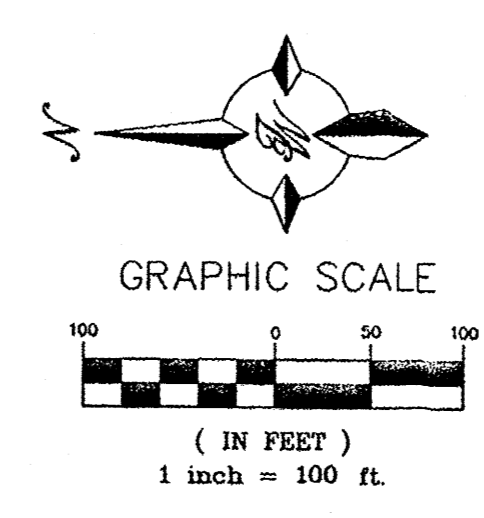
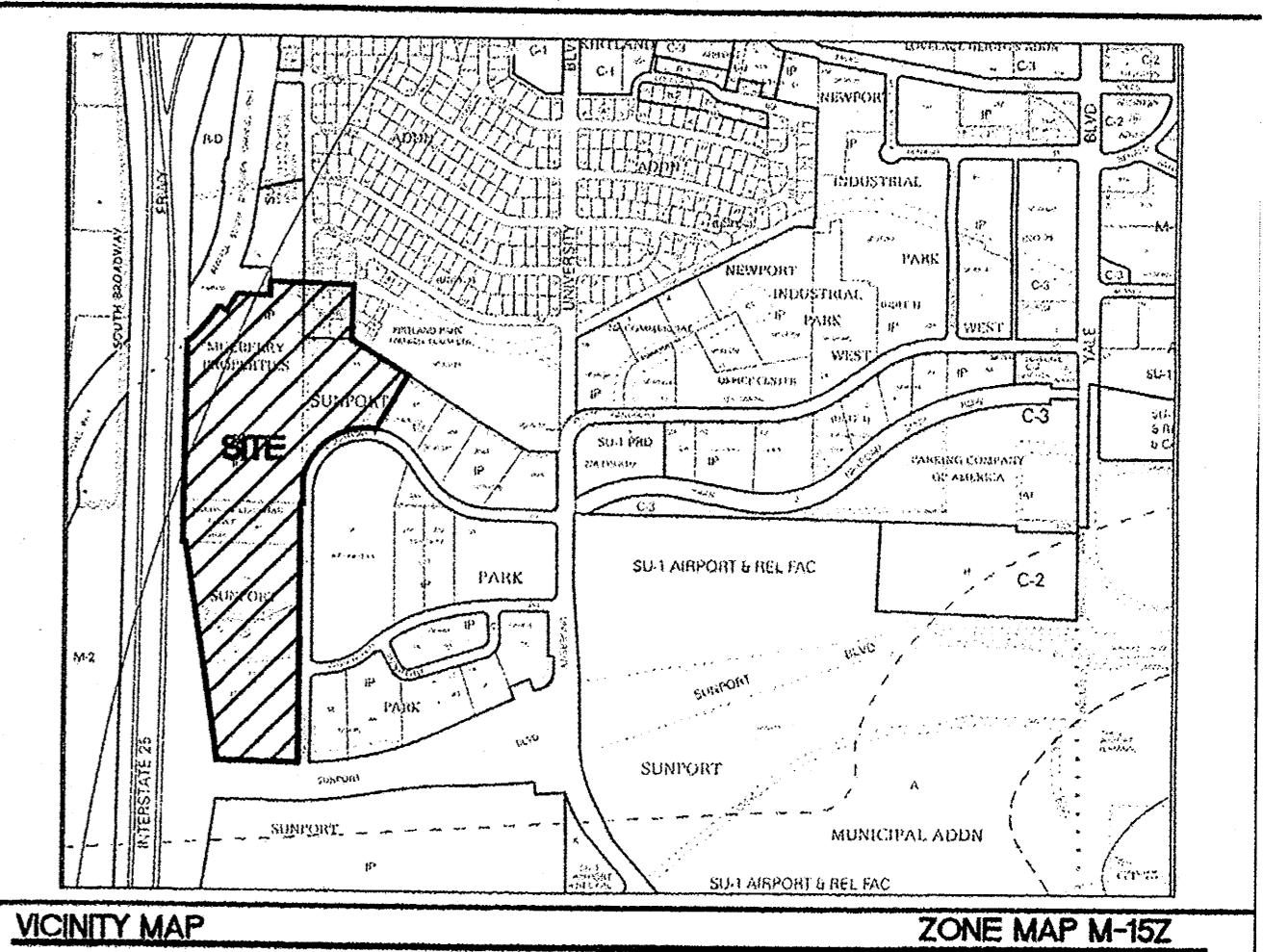


NOTE
ALL DEVELOPMENT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE AND THE CURRENT APPROVED SUNPORT PARK SITE4 DEVELOPMENT PLAN STANDARDS



TO BE MAINTAINED AT THE CITY'S EXPENSE, REGARDLESS OF CAUSE



LEGEND

- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- - - RIGHT OF WAY

SITE DATA
LEGAL DESCRIPTION: LOTS 1A AND 2A, SUNPORT PARK; PARCEL 1A, SUNPORT PARK; TRACT B, MULBERRY PROPERTIES; TRACT A1, LANDS OF EISENMAN TRUST; AND LOTS 1-5 & A-F, UNIT 3, KIRTLAND ADDITION.
ZONING (EXISTING) IP AND R-1
ZONING (PROPOSED) SU-1 FOR IP USES INCLUDING STUDENT HOUSING
SITE AREA 35.9 ACRES
PROPOSED USE
STUDENT HOUSING RESIDENTIAL COTTAGES AND CLUBHOUSE
166 SINGLE COTTAGE RESIDENCE BUILDINGS (97 DWELLING UNITS)
47 DUPLEX COTTAGE RESIDENCE BUILDINGS (158 DWELLING UNITS)
TOTAL 260 DWELLING UNITS
PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS
VEHICULAR TRAFFIC WILL ACCESS FROM FLIGHTWAY AVENUE AND TRANSPORT STREET THROUGH TWO GATED ACCESS POINTS OVER PRIVATE DRIVEWAYS. THE PUBLIC SIDEWALK ON FLIGHTWAY AVE WILL BE EXTENDED ALONG THE PROJECT FRONTAGE TO PROVIDE PEDESTRIAN ACCESS ADJACENT TO THE THREE VEHICULAR POINTS OF CONNECTION.
INTERNAL CIRCULATION REQUIREMENTS
PRIVATE DRIVEWAY AND PEDESTRIAN WALKS AND TRAILS WILL PROVIDE INTERNAL CIRCULATION. EXISTING LOTS WILL BE CONSOLIDATED INTO TWO PARCELS CORRESPONDING WITH THE TWO PHASES OF CONSTRUCTION, BY SEPARATE PLAT.
MAXIMUM BUILDING HEIGHT
4 STORIES ON LOTS 1A AND 2A OF SUNPORT PARK. OTHER AREAS, UNLESS MODIFIED BY EPC 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE. OR DRAINAGE WAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.
PROPOSED MAX BUILDING HEIGHT 30' TO RIDGE-LINE (COTTAGES), 45' TO RIDGELINE (CLUBHOUSE)

SITE DATA
MINIMUM BUILDING SETBACK
ON LOTS 1A AND 2A OF SUNPORT PARK
FRONT SETBACK OF NOT LESS THAN 20' FROM THE R.O.W LINE
SIDE SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE
REAR SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE
MAXIMUM TOTAL DWELLING UNITS
NO MAXIMUM PER IP ZONE (EXISTING), 155 DWELLING UNITS (PROPOSED)
MAXIMUM F.A.R. (NON-RESIDENTIAL)
0.43 F.A.R. ON LOT 1A AND 0.44 ON Lot 2A OF SUNPORT PARK
PHASING 3 PHASES PROPOSED.

- INDEX TO DRAWINGS**
- C1 SITE PLAN FOR SUBDIVISION
 - C2 SITE PLAN FOR BUILDING PERMIT
 - C3 SITE PLAN DETAIL (1"=40')
 - C4 SITE PLAN DETAIL (1"=40')
 - C5 OVERALL GRADING PLAN
 - C6 OVERALL UTILITY PLAN
 - C7 MASTER UTILITY PLAN
 - C8 MASTER UTILITY PLAN
 - C9-C10 CONSTRUCTION DETAILS
 - C11 CONSTRUCTION DETAILS TRASH COMPACTOR
 - C12 MONUMENT SIGN DETAIL
 - L1 LANDSCAPE PLAN
 - L2 LANDSCAPE PLAN
 - L3 LANDSCAPE PLAN
 - L4 LANDSCAPE PLAN
 - L5-L6 LANDSCAPE PLAN
 - EL-1 BUILDING ELEVATIONS
 - AMENDMENT TO PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION

PROJECT NUMBER: 1009090
APPLICATION NUMBER: 13 DRB-70589

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Terra West	6/26/13
Traffic Engineer, Transportation Division	Date
A. Pitzer	06/26/13
Water Utility Development	Date
Carol S. Dumont	6-26-13
Parks & Recreation Department	Date
Auto a Chem	7-24-13
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	7/25/2013
	Date

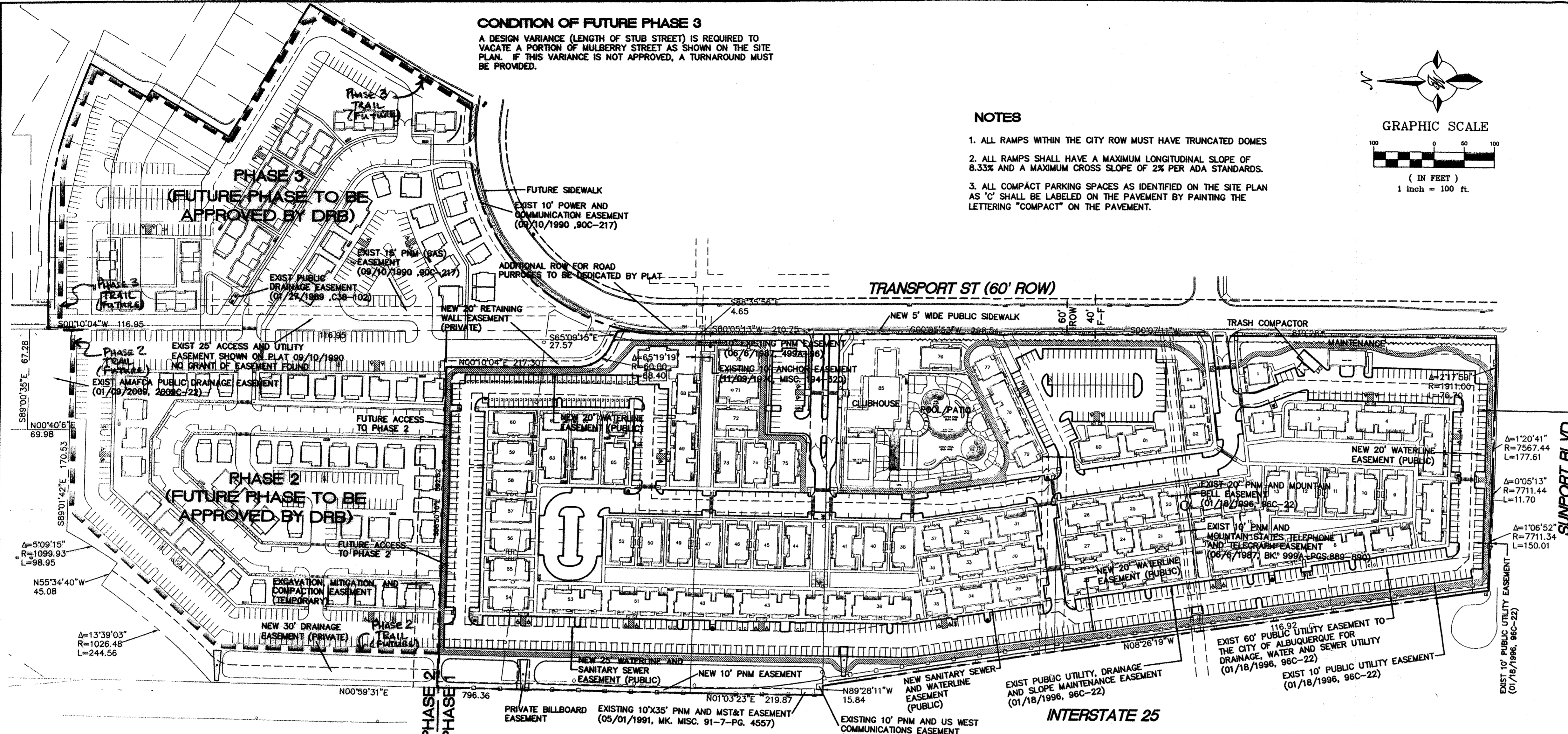
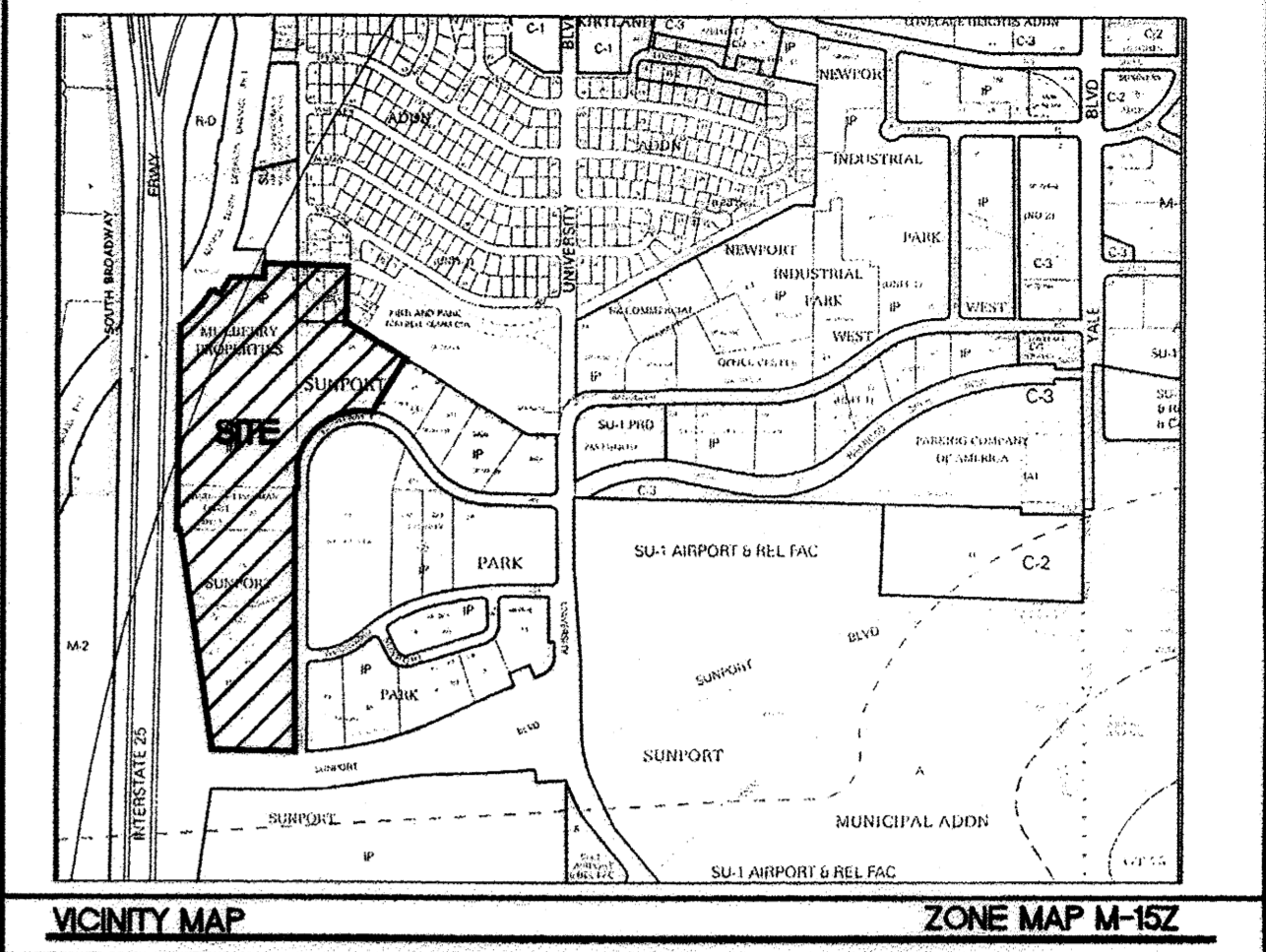
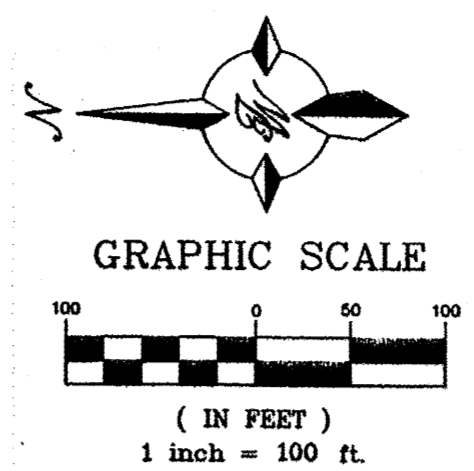
* Environmental Health, if necessary

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN FOR SUBDIVISION	DATE 6-18-13
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-SP
		SHEET # C1
		JOB # 2011064

1009090

CONDITION OF FUTURE PHASE 3
 A DESIGN VARIANCE (LENGTH OF STUB STREET) IS REQUIRED TO VACATE A PORTION OF MULBERRY STREET AS SHOWN ON THE SITE PLAN. IF THIS VARIANCE IS NOT APPROVED, A TURNAROUND MUST BE PROVIDED.

- NOTES**
1. ALL RAMPS WITHIN THE CITY ROW MUST HAVE TRUNCATED DOMES
 2. ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% AND A MAXIMUM CROSS SLOPE OF 2% PER ADA STANDARDS.
 3. ALL COMPACT PARKING SPACES AS IDENTIFIED ON THE SITE PLAN AS 'C' SHALL BE LABELED ON THE PAVEMENT BY PAINTING THE LETTERING "COMPACT" ON THE PAVEMENT.



SITE DATA
 LEGAL DESCRIPTION: LOTS 1A AND 2A, SUNPORT PARK; PARCEL 1A, SUNPORT PARK; TRACT B, MULBERRY PROPERTIES; TRACT A1, LANDS OF EISEMAN TRUST; AND LOTS 1-6 & A-F, UNIT 3, KIRTLAND ADDITION.
 ZONING (EXISTING) IP AND R-1
 ZONING (PROPOSED) N55-34'40" W 45.08
 PROPOSED USE
 STUDENT HOUSING RESIDENTIAL COTTAGES AND CLUBHOUSE
 66 SINGLE COTTAGE RESIDENCE BUILDINGS (97 DWELLING UNITS)
 47 DUPLEX COTTAGE RESIDENCE BUILDINGS (158 DWELLING UNITS)
 TOTAL 260 DWELLING UNITS
 PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS
 VEHICULAR TRAFFIC WILL ACCESS FROM FLIGHTWAY AVENUE AND TRANSPORT STREET THROUGH TWO GATED ACCESS POINTS OVER PRIVATE DRIVEWAYS. THE PUBLIC SIDEWALK ON FLIGHTWAY AVE WILL BE EXTENDED ALONG THE PROJECT FRONTAGE TO PROVIDE PEDESTRIAN ACCESS ADJACENT TO THE THREE VEHICULAR POINTS OF CONNECTION.
 INTERNAL CIRCULATION REQUIREMENTS
 PRIVATE DRIVEWAY AND PEDESTRIAN WALKS AND TRAILS WILL PROVIDE INTERNAL CIRCULATION. EXISTING LOTS WILL BE CONSOLIDATED INTO TWO PARCELS CORRESPONDING WITH THE TWO PHASES OF CONSTRUCTION, BY SEPARATE PLAT.

SITE DATA
 MINIMUM BUILDING SETBACK
 ON LOTS 1A AND 2A OF SUNPORT PARK FRONT SETBACK OF NOT LESS THAN 20' FROM THE R.O.W. LINE SIDE SETBACK OF NOT LESS THAN 10' FROM THE R.O.W. LINE REAR SETBACK OF NOT LESS THAN 10' FROM THE R.O.W. LINE
 MAXIMUM TOTAL DWELLING UNITS
 NO MAXIMUM PER IP ZONE (EXISTING), 162 DWELLING UNITS (PROPOSED)
 MAXIMUM F.A.R. (NON-RESIDENTIAL)
 0.43 F.A.R. ON LOT 1A AND 0.44 ON Lot 2A OF SUNPORT PARK
 PHASING 3 PHASES PROPOSED.
 STRUCTURE LOCATIONS
 SITE IS UNDEVELOPED AND VACANT WITH NO EXISTING STRUCTURES. PROPOSED STRUCTURES PER PLAN.
 STRUCTURE ELEVATIONS AND DIMENSIONS
 BUILDING AREA (INCLUDING 2ND STORY)
 PHASE 1 CLUBHOUSE 11,800 SF
 MAINTENANCE SHED 1440 SF

House Type	Elevation	Int SF	# of Bldgs	# Units	# Beds
2 Bed Single Family Cottage	Pumpkin	830	3	3	6
4 Bed Single Family Cottage	Beargrass	1658	8	8	32
4 Bed Single Family Cottage	Silverleaf	1656	7	7	28
5/5 Duplex Cottages Stand Alone	Scappery	3778	7	14	70
5/5 Duplex Cottages Stand Alone	Brittlesouth	3778	8	16	80
5/5 Duplex Cottages Stand Alone	Saguaro	3778	8	16	80
5/5 Duplex	Fernbush	3684	6	12	60
5/5 Duplex	Bursage	3684	7	14	70
5/5 Duplex	Buckhorn	3684	5	10	50
5/5 Duplex	Ins	3684	5	10	50
5/5 Duplex	Cliffrose	3684	5	10	50
5 Bed Townhouse	Isjoda	5340	5	15	75
5 Bed Townhouse	Yucca	5340	7	21	105
5 Bed Townhouse	Paloverde	3564	3	9	45
Project Totals		47936	84	162	786

PARKING REQUIREMENTS PHASE 1
 PARKING REQUIRED
 CLUBHOUSE 44 (ONE SPACE PER 200 SF)
 COTTAGES 786 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))
 TOTAL REQUIRED 306 SPACES
 TOTAL PROVIDED 818 SPACES
 HC PARKING REQUIRED 20 SPACES
 HC PARKING PROVIDED 22 SPACES
 TOTAL PARKING PROVIDED 818 SPACES
 MC PARKING REQUIRED 8 SPACES
 MC PARKING PROVIDED 10 SPACES
 BICYCLE PARKING REQUIRED 136 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
 BICYCLE PARKING PROVIDED 140 SPACES
 LOADING FACILITIES NONE REQUIRED OR PROPOSED.
 STRUCTURE ELEVATIONS AND DIMENSIONS
 BUILDING AREA (INCLUDING 2ND STORY)
 PHASE 2 72,336 SF
 PHASE 3 76,206 SF

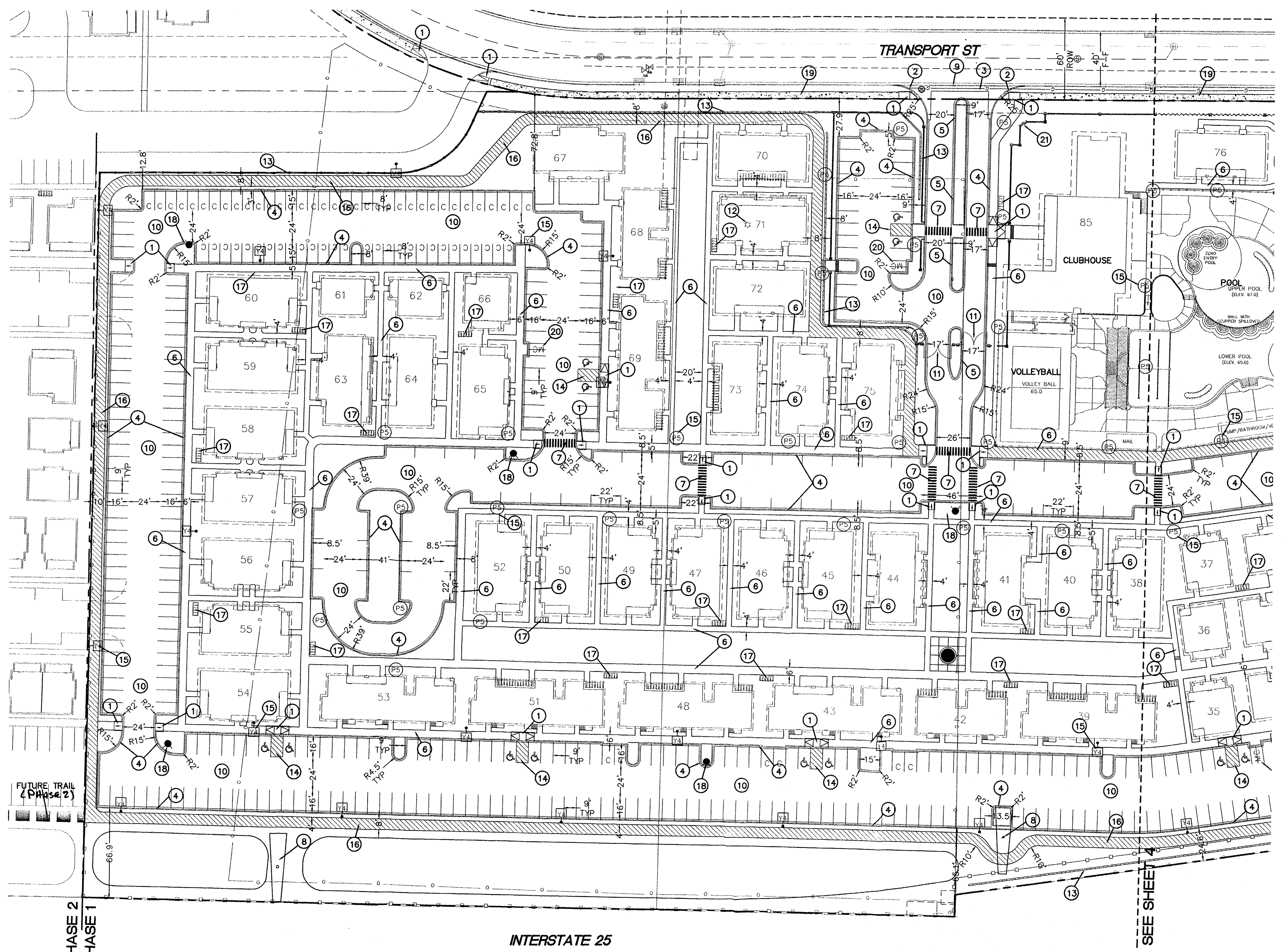
PARKING REQUIREMENTS PHASE 2
 PARKING REQUIRED
 COTTAGES 180 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))
 TOTAL REQUIRED 60 SPACES
 TOTAL PROVIDED 342 SPACES
 HC PARKING REQUIRED 8 SPACES (FOR 301 TO 400)
 HC PARKING PROVIDED 12 SPACES
 TOTAL PARKING PROVIDED 354 SPACES
 MC PARKING REQUIRED 6 SPACES
 MC PARKING PROVIDED 10 SPACES
 BICYCLE PARKING REQUIRED 30 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
 BICYCLE PARKING PROVIDED 30 SPACES
 LOADING FACILITIES NONE REQUIRED OR PROPOSED.
 STRUCTURE ELEVATIONS AND DIMENSIONS
 BUILDING AREA (INCLUDING 2ND STORY)
 PHASE 2 72,336 SF
 PHASE 3 76,206 SF

PARKING REQUIREMENTS PHASE 3
 PARKING REQUIRED
 COTTAGES 203 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))
 TOTAL REQUIRED 68 SPACES
 TOTAL PROVIDED 218 SPACES
 HC PARKING REQUIRED 7 SPACES (FOR 201 TO 300)
 HC PARKING PROVIDED 8 SPACES
 TOTAL PARKING PROVIDED 226 SPACES
 MC PARKING REQUIRED 5 SPACES
 MC PARKING PROVIDED 8 SPACES
 BICYCLE PARKING REQUIRED 34 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
 BICYCLE PARKING PROVIDED 35 SPACES
 LOADING FACILITIES NONE REQUIRED OR PROPOSED.
 STRUCTURE ELEVATIONS AND DIMENSIONS
 BUILDING AREA (INCLUDING 2ND STORY)
 PHASE 3 76,206 SF

PROJECT NUMBER: 1009090
APPLICATION NUMBER: 19 EPC-210093
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 11-29-12, and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: 7-10-13
 Traffic Engineer, Transportation Division Date
 Allen Pota 07/10/13
 Water Utility Department Date
 Carol S. Dumont 7-10-13
 Parks & Recreation Department Date
 Anta C. Chan 9-27-13
 City Engineer Date
 Environmental Health Department (conditional) Date
 Solid Waste Management Date
 DRB Chairperson, Planning Department Date
 Environmental Health, if necessary

MAXIMUM BUILDING HEIGHT
 4 STORIES ON LOTS 1A AND 2A OF SUNPORT PARK. OTHER AREAS UNLESS MODIFIED BY EPC 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 28 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGE WAY RIGHT-OF-WAY CENTERLINE, TO PROTECT SOLAR ACCESS. A STRUCTURE OVER 28 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.
 PROPOSED MAX BUILDING HEIGHT 30' TO RIDGE-LINE (COTTAGES), 45' TO RIDGELINE (CLUBHOUSE)

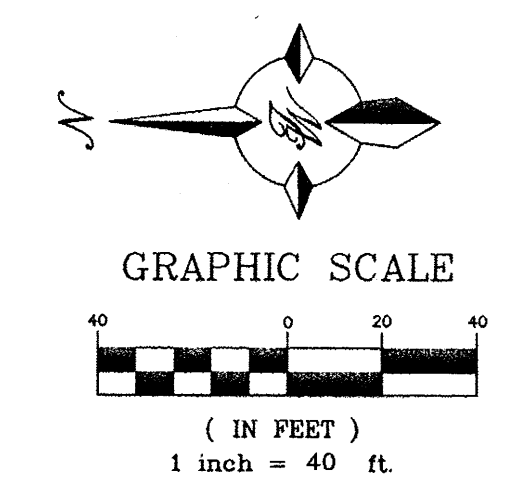
ENGINEER'S SEAL
 CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM
 PHASE 1-SITE PLAN FOR BUILDING PERMIT
 SHEET # C2
 JOB # 2011064
 TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com
 RONALD R. BOHANNAN P.E. #7868



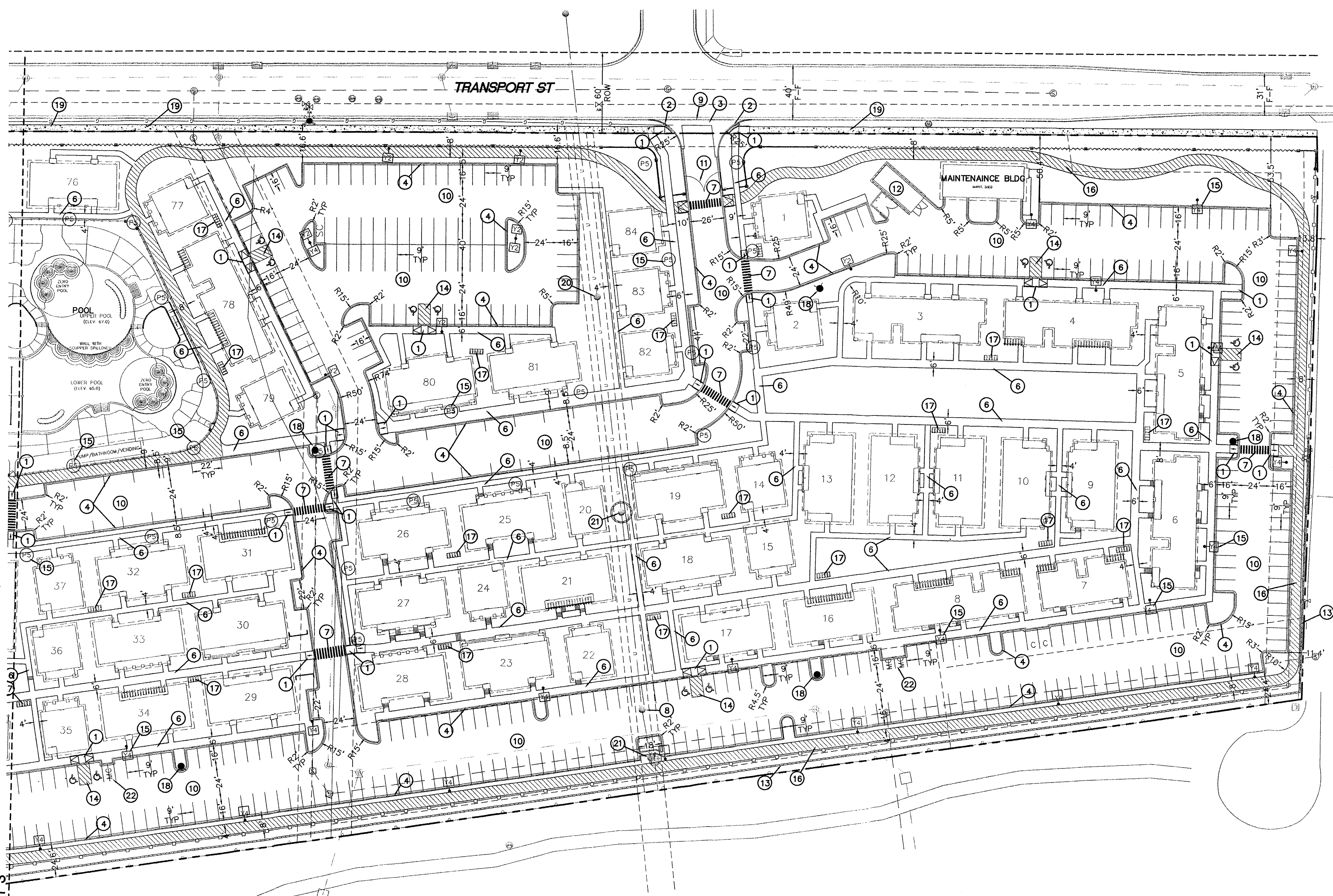
LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	8' MULTIUSE TRAIL
	SITE LIGHTING
	6' BLACK POLY COATED CHAIN LINK FENCE, SEE DETAIL SHEET C12
	'MACKINAW' WOOD FENCE SEE DETAIL SHEET C12
	FREE STANDING MASONRY WALL (4' HIGH AVERAGE) SEE DETAIL SHEET C12
	RAILING ON TOP OF CONC RETAINING WALL, SEE DETAIL SHEET C12

- KEYED NOTES**
- ① BARRIER FREE CURB (RAMP) PER ADA STANDARDS
 - ② 8" STD CURB AND GUTTER PER COA STD DWG 2415A
 - ③ 6" VALLEY GUTTER PER COA STD DWG 2420
 - ④ 6" STD CURB AND GUTTER PER COA STD DWG 2415A
 - ⑤ MOUNTABLE MEDIAN CURB PER COA STD DWG 2415B
 - ⑥ CONCRETE SIDEWALK SEE PLAN FOR SIZE, PER ARCHITECTS PLAN
 - ⑦ PEDESTRIAN CROSSWALK, 6' MIN
 - ⑧ EXISTING BILLBOARD TO REMAIN
 - ⑨ REMOVE AND DISPOSE 104 LF EXIST CURB
 - ⑩ NEW ASPHALT PAVING
 - ⑪ GATE, SEE ARCHITECTS PLAN FOR DETAILS
 - ⑫ EXIST LIGHT POLE TO BE REMOVED
 - ⑬ RETAINING WALL, SEE GRADING PLAN FOR HEIGHTS
 - ⑭ ACCESSIBLE PARKING PER ADA SPECIFICATIONS
 - ⑮ SITE LIGHTING (TYP)
 - ⑯ 8' MULTIUSE TRAIL (CRUSHED FINES)
 - ⑰ BYCICLE RACK (TYP)
 - ⑱ FIRE HYDRANT
 - ⑲ 5' SIDEWALK PER COA STD DWG 2430
 - ⑳ MOTORCYCLE SPACES W/SIGN
 - ㉑ ENTRANCE MONUMENT SIGN, SEE DETAIL SHEET C12



ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
	PHASE 1-SITE PLAN DETAIL	DATE 8-28-13
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-SP
		SHEET # C3
		JOB # 2011064



LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- 8' MULTIUSE TRAIL
- SITE LIGHTING
- 6' BLACK POLY COATED CHAIN LINK FENCE, SEE DETAIL SHEET C12
- 'MACKINAW' WOOD FENCE SEE DETAIL SHEET C12
- FREE STANDING MASONRY WALL (4' HIGH AVERAGE) SEE DETAIL SHEET C12
- RAILING ON TOP OF CONC RETAINING WALL, SEE DETAIL SHEET C12

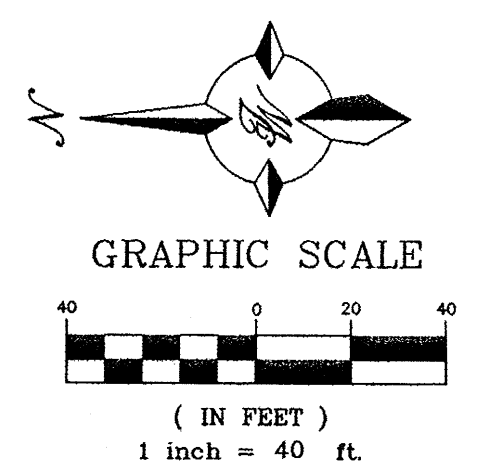
KEYED NOTES

- 1 BARRIER FREE CURB (RAMP) PER ADA STANDARDS
- 2 8" STD CURB AND GUTTER PER COA STD DWG 2415A
- 3 6" VALLEY GUTTER PER COA STD DWG 2420
- 4 6" STD CURB AND GUTTER PER COA STD DWG 2415A
- 5 MOUNTABLE MEDIAN CURB PER COA STD DWG 2415B
- 6 CONCRETE SIDEWALK SEE PLAN FOR SIZE, PER ARCHITECTS PLAN
- 7 PEDESTRIAN CROSSWALK, 6' MIN
- 8 EXIST POWERPOLE TO BE RELOCATED
- 9 REMOVE AND DISPOSE 105 LF EXIST CURB
- 10 NEW ASPHALT PAVING
- 11 GATE, SEE ARCHITECTS PLAN FOR DETAILS
- 12 TRASH COMPACTOR/DUMPSTER/RECYCLE WITH SCREEN WALL
- 13 RETAINING WALL, SEE GRADING PLAN FOR HEIGHTS
- 14 ACCESSIBLE PARKING PER ADA SPECIFICATIONS
- 15 SITE LIGHTING (TYP)
- 16 8' MULTIUSE TRAIL (CRUSHED FINES)
- 17 BYCICLE RACK (TYP)
- 18 FIRE HYDRANT
- 19 5' SIDEWALK PER COA STD DWG 2430
- 20 EXIST POWER POLE TO BE ADJUSTED VERTICALLY BY PNM
- 21 EXIST TRANSMISSION POLE TO REMAIN (NO ADJUSTMENT)
- 22 MOTORCYCLE SPACES W/SIGN

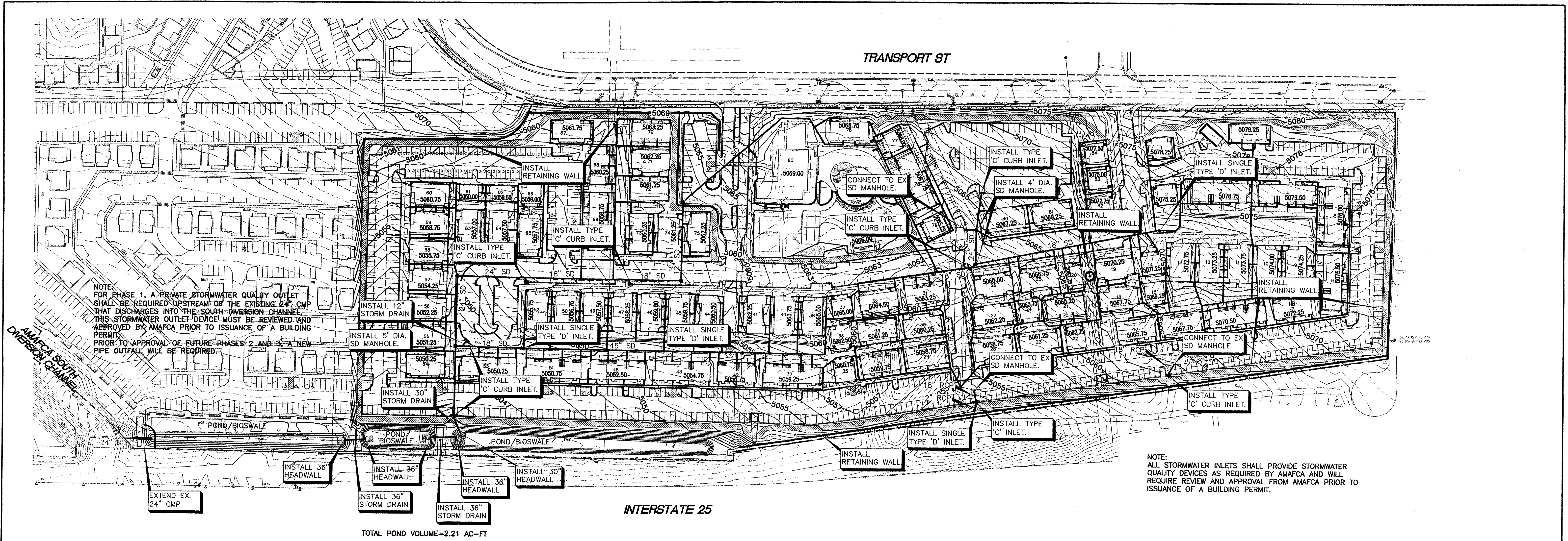
SUNPORT BLVD

SEE SHEET 3

INTERSTATE 25



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM PHASE 1-SITE PLAN DETAIL TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY SH DATE 8-28-13 DRAWING 2011064-SP SHEET # C4 JOB # 2011064
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NOTE:
 FOR PHASE 1, A PRIVATE STORMWATER QUALITY OUTLET SHALL BE REQUIRED UPSTREAM OF THE EXISTING 24" CMP THAT DISCHARGES INTO THE SOUTH DIVERSION CHANNEL. THIS STORMWATER OUTLET DEVICE MUST BE REVIEWED AND APPROVED BY AMAFCA PRIOR TO ISSUANCE OF A BUILDING PERMIT. PRIOR TO APPROVAL OF FUTURE PHASES 2 AND 3, A NEW PIPE OUTFALL WILL BE REQUIRED.

NOTE:
 ALL STORMWATER INLETS SHALL PROVIDE STORMWATER QUALITY DEVICES AS REQUIRED BY AMAFCA AND WILL REQUIRE REVIEW AND APPROVAL FROM AMAFCA PRIOR TO ISSUANCE OF A BUILDING PERMIT.

TOTAL POND VOLUME=2.21 AC-FT

EROSION CONTROL NOTES:

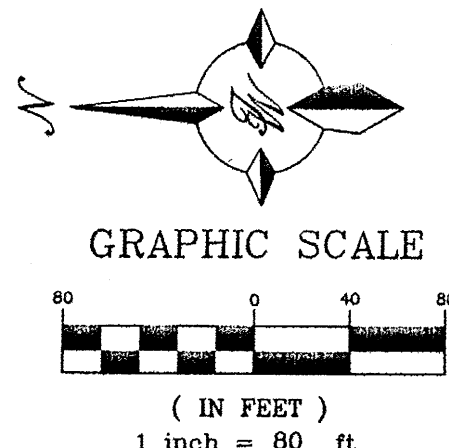
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTICE TO CONTRACTORS

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
4. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
5. SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JANUARY 11, 2012.
6. STORM WATER RUNOFF WILL BE PASSIVELY HARVESTED ALONG THE WEST, SOUTH AND EAST PROPERTY LINES WITHIN LANDSCAPED AREAS IN COMPLIANCE WITH WATER CONSERVATION ORDINANCE REQUIREMENTS.

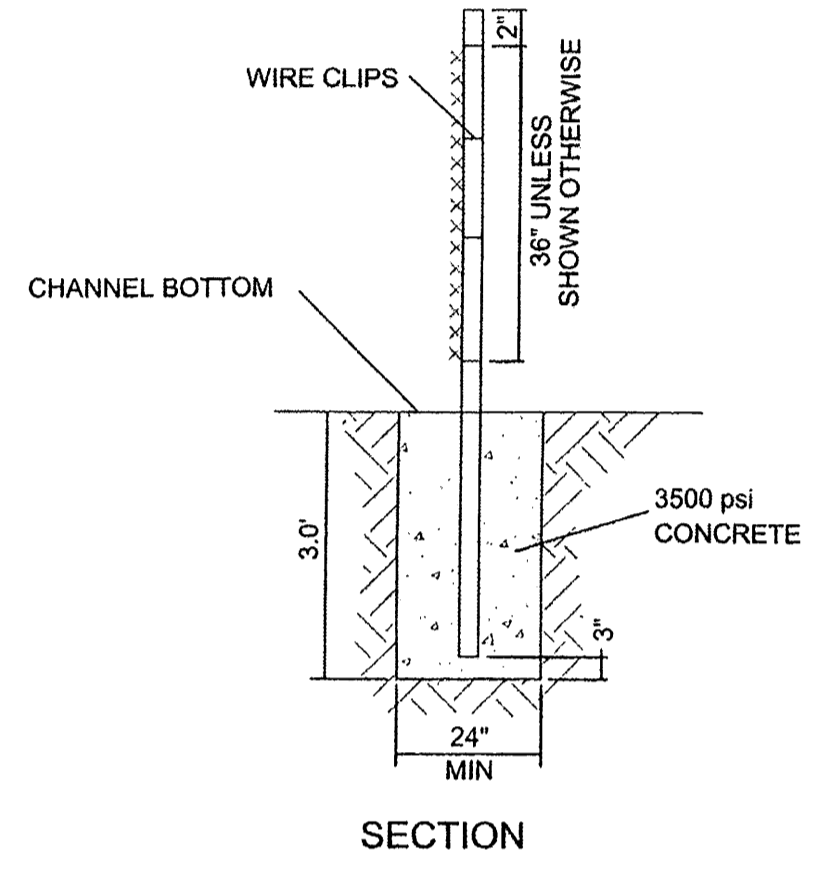
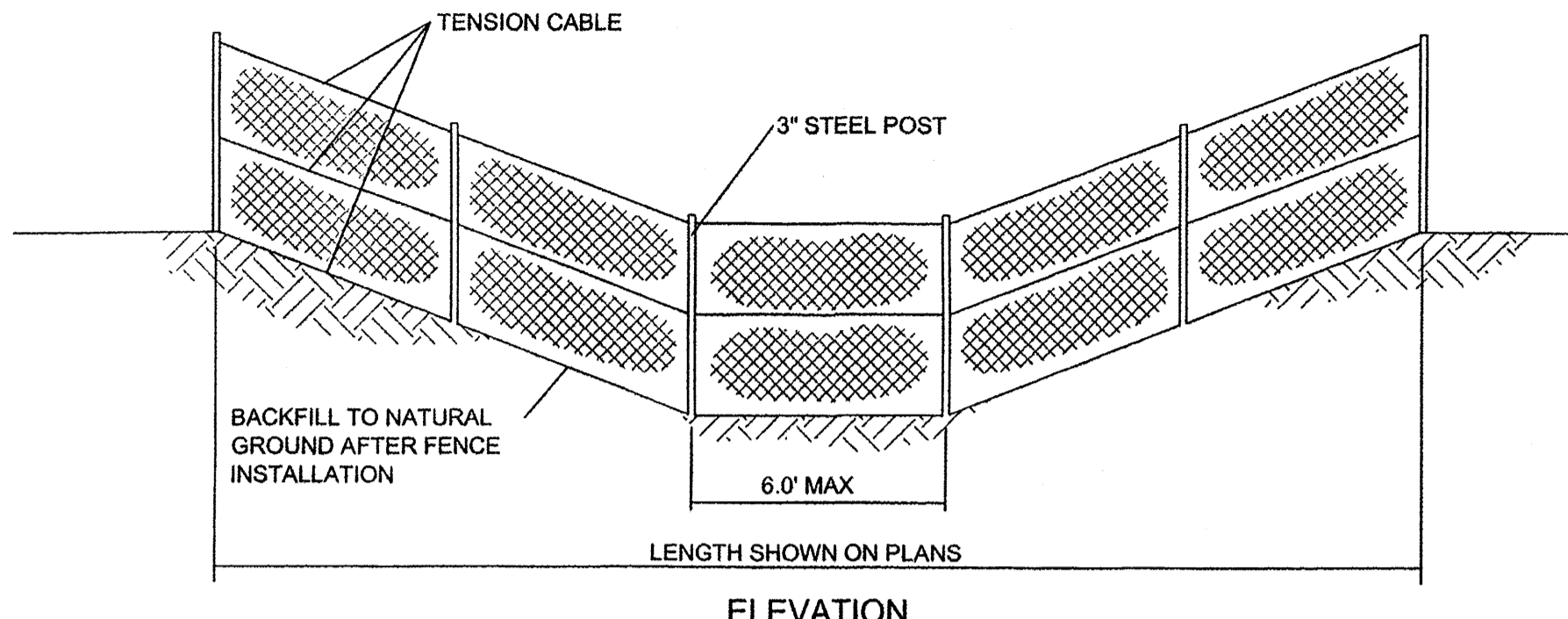
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- ▬ SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- ∞ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊕ EXISTING SAS MANHOLE
- ⊗ EXISTING FIRE HYDRANT
- ⊠ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊕ EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- - - EX. 8" SAS - - - EXISTING SANITARY SEWER LINE
- - - EX. WL - - - EXISTING WATER LINE
- - - EX. RCP - - - EXISTING STORM SEWER LINE
- - - 4900 - - - EXISTING INDEX CONTOUR
- - - EXISTING CONTOUR



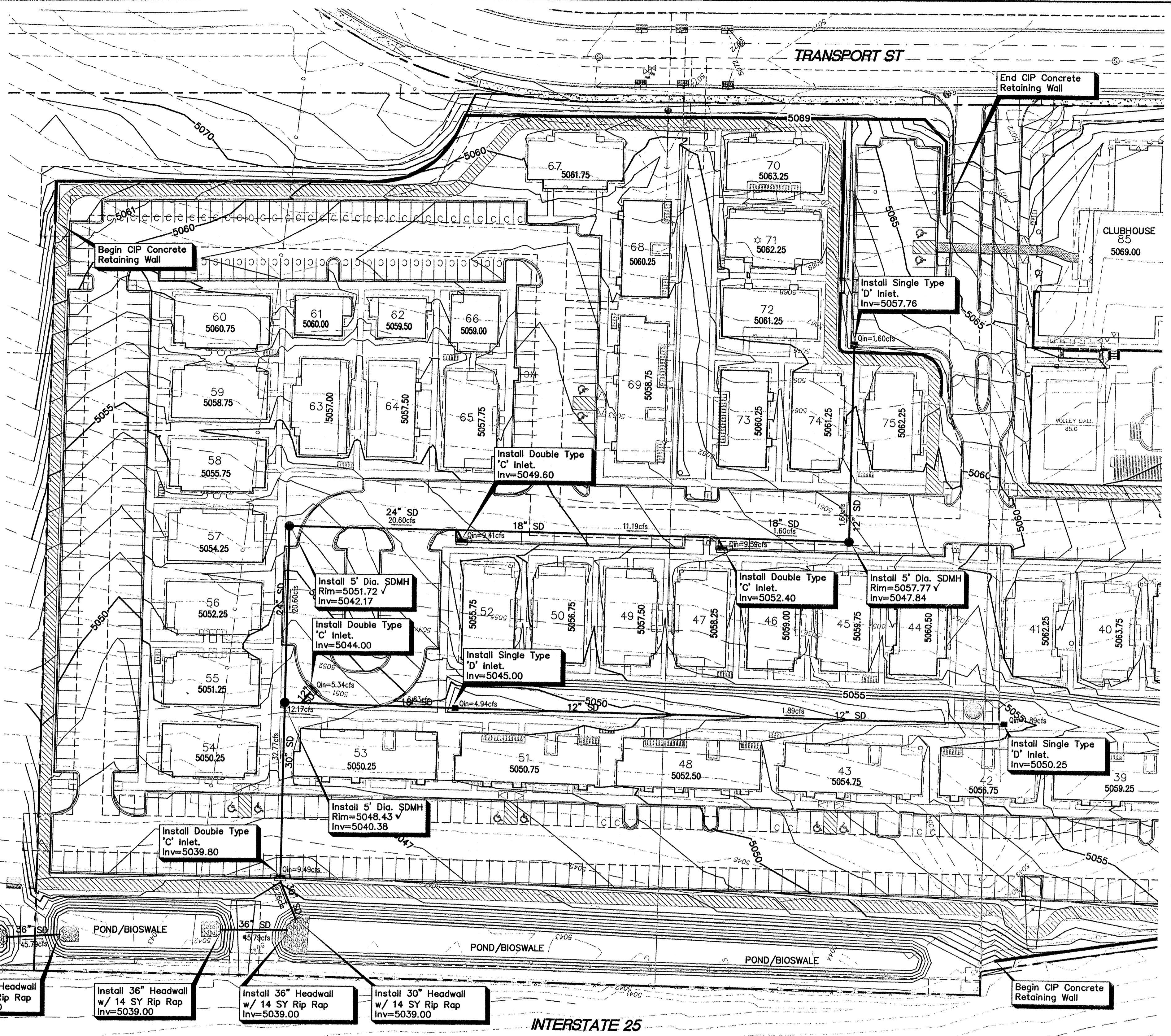
CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL 	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
	OVERALL GRADING PLAN	DATE 8-28-13
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011064-GR
		SHEET # C5
		JOB # 2011064



DEBRIS FENCE DETAIL
NTS

- NOTES**
1. FENCE FABRIC SHALL BE 2" MESH 9 GAGE GALVANIZED WIRE, CHAINLIKE PLACED ON THE UPSTREAM SIDE OF THE POSTS AND TENSION CABLES
 2. TENSION CABLE SHALL BE 5/16" DIA STEEL AT 18" C/C SECURED AT ENDS WITH CLAMPS. SECURE FENCE TO CABLE WITH NO 12 GALVANIZED STEEL WIRE LOOPED AT 6" C/C
 3. POSTS SHALL BE 3" DIA STEEL PIPE, 5.79 LB/FT. FILL MORTAR AFTER PLACING
 4. FENCE FABRIC SHALL BE SECURED TO POSTS WITH 9 GAGE WIRE CLIPS AT 9" C/C

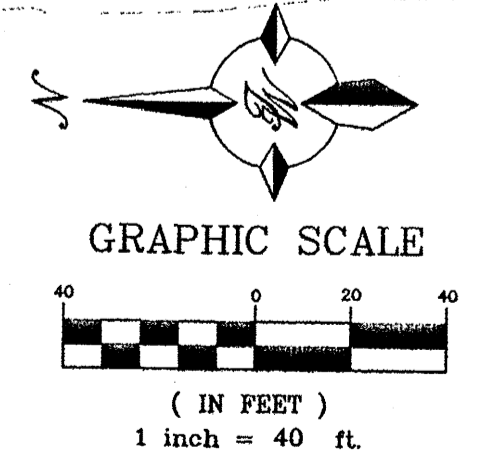


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTICE TO CONTRACTORS

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
4. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
5. SOURCE OF TOPO IS ALTA/ACSM LAND TITLE SURVEY OF LOT 2 HARMS INDUSTRIAL PARK PREPARED BY PRECISION SURVEYS, INC DATED JANUARY 11, 2012.
6. STORM WATER RUNOFF WILL BE PASSIVELY HARVESTED ALONG THE WEST, SOUTH AND EAST PROPERTY LINES WITHIN LANDSCAPED AREAS IN COMPLIANCE WITH WATER CONSERVATION ORDINANCE REQUIREMENTS.



