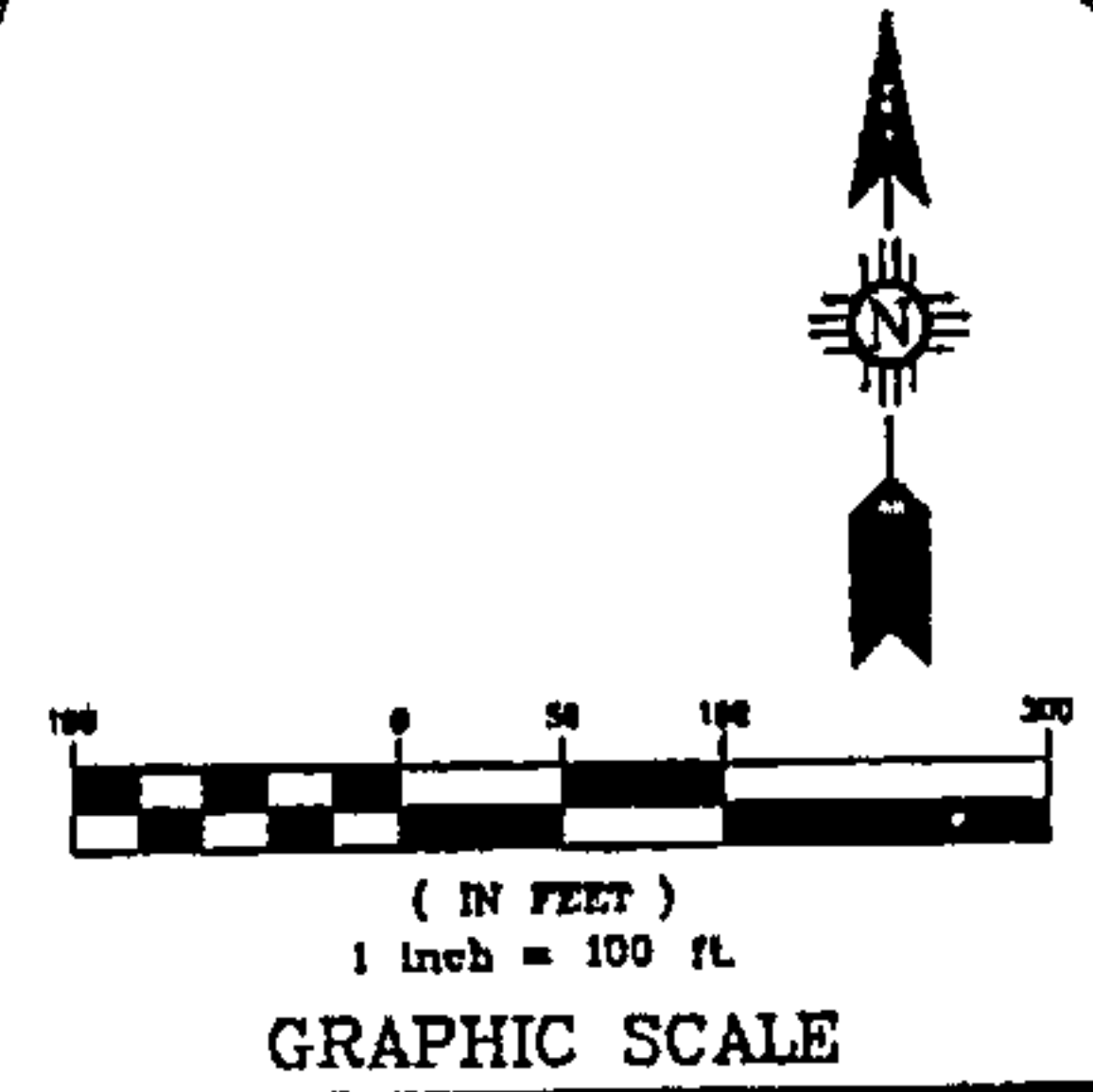
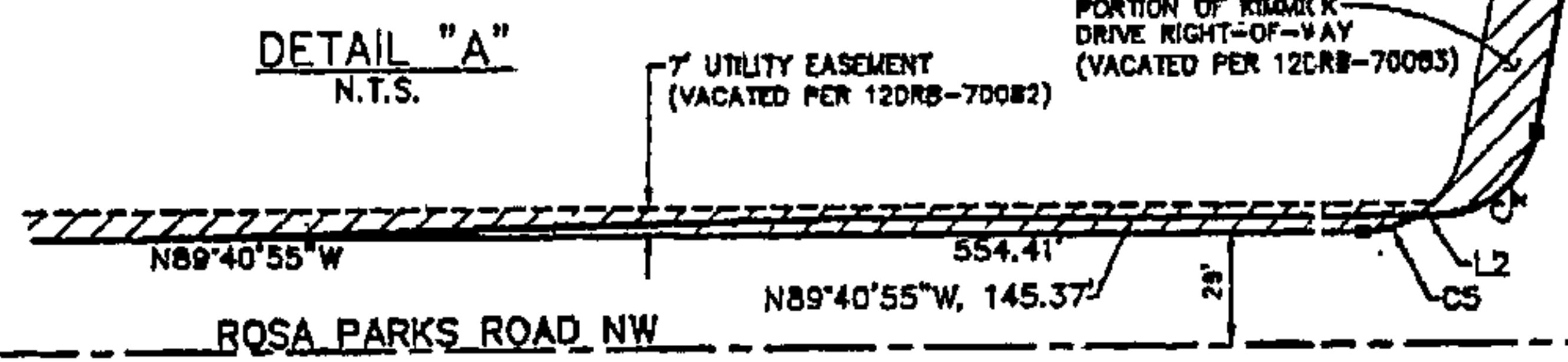
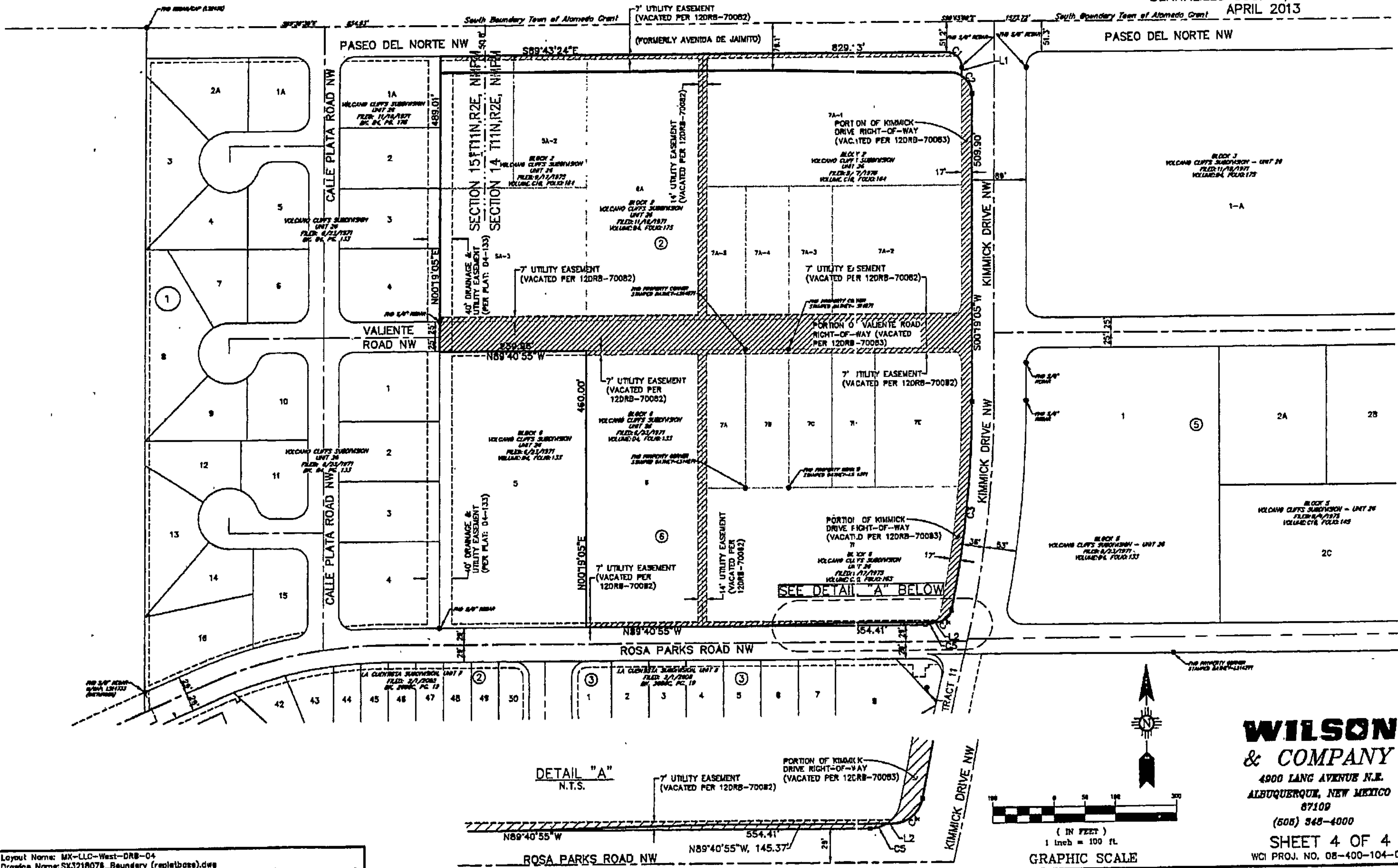
VACATION EXHIBIT FOR
 PLAT OF
 TRACT 1, BLOCK 2
VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of a portion of Block 2 & a portion
 of Block 6, together with, a portion of
 Valiente Road & Kimmick Drive NW
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 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2013

LINE NO.	BEARING	DISTANCE
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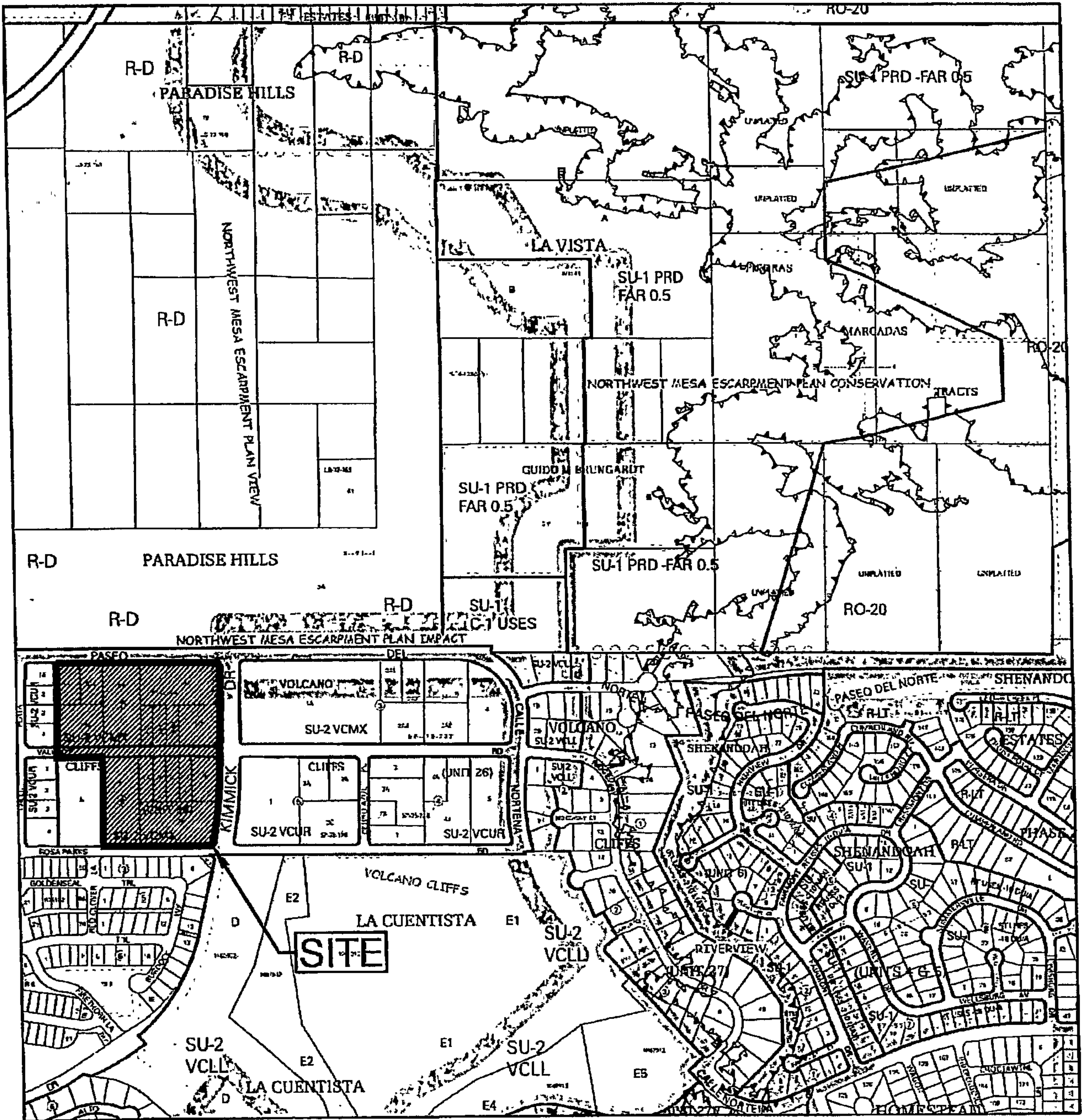
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
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C2	54°49'26"	36.78'	35.20'	S28°48'36"E 33.87'
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C7	29°47'06"	36.78'	19.12'	N72°06'52"W 18.91'

PUBLIC UTILITY EASEMENT VACATED PER 12DRB-70082
 PUBLIC RIGHT-OF-WAY VACATED PER 12DRB-70083

TRACT 31
 PARADISE HILLS
 FILED: 2/21/1991
 BY: RIC, PC 44
 BERNALILLO COUNTY, NEW MEXICO



WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
 SHEET 4 OF 4
 WCI PROJ. NO. 08-400-104-00



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/10/2013

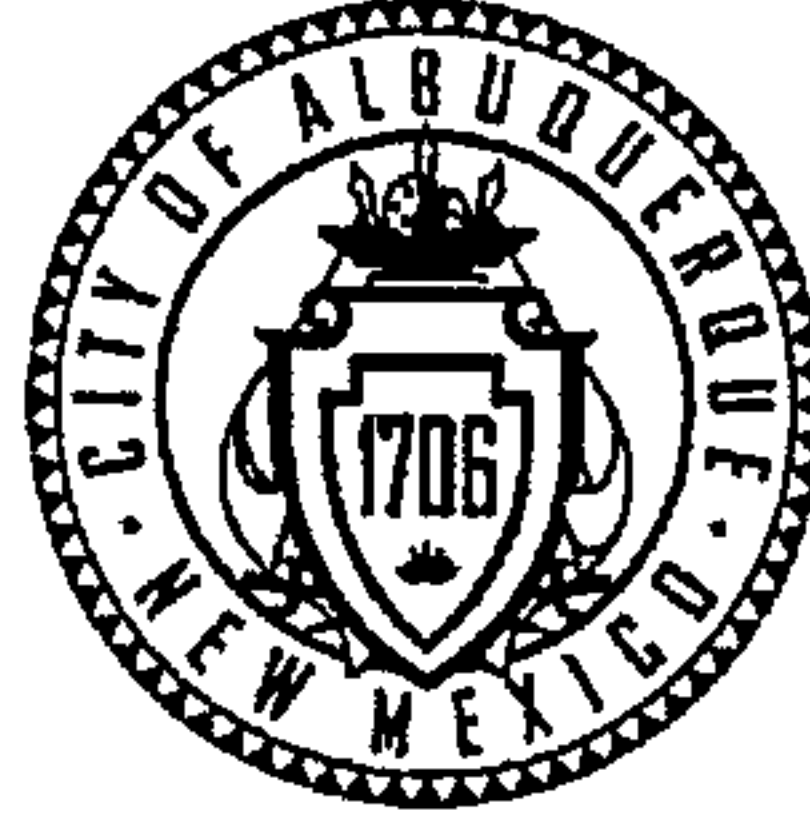
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-11-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office

May 22, 2013

Coyote Sparrow
Wilson and Company
4900 Lang Avenue NE/87109
PHONE: 505-348-4062/**FAX:** 505-348-4055
E-mail: Coyote.Sparrow@wilsonco.com

Dear Coyote:

Thank you for your inquiry of **May 22, 2013** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOTS 5A1, 5A2, 5A3, 6A, 7A1, 7A2, 7A3, 7A4, 7A5, BLOCK 2 AND LOTS 6, 7A, 7B, 7C, 7D, 7E, 7F, BLOCK 6, UNIT 26, VOLCANO CLIFFS SUBDIVISION, LOCATED ON THE SOUTH SIDE OF PASEO DEL NORTE NW BETWEEN KIMMICK DRIVE NW AND CALLE PLATA NW** zone map **C-11**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

PARADISE HILLS CIVIC ASSOC. "R"

Tom Anderson, 10013 Plunkett Dr. NW/87114 897-2593 (h)
Maria Warren, 5020 Russell NW/87114 440-2240 (h)

VOLCANO CLIFFS PROPERTY OWNERS ASSOC.

Dave Heil, 160 Itasca Rd., Rio Rancho, NM/87124 228-7189 (c)
Ralph Davis, 5612 Popo Dr. NW/87120 280-6512 (c)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH NEIGHBORHOOD
AND/OR HOMEOWNER ASSOCIATION.**

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **05/22/13** Time Entered: **4:45 p.m.** ONC Rep. Initials: **siw**



DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: swinklepleck@cabq.gov. ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914.

Zone Map and this Developer Inquiry Sheet MUST be provided with request.

Please mark/hatch Zone Map where Property is located.

Your Developer Inquiry is for the following:

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
- EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
- Administrative Amendments (AA's) Submittal City Project Submittal

CONTACT NAME: COYOTE SPARROW

COMPANY NAME: WILSON & COMPANY

ADDRESS/ZIP: 4900 LANG AVE NE 87109

PHONE: 348-4062 FAX: 348-4055

LEGAL DESCRIPTION INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

LOTS 5A1, 5A2, 5A3, 6A, 7A1, 7A2, 7A3, 7A4, 7A5, BLOCK 2 AND
LOTS 6, 7A, 7B, 7C, 7D, 7E, 7F, BLOCK 6, UNIT 26
VOLCANO CLIFFS SUBDIVISION

LEGAL DESCRIPTION

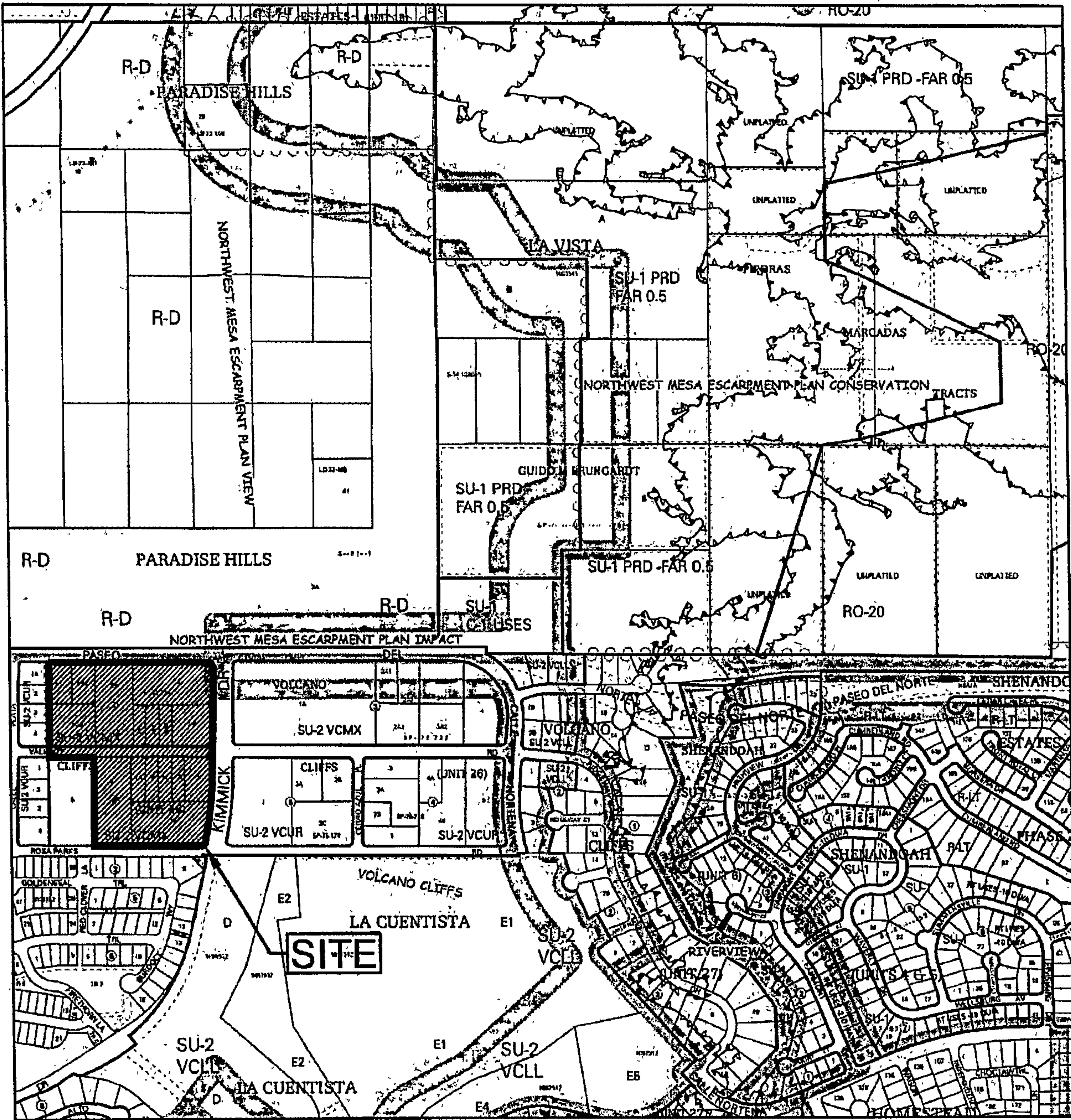
LOCATED ON

SOUTH SIDE OF PASEO DEL NORTE NW
STREET NAME OR OTHER IDENTIFYING LANDMARK

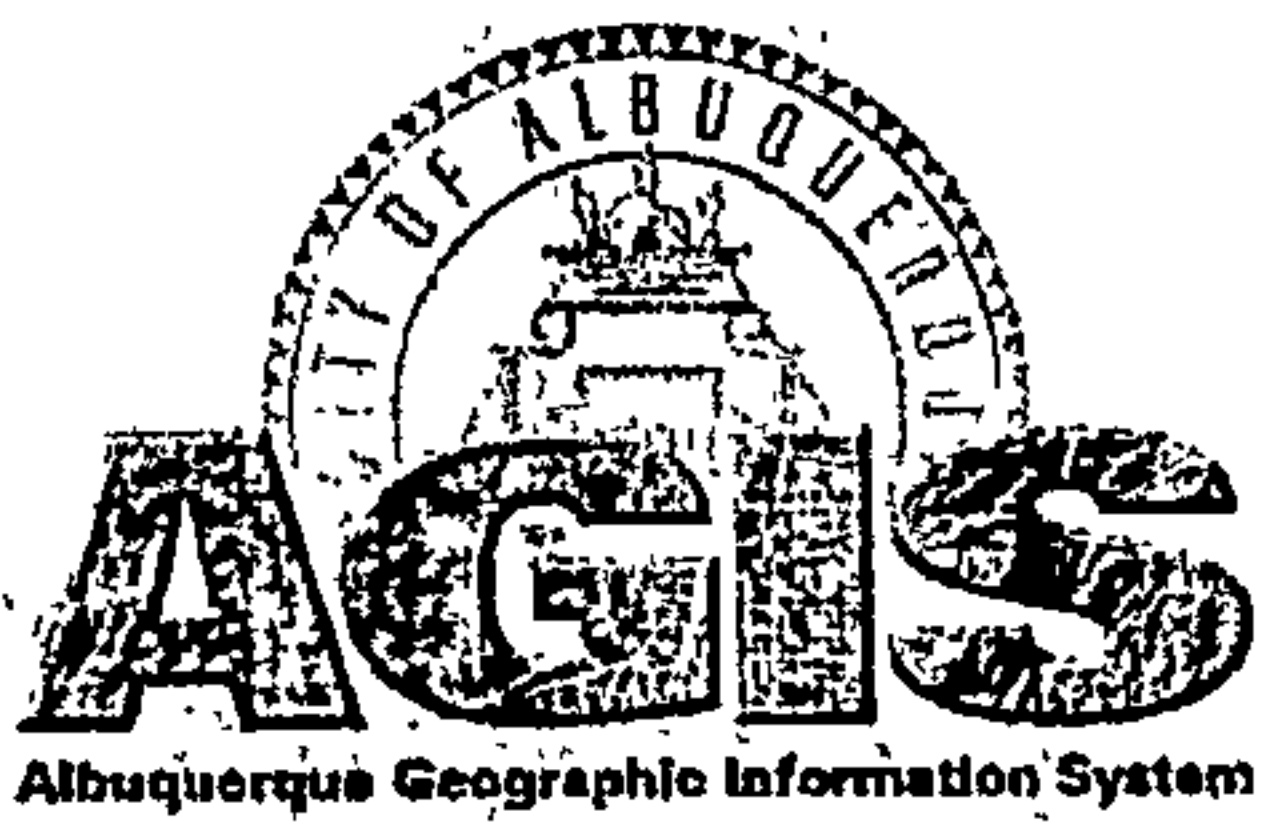
BETWEEN KIMMICK DR. NW AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

CALLE PLATA NW
STREET NAME OR OTHER IDENTIFYING LANDMARK

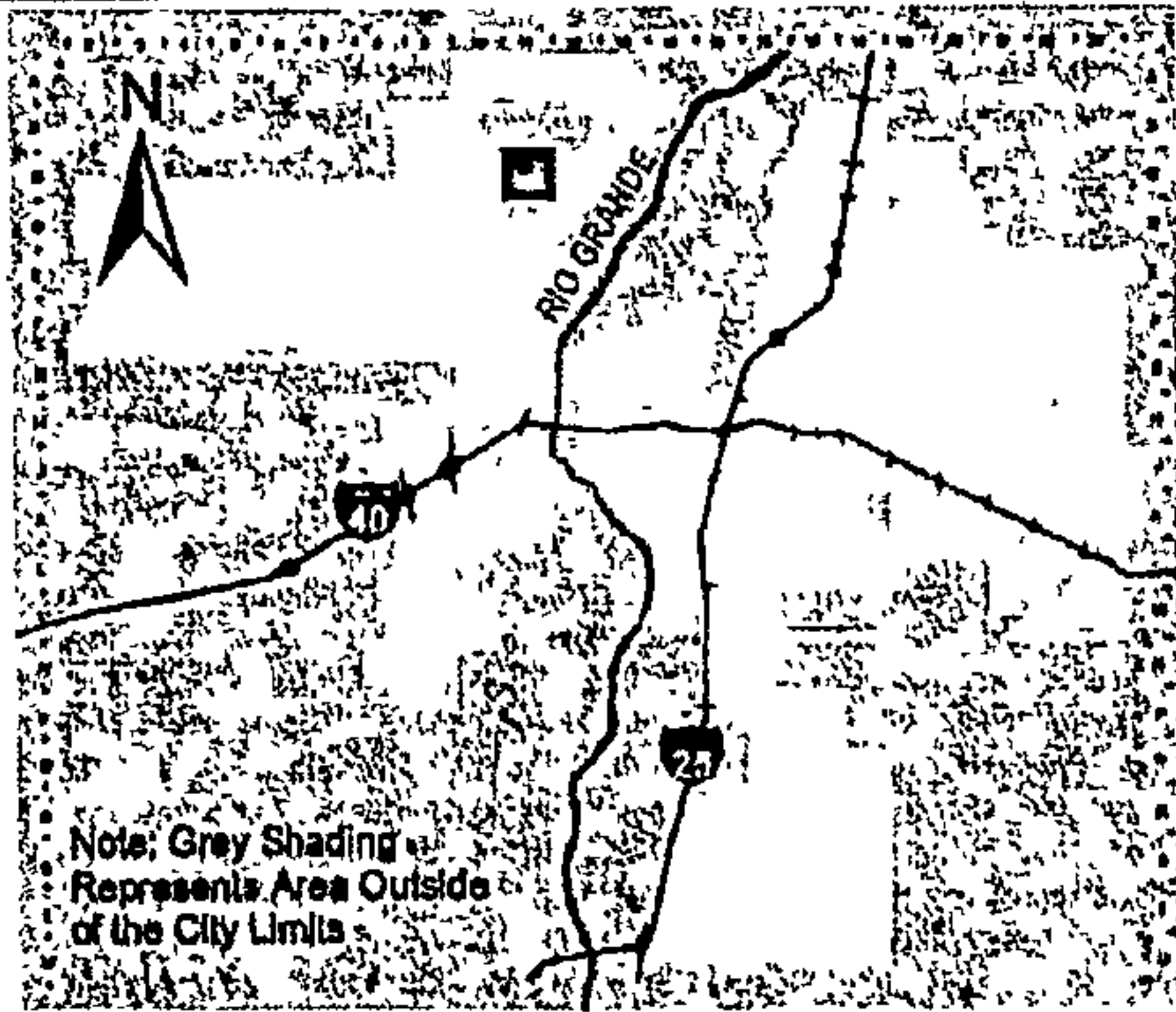
THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE (C 11).