CAUTION:
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<p>JEFFREY T. WOOTEN P.E. #16892</p>	<p>CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM</p>	<p>DRAWN BY SH</p>
	<p>GRADING PLAN Sheet 1</p>	<p>DATE 8-28-13</p>
<p>TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>		<p>DRAWING 2011064-GR</p>
		<p>SHEET # C5A</p>
		<p>JOB # 2011064</p>

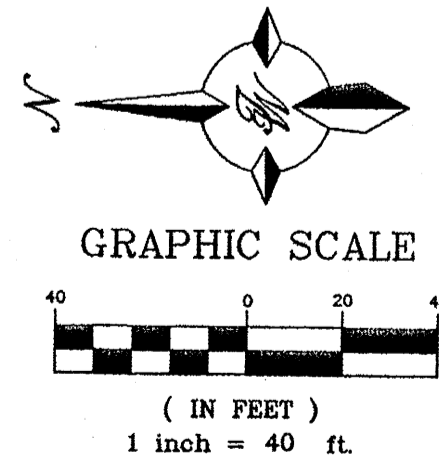
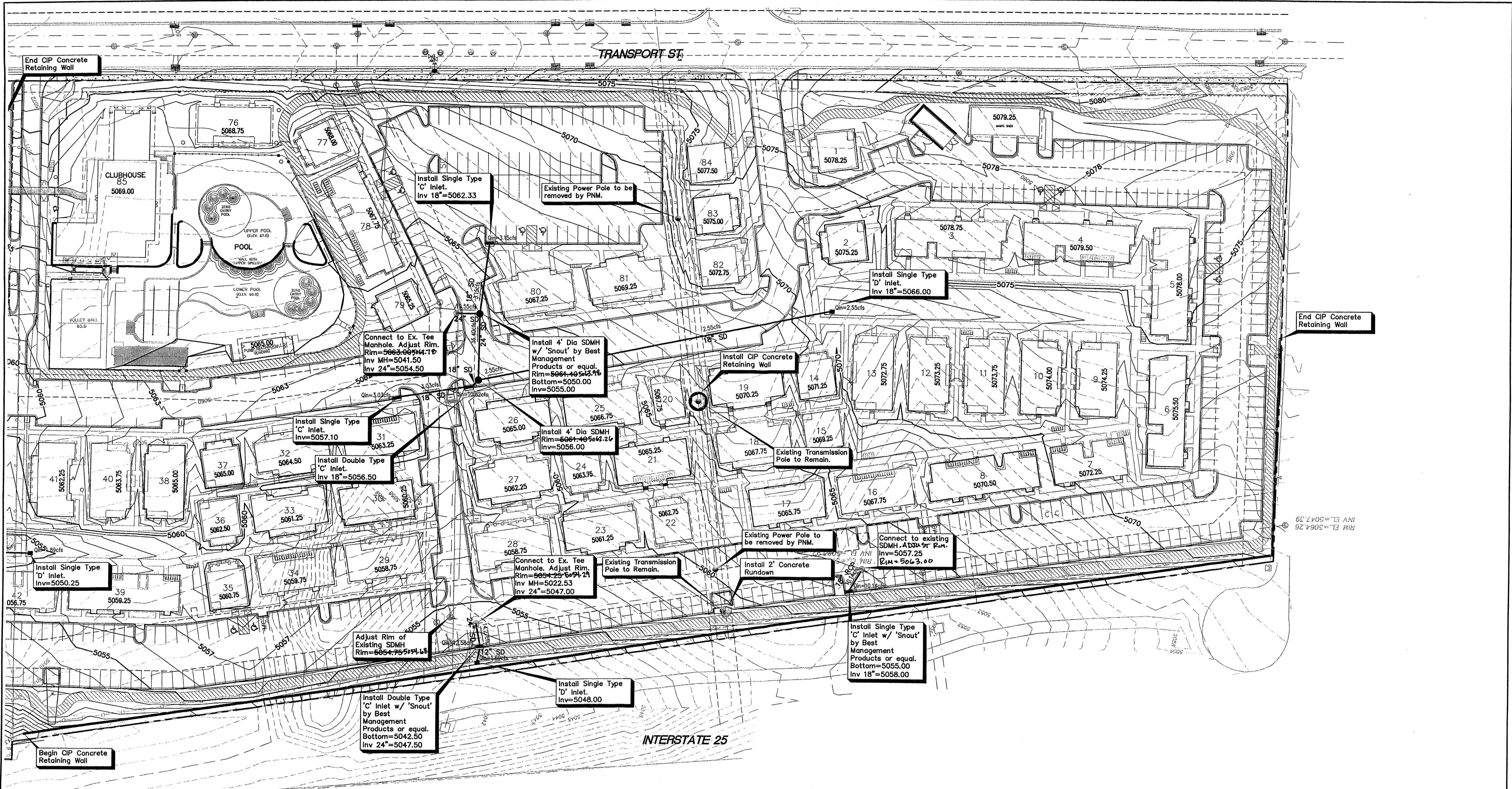
TRANSPORT ST.

INTERSTATE 25

End CIP Concrete Retaining Wall

End CIP Concrete Retaining Wall

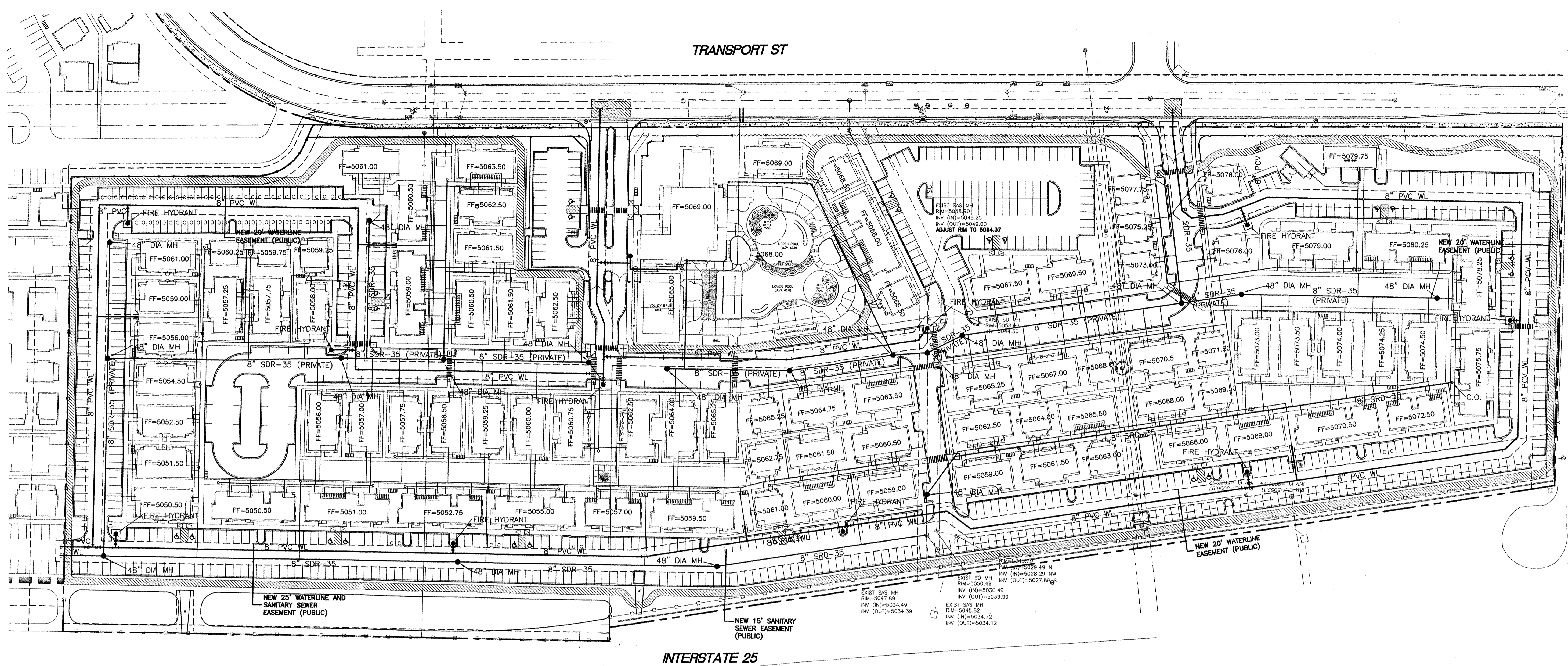
Begin CIP Concrete Retaining Wall



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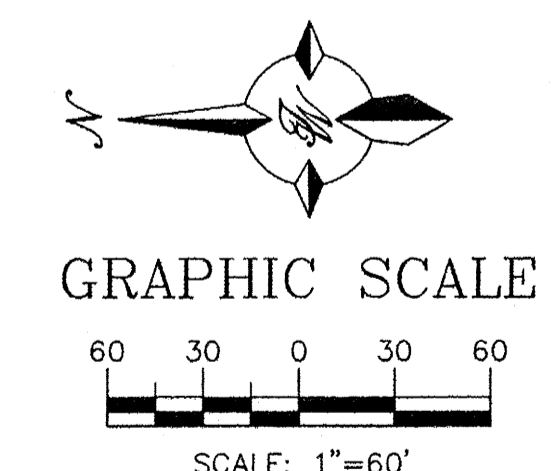
	ENGINEER'S SEAL CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
	GRADING PLAN Sheet 2	DATE 8-28-13
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-GR
JEFFREY T. WOOTEN P.E. #16892	SHEET # C5B	JOB # 2011064

TRANSPORT ST



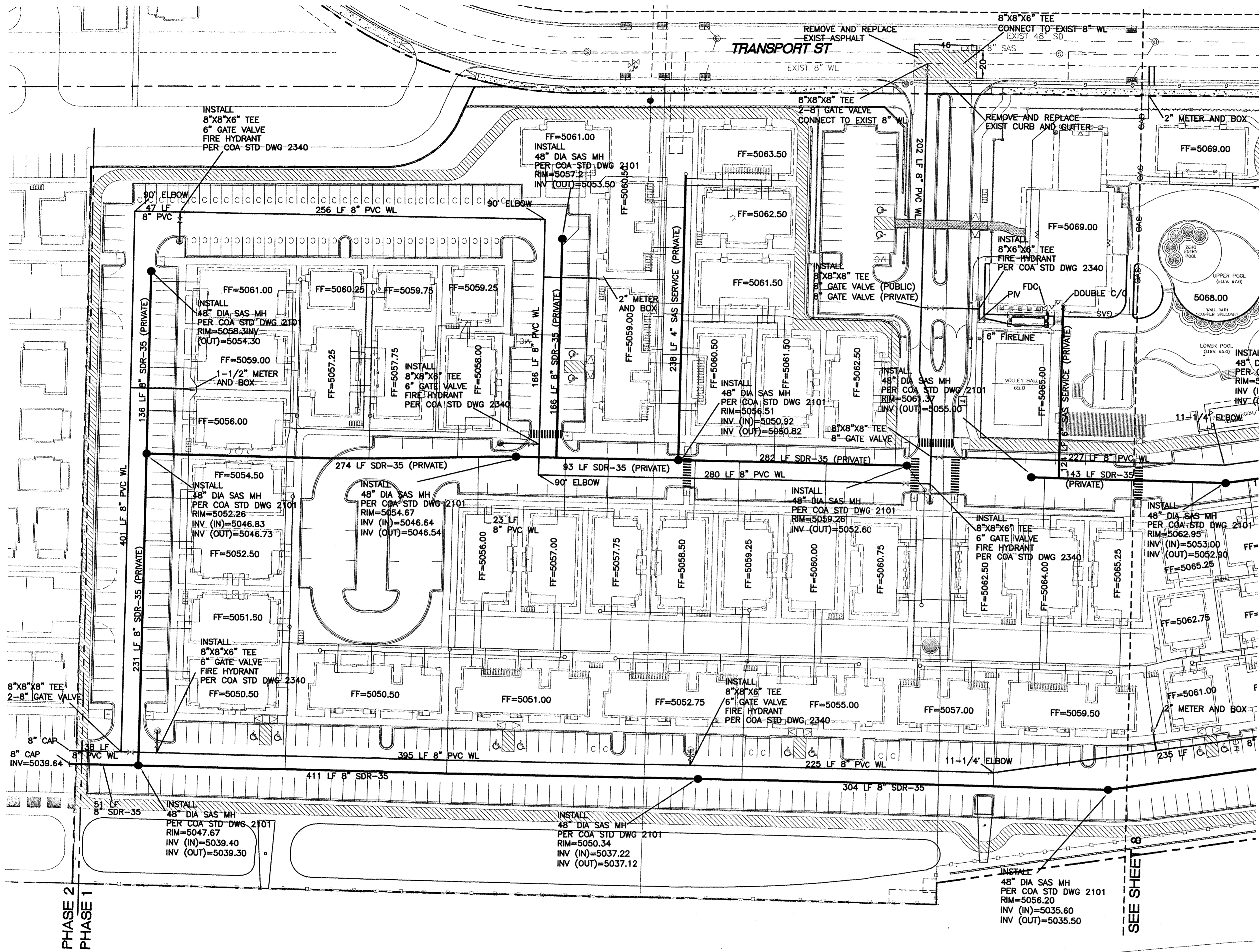
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EXISTING 8" SAS
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- SAWCUT LINE
- PROPOSED METER
- PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- PROPOSED SAS MANHOLE



CAUTION:
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 PRELIMINARY ONLY	ENGINEER'S SEAL CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
	OVERALL UTILITY PLAN	DATE 8-28-13
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-MU
		SHEET # C6
RONALD R. BOHANNAN P.E. #7868		JOB # 2011064

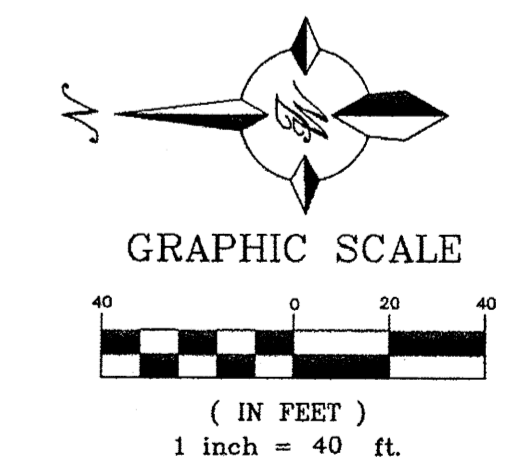


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- ⊗ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EX. 8" SAS
- EX. WL
- EX. RCP
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- SAWCUT LINE
- ⊙ PROPOSED METER
- ⊙ PROPOSED VALVE W/BOX
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED SAS MANHOLE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWUA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER'S EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



INTERSTATE 25

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ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
	MASTER UTILITY PLAN	DATE 8-28-13
PRELIMINARY ONLY	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-MU
		SHEET # C7
		JOB # 2011064

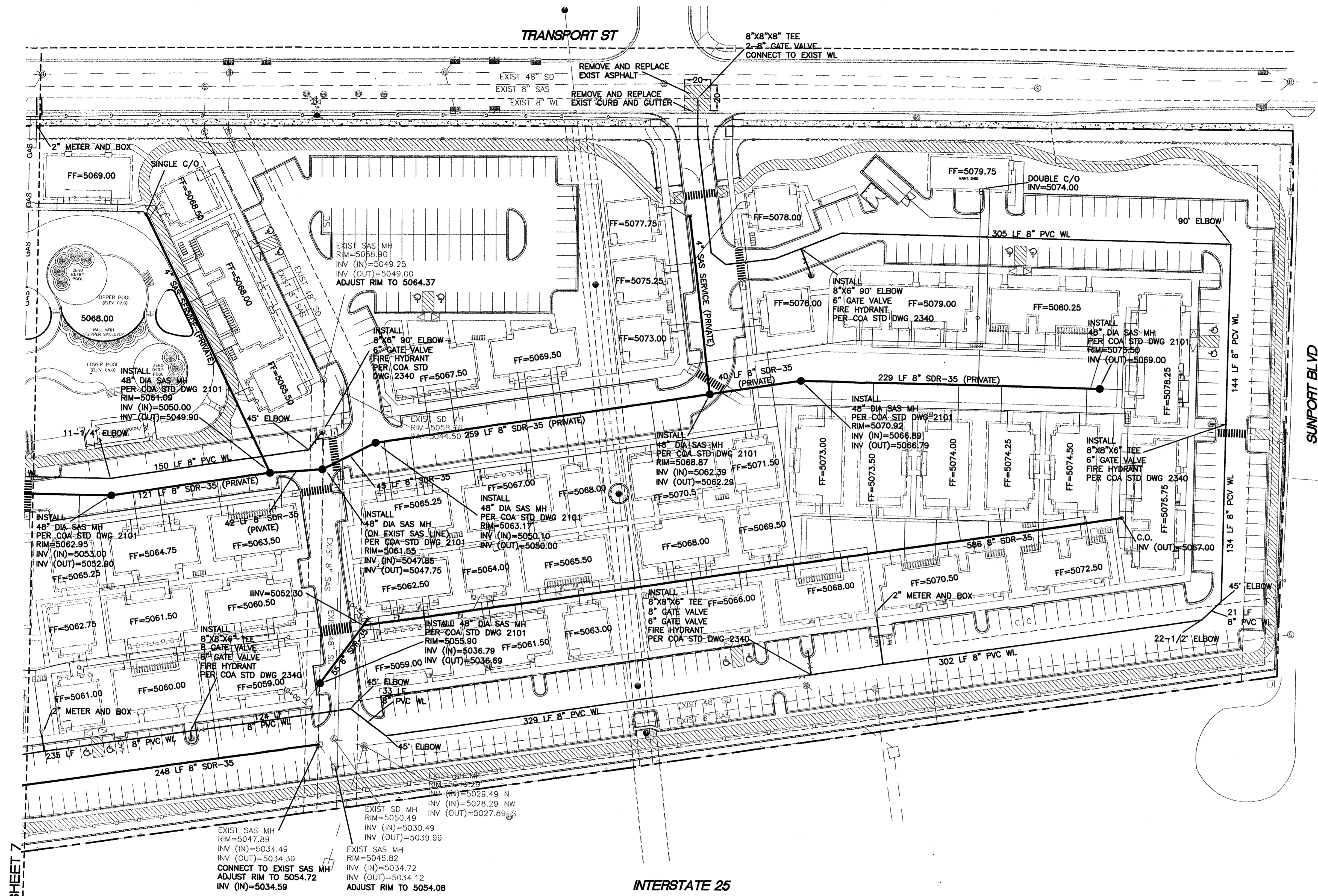
TRANSPORT ST

8"x8"x6" TEE
2" 8" GATE VALVE
CONNECT TO EXIST WL

REMOVE AND REPLACE
EXIST ASPHALT
EXIST 8" SAS
REMOVE AND REPLACE
EXIST CURB AND GUTTER

LEGEND

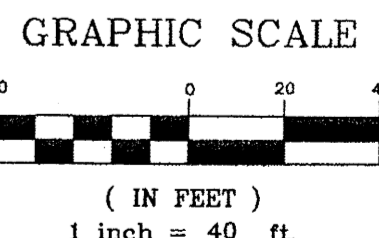
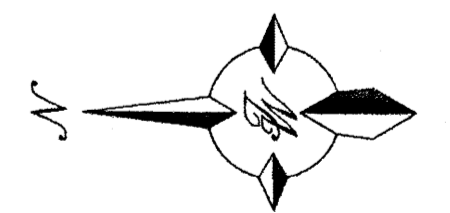
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- SIDEWALK
- EXISTING CURB & GUTTER
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
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- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. WL — EXISTING WATER LINE
- EX. RCP — EXISTING STORM SEWER LINE
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- SAWCUT LINE
- PROPOSED METER
- PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- PROPOSED SAS MANHOLE



SUNPORT BLVD

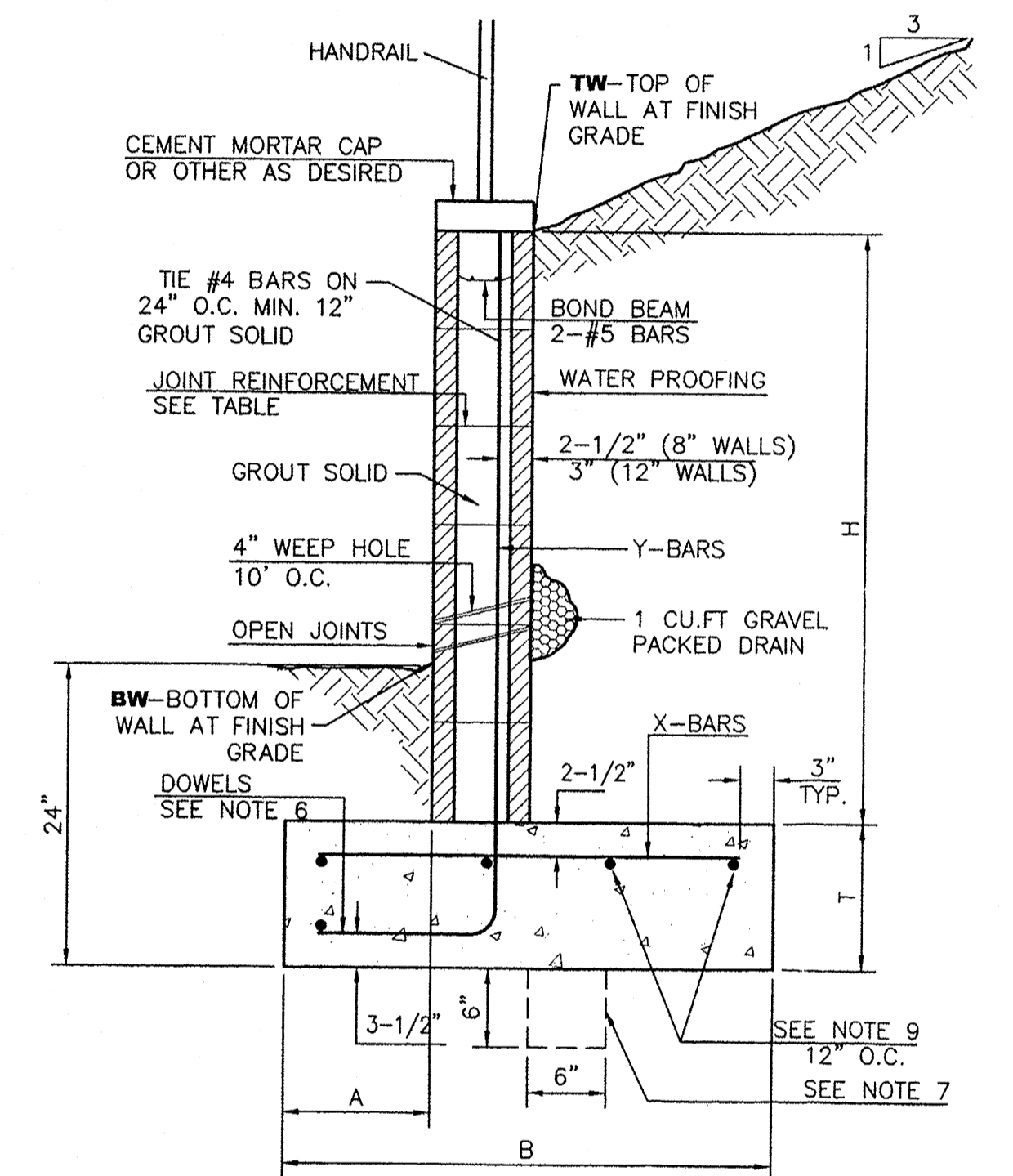
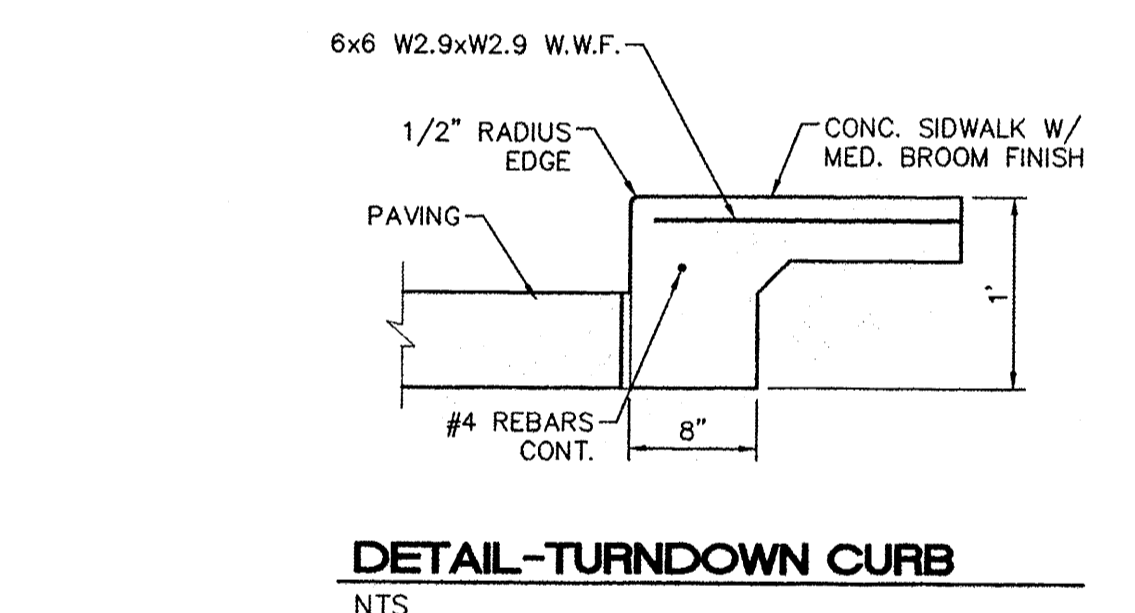
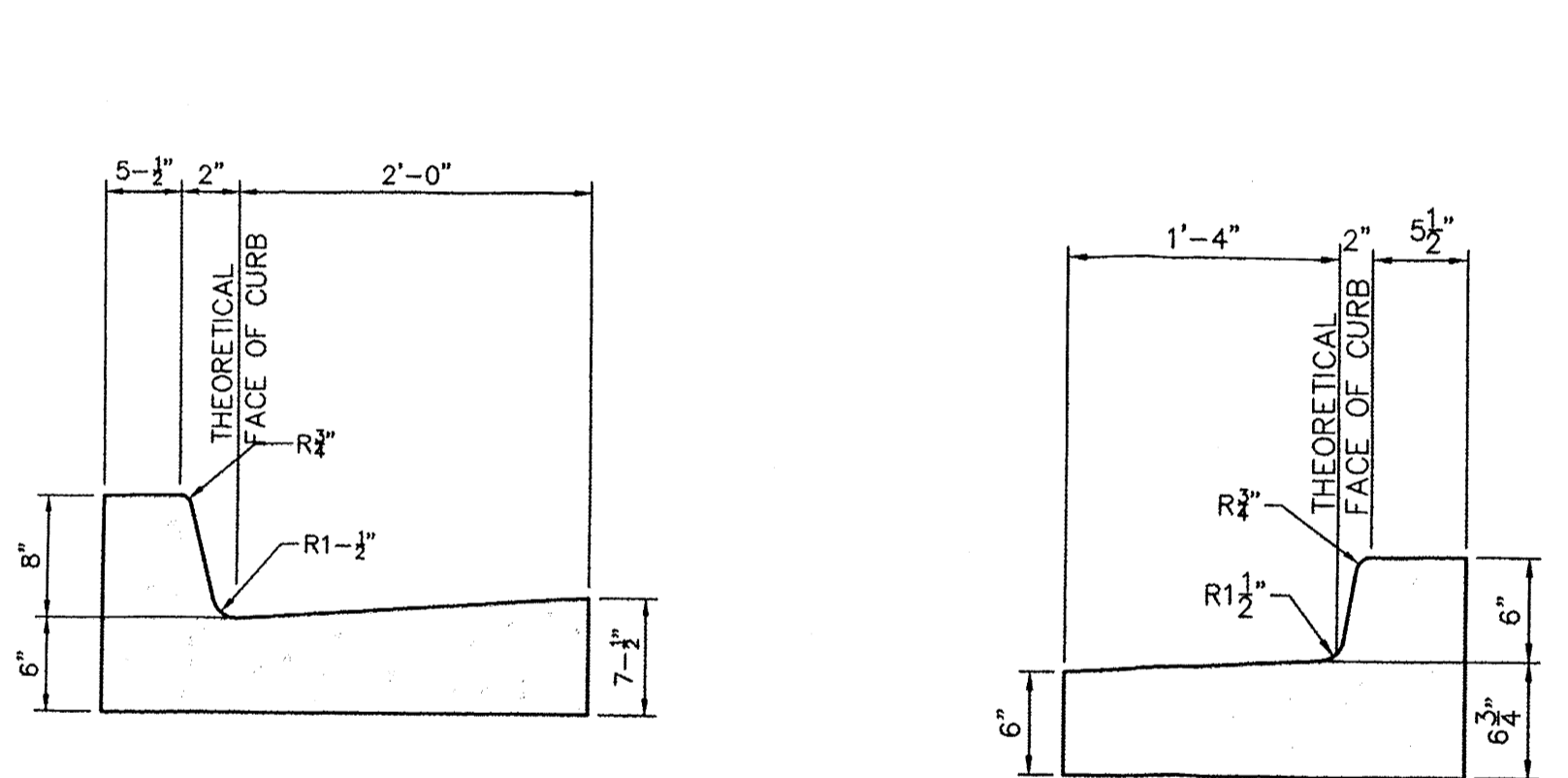
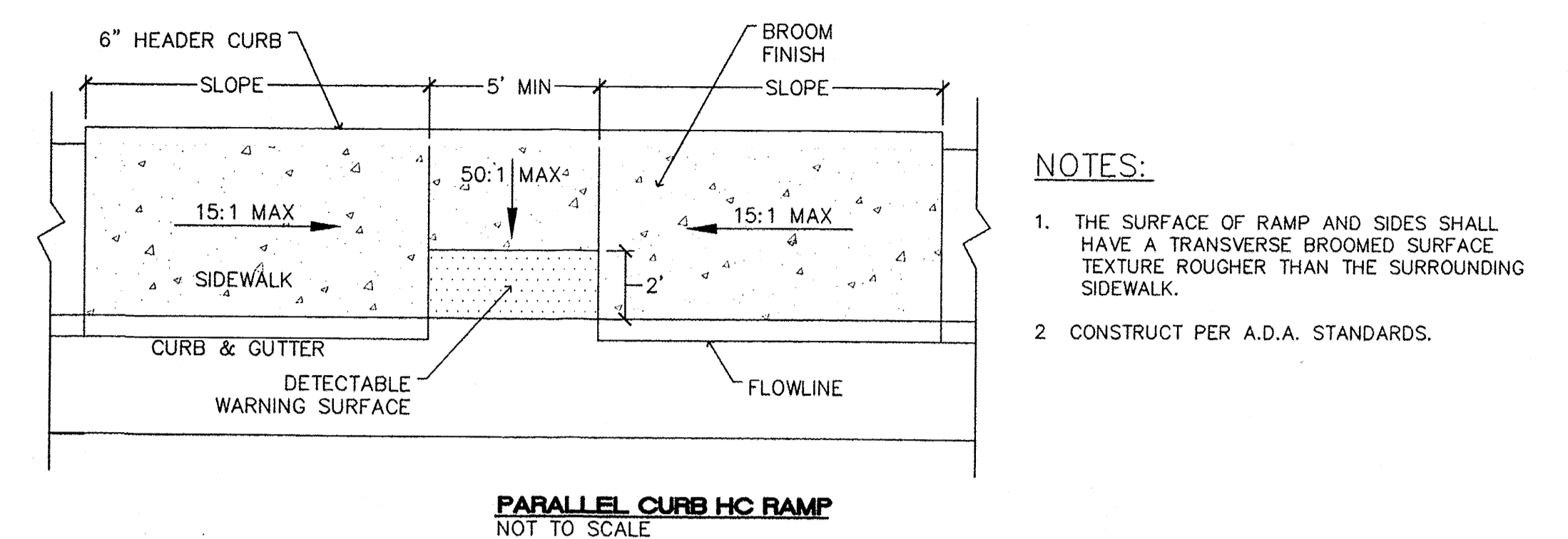
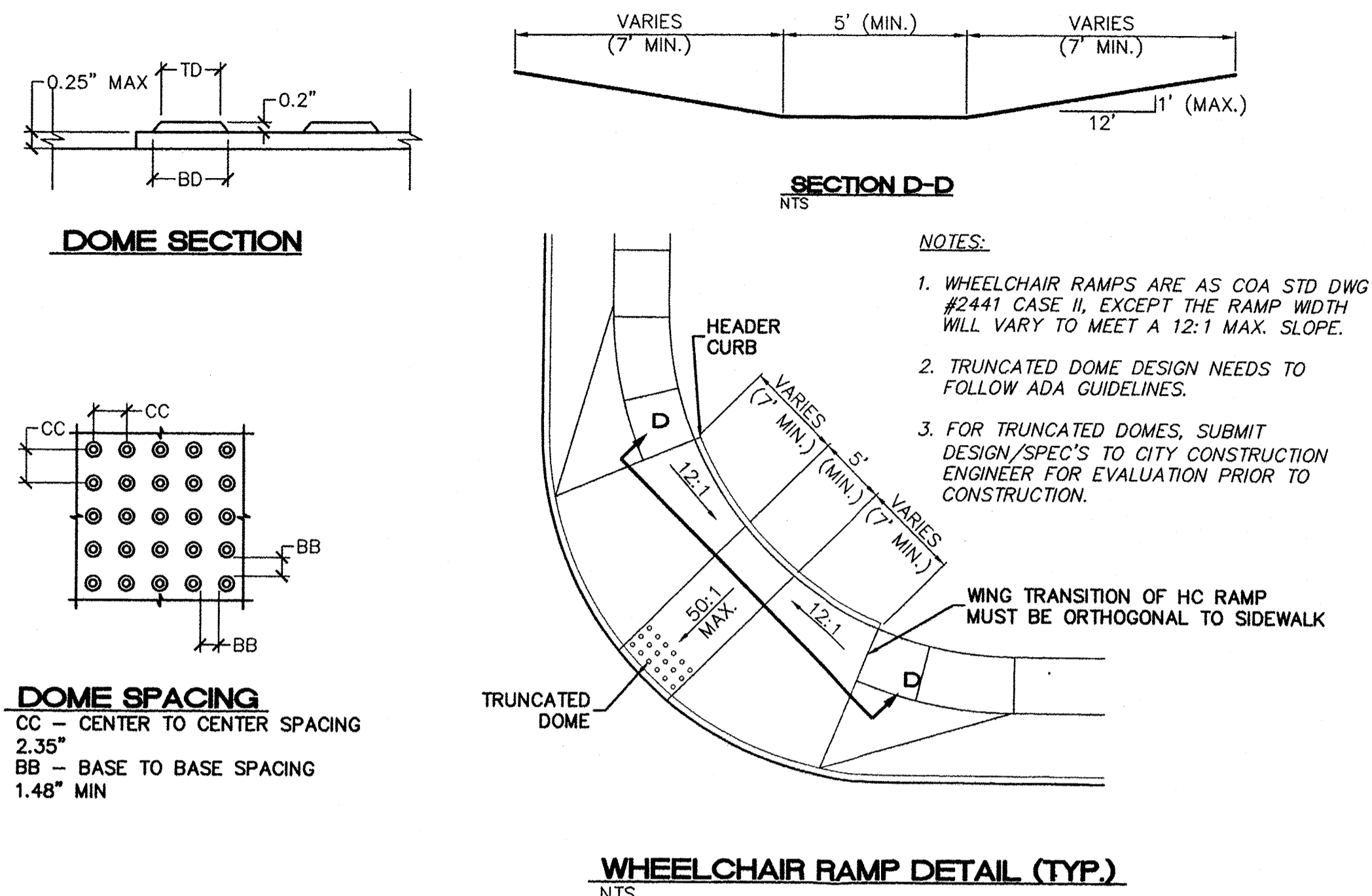
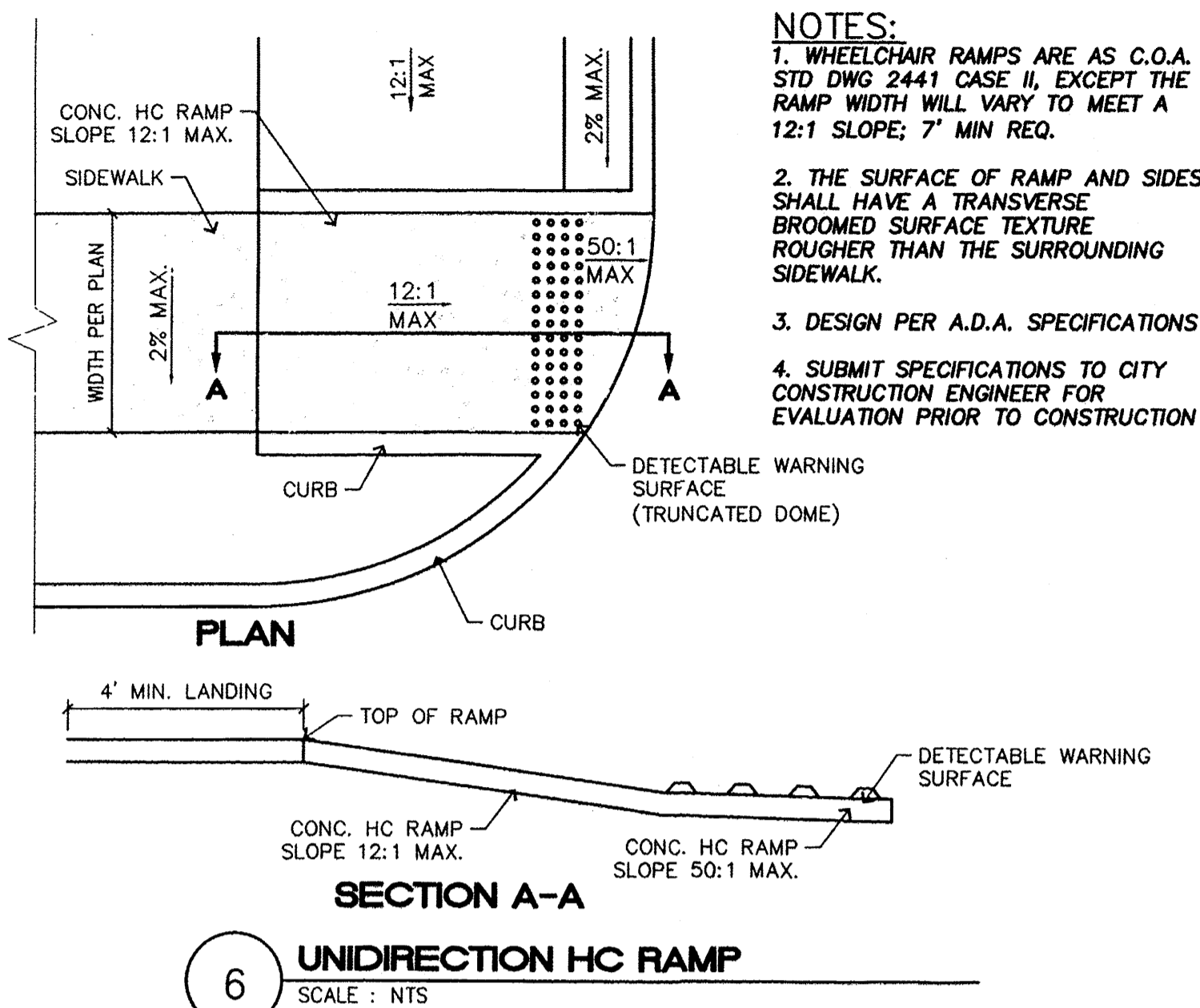
SEE SHEET 7

INTERSTATE 25



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PRELIMINARY ONLY	ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
		MASTER UTILITY PLAN	DATE 8-28-13
			DRAWING 2011064-MU
			SHEET # C8
			JOB # 2011064
		TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	



8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.
9'-4"	22"	6'-2"	12"	#7 @8" O.C.	#6 @10" O.C.

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

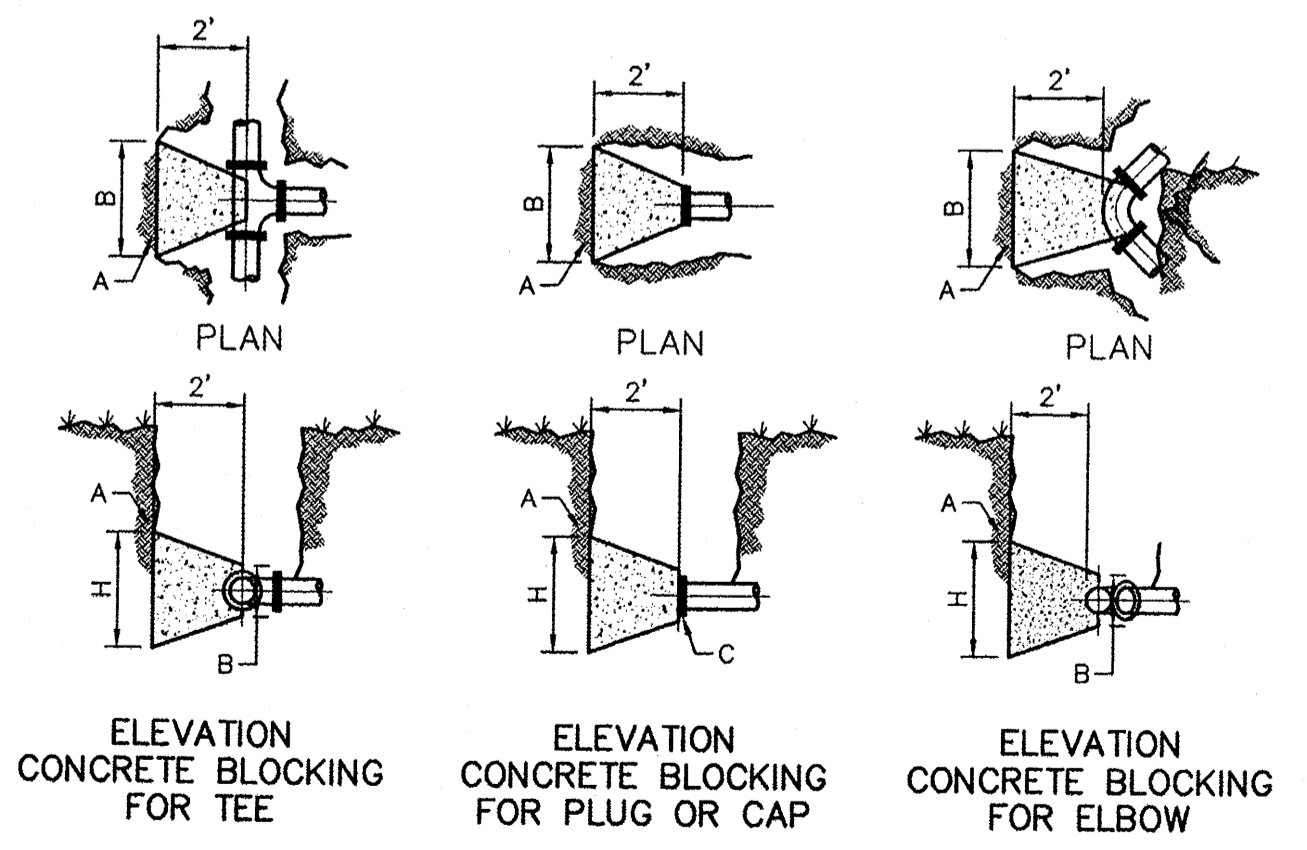
- CURB GENERAL NOTES:**
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
 - PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
 - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

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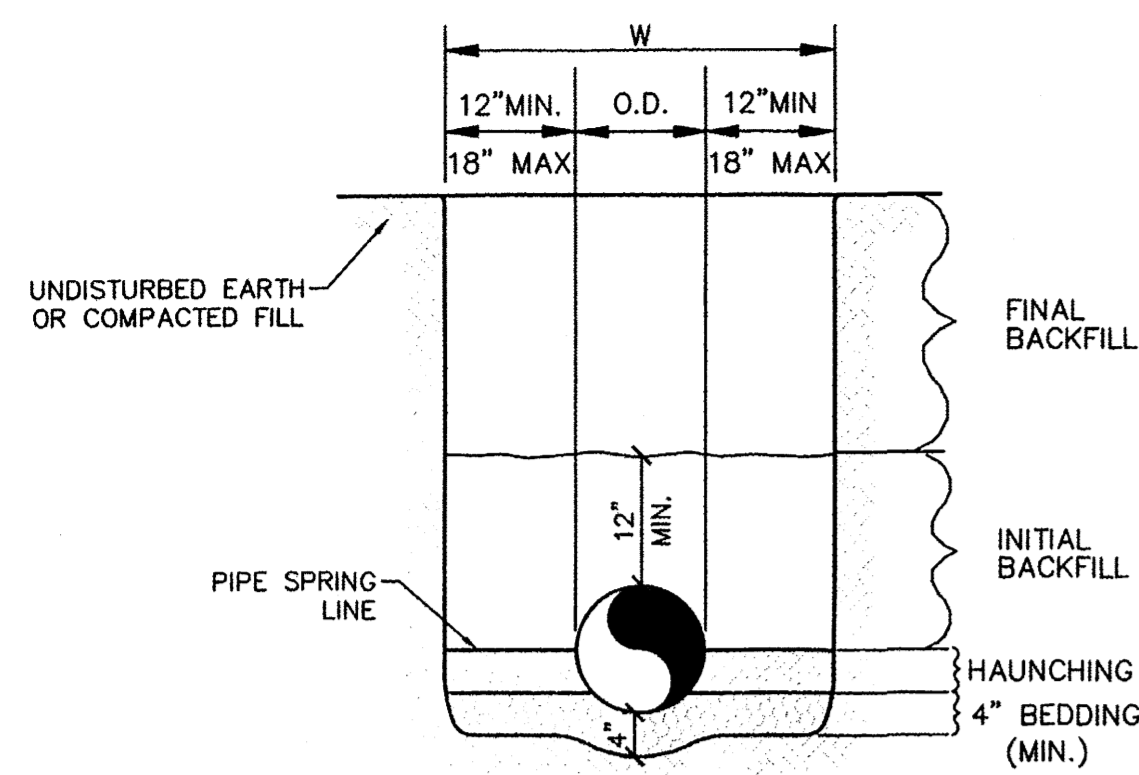
PIPE SIZE	ELBOW ANGLE	ELBOW (B) DIM.	ELBOW (H) DIM.	TEE OR PLUG (B) DIM.	TEE OR PLUG (H) DIM.
4"	90°,45°	2'	2'	2'	2'
4"	22.5°,11.25°	2'	2'	2'	2'
6"	90°,45°	2'	2'	2'	2'
6"	22.5°,11.25°	2'	2'	2'	2'
8"	90°	3'	3'	3'	3'
8"	45°	2'	2'	3'	3'
8"	22.5°,11.25°	2'	2'	3'	3'
10"	90°	3'-6"	3'-6"	3'	3'
10"	45°	3'	3'	3'	3'
10"	22.5°,11.25°	2'	2'	3'-6"	3'-6"
12"	90°	4'	4'	3'-6"	3'-6"
12"	45°	3'-6"	3'-6"	3'-6"	3'-6"
12"	22.5°,11.25°	2'	2'	3'-6"	3'-6"
14"	90°	5'	5'	4'	4'
14"	45°	3'-6"	3'-6"	4'	4'
14"	22.5°,11.25°	3'	3'	4'	4'

CONSTRUCTION NOTE:
A. UNDISTURBED EARTH
B. O.D. OF PIPE +6"
C. O.D. OF CAP OR PLUG, MIN. 12"x12"

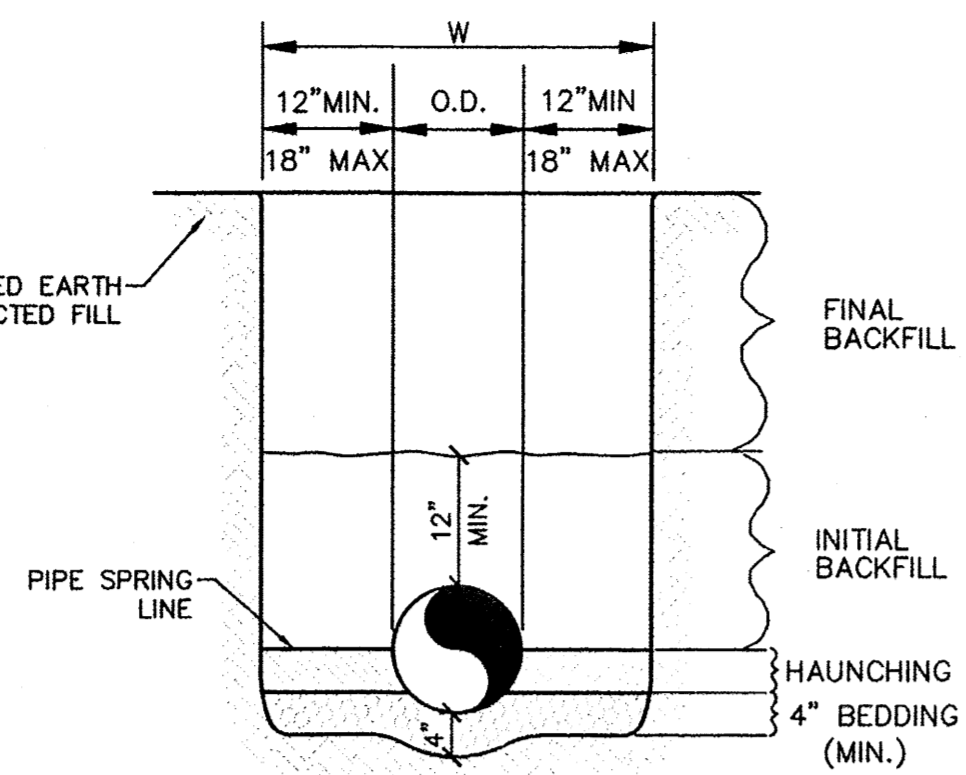
CONCRETE BLOCKING DESIGN
NTS PER COA STD DWG #2320



ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 6-18-13
		DRAWING 2011064-DET
		SHEET # C9
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	JOB # 2011064



WATER LINE



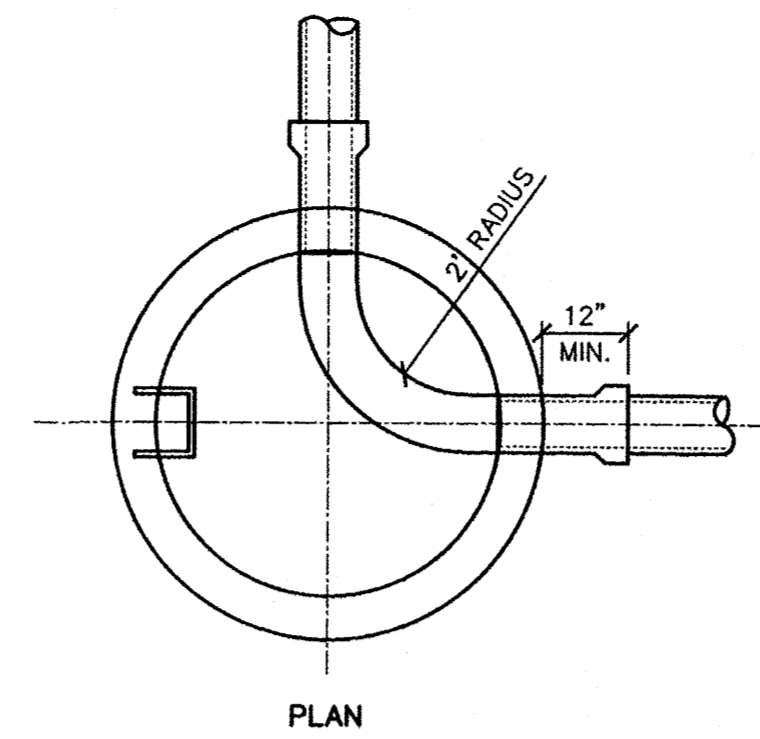
SANITARY SEWER

GENERAL NOTES

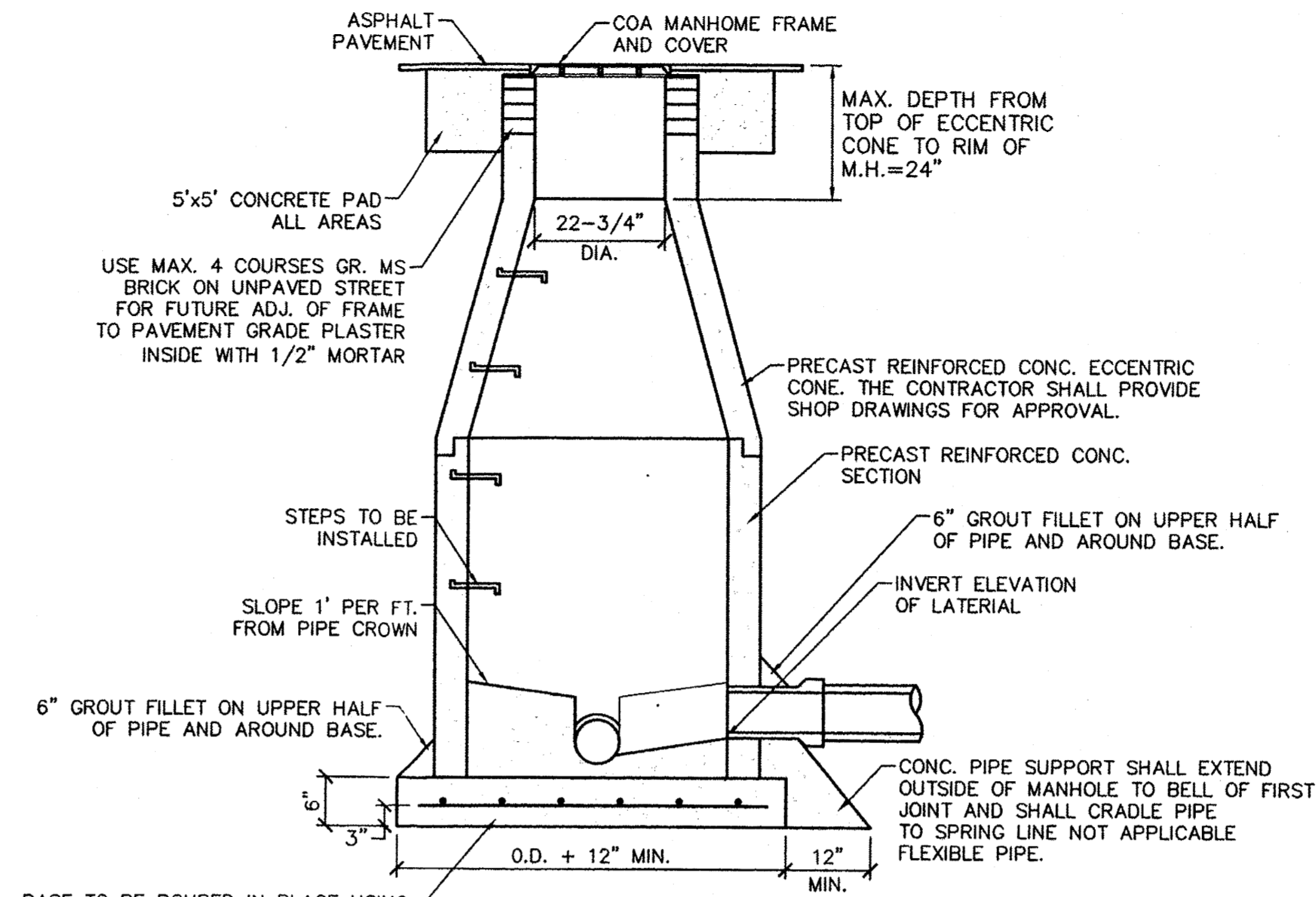
- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRADATION)
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
- INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL SHALL BE CLASS I, OR II COMPACTED AS NOTED IN NOTES 3. AND 4.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE TYPE II COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

UTILITY TRENCH AND BEDDING DETAIL

NTS



PLAN



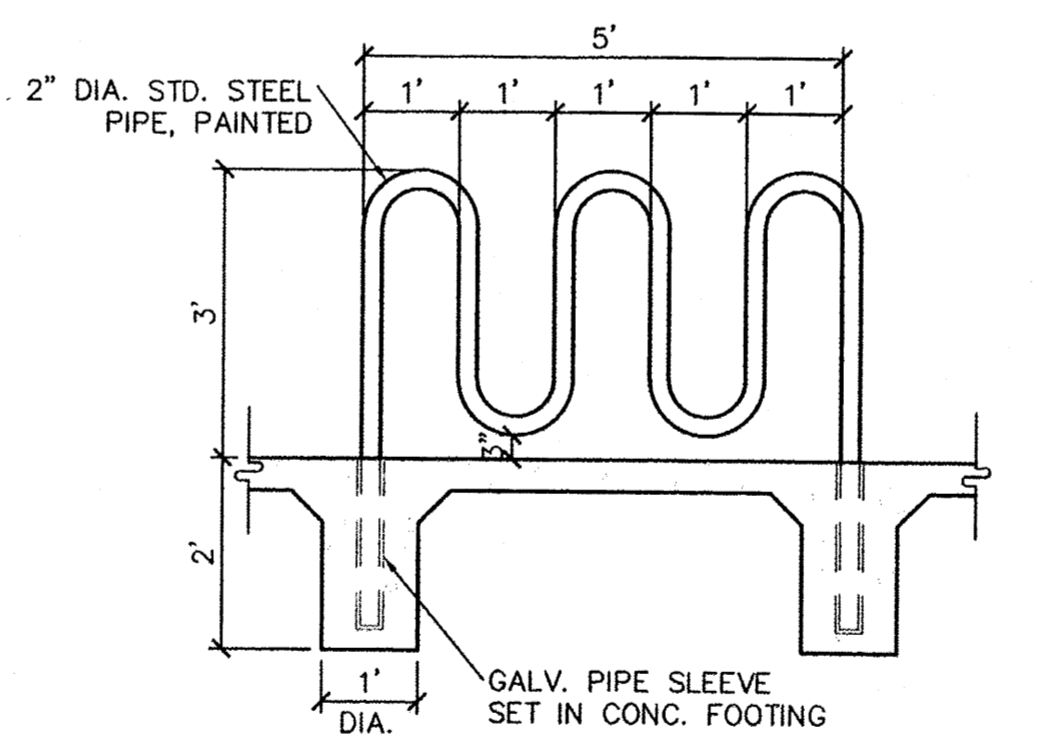
BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR MANHOLE DEPTH OF 16' OR GREATER NO. 4 BARS AT 12" O.C. EA. WAY FOR MANHOLE LESS THAN 16' DEEP.

NOTE:

- DETAIL IS THE SAME AS SHOWN IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS DRAWING NO. 2102.
- USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
- COMPACT ALL BACKFILL AROUND MANHOLES TO 95%
- POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

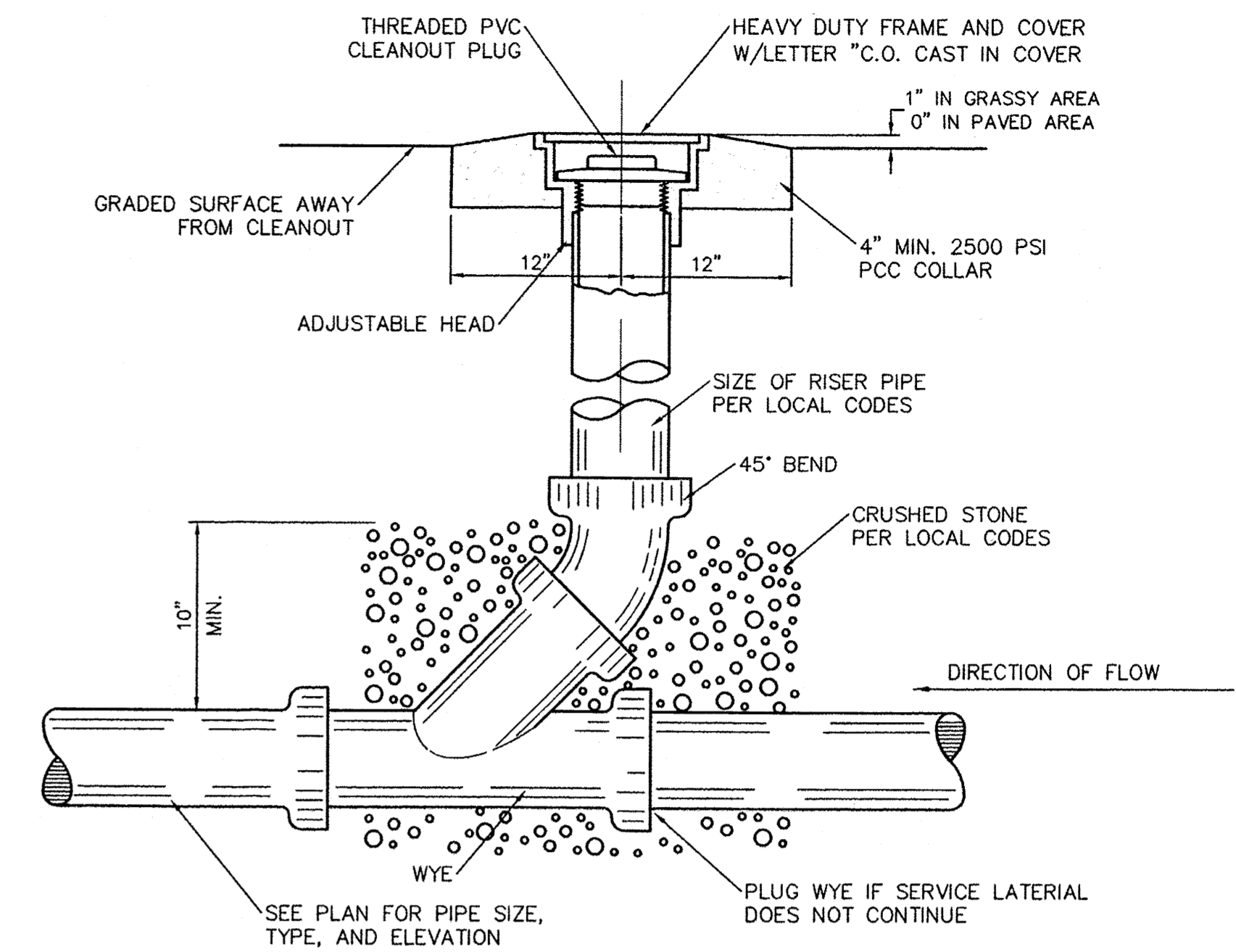
SEWER MANHOLE TYPE 'E' DETAIL

NTS



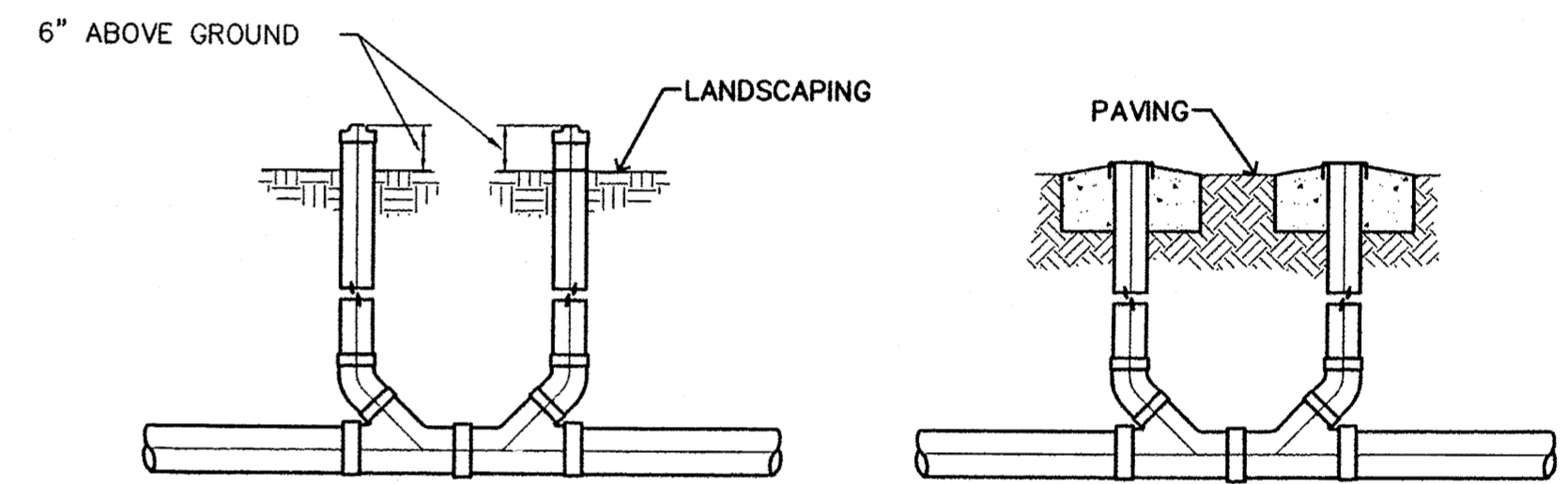
BIKE RACK DETAIL

SCALE: 1/2"=1'-0"



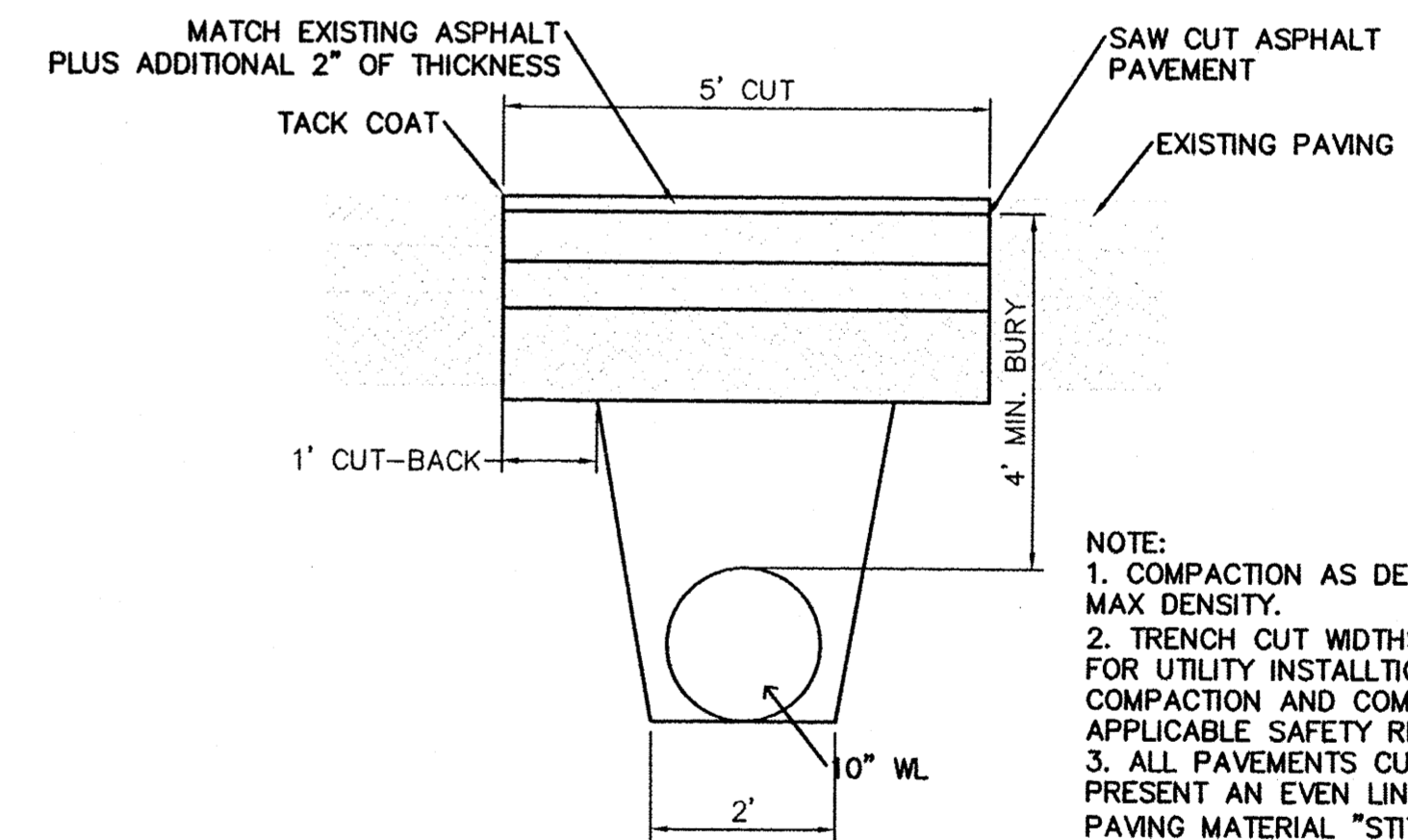
SANITARY SEWER CLEAN-OUT

NTS



SANITARY SEWER DOUBLE CLEAN-OUTS

NTS

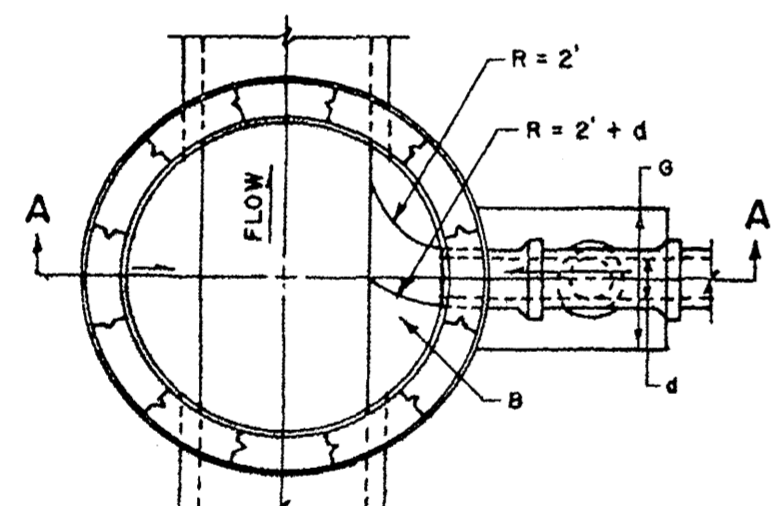


NOTE:

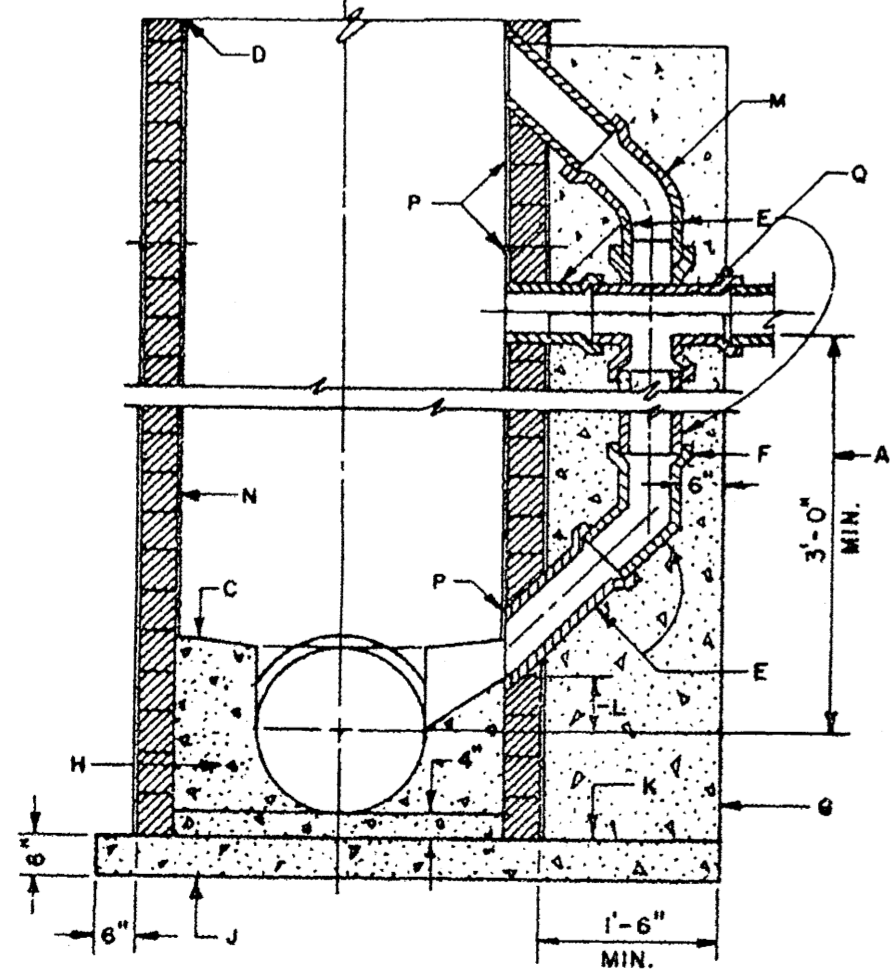
- COMPACTION AS DETERMINED BY ASTM D1557 MAX DENSITY.
- TRENCH CUT WIDTHS SHALL BE MIN. WITH REQ'D FOR UTILITY INSTALLATION, ECONOMICAL BACKFILL COMPACTION AND COMPLIANCE WITH CURRENT AND APPLICABLE SAFETY REGULATIONS.
- ALL PAVEMENTS CUT EDGES WILL BE TRIMMED TO PRESENT AN EVEN LINE PRIOR TO REPLACEMENT OF PAVING MATERIAL "STITCH" CUTTING OF PAVEMENT WILL NOT BE PERMITTED.

PAVEMENT CUT FOR UTILITIES

NTS



FLOOR PLAN



SECTION A-A

CONSTRUCTION NOTES

- VERTICAL DROP.
- FROM THE INVERT IN SHELF.
- SLOPE, 1" PER FT.
- MANHOLE TYPE FOR UPPER PORTION WILL BE SPECIFIED ON DESIGN PROFILE.
- USE I.D. OR P.V.C. (SDR 35) PIPE THROUGHOUT DROP.
- USE BELL AND SPIGOT 45° SHORT OR LONG RADIUS BEND.
- CONCRETE SUPPORT WIDTH EQUALS PIPE O.D. PLUS 6" MIN EACH SIDE.
- CONCRETE, SEE SECTION 101.
- REINFORCED CONCRETE BASE. SEE CONSTRUCTION NOTE F. OF DWG. 2101, 2102.
- FOR NEW DROP ON EXISTING MANHOLE CONSTRUCT 3 X 3 CONCRETE BASE BEFORE CONSTRUCTING DROP SUPPORT.
- 4" ABOVE SPRING LINE OR AS SHOWN ON PLAN.
- 8" MIN. DIAMETER. 2-2 1/2" OR 1-45° ELBOW.
- INTERIOR OF DROP MANHOLE MUST BE COATED WITH APPROVED SEALER IN ACCORDANCE WITH SPEC. SECTION 920.4.
- CORE DRILL FOR ALL WALL PENETRATIONS ON EXISTING MANHOLES.
- CROSS OR TEE. A TEE MAY BE USED ONLY WHEN THE VERTICAL HIGH IS INSUFFICIENT FOR THE VERTICAL PIPING ABOVE THE SEWER LINE TO ENTER THE BARREL OF THE MANHOLE.

CITY OF ALBUQUERQUE

SEWER

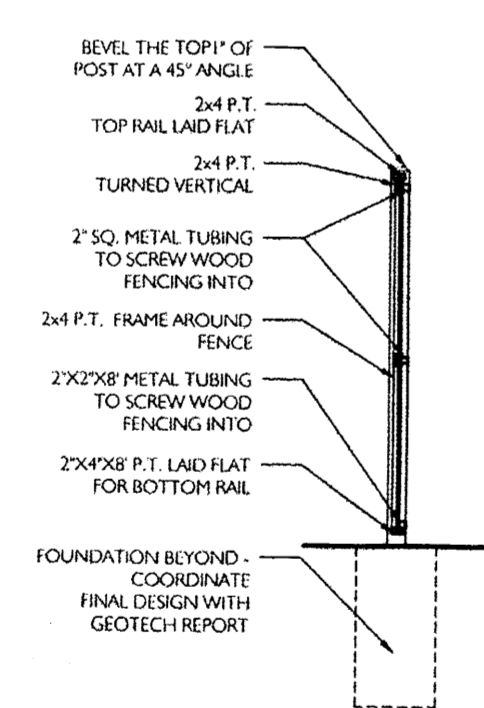
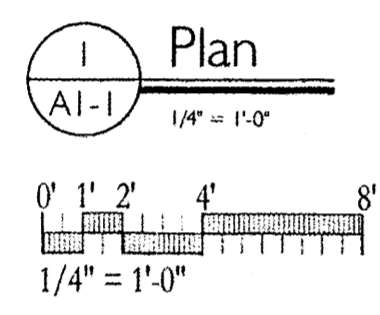
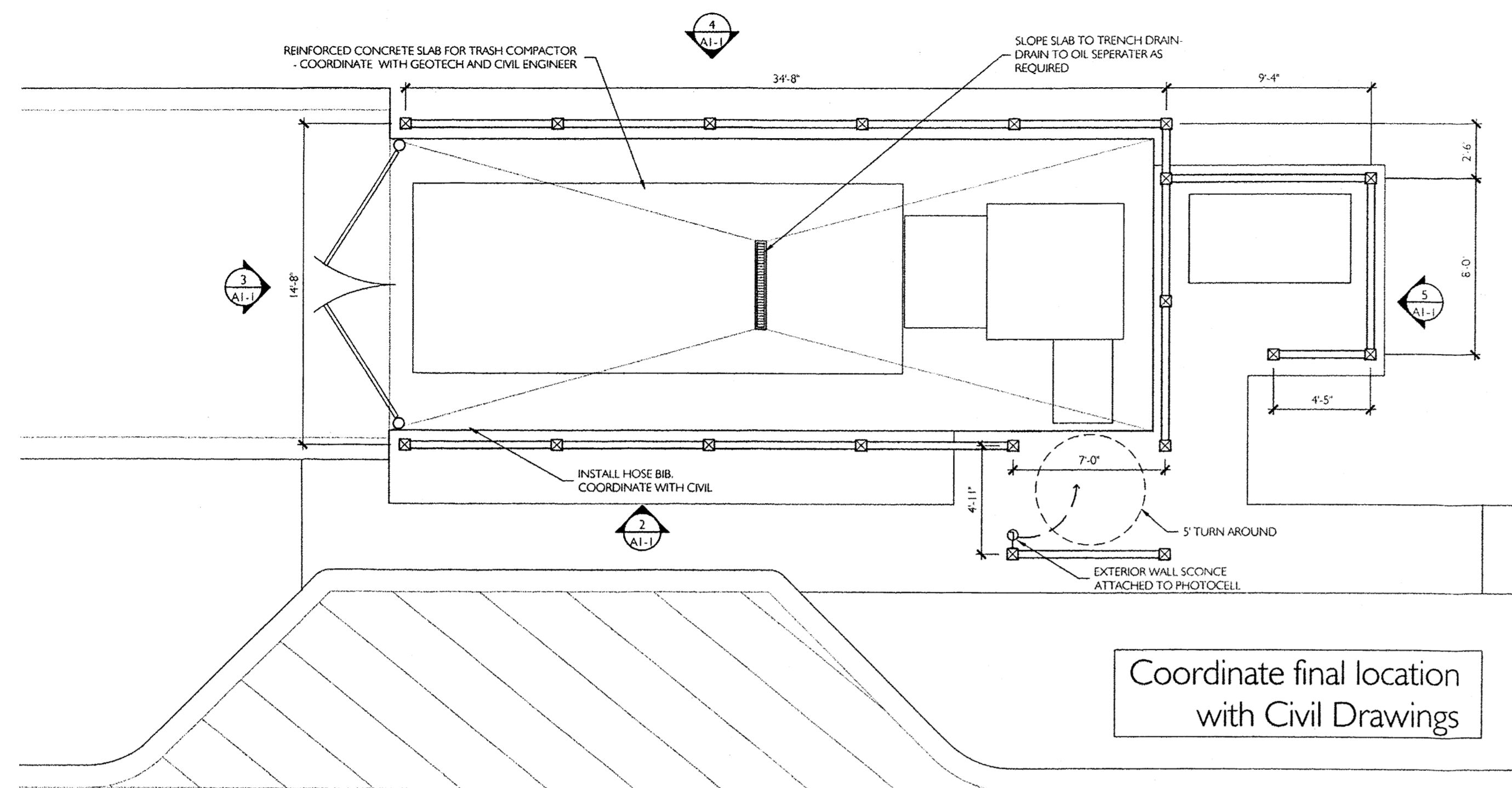
VERTICAL DROP AT MH

DWG. 2116

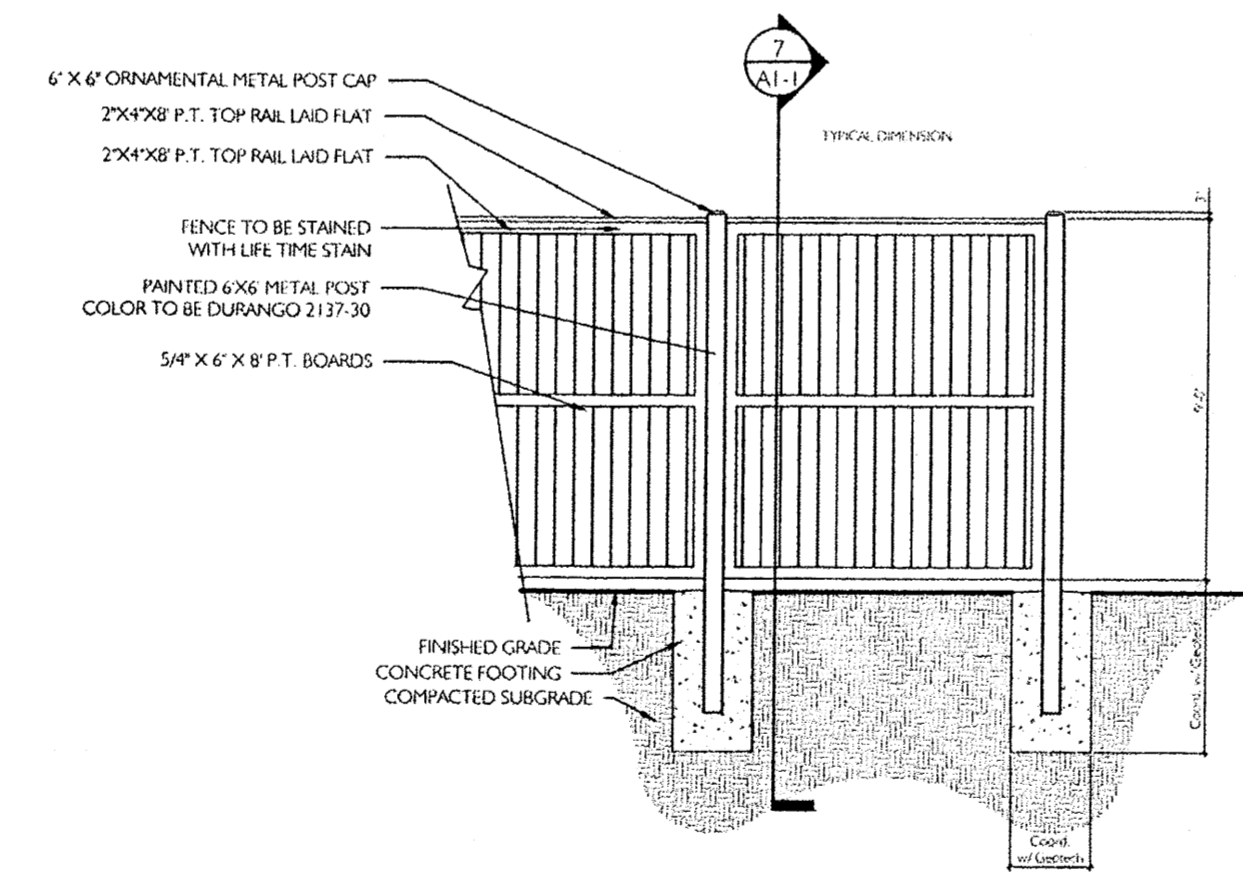
AUG. 1986

REVISIONS
11-14-91

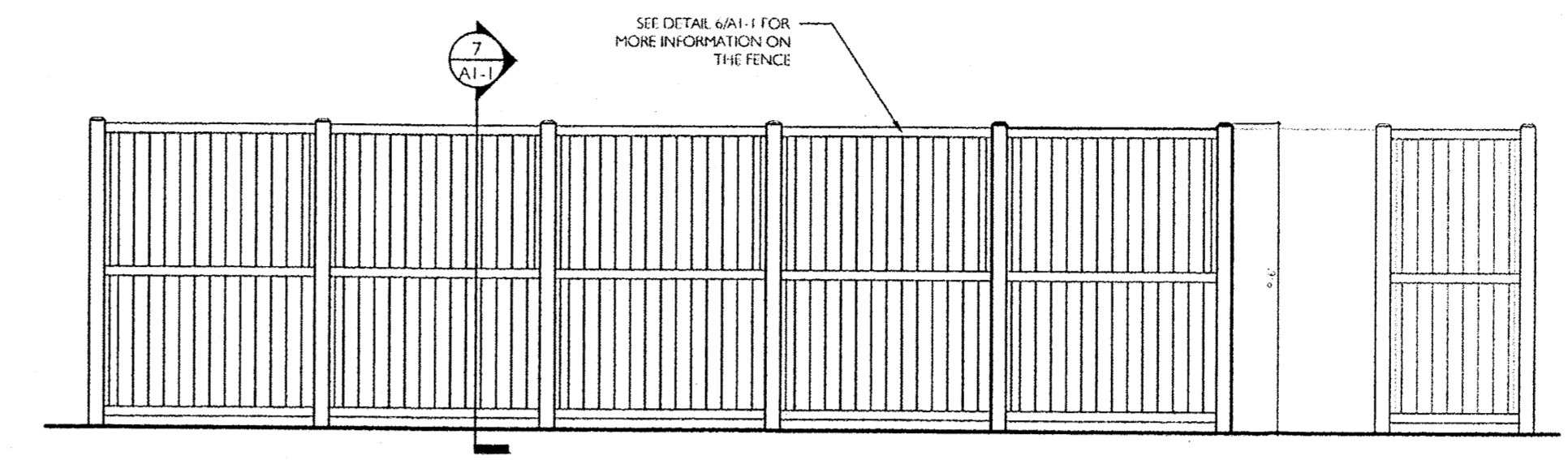
ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 6-18-13
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-DET
		SHEET # C10
		JOB # 2011064



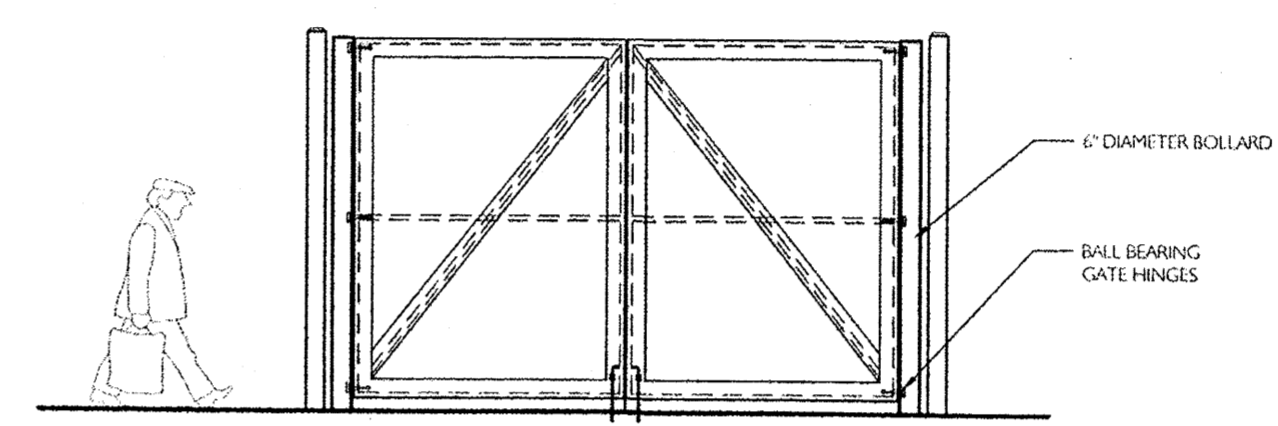
7 Section
AI-1
1/4" = 1'-0"



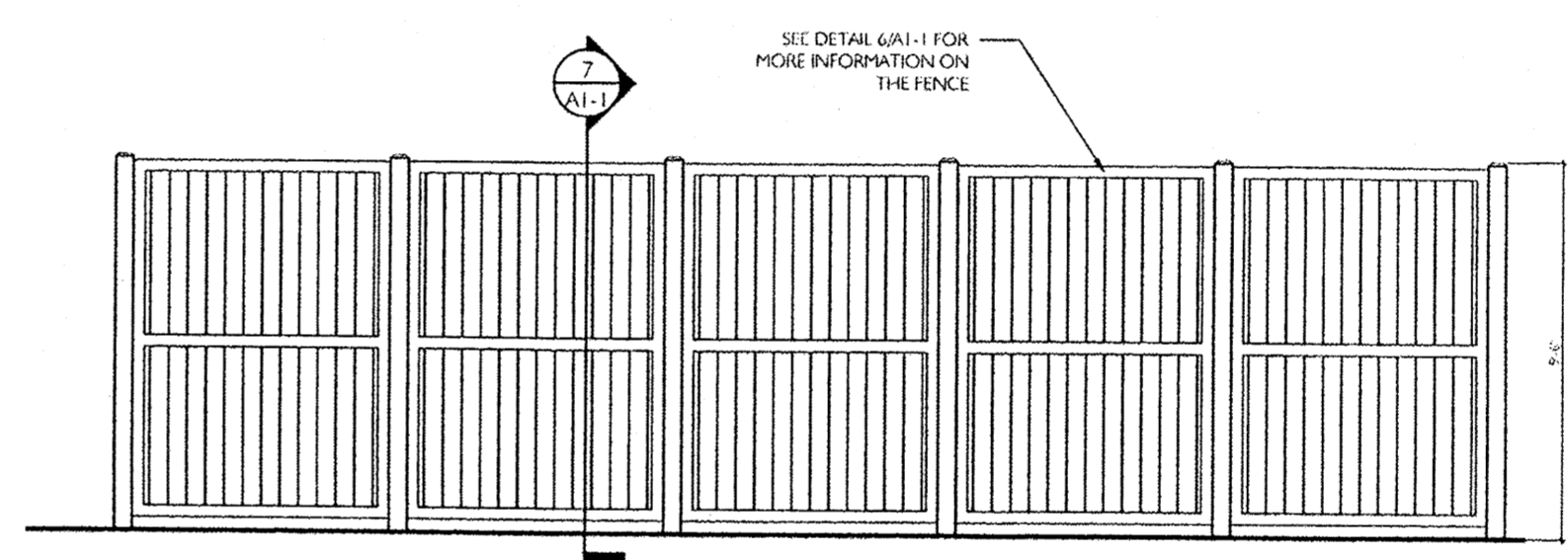
6 Section
AI-1
1/4" = 1'-0"



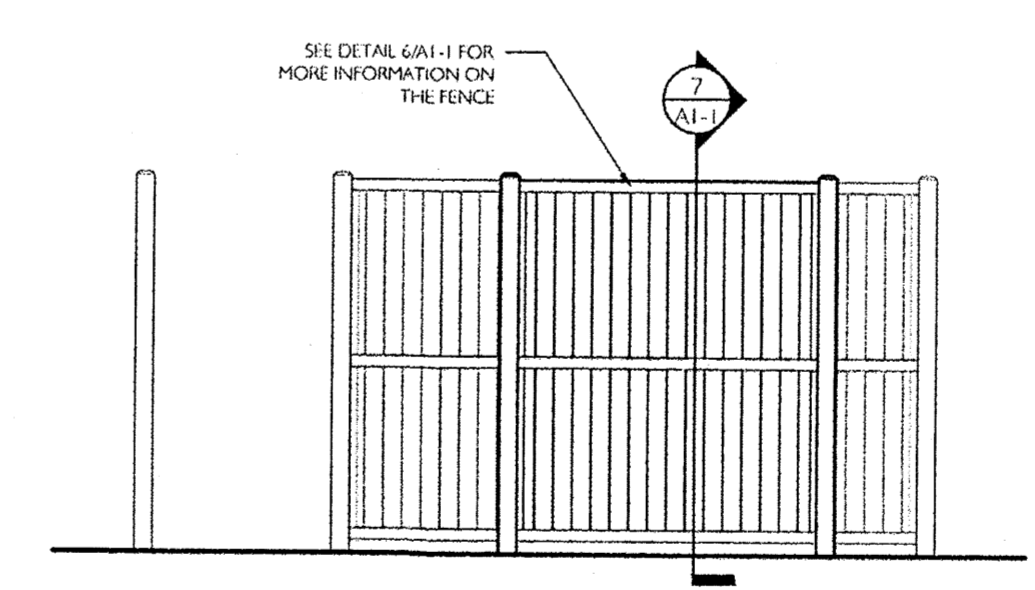
2 Exterior Elevation
AI-1
1/4" = 1'-0"



3 Exterior Elevation
AI-1
1/4" = 1'-0"



4 Exterior Elevation
AI-1
1/4" = 1'-0"



5 Exterior Elevation
AI-1
1/4" = 1'-0"

**DUNGAN
NEQUETTE**
ARCHITECTS

2829 Second Avenue South
Suite 240
Birmingham Alabama 35233
t 205.322.6455
f 205.322.6167
dungan-nequette.com

Issue for
Civil Submittal
**THE COTTAGES OF
ALBUQUERQUE**

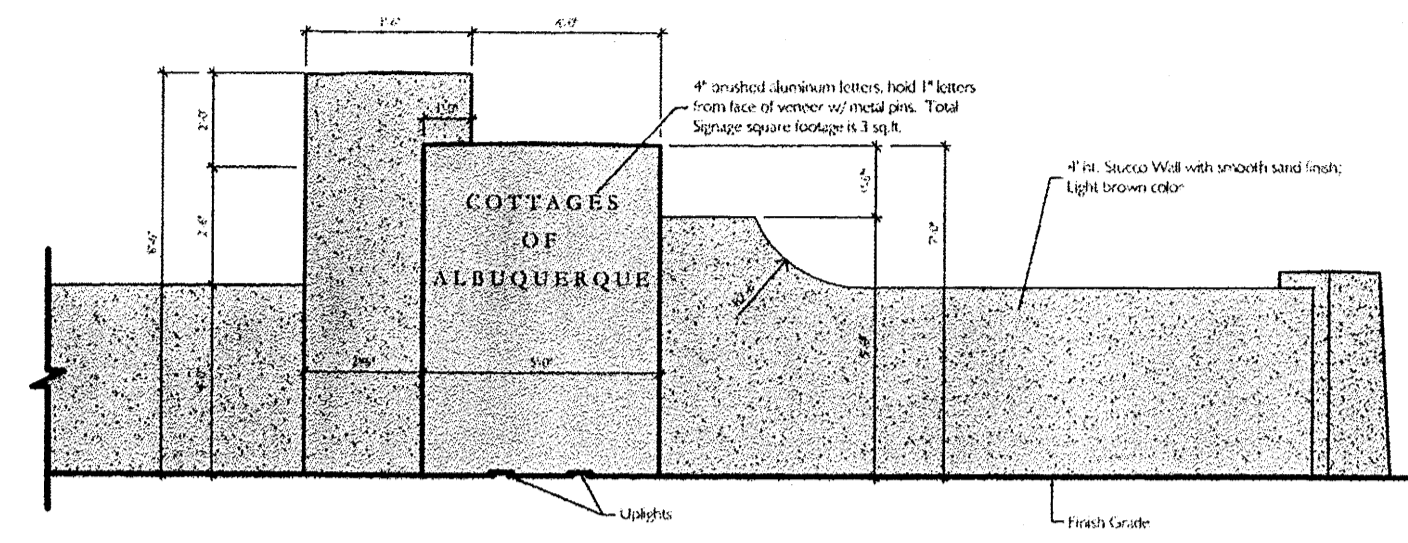
**TRASH
COMPACTOR**
ALBUQUERQUE, NEW MEXICO
NUMBER 1064 APRIL 06, 2013

Drawn by: EAL
Checked by: IN

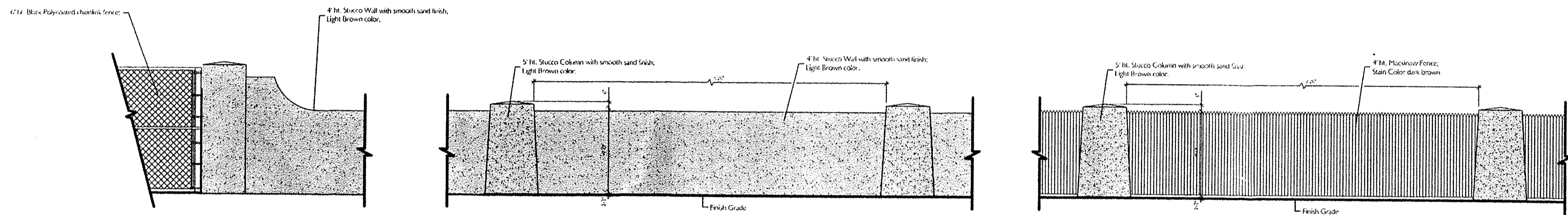
REVISIONS
Plans, Elevations, Section

A1-1

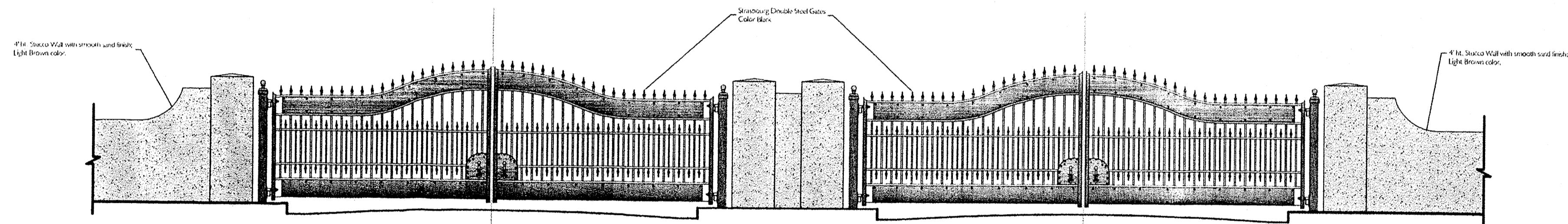
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7888	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS TRASH COMPACTOR	DATE 6-18-13
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011064-DET
		SHEET # C11
		JOB # 2011064



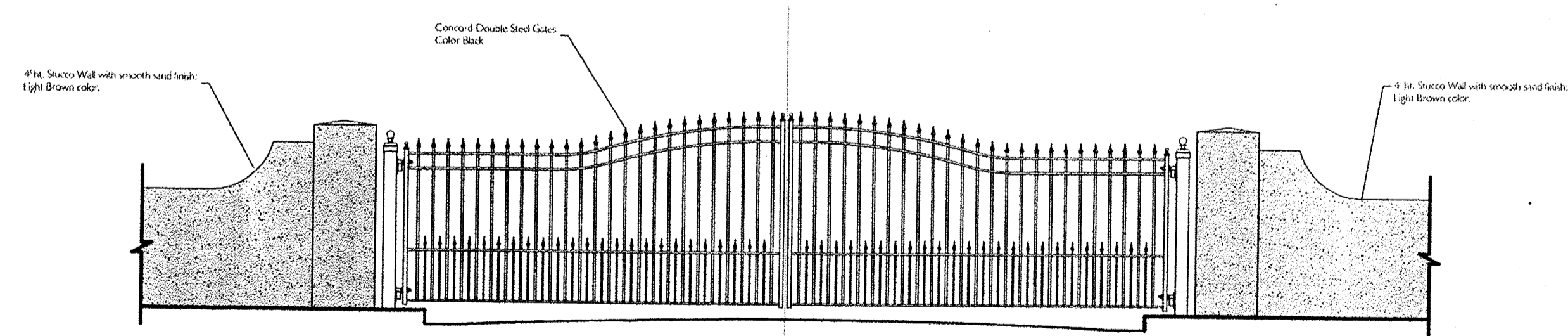
1 ENTRANCE MONUMENT & SIGNAGE



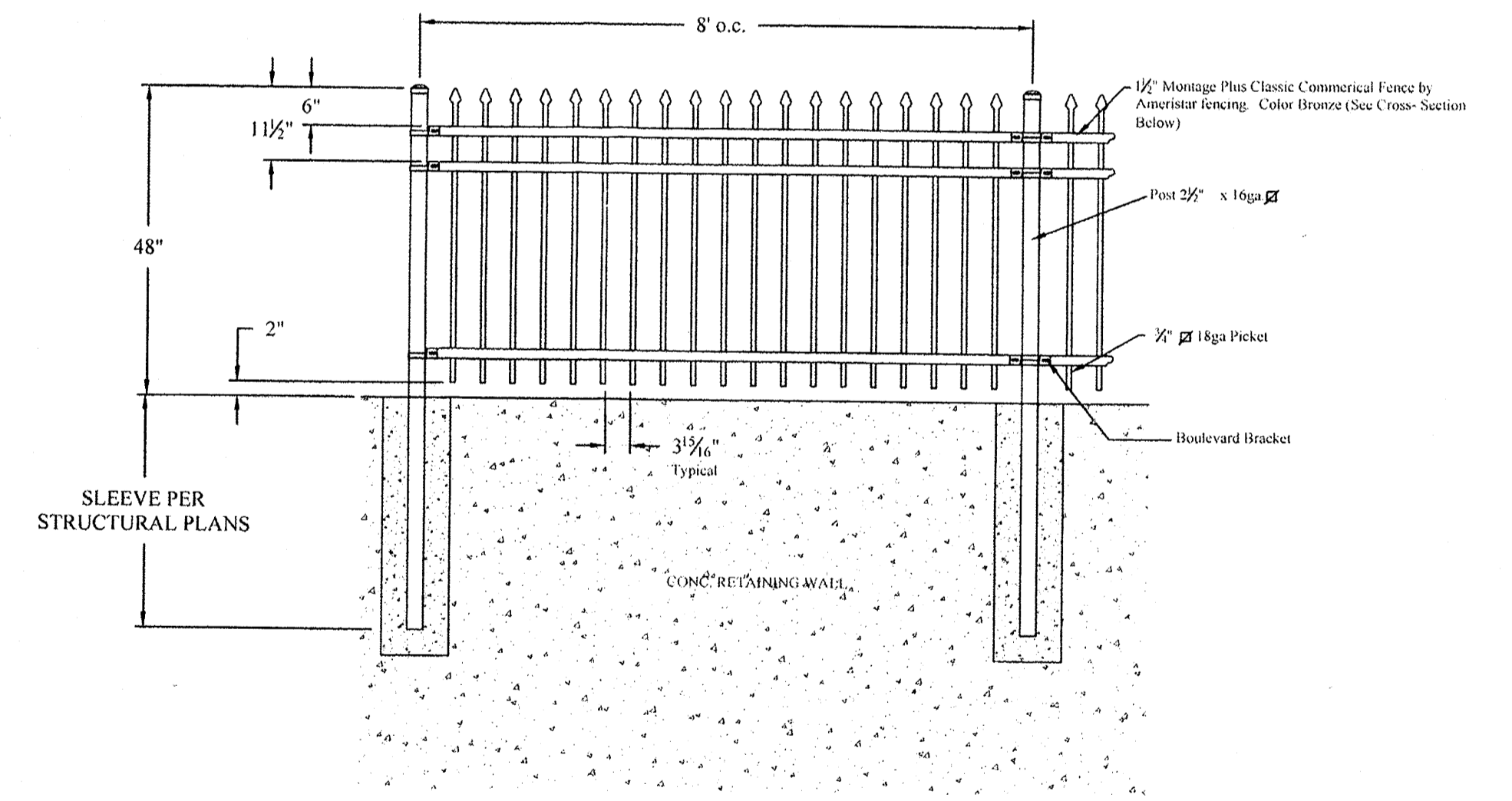
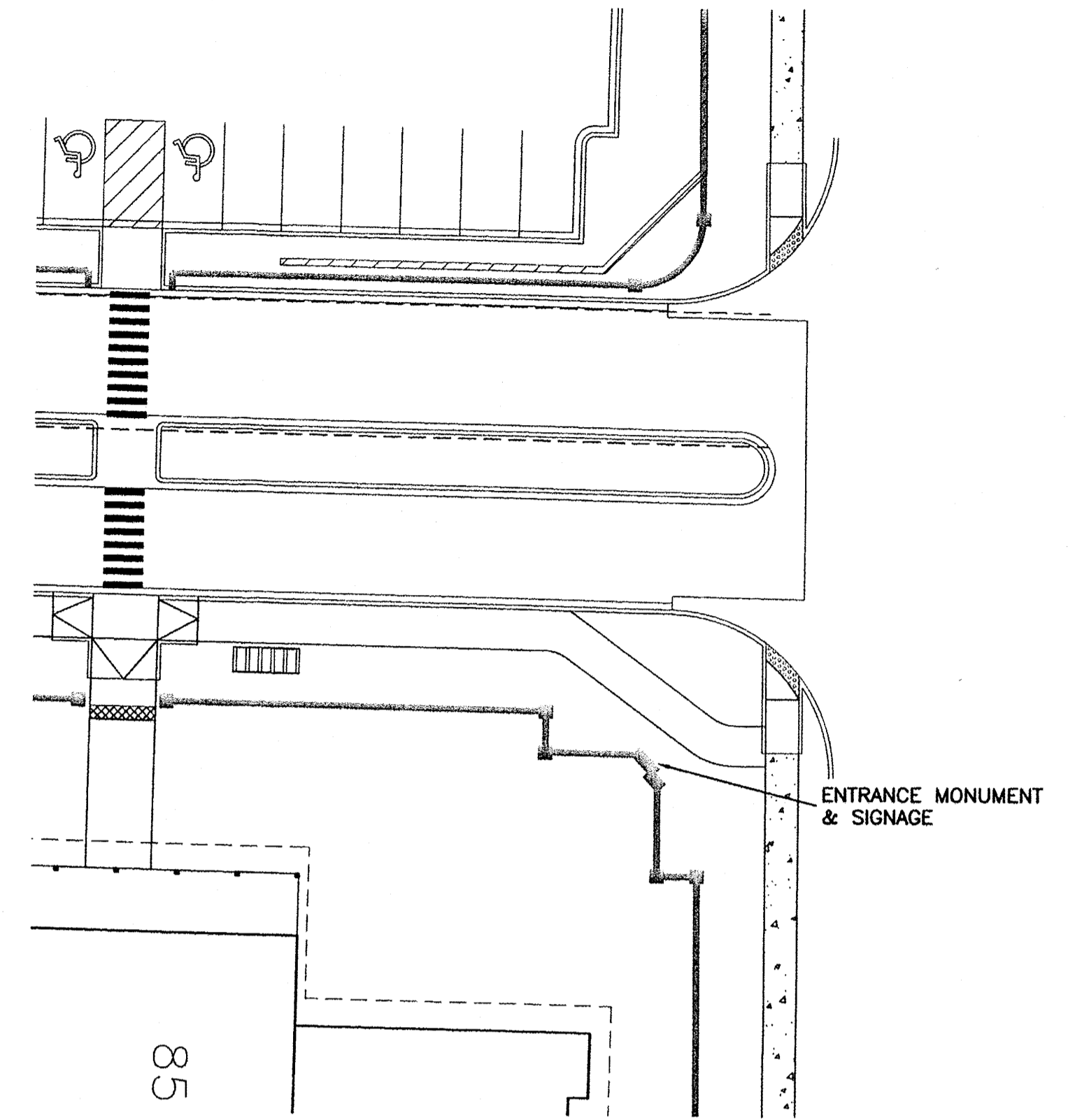
2 SITE PERIMETER WALLS & FENCING




3 MAIN ENTRANCE GATES

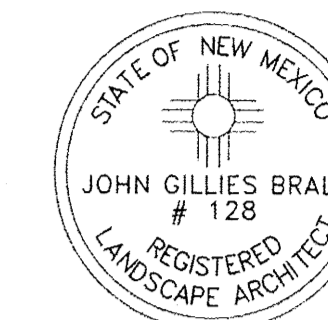


4 EXIT GATE



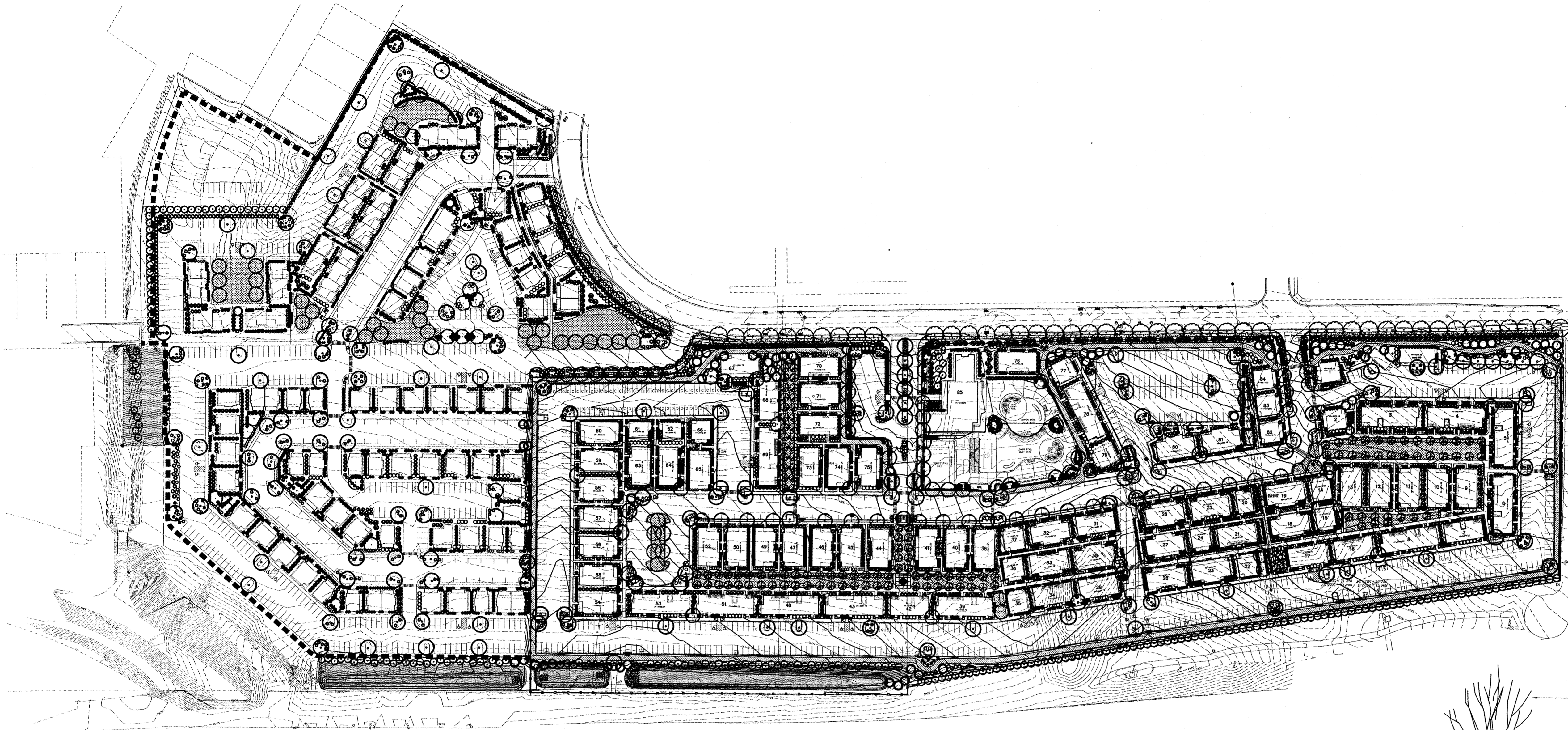
MONTAGE PLUS CLASSIC 2/3-RAIL DETAIL
NTS

ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY SH
	MONUMENT SIGN AND FENCE DETAILS	DATE 8-28-13
	 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-MON-061813
		SHEET # C12
RONALD R. BOHANNAN P.E. #7868		JOB # 2011064



Date: 12/28/2011
Revisions:
▲ 9/27/12
▲ 4/30/13
▲ 6/3/13
▲ 6/10/13
▲ 6/17/13
6/18/13 9/18/13
Drawn by: JC
Reviewed by: JB

The Cottages
of New Mexico
DRB Submittal
Albuquerque, New Mexico



SITE DATA/Phase 1

GROSS LOT AREA (34.31 ac)	915,730 SF
LESS BUILDING(S)	158,017 SF
NET LOT AREA	757,713 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	113,656 SF
PROPOSED LANDSCAPE	268,975 SF
PERCENT OF NET LOT AREA	35 %

HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	53,795 SF
PROPOSED HIGH WATER USE TURF	35,325 SF
PERCENT OF LANDSCAPE AREA	13 %

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	48
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (826 SPACES/10)	83
REQUIRED UNIT TREES PROVIDED AT 1 PER UNIT (162 UNITS)	162
TOTAL REQUIRED TREES/PROVIDED	293/296

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (268,975 SF PROPOSED LANDSCAPE X 75%)	201,731 SF MIN.
SOD LAWN/100%	35,325 SF
PROVIDED PLANTING AREA COVERAGE	200,822 SF
PROVIDED TOTAL LANDSCAPE COVERAGE PERCENT LANDSCAPE COVERAGE	236,147 SF 87%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

SITE DATA/Phase 2&3

GROSS LOT AREA (34.31 ac)	579,515 SF
LESS BUILDING(S)	77,630 SF
NET LOT AREA	501,885 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	75,283 SF
PROPOSED LANDSCAPE	252,350 SF
PERCENT OF NET LOT AREA	50 %

HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	50,470 SF
PROPOSED HIGH WATER USE TURF	28,675 SF
PERCENT OF LANDSCAPE AREA	11 %

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	14
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (609 SPACES/10)	61
REQUIRED UNIT TREES PROVIDED AT 1 PER UNIT (92 UNITS)	92
TOTAL REQUIRED TREES/PROVIDED	167/167

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (252,350 SF PROPOSED LANDSCAPE X 75%)	189,263 SF MIN.
NATIVE SEED COVERAGE (IRRIGATED)/100%	24,700 SF
SOD LAWN/100%	28,675 SF
PROVIDED PLANTING AREA COVERAGE	136,177 SF
PROVIDED TOTAL LANDSCAPE COVERAGE PERCENT LANDSCAPE COVERAGE	189,552 SF 75%

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

NOTE

WATER HARVESTING: INTENT OF LANDSCAPE DESIGN IS TO CAPTURE AND CONTROL
WATER RUNOFF FROM THE ROOF AREAS AND HARD SURFACES TO SUPPLEMENT
IRRIGATION AT LANDSCAPE AREAS.
MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION
SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER
PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
AND WATER WASTE ORDINANCE 6-1-1
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
75% LIVE GROUND COVER OF LANDSCAPE AREAS
AT MATURITY PER ORDINANCE 14-16-3-10

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100'
FROM A TREE.