For more current information and details visit: <http://www.cabq.gov/gis>



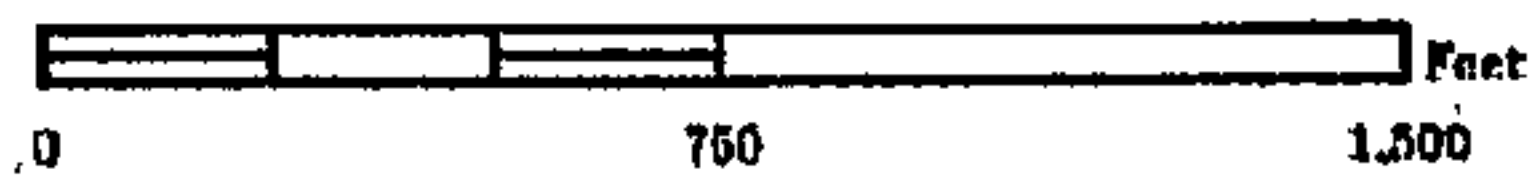
Map amended through: 1/10/2013



Zone Atlas Page:
C-11-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Tom Anderson
Paradise Hills Civic Association
10013 Plunkett Dr. NW
Albuquerque, NM 87114
(505) 897-2593(h)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance, Design Variance Approvals**

Dear Mr. Anderson:

This letter is to inform the **Paradise Hills Civic Association** that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Rosa Parks Rd and Valiente Rd NW along with a portion of **Block 2 and Block 6, Unit 26**, Volcano Cliffs Subdivision. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte, re-platting of lots into one Tract to allow for future development that provides access to lots currently land locked by Paseo del Norte and a variance from design standards to allow a 190' stub street (Valiente Rd east of Calle Plata). This action is in relationship to SAD 228.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 17, 2013 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,


WILSON & COMPANY, INC.

Kristine Susco
Project Designer

Email: kiskusco@wilsonco.com

Wilson & Company, Inc., Engineers & Architects



SHARED OWNERSHIP • COLLABORATION
INTENSITY • DISCIPLINE • SOLUTIONS

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Maria Warren
Paradise Hills Civic Association
5020 Russell NW
Albuquerque, NM 87114
(505) 440-2240(h)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance, Design Variance Approvals**

Dear Ms. Warren:

This letter is to inform the **Paradise Hills Civic Association** that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Rosa Parks Rd and Valiente Rd NW along with a portion of **Block 2 and Block 6, Unit 26, Volcano Cliffs Subdivision**. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte, re-platting of lots into one Tract to allow for future development that provides access to lots currently land locked by Paseo del Norte and a variance from design standards to allow a 190' stub street (Valiente Rd east of Calle Plata). This action is in relationship to SAD 228.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 10, 2013 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,



WILSON & COMPANY, INC.

Kristine Susco
Project Designer
Email: kiskusco@wilsonco.com

Wilson & Company, Inc. , Engineers & Architects



SHARED OWNERSHIP • COLLABORATION
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**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Dave Heil

Volcano Cliffs Property Owners Association (VCC)

160 Itasca Rd. SE

Rio Rancho, NM 87124

(505) 228-7189 (c)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance, Design Variance Approvals**

Dear Mr. Heil:

This letter is to inform the Volcano Cliffs Property Owners Association (VCC) that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Rosa Parks Rd and Valiente Rd NW along with a portion of **Block 2 and Block 6, Unit 26**, Volcano Cliffs Subdivision. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte, re-platting of lots into one Tract to allow for future development that provides access to lots currently land locked by Paseo del Norte and a variance from design standards to allow a 190' stub street (Valiente Rd east of Calle Plata). This action is in relationship to SAD 228.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July ~~17~~ 18, 2013 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,


WILSON & COMPANY, INC.

Kristine Susco

Project Designer

Email: kiskusco@wilsonco.com

Wilson & Company, Inc., Engineers & Architects



SHARED OWNERSHIP • COLLABORATION
INTENSITY • DISCIPLINE • SOLUTIONS

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

14 June 2013

Ralph Davis

Volcano Cliffs Property Owners Association (VCC)

5612 Popo Dr. NW

Albuquerque, NM 87120

(505) 280-6512 (c)

Re: **DRB #1009082 – Preliminary Plat, Bulk Land Variance, Design Variance Approvals**

Dear Mr. Davis:

This letter is to inform the Volcano Cliffs Property Owners Association (VCC) that Wilson & Company, Inc., acting as agents for the City of Albuquerque, is requesting Preliminary Plat Approval for a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo del Norte, Kimmick Dr., Rosa Parks Rd and Valiente Rd NW along with a portion of **Block 2 and Block 6, Unit 26**, Volcano Cliffs Subdivision. The roads and lots will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is needed to dedicate right of way to the City for construction of Paseo del Norte, re-platting of lots into one Tract to allow for future development that provides access to lots currently land locked by Paseo del Norte and a variance from design standards to allow a 190' stub street (Valiente Rd east of Calle Plata). This action is in relationship to SAD 228.

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If you have any questions concerning this project, please contact me at (505) 348-4191.

Sincerely,



WILSON & COMPANY, INC.

Kristine Susco

Project Designer

Email: kisusco@wilsonco.com

Wilson & Company, Inc., Engineers & Architects



SHARED OWNERSHIP • COLLABORATION
INTENSITY • DISCIPLINE • SOLUTIONS

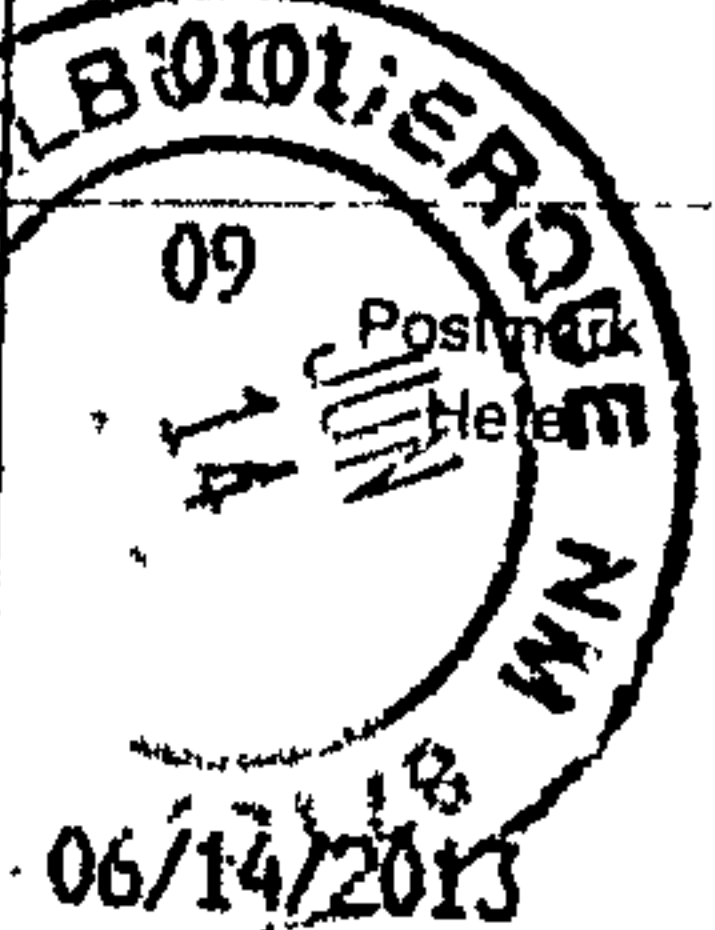
7007 3020 0002 7971 4117

CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87114 **OFFICIAL USE**

Postage	\$ 1.12
Certified Fee	\$3.10
Return Receipt Fee (Endorsement Required)	\$2.55
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.77



Sent **Mr Ralph Davis**
Street, Apt or PO Box **Volcano Cliffs Property Owners Association**
5612 Popo Dr NW
City, State **Albuquerque, NM 87120**

PS Form 3800, August 2006 See Reverse for Instructions

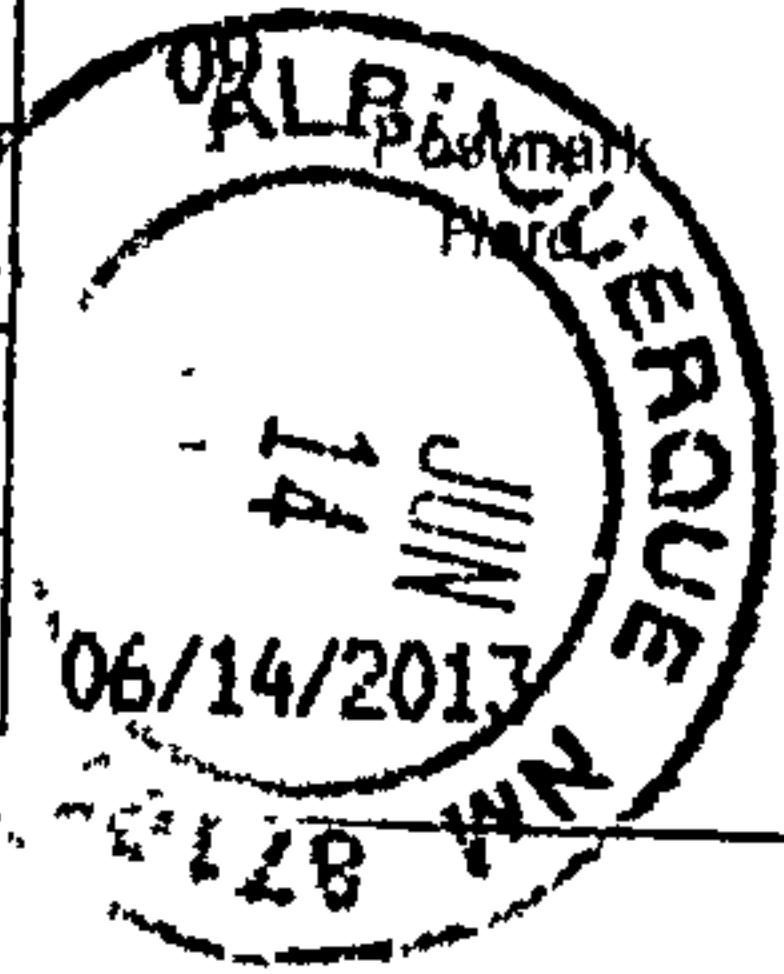
7007 3020 0002 7971 4124

CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87114 **OFFICIAL USE**

Postage	\$ 1.12	0101
Certified Fee	\$3.10	
Return Receipt Fee (Endorsement Required)	\$2.55	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 6.77	



Sent To **Ms. Maria Warren**
Street, Apt or PO Box **Paradise Hills Civic Association**
5020 Russell NW
City, State **Albuquerque, NM 87114**

PS Form 3800, August 2006 See Reverse for Instructions

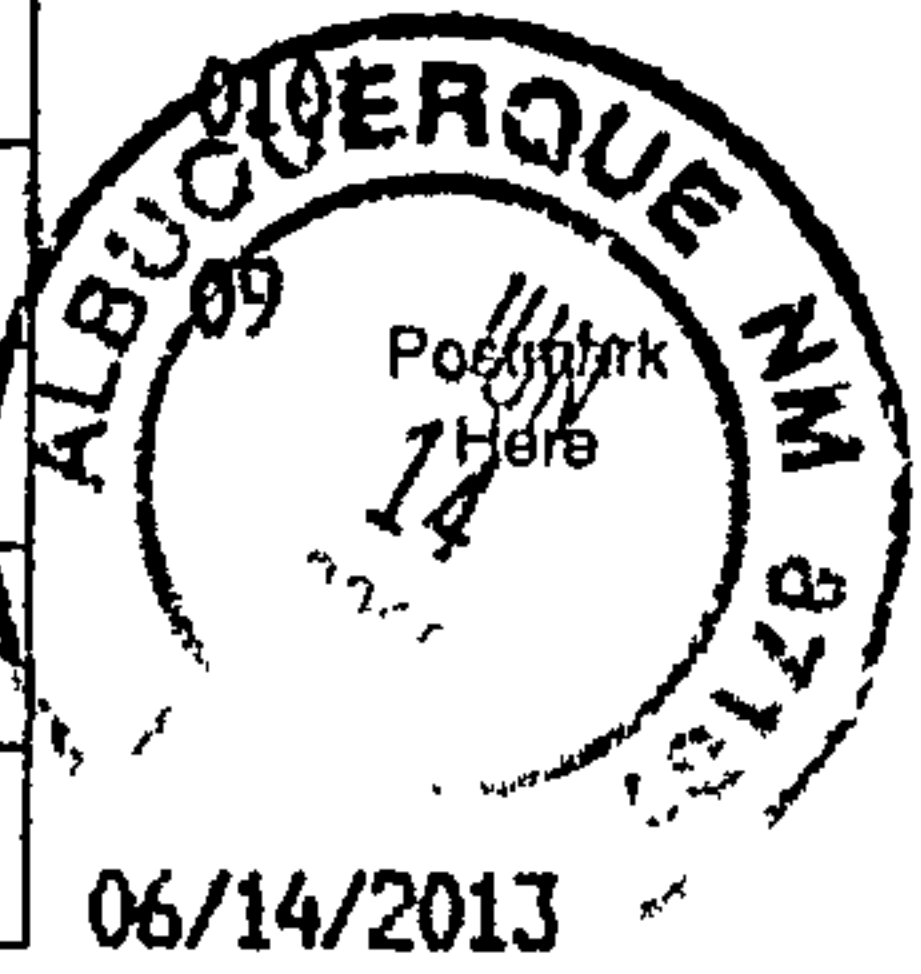
7007 3020 0002 7971 4032

CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87114 **OFFICIAL USE**

Postage	\$ 1.12
Certified Fee	\$3.10
Return Receipt Fee (Endorsement Required)	\$2.55
Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 6.77



Sent **Mr Dave Heil**
Street, Apt or PO Box **Volcano Cliffs Property Owners Association**
160 Itasca Rd SE
City, State **Rio Rancho, NM 87124**

PS Form 3800, August 2006 See Reverse for Instructions

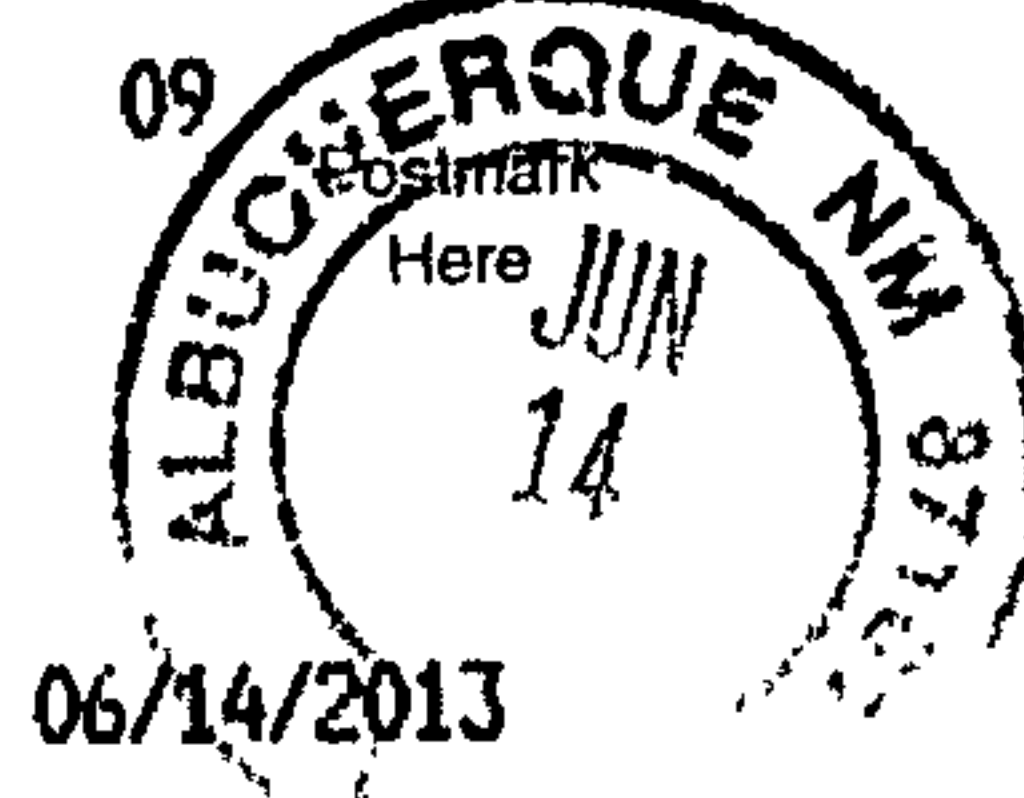
7007 3020 0002 7971 4049

CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87114 **OFFICIAL USE**

Postage	\$ 1.12	0101
Certified Fee	\$3.10	
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 4.22	



Sent To **Mr. Tom Anderson**
Street, Apt or PO Box **Paradise Hills Civic Association**
10013 Plunkett Dr. NW
City, State **Albuquerque, NM 87114**

PS Form 3800, August 2006 See Reverse for Instructions

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: WILSON & COMPANY DATE OF REQUEST: 5/3/13 ZONE ATLAS PAGE(S): C-11

CURRENT:

ZONING SU-2 VCMX
PARCEL SIZE (AC/SQ. FT.) _____

LEGAL DESCRIPTION: 16 LOTS
LOT OR TRACT # Attached BLOCK # 2 and 6, U 26
SUBDIVISION NAME Volcano Cliffs Subdivision

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:
SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER REPLAT
*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 16
BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 5-3-13
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

5-3-13
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

Lot 5A-1, B2, U26

Lot 5A-2, B2, U26

Lot 5A-3, B2, U26

Lot 6A, B2, U26

Lot 7A-1, B2, U26

Lot 7A-2, B2, U26

Lot 7A-3, B2, U26

Lot 7A-4, B2, U26

Lot 7A-5, B2, U26

Lot 6, B6, U26

Lot 7A, B6, U26

Lot 7B, B6, U26

Lot 7C, B6, U26

Lot 7D, B6, U26

Lot 7E, B6, U26

Lot 7F, B6, U26

APS Project #877
APS Cluster: Volcano Vista

**ALBUQUERQUE PUBLIC SCHOOLS
PRE-DEVELOPMENT FACILITIES FEE AGREEMENT WAIVER**

Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), having reviewed the proposed plat of Lots 1A-1 and 4A-1, Block 3, Volcano Cliffs Unit 26 which is zoned as SU-2 VCMX, on May 22, 2013 submitted by Billy J Wright and Kyle Falls for Group I 26 VC LLC and Tomas A Zamora for Sonora Land I, A New Mexico Limited Partnership, owner(s) of above property, has determined that no Pre-Development Facilities Fee Agreement is required with respect to that proposed plat because the property owner (s) propose to consolidate 6 existing lots into two lots. Causing no net gain of residential units.

ALBUQUERQUE PUBLIC SCHOOLS

By: April L. Winters
Signature

April L. Winters, Facility Fee Planner
Name (printed or typed) and title

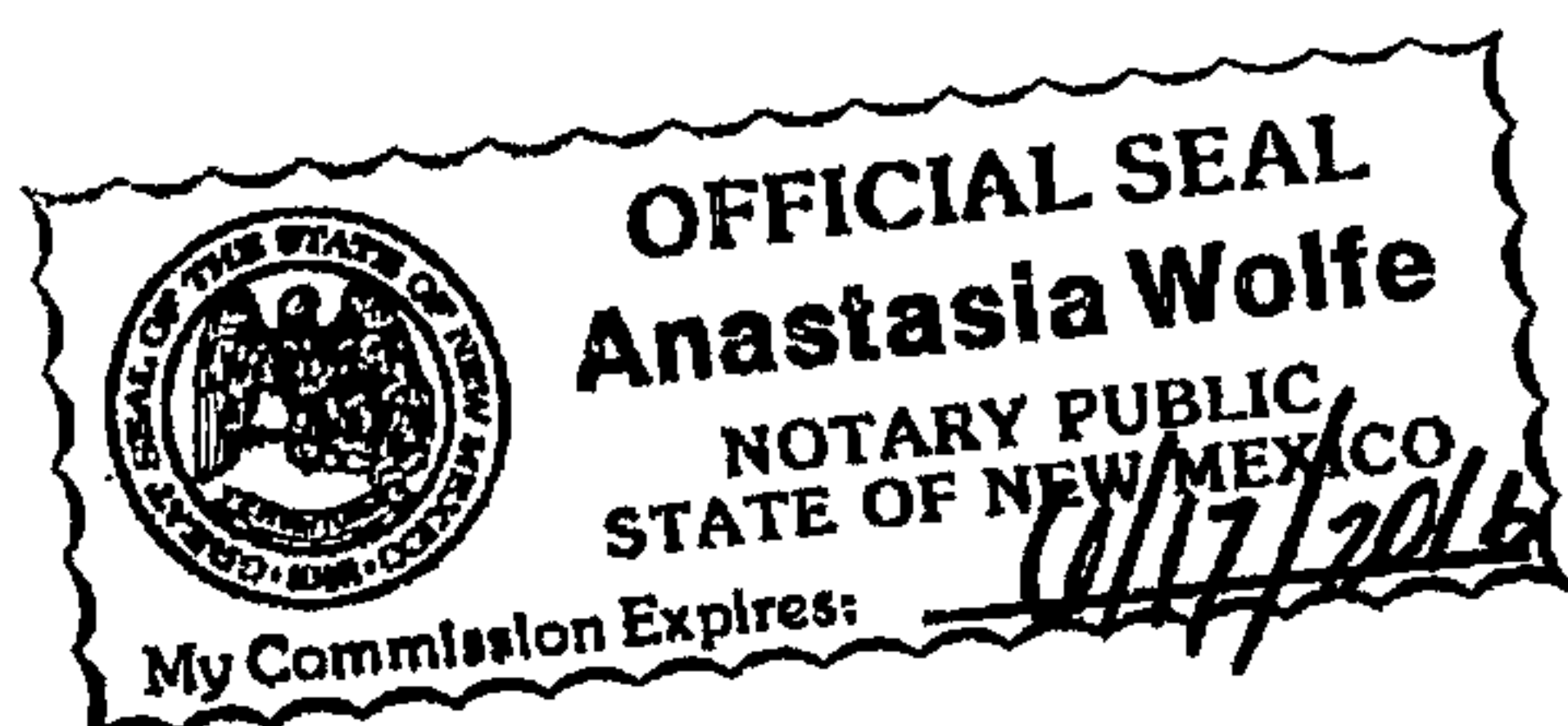
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

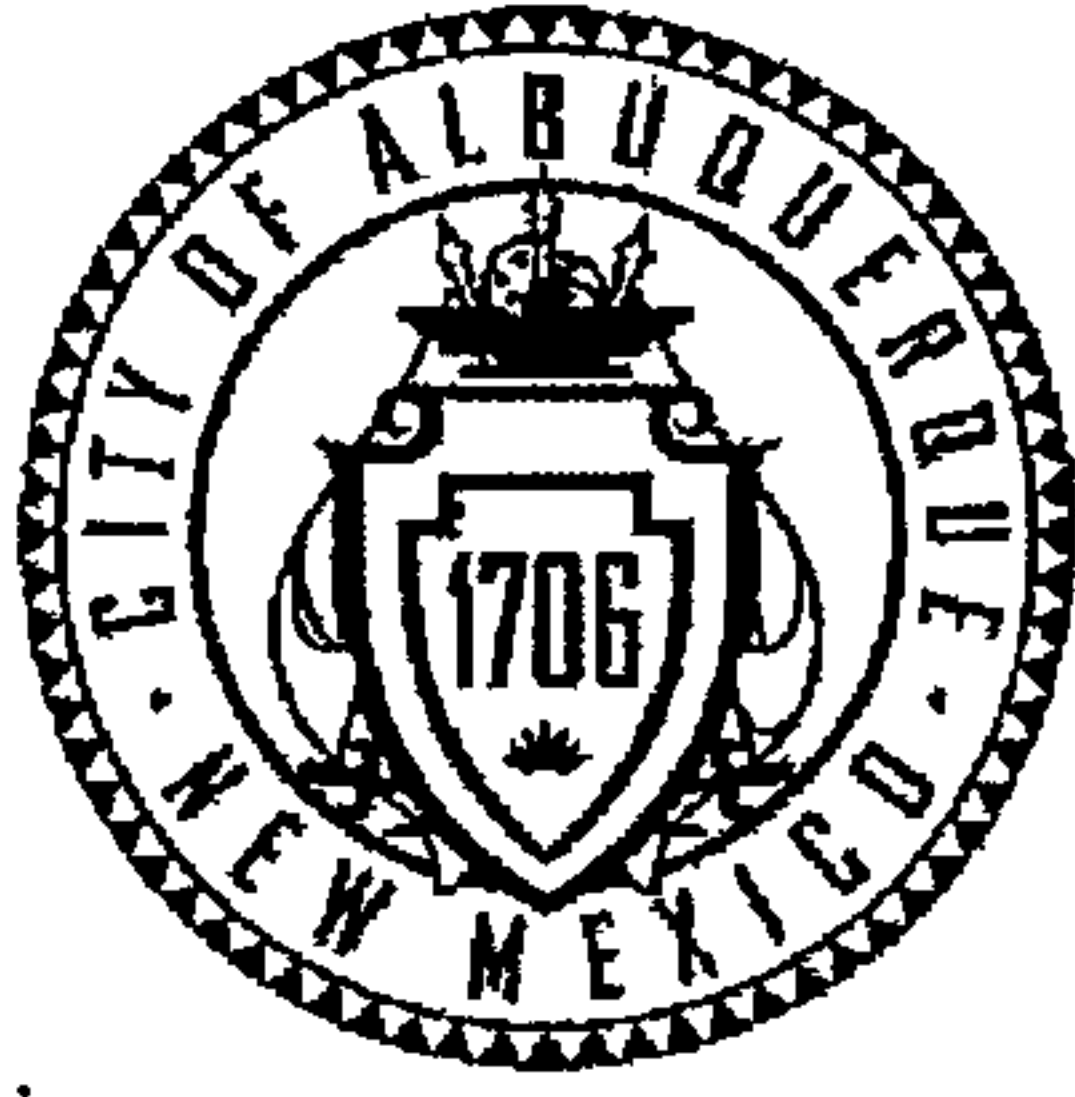
This instrument was acknowledged before me on May 22, 2013, by April L. Winters as Facility Fee Planner of the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, a school district organized and existing under the laws of the State of New Mexico.

(Seal)

Anastasia Wolfe
Notary Public

My commission expires: 6/17/2016





City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103
Planning Department
Suzanne Lubar, Director

Richard J. Berry, Mayor
October 19, 2012

Robert J. Perry, CAO

SUBJECT: ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

Project Number(s): SAD 228, COA Project No. 693391

Case Number(s): 1009082 (11 DRB-70350)

Agent: Wilson & Company, (Envir Sub Marron & Associates)

Applicant: COA SAD 228

**Legal Description: Lots 1-A, 2A-1, 2A-2, 2A-3, 3A-1 and 4A, Block 3, Unit 26;
Lots 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4 and 7A-5, Block 2,
Unit 26;
Lots 6, 7A, 7B, 7C, 7D, 7E and 7F, Block 6, Unit 26;
All in Volcano Cliffs Subdivision, Bernalillo County, New Mexico**

Zoning: SU-2 VCMX

Acreage: 13.39 acres

Zone Atlas Page: C-11-Z

CERTIFICATE OF NO EFFECT: Yes _____ No _____

CERTIFICATE OF APPROVAL: Yes No _____

TREATMENT PLAN REVIEW: Data recovery proposed for sites LA 69709 and LA 170178, located in Special Assessment District 228. Proposed level of work and field methodology for both sites is adequate to obtain sufficient data. Recommend that archaeological monitoring of construction activities along the common boundary between SAD 228 and Petroglyph National Monument also be included in proposed scope of work to ensure compliance with New Mexico Historic Sites Act (in particular, site LA 52083 which is located right at the boundary).

SUPPORTING DOCUMENTATION: Proposal Letter from Shelly Herbst (Marron & Associates) to Steven Metro (Wilson & Company) dated October 15, 2012.

SITE VISIT: n/a

RECOMMENDATION(S):

- **CERTIFICATE OF APPROVAL IS ISSUED (ref O-07-72).**

SUBMITTED:

Matthew Schmader, PhD

Superintendent, Open Space Division
City Archaeologist

July 17, 2013

111111

4546

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

APPLICANT Professional/Agent (if any): MX, L.L.C. PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

AGENT APPLICANT: COYOTE SPARROW/WILSON & COMPANY PHONE: 348-4062
 ADDRESS: 4900 LANG AVE NE FAX: 348-4055
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: CMSPARROW@WILSONCO.COM
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: VACATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Portion of Unit 26 (see exhibit/letter) Block: 2, 3, 6 Unit: 26
 Subdiv/Addn/TBKA: Volcano Cliffs
 Existing Zoning: SU-2 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): C 11 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

DRB-1009082

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 23 No. of proposed lots: 3 Total site area (acres): 30.7
 LOCATION OF PROPERTY BY STREETS: On or Near: Paseo Del Norte/Valiente
 Between: Calle Nortena and Calle Plata Rd.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 3-2-12
 (Print Name) COYOTE SPARROW Applicant. Agent.

FOR OFFICIAL USE ONLY

Revised: 6/2011

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB - 70082</u>	<u>YDE</u>	_____	<u>\$ 180.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>12DRB - 70083</u>	<u>VICOW</u>	_____	<u>\$ 1200.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADR</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 1475.00</u>

Hearing date March 28, 2012

[Signature] 3-2-12
 Staff signature & Date

Project # 1009082

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies
 ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27) 4**
 VACATION OF PUBLIC RIGHT-OF-WAY (DRB28) 4
 ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
 (Not required for City owned public right-of-way.)
 ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21)
 ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance or waiver
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
 ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the deferral or extension
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

COYOTE SPARROW
 Applicant name (print)
Coyote Sparrow 3-3-12
 Applicant signature / date



Form revised 4/07

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
12DRR - 70082
12DRS - 70083

Vaf 3-2-12
 Planner signature / date
 Project # 1009082

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from March 13, 2012 To March 28, 2012

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Craig Quinlan
(Applicant or Agent)

3-2-12
(Date)

I issued 2 signs for this application, 3-2-12 (Date) V. C. [Signature] (Staff Member)

DRB PROJECT NUMBER: 1009082



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development
SHABIH RIZVI, Transit & Parking Department
STEVE MONTIEL, Council of Governments
LYNN MAZUR, AMAFCA
STEVE SINK, APD Crime Prevention
JAY LEE EVANS, Open Space Division
RAY SANCHEZ, Fire Department
DAVID KILPATRICK, Zoning Enforcement Inspector
STEPHANI WINKLEPLECK, Neighborhood Coordination
DANIEL ARAGON, Public Service Company of New Mexico
PATRICK SANCHEZ, New Mexico Gas Company
APRIL WINTERS, Albuquerque Public Schools
MICHELE RAMIREZ, CenturyLink
MIKE MORTUS, Comcast Cable
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1009082

Wednesday, March 28, 2012

Comments must be received by:

Wednesday, March 21, 2012

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

If you have any questions, please contact me at 924-3946 or agomez@cabq.gov



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, March 28, 2012**, beginning at **9:00 a.m.** for the purpose of considering the following items. The Development Review Board will hold a Pre-Hearing Discussion in the Conference Room of Suite 201, Lobby Level, Plaza del Sol Building, 600 2nd St NW, Albuquerque, NM on Tuesday, **MARCH 27, 2012**, beginning at 3:00 p.m. for the purpose of reviewing these items prior to the public hearing; no action or public comments will be taken at this Discussion.

Project# 1008656

12DRB-70073 VACATION OF EASEMENT
12DRB-70074 SIDEWALK VARIANCE
12DRB-70075 SUBDIVISION DESIGN
VARIANCE FROM MIN DPM STDS
12DRB-70076 MINOR - TEMP DEFERRAL
SIDEWALK CONSRUCTION
12DRB-70077 PRELIMINARY PLAT

MARK GOODWIN AND ASSOCIATES, P.A. agent(s) for GLENDALE, LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) 4-9, Block 12, **NORTH ALBUQUERQUE ACRES Tract 1 Unit 3**, zoned R-D, located on the south side of GLENDALE AVE NE between WYOMING BLVD NE and BARSTOW ST NE. containing approximately 5.993 acre(s). (B19)

Project# 1009082

12DRB-70082 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70083 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for MX LLC request(s) the referenced/ above action(s) for VALIENTE ROAD NW as well as a portion of KIMMICK DRIVE NW and CALLE NORTENA NW plus Utility Easements in Blocks 2, 3 & 6 **VOLCANO CLIFFS Unit 26**, zoned SU-2/ VCMX, located on the south side of PASEO DEL NORTE NW between CALLE NORTENA NW and CALLE PLATA NW containing approximately 30.7 acre(s). (C-11)

Project# 1009083

12DRB-70078 VACATION OF PUBLIC
UTILITY & DRAINAGE EASEMENT
12DRB-70081 VACATION OF PUBLIC
ROADWAY EASEMENT

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of Lots 10-11 and 19-22, Block 2, **VOLCANO CLIFFS Unit 14** and Lots 1-3, Block 2 **UNIT 25**, zoned SU-2/ VCUR & VCMX, located on ATRISCO DR NW and COMPASS DR NW south of PEREZOSO TRL NW containing approximately 12.5 acre(s). (D-9 & 10)

Project# 1009084

12DRB-70079 VACATION OF PUBLIC
UTILITY EASEMENT
12DRB-70080 VACATION OF PUBLIC
RIGHT-OF-WAY

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE et.al. request(s) the referenced/ above action(s) for all or a portion of COMPASS DRIVE NW plus Utility Easements in Block(s) 2, **VOLCANO CLIFFS Unit 19**, zoned SU-2/ VCLL, located on COMPASS DR NW bewteen CAMINO DEL OSTE NW and COMPASS CT NW containing approximately 4.5 acre(s). (D-10)

Project# 1009164

12DRB-70070 ELECTRICAL LINE
LOCATION VARIANCE

PNM request(s) the referenced/above action(s) for an OVERHEAD DISTRIBUTION LINE between **Innovation Substation 13 Feeder and Four Hill Substation 12**, located at JUAN TABO BLVD SE and MONACHOS RD SE south of the TIJERA ARROYO. (M-21 & 22)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Jack Cloud, DRB Chair, Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MARCH 12, 2012.



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

APPLICANT Professional/Agent (if any) MX, L.L.C. PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

AGENT APPLICANT COYOTE SPARROW/WILSON & COMPANY PHONE: 348-4062
 ADDRESS 4900 LANG AVE NE FAX: 348-4055
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: CSPARROW@WILSONCO.COM
 Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: VACATION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Portion of unit 26 (see exhibit/letter) Block: 2, 3, 6 Unit: 26
 Subdiv/Addn/TBKA: Volcano Cliffs
 Existing Zoning: SU-2 Proposed zoning _____ MRGCD Map No _____
 Zone Atlas page(s): C 11 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.). _____

DRB-1009082

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots 23 No. of proposed lots: 3 Total site area (acres): 30.7
 LOCATION OF PROPERTY BY STREETS: On or Near: Paseo Del Norte/Valiente
 Between: Calle Nortena and Calle Plata Rd.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 3-2-12
 (Print Name) COYOTE SPARROW Applicant. Agent.

FOR OFFICIAL USE ONLY

Revised. 6/2011

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F H D.P. density bonus
- F.H.D.P fee rebate

Application case numbers	Action	S.F.	Fees
<u>RDRB - 70082</u>	<u>YDE</u>	_____	<u>\$ 180.00</u>
<u>RDRB - 70083</u>	<u>YROW</u>	_____	<u>\$ 1200.00</u>
_____	<u>ADR</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	<u>\$ _____</u>
Total			<u>\$ 1475.00</u>

Hearing date March 28, 2012

[Signature] 3-2-12
 Staff signature & Date

Project # 1009082

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements **24 copies**
 ___ Letter briefly describing and explaining the request, compliance with the Development Process Manual, and all improvements to be waived
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27) 4**
 VACATION OF PUBLIC RIGHT-OF-WAY (DRB28) 4
 ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
 (Not required for City owned public right-of-way.)
 ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21)
 ___ Scale drawing showing the proposed variance or waiver (not to exceed 8 5" by 14") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance or waiver
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)
 ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the deferral or extension
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8 5" by 14") **6 copies**
 ___ Scale drawing showing the easement to be vacated (8 5" by 11") **6 copies**
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

COYOTE SPARROW
 Applicant name (print)
[Signature] 3-2-12
 Applicant signature / date



Form revised 4/07

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 12DRB - 70082
 12DRB - 70083

[Signature] 3-2-12
 Planner signature / date
 Project # 1009082

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

1 March 2012

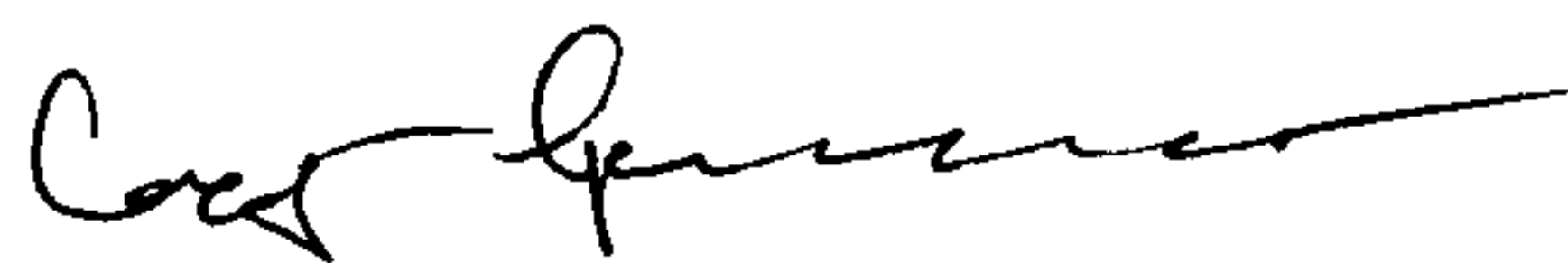
Development Review Board
City of Albuquerque Planning Department
600 Second St. NW
Plaza Del Sol
Albuquerque, NM 87103

Re: **Road Right-of-Way and Utility Easement Vacations
Portion of Unit 26
Volcano Cliffs Subdivision
DRB Case No.: 1009082**

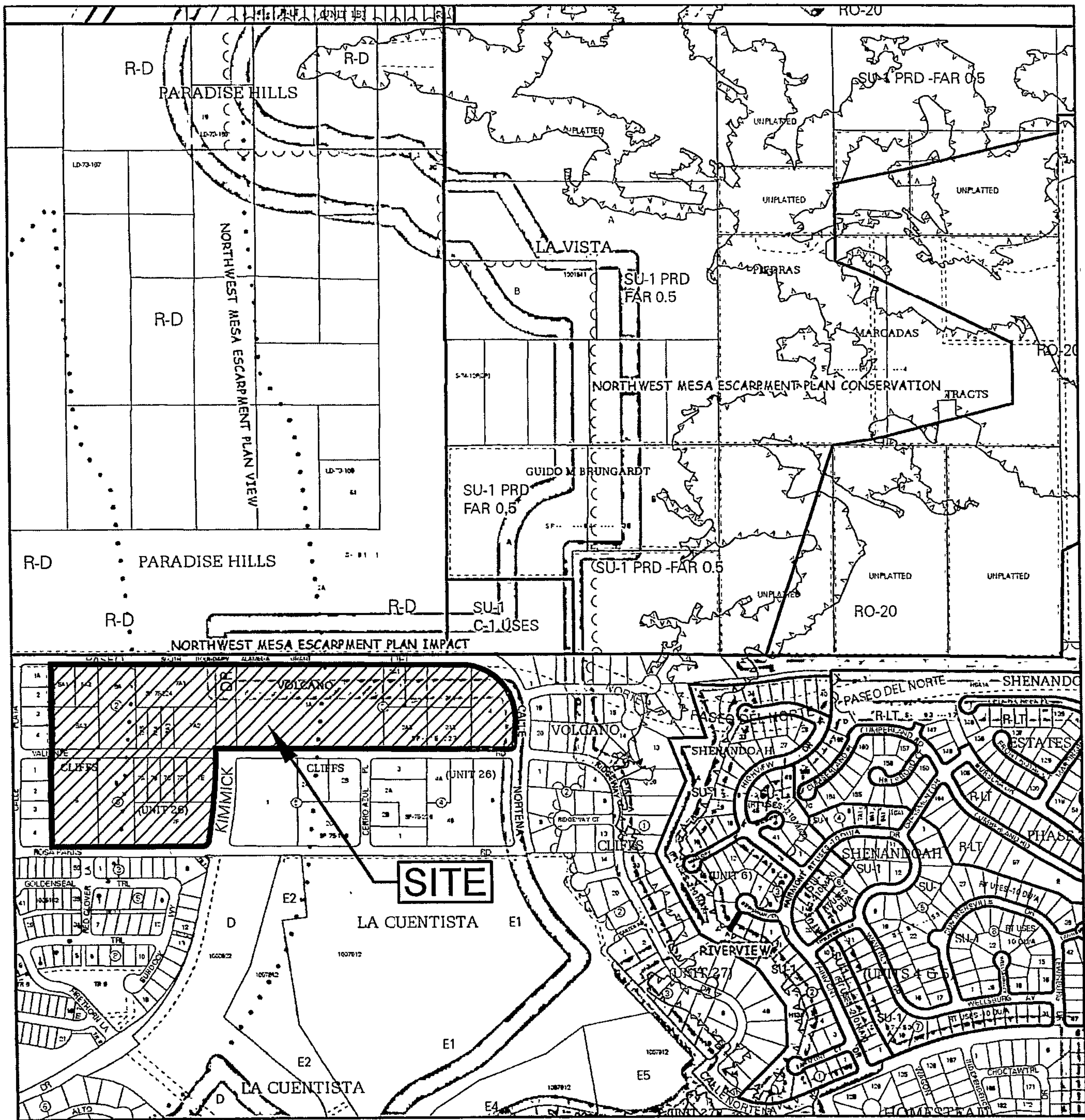
Dear Board Members:

Wilson & Company, acting as agents for MX, L.L.C., present to the Development Review Board the following utility easement and road Right-of-Way Vacations within a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo Del Norte, Calle Nortena near Paseo Del Norte, Kimmick Drive near Paseo Del Norte, Valiente Road, Rosa Parks Road, and Lots 1-A, 2A-1, 2A-2, 2A-3, 3A-1, 4A, Block 3, and Lots 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4, 7A5, Block 2, and Lots 5, 6, 7A, 7B, 7C, 7D, 7E, 7F, Block 6, Volcano Cliffs Subdivision. The roads and easements will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is being completed at the request of the owners to consolidate many small tracts into larger tracts.

Please contact Coyote Sparrow at 348-4062 if there are questions. Thank you.



Coyote Sparrow, PS
Wilson & Company, Inc.



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/24/2011

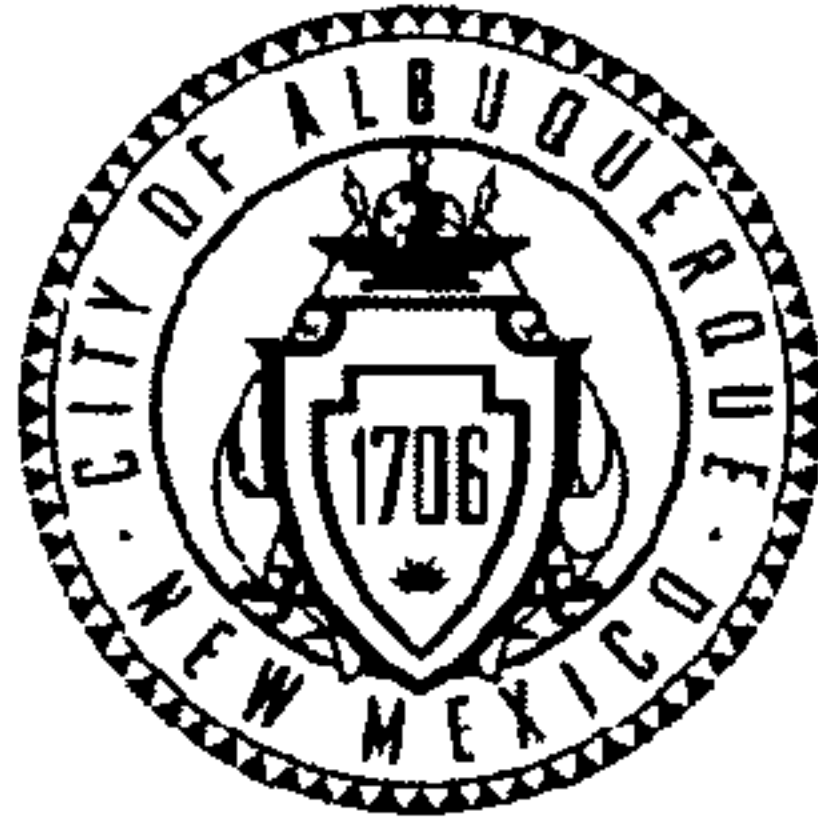
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-11-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

February 29, 2012

Coyote Sparrow
Wilson and Company
4900 Lang Avenue NE/87109
PHONE: 505-348-4062/**FAX:** 505-348-4055

Dear Coyote:

Thank you for your inquiry of **February 29, 2012** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOTS 1-A, 2A-1, 2A-2, 2A-3, 3A-1, 3A-3 AND 4 A, UNIT 26, BLOCK 3, VOLCANO CLIFFS AND LOTS 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4 AND 7A-5, UNIT 26, BLOCK 2 AND LOTS 5,6,7A, 7B, 7C, 7D, 73 AND 7F, UNIT 26, BLOCK 6, VOLCANO CLIFFS, LOCATED ON VALIENTE ROAD NW AND KIMMICK DRIVE NW** zone map **C-11**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

VOLCANO CLIFFS PROPERTY OWNERS ASSOC. (VCC)

Dave Heil, 160 Itasca Rd., Rio Rancho, NM/87124 228-7189 (c)

Ralph Davis, 5612 Popo Dr. NW/87120 280-6512 (c)

PARADISE HILLS CIVIC ASSOC. (PHC)

Tom Anderson

10013 Plunkett Dr. NW/87114 897-2593 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Acting Division Manager
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **02/29/12** Time Entered: **10 a.m.** ONC Rep. Initials: **siw**

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

1 March 2012

Tom Anderson
Paradise Hills Civic Association (PHC)
10013 Plunkett Dr. NW
Albuquerque, NM 87114
(505) 897-2593 (h)

Re: **Road Right-of-Way and Utility Easement Vacations**
Portion of Unit 26, Volcano Cliffs Subdivision

Dear Mr. Anderson:

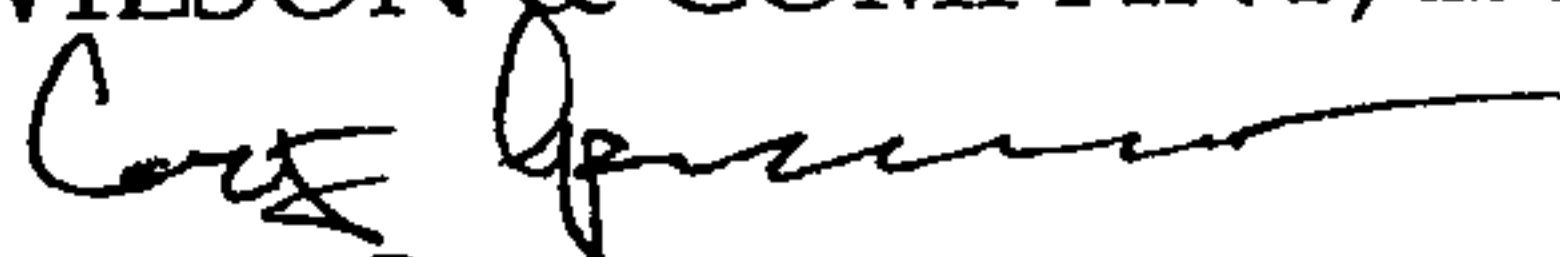
This letter is to inform the **Paradise Hills Civic Association** that Wilson & Company, Inc., acting as agents for MX, L.L.C., is requesting vacations of existing utility easements and road Right-of-Way within a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo Del Norte, Calle Nortena near Paseo Del Norte, Kimmick Drive near Paseo Del Norte, Valiente Road, Rosa Parks Road, and Lots 1-A, 2A-1, 2A-2, 2A-3, 3A-1, 4A, Block 3, and Lots 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4, 7A5, Block 2, and Lots 5, 6, 7A, 7B, 7C, 7D, 7E, 7F, Block 6, Volcano Cliffs Subdivision. The roads and easements will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is being completed at the request of the owners to consolidate many small tracts into larger tracts.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, March 28, 2012 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4062.

Sincerely,

WILSON & COMPANY, INC.


Coyote Sparrow

Project Manager

Email: cmsparrow@wilsonco.com

Wilson & Company, Inc., Engineers & Architects


HIGHER
Relationships
SHARED OWNERSHIP • COLLABORATION
INTENSITY • DISCIPLINE • SOLUTIONS

**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

1 March 2012

Ralph Davis

Volcano Cliffs Property Owners Association (VCC)

5612 Popo Dr. NW

Albuquerque, NM 87120

(505) 280-6512 (c)

Re: **Road Right-of-Way and Utility Easement Vacations**
Portion of Unit 26, Volcano Cliffs Subdivision

Dear Mr. Davis:

This letter is to inform the **Volcano Cliffs Property Owners Association** that Wilson & Company, Inc., acting as agents for MX, L.L.C., is requesting vacations of existing utility easements and road Right-of-Way within a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo Del Norte, Calle Nortena near Paseo Del Norte, Kimmick Drive near Paseo Del Norte, Valiente Road, Rosa Parks Road, and Lots 1-A, 2A-1, 2A-2, 2A-3, 3A-1, 4A, Block 3, and Lots 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4, 7A5, Block 2, and Lots 5, 6, 7A, 7B, 7C, 7D, 7E, 7F, Block 6, Volcano Cliffs Subdivision. The roads and easements will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is being completed at the request of the owners to consolidate many small tracts into larger tracts.

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If you have any questions concerning this project, please contact me at (505) 348-4062.

Sincerely,

WILSON & COMPANY, INC.


Coyote Sparrow

Project Manager

Email: cmsparrow@wilsonco.com

Wilson & Company, Inc., Engineers & Architects



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**WILSON
& COMPANY**

4900 Lang Ave NE
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

Arizona
California
Colorado
Florida
Kansas
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

CERTIFIED MAIL

1 March 2012

Dave Heil

Volcano Cliffs Property Owners Association (VCC)

160 Itasca Rd. SE

Rio Rancho, NM 87124

(505) 228-7189 (c)

Re: **Road Right-of-Way and Utility Easement Vacations**
Portion of Unit 26, Volcano Cliffs Subdivision

Dear Mr. Heil:

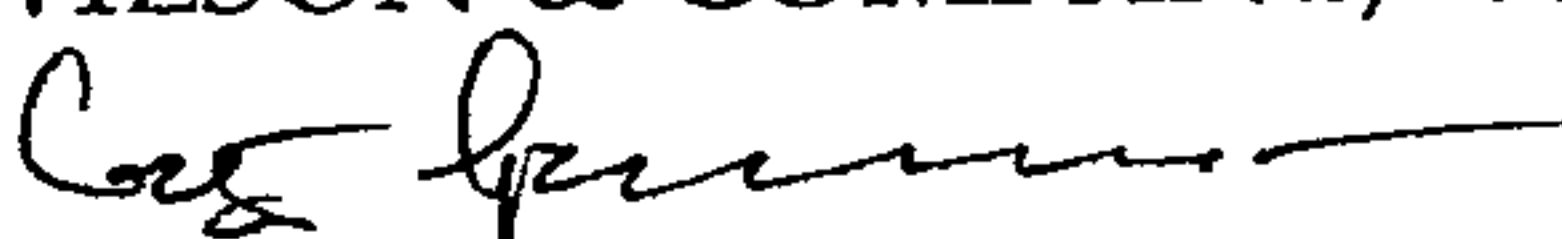
This letter is to inform the **Volcano Cliffs Property Owners Association** that Wilson & Company, Inc., acting as agents for MX, L.L.C., is requesting vacations of existing utility easements and road Right-of-Way within a portion of Unit 26 of the Volcano Cliffs Subdivision. The specific roads and lots affected are: Paseo Del Norte, Calle Nortena near Paseo Del Norte, Kimmick Drive near Paseo Del Norte, Valiente Road, Rosa Parks Road, and Lots 1-A, 2A-1, 2A-2, 2A-3, 3A-1, 4A, Block 3, and Lots 5A-1, 5A-2, 5A-3, 6A, 7A-1, 7A-2, 7A-3, 7A-4, 7A5, Block 2, and Lots 5, 6, 7A, 7B, 7C, 7D, 7E, 7F, Block 6, Volcano Cliffs Subdivision. The roads and easements will be re-platted per the City of Albuquerque Development Process Manual. This action and subsequent platting is being completed at the request of the owners to consolidate many small tracts into larger tracts.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, March 28, 2012 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860.

If you have any questions concerning this project, please contact me at (505) 348-4062.

Sincerely,

WILSON & COMPANY, INC.


Coyote Sparrow

Project Manager

Email: cmsparrow@wilsonco.com

Wilson & Company, Inc., Engineers & Architects


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7007 3020 0002 7971 1260

Postage	\$.45
Certified Fee	2.95
Return Receipt Fee (Endorsement Required)	2.35
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$5.75

Postmark
Here

Sent To: Ralph Davis
Street, Apt. No.,
or PO Box No. 5612 Pope Dr. NW
City, State, ZIP+4
Albuquerque, NM 87120

PS Form 3800, August 2006 See Reverse for Instructions®

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7007 3020 0002 7971 1253
ES2T T262 2000 020E 2002

Postage	\$.45
Certified Fee ¹	2.95
Return Receipt Fee (Endorsement Required)	2.35
Restricted Delivery Fee ² (Endorsement Required)	
Total Postage & Fees	\$ 5.75

Postmark
Here

Sent To
Tom Anderson
Street, Apt. No.,
or PO Box No. 10013 Plunkett Dr. NW
City, State, ZIP+4
Albuquerque, NM 87120

U.S. Postal Service™
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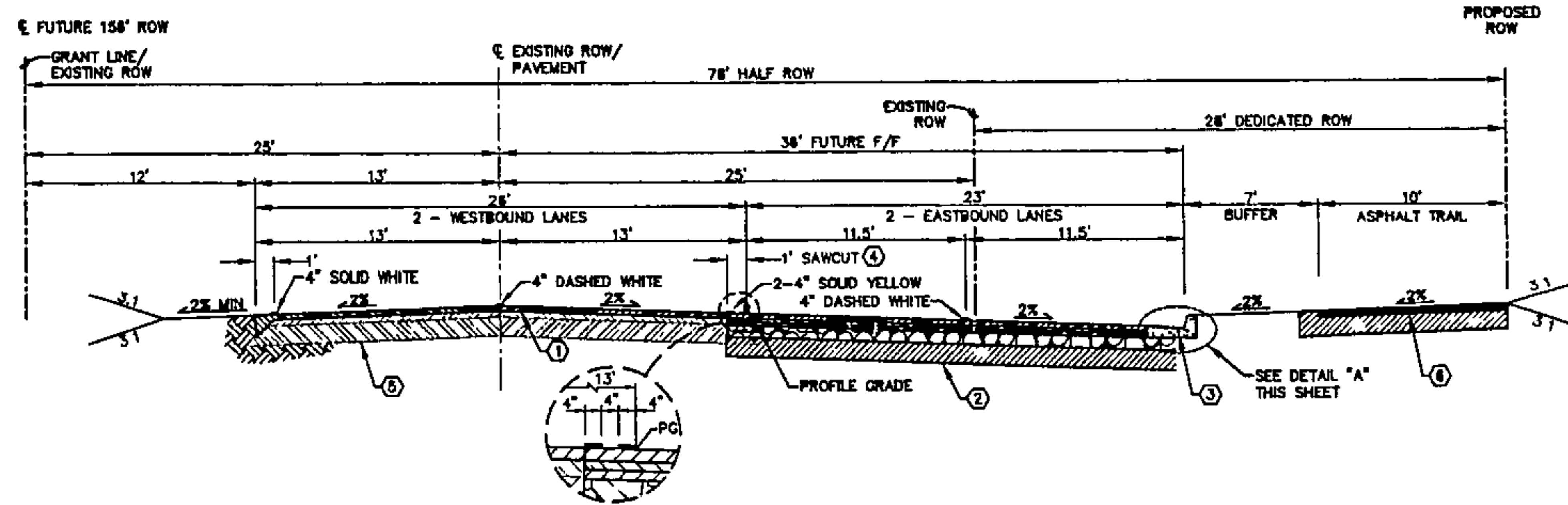
OFFICIAL USE

7007 3020 0002 7971 1291

Postage	\$.95
Certified Fee	2.95
Return Receipt Fee (Endorsement Required)	2.35
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	

Postmark
Here

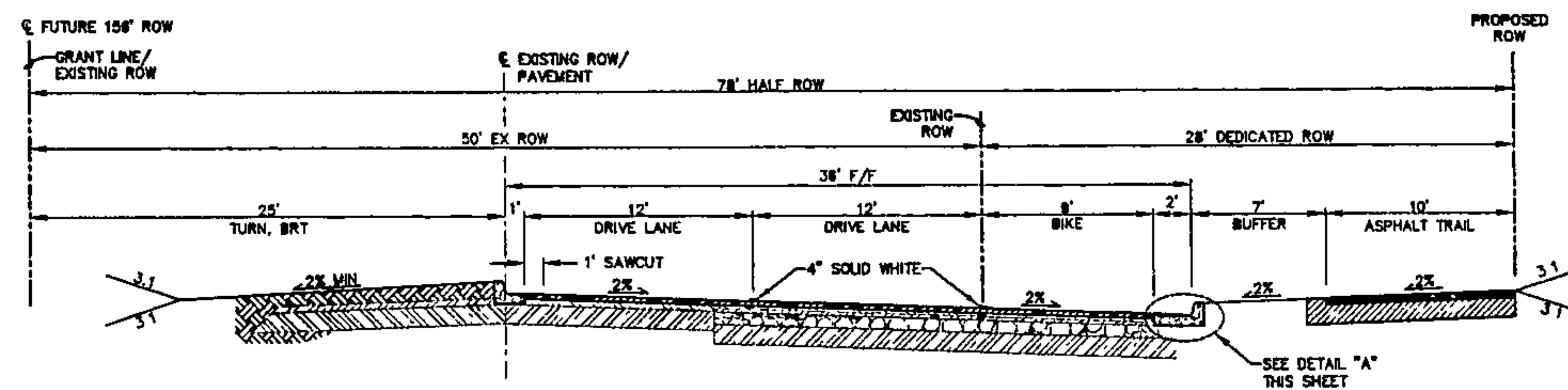
Sent To
Dave Heil Volcano Cliffs Property Owners
Street, Apt. No.,
or PO Box No. 160 Itasca Rd. SE
City, State, ZIP+4
Rio Rancho, NM 87120