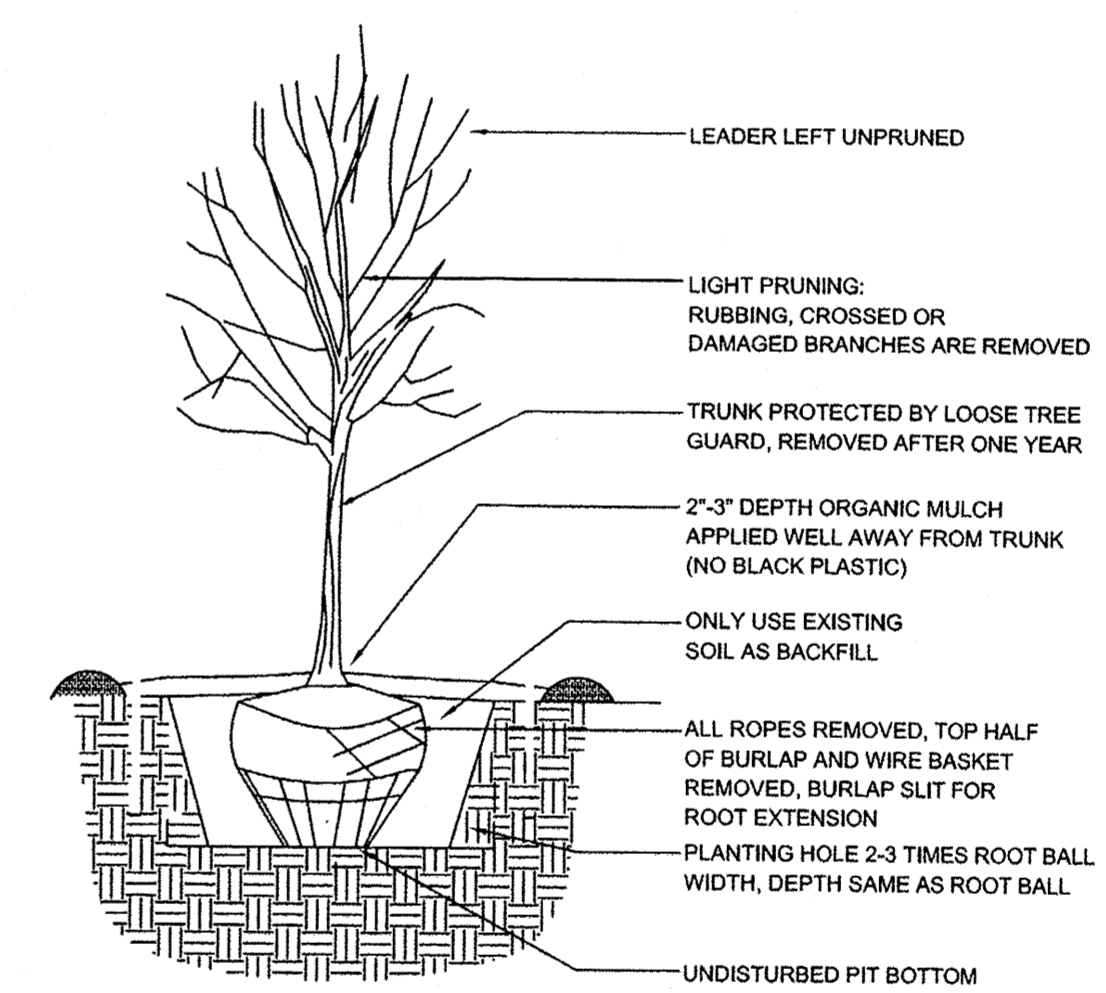
NATIVE SEED TO BE PIONEER'S PRIDE AS AVAILABLE FROM
CURTIS AND CURTIS AND HYDRO SEEDED AT 12 LB PER ACRE AND
SPRAY IRRIGATED.

SOD LAWN TO BE PARK BLEND

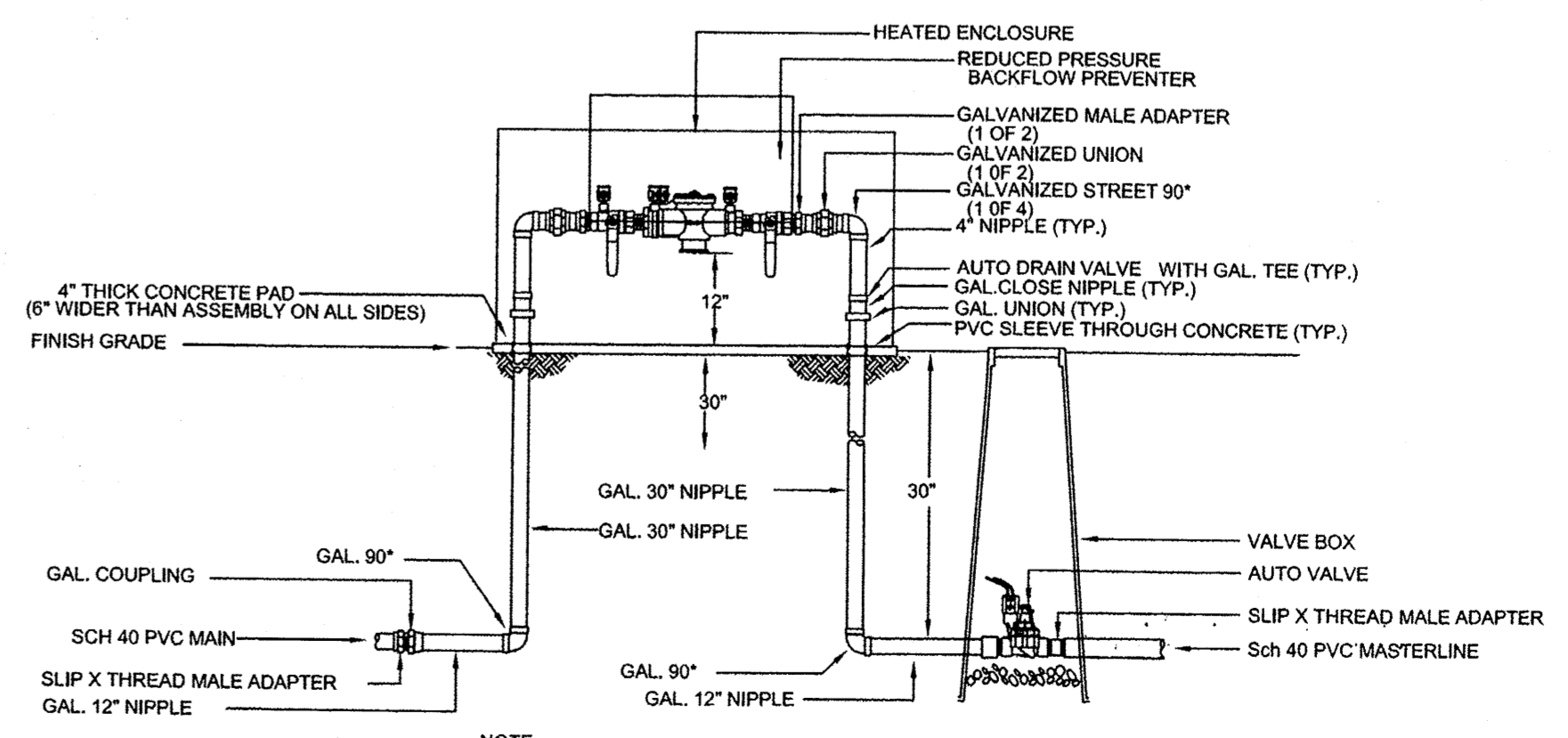
STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2

LANDSCAPE TO CONFORM TO ZONING REGULATIONS ORDINANCE
14-16-3-10

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH
CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS,
TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL
(AS MEASURED FROM THE GUTTER PAN) WILL NOT BE
ACCEPTABLE IN THIS AREA.

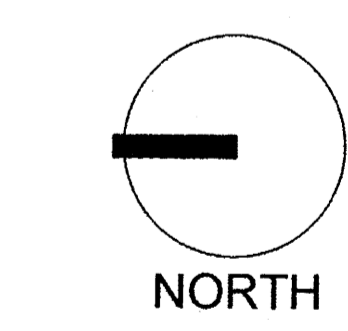


TREE PLANTING DETAIL

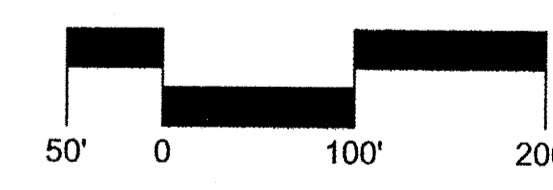


NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL



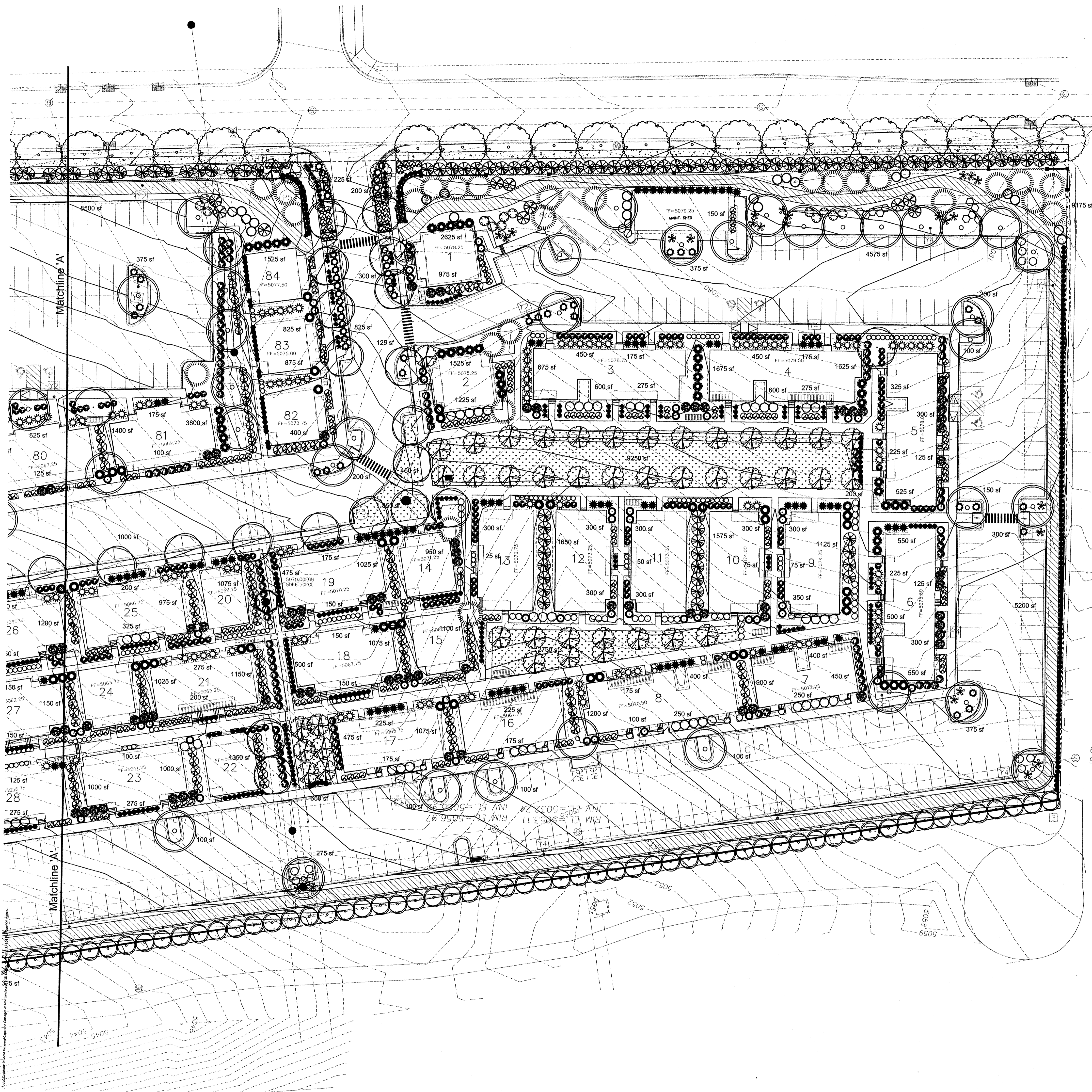
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Sheet Title:
**Landscape
Plan**

Sheet Number:

LS-01



PLANT LEGEND/Phase 1

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Water Use	Drip Emitters Per Plant (see note)
85	(Symbol)	Gleditsia/Quercus Thornless Honey Locust/Texas Red Oak	2" B&B	80'/80'	Medium	6-2 gph
46	(Symbol)	Fraxinus/Pistachia Modesto Ash/Chinese Pistache	2" B&B	40'/40'	Medium+	6-2 gph
63	(Symbol)	Pinus nigra Austrian Pine	6'-8" Ht.	35'/25'	Medium	6-2 gph
102	(Symbol)	Robinia/Celtis Purple Robe Locust/Hackberry	2" Cal	40'/25'	Medium	6-2 gph
140	(Symbol)	Pyrus/Crataegus Flowering Pear/Hawthorn	15 Gal	25'/15'	Medium+	6-2 gph
0	(Symbol)	Cedrus Blue Atlas Cedar	2" Cal	75'/50'	Medium+	6-2 gph

Symbol	Native/Small Trees	Quantity	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
(Symbol)	Chilopsis Desert Willow	5 Gal	20'/25'	100 sf=0 sf	Low	6-2 gph	
(Symbol)	Forestiera neomexicana New Mexico Olive	5 Gal	15'/15'	100 sf=14,400 sf	Medium	6-2 gph	
(Symbol)	Vitex Chaste Tree	15 Gal	20'/20'	100 sf=0 sf	Medium	6-2 gph	

PLANT LEGEND/Phase 1

Qty.	Shrubs/Groundcovers	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
140	Buddleia davidii Butterfly Bush	1/5-Gal	5'/5'	25 sf=3,500 sf	Medium	2-2 gph
121	Juniperus sabinia Buffalo Juniper	1/5-Gal	2'15"	35 sf=4,235 sf	Medium	2-2 gph
203	Vauquelinia Rosewood	1/5-Gal	10'/10'	100 sf=20,300 sf	Low+	2-1 gph
56	Prunus besseyi Sand Cherry	1/5-Gal	3'/3'	25 sf=1,400 sf	Medium	2-2 gph
26	Caesalpinia Yellow Bird of Paradise	1/5-Gal	10'/10'	100 sf=2,600 sf	Low	2-1 gph
20	Fallugia paradoxa Apache Plume	1/5-Gal	6'/7'	49 sf=980 sf	Low	2-1 gph
69	Hesperaloe parviflora Red Yucca	1/5-Gal	3'/4'	20 sf=1,380 sf	Low+	2-1 gph
41	Rhus trilobata Three Leaf Sumac	1/5-Gal	6'/6'	36 sf=1,476 sf	Medium	2-2 gph
173	Lagerstroemia Crape Myrtle	1/5-Gal	15'/15'	100 sf=17,300 sf	Medium+	2-2 gph
184	Spiraea Dwarf Red Spiraea	1/5-Gal	3'/3'	18 sf=3,312 sf	Medium+	2-2 gph
338	Lavandula Lavender	1/5-Gal	3'/3'	12 sf=4,056 sf	Medium	2-1 gph
306	Ilex Wilson Holly	1/5-Gal	10'/10'	100 sf=30,600 sf	Medium+	2-2 gph
494	Raphiolepis India Hawthorn	1/5-Gal	3'/4'	20 sf=9,880 sf	Medium	2-2 gph
143	Cercocarpus Curl Leaf Mtn. Mahogany	1/5-Gal	15'/15'	100 sf=14,300 sf	Low+	2-1 gph
140	Pinus mugo Mugho Pine	1/5-Gal	4'/5'	30 sf=4,200 sf	Medium	2-2 gph
123	Hibiscus Rose of Sharon	1/5-Gal	10'/10'	100 sf=12,300 sf	Medium	2-2 gph
378	Potentilla Shrubby Cinquefoil	1/5-Gal	3'/3'	20 sf=7,560 sf	Medium	2-2 gph
336	Nandina Heavenly Bamboo	1/5-Gal	8'/5'	25 sf=8,400 sf	Medium+	2-2 gph
49	Chamaebatia Fernbush	1/5-Gal	5'/6'	100 sf=4,900 sf	Low	2-2 gph
296	Caryopteris Blue Mist	1/5-Gal	3'/3'	30 sf=8,880 sf	Low+	2-2 gph
40	Rhus aromatica Gro Low Sumac	1/5-Gal	2'/6"	36 sf=1,440 sf	Medium	2-2 gph

Qty.	Ornamental Grasses	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
205	Miscanthus Maiden Grass	1/5-Gal	5'/5'	25 sf=5,125 sf	Medium+	2-2 gph
289	Muhlenbergia Regal Mist Grass	1/5-Gal	3'/3'	12 sf=3,468 sf	Medium	2-2 gph
742	Calamagrostis Karl Foerster Grass	1/5-Gal	3'/2'	20 sf=14,840 sf	Medium	2-2 gph

Total landscape coverage=200,822 sf

MATERIALS LEGEND

- (Symbol) Sod Lawn (35,325 sf)
- (Symbol) Native Seed (23,100 sf)
- (Symbol) Crushed Gravel at 3" Depth over Fabric (210,550 sf)

IRRIGATION NOTE

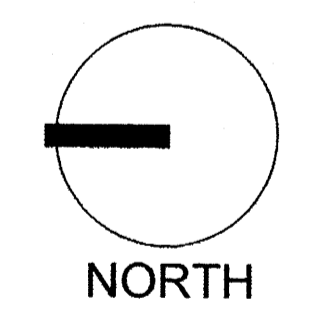
DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH



Date: 12/28/2011
 Revisions:
 ▲ 9/27/12
 ▲ 4/30/13
 ▲ 6/10/13
 ▲ 6/17/13
 6/18/13 9/18/13

Drawn by: JC
 Reviewed by: JB

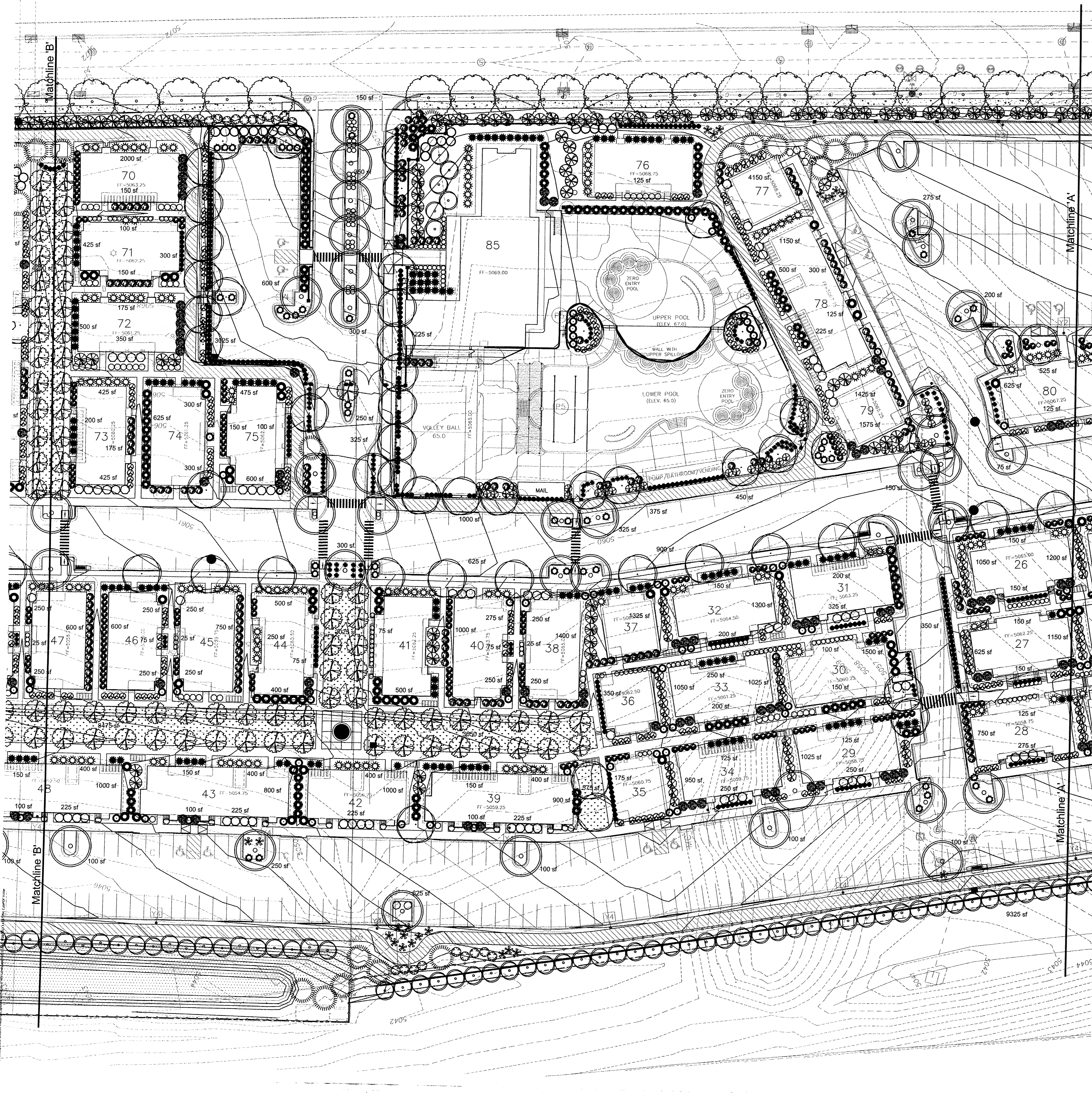
The Cottages of New Mexico
 DRB Submittal
 Albuquerque, New Mexico



Scale: 1"=30'-0"

Sheet Title:
Landscape Plan

Sheet Number:
LS-02



PLANT LEGEND/Phase 1

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Water Use	Drip Emitters Per Plant (see note)
85	(Symbol)	Gleditsia/Quercus	2" B&B Thornless Honey Locust/Texas Red Oak	2"	80'/80'	Medium	6-2 gph
46	(Symbol)	Fraxinus/Pistachia	2" B&B Modesto Ash/Chinese Pistache	2"	40'/40'	Medium+	6-2 gph
63	(Symbol)	Pinus nigra	Austrian Pine	6'-8' Ht.	35'/25'	Medium	6-2 gph
102	(Symbol)	Robinia/Celtis	2" Cal Purple Robe Locust/Hackberry	2"	40'/25'	Medium	6-2 gph
140	(Symbol)	Pyrus/Crataegus	15 Gal Flowering Pear/Hawthorn	15 Gal	25'/15'	Medium+	6-2 gph
0	(Symbol)	Cedrus	2" Cal Blue Atlas Cedar	2"	75'/50'	Medium+	6-2 gph

Symbol	Native/Small Trees	Landscape Coverage	Water Use	Drip Emitters
(Symbol)	Chilopsis Desert Willow	5 Gal 20'/25'	100 sf=0 sf	Low 6-2 gph
(Symbol)	Forestiera neomexicana New Mexico Olive	5 Gal 15'/15'	100 sf=14,400 sf	Medium 6-2 gph
(Symbol)	Vitex Chaste Tree	15 Gal 20'/20'	100 sf=0 sf	Medium 6-2 gph

PLANT LEGEND/Phase 1

Qty.	Symbol	Shrubs/Groundcovers	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
140	(Symbol)	Buddleia davidii Butterfly Bush	1/5-Gal	5'/5'	25 sf=3,500 sf	Medium	2-2 gph
121	(Symbol)	Juniperus sabina Buffalo Juniper	1/5-Gal	2'/5'	35 sf=4,235 sf	Medium	2-2 gph
203	(Symbol)	Vauquelinia Rosewood	1/5-Gal	10'/10'	100 sf=20,300 sf	Low+	2-1 gph
56	(Symbol)	Prunus besseyi Sand Cherry	1/5-Gal	3'/3'	25 sf=1,400 sf	Medium	2-2 gph
26	(Symbol)	Caesalpinia Yellow Bird of Paradise	1/5-Gal	10'/10'	100 sf=2,600 sf	Low	2-1 gph
20	(Symbol)	Fallugia paradoxa Apache Plume	1/5-Gal	6'/7'	49 sf=980 sf	Low	2-1 gph
69	(Symbol)	Hesperaloe parviflora Red Yucca	1/5-Gal	3'/4'	20 sf=1,380 sf	Low+	2-1 gph
41	(Symbol)	Rhus trilobata Three Leaf Sumac	1/5-Gal	6'/6'	36 sf=1,476 sf	Medium	2-2 gph
173	(Symbol)	Lagerstroemia Crape Myrtle	1/5-Gal	15'/15'	100 sf=17,300 sf	Medium+	2-2 gph
184	(Symbol)	Spiraea Dwarf Red Spiraea	1/5-Gal	3'/3'	18 sf=3,312 sf	Medium+	2-2 gph
338	(Symbol)	Lavandula Lavender	1/5-Gal	3'/3'	12 sf=4,056 sf	Medium	2-1 gph
306	(Symbol)	Ilex Wilson Holly	1/5-Gal	10'/10'	100 sf=30,600 sf	Medium+	2-2 gph
494	(Symbol)	Raphiolepis India Hawthorn	1/5-Gal	3'/4'	20 sf=9,880 sf	Medium	2-2 gph
143	(Symbol)	Cercocarpus Curl Leaf Mtn. Mahogany	1/5-Gal	15'/15'	100 sf=14,300 sf	Low+	2-1 gph
140	(Symbol)	Pinus mugo Mugo Pine	1/5-Gal	4'/5'	30 sf=4,200 sf	Medium	2-2 gph
123	(Symbol)	Hibiscus Rose of Sharon	1/5-Gal	10'/10'	100 sf=12,300 sf	Medium	2-2 gph
378	(Symbol)	Potentilla Shrubby Cinquefoil	1/5-Gal	3'/3'	20 sf=7,560 sf	Medium	2-2 gph
336	(Symbol)	Nandina Heavenly Bamboo	1/5-Gal	8'/5'	25 sf=8,400 sf	Medium+	2-2 gph
49	(Symbol)	Chamaebatiaria Fernbush	1/5-Gal	5'/6'	100 sf=4,900 sf	Low	2-2 gph
296	(Symbol)	Caryopteris Blue Mist	1/5-Gal	3'/3'	30 sf=8,880 sf	Low+	2-2 gph
40	(Symbol)	Rhus aromatica Gro Low Sumac	1/5-Gal	2'/6'	36 sf=1,440 sf	Medium	2-2 gph

Qty.	Symbol	Ornamental Grasses	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
205	(Symbol)	Miscanthus Maiden Grass	1/5-Gal	5'/5'	25 sf=5,125 sf	Medium+	2-2 gph
289	(Symbol)	Muhlenbergia Regal Mist Grass	1/5-Gal	3'/3'	12 sf=3,468 sf	Medium	2-2 gph
742	(Symbol)	Calamagrostis Karl Foerster Grass	1/5-Gal	3'/2'	20 sf=14,840 sf	Medium	2-2 gph

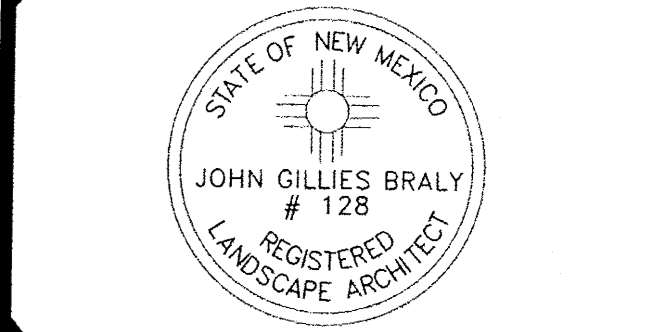
MATERIALS LEGEND

- (Symbol) Sod Lawn (35,325 sf)
- (Symbol) Native Seed (23,100 sf)
- (Symbol) Crushed Gravel at 3" Depth over Fabric (210,550 sf)

IRRIGATION NOTE

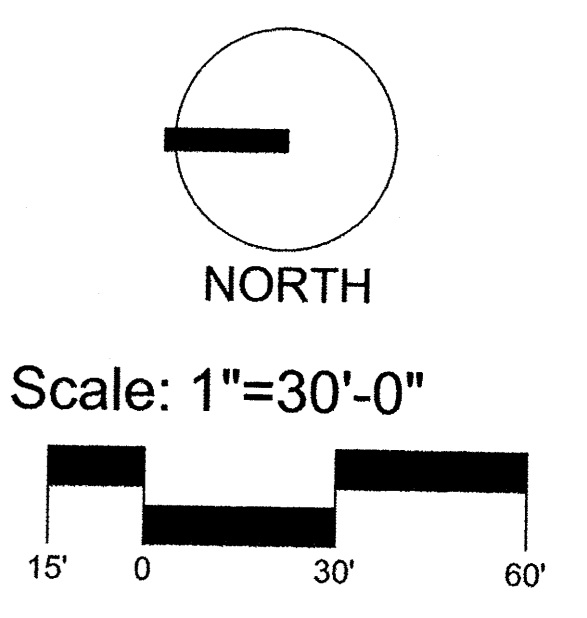
DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH

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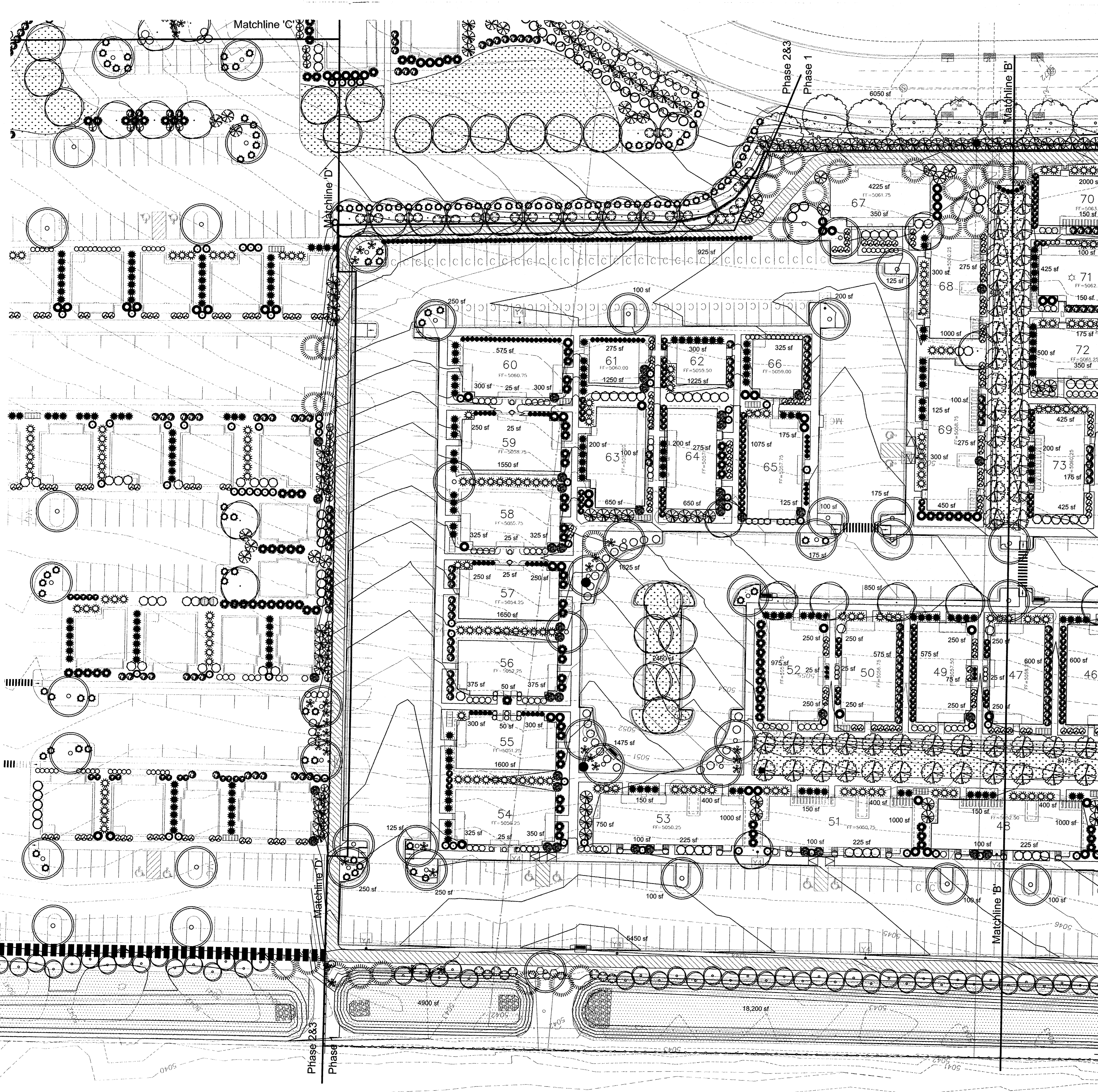
Date: 12/28/2011
 Revisions:
 ▲ 9/27/12
 ▲ 4/30/13
 ▲ 6/10/13
 ▲ 6/17/13
 6/18/13 9/18/13
 Drawn by: JC
 Reviewed by: JB

The Cottages of New Mexico
 DRB Submittal
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LS-03



PLANT LEGEND/Phase 1

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Water Use	Drip Emitters Per Plant (see note)
85		Gleditsia/Quercus Thornless Honey Locust/Texas Red Oak	2" B&B	80'/80'	Medium	6-2 gph
46		Fraxinus/Pistachia Modesto Ash/Chinese Pistache	2" B&B	40'/40'	Medium+	6-2 gph
63		Pinus nigra Austrian Pine	6'-8" HL	35'/25'	Medium	6-2 gph
102		Robinia/Celtis Purple Robe Locust/Hackberry	2" Cal	40'/25'	Medium	6-2 gph
140		Pyrus/Crataegus Flowering Pear/Hawthorn	15 Gal	25'/15'	Medium+	6-2 gph
0		Cedrus Blue Atlas Cedar	2" Cal	75'/50'	Medium+	6-2 gph

PLANT LEGEND/Phase 1

Qty.	Symbol	Shrubs/Groundcovers	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
140		Buddleia davidii Butterfly Bush	1/5-Gal	5'/5'	25 sf=3,500 sf	Medium	2-2 gph
121		Juniperus sabinia Buffalo Juniper	1/5-Gal	2'/5'	35 sf=4,235 sf	Medium	2-2 gph
203		Vauquelinia Rosewood	1/5-Gal	10'/10'	100 sf=20,300 sf	Low+	2-1 gph
56		Prunus besseyi Sand Cherry	1/5-Gal	3'/3'	25 sf=1,400 sf	Medium	2-2 gph
26		Caesalpinia Yellow Bird of Paradise	1/5-Gal	10'/10'	100 sf=2,600 sf	Low	2-1 gph
20		Fallugia paradoxa Apache Plume	1/5-Gal	6'/7'	49 sf=980 sf	Low	2-1 gph
69		Hesperaloe parviflora Red Yucca	1/5-Gal	3'/4'	20 sf=1,380 sf	Low+	2-1 gph
41		Rhus trilobata Three Leaf Sumac	1/5-Gal	6'/6'	36 sf=1,476 sf	Medium	2-2 gph
173		Lagerstroemia Crape Myrtle	1/5-Gal	15'/15'	100 sf=17,300 sf	Medium+	2-2 gph
184		Spirea Dwarf Red Spirea	1/5-Gal	3'/3'	18 sf=3,312 sf	Medium+	2-2 gph
338		Lavandula Lavender	1/5-Gal	3'/3'	12 sf=4,056 sf	Medium	2-1 gph
306		Ilex Wilson Holly	1/5-Gal	10'/10'	100 sf=30,600 sf	Medium+	2-2 gph
494		Raphiolepis India Hawthorn	1/5-Gal	3'/4'	20 sf=9,880 sf	Medium	2-2 gph
143		Cercocarpus Curl Leaf Mtn. Mahogany	1/5-Gal	15'/15'	100 sf=14,300 sf	Low+	2-1 gph
140		Pinus mugo Mugho Pine	1/5-Gal	4'/5'	30 sf=4,200 sf	Medium	2-2 gph
123		Hibiscus Rose of Sharon	1/5-Gal	10'/10'	100 sf=12,300 sf	Medium	2-2 gph
378		Potentilla Shrubby Cinquefoil	1/5-Gal	3'/3'	20 sf=7,560 sf	Medium	2-2 gph
25		Nandina Heavenly Bamboo	1/5-Gal	8'/5'	25 sf=8,400 sf	Medium+	2-2 gph
49		Chamaebatiaria Fernbush	1/5-Gal	5'/6'	100 sf=4,900 sf	Low	2-2 gph
296		Caryopteris Blue Mist	1/5-Gal	3'/3'	30 sf=8,880 sf	Low+	2-2 gph
40		Rhus aromatica Gro Low Sumac	1/5-Gal	2'/6'	36 sf=1,440 sf	Medium	2-2 gph

Ornamental Grasses

205		Miscanthus Maiden Grass	1/5-Gal	5'/5'	25 sf=5,125 sf	Medium+	2-2 gph
289		Muhlenbergia Regal Mist Grass	1/5-Gal	3'/3'	12 sf=3,468 sf	Medium	2-2 gph
742		Calamagrostis Karl Foerster Grass	1/5-Gal	3'/2'	20 sf=14,840 sf	Medium	2-2 gph

Total landscape coverage=200,822 sf

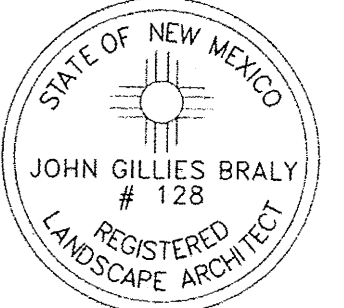
MATERIALS LEGEND

- Sod Lawn (35,325 sf)
- Native Seed (23,100 sf)
- Crushed Gravel at 3" Depth over Fabric (210,550 sf)

IRRIGATION NOTE

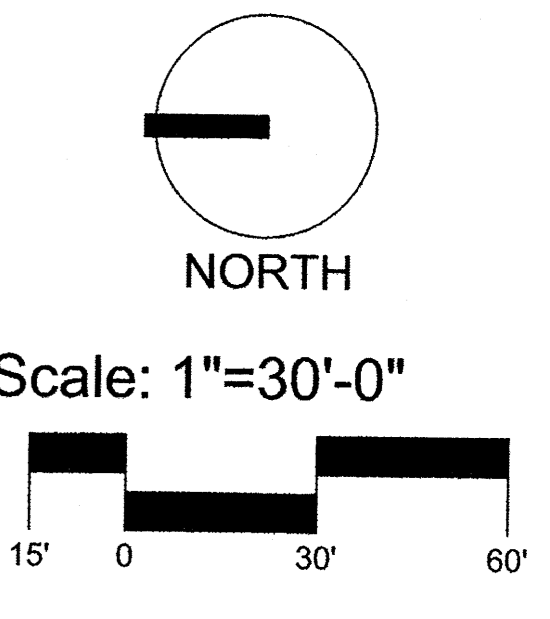
DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
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 FALL:
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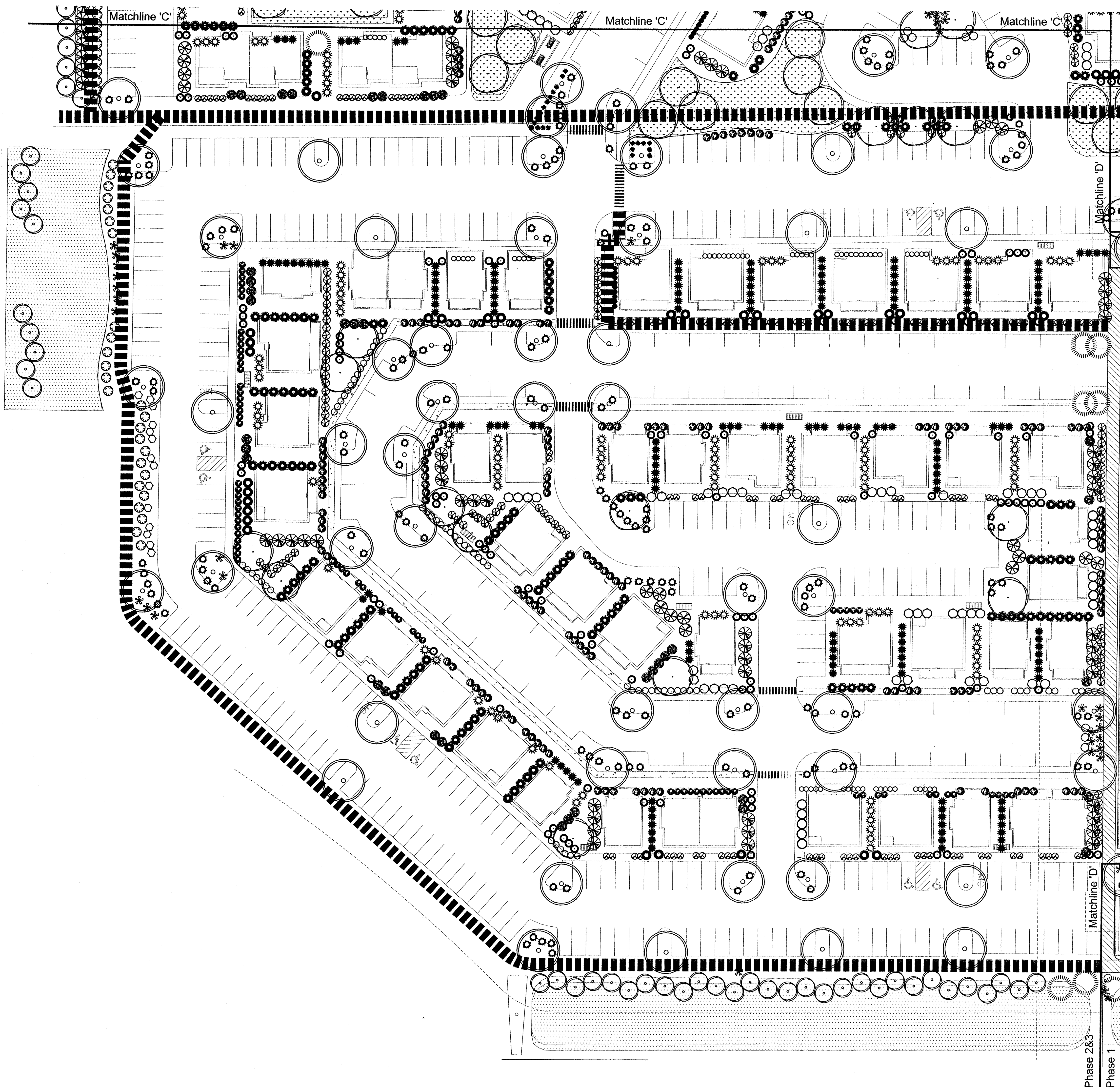
Date: 12/28/2011
 Revisions:
 ▲ 9/27/12
 ▲ 4/30/13
 ▲ 6/10/13
 ▲ 6/17/13
 6/18/13 9/18/13
 Drawn by: JC
 Reviewed by: JB

The Cottages
 of New Mexico
 DRB Submittal
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LS-04



PLANT LEGEND/Phase 2&3

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Water Use	Drip Emitters Per Plant (see note)
67		Gleditsia/Quercus Thornless Honey Locust/Texas Red Oak	2" B&B	80/78'	Medium	6-2 gph
14		Fraxinus/Pistachia Modesto Ash/Chinese Pistache	2" B&B	40/40'	Medium+	6-2 gph
8		Pinus nigra Austrian Pine	6"-8" Ht.	35/25'	Medium	6-2 gph
73		Robinia/Celtis Purple Robe Locust/Hackberry	2" Cal	40/25'	Medium	6-2 gph
0		Pyrus/Crataegus Flowering Pear/Hawthorn	15 Gal	25/15'	Medium+	6-2 gph
0		Cedrus Blue Atlas Cedar	2" Cal	75/50'	Medium+	6-2 gph

Symbol	Native/Small Trees	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
	Chilopsis Desert Willow	5 Gal	20/25'	100 sf=0 sf	Low	6-2 gph
	Forestiera neomexicana New Mexico Olive	5 Gal	15/15'	100 sf=7,800 sf	Medium	6-2 gph
	Vitex Chaste Tree	15 Gal	20/20'	100 sf=0 sf	Medium	6-2 gph

PLANT LEGEND/Phase 2&3

Qty.	Shrubs/Groundcovers	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)	
105		Buddleia davidii Butterfly Bush	1/5-Gal	5/5'	25 sf=2,625 sf	Medium	2-2 gph
256		Juniperus sabina Buffalo Juniper	1/5-Gal	2/5'	35 sf=8,960 sf	Medium	2-2 gph
173		Vauquelinia Rosewood	1/5-Gal	10/10'	100 sf=17,300 sf	Low+	2-1 gph
135		Prunus besseyi Sand Cherry	1/5-Gal	3/3'	25 sf=3,375 sf	Medium	2-2 gph
34		Caesalpinia Yellow Bird of Paradise	1/5-Gal	10/10'	100 sf=3,400 sf	Low	2-1 gph
14		Fallugia paradoxa Apache Plume	1/5-Gal	6/7'	49 sf=686 sf	Low	2-1 gph
45		Hesperaloe parviflora Red Yucca	1/5-Gal	3/4'	20 sf=900 sf	Low+	2-1 gph
134		Rhus trilobata Three Leaf Sumac	1/5-Gal	6/6'	36 sf=4,824 sf	Medium	2-2 gph
59		Lagerstroemia Crape Myrtle	1/5-Gal	15/15'	100 sf=5,900 sf	Medium+	2-2 gph
112		Spiraea Dwarf Red Spiraea	1/5-Gal	3/3'	18 sf=2,016 sf	Medium+	2-2 gph
69		Lavandula Lavender	1/5-Gal	3/3'	12 sf=828 sf	Medium	2-1 gph
208		Ilex Wilson Holly	1/5-Gal	10/10'	100 sf=20,800 sf	Medium+	2-2 gph
192		Raphiolepis India Hawthorn	1/5-Gal	3/4'	20 sf=3,840 sf	Medium	2-2 gph
112		Cercocarpus Curl Leaf Mtn. Mahogany	1/5-Gal	15/15'	100 sf=11,200 sf	Low+	2-1 gph
146		Pinus mugo Mugho Pine	1/5-Gal	4/5'	30 sf=4,380 sf	Medium	2-2 gph
53		Hibiscus Rose of Sharon	1/5-Gal	10/10'	100 sf=5,300 sf	Medium	2-2 gph
150		Potentilla Shrubby Cinquefoil	1/5-Gal	3/3'	20 sf=3,000 sf	Medium	2-2 gph
255		Nandina Heavenly Bamboo	1/5-Gal	8/5'	25 sf=6,375 sf	Medium+	2-2 gph
41		Chamaebatiaria Fernbush	1/5-Gal	5/6'	100 sf=4,100 sf	Low	2-2 gph
264		Caryopteris Blue Mist	1/5-Gal	3/3'	30 sf=7,920 sf	Low+	2-2 gph
65		Rhus aromatica Gro Low Sumac	1/5-Gal	2/6'	36 sf=2,340 sf	Medium	2-2 gph
Ornamental Grasses							
208		Miscanthus Maiden Grass	1/5-Gal	5/5'	25 sf=5,200 sf	Medium+	2-2 gph
74		Muhlenbergia Regal Mist Grass	1/5-Gal	3/3'	12 sf=888 sf	Medium	2-2 gph
111		Calamagrostis Karl Foerster Grass	1/5-Gal	3/2'	20 sf=2,220 sf	Medium	2-2 gph