SAD 228 INTERIM TYPICAL SECTION - 78' HALF ROW

SCALE: 1" = 5'

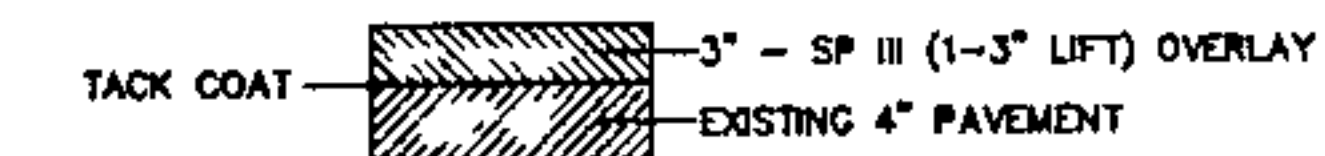
PASEO DEL NORTE



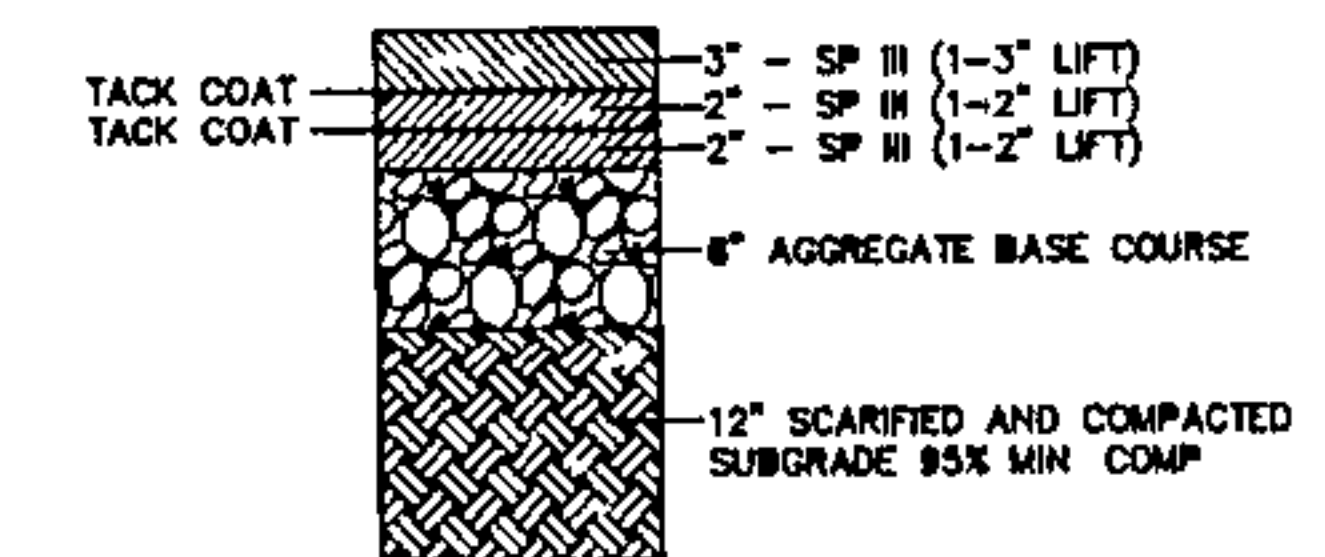
FOR INFORMATION ONLY ULTIMATE TYPICAL SECTION - 78' HALF ROW

SCALE: 1" = 5'

PASEO DEL NORTE



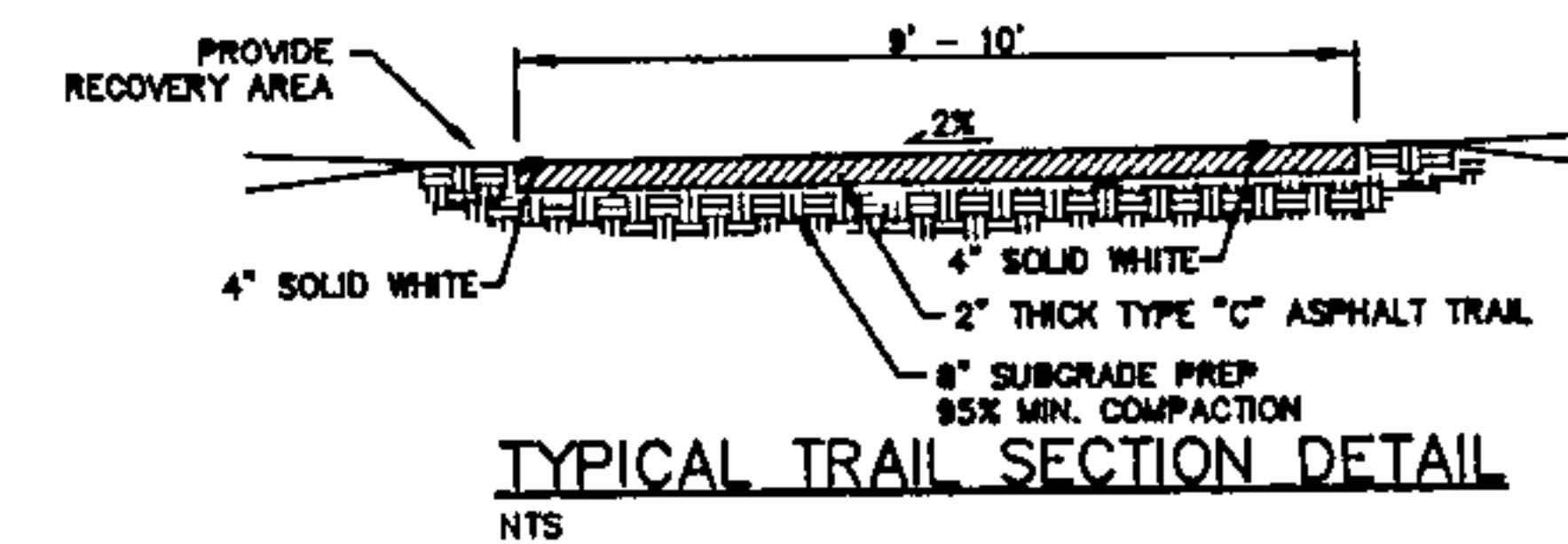
1 PAVEMENT SECTION - EXISTING INTERIM
SCALE: 1" = 1'



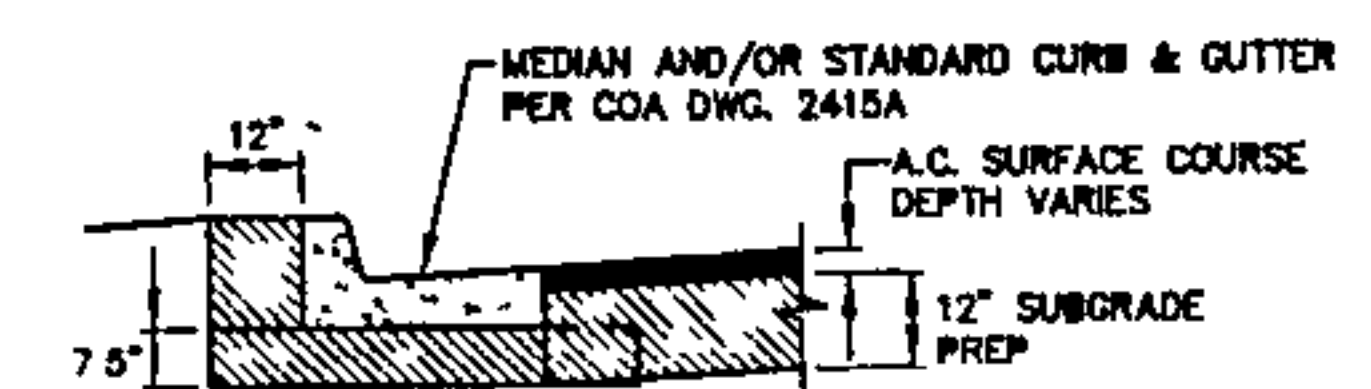
2 PAVEMENT SECTION - EXISTING INTERIM
SCALE: 1" = 1'

- 3 STANDARD CURB & GUTTER PER STD DWG 2415A.
- 4 SAWCUT, REMOVE 1' STRIP EXISTING ASPHALT CONCRETE.
- 5 EX 4" ASPHALT CONCRETE PAVEMENT AND 12" SUBGRADE TO REMAIN.
- 6 2" ASPHALT TRAIL PER TYPICAL TRAIL SECTION DETAIL THIS SHEET.

NOTE: CUT AND FILL SLOPES ARE 3:1.



TYPICAL TRAIL SECTION DETAIL
NTS



DETAIL "A" - TYPICAL MODULE
NTS
(TYPICAL ALL CURB & GUTTER)

- GENERAL PAVING NOTES**
1. SUBGRADE SOIL WITH R < 50 SHOULD BE REMOVED TO DEPTH OF 24" AND REPLACED WITH SOIL EXHIBITING R ≥ 50.
 2. *1' SUBGRADE SOIL R-VALUE ≥ 50 PLACED IN 2-6" COMPACTED LIFTS, 95% MIN. COMPACTION, AT OPT. MOISTURE +/- 2.0%, ASTM D1557, OR OPT MOISTURE, TO +4% ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO 200 SIEVE.

WILSON & COMPANY
4800 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109
PH (505) 348-4000
FAX (505) 348-4072
www.wilsonco.com

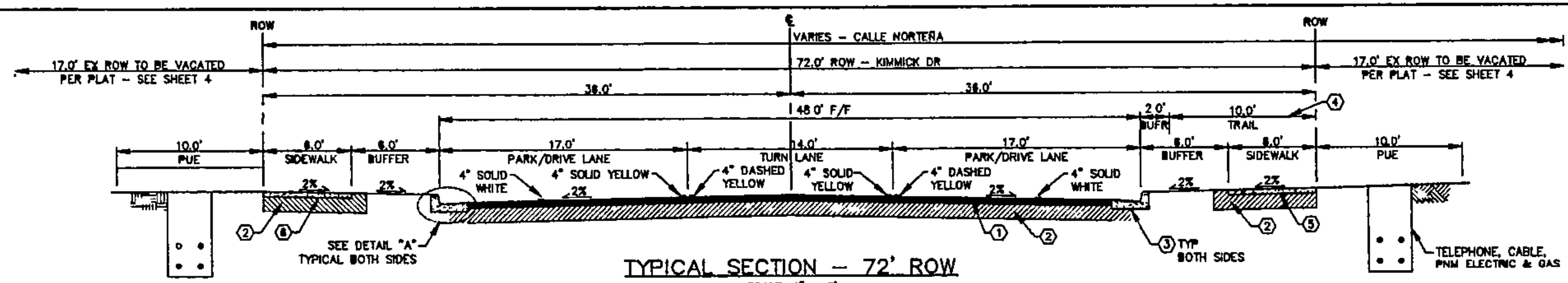
CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

**SPECIAL ASSESSMENT DISTRICT 228-VOL. 3
TYPICAL SECTIONS - PASEO DEL NORTE**

Design Review Committee	City Engineer Approval	Date	By	REVISIONS & ARCHITECTS
				DESIGNED BY: STAFF DATE: DEC 2011
				DRAWN BY: STAFF DATE: DEC 2011
				CHECKED BY: SLM DATE: DEC 2011

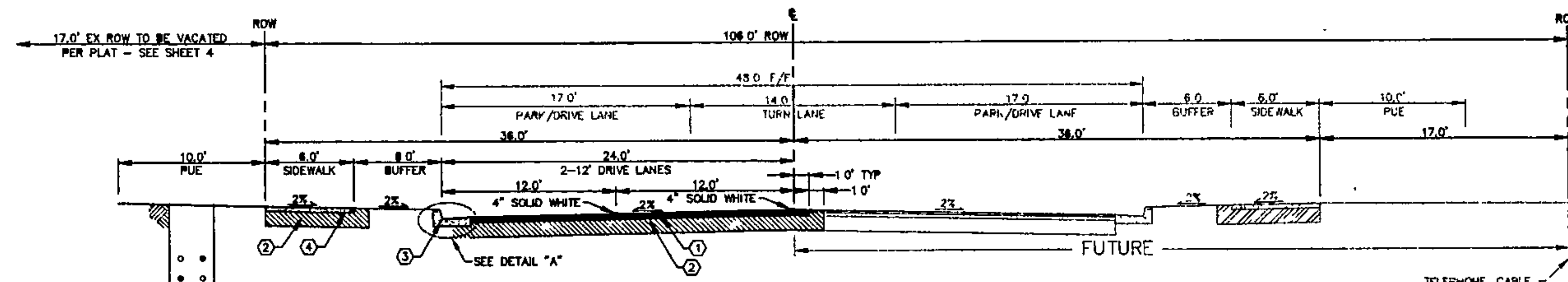
City Project No: 693391 Zone Map No: D-10, D-11 Sheet: 6 of 46

AS-BUILT INFORMATION		BENCH MARKS	
DATE	BY	AGS BRASS CAP, STAMPED "5-EI0"	NO.
		SET IN TOP OF CONCRETE POST LOCATED APPROX. 0.30 FT ABOVE GROUND LOCATED APPROX. 225 E. OF THE INTERSECTION OF RIM ROCK DR. NW AND MARICORD DR. NW (NAD 1983). X 1499098.908, Y 1512627.948	DATE
		ELEVATION = 5318.89 FT (NAD 1986)	BY
MICRO-FILM INFORMATION		ENGINEER'S SEAL	
DATE	BY		



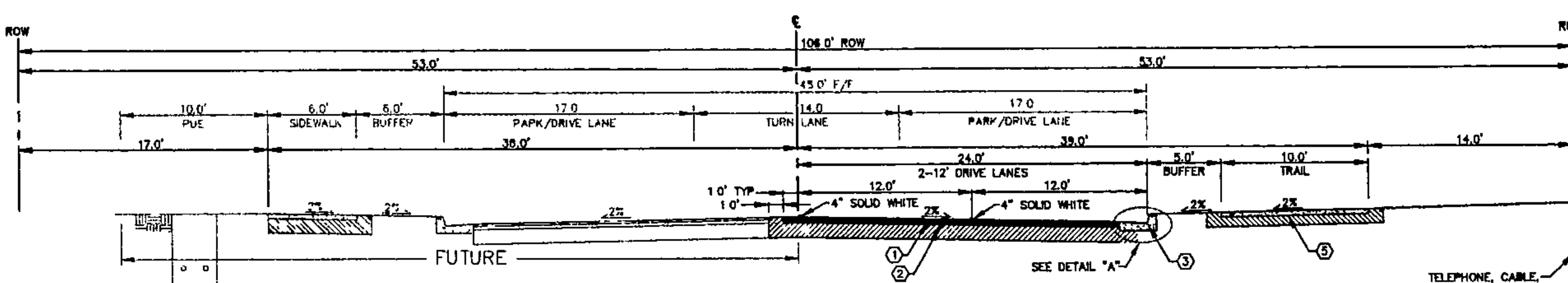
TYPICAL SECTION - 72' ROW
SCALE: 1" = 5'

KIMMICK DRIVE - (VALIENTE ROAD TO PDN) STA 105+32.95 TO STA 108+99.65
 CALLE NORTERA - (VALIENTE ROAD TO PDN) STA 15+42.76 TO STA 19+15.51



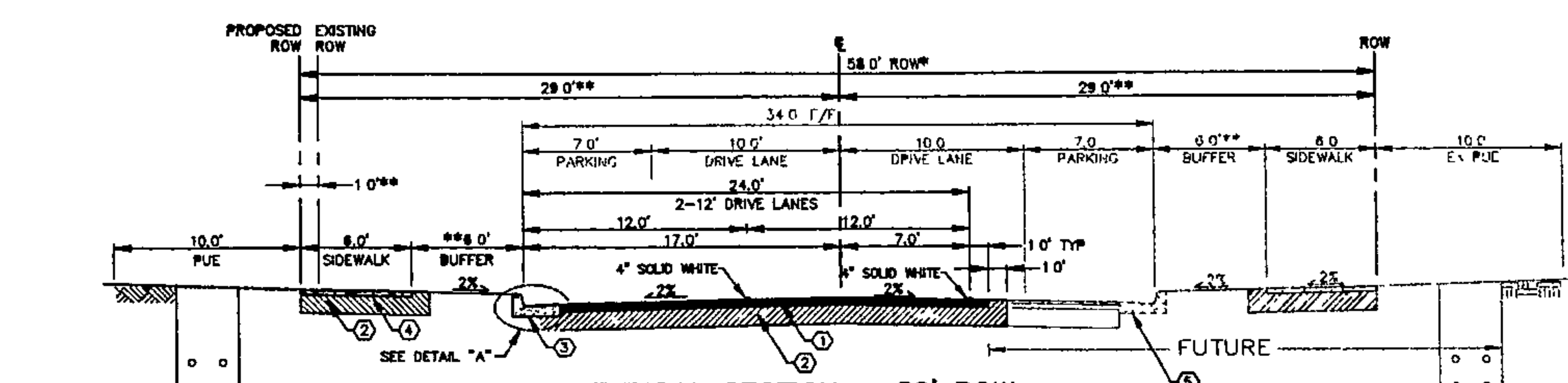
TYPICAL SECTION - 106' ROW
SCALE: 1" = 5'

KIMMICK DR - (ROSA PARKS TO VALIENTE ROAD) STA 99+75.64 TO STA 105+32.92



TYPICAL SECTION - 106' ROW
SCALE: 1" = 5'

CALLE NORTERA - (ROSA PARKS ROAD TO VALIENTE ROAD) STA 9+83.51 TO STA 19+15.51



TYPICAL SECTION - 58' ROW
SCALE: 1" = 5'

ROSA PARKS ROAD STA 31+36 TO STA 36+81.64
 *VARIES 58.0' TO 62.0' STA 36+61.64 TO STA 39+99.10
 **VARIES

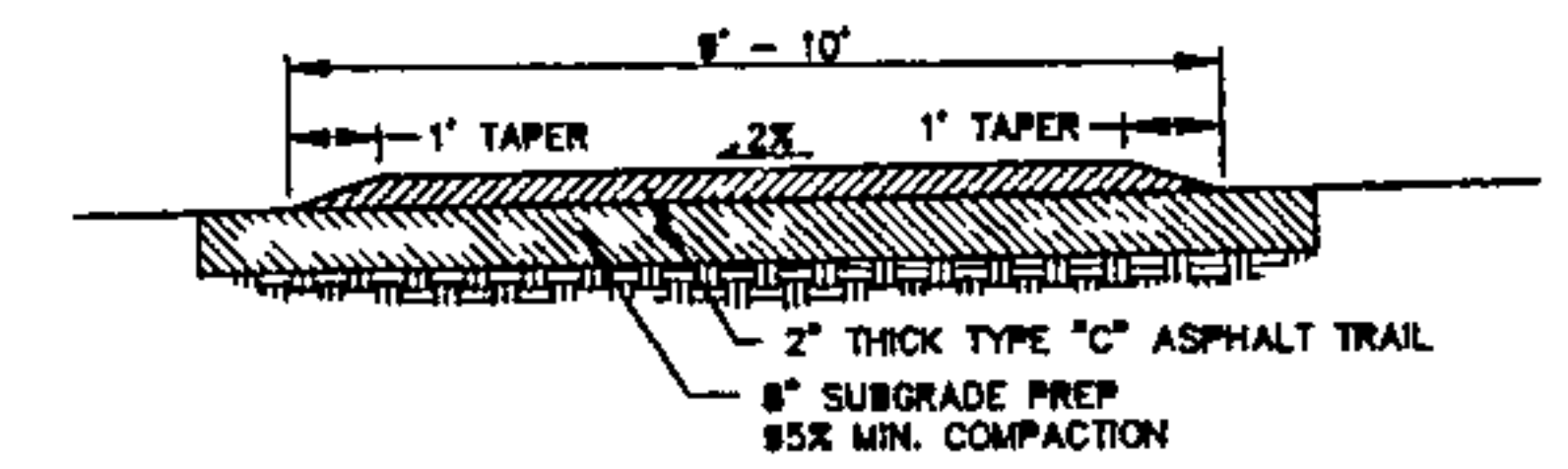
NOTE: CUT AND FILL SLOPES ARE 3:1 AFTER BENCH.

- ① 5" ASPHALT CONCRETE 1-2" LIFT, 1-3" LIFT SPW
- ② 12" SUBGRADE PREP (R VALUE ≥ 50) 95% MIN. COMPACTION
- ③ STANDARD CURB & GUTTER PER STD DWG 2415A.
- ④ 10' WIDE ASPHALT TRAIL CALLE - NORTERA ONLY PER TYPICAL SECTION DETAIL THIS SHEET
- ⑤ 8" SIDEWALK PER STD DWG 2430 - KIMMICK ONLY
- ⑥ SIDEWALK PER STD DWG 2430.

GENERAL PAVING NOTES:
 1. SUBGRADE SOIL WITH R < 50 SHOULD BE REMOVED TO DEPTH OF 24" AND REPLACED WITH SOIL EXHIBITING R ≥ 50
 2. *1" SUBGRADE SOIL, R-VALUE ≥ 50 PLACED IN 2-6" COMPACTED LIFTS 95% MIN. COMPACTION, AT OPT MOISTURE +/- 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE.

NOTE: CUT AND FILL SLOPES ARE 3:1 AFTER BENCH.

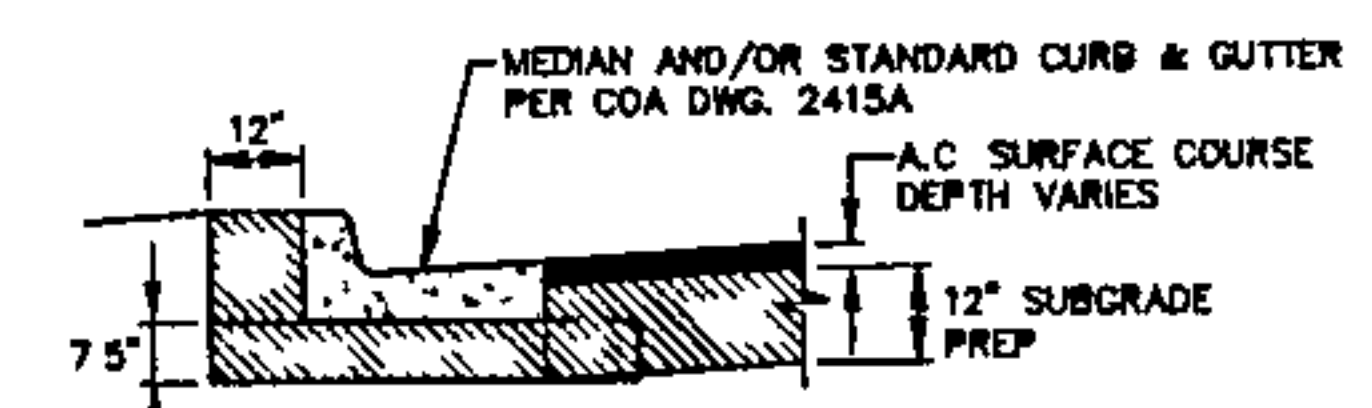
- ① 5" ASPHALT CONCRETE 1-2" LIFT, 1-3" LIFT SPW
- ② 12" SUBGRADE PREP (R VALUE ≥ 50) 95% MIN. COMPACTION
- ③ STANDARD CURB & GUTTER PER STD DWG 2415A.
- ④ SIDEWALK PER STD DWG 2430.



TYPICAL TRAIL SECTION DETAIL
NTS

NOTE: CUT AND FILL SLOPES ARE 3:1 AFTER BENCH.

- ① 5" ASPHALT CONCRETE 1-2" LIFT, 1-3" LIFT SPW
- ② 12" SUBGRADE PREP (R VALUE ≥ 50) 95% MIN. COMPACTION.
- ③ STANDARD CURB & GUTTER PER STD DWG 2415A.
- ④ SIDEWALK PER STD DWG 2430
- ⑤ 2" ASPHALT TRAIL PER TYPICAL TRAIL SECTION DETAIL THIS SHEET.



DETAIL "A" - TYPICAL MODULE
NTS
(TYPICAL ALL CURB & GUTTER)

NOTE: CUT AND FILL SLOPES ARE 3:1 AFTER BENCH.

- ① 5" ASPHALT CONCRETE 1-2" LIFT, 1-3" LIFT SPW
- ② 12" SUBGRADE PREP (R VALUE ≥ 50) 95% MIN. COMPACTION.
- ③ STANDARD CURB & GUTTER PER STD DWG 2415A.
- ④ SIDEWALK PER STD DWG 2430.
- ⑤ EXISTING STANDARD CURB & GUTTER (CPN 709784)

WILSON & COMPANY
 4800 LANG AVE NE
 ALBUQUERQUE, NEW MEXICO 87108
 PH (505) 348-4000
 FAX (505) 348-4072
 www.wilsonco.com

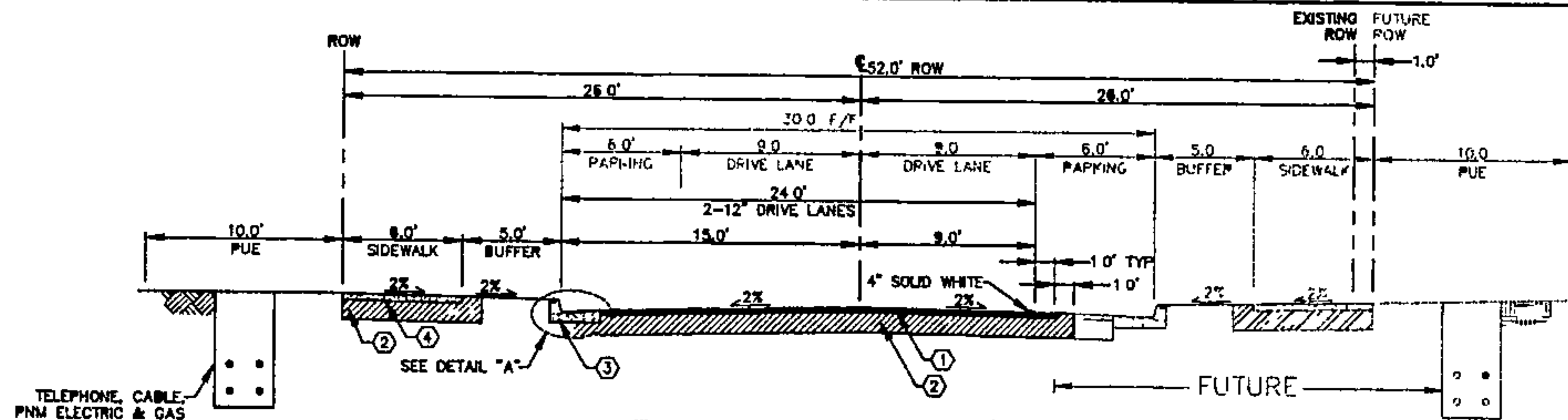
CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

SPECIAL ASSESSMENT DISTRICT 228 - VOL. 3
TYPICAL SECTIONS - UNITS 26 & 27

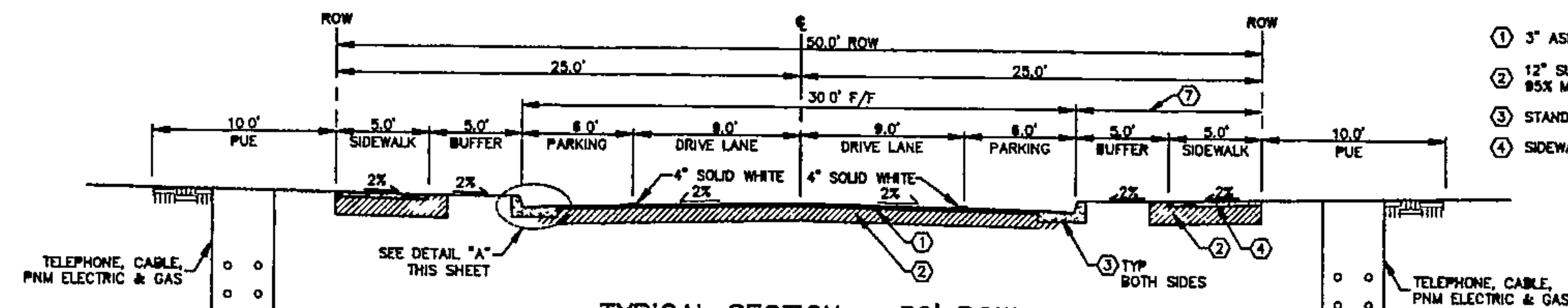
Design Review Committee	City Engineer Approval	Mr. [Name]	Mr. [Name]
City Project No.	Zone Map No.	Sheet	Of
693391	D-10, D-11	7	46

WCA # 0840010400
 DEC 2011

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
DATE	BY	DATE	BY	NO.	BY	NO.	BY
AGS BRASS CAP, STAMPED "3-E10"		SET IN TOP OF CONCRETE POST PROJECTING 0.30 FT. ABOVE GROUND LOCATED APPROX. 225' E OF THE INTERSECTION OF RIM ROCK DR. NW AND MARIQUIL DR. NW (NAD 1983), X 1499059.806, Y 1512627.946		ELEVATION = 5318.83 FT. (NAD 1983)			
MICRO-FILM INFORMATION		REVISIONS		REVISIONS		REVISIONS	
DATE	BY	NO. DATE	BY	NO. DATE	BY	NO. DATE	BY
DESIGNED BY		DRAWN BY		CHECKED BY		DATE	
STAFF		STAFF		SAM		DEC 2011	

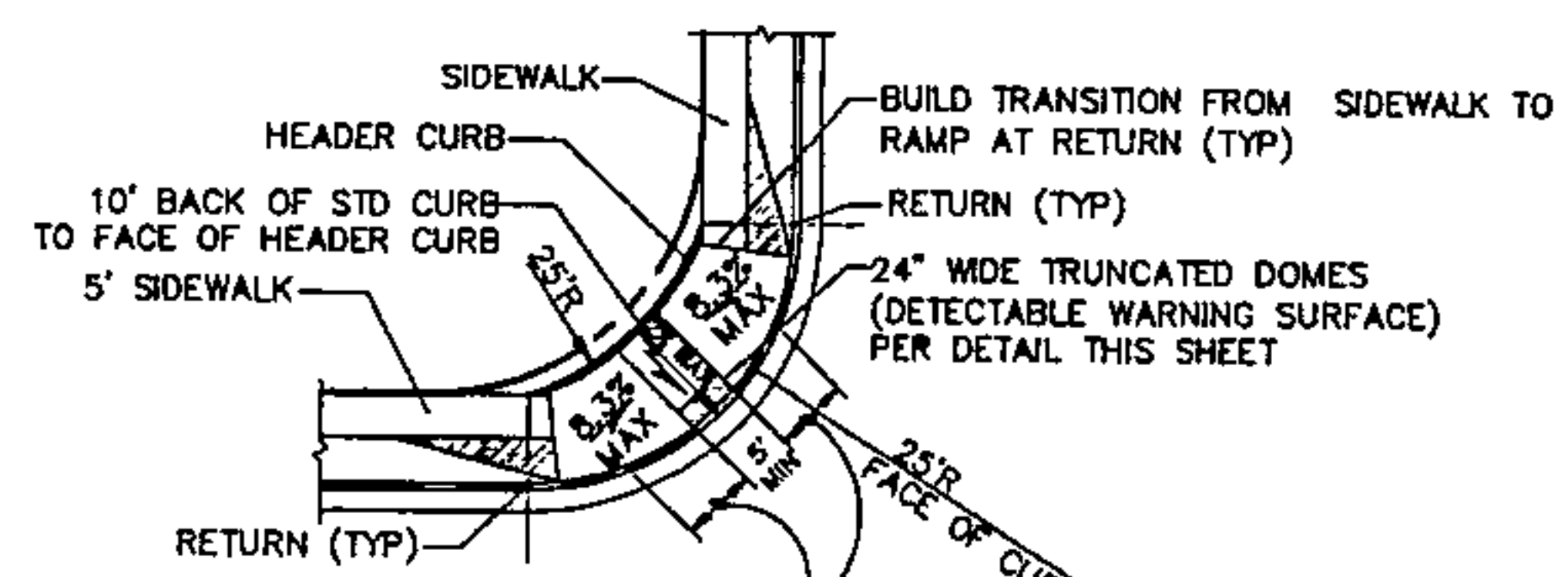


TYPICAL SECTION - 52' ROW
 SCALE: 1" = 5'
 VALIENTE ROAD
 STA 10+27 TO STA 25+03.44



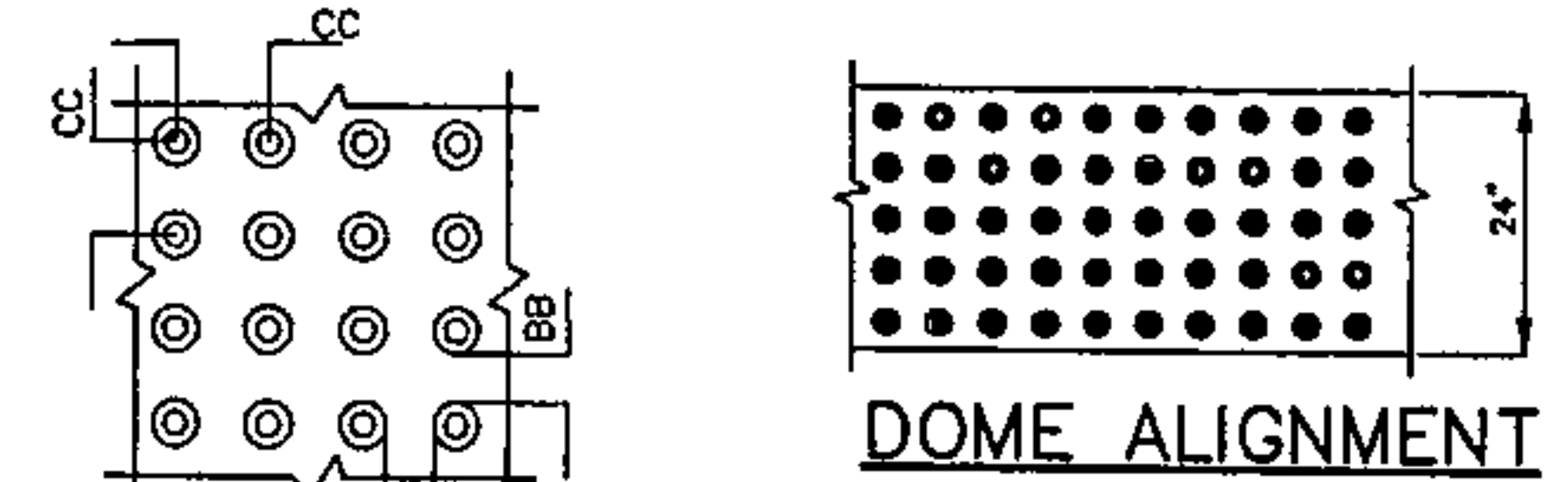
TYPICAL SECTION - 50' ROW
 SCALE: 1" = 5'
 VALIENTE ROAD
 STA 25+98.45 TO STA 28+84.49

NOTE: DESIGN DETECTABLE WARNING SURFACE PER ADA GUIDELINES. SUBMIT SPECS TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

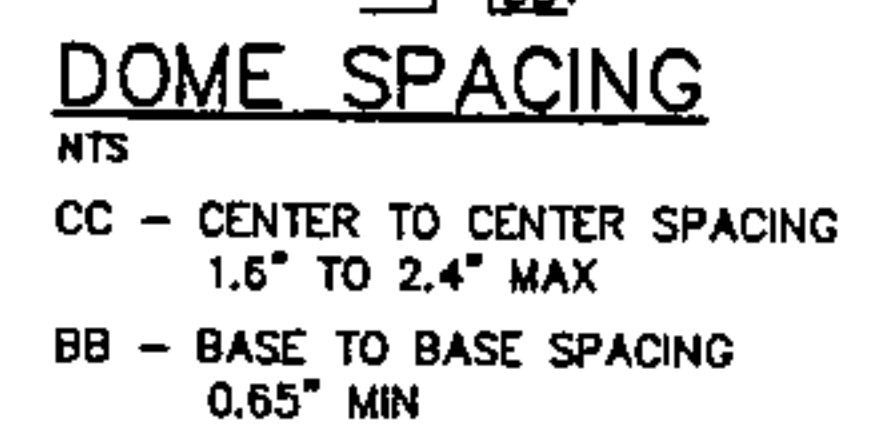


TYPICAL HANDICAP RAMP DETAIL - MODIFIED
 NTS

NOTE: MODIFIED PER STD DWG 2441 CASE II



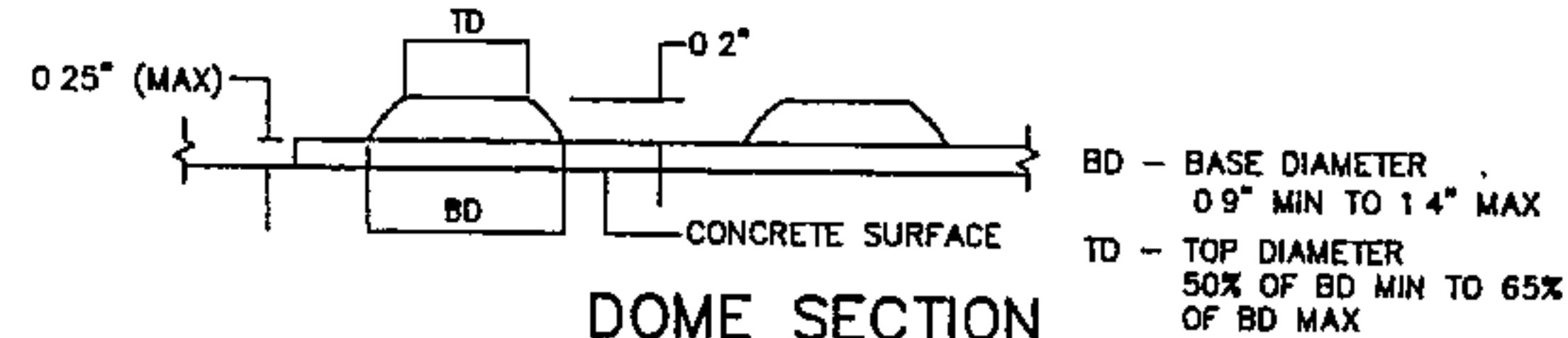
DOMES ALIGNMENT
 NTS



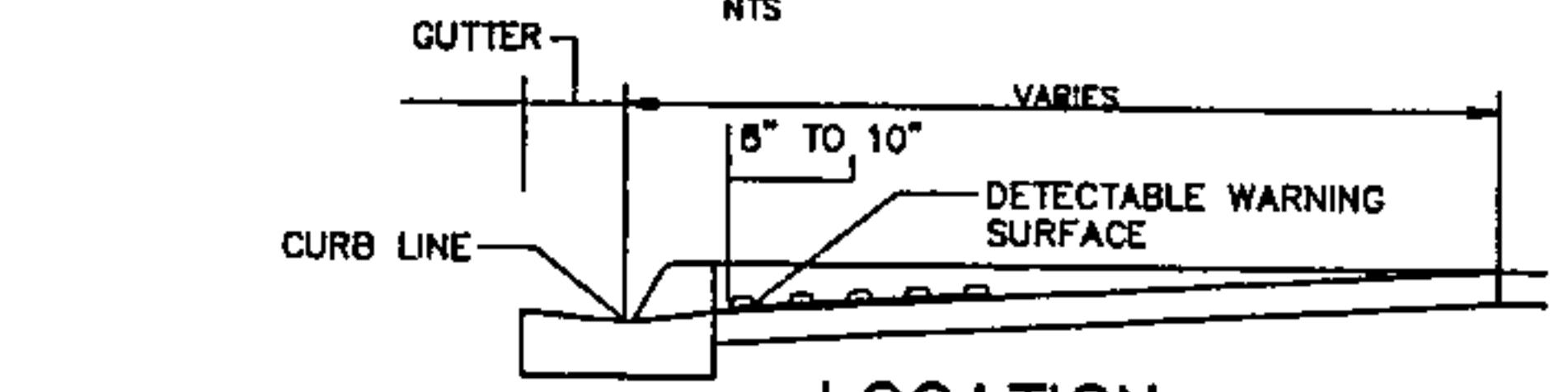
DOMES SPACING
 NTS

CC - CENTER TO CENTER SPACING 1.6" TO 2.4" MAX
 BB - BASE TO BASE SPACING 0.65" MIN

DETECTABLE WARNING SURFACES SHALL EXTEND 24" MIN IN THE DIRECTION OF TRAVEL AND FULL WIDTH OF THE CURB. RAMP, LANDING, OR TRANSITION. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE CROSSWALK TO PERMIT WHEELS TO ROLL BETWEEN DOMES.



DOMES SECTION
 NTS

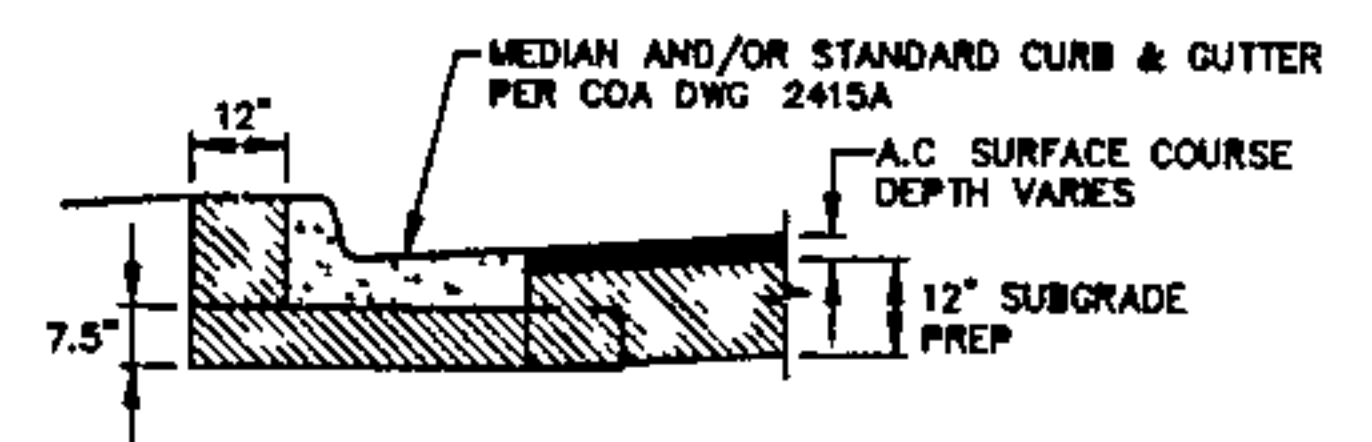


LOCATION
 NTS

RAMP DOME INSTALLATION DETAIL
 NTS

NOTE: CUT AND FILL SLOPES ARE 3:1 AFTER BENCH.

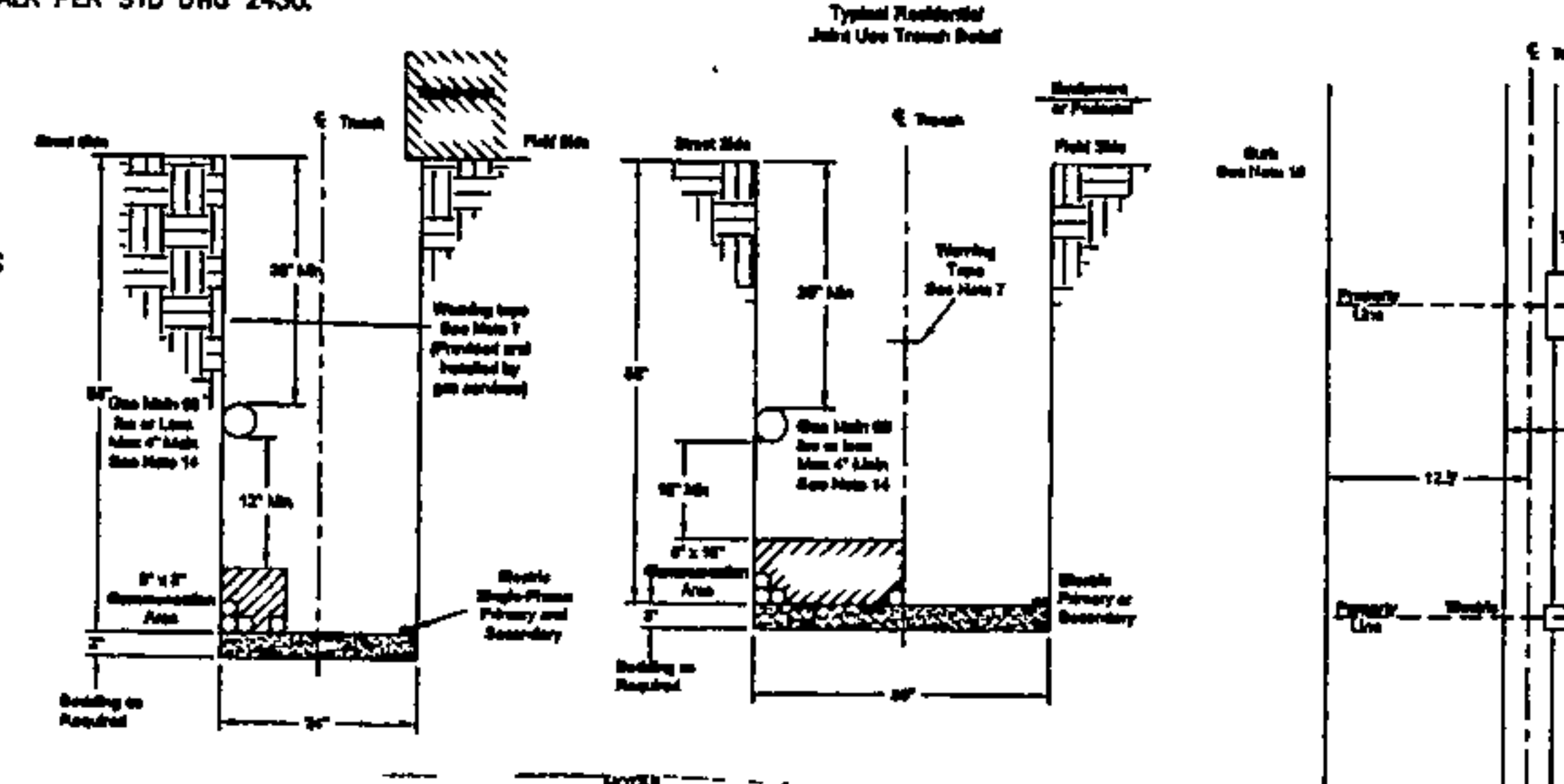
- ① 3" ASPHALT CONCRETE 1-3" LIFT SP1L
- ② 12" SUBGRADE PREP (R VALUE ≥ 50) 95% MIN. COMPACTION.
- ③ STANDARD CURB & GUTTER PER STD DWG 2415A.
- ④ SIDEWALK PER STD DWG 2430.



DETAIL "A" - TYPICAL MODULE
 NTS
 (TYPICAL ALL CURB & GUTTER)

NOTE: CUT AND FILL SLOPES ARE 3:1 AFTER BENCH.

- ① 3" ASPHALT CONCRETE 1-3" LIFT SP1L
- ② 12" SUBGRADE PREP (R VALUE ≥ 50) 95% MIN. COMPACTION.
- ③ STANDARD CURB & GUTTER PER STD DWG 2415A.
- ④ SIDEWALK PER STD DWG 2430.



PROVIDER DRY UTILITY TRENCH DETAIL
 NTS

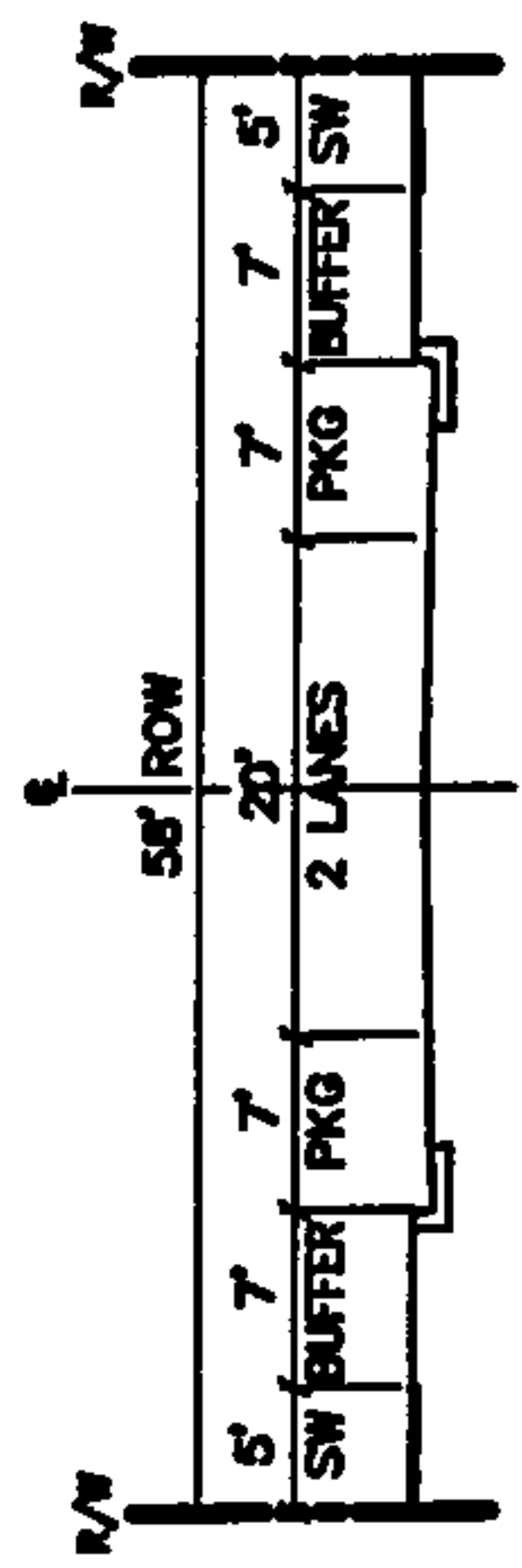
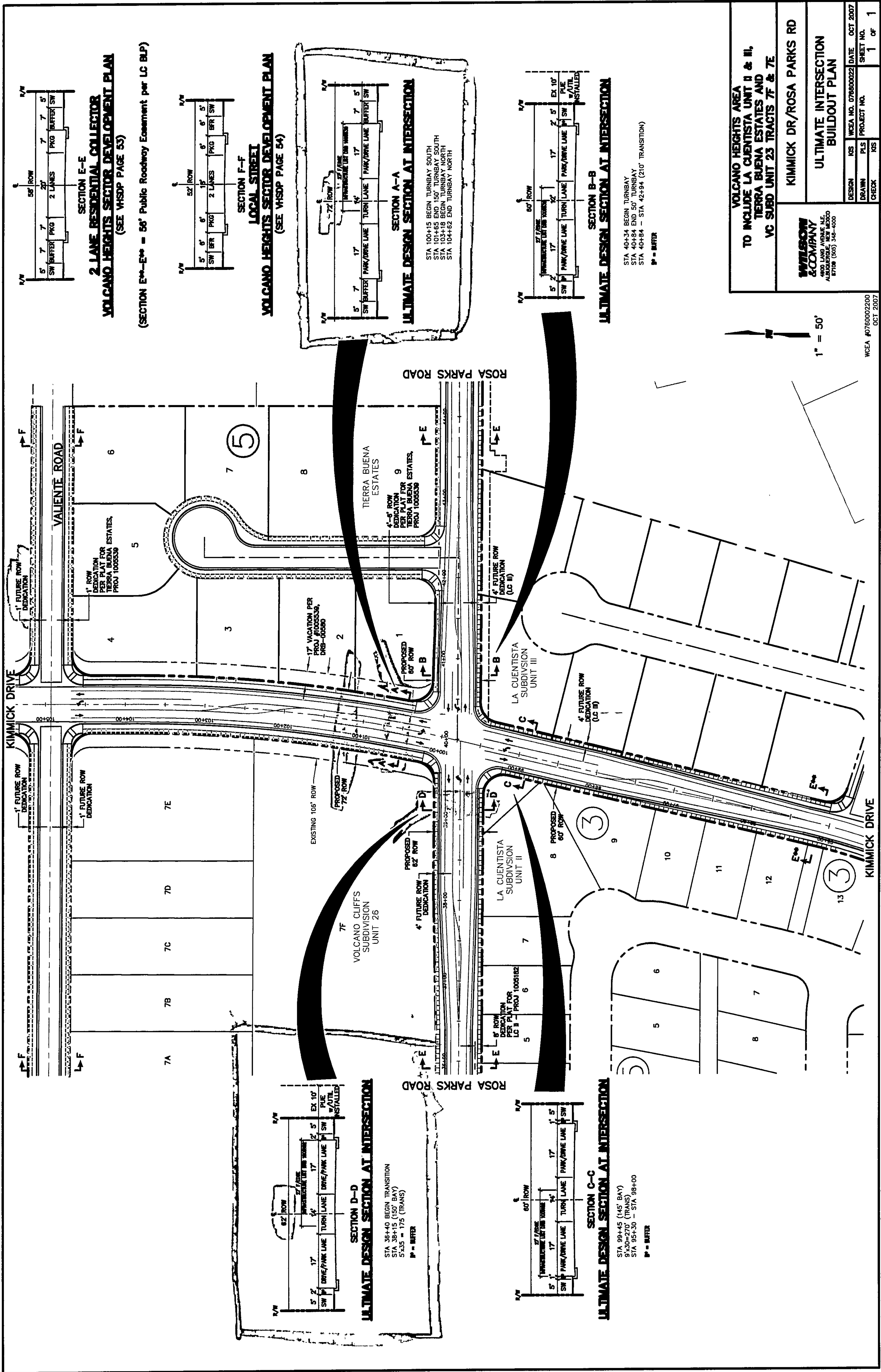
- GENERAL PAVING NOTES**
1. SUBGRADE SOIL WITH R=50 SHOULD BE REMOVED TO DEPTH OF 24" AND REPLACED WITH SOIL EXHIBITING R=50
 2. *1" SUBGRADE SOIL R-VALUE > 50 PLACED IN 2-6" COMPACTED LIFTS 95% MIN COMPACTION, AT OPT. MOISTURE +/- 2.0% ASTM D1557, OR OPT MOISTURE, TO +4% ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
DATE	BY	DATE	BY	DATE	BY	NO. DATE	BY
ACS BRASS CAP STAMPED 3-10" SET IN TOP OF CONCRETE POST PROJECTING 0.30 FT. ABOVE GROUND LOCATED APPROX. 225' E OF THE INTERSECTION OF RM ROCK DR. NW AND MARIGOLD DR. NW (NAD 1983), X 1489059 806, Y 1512627 945 ELEVATION = 5318.89 FT. (NAVD 1988)							
DESIGNED BY	WILSON & COMPANY, ENGINEERS & ARCHITECTS	DATE	DEC 2011	CHECKED BY	SM	DATE	DEC 2011
DRAWN BY	STAFF	DATE	DEC 2011				
CHECKED BY	SM	DATE	DEC 2011				

WILSON & COMPANY
 4800 LANG AVE NE
 ALBUQUERQUE, NEW MEXICO 87108
 PH (505) 348-4000
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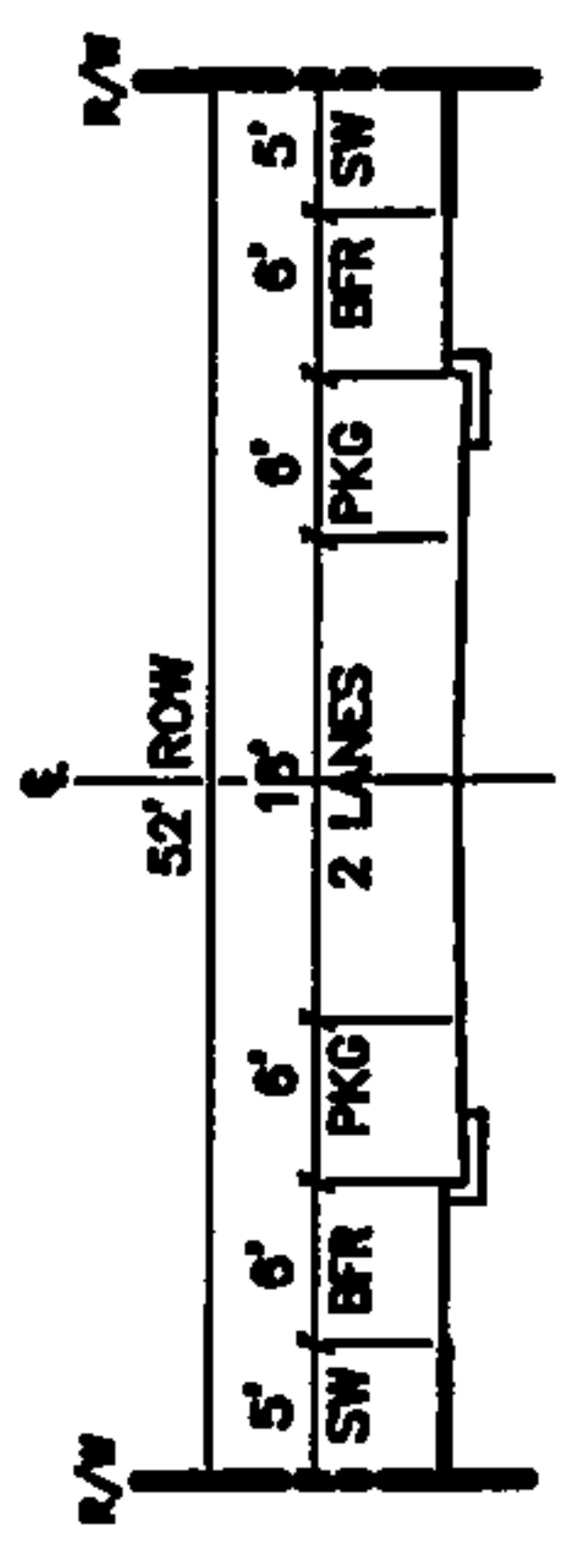
CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION
SPECIAL ASSESSMENT DISTRICT 228-VOL. 3
TYPICAL SECTIONS - UNITS 26 & 27