Total landscape coverage=136,177 sf

MATERIALS LEGEND

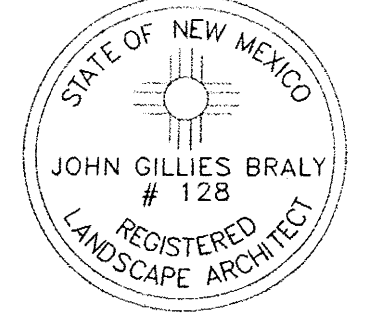
- Sod Lawn (28,575 sf)
- Native Seed (24,700 sf)
- Crushed Gravel at 3" Depth over Fabric (198,975 sf)

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

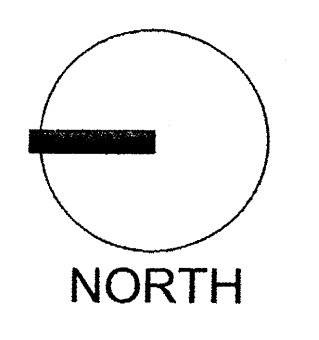
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Date: 12/28/2011
Revisions:
▲ 9/27/12
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▲ 6/10/13
▲ 6/17/13
6/18/13
Drawn by: JC
Reviewed by: JB

**The Cottages
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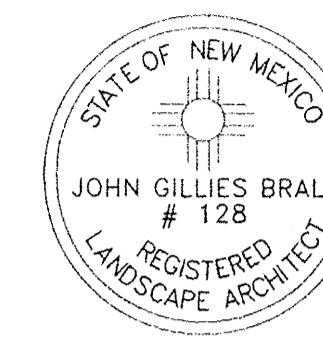


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Sheet Title:
**Landscape
Phase 2&3**

Sheet Number:

LS-05



Date: 12/28/2011

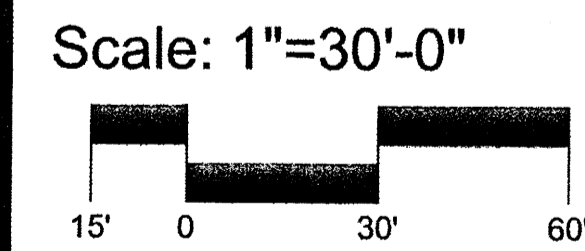
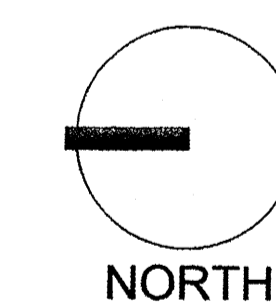
Revisions:

- ▲ 9/27/12
- ▲ 4/30/13
- ▲ 6/10/13
- ▲ 6/17/13
- 6/18/13

Drawn by: JC

Reviewed by: JB

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DRB Submittal
Albuquerque, New Mexico



Sheet Title:
Landscape
Phase 2&3

Sheet Number:

LS-06

PLANT LEGEND/Phase 2&3

Qty.	Symbol	Scientific Name	Installed Size	Mature Height/Spread	Water Use	Drip Emitters Per Plant (see note)
67		Gleditsia/Quercus Thornless Honey Locust/Texas Red Oak	2" B&B	80/80'	Medium	6-2 gph
14		Fraxinus/Pistachia Modesto Ash/Chinese Pistache	2" B&B	40/40'	Medium+	6-2 gph
8		Pinus nigra Austrian Pine	6'-8' Ht.	35/25'	Medium	6-2 gph
73		Robinia/Celtis Purple Robe Locust/Hackberry	2" Cal	40/25'	Medium	6-2 gph
0		Pyrus/Crataegus Flowering Pear/Hawthorn	15 Gal	25/15'	Medium+	6-2 gph
0		Cedrus Blue Atlas Cedar	2" Cal	75/50'	Medium+	6-2 gph
Symbol		Landscape Coverage				
Native/Small Trees		Qty.	Installed Size	Mature Height/Spread	Water Use	Drip Emitters Per Plant (see note)
0		Chilopsis Desert Willow	5 Gal	20/25'	100 sf=0 sf	Low 6-2 gph
78		Forestiera neomexicana New Mexico Olive	5 Gal	15/15'	100 sf=7,800 sf	Medium 6-2 gph
0		Vitex Chaste Tree	15 Gal	20/20'	100 sf=0 sf	Medium 6-2 gph

PLANT LEGEND/Phase 2&3

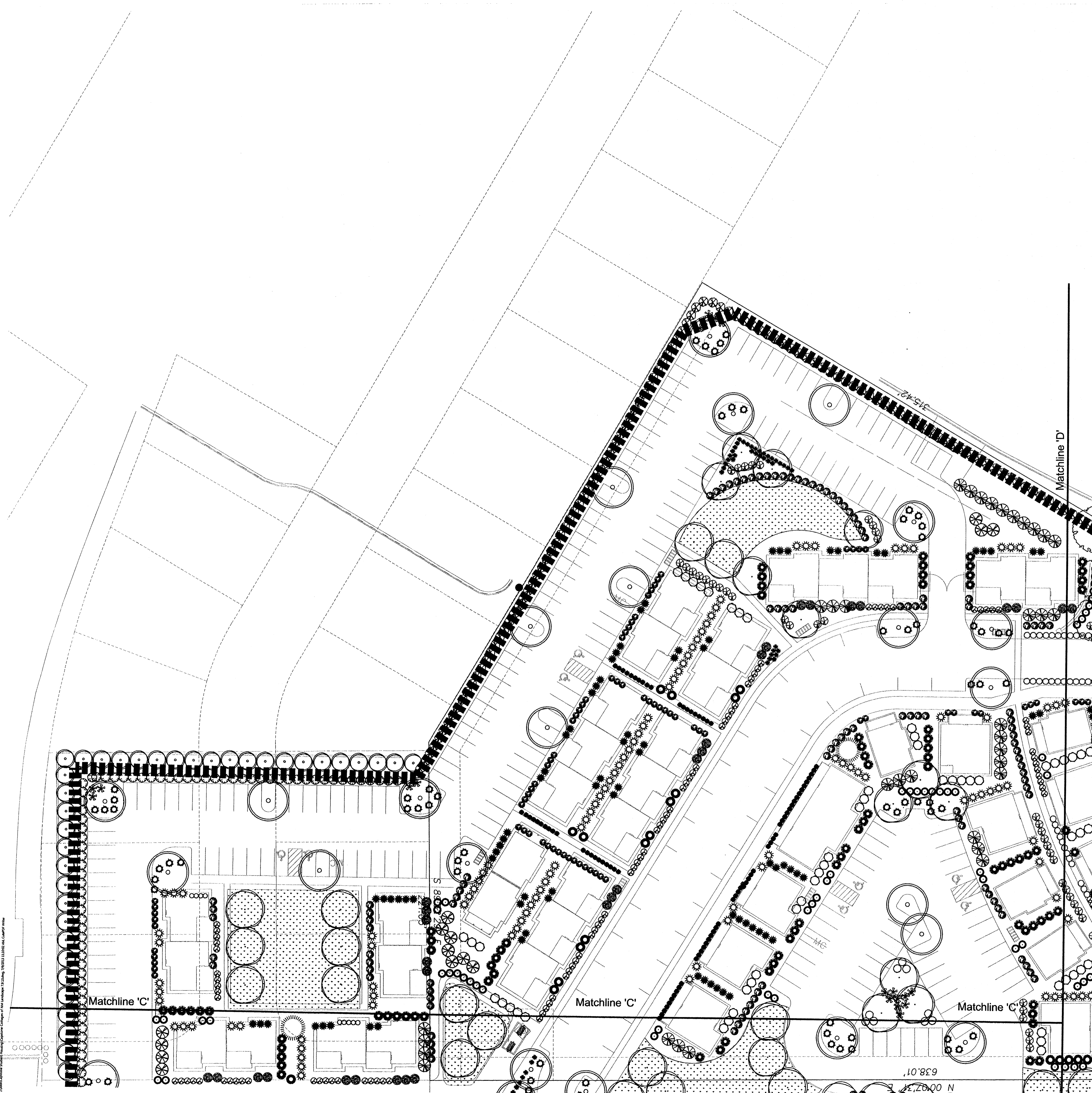
Qty.	Symbol	Shrubs/Groundcovers	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
105		Buddleia davidii Butterfly Bush	1/5-Gal	5/5'	25 sf=2,625 sf	Medium	2-2 gph
256		Juniperus sabina Buffalo Juniper	1/5-Gal	2/5'	35 sf=8,960 sf	Medium	2-2 gph
173		Vauquelinia Rosewood	1/5-Gal	10/10'	100 sf=17,300 sf	Low+	2-1 gph
135		Prunus besseyi Sand Cherry	1/5-Gal	3/3'	25 sf=3,375 sf	Medium	2-2 gph
34		Caesalpinia Yellow Bird of Paradise	1/5-Gal	10/10'	100 sf=3,400 sf	Low	2-1 gph
14		Fallugia paradoxa Apache Plume	1/5-Gal	6/7'	49 sf=686 sf	Low	2-1 gph
45		Hesperaloe parviflora Red Yucca	1/5-Gal	3/4'	20 sf=900 sf	Low+	2-1 gph
134		Rhus trilobata Three Leaf Sumac	1/5-Gal	6/6'	36 sf=4,824 sf	Medium	2-2 gph
59		Lagerstroemia Crape Myrtle	1/5-Gal	15/15'	100 sf=5,900 sf	Medium+	2-2 gph
112		Spirea Dwarf Red Spirea	1/5-Gal	3/3'	18 sf=2,016 sf	Medium+	2-2 gph
69		Lavandula Lavender	1/5-Gal	3/3'	12 sf=828 sf	Medium	2-1 gph
208		Ilex Wilson Holly	1/5-Gal	10/10'	100 sf=20,800 sf	Medium+	2-2 gph
192		Raphiolepis India Hawthorn	1/5-Gal	3/4'	20 sf=3,840 sf	Medium	2-2 gph
112		Cercocarpus Curl Leaf Mtn. Mahogany	1/5-Gal	15/15'	100 sf=11,200 sf	Low+	2-1 gph
146		Pinus mugo Mugho Pine	1/5-Gal	4/5'	30 sf=4,380 sf	Medium	2-2 gph
53		Hibiscus Rose of Sharon	1/5-Gal	10/10'	100 sf=5,300 sf	Medium	2-2 gph
150		Potentilla Shrubby Cinquefoil	1/5-Gal	3/3'	20 sf=3,000 sf	Medium	2-2 gph
255		Nandina Heavenly Bamboo	1/5-Gal	8/5'	25 sf=6,375 sf	Medium+	2-2 gph
41		Chamaebatiaria Fernbush	1/5-Gal	5/6'	100 sf=4,100 sf	Low	2-2 gph
264		Caryopteris Blue Mist	1/5-Gal	3/3'	30 sf=7,920 sf	Low+	2-2 gph
65		Rhus aromatica Gro Low Sumac	1/5-Gal	2/6'	36 sf=2,340 sf	Medium	2-2 gph
Ornamental Grasses		Qty.	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)
208		Miscanthus Maiden Grass	1/5-Gal	5/5'	25 sf=5,200 sf	Medium+	2-2 gph
74		Muhlenbergia Regal Mist Grass	1/5-Gal	3/3'	12 sf=888 sf	Medium	2-2 gph
111		Calamagrostis Karl Foerster Grass	1/5-Gal	3/2'	20 sf=2,220 sf	Medium	2-2 gph
					Total landscape coverage=136,177 sf		

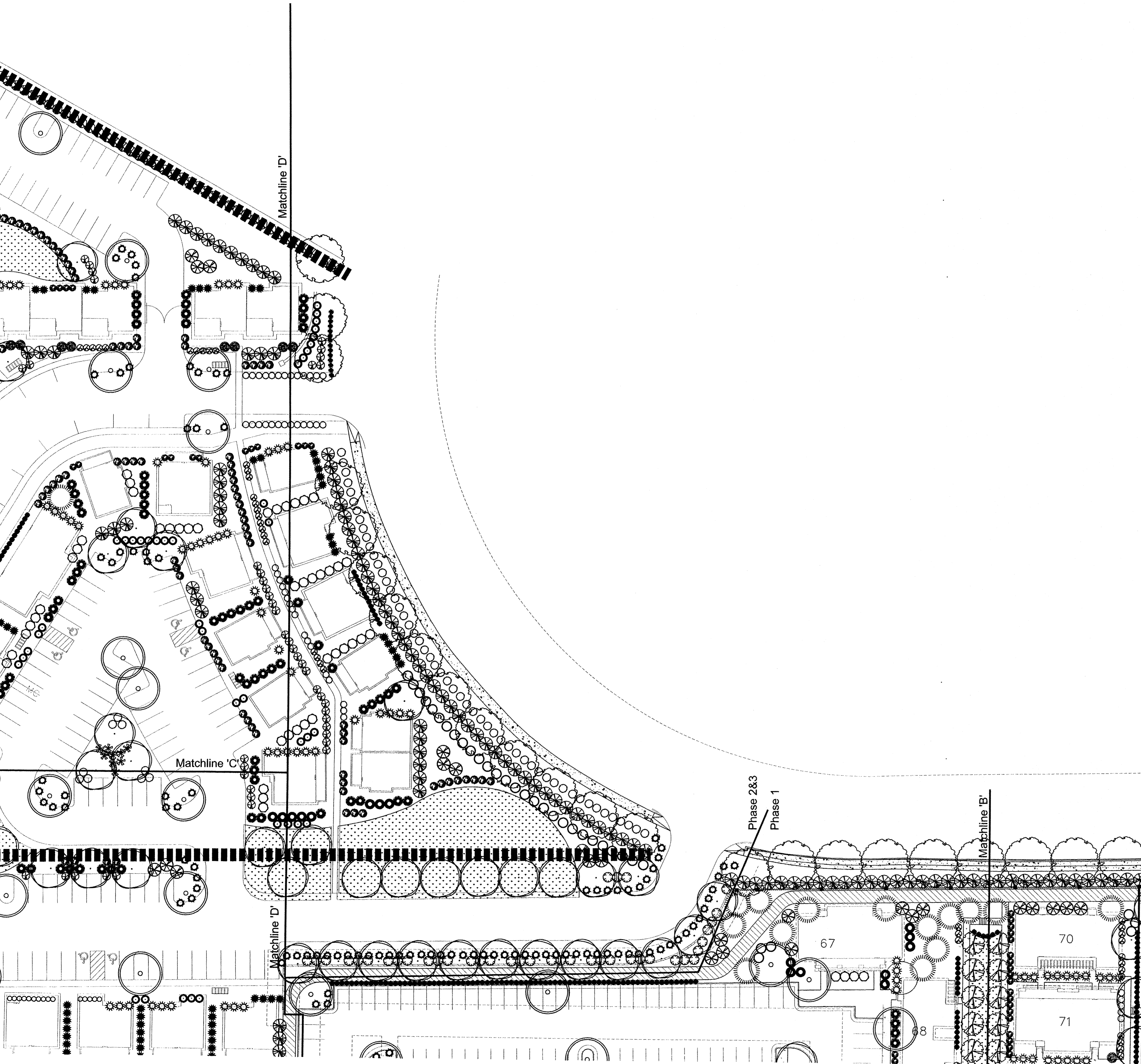
MATERIALS LEGEND

- Sod Lawn (28,575 sf)
- Native Seed (24,700 sf)
- Crushed Gravel at 3" Depth over Fabric (198,975 sf)

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH





PLANT LEGEND/Phase 2&3

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Water Use	Drip Emitters Per Plant (see note)	
67		Gleditsia/Quercus Thornless Honey Locust/Texas Red Oak	2" B&B	80/80'	Medium	6-2 gph	
14		Fraxinus/Pistachia Modesto Ash/Chinese Pistache	2" B&B	40/40'	Medium+	6-2 gph	
8		Pinus nigra Austrian Pine	6'-8" Ht.	35/25'	Medium	6-2 gph	
73		Robinia/Celtis Purple Robe Locust/Hackberry	2" Cal	40/25'	Medium	6-2 gph	
0		Pyrus/Crataegus Flowering Pear/Hawthorn	15 Gal	25/15'	Medium+	6-2 gph	
0		Cedrus Blue Atlas Cedar	2" Cal	75/50'	Medium+	6-2 gph	
Symbol		Landscape Coverage					
Native/Small Trees		Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)	
0		Chilopsis Desert Willow	5 Gal	20/25'	100 sf=0 sf	Low	6-2 gph
78		Forestiera neomexicana New Mexico Olive	5 Gal	15/15'	100 sf=7,800 sf	Medium	6-2 gph
0		Vitex Chaste Tree	15 Gal	20/20'	100 sf=0 sf	Medium	6-2 gph

PLANT LEGEND/Phase 2&3

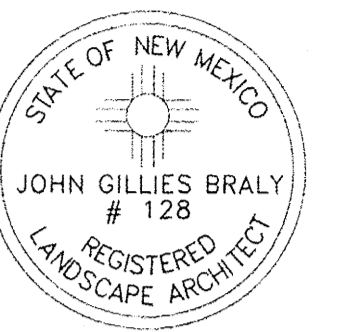
Qty.	Shrubs/Groundcovers	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters Per Plant (see note)	
105		Buddleia davidii Butterfly Bush	1/5-Gal	5/5'	25 sf=2,625 sf	Medium	2-2 gph
256		Juniperus sabina Buffalo Juniper	1/5-Gal	2/5'	35 sf=8,960 sf	Medium	2-2 gph
173		Vauquelinia Rosewood	1/5-Gal	10/10'	100 sf=17,300 sf	Low+	2-1 gph
135		Prunus besseyi Sand Cherry	1/5-Gal	3/3'	25 sf=3,375 sf	Medium	2-2 gph
34		Caesalpinia Yellow Bird of Paradise	1/5-Gal	10/10'	100 sf=3,400 sf	Low	2-1 gph
14		Fallugia paradoxa Apache Plume	1/5-Gal	6/7'	49 sf=686 sf	Low	2-1 gph
45		Hesperaloe parviflora Red Yucca	1/5-Gal	3/4'	20 sf=900 sf	Low+	2-1 gph
134		Rhus trilobata Three Leaf Sumac	1/5-Gal	6/6'	36 sf=4,824 sf	Medium	2-2 gph
59		Lagerstroemia Crape Myrtle	1/5-Gal	15/15'	100 sf=5,900 sf	Medium+	2-2 gph
112		Spiraea Dwarf Red Spirea	1/5-Gal	3/3'	18 sf=2,016 sf	Medium+	2-2 gph
69		Lavandula Lavender	1/5-Gal	3/3'	12 sf=828 sf	Medium	2-1 gph
208		Ilex Wilson Holly	1/5-Gal	10/10'	100 sf=20,800 sf	Medium+	2-2 gph
192		Raphiolepis India Hawthorn	1/5-Gal	3/4'	20 sf=3,840 sf	Medium	2-2 gph
112		Cercocarpus Curl Leaf Mtn. Mahogany	1/5-Gal	15/15'	100 sf=11,200 sf	Low+	2-1 gph
146		Pinus mugo Mugho Pine	1/5-Gal	4/5'	30 sf=4,380 sf	Medium	2-2 gph
53		Hibiscus Rose of Sharon	1/5-Gal	10/10'	100 sf=5,300 sf	Medium	2-2 gph
150		Potentilla Shrubby Cinquefoil	1/5-Gal	3/3'	20 sf=3,000 sf	Medium	2-2 gph
255		Nandina Heavenly Bamboo	1/5-Gal	8/5'	25 sf=6,375 sf	Medium+	2-2 gph
41		Chamaebatia Fernbush	1/5-Gal	5/6'	100 sf=4,100 sf	Low	2-2 gph
264		Caryopteris Blue Mist	1/5-Gal	3/3'	30 sf=7,920 sf	Low+	2-2 gph
65		Rhus aromatica Gro Low Sumac	1/5-Gal	2/6'	36 sf=2,340 sf	Medium	2-2 gph
Ornamental Grasses							
208		Miscanthus Maiden Grass	1/5-Gal	5/5'	25 sf=5,200 sf	Medium+	2-2 gph
74		Muhlenbergia Regal Mist Grass	1/5-Gal	3/3'	12 sf=888 sf	Medium	2-2 gph
111		Calamagrostis Karl Foerster Grass	1/5-Gal	3/2'	20 sf=2,220 sf	Medium	2-2 gph
				Total landscape coverage=136,177 sf			

MATERIALS LEGEND

- Sod Lawn (28,575 sf)
- Native Seed (24,700 sf)
- Crushed Gravel at 3" Depth over Fabric (198,975 sf)

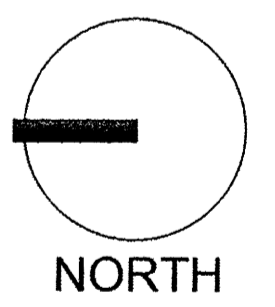
IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH



Date: 12/28/2011
 Revisions:
 ▲ 9/27/12
 ▲ 4/30/13
 ▲ 6/10/13
 ▲ 6/17/13
 6/18/13
 Drawn by: JC
 Reviewed by: JB

The Cottages
 of New Mexico
 DRB Submittal
 Albuquerque, New Mexico

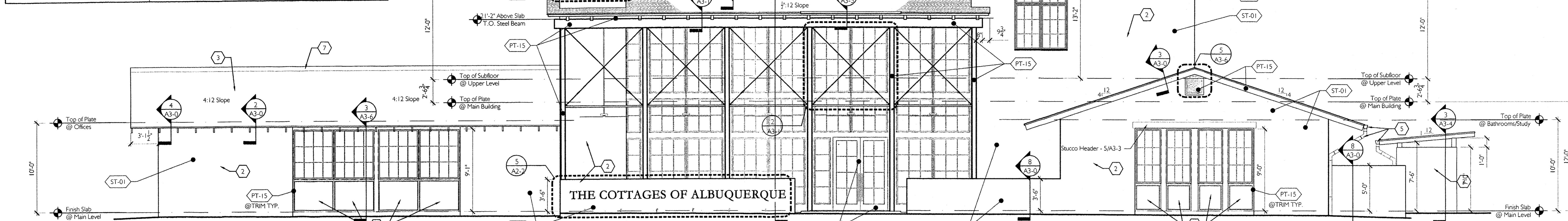


Scale: 1"=30'-0"

Sheet Title:
**Landscape
 Phase 2&3**

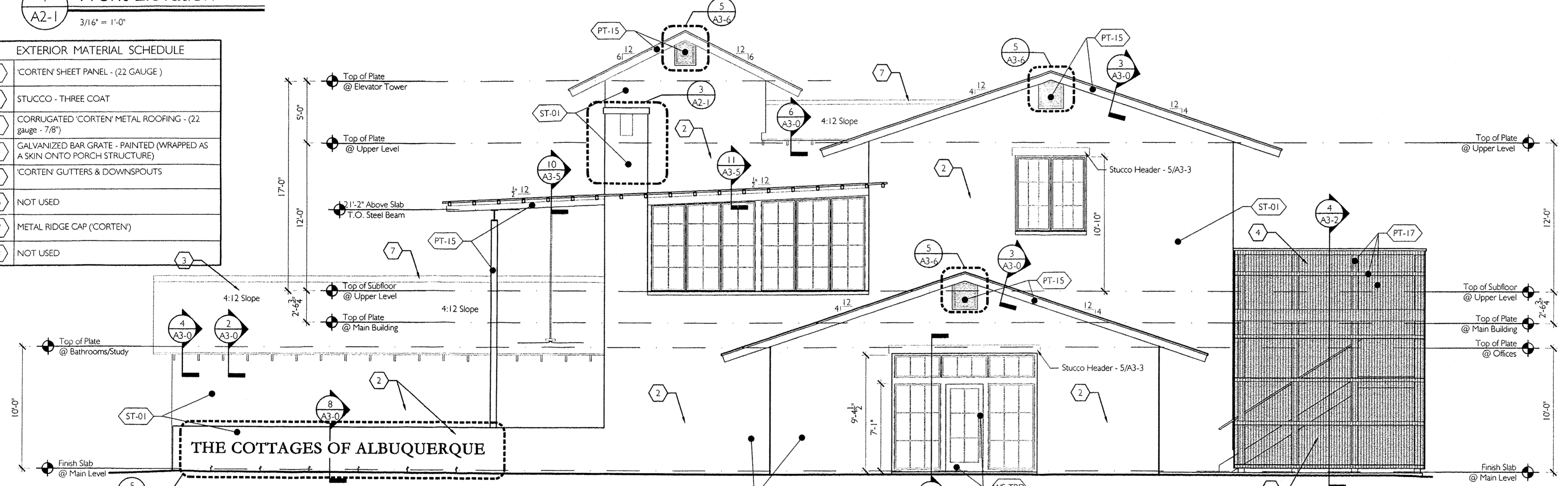
Sheet Number:
LS-07

EXTERIOR FINISHES	
- Provide Proportionate mock-up of all exterior finishes for Approval - All substitutions to be approved by Architect	
FINISH CALLOUT	PAINT COLOR - All paint to be exterior grade quality
ST-01 (STUCCO BODY COLOR AND FINISH)	STUCCO FINISH COAT TO MATCH "SHERWIN WILLIAMS" (6130 MANNERED GOLD or YELLOW GOLD) - FINE FINISH
PT-15 (TRIM FINISH #1)	SHERWIN WILLIAMS 7055 ENDURING BRONZE of "Bronze" - SEMI-GLOSS
PT-17 (GRATE/MESH FINISH)	MATCH INSTALLED 'CORTEN' COLOR - SUBMIT COLOR TO ARCHITECT FOR APPROVAL
WINDOW FINISH	ALUMINUM CLAD FINISH - "BRONZE"
DOOR FINISH (EXTERIOR STAIN GRADE)	2 COATS SEMI-TRANSPARENT STAIN (75% WALNUT / 25% EBONY MIX) w/ SATIN EXTERIOR SEALER
DOOR FINISH (EXTERIOR PAINT GRADE)	SHERWIN WILLIAMS 7055 ENDURING BRONZE of "Bronze" - SEMI-GLOSS

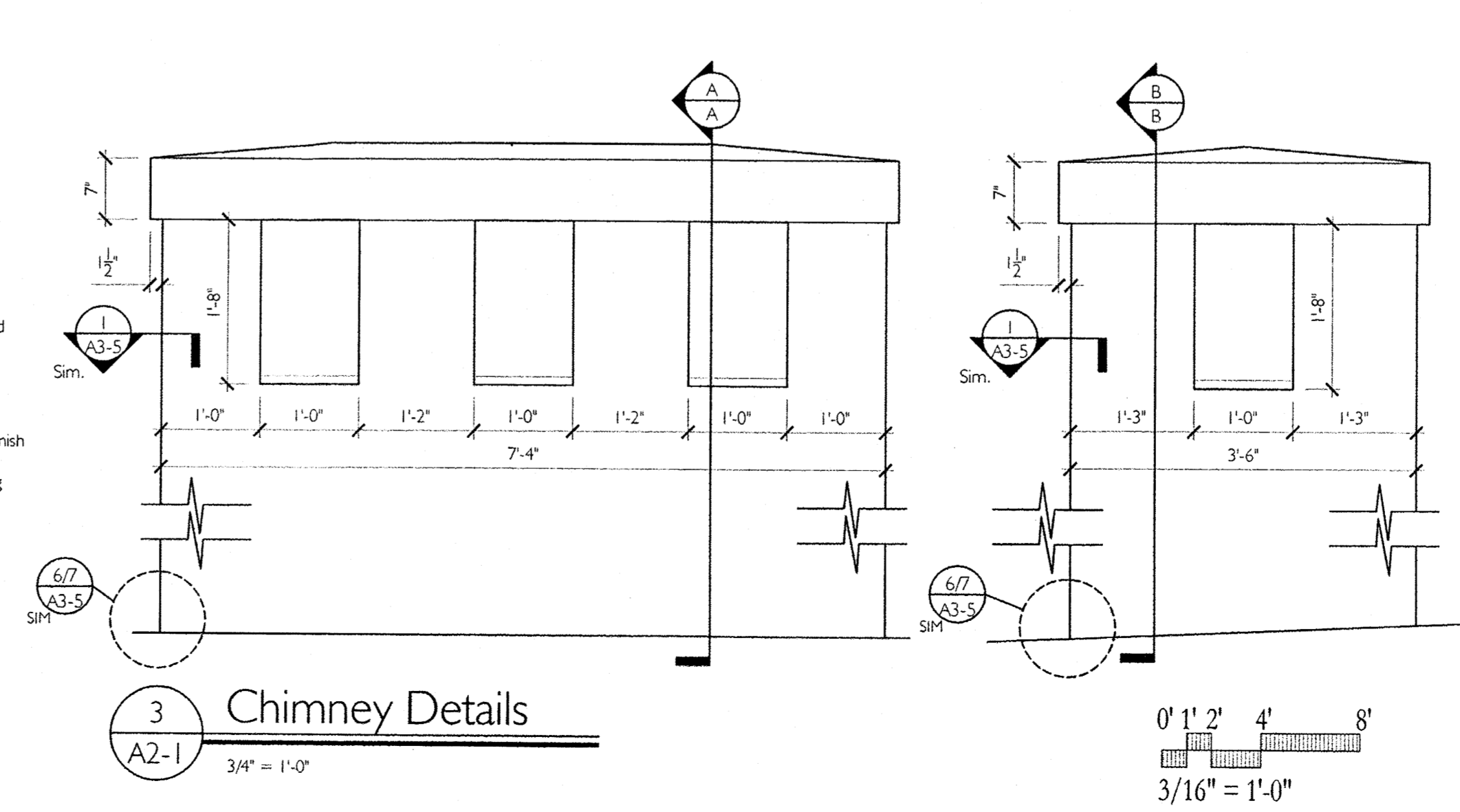
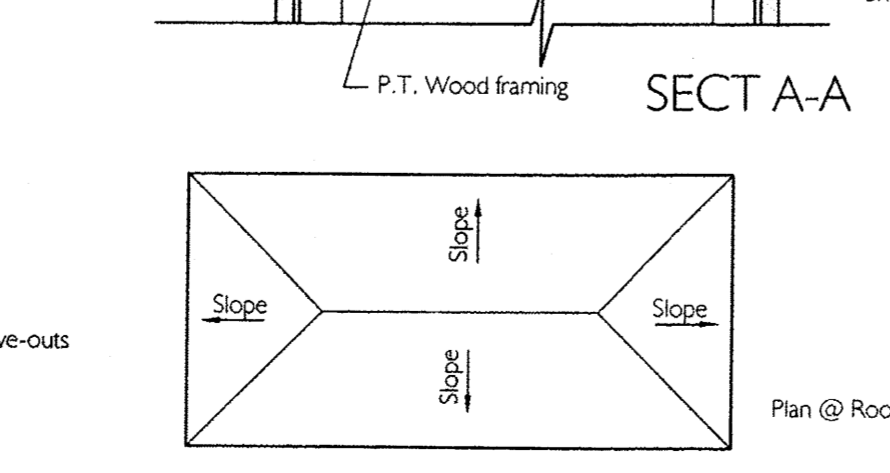
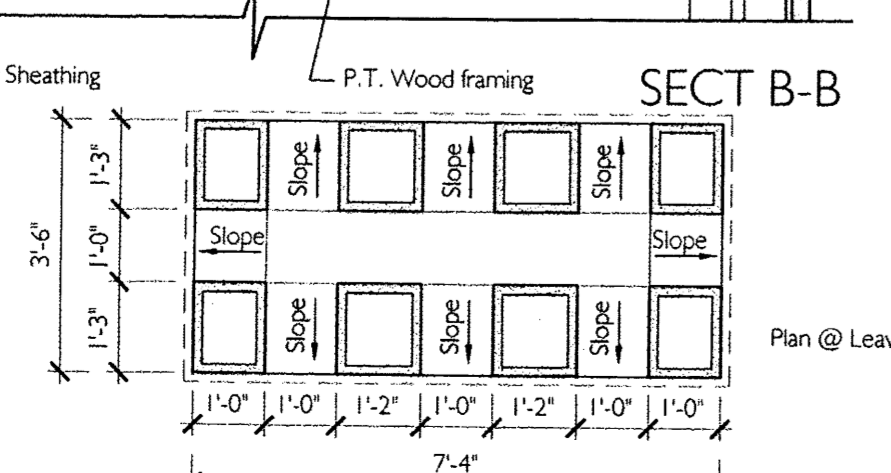
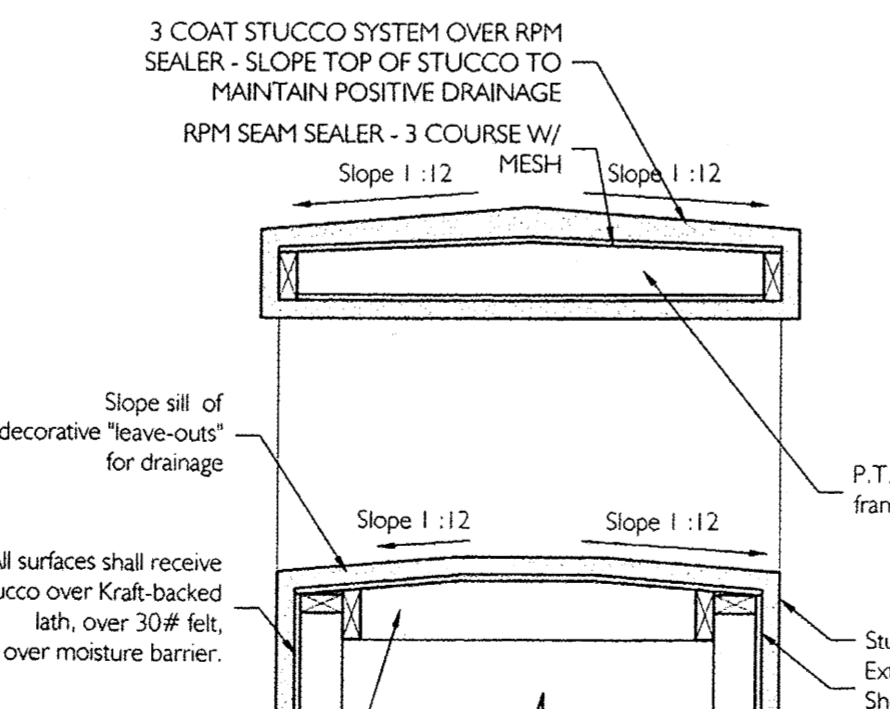
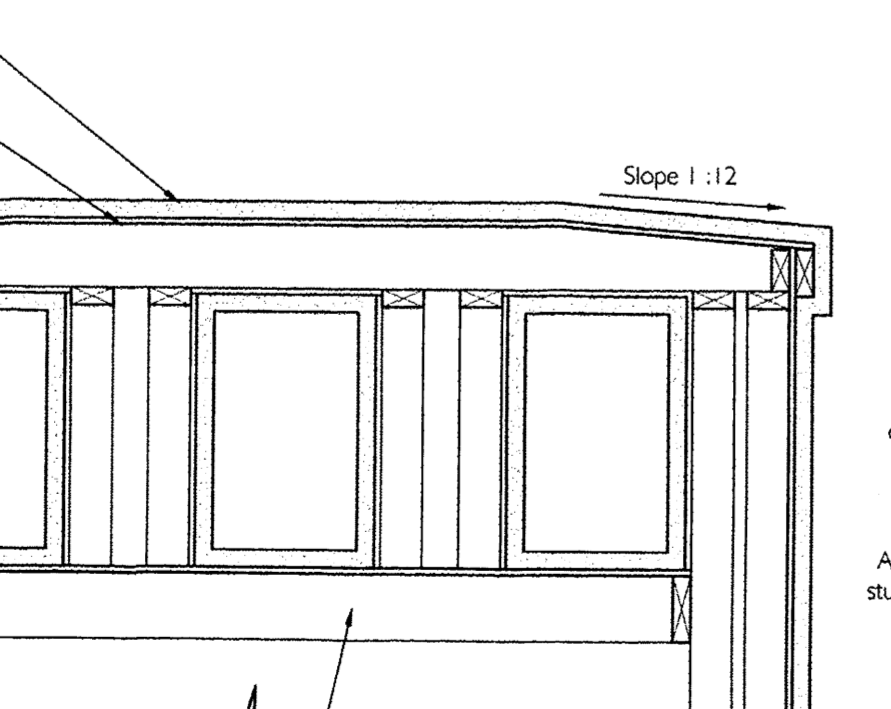
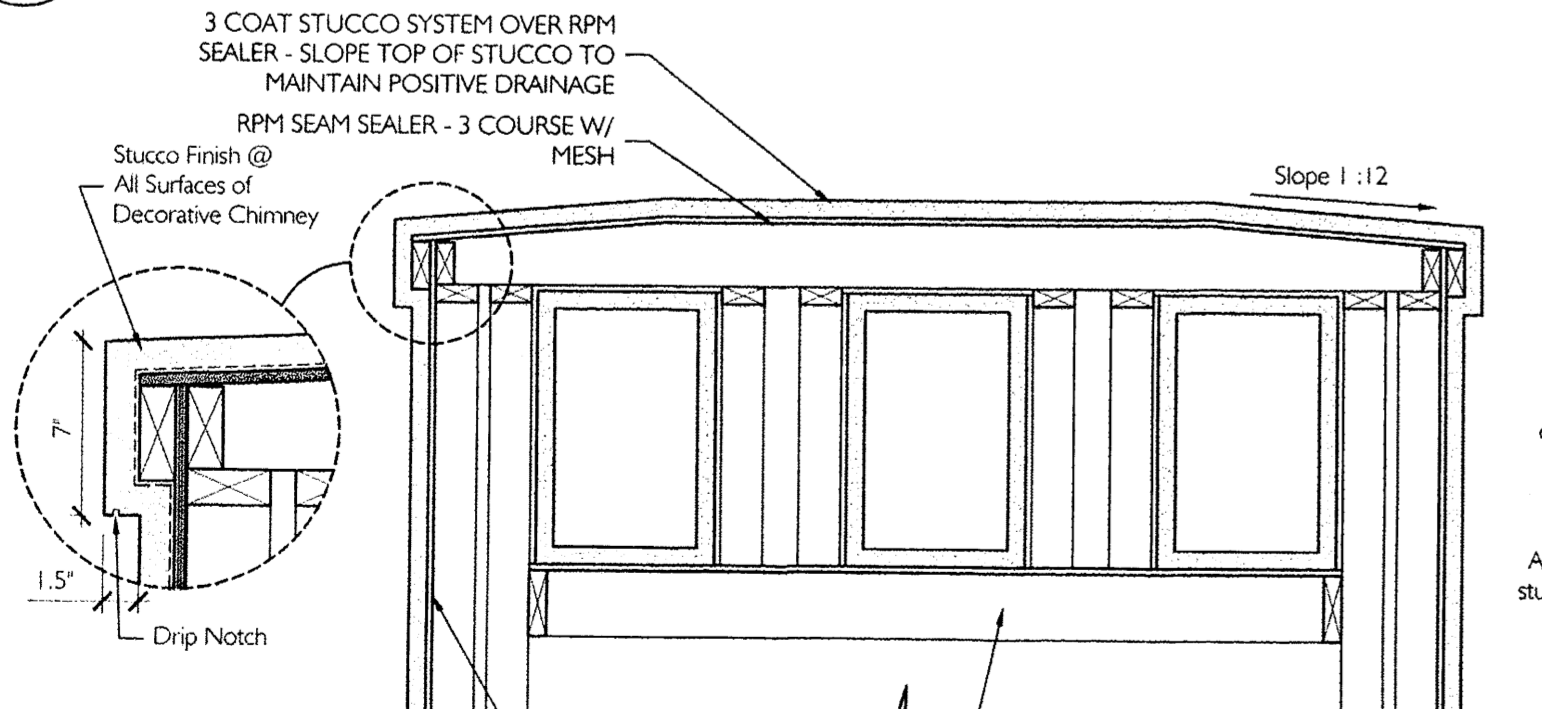


1 Front Elevation
A2-1
3/16" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	'CORTEN' SHEET PANEL - (22 GAUGE)
2	STUCCO - THREE COAT
3	CORRUGATED 'CORTEN' METAL ROOFING - (22 gauge - 7/8")
4	GALVANIZED BAR GRATE - PAINTED (WRAPPED AS A SKIN ONTO PORCH STRUCTURE)
5	'CORTEN' GUTTERS & DOWNSPOUTS
6	NOT USED
7	METAL RIDGE CAP ('CORTEN')
8	NOT USED



2 Side Elevation
A2-1
3/16" = 1'-0"



3 Chimney Details
A2-1
3/4" = 1'-0"

GENERAL NOTES:

- Ensure joint openings can accommodate 1/4" minimum hour glass joint sealant and flashing where applicable
- All sealant should be applied to brown coat of stucco and not finish coat if finish coat is acrylic or paint
- Seal top edge of all metal flashing with urethane or butyl mastic
- Use high temperature modified bitumen underlayment under all metal roofing, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope, hemmed ends/edges on valley metal flashing.
- Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- At termination of metal roofing at high eaves, install high temp through-wall flashing (TWF) under metal counter flashing that extends onto metal roofing to protect metal panel closures along the high eaves.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
- Flash and seal wall penetrations (w/ neutral cure silicone) to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.
- Provide acceptable separation between dissimilar metals to prevent galvanic action.
- 'Cor-ten' fasteners are to be made from same type of steel.
- Install panel and all sealant in contact with 'Cor-ten' panels prior to weathering process.
- Window Installation
 - See "building wrap" manufacturer's recommendations for installation instructions with window unit fins.
 - Seal top, jamb, and sill window fin in accordance with the manufacturer's instructions.
- Exterior Openings: Allow for a 3/8" to 1/2" sealant joint to allow for proper backer rod and sealant installation.
- Foundations: Add vapor barrier under slab (such as "Stego Wrap" 10 or 15 mil)
- Set thresholds in full bed of sealant. Sealant should extend under jambs and 8" up wall jambs.
- Set all wall sill plates in 1/4" bead of butyl or urethane sealant; typ.
- Protect all embedded steel in concrete with sealer or paint; typical

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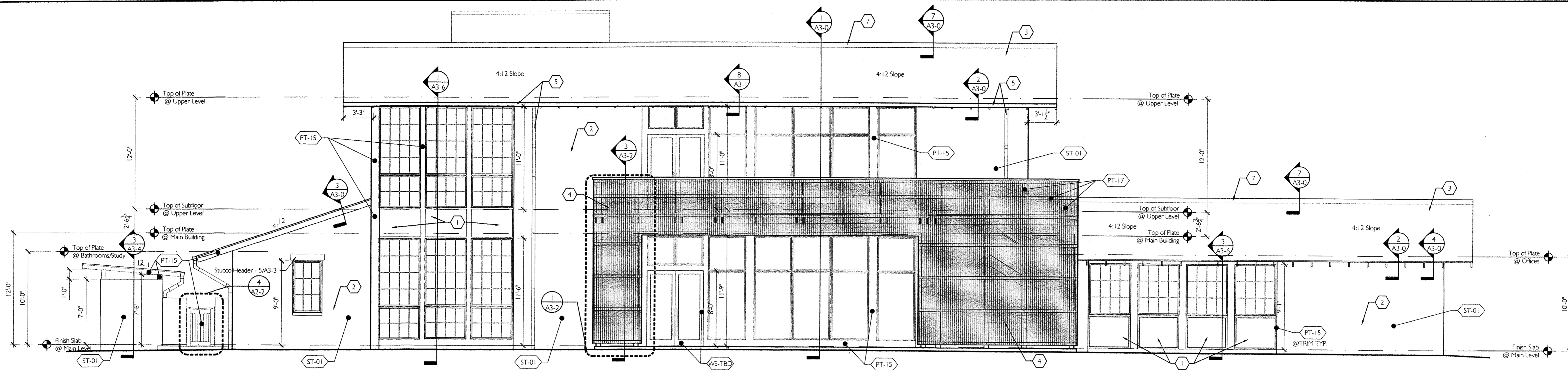
Issue for 95%
THE COTTAGES OF ALBUQUERQUE

CLUBHOUSE
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013

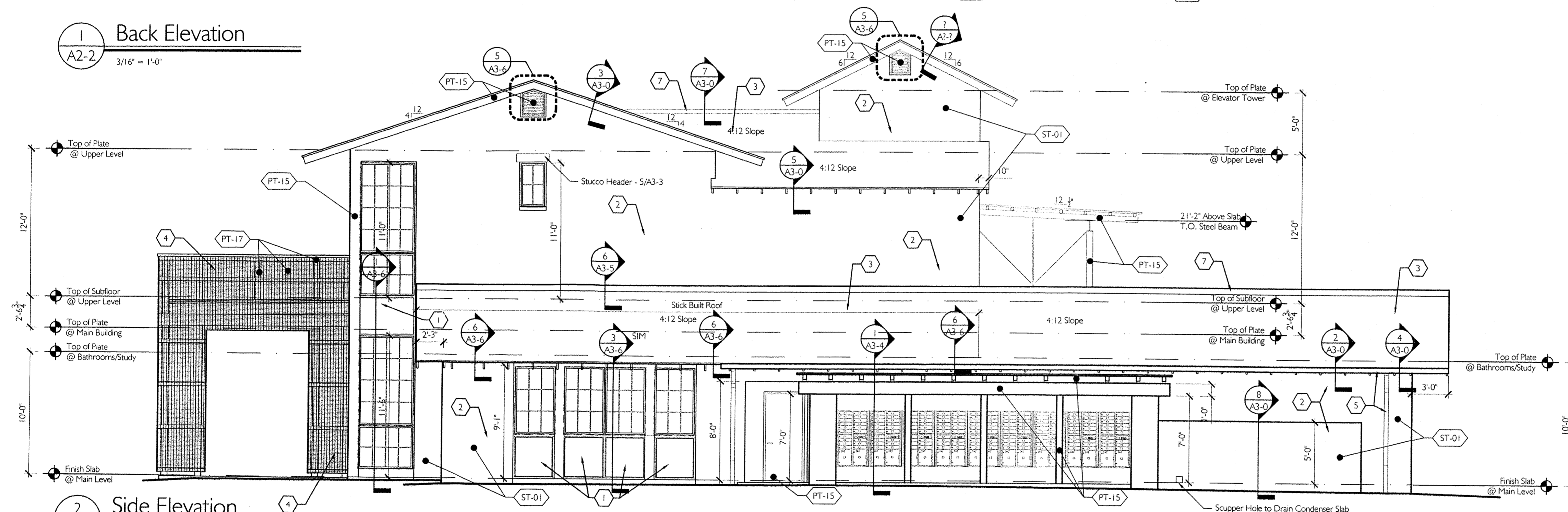
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Checked by: EL

REVISIONS

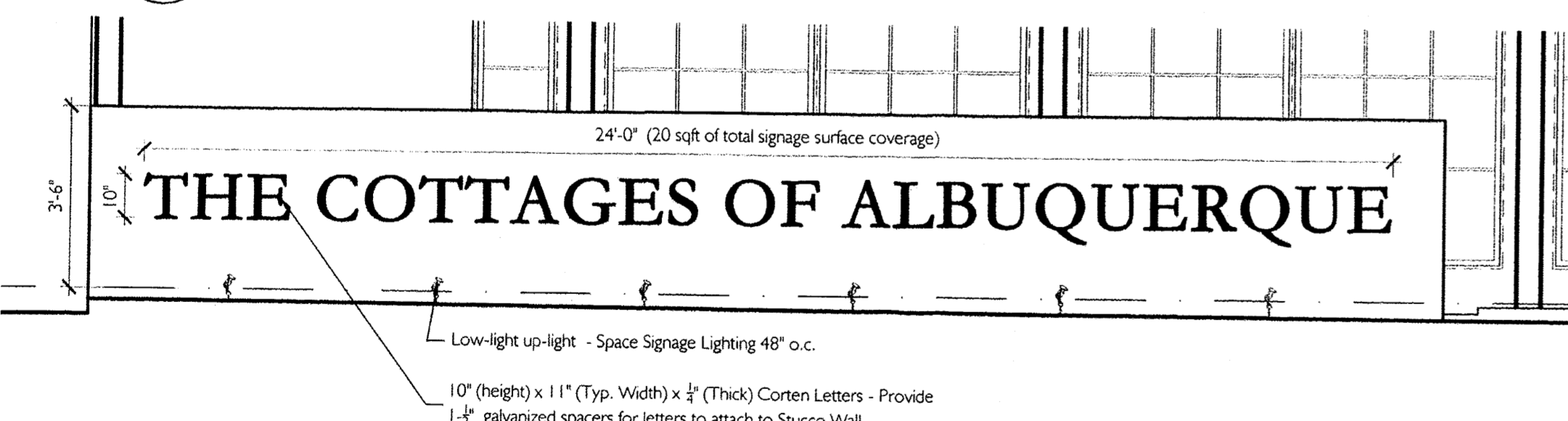
Exterior Elevations



1 Back Elevation
A2-2
3/16" = 1'-0"



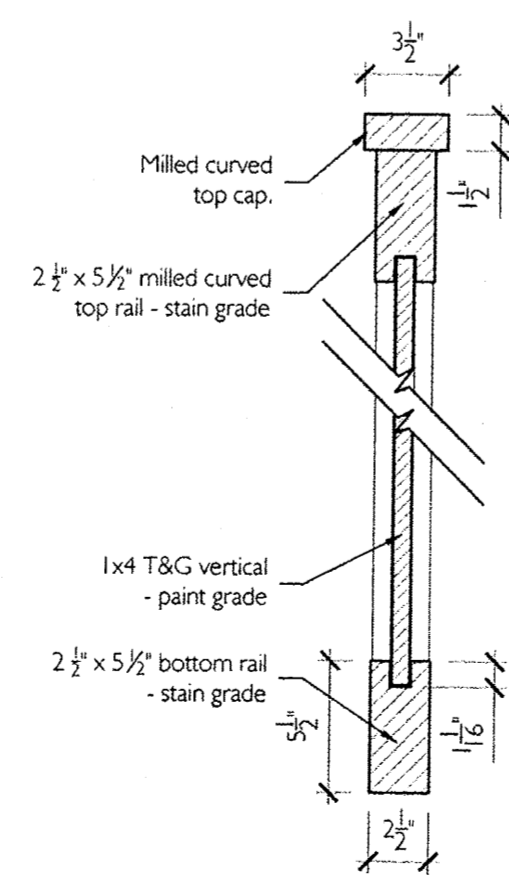
2 Side Elevation
A2-2
3/16" = 1'-0"



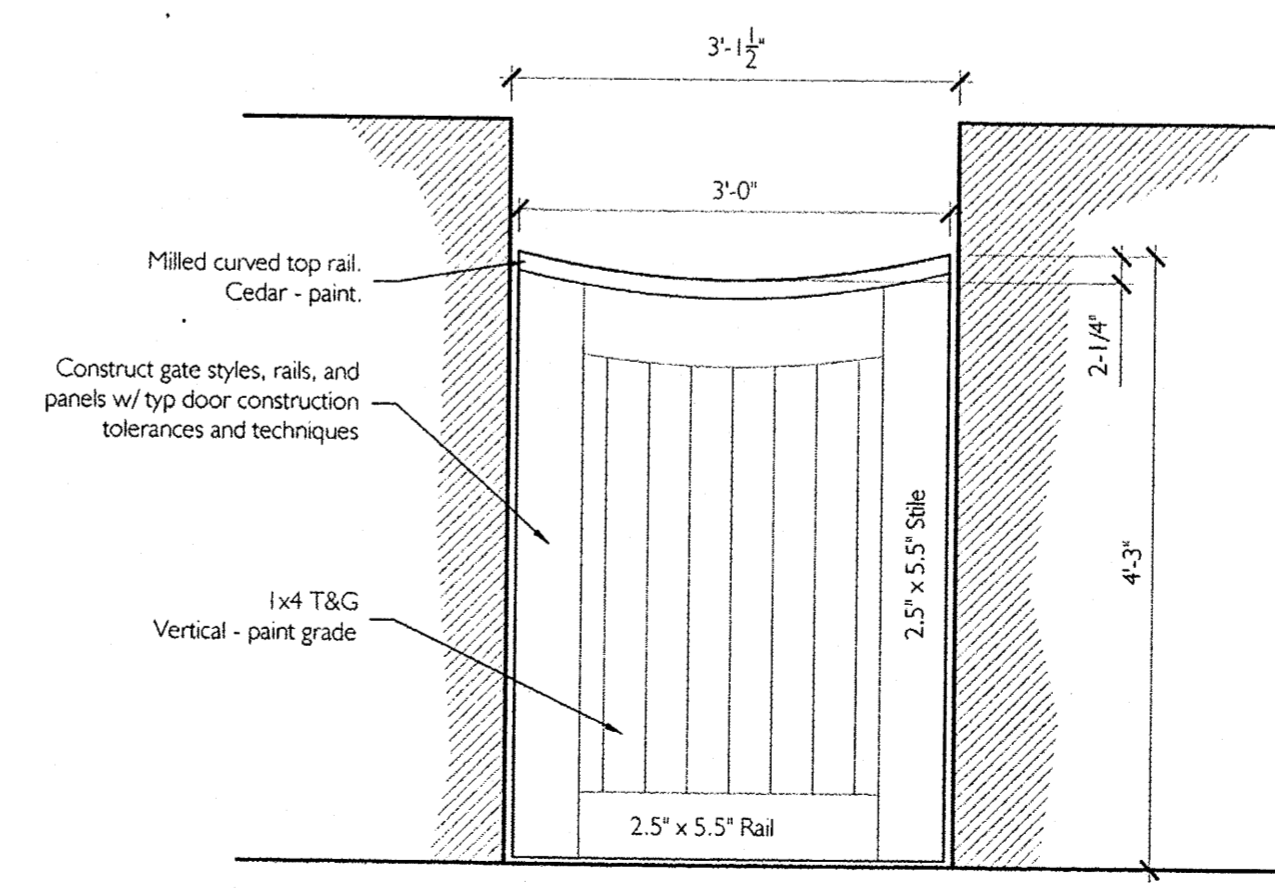
5 Signage Detail - "Same for both signs"
A2-2
3/8" = 1'-0"

EXTERIOR FINISHES	
Provide Proportionate mock-up of all exterior finishes for Approval All substitutions to be approved by Architect	
FINISH CALLOUT	PAINT COLOR - All paint to be exterior grade quality
ST-01 (STUCCO BODY COLOR AND FINISH)	STUCCO FINISH COAT TO MATCH "SHERWIN WILLIAMS" (6130 MANNERED GOLD or YELLOW GOLD) - FINE FINISH
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5	'CORTEN' GUTTERS & DOWNSPOUTS
6	NOT USED
7	METAL RIDGE CAP ('CORTEN')
8	NOT USED



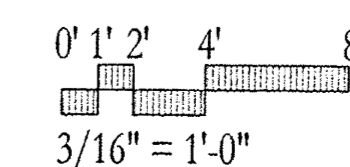
3 Gate Section
A2-2
1-1/2" = 1'-0"



4 Gate Elevation
A2-2
3/4" = 1'-0"

GENERAL NOTES:

- Ensure joint openings can accommodate 1/4" minimum hour glass joint sealant and flashing where applicable
- All sealant should be applied to brown coat of stucco and not finish coat if finish coat is acrylic or paint
- Seal top edge of all metal flashing with urethane or butyl mastic
- Use high temperature modified bitumen underlayment under all metal roofing, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope, hemmed ends/edges on valley metal flashing.
- Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- At termination of metal roofing at high eaves, install high temp through-wall flashing (TWF) under metal counter flashing that extends onto metal roofing to protect metal panel closures along the high eaves.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
- Flash and seal wall penetrations (w/ neutral cure silicone) to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.
- Provide acceptable separation between dissimilar metals to prevent galvanic action.
- 'Cor-ten' fasteners are to be made from same type of steel.
- Install panel and all sealant in contact with 'Cor-ten' panels prior to weathering process.
- Window Installation
 - See "building wrap" manufacturer's recommendations for installation instructions with window unit fins.
 - Seal top, jamb, and sill window fin in accordance with the manufacturer's instructions.
- Exterior Openings: Allow for a 3/8" to 1/2" sealant joint to allow for proper backer rod and sealant installation.
- Foundations: Add vapor barrier under slab (such as "Stego Wrap" 10 or 15 mil)
- Set thresholds in full bed of sealant. Sealant should extend under jambs and 8" up wall jambs.
- Set all wall sill plates in 1/4" bead of butyl or urethane sealant; typ.
- Protect all embedded steel in concrete with sealer or paint; typical



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Issue for 95%
THE COTTAGES
OF ALBUQUERQUE

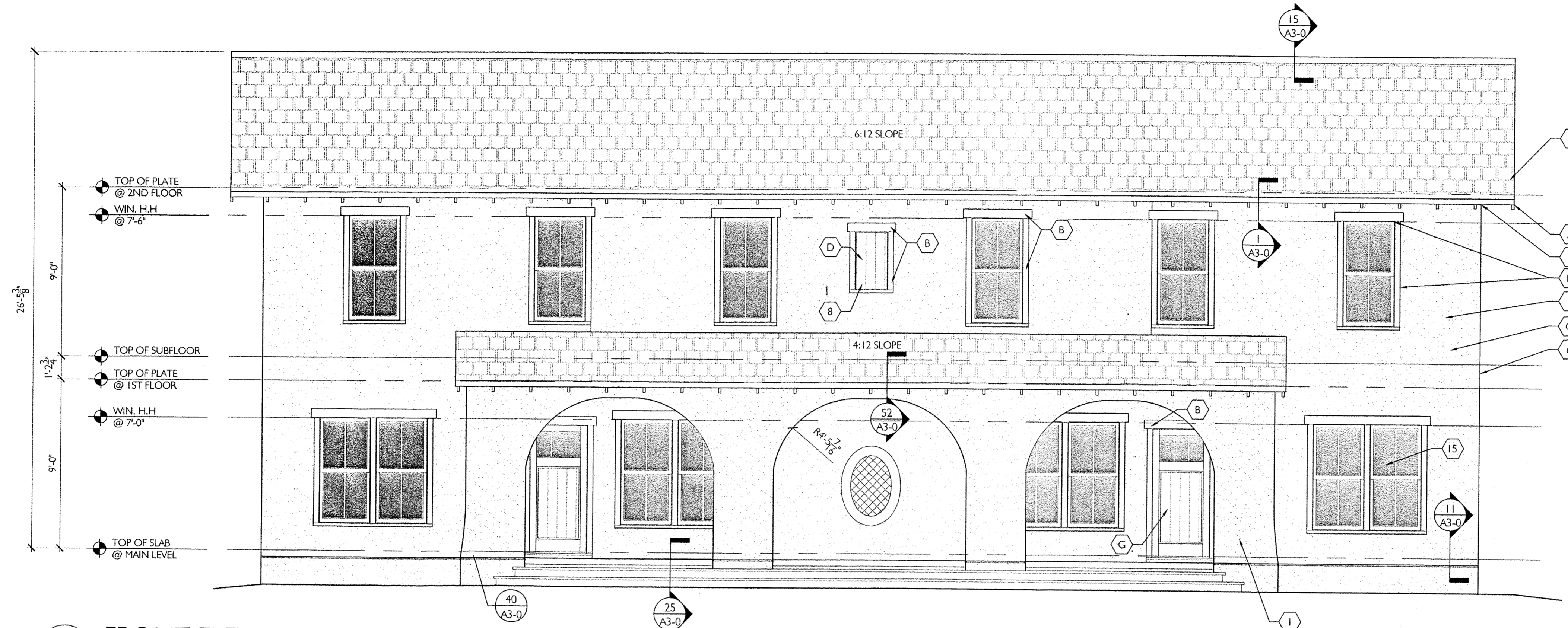
CLUBHOUSE
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013

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Checked by: EL

REVISIONS

Exterior Elevations

A2-2

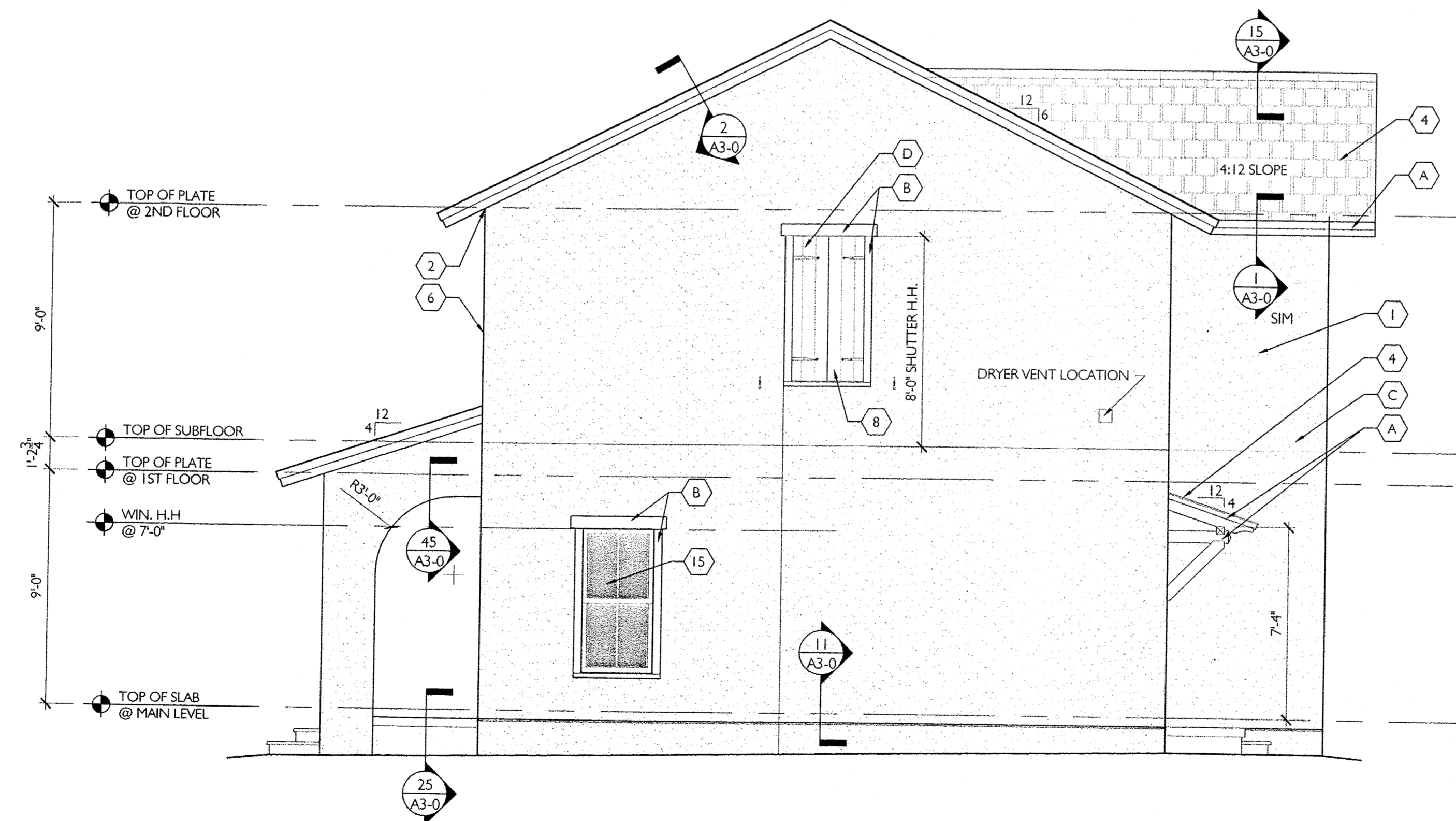


1 FRONT ELEVATION
A2-1
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS



2 RIGHT SIDE ELEVATION
A2-1
1/4" = 1'-0"

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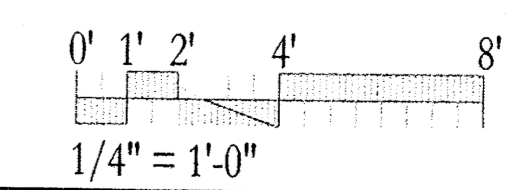
ISSUE FOR 95% REVIEW
THE COTTAGES OF ALBUQUERQUE

5-5 DUPLEX BURSAGE
UNIT: 1834 SQ. FT.
BUILDING: 3668 SQ. FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013

Drawn by: TMB
Checked by: EAL

REVISIONS

EXTERIOR ELEVATIONS "BURSAGE"



A2-1

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAIVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
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10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
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EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
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G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

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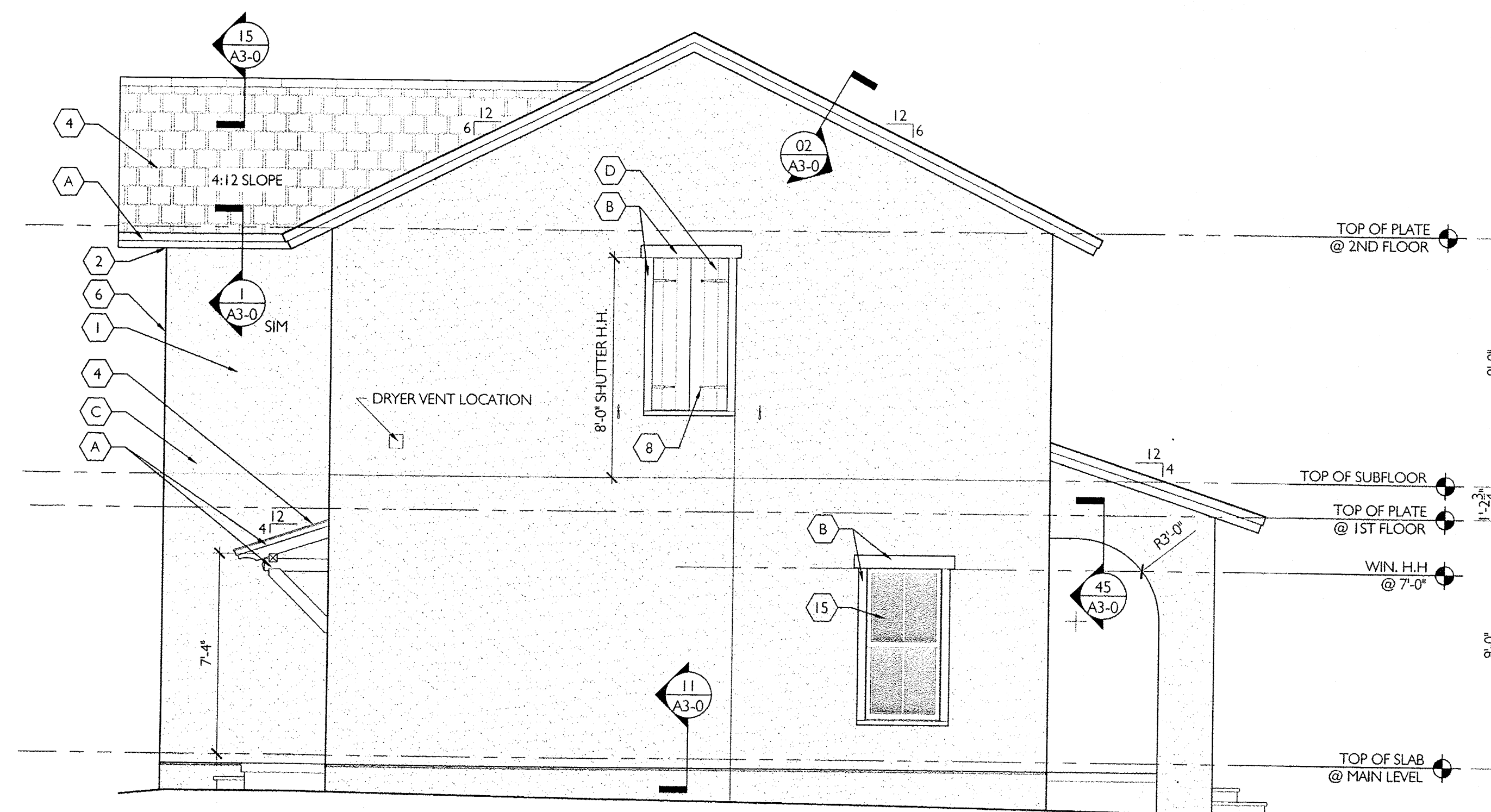
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ISSUE FOR
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**THE COTTAGES
OF ALBUQUERQUE**

5-5 DUPLEX
BURSAGE
UNIT: 1834 SQ.FT.
BUILDING: 3668 SQ.FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013

Drawn by: TMB
Checked by: EAL

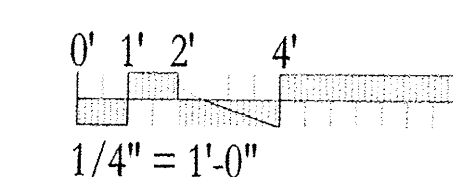
1 REAR ELEVATION
A2-2 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
A2-2 1/4" = 1'-0"

GENERAL NOTE:

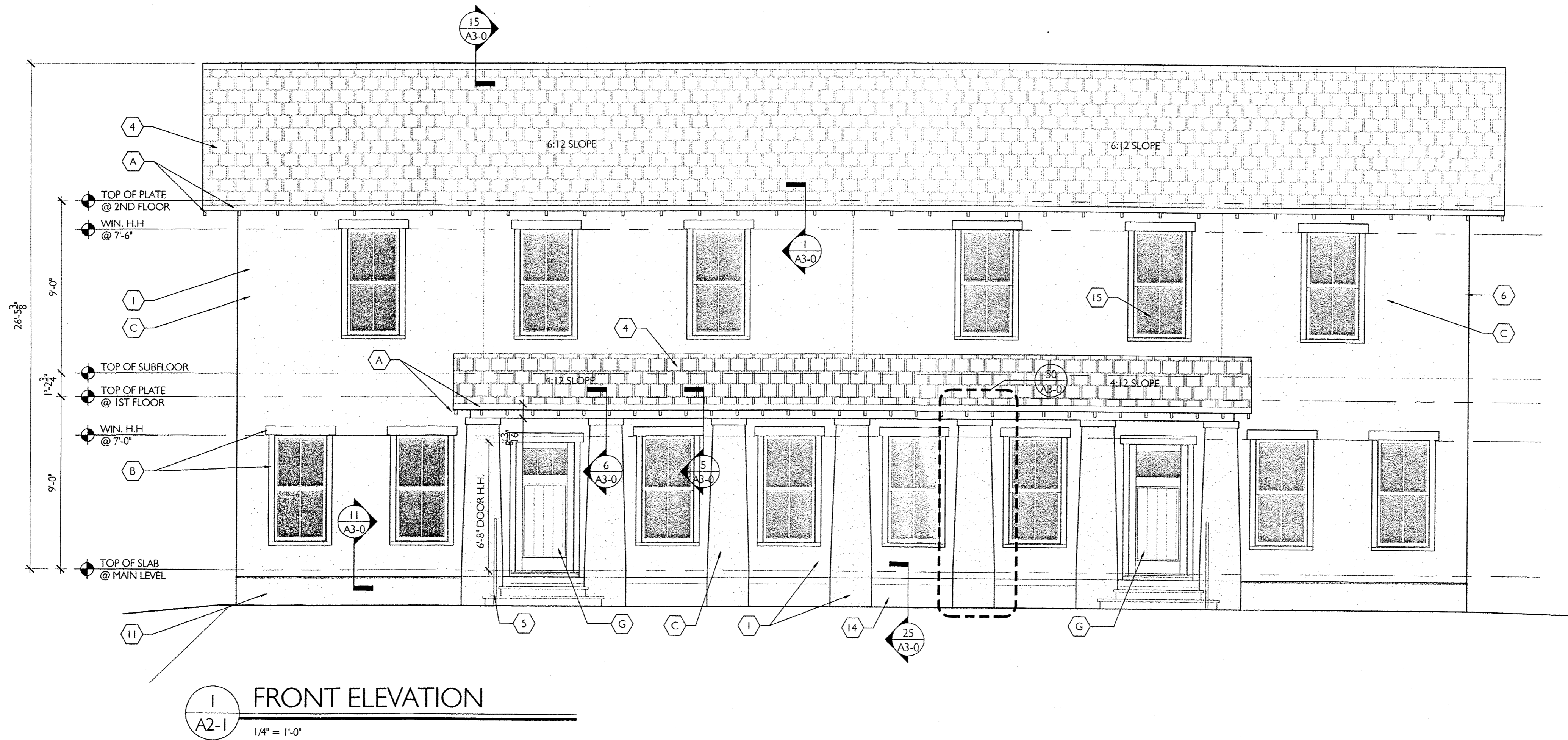
- Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
- Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- Use 15# felt on all roofs.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
- Flash and seal wall penetrations to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.



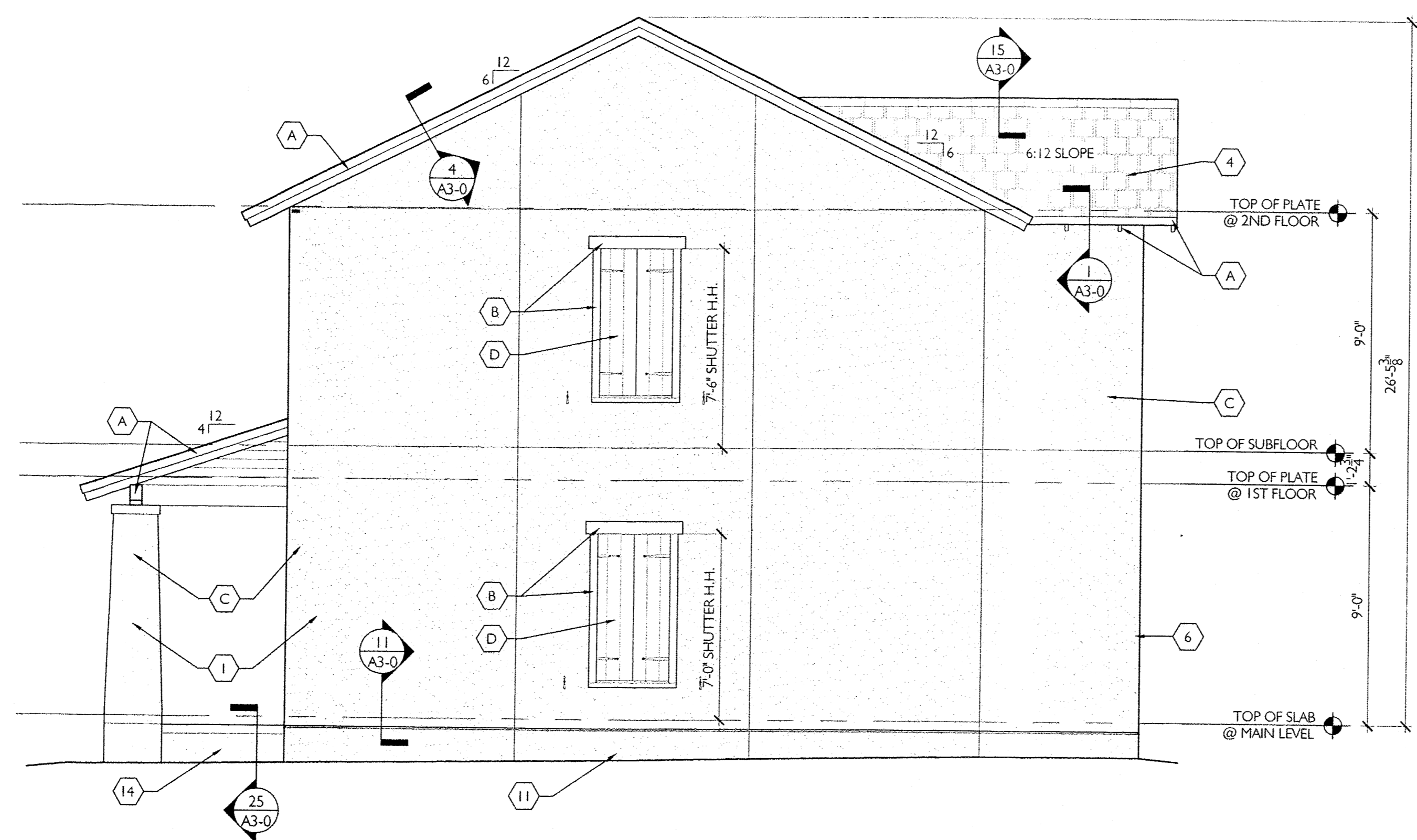
REVISIONS

EXTERIOR ELEVATIONS
"BURSAGE"

A2-2



1 FRONT ELEVATION
A2-1
1/4" = 1'-0"



2 LEFT SIDE ELEVATION
A2-1
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
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4	DIMENSIONAL ASPHALT SHINGLES
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16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

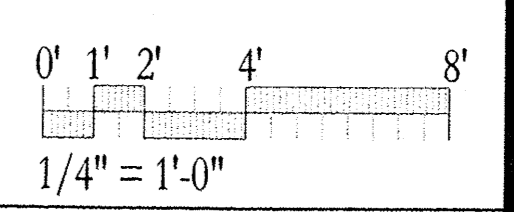
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- Use 15# felt on all roofs.
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THE COTTAGES OF ALBUQUERQUE

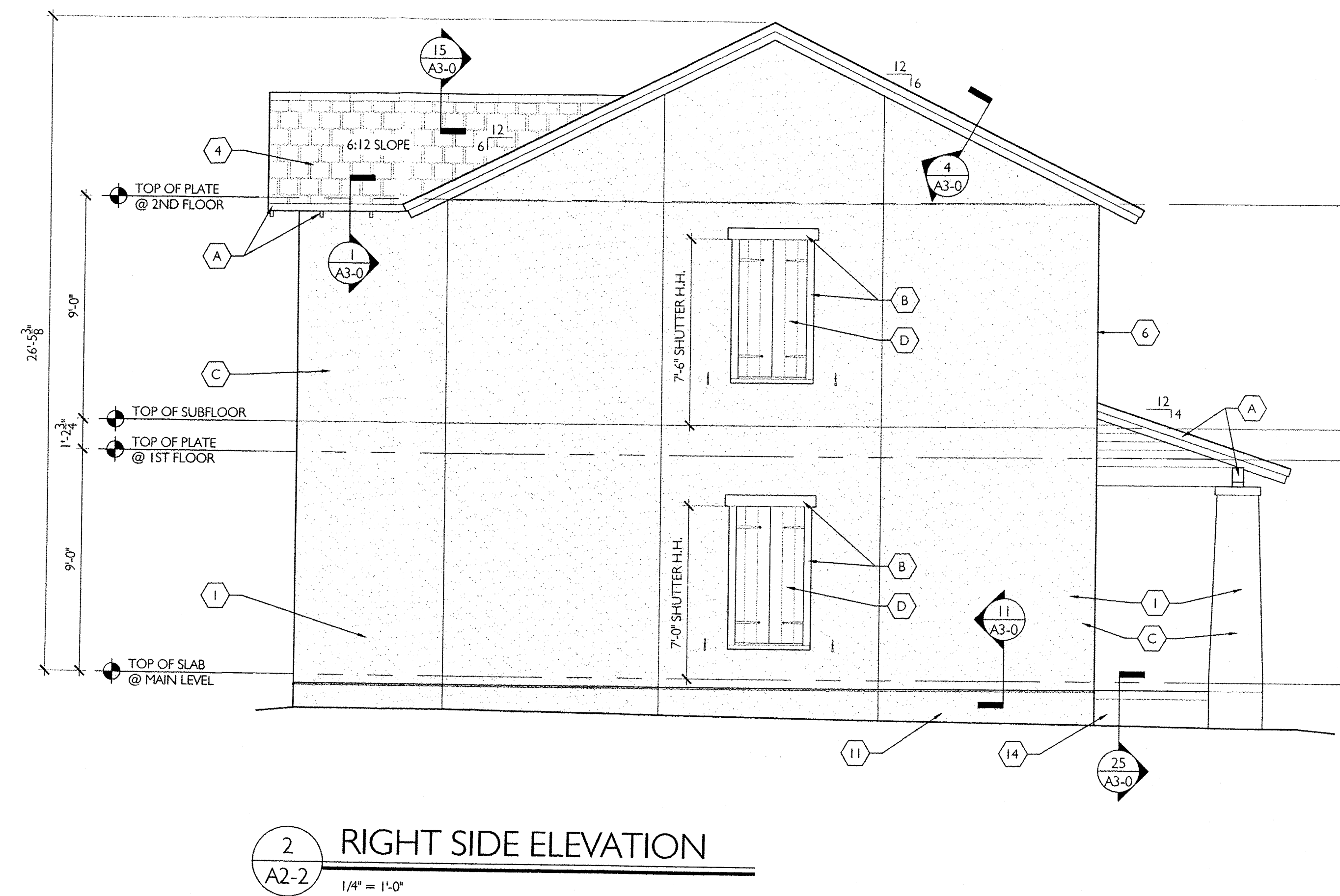
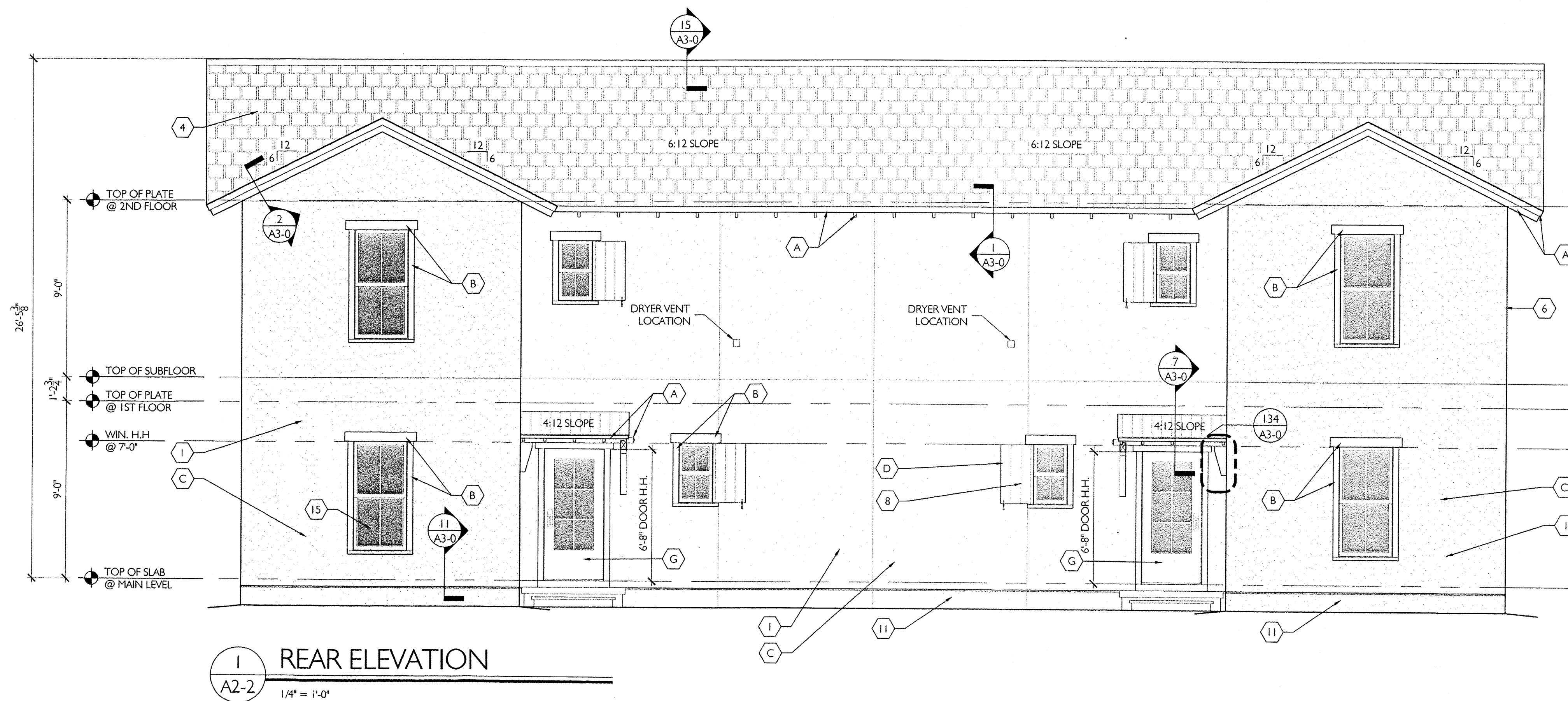
TWO STORY
 5-5 DUPLEX
 BUCKHORN
 UNIT: 1842 SQ.FT.
 BUILDING: 3684 SQ.FT.
 Albuquerque, New Mexico
 N U M B E R 11044 MAY 13, 2013
 Drawn by: MDR
 Checked by: EAL



REVISIONS

EXTERIOR ELEVATIONS
 "BUCKHORN"

A2-1



EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING - SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS - SEE SHEET 152, 153, 154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

GENERAL NOTE:

- Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
- Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- Use 15# felt on all roofs.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
- Flash and seal wall penetrations to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.

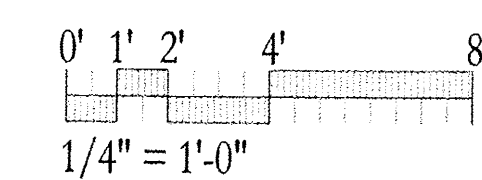
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ISSUE FOR
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**THE COTTAGES
of ALBUQUERQUE**

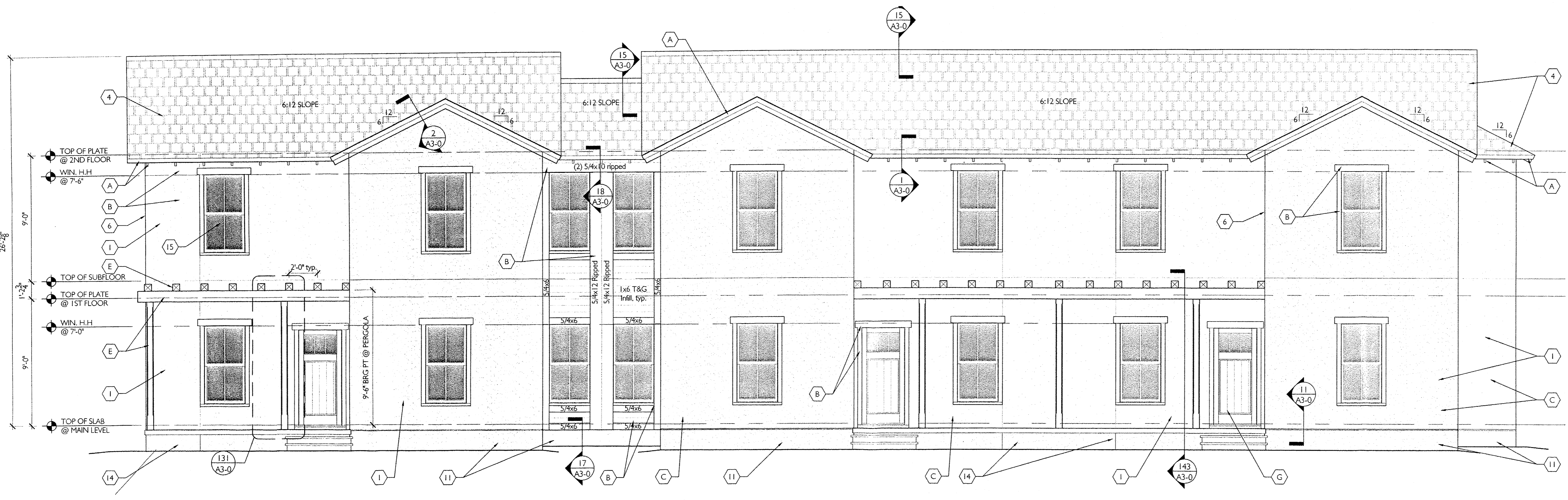
TWO STORY
5-5 DUPLEX
BUCKHORN
UNIT: 1842 SQ.FT.
BUILDING: 3684 SQ.FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013
Drawn by: MDR
Checked by: EAL

REVISIONS

EXTERIOR ELEVATIONS
"BUCKHORN"

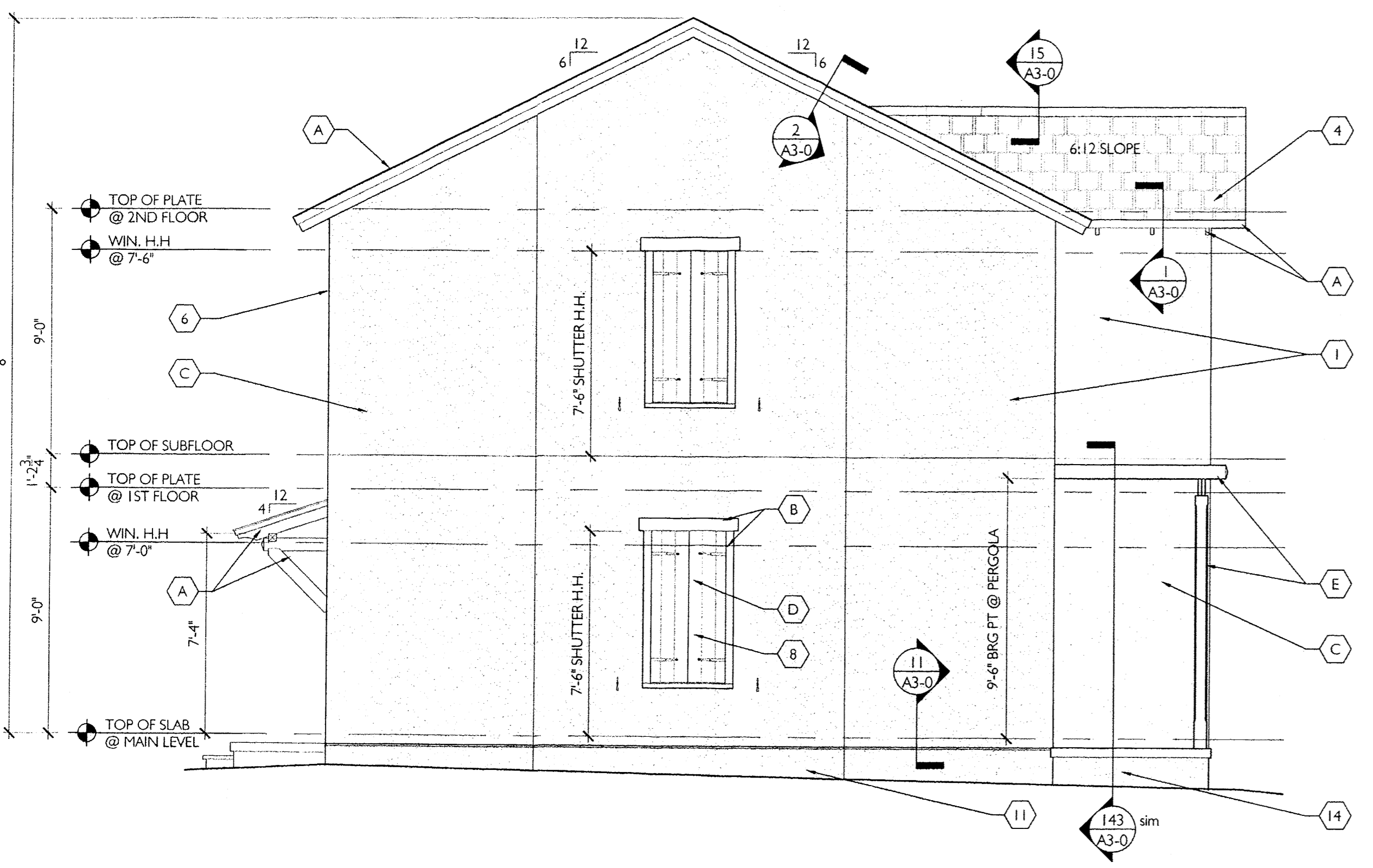


A2-2



1 FRONT ELEVATION
A2-1
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152, 153, 154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED



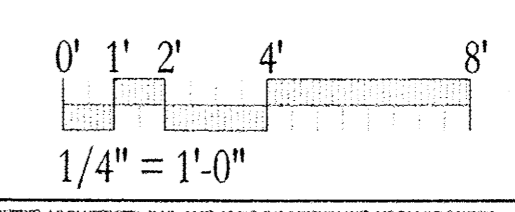
2 LEFT SIDE ELEVATION
A2-1
1/4" = 1'-0"

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

GENERAL NOTE:

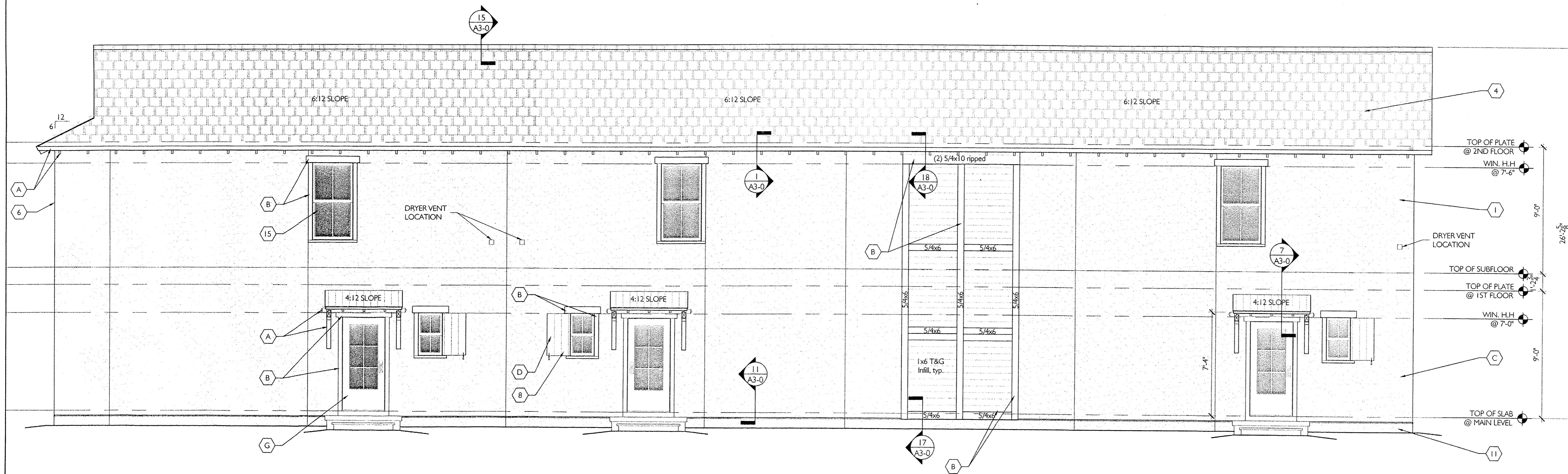
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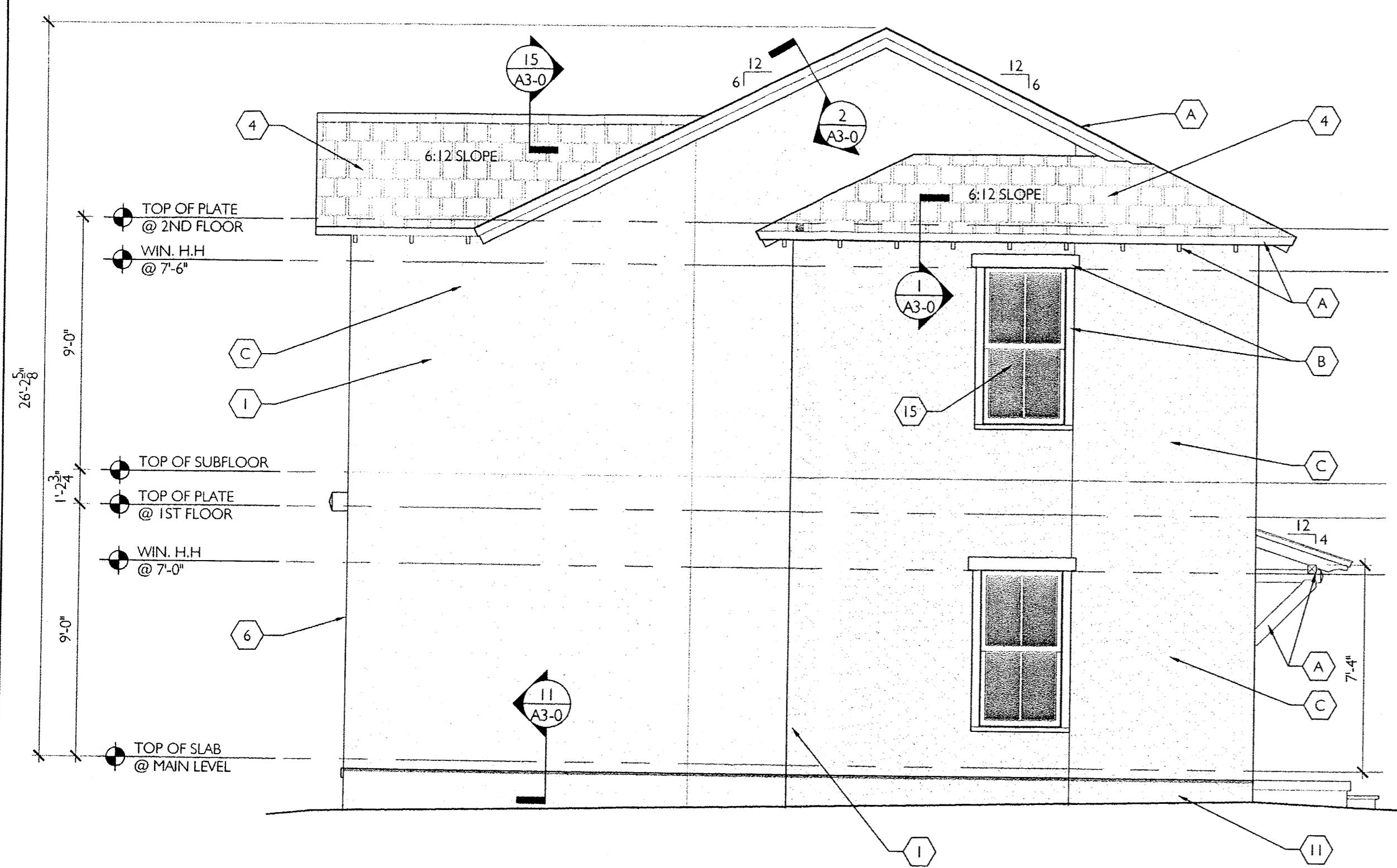
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ISSUE FOR
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THE COTTAGES OF ALBUQUERQUE
TWO STORY
5 BED TOWNHOUSE
YUCCA
UNIT: 1780 SQ.FT.
BUILDING: 3340 SQ.FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013
Drawn by: MDR
Checked by: EAL

REVISIONS
EXTERIOR ELEVATIONS
"YUCCA"
A2-1



1 REAR ELEVATION
A2-2 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A2-2 1/4" = 1'-0"

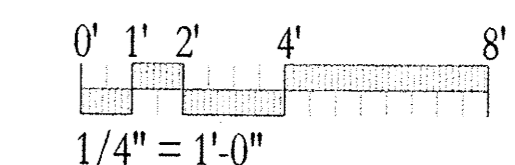
EXTERIOR MATERIAL SCHEDULE	
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2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3.0
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6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3.0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
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12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

GENERAL NOTE:

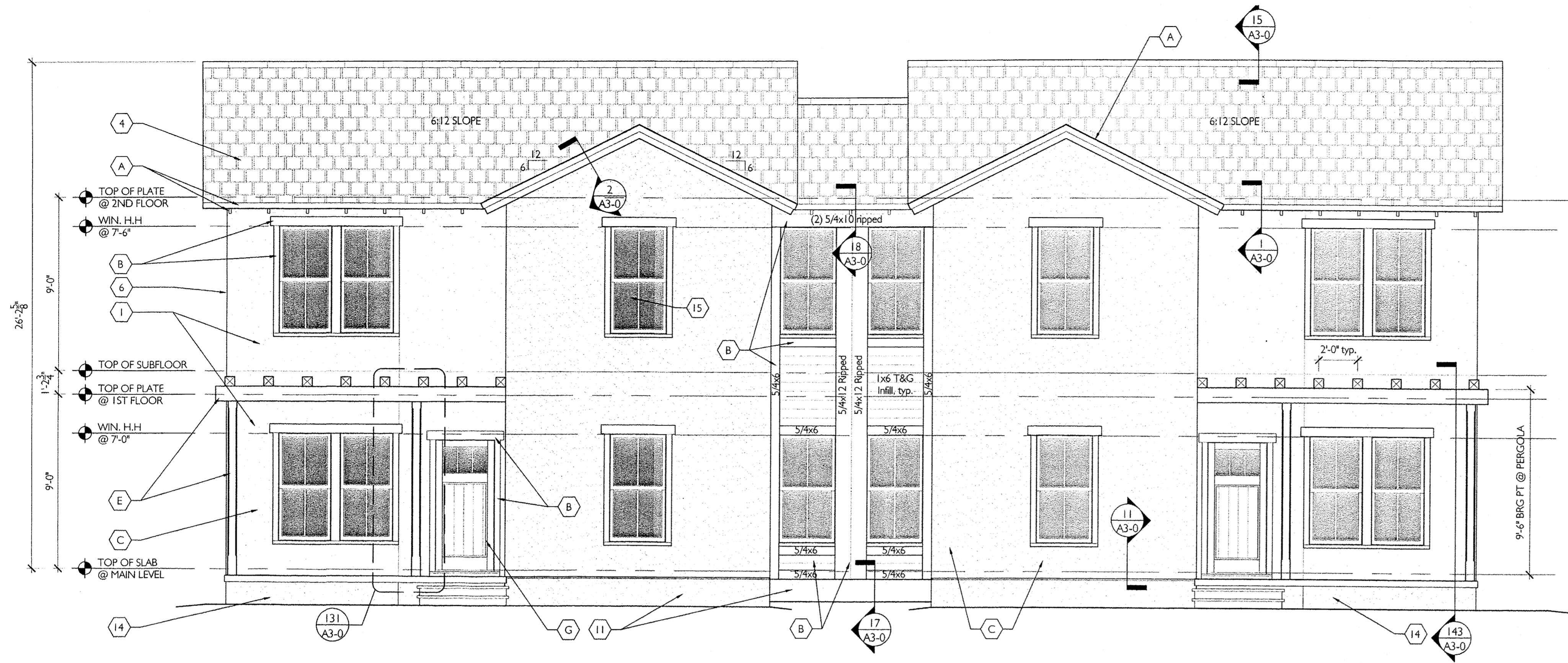
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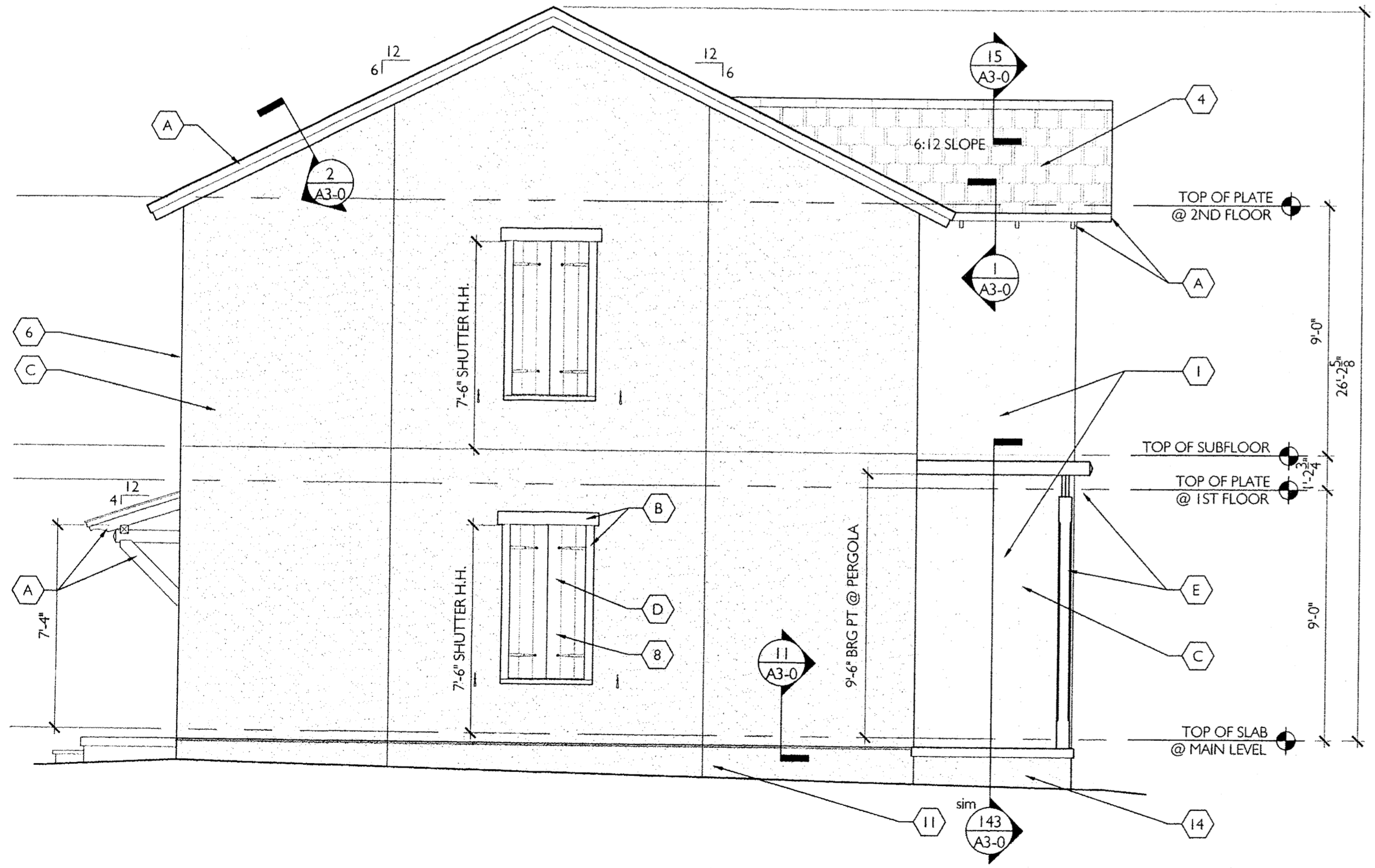
ISSUE FOR 95% REVIEW
THE COTTAGES OF ALBUQUERQUE
 TWO STORY 5 BED TOWNHOUSE YUCCA
 UNIT: 1780 SQ.FT. BUILDING: 5340 SQ.FT.
 Albuquerque, New Mexico NUMBER 11044 MAY 13, 2013
 Drawn by: MDR
 Checked by: EAL

REVISIONS
 EXTERIOR ELEVATIONS "YUCCA"
A2-2



1 FRONT ELEVATION
A2-1
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3.0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3.0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3.0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3.0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152, 153, 154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3.0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED



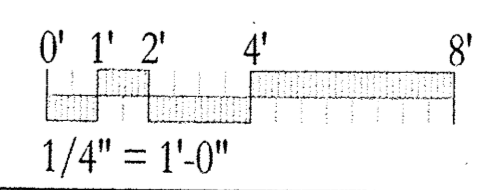
2 LEFT SIDE ELEVATION
A2-1
1/4" = 1'-0"

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

GENERAL NOTE:

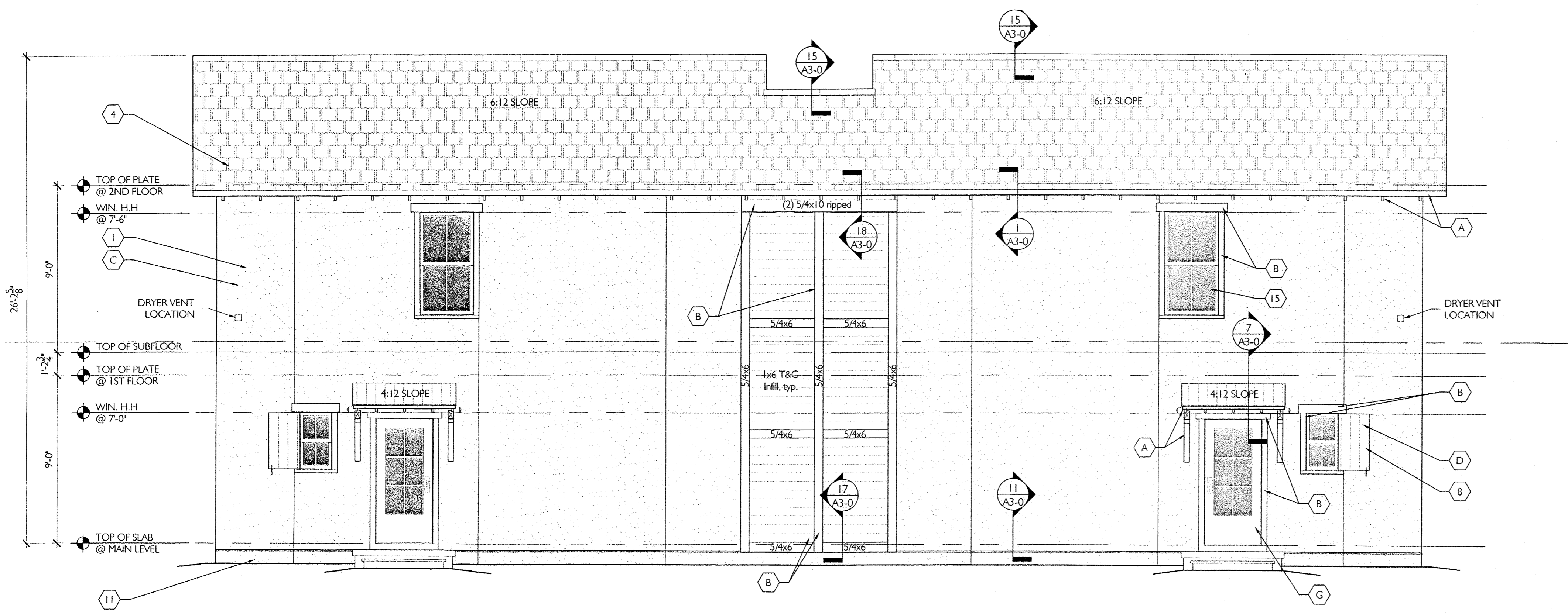
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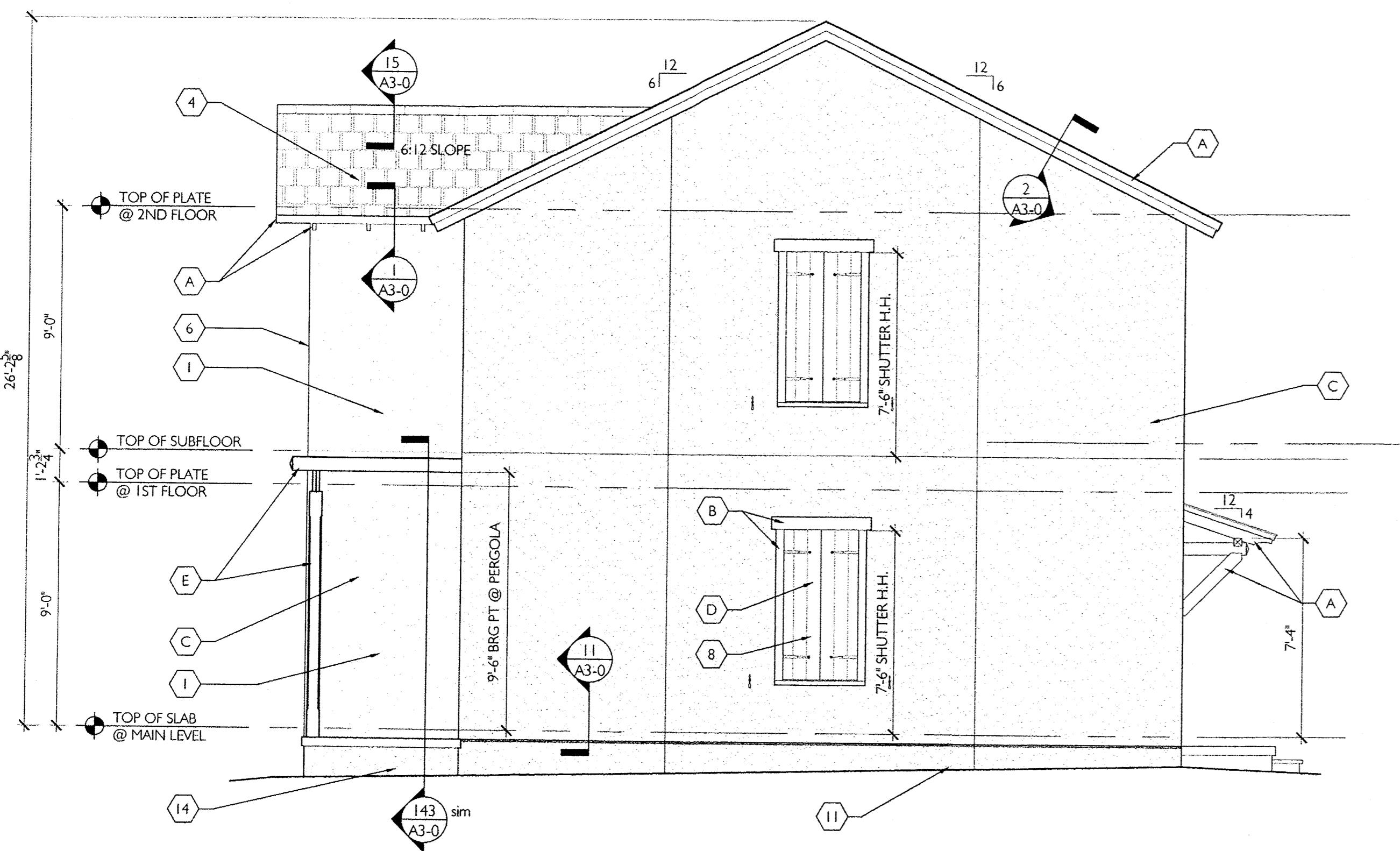
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ISSUE FOR
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**THE COTTAGES
OF ALBUQUERQUE**
TWO STORY
5 BED TOWNHOUSE
PALO VERDE
UNITE: 1782 SQ.FT.
BUILDING: 3544 SQ.FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013
Drawn by: MDR
Checked by: EAL

REVISIONS
EXTERIOR ELEVATIONS
"PALO VERDE"
A2-1



1 REAR ELEVATION
A2-2
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A2-2
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
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7	WOOD LOUVER DORMER VENT
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11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

GENERAL NOTE:

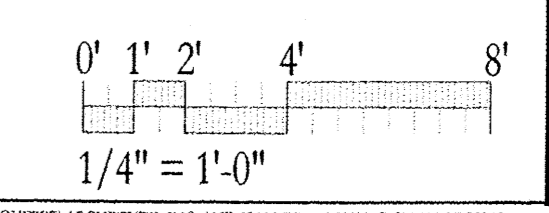
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- Use 15# felt on all roofs.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
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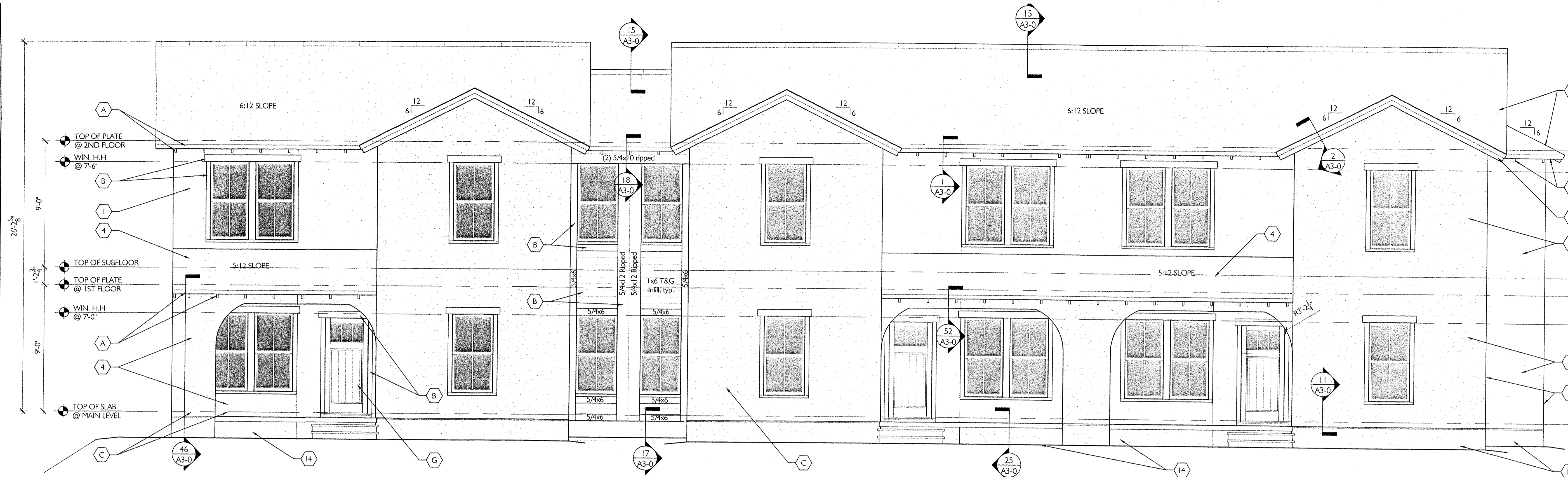
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THE COTTAGES of ALBUQUERQUE

TWO STORY 5 BED TOWNHOUSE PALO VERDE
UNITS: 1782 SQ.FT. BUILDING: 3564 SQ.FT.
ALBUQUERQUE, NEW MEXICO
NUMBER 11044 MAY 13, 2013
Drawn by: MDR
Checked by: EAL

REVISIONS
EXTERIOR ELEVATIONS "PALO VERDE"
A2-2





1 FRONT ELEVATION
A2-1 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

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EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

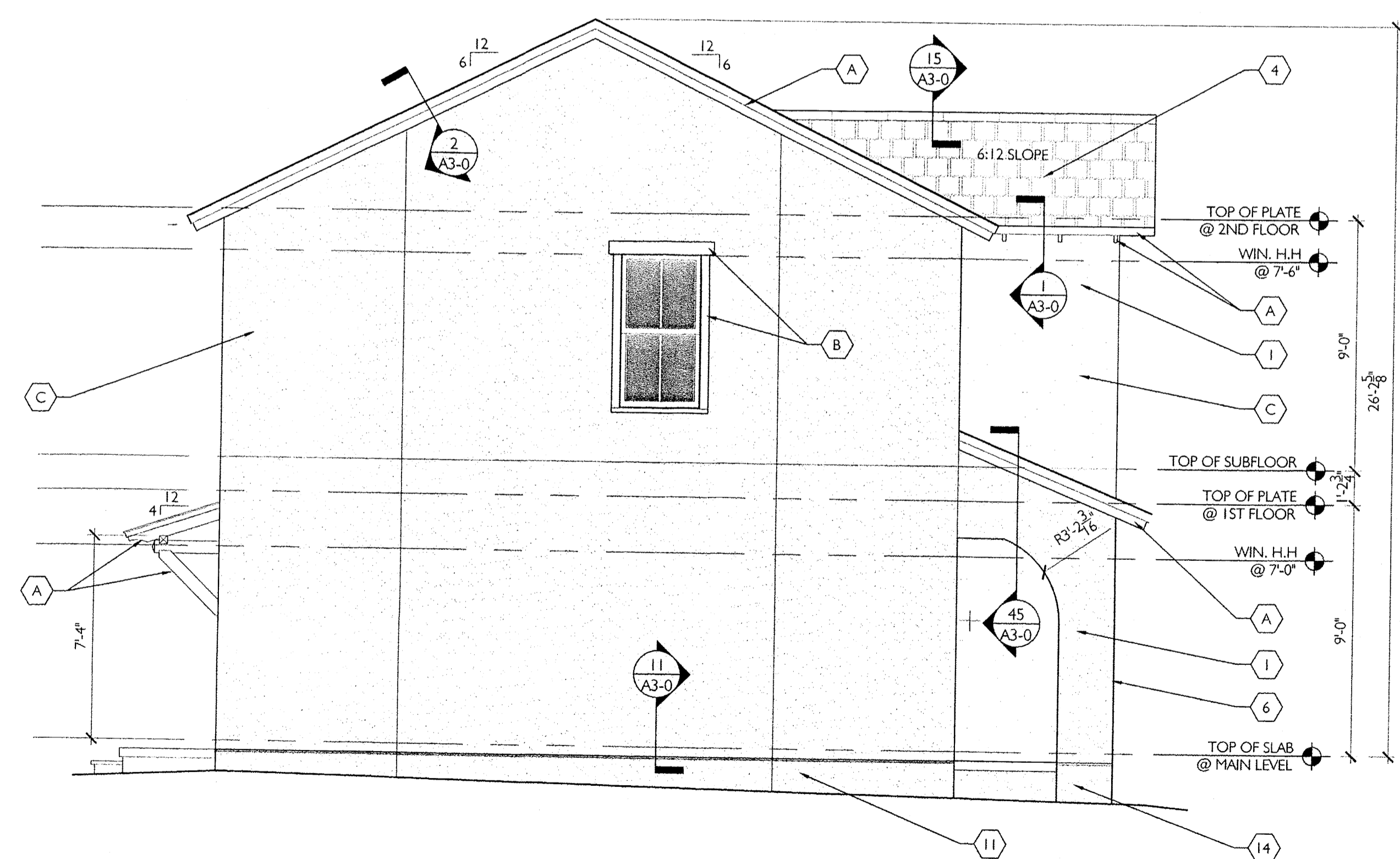
SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

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THE COTTAGES OF ALBUQUERQUE
 TWO STORY 5 BED TOWNHOUSE JOJOBA
 UNIT: 1780 SQ.FT. BUILDING: 5340 SQ.FT.
 Albuquerque, New Mexico
 NUMBER 11044 MAY 13, 2013

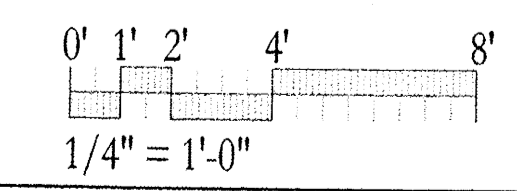
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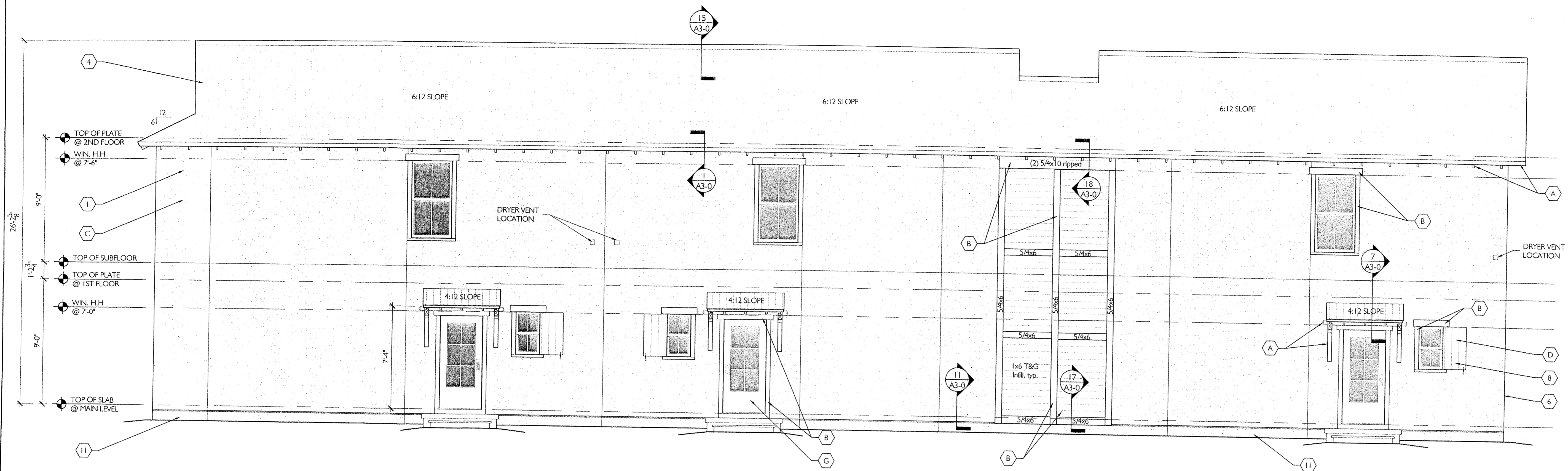
2 LEFT SIDE ELEVATION
A2-1 1/4" = 1'-0"



REVISIONS

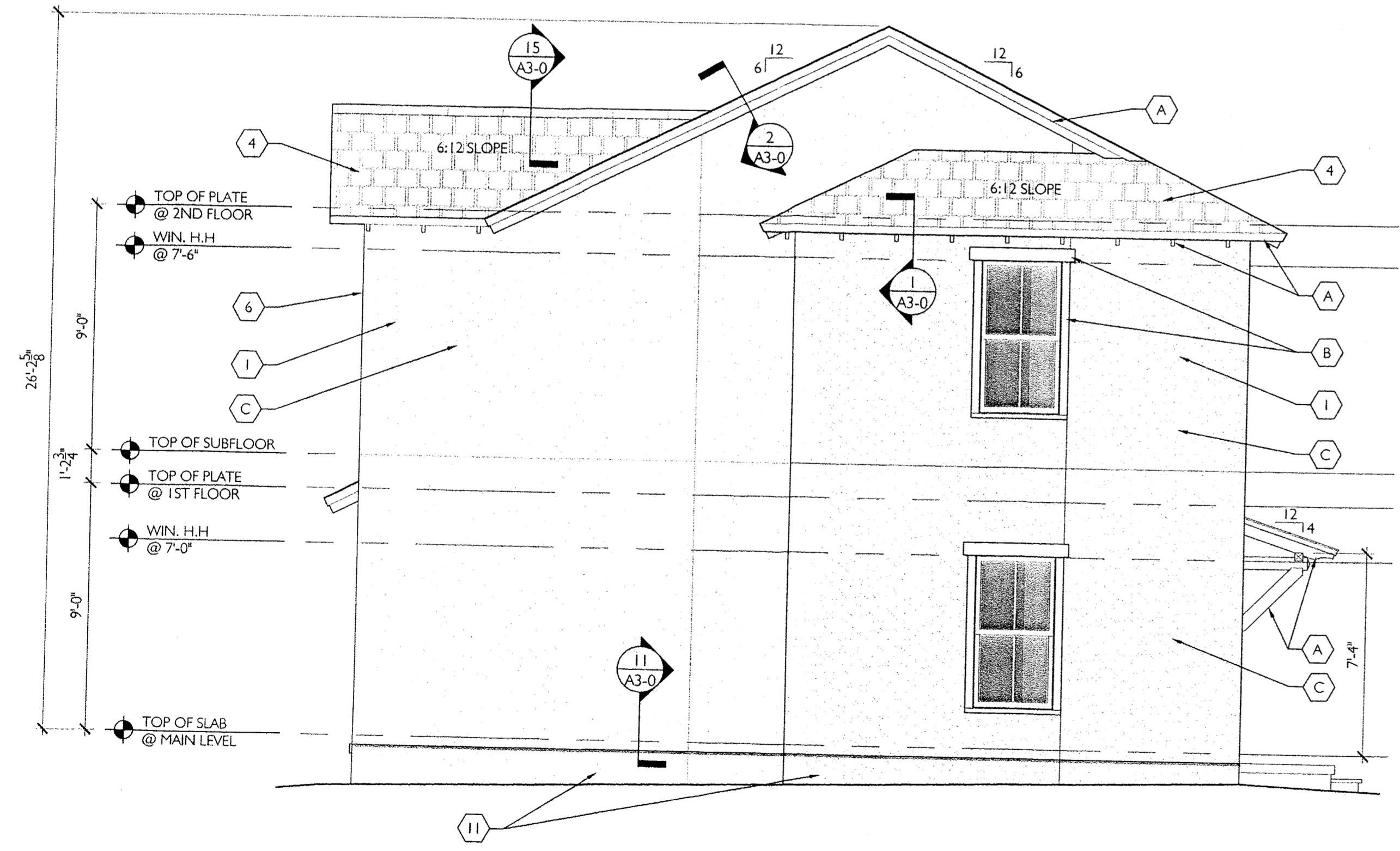
EXTERIOR ELEVATIONS "JOJOBA"
A2-1

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1 REAR ELEVATION
A2-2
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAIVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
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10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED



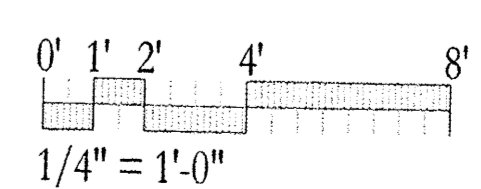
2 RIGHT SIDE ELEVATION
A2-2
1/4" = 1'-0"

EXTERIOR PAINT SCHEDULE	
A	EAVES/PASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

GENERAL NOTE:

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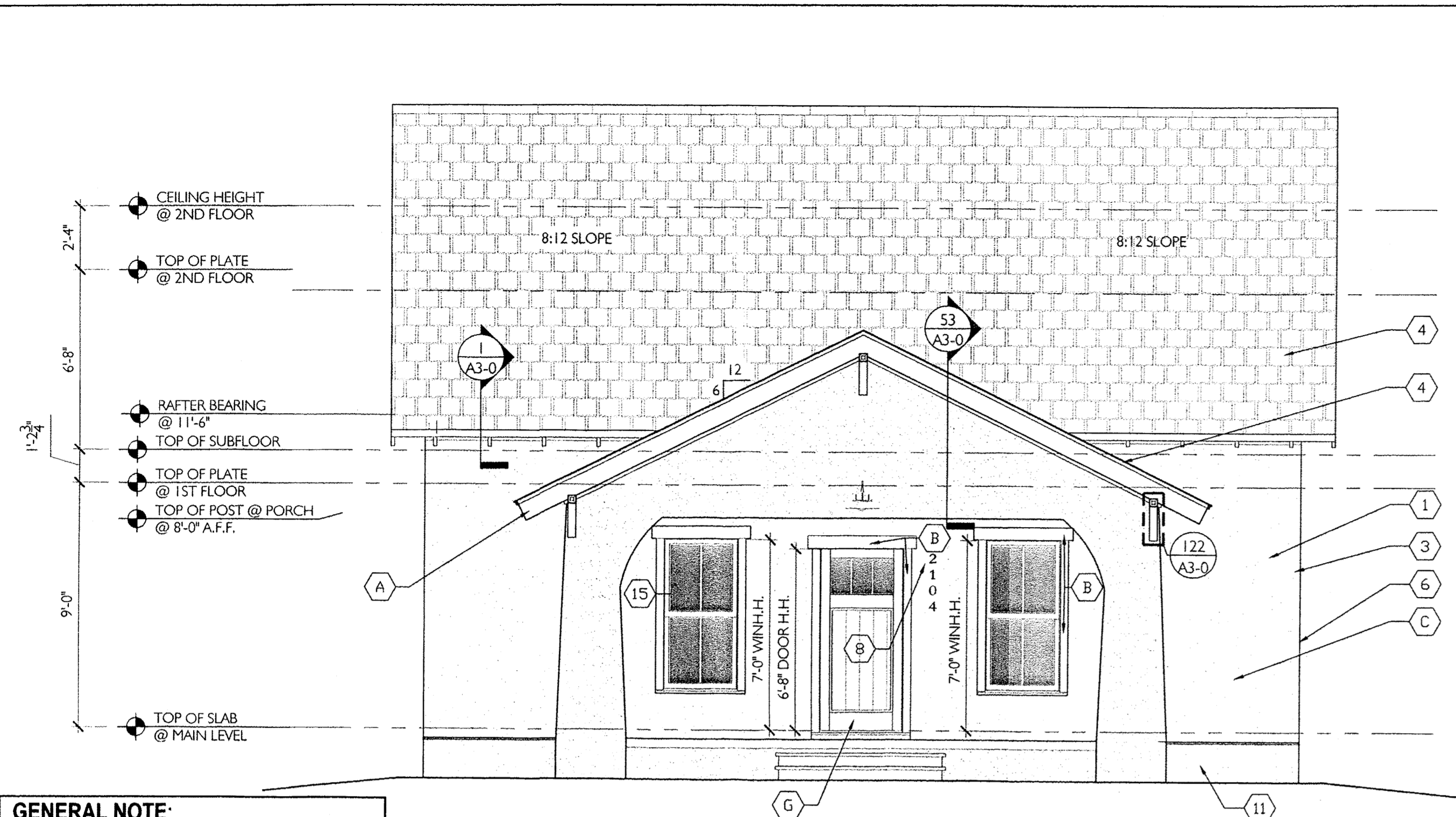
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ISSUE FOR
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THE COTTAGES
of ALBUQUERQUE
TWO STORY
5 BED TOWNHOUSE
JOJOBA
UNITE: 1789 SQ.FT.
BUILDING: 3340 SQ.FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013
Drawn by: MDR
Checked by: EAL.

REVISIONS

EXTERIOR ELEVATIONS
"JOJOBA"

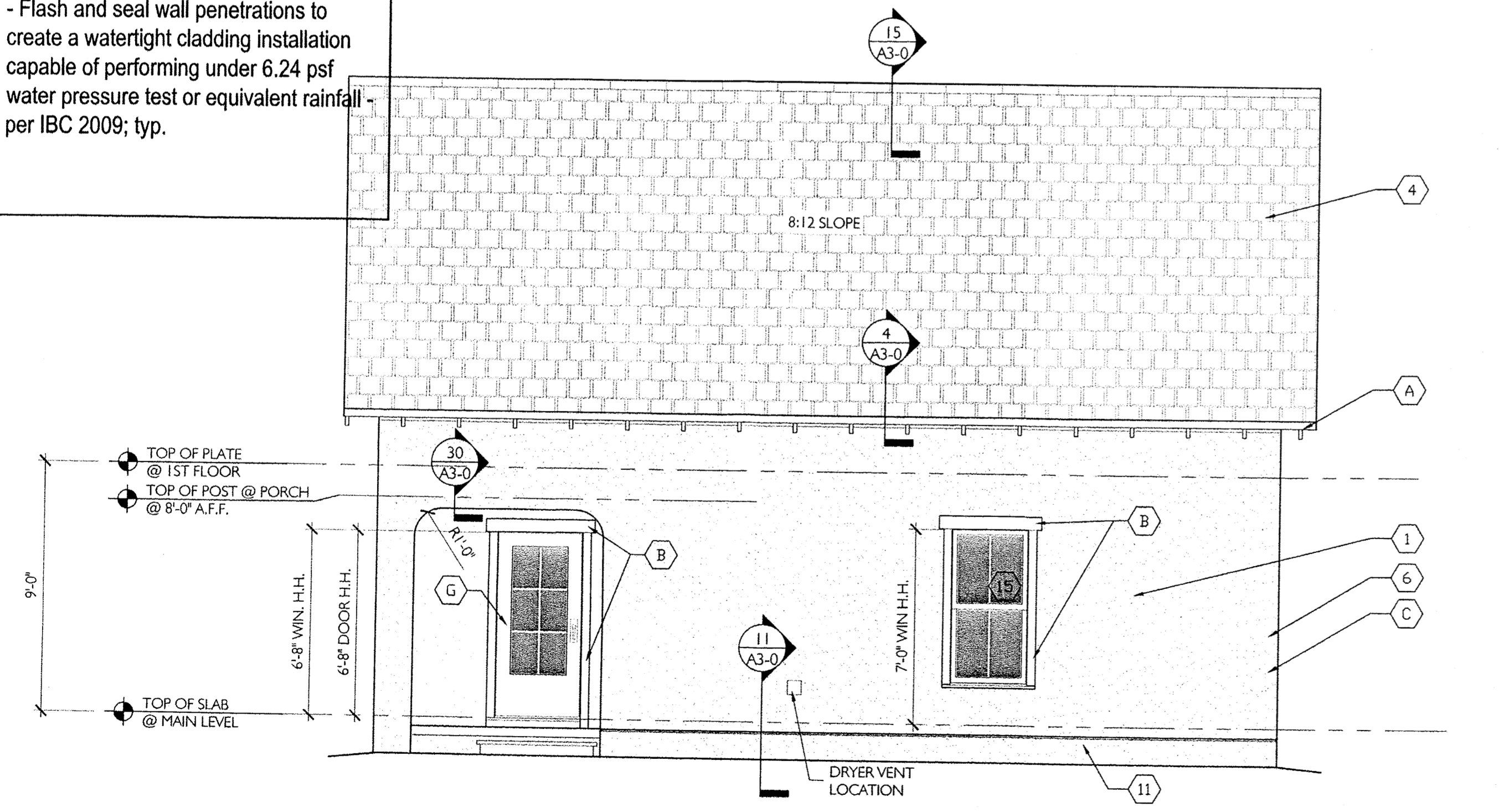
A2-2



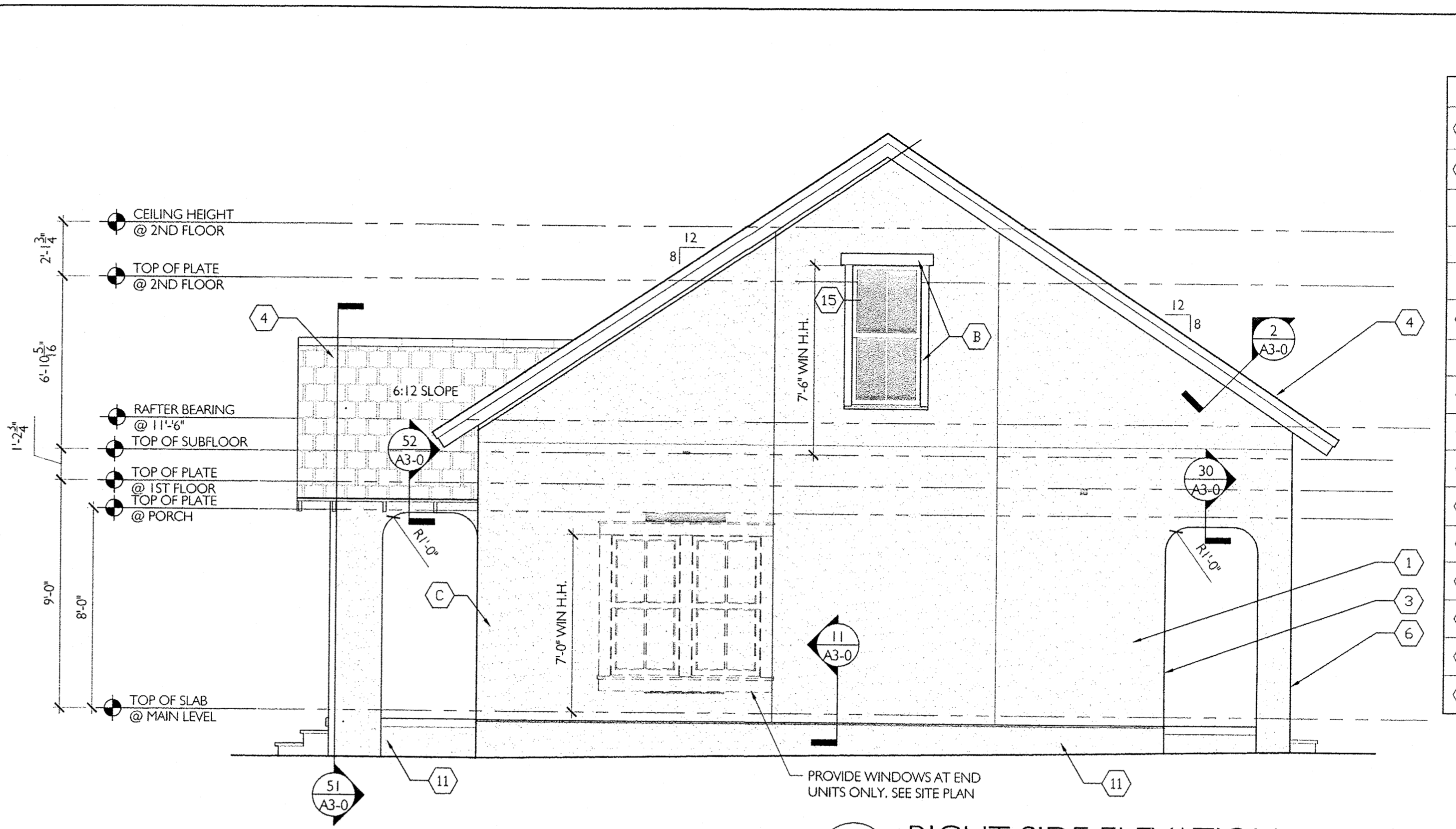
1 FRONT ELEVATION
1/4" = 1'-0"

GENERAL NOTE:

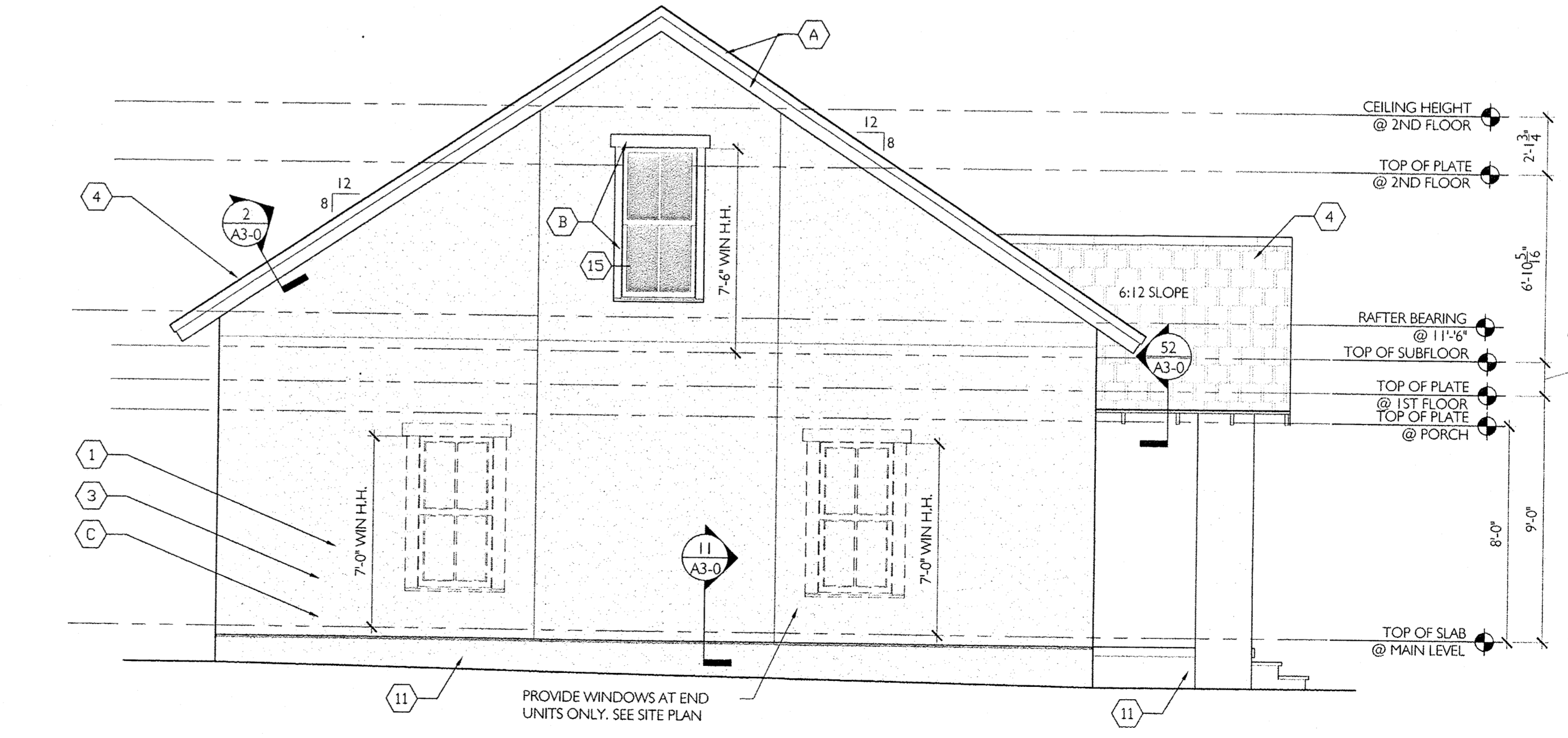
- Use modified bitumen (High Temp) underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
- Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- Use 15# felt on all roofs.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
- Flash and seal wall penetrations to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.



3 REAR ELEVATION
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"



4 LEFT SIDE ELEVATION
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

DUNGAN NEQUETTE ARCHITECTS

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ISSUE FOR 95% REVIEW

THE COTTAGES OF ALBUQUERQUE

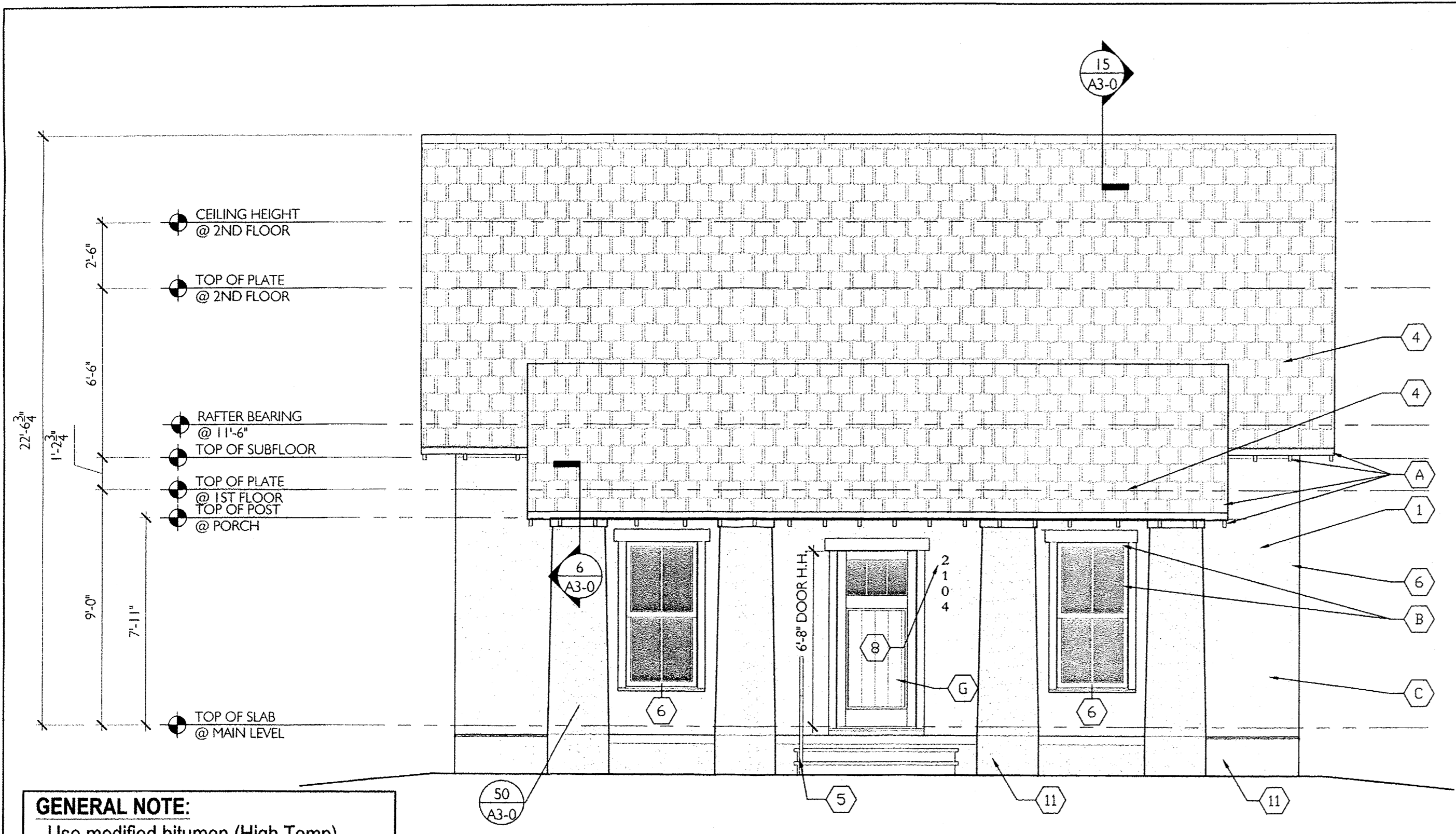
4 BED-SILVERLEAF
1556 sq. ft.

Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

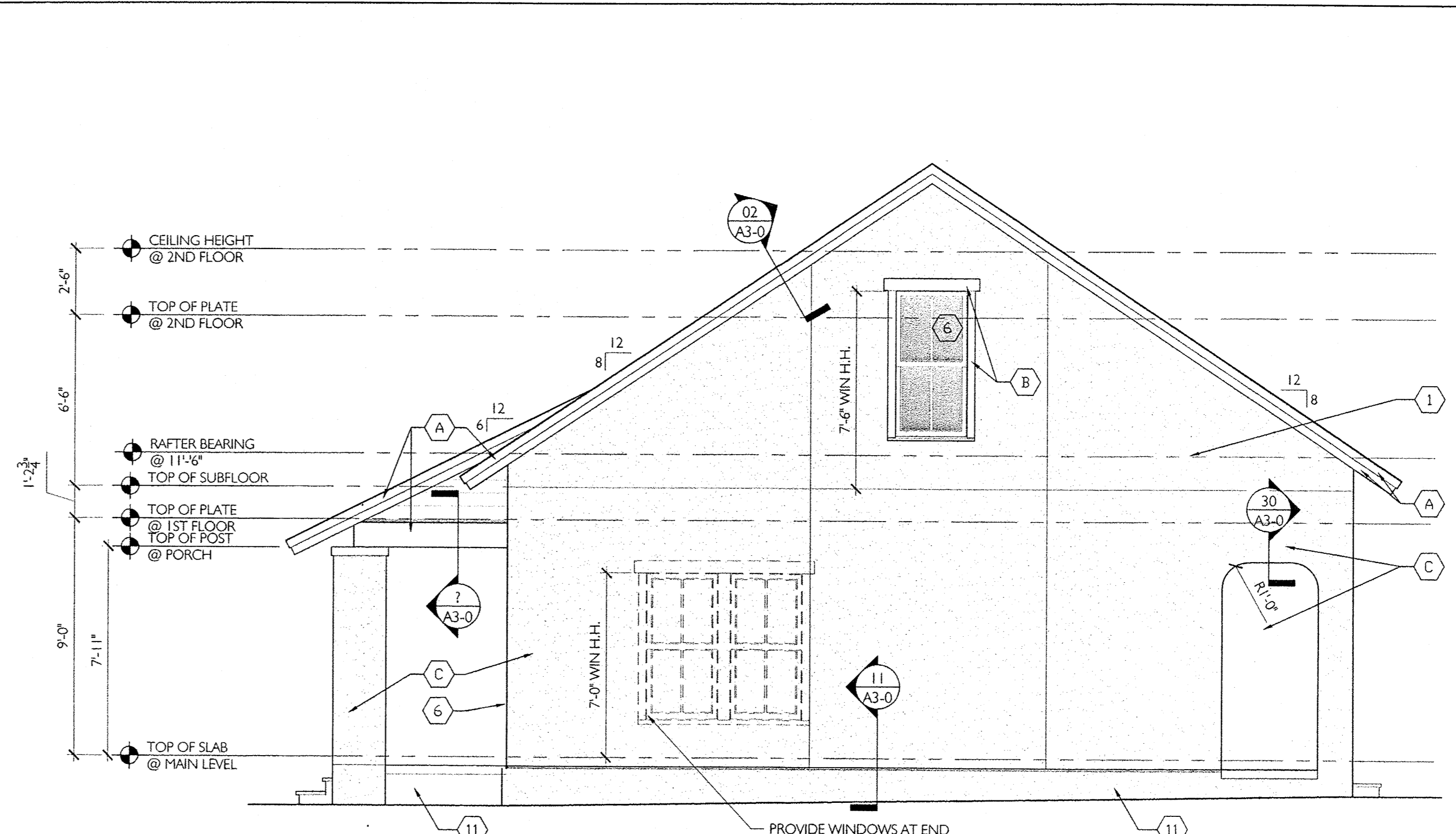
REVISIONS

EXTERIOR ELEVATIONS "SILVERLEAF"

A2-1



1 FRONT ELEVATION
A2-1 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A2-1 1/4" = 1'-0"

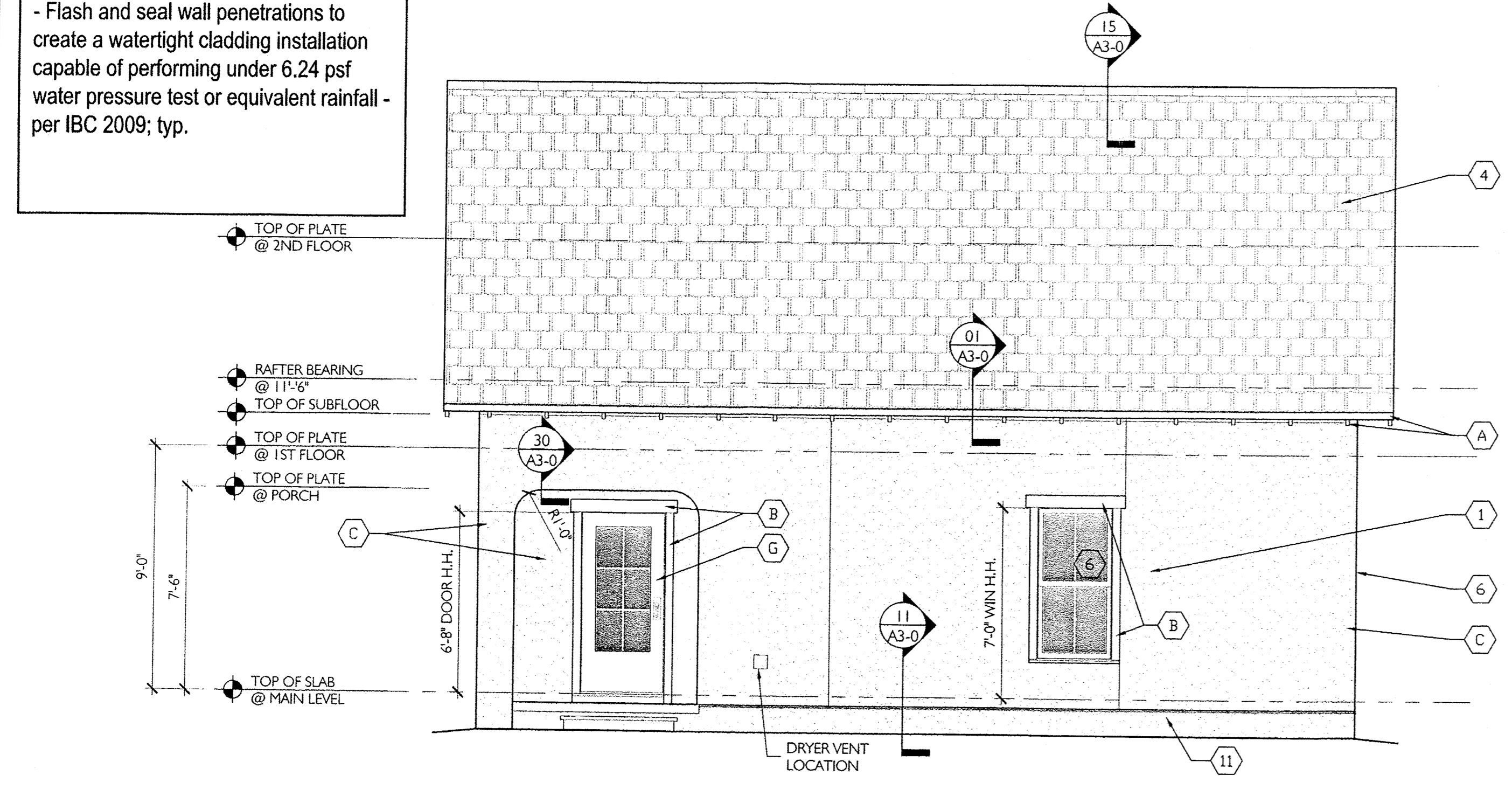
EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
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15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

GENERAL NOTE:

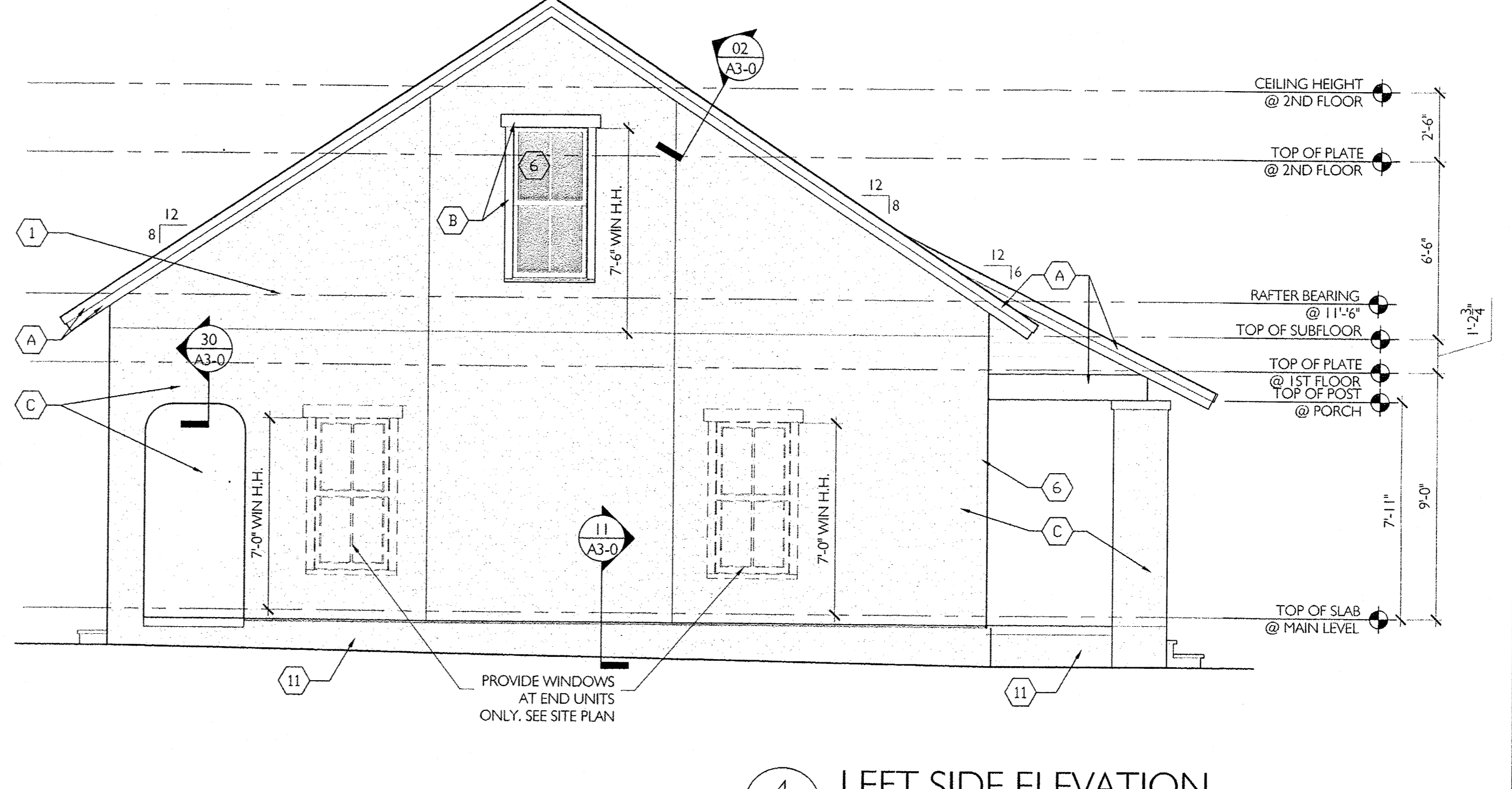
- Use modified bitumen (High Temp) underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
- Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- Use 15# felt on all roofs.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
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EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

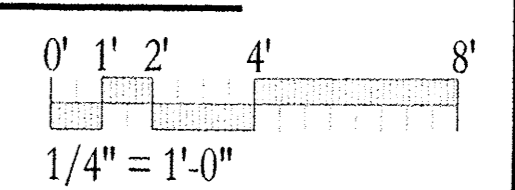
SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS



3 REAR ELEVATION
A2-1 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
A2-1 1/4" = 1'-0"



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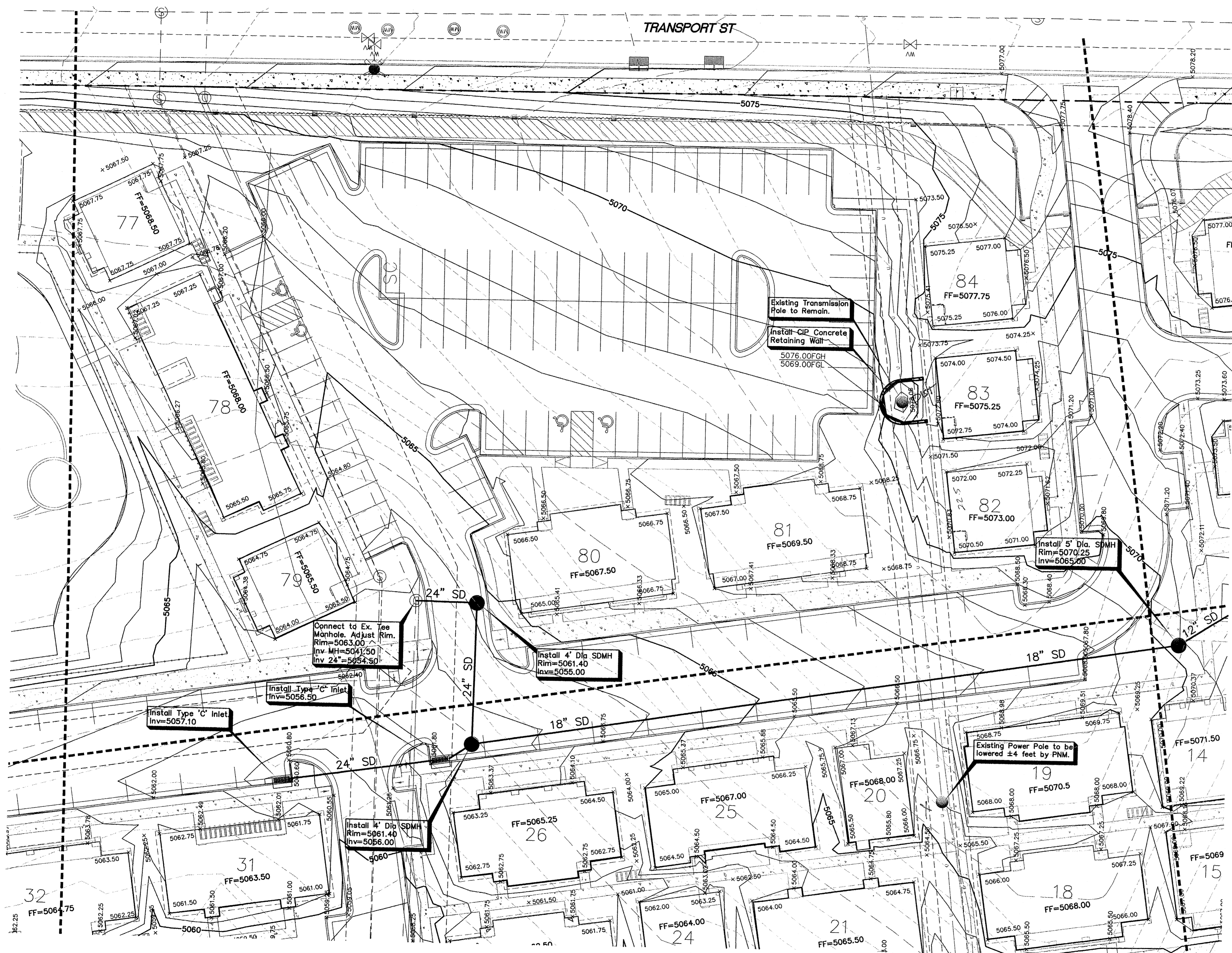
4 BED-BEARGRASS
1556 sq. ft.
Albuquerque, New Mexico
NUMBER 11044 13 MAY 2013
Drawn by: TMB
Checked by: EAL