Design Review Committee: **PROVE** JAN 17 2012
 City Engineer Approval: **PROVE** JAN 17 2012

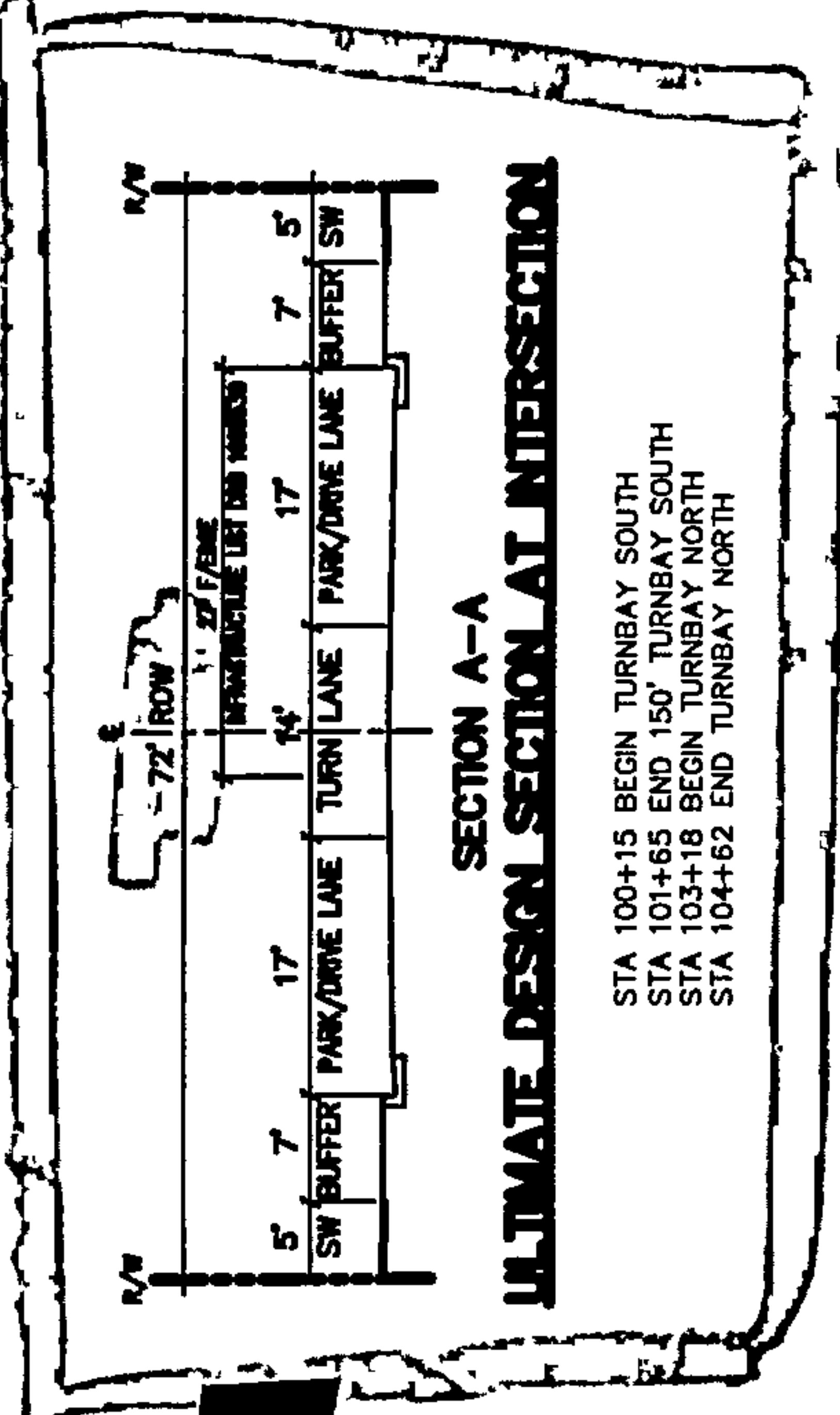


SECTION E-E
2-LANE RESIDENTIAL COLLECTOR
VOLCANO HEIGHTS SECTOR DEVELOPMENT PLAN
 (SEE VHSOP PAGE 53)

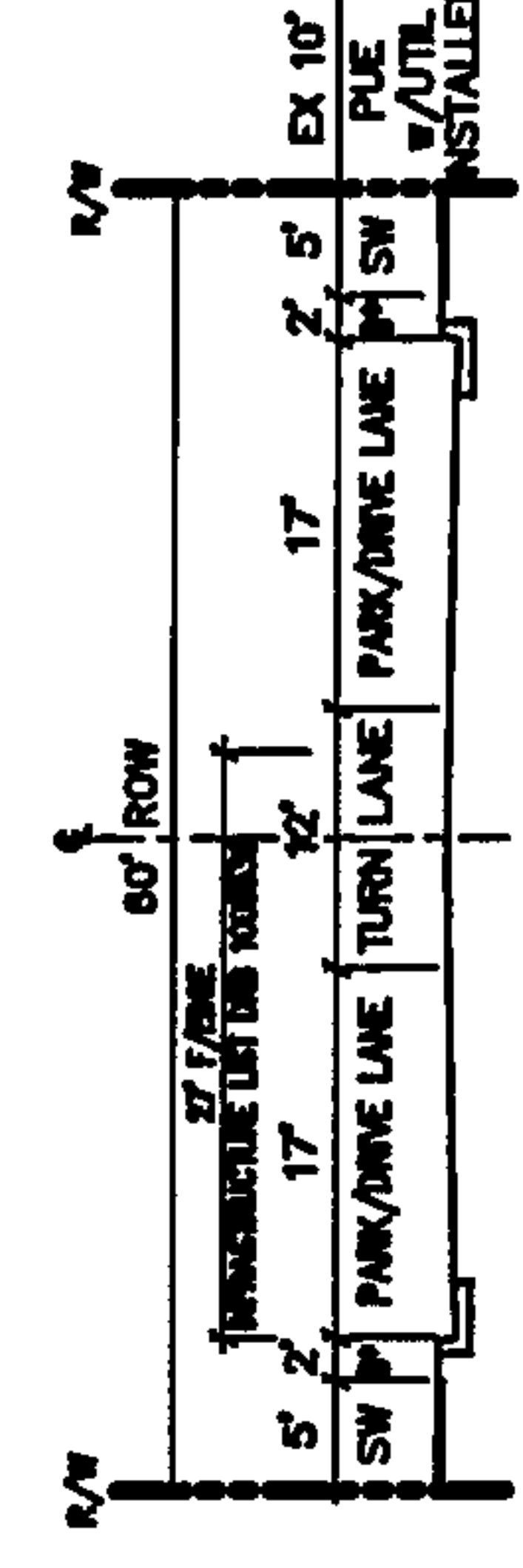
(SECTION E**-E** = 56' Public Roadway Easement per LC BLP)



SECTION F-F
LOCAL STREET
VOLCANO HEIGHTS SECTOR DEVELOPMENT PLAN
 (SEE VHSOP PAGE 54)

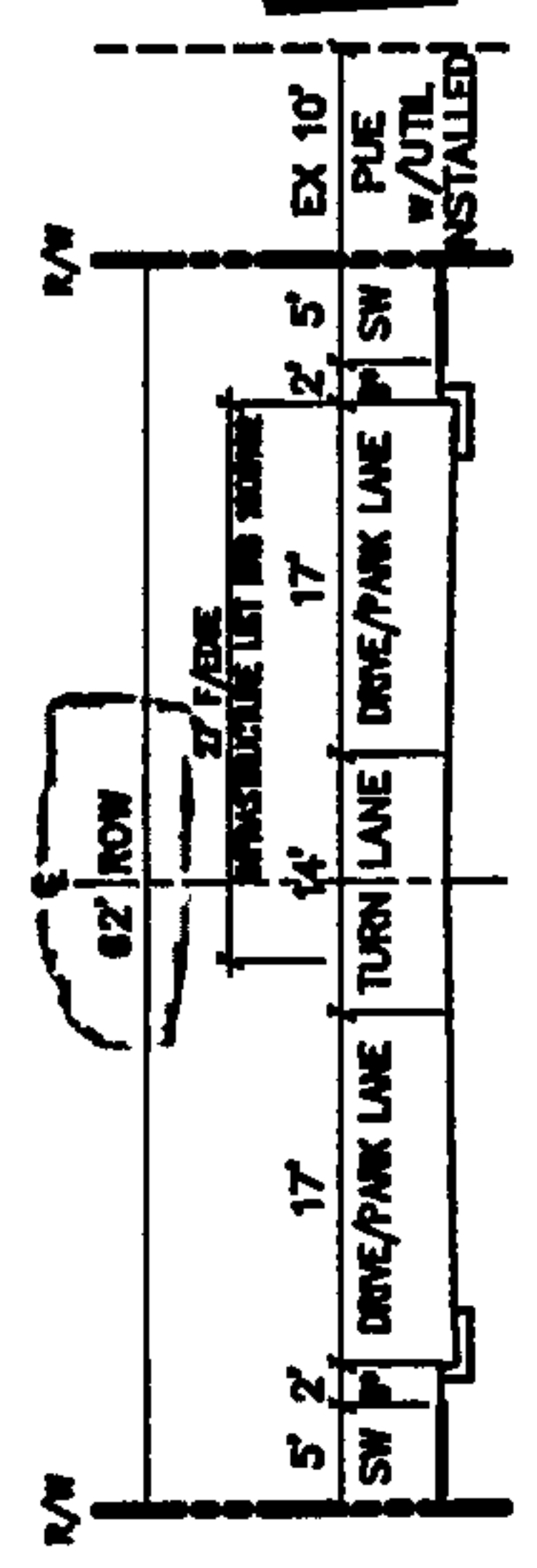


SECTION A-A
ULTIMATE DESIGN SECTION AT INTERSECTION



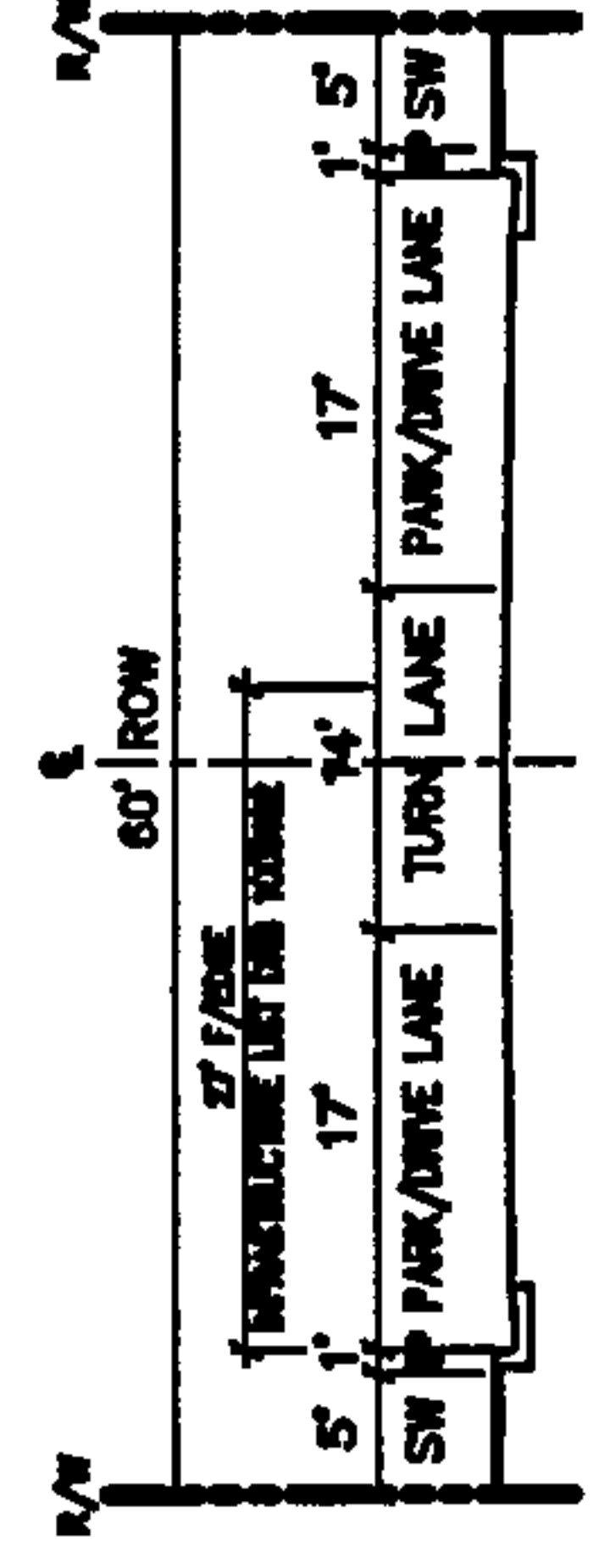
SECTION B-B
ULTIMATE DESIGN SECTION AT INTERSECTION

STA 40+34 BEGIN TURNBAY
 STA 40+84 END 50' TURNBAY
 STA 40+84 - STA 42+94 (210' TRANSITION)
 P = BUFFER



SECTION D-D
ULTIMATE DESIGN SECTION AT INTERSECTION

STA 36+40 BEGIN TRANSITION
 STA 38+15 (150' BAY)
 5+35 = 175 (TRANS)
 P = BUFFER



SECTION C-C
ULTIMATE DESIGN SECTION AT INTERSECTION

STA 99+45 (145' BAY)
 9+30=270' (TRANS)
 STA 95+30 - STA 98+00
 P = BUFFER



WILSON & COMPANY 1000 WEST 11TH AVE ANAHEIM, CALIFORNIA 92801 (714) 365-4000		ULTIMATE INTERSECTION BUILDOUT PLAN KIMMICK DR/ROSA PARKS RD	
VOLCANO HEIGHTS AREA TO INCLUDE LA CUENTISTA UNIT II & III, TERRA BUENA ESTATES AND VC SUBD UNIT 23 TRACTS 7E & 7E			
DESIGN	KSS	WCEA NO. 07860022	DATE OCT 2007
DRAWN	PLS	PROJECT NO.	SHEET NO. 1 of 1
CHECK	KSS		

WCEA #0786002200
 OCT 2007



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- V** Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plan boundaries)
- P** Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- D** Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

APPLICANT: COYOTE SPARROW / WILSON & COMPANY PHONE: 348-4062

ADDRESS: 4900 LANG AVE NE FAX: _____

CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: CSPARROW@WILSONCO.COM

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: SKETCH PLAT REVIEW

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. VC U26 MX, LLC Block: _____ Unit: _____

Subdiv/Addn/TBKA: VC U26 MX LLC

Existing Zoning: _____ Proposed zoning: _____ MRGCD Map No _____

Zone Atlas page(s): 538 C-11 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____

No. of existing lots: 25 No. of proposed lots: 3 Total site area (acres): 1.32

LOCATION OF PROPERTY BY STREETS: On or Near: PASEO DE LA CALLE NORTEÑA

Between: CALLE PLATA and RIDGEWAY

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE [Signature] DATE 12-13-11

(Print Name) COYOTE SPARROW Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 6/2011

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers 11-070350

Action SK

S.F. _____

Fees \$ 0

\$ _____

Hearing date 12-21-11

Total \$ 0

Project # 1009082

[Signature]

Staff signature & Date

FORM P(3): SITE PLAN , /IEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) **Maximum Size: 24" x 36"**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) **Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**

Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

COYOTE SPARROW
Applicant name (print)
Craig Spencer 12-13-10
Applicant signature / date

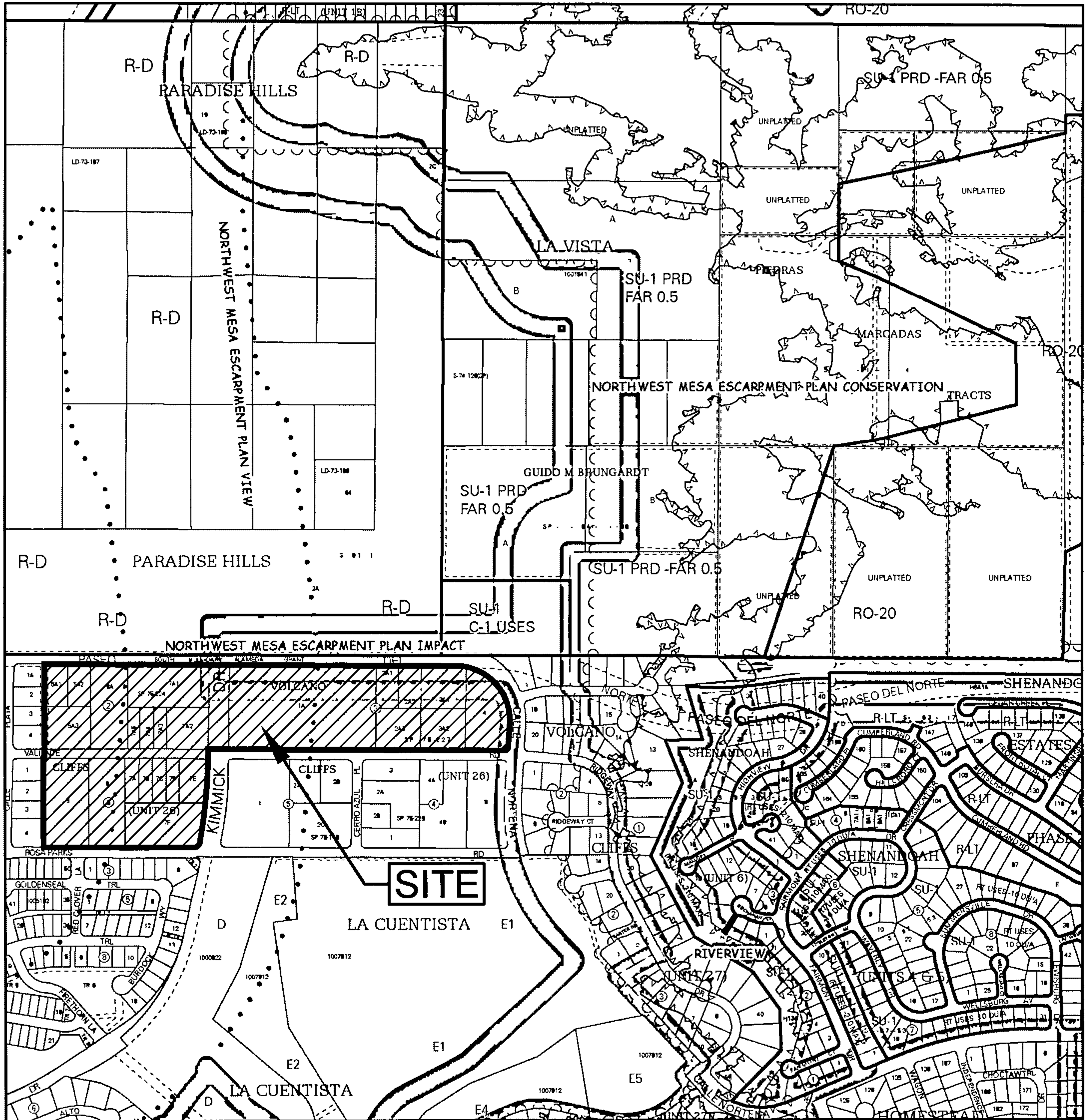


Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
11 - - - 070350

K. S. S. 13 DEC 2010
Planner signature / date
Project # 1009082



For more current information and more details visit: <http://www.cabq.gov/gis>

City of Albuquerque
AGIS
Albuquerque Geographic Information System

Note Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-11-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Map amended through: 1/24/2011

13 December, 2011

Development Review Board
City of Albuquerque Planning Department
600 Second St. NW
Plaza Del Sol
Albuquerque, NM 87103

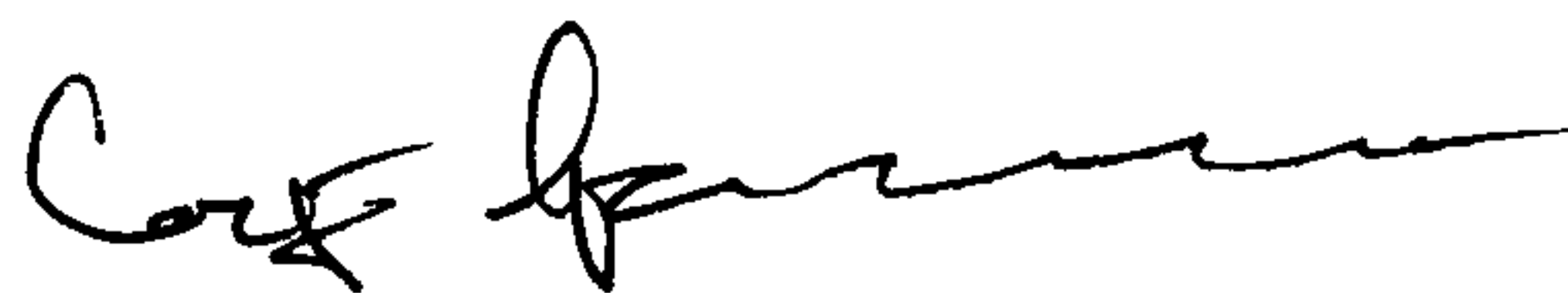
Re: **Sketch Plat Review**
VC U26 MX, LLC
Volcano Cliffs Subdivision
WCI File: 0840010401

To Whom It May Concern:

Wilson & Company, acting as agent on behalf of City of Albuquerque present to the Development Review Board the following sketch plat for review.

The intent of this submittal is to vacate existing easements and Right-of-Way and dedicate easements and Right-of-Way for Paseo Del Norte NW, Valiente Road NW, Kimmick Drive NW, and Calle Nortena NW, and create 3 tracts from 25 existing lots. The subject area being re-platted is all within the exterior boundaries of the City of Albuquerque, and is zoned SU-2.

Please contact Coyote Sparrow at 348-4062 if there are questions. Thank you.



Coyote Sparrow, PS
Wilson & Company, Inc.



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1009082

TO: ALL MEMBERS

Application No. 12DRB-70082
12DRB-70083

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: Dec 19, 2012

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

DRB HRG 3-28-12 TRANSPORTATION INFO REQUESTS:

SUBMITTAL DESCRIPTION: 1) TYPICAL SECTIONS FOR PASEO DEL NORTE, KIMMICK, VALIENTE
ROSA PARKS, CALLE NORTENA

2) OVERALL PAVING PLANS SHOWING ROADWAYS ALIGNMENTS ETC

3) PASEO / KIMMICK SIGNAL PLAN

4) INTERSECTION DESIGNS - PASEO + KIMMICK
PASEO + Calle Nortena

5) VALIENTE CONFIGURATION - REDESIGNED,
NOT A STUB STREET

6) ROSA PARKS AND KIMMICK ARE COLLECTORS PER
VOLCANO CLIFFS SECTOR PLAN - 6

PLANNING INFO REQUESTS

7) Letters of Authorization / INDEX

Exhibits / Alignments - See ABOVE

8) current PLATS EAST/WEST

CONTACT NAME: KRISTINE SUSCO

TELEPHONE: 348-4191 EMAIL: KI.SUSCO@WILSONCO.COM

VACATION EXHIBIT FOR
 PRELIMINARY PLAT OF
 TRACT 1, BLOCK 2
 VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Consolidation Replat of all of
 Block 2 & a portion of Block 6,
 together with, a portion of
 Valiente Road Right of Way,
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTIONS 14 & 15
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2012
 PASEO DEL NORTE NW

PUBLIC UTILITY EASEMENT VACATED PER 12DRB-70062
 PUBLIC RIGHT-OF-WAY VACATED PER 12DRB-70083

TRACT 2A
 PARADISE HILLS
 FILED: 2/21/1991
 BK. 916, PG. 44
 Bedrock Investors Limited

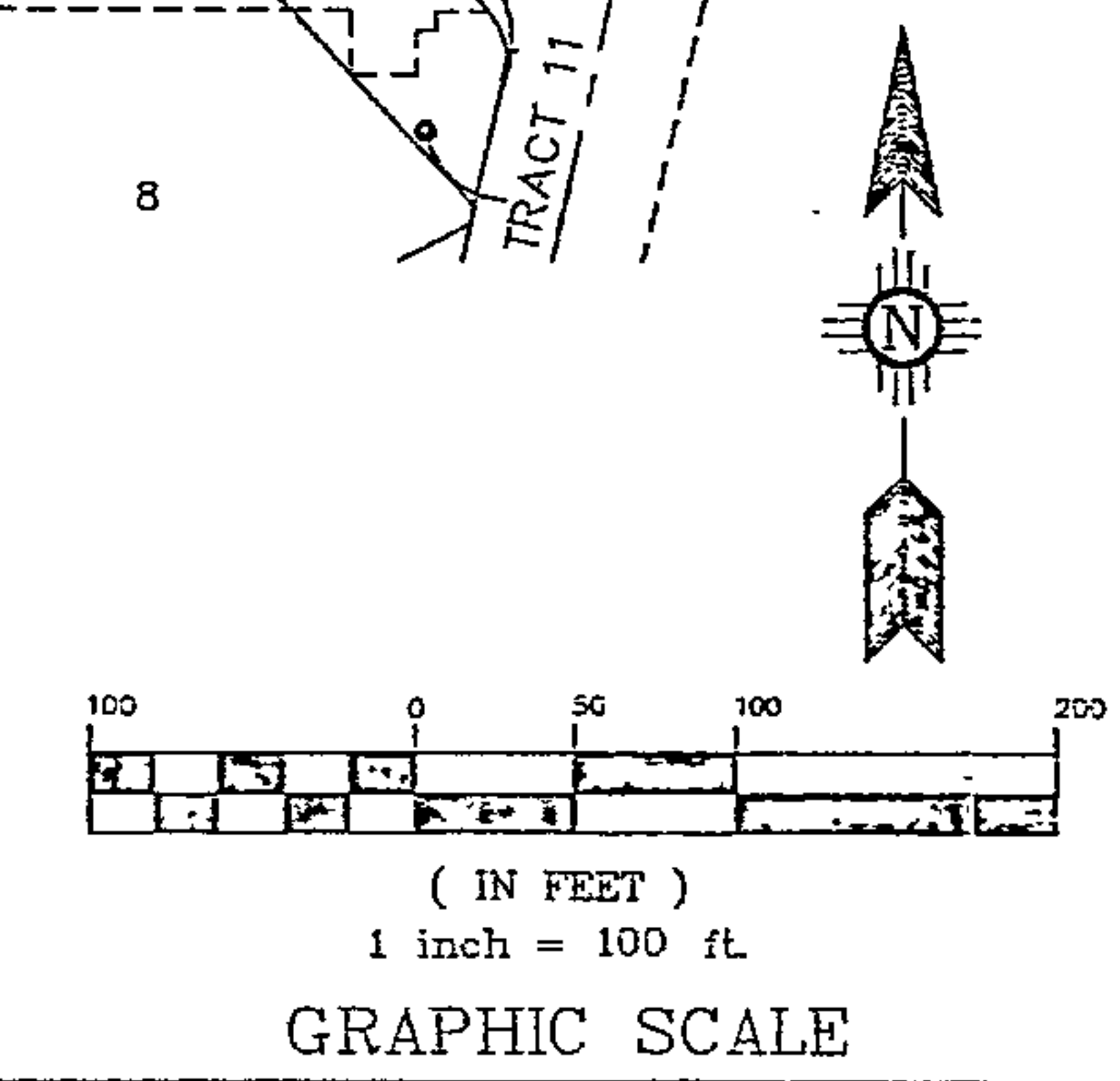


LINE TABLE

LINE NO.	BEARING	DISTANCE
L1	S00°19'05"W	14.33'
L2	N89°40'55"W	4.58'
L3	S89°43'24"E	91.67'
L4	S89°43'24"E	65.46'
L5	S89°43'24"E	67.02'

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C1	90°02'29"	25.00'	39.29'	S44°42'09"E 35.37'
C2	54°49'26"	36.78'	35.20'	S29°48'36"E 33.87'
C3	117°3'54"	1781.34'	349.19'	S05°56'02"W 348.63'
C4	78°46'06"	25.00'	34.37'	S50°56'02"W 31.73'
C5	32°51'36"	25.00'	14.34'	S73°53'17"W 14.14'
C6	76°06'48"	25.00'	33.21'	S51°40'00"E 30.82'
C7	76°06'48"	25.00'	33.21'	S52°13'12"W 30.82'
C8	84°36'32"	36.78'	54.32'	S44°42'09"E 49.52'
C9	29°47'06"	36.78'	19.12'	N72°06'52"W 18.91'



Layout Name: MX-LLC-West-DRB-04
 Drawing Name: SX3218076_Boundary (replatoose) dwg
 NETWORK ADDRESS: m:\RR\08-400-104-00\CADD\MAPPING\ABQ\SAD 228 REPLATS\ Plot By: PAJ

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000
 SHEET 4 OF 4
 WCI PROJ. NO. 08-400-104-00

⑦ WEST INDEX

April 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

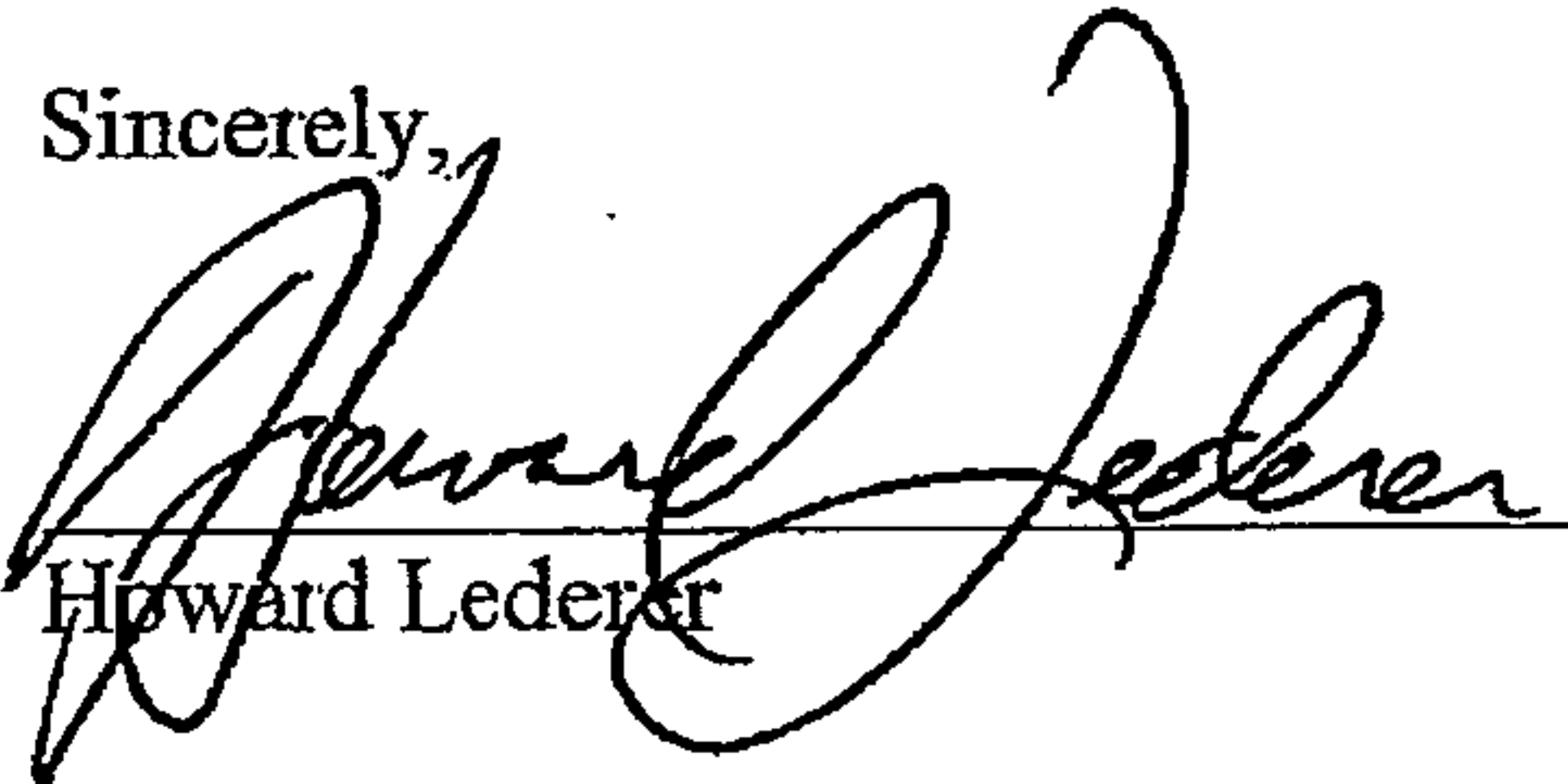
Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lots 5A-1, 5A-3, & 7A-5 of Blk 2, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,


Howard Lederer

Date

4/29/12

April 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

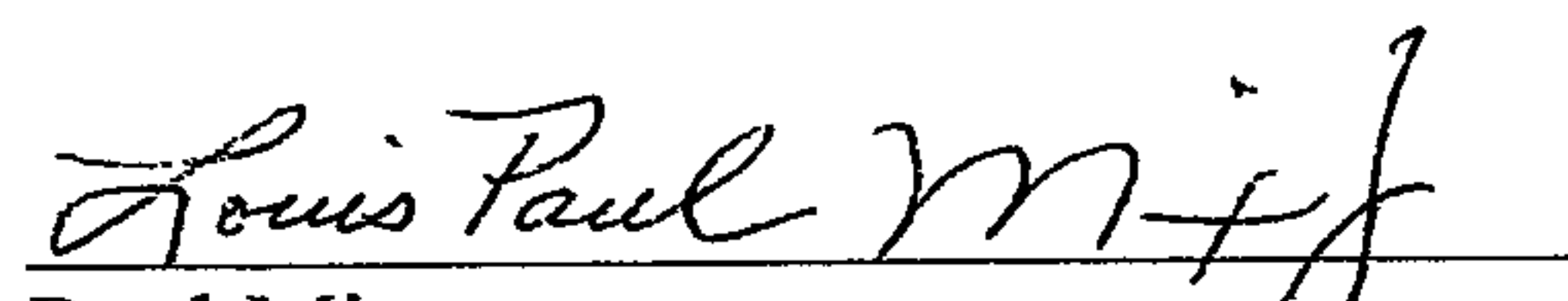
Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lots 6A, Blk 2, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,


Paul Mix
TRUSTEE

11-28-2012
Date

June 22, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lot 7A-2, Block 2, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,

A handwritten signature in cursive script that reads "Onorio Colucci". The signature is written in black ink and is positioned above the printed name.

Onorio Colucci

April 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

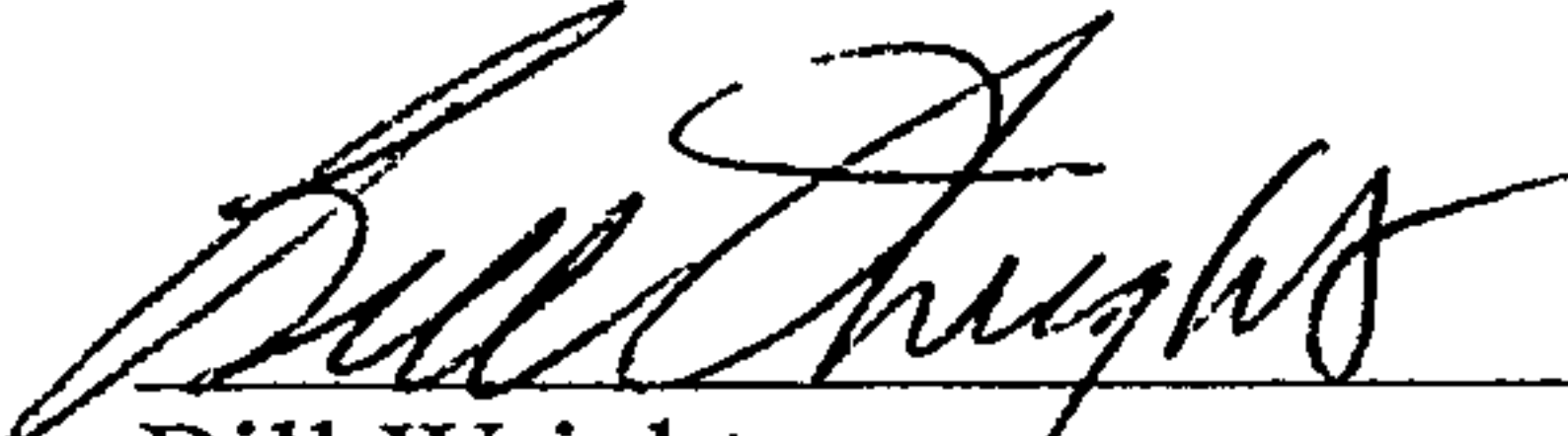
Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

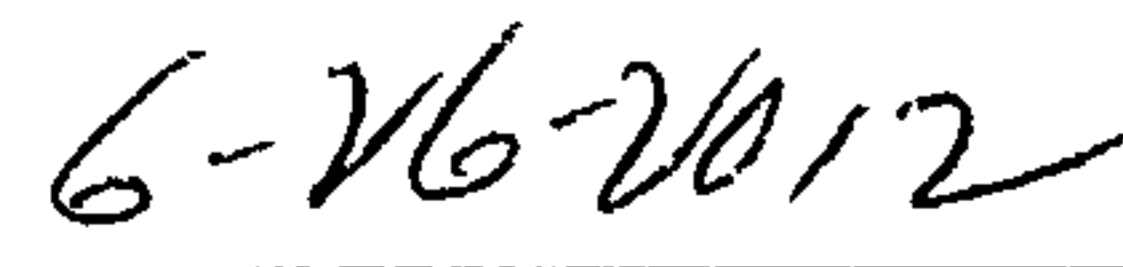
I am the property owner of record for Lots 5A-2, Blk 2, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,



Bill Wright



Date

April 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

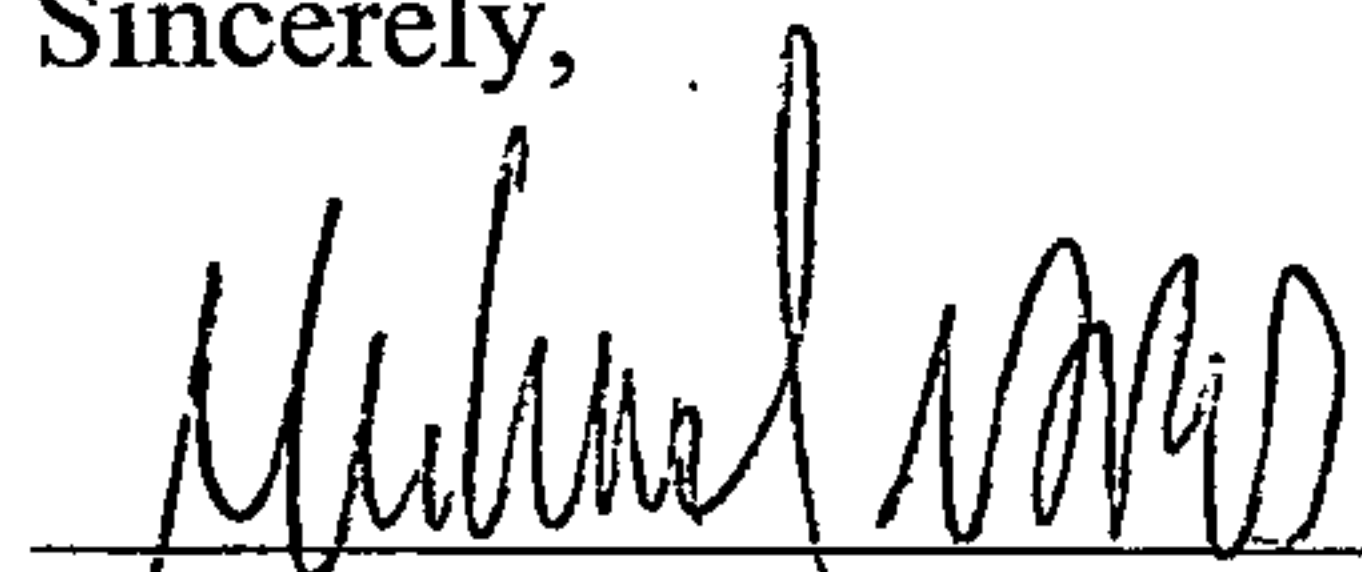
Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

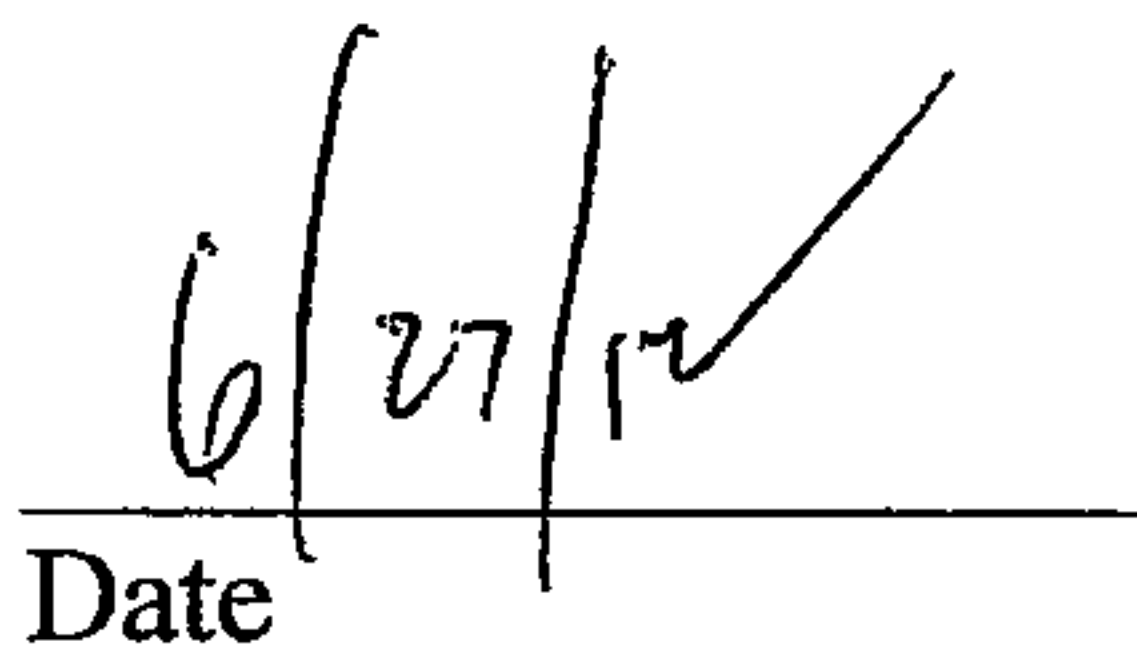
I am the property owner of record for Lots 7A-3, Blk 2, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

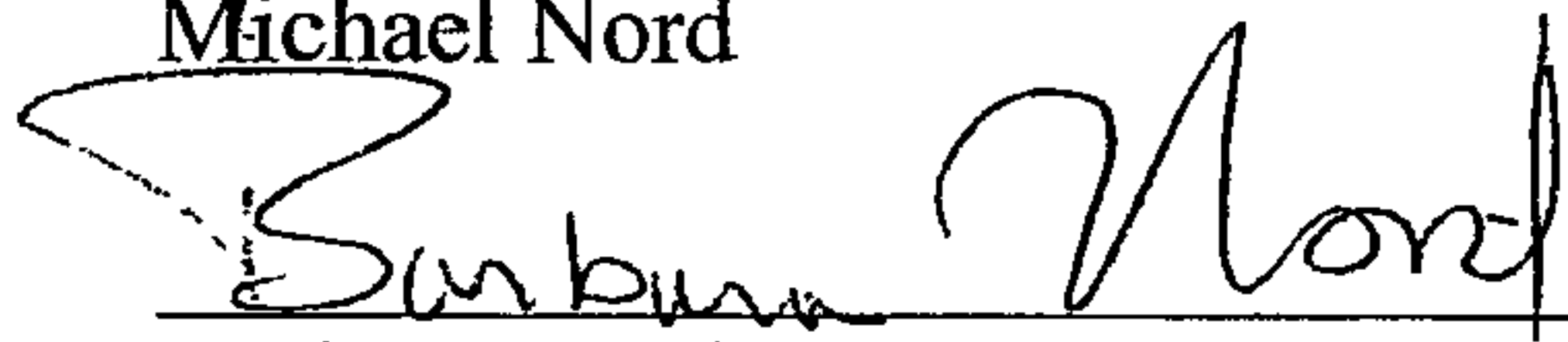
Sincerely,



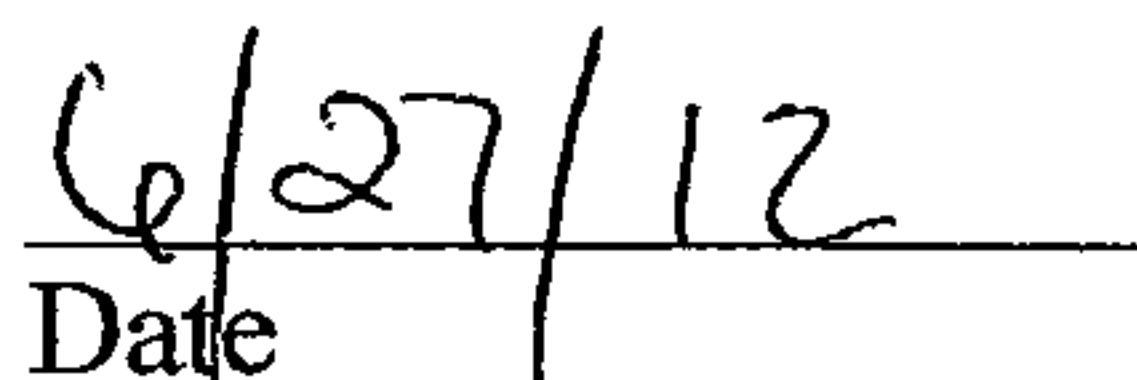
Michael Nord



Date



Barbara Nord



Date

May 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lots 7A-4, 7A-1, Block 2, Unit 26, Volcano Cliffs Subdivision and Lot 7D, Block 6, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,



Steven J. Metro

May 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*


Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lots 7C, Blk 6, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,



Charles Jones

5 June 2012
Date

May 30, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

Dear Mr. Cloud:

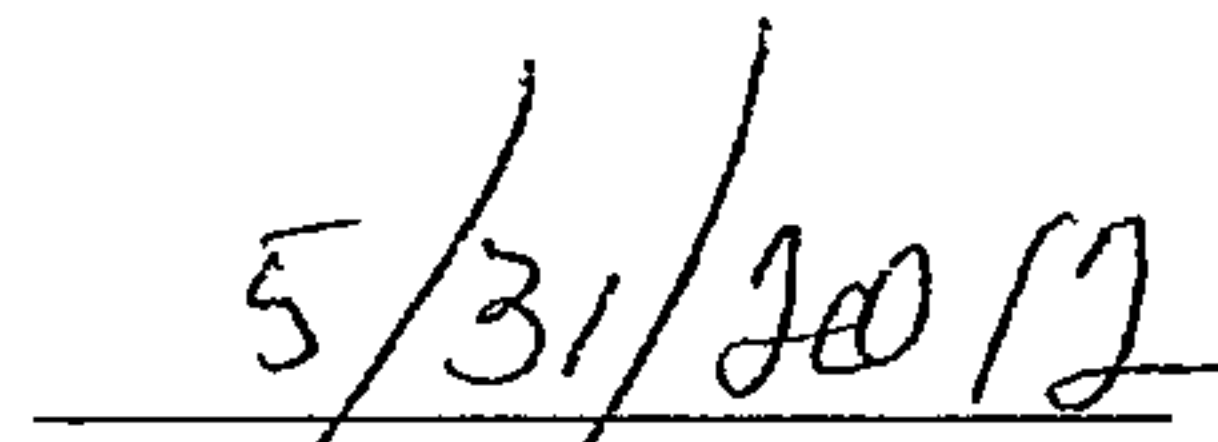
Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.


I am the property owner of record for Lots 7B, Blk 6, Unit 26, Volcano Cliffs Subdivision.

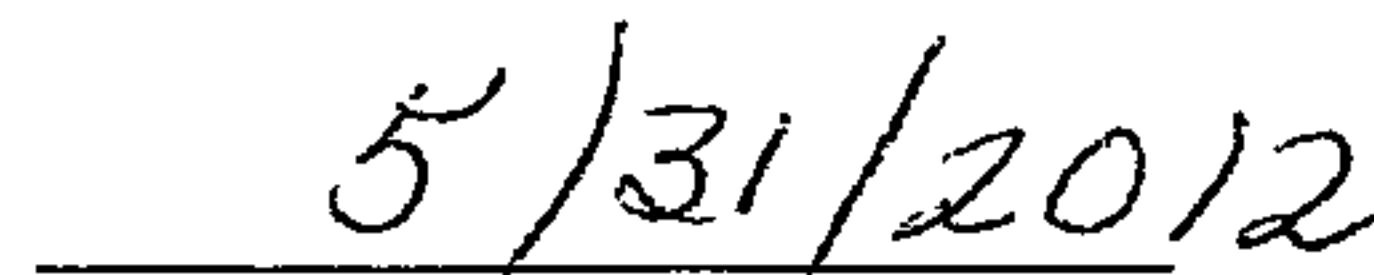
Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,


Melvin Sanders


Date


Meredith Sanders


Date

May 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

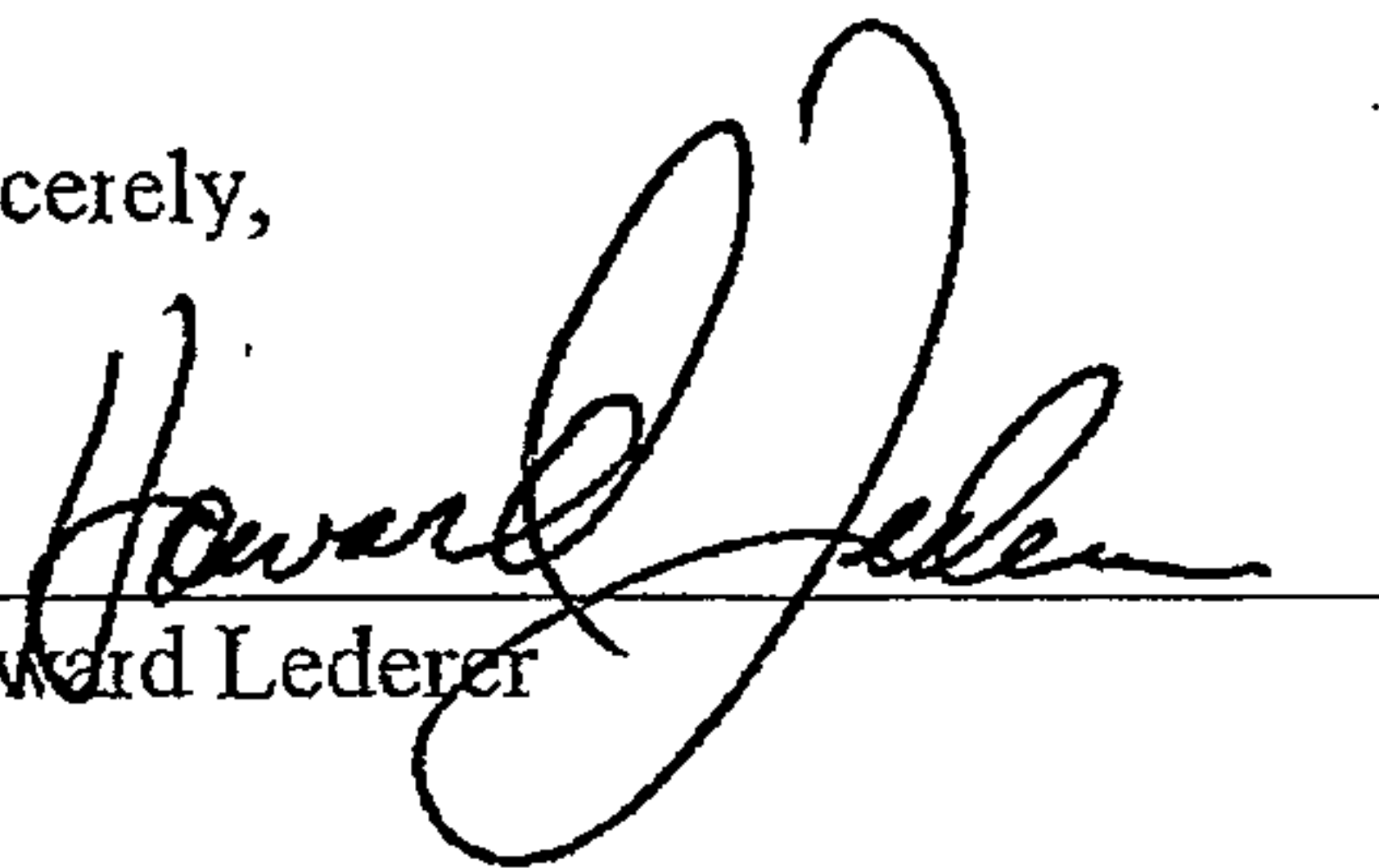
Dear Mr. Cloud:

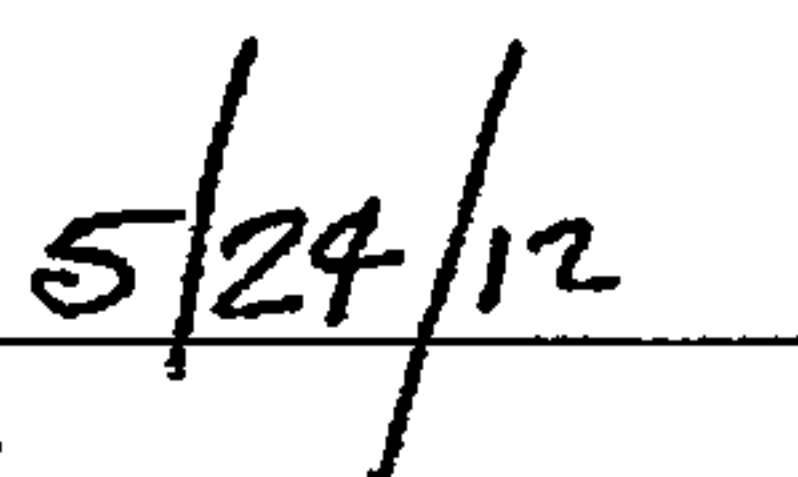
Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lots 6, 7A, 7E, & 7F of Blk 6, Unit 26, Volcano Cliffs Subdivision.

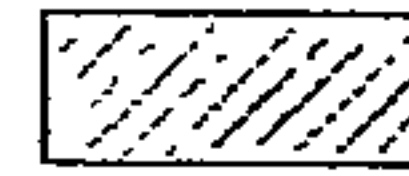
Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000

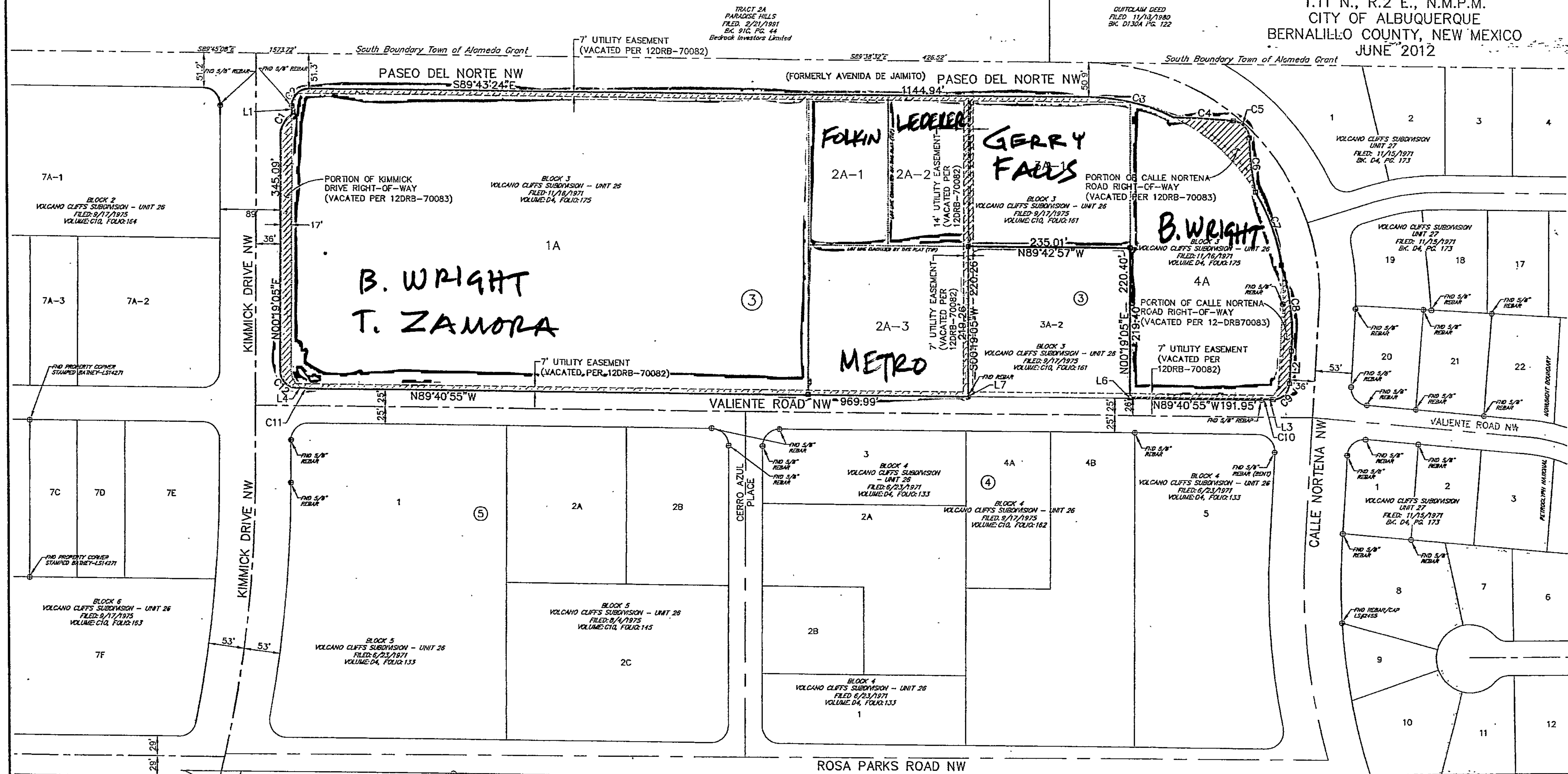
Sincerely,


Howard Lederer


Date

VACATION EXHIBIT FOR
 PLAT OF
 LOTS 1A-1 and 4A-1, BLOCK 3
 VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of Block 3,
 together with, a portion of
 Kimmick Drive NW & Calle Nortena NW,
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTION 14
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 2012

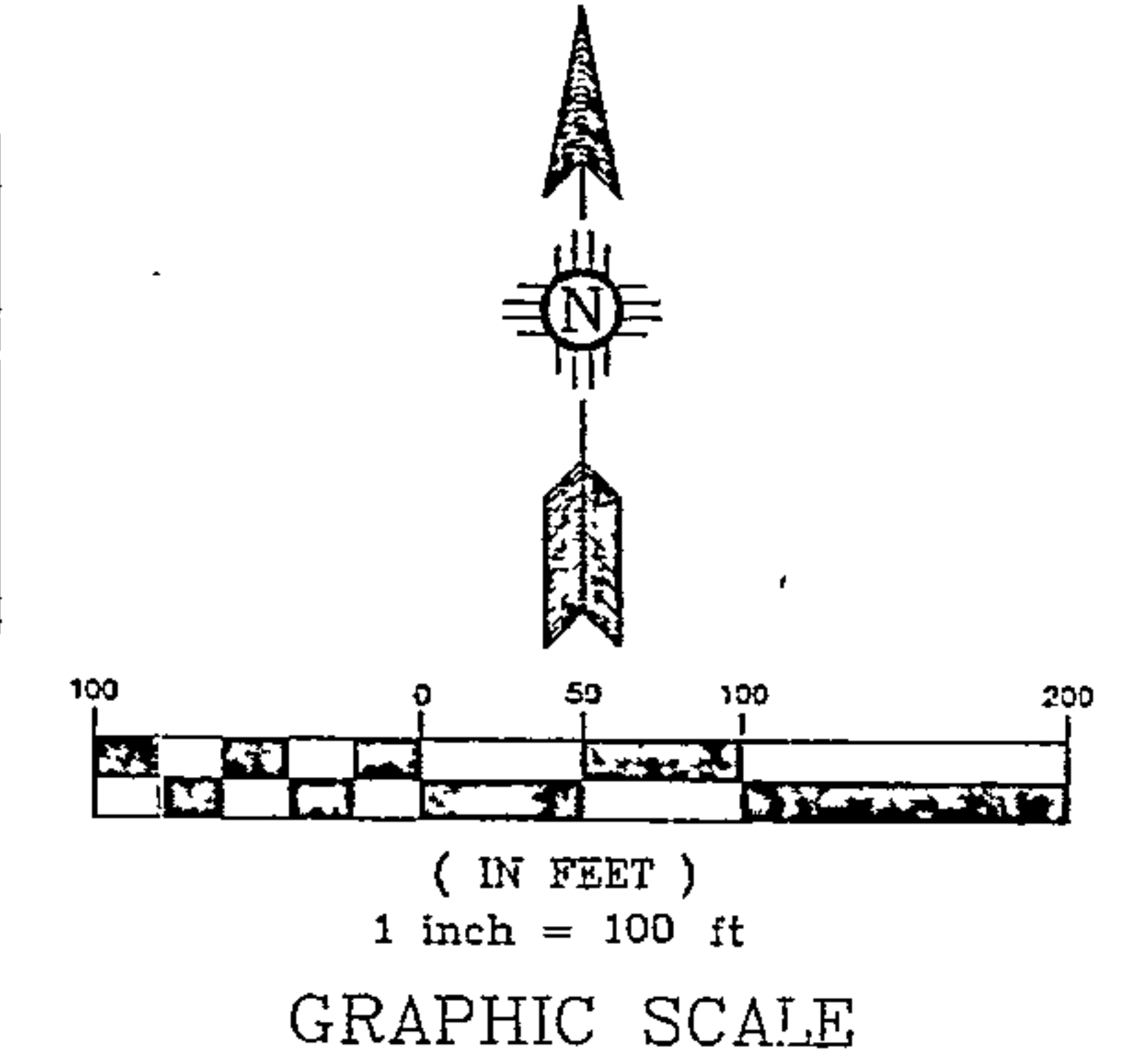
 PUBLIC UTILITY EASEMENT VACATED PER 12DRB-70082
 PUBLIC RIGHT-OF-WAY VACATED PER 12DRB-70083



CURVE TABLE				
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C1	59°03'01"	33.00'	36.07'	N29°50'36"E 34.50'
C2	89°57'31"	25.00'	39.25'	N43°17'51"E 35.34'
C3	25°46'15"	283.70'	127.60'	S76°50'17"E 126.53'
C4	03°30'08"	1422.00'	86.91'	S86°58'20"E 86.89'
C5	84°47'59"	25.00'	37.00'	S42°49'18"E 33.72'
C6	11°52'03"	386.00'	79.95'	S06°21'20"E 79.81'
C7	23°01'15"	283.70'	113.99'	S19°31'15"E 113.22'
C8	23°39'28"	308.30'	127.71'	S06°49'42"E 126.81'
C9	86°50'33"	25.00'	37.89'	S46°53'49"W 34.37'
C10	16°15'37"	25.00'	7.09'	S82°11'17"W 7.07'

CURVE TABLE				
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
C11	16°15'37"	25.00'	7.10'	N81°33'06"W 7.07'
C12	90°00'00"	25.00'	39.27'	N44°40'55"W 35.36'
C13	89°57'31"	35.00'	54.95'	N45°17'51"E 49.48'
C14	04°30'07"	1422.00'	111.73'	S87°28'21"E 111.70'
C15	12°26'11"	366.00'	83.78'	S18°30'27"E 83.62'
C16	03°43'21"	456.46'	29.66'	S22°22'45"E 29.65'
C17	01°00'01"	1422.00'	24.82'	N89°13'24"W 24.82'
C18	30°34'30"	35.00'	18.88'	S74°49'21"W 18.65'
C19	24°18'14"	386.00'	163.74'	S12°34'26"E 162.51'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N00°19'05"E	13.61'
L2	S03°28'32"W	47.57'
L3	N89°40'55"W	10.08'
L4	N89°40'55"W	10.00'
L5	N89°43'24"W	91.24'
L6	N00°19'05"E	1.00'
L7	S00°19'05"W	1.00'



Layout Name: UNIT 26 B3-DRB-04
 Drawing Name: SX3218076_Boundary (replatbase) dwg
 NETWORK ADDRESS: m:\RR\08-400-104-00\CADD\MAPPING\ABQ\SAD 228 REPLATS\

Plot By: PAJ

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000
 SHEET 4 OF 4
 WCI PROJ NO. 08-400-104-00

⑦ EAST INDEX

April 6, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

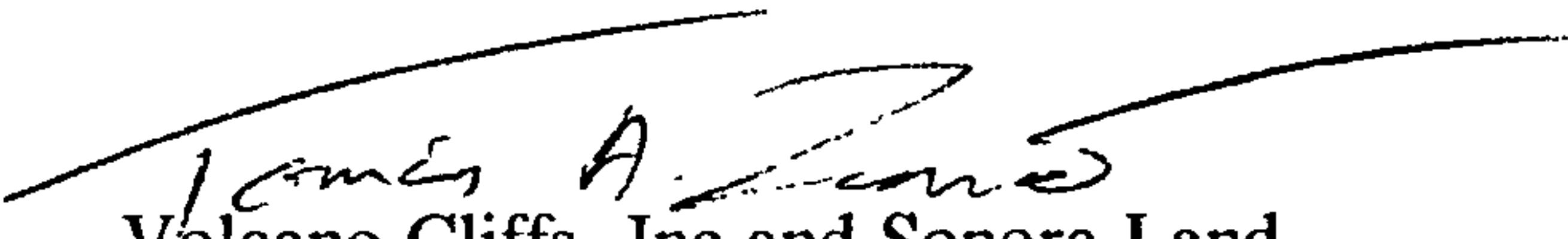
Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lot 1A, Block 3, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,



Volcano Cliffs, Inc and Sonora Land
Tomas Zamora
Billy Wright

April 6, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lot 1A, Block 3, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,



Volcano Cliffs, Inc and Sonora Land
Tomas Zamora
Billy Wright

May 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lot 2A-3, Block 3, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,



Steven J. Metro

April 6, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*


Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lot 4A, Block 3, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,


Volcano Cliffs, Inc.
Billy Wright

May 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

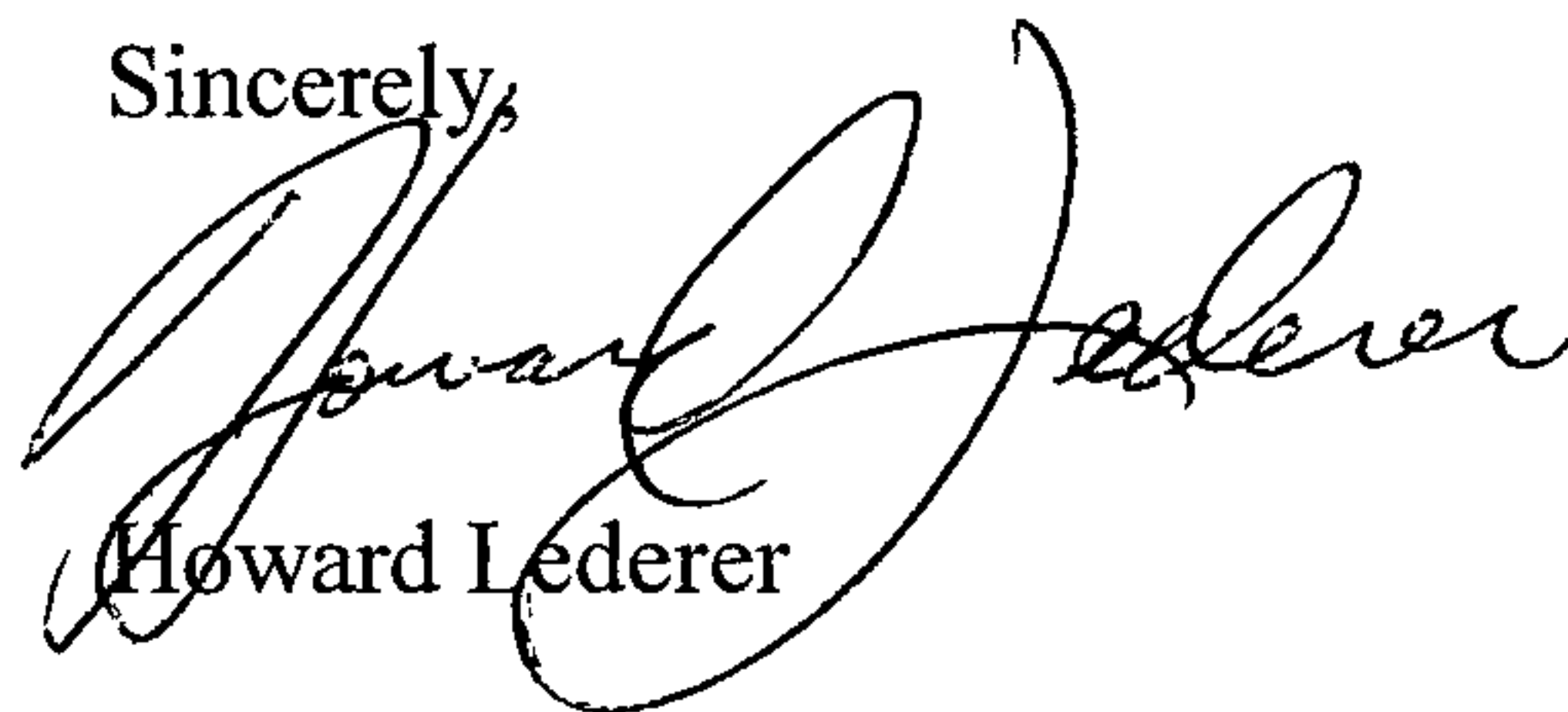
Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lot 2A-2, Block 3, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,



Howard Lederer

May 24, 2012

Mr. Jack Cloud
Development Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: LETTER OF AUTHORIZATION for the proposed *Special Assessment District 228*

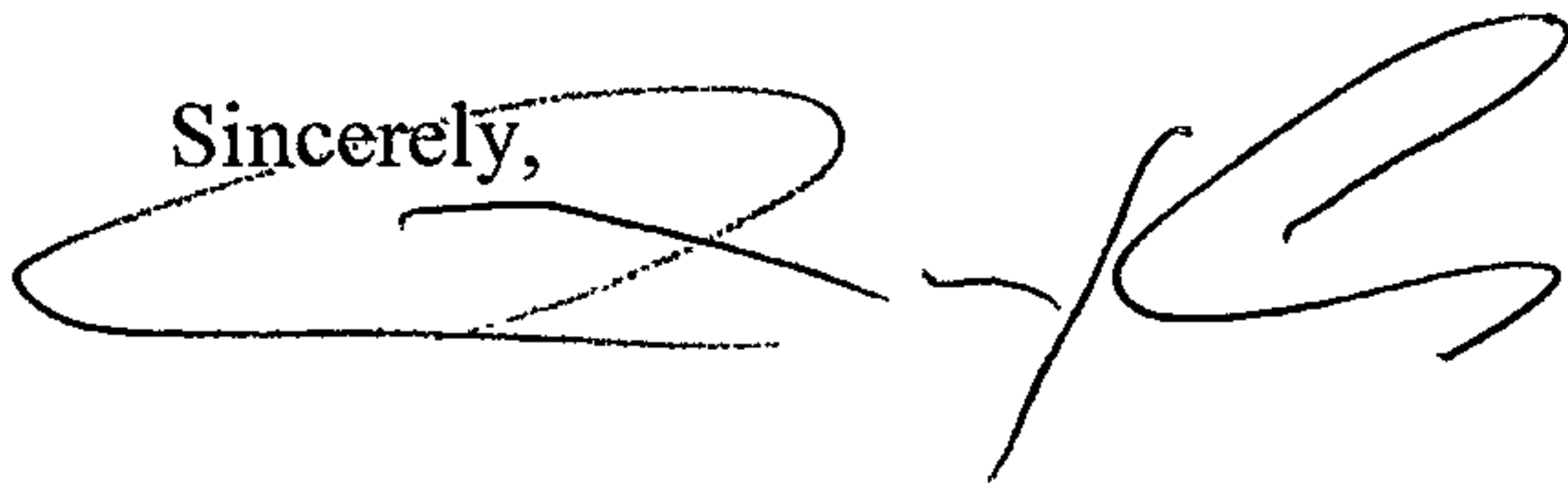
Dear Mr. Cloud:

Please accept Wilson and Company as my agent for the above referenced subdivision. This letter of authorization is for all planning, platting, and design issues regarding the proposed Special Assessment District 228.

I am the property owner of record for Lot 3A-1, Block 3, Unit 26, Volcano Cliffs Subdivision.

Thank you for your attention concerning this matter. If you should have any questions, please contact me via Steven Metro at Wilson & Company, 348-4000.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gerry Falls', written over a horizontal line.

Gerry Falls

Chapter 3 Transportation Regulations

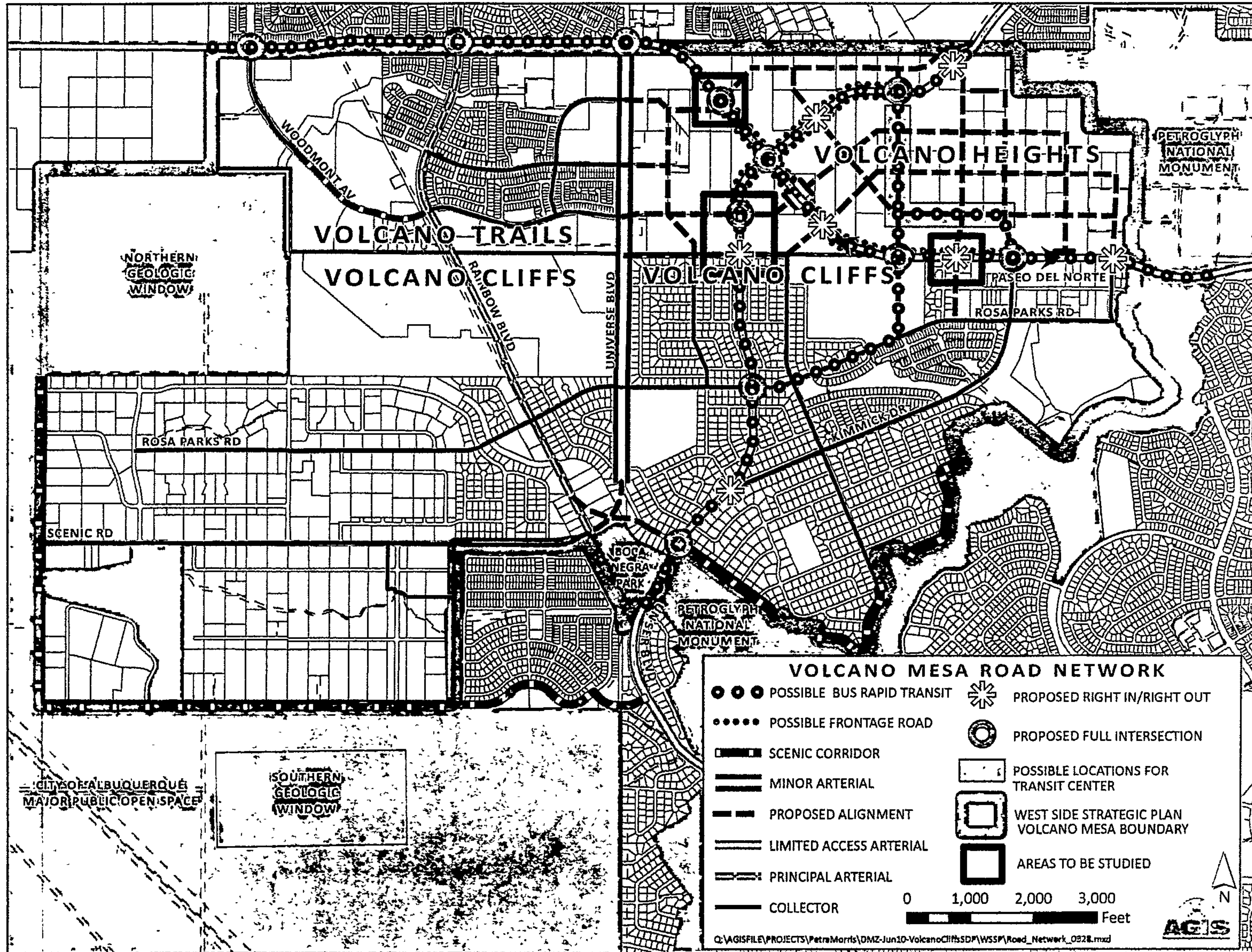


Exhibit 5, Volcano Mesa Road Network

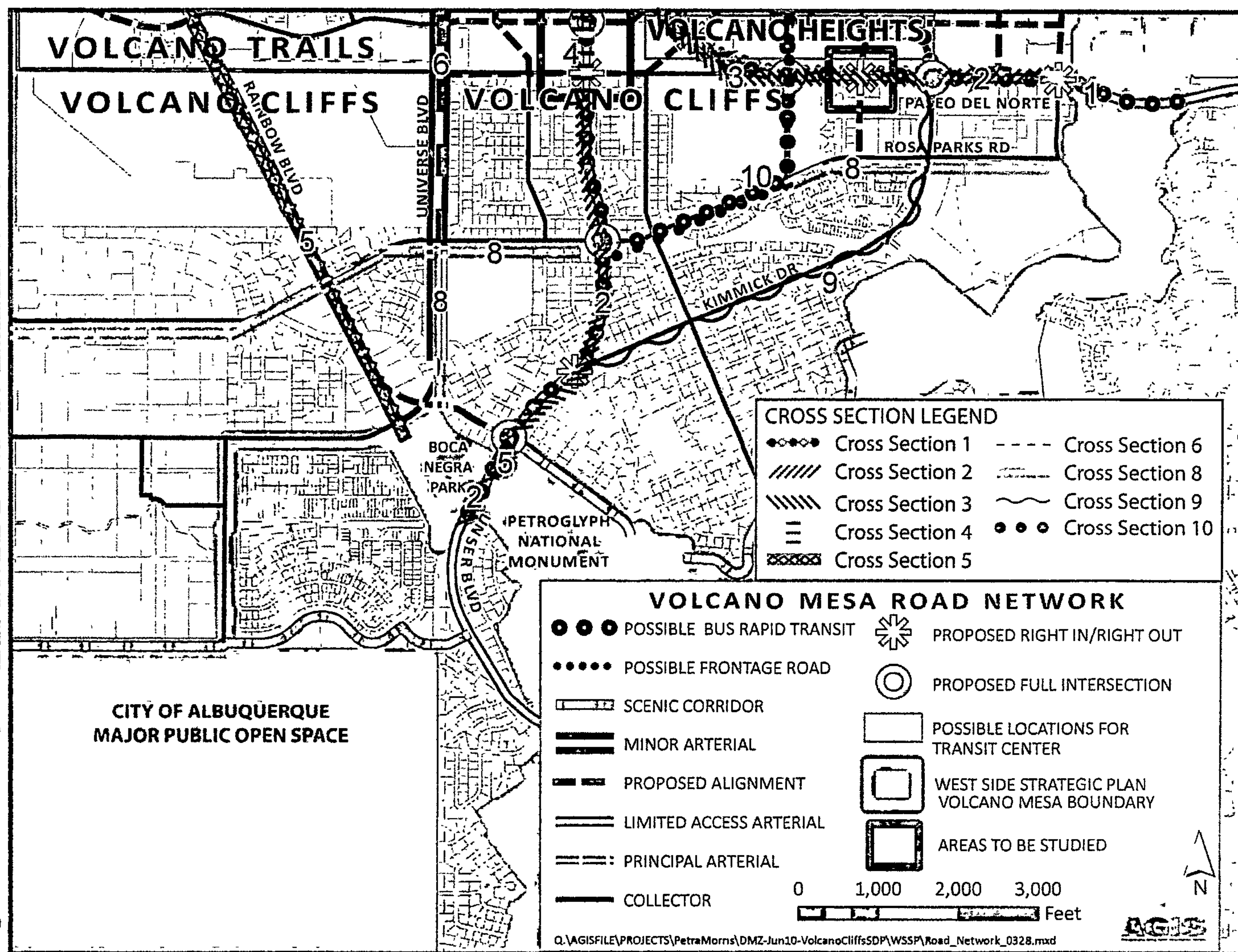


Exhibit 6, Volcano Cliffs Sample Cross-Section Locations

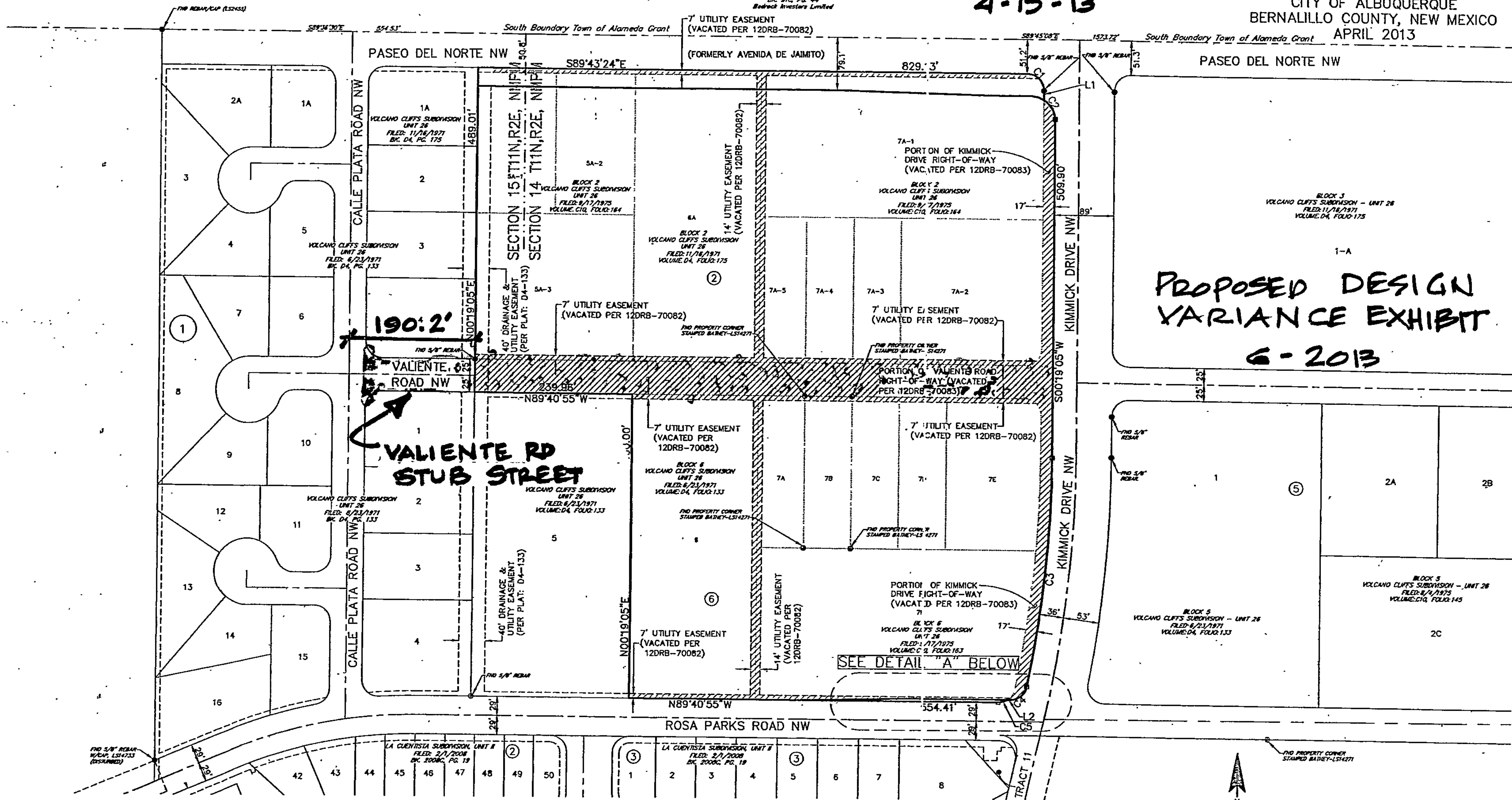
LINE NO.	BEARING	DISTANCE
L1	S00°19'05"W	14.33'
L2	N89°40'55"W	4.58'
L3	S89°43'24"E	67.02'

CURVE NO	DELTA	RADIUS	LENGTH	CHORD BEARING/DISTANCE
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C2	54°49'26"	36.78'	35.20'	S29°48'36"E 33.87'
C3	111°3'53"	1781.34'	349.19'	S05°56'02"W 348.63'
C4	78°46'06"	25.00'	34.37'	S50°56'02"W 31.73'
C5	32°51'36"	25.00'	14.34'	S73°53'17"W 14.14'
C6	84°36'32"	36.78'	54.31'	S44°42'09"E 49.52'
C7	29°47'06"	36.78'	19.12'	N72°06'52"W 18.91'

VACATION EXHIBIT FOR
 PLAT OF
 TRACT 1, BLOCK 2
 VOLCANO CLIFFS SUBDIVISION, UNIT 26
 A Replat of a portion of Block 2 & a portion
 of Block 6, together with, a portion of
 Valiente Road & Kimmick Drive NW
 Volcano Cliffs Subdivision, Unit 26
 WITHIN SECTIONS 14 & 15
 T.11 N., R.2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2013

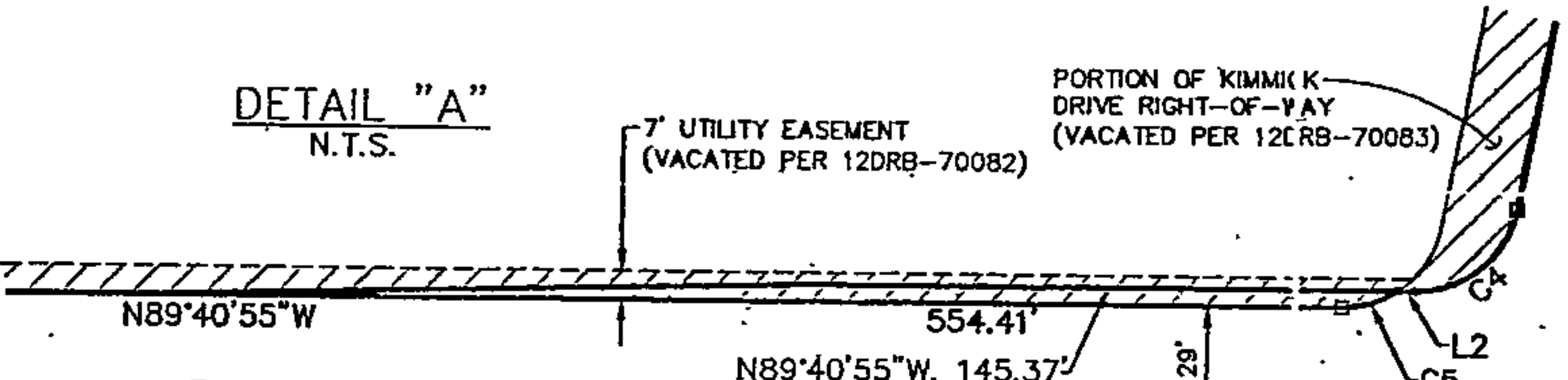
**PUBLIC RIGHT-OF-WAY
 VACATED BY EC-13-393
 4-15-13**

TRACT 26
 PARADES HILLS
 FILED: 2/21/1991
 BK. 316, PG. 44
 Redrock Investors Limited



**PROPOSED DESIGN
 VARIANCE EXHIBIT
 6-2013**

DETAIL "A"
 N.T.S.



**WILSON
 & COMPANY**
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000