REVISIONS

EXTERIOR ELEVATIONS
"BEARGRASS"

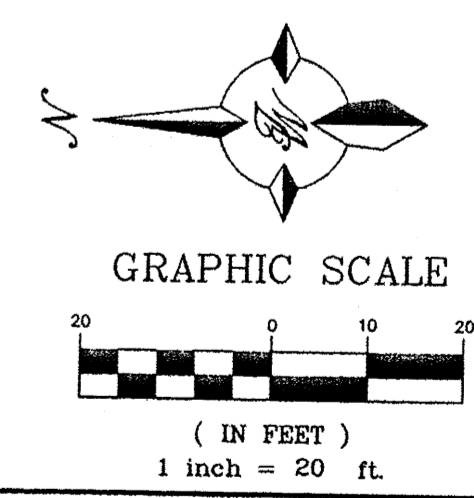
A2-1

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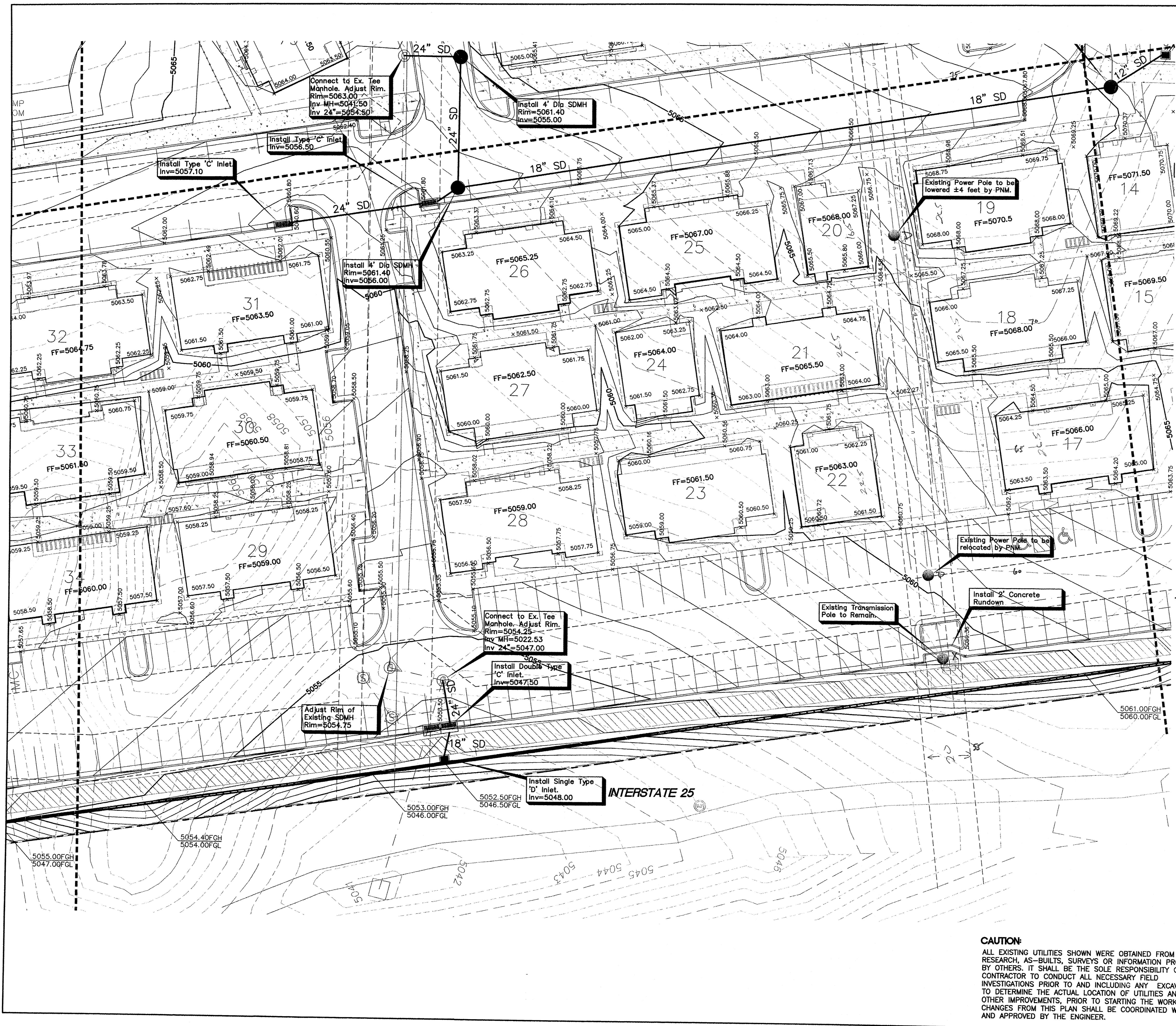
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR



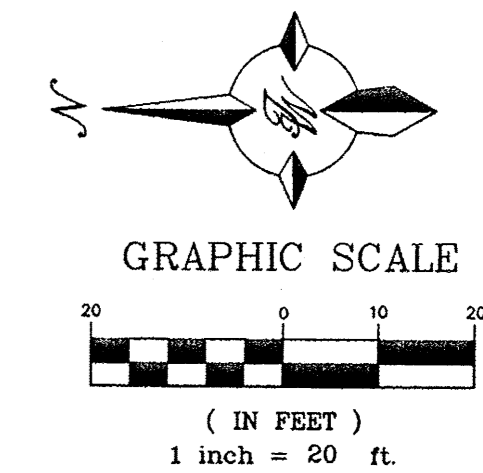
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	ENGINEER'S SEAL CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	GRADING PLAN	DATE 7-3-13
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011064-GR
JEFFREY T. WOOTEN P.E. #16892		SHEET # C5F JOB # 2011064



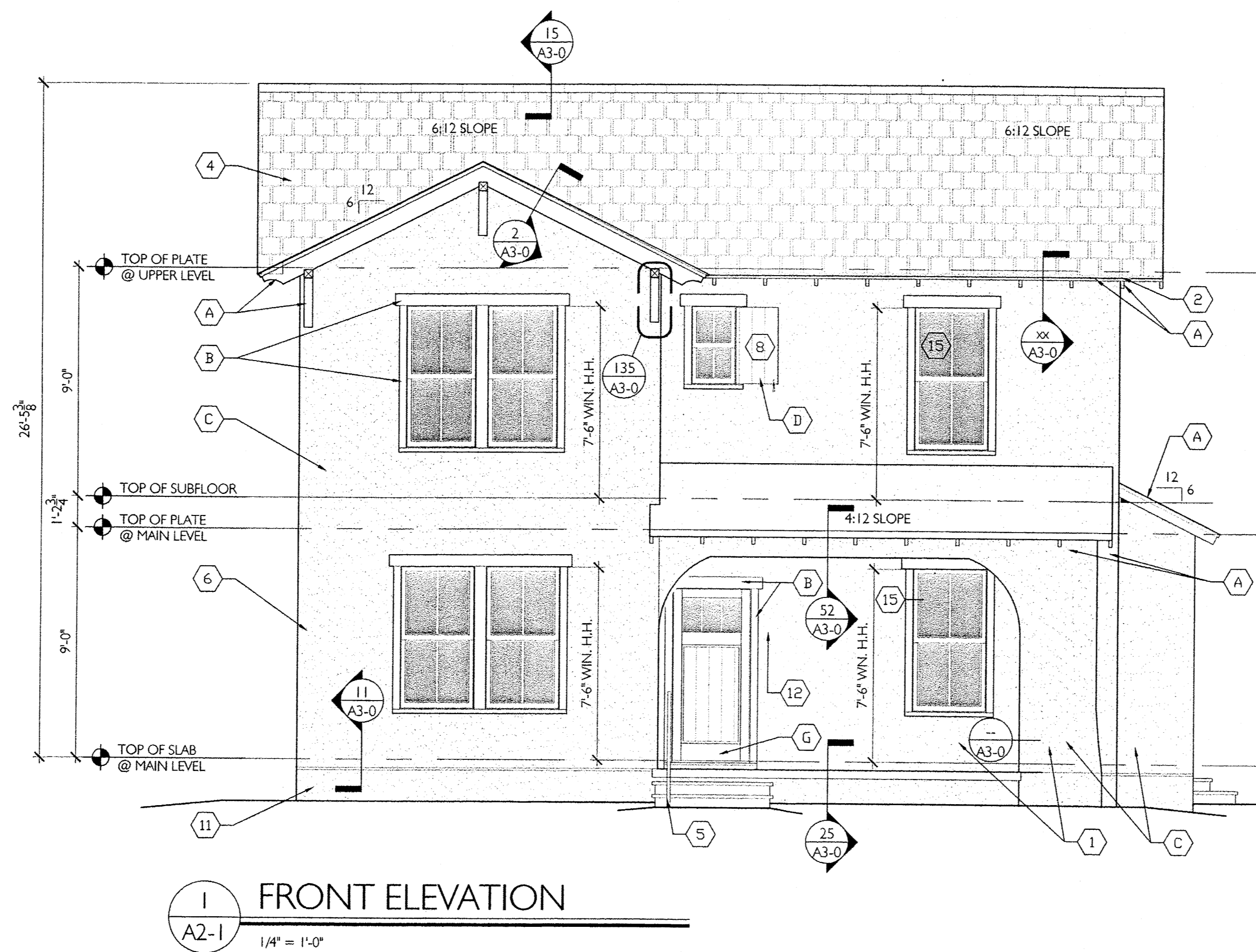
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING GAS
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	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
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	ENGINEER'S SEAL CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm DATE 7-3-13 DRAWING 2011064-GR
	GRADING PLAN TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5G JOB # 2011064



EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

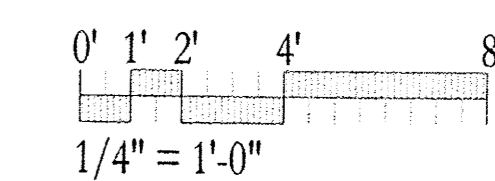
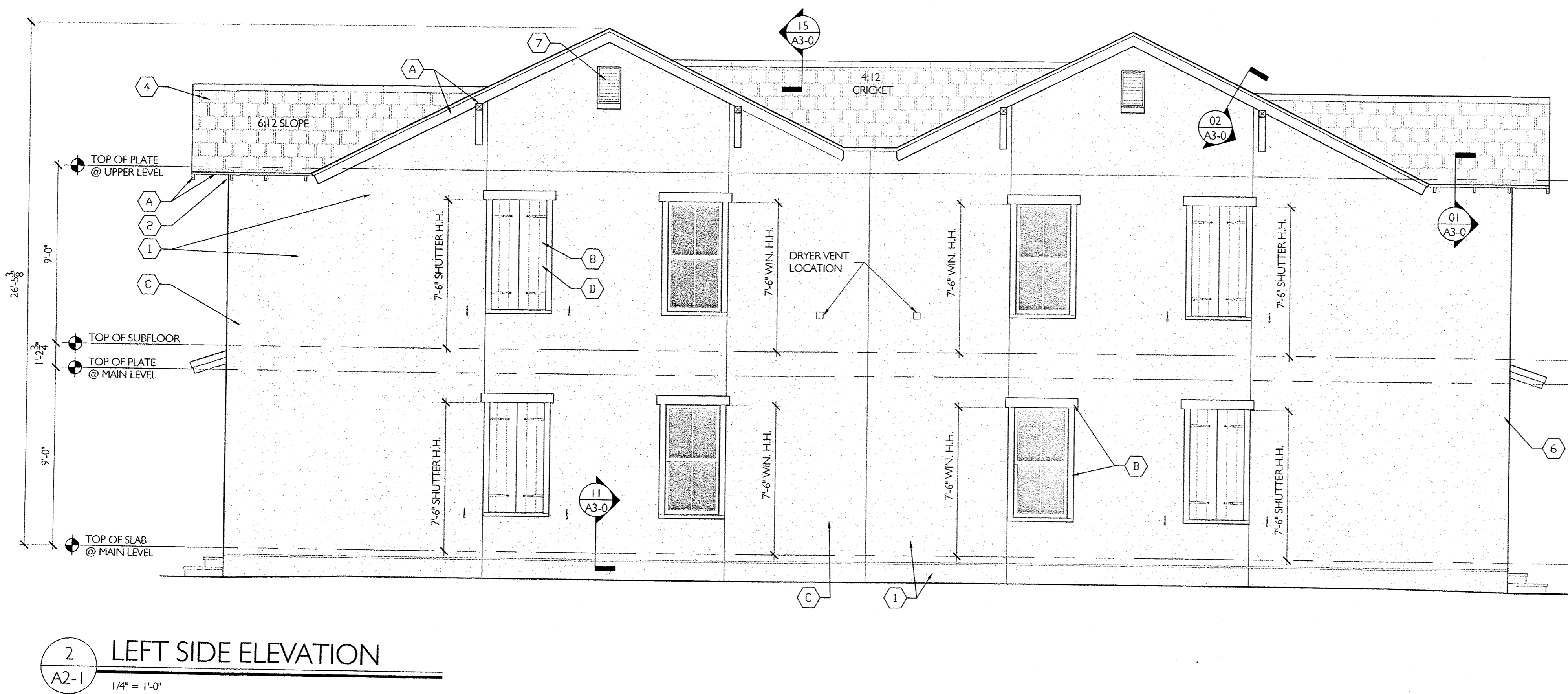
SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

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ISSUE FOR
95% REVIEW
**THE COTTAGES
of ALBUQUERQUE**

5-5 DUPLEX
SOAPBERRY
UNF: 1832 SQ.FT.
Albuquerque, New Mexico BUILDING: 3664 SQ.FT.
NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

GENERAL NOTE:
- Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
- Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- Use 15# felt on all roofs.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
- Flash and seal wall penetrations to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.

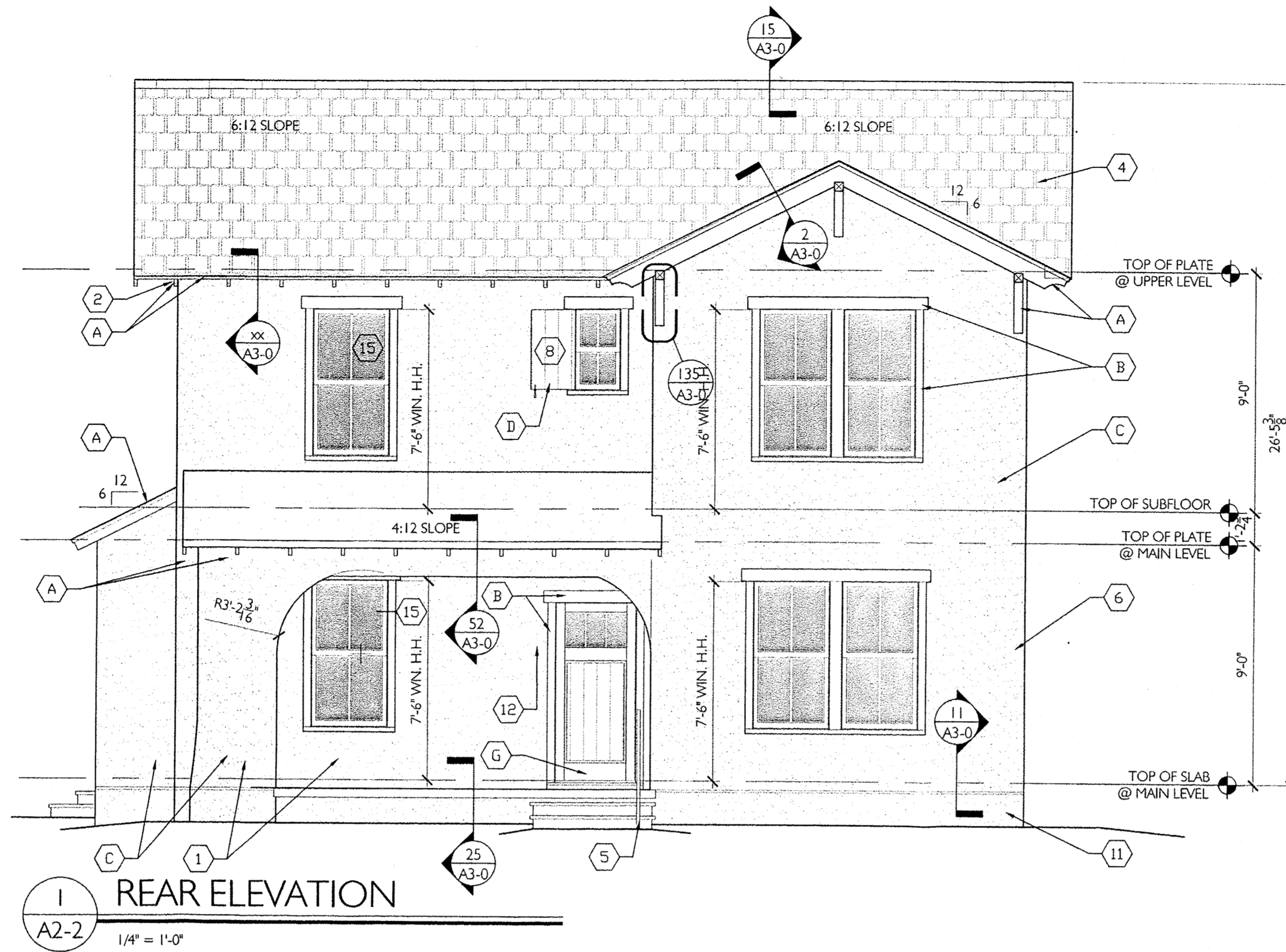


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REVISIONS

EXTERIOR ELEVATIONS
"SOAPBERRY"

A2-1



GENERAL NOTE:

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3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
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14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

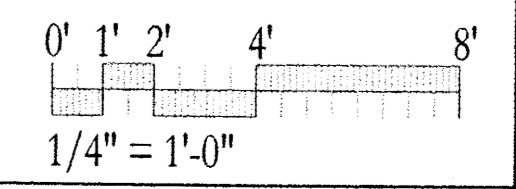
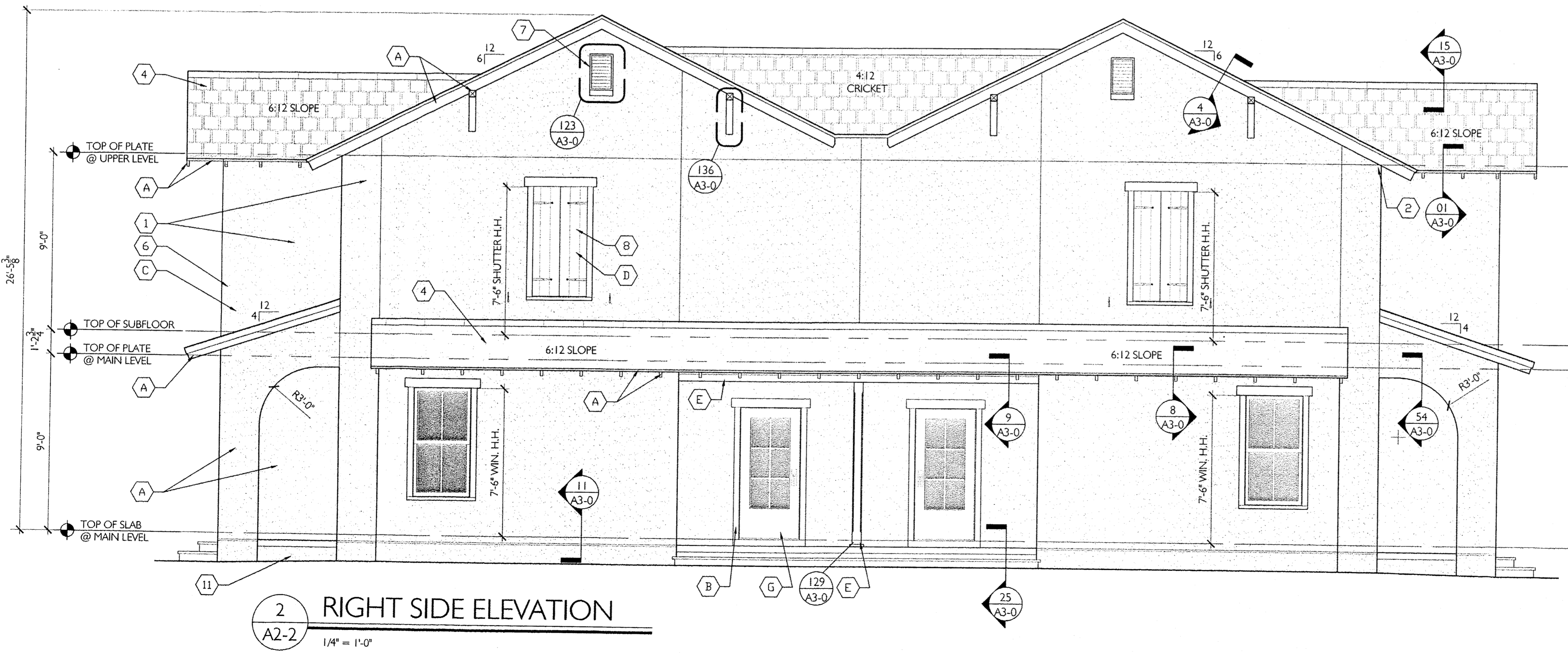
SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

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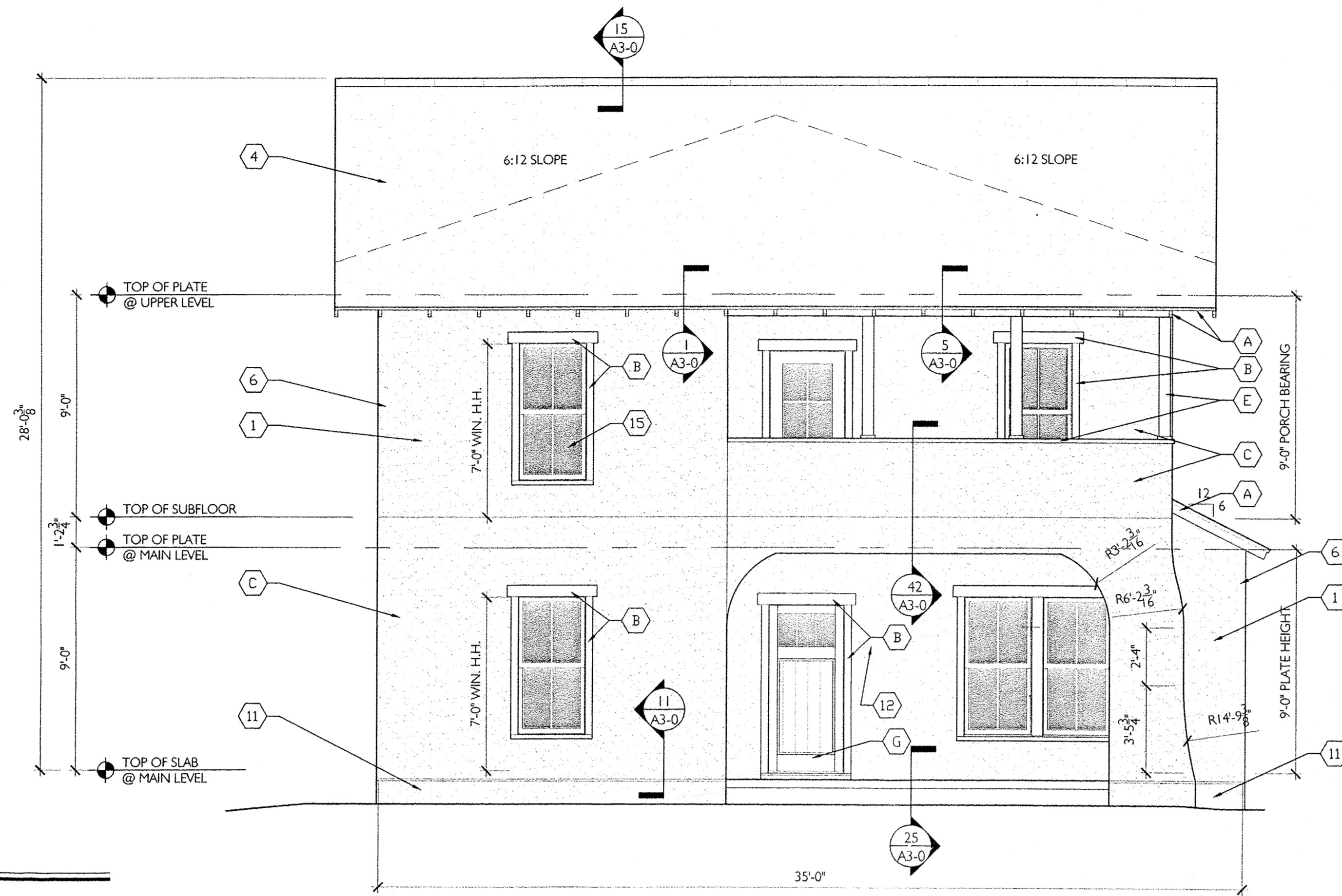
ISSUE FOR
 95% REVIEW
 THE COTTAGES
 OF ALBUQUERQUE

5-5 DUPLEX
 SOAPBERRY
 UNIT: 1832 SQ.FT.
 Albuquerque, New Mexico BUILDING: 3664 SQ.FT.
 NUMBER 11044 MAY 13, 2013
 Drawn by: TMB
 Checked by: EAL

REVISIONS
 EXTERIOR ELEVATIONS
 "SOAPBERRY"
 A2-2



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1 FRONT ELEVATION
A2-1
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING - SEE CIVIL FOR DETAIL
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED - SEE DTL. 60/A3-0
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15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

NOTE:
If any front or rear porch on main level is over 30" from grade see Detail 23 for handrail details

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

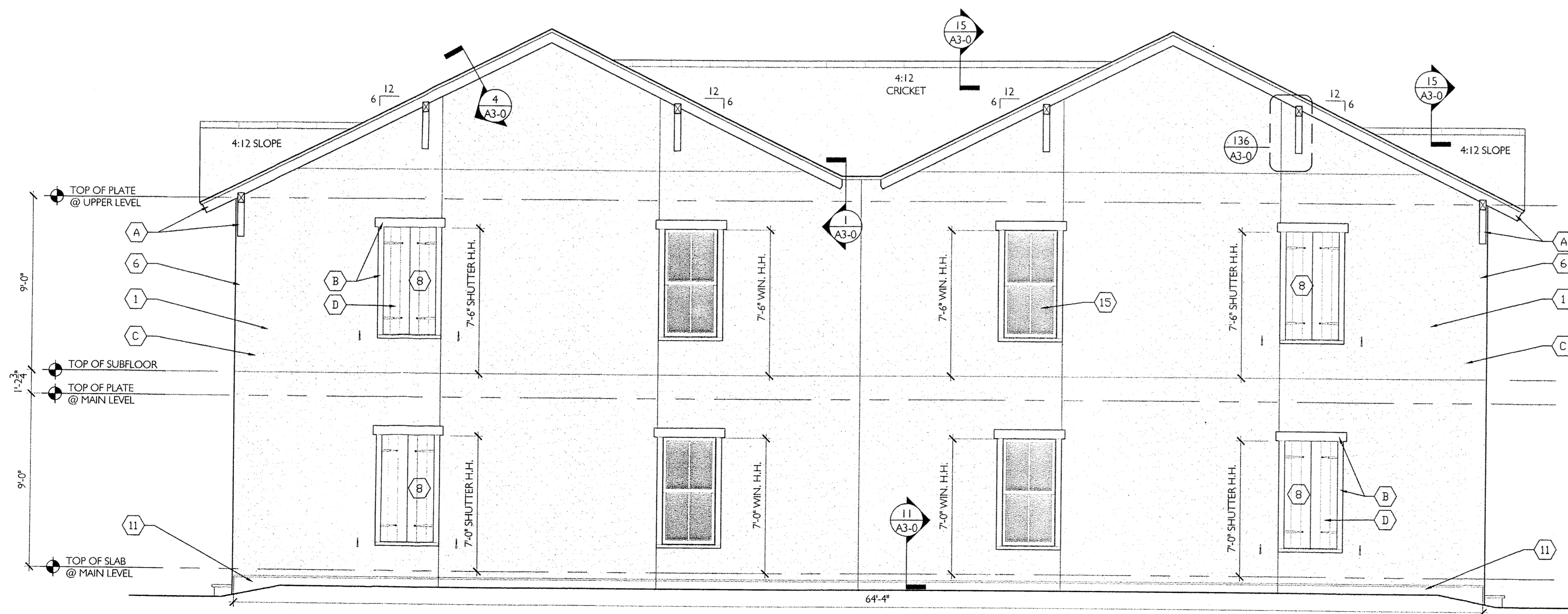
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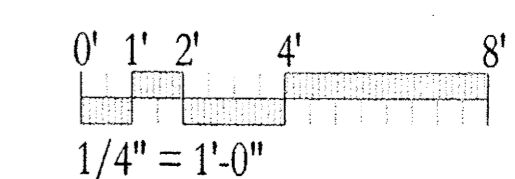
ISSUE FOR
95% REVIEW
THE COTTAGES
of ALBUQUERQUE

TWO STORY
5-5 DUPLEX
SAGUARO
Albuquerque, New Mexico UNIT: 1888 SQ.FT.
BUILDING: 3776 SQ.FT.
NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

GENERAL NOTE:
- Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
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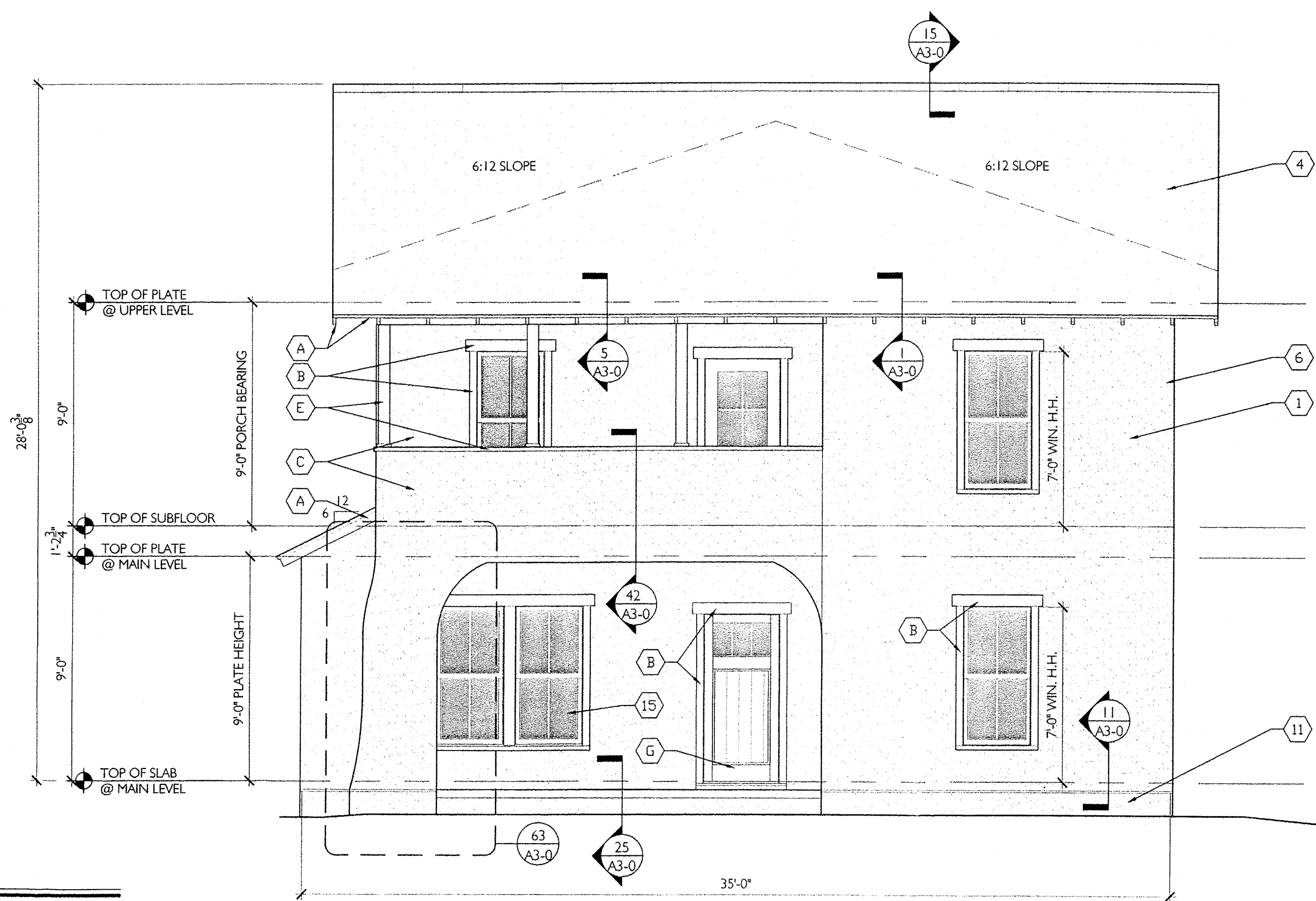


2 LEFT SIDE ELEVATION
A2-1
1/4" = 1'-0"



REVISIONS
EXTERIOR ELEVATIONS
"SAGUARO"

A2-1

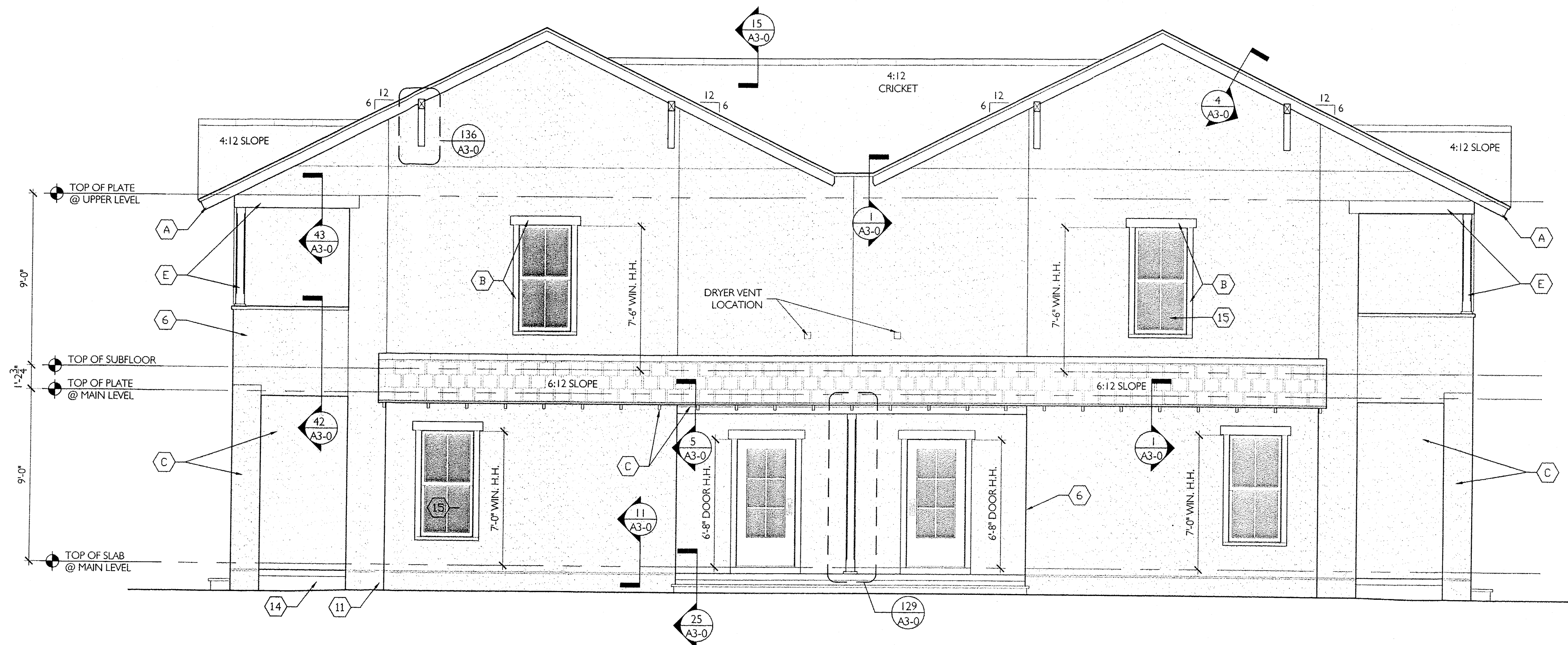


1 REAR ELEVATION
A2-2 1/4" = 1'-0"

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

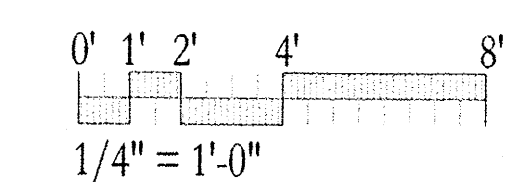
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4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
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10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED



2 RIGHT SIDE ELEVATION
A2-2 1/4" = 1'-0"

GENERAL NOTE:

- Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
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- Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
- Use 15# felt on all roofs.
- Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
- Flash and seal wall penetrations to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.



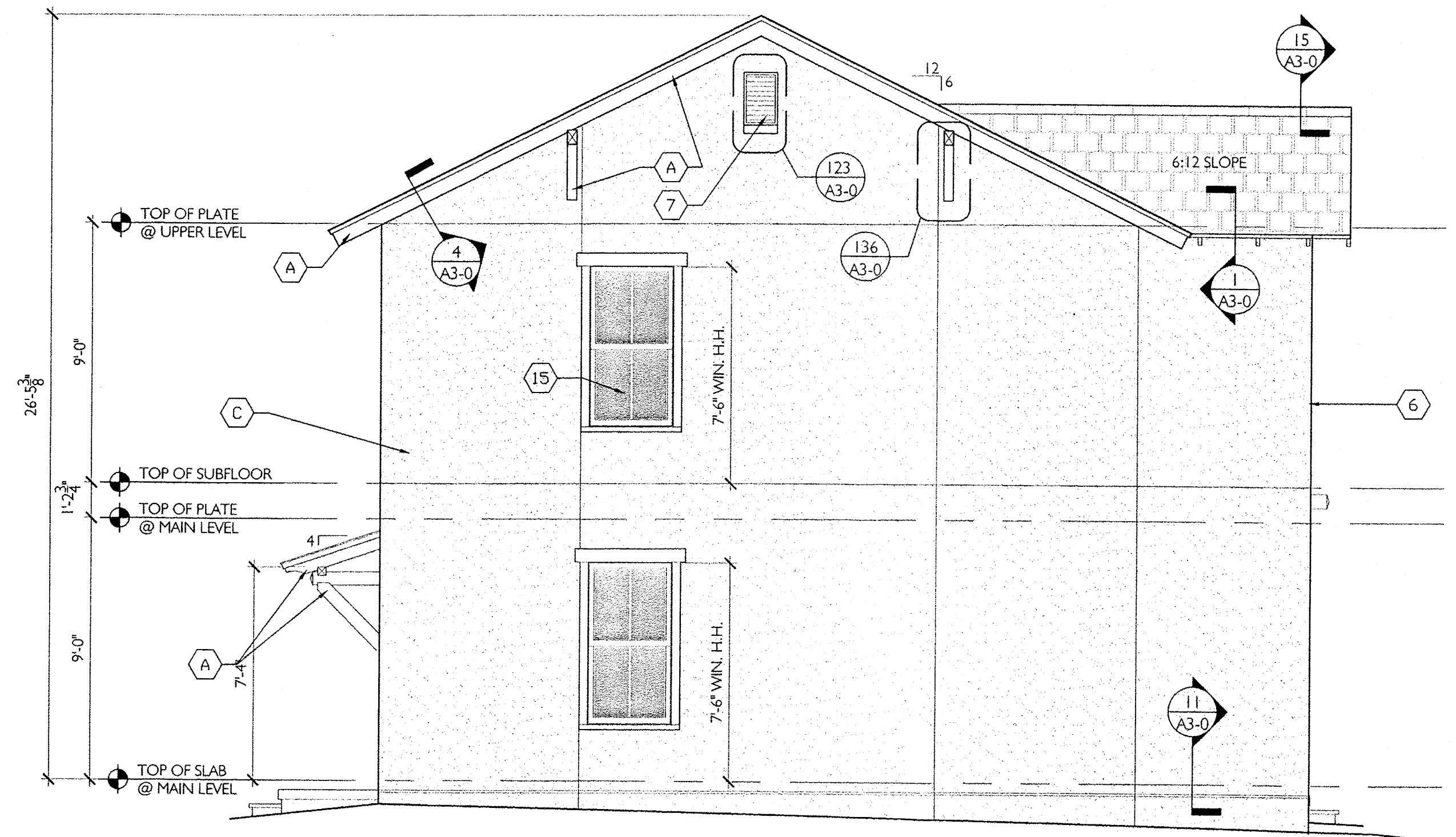
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ISSUE FOR 95% REVIEW
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TWO STORY
5-5 DUPLEX
SAGUARO
UNITS: 1888 SQ.FT.
BUILDING: 3776 SQ.FT.
Albuquerque, New Mexico NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

REVISIONS
EXTERIOR ELEVATIONS "SAGUARO"
A2-2

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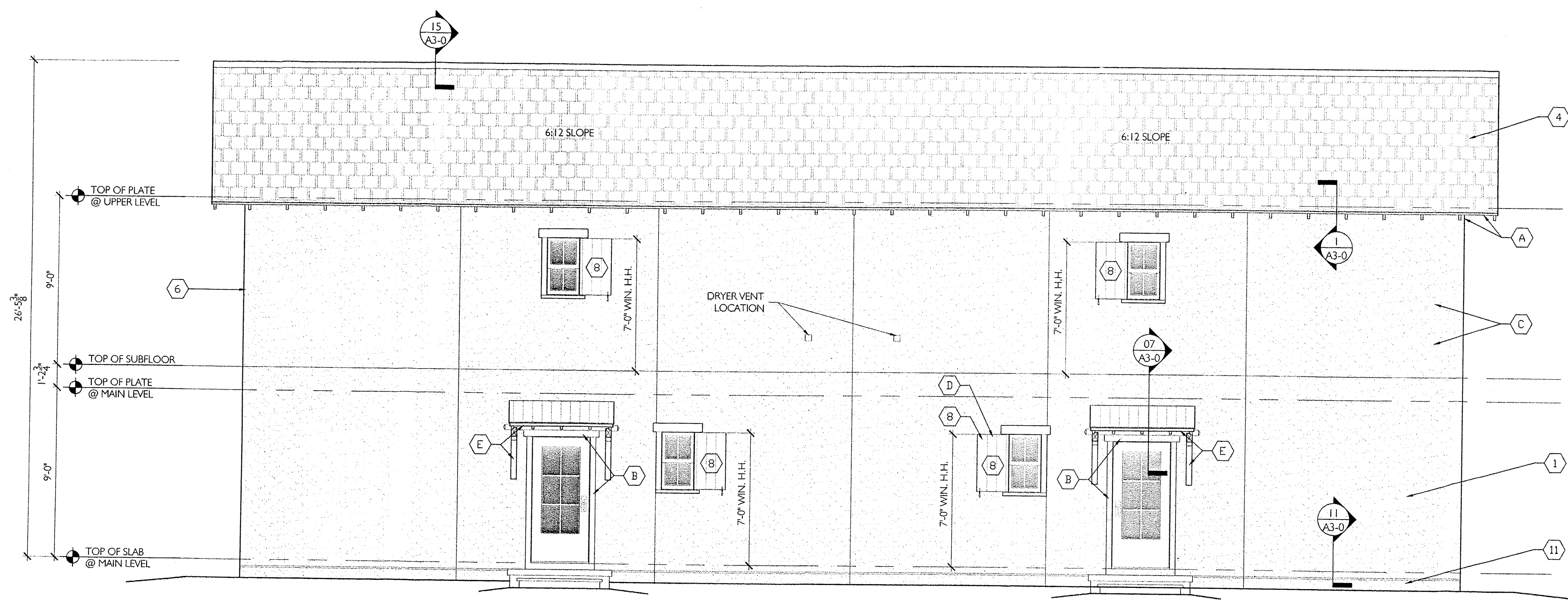
1 SIDE ELEVATION
A2-1 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3.0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

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2 REAR ELEVATION
A2-1 1/4" = 1'-0"

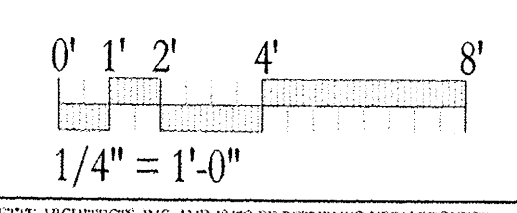
GENERAL NOTE:
 - Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
 - Use membrane (high temp) flashing under metal flashing installations at windows, louvers, faux vents and wall accents.
 - Use non-corrosive fasteners and use of elastomeric washers where applicable and for securing downspouts; typical.
 - Use 15# felt on all roofs.
 - Use neutral cure silicone sealant at all 1/2" joint openings, wall penetrations, along inside corners and cladding changes
 - Flash and seal wall penetrations to create a watertight cladding installation capable of performing under 6.24 psf water pressure test or equivalent rainfall - per IBC 2009; typ.

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 of ALBUQUERQUE

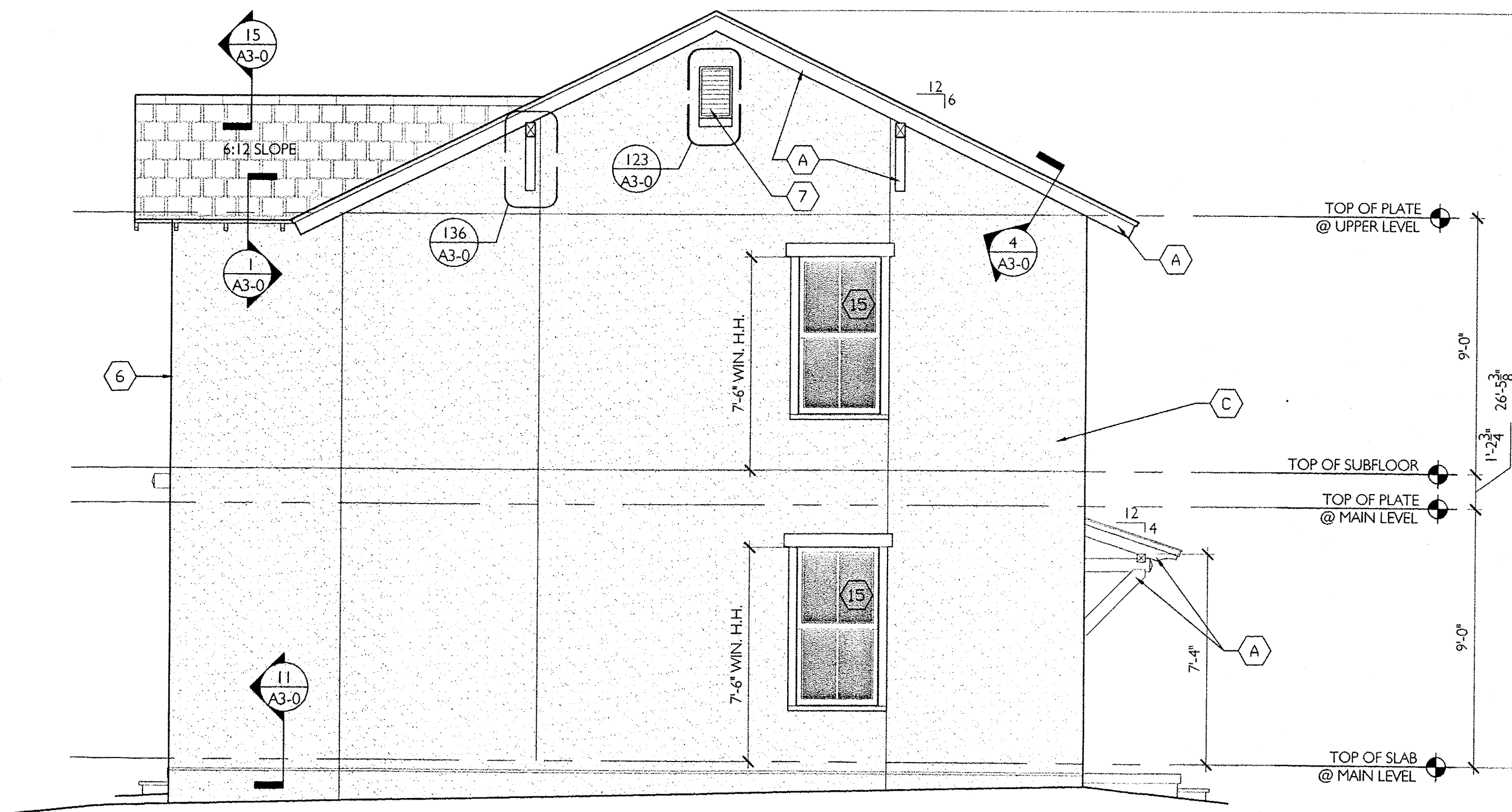
5-5 DUPLEX
 IRIS
 Albuquerque, New Mexico UNIT: 1842 SQ.FT.
 NUMBER 11044 BUILDING: 3684 SQ.FT.
 MAY 13, 2013
 Drawn by: MDR
 Checked by: EAL

REVISIONS

EXTERIOR ELEVATIONS
 "IRIS"



A2-1



1 SIDE ELEVATION
A2-2 1/4" = 1'-0"

GENERAL NOTE:

- Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
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EXTERIOR MATERIAL SCHEDULE	
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2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
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8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

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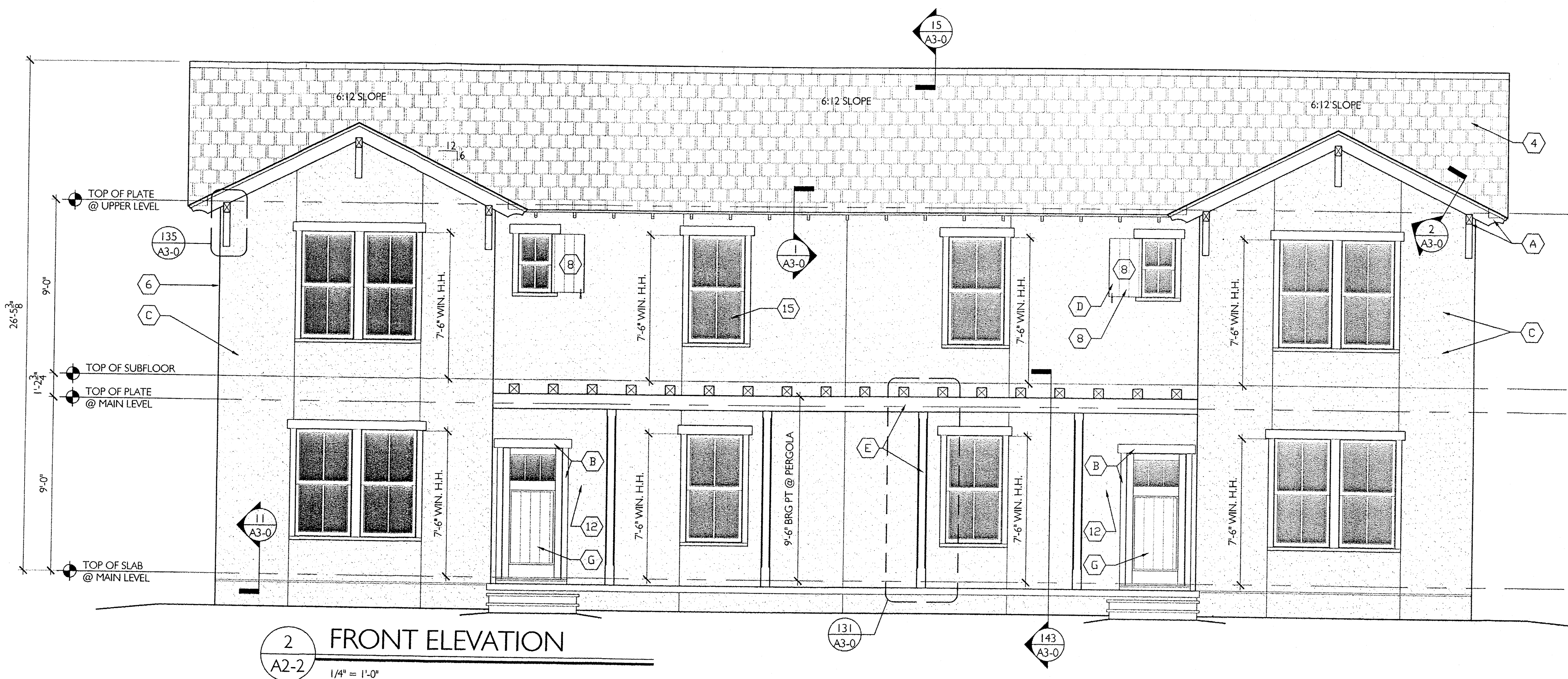
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5-5 DUPLEX
IRIS
 Albuquerque, New Mexico BUILDING: 3684 SQ.FT.
 NUMBER 11044 MAY 13, 2013
 Drawn by: MDR
 Checked by: EAL

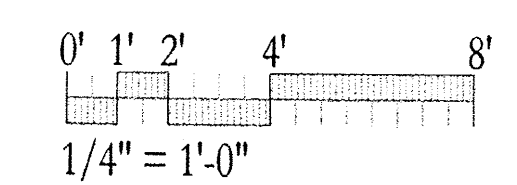
REVISIONS

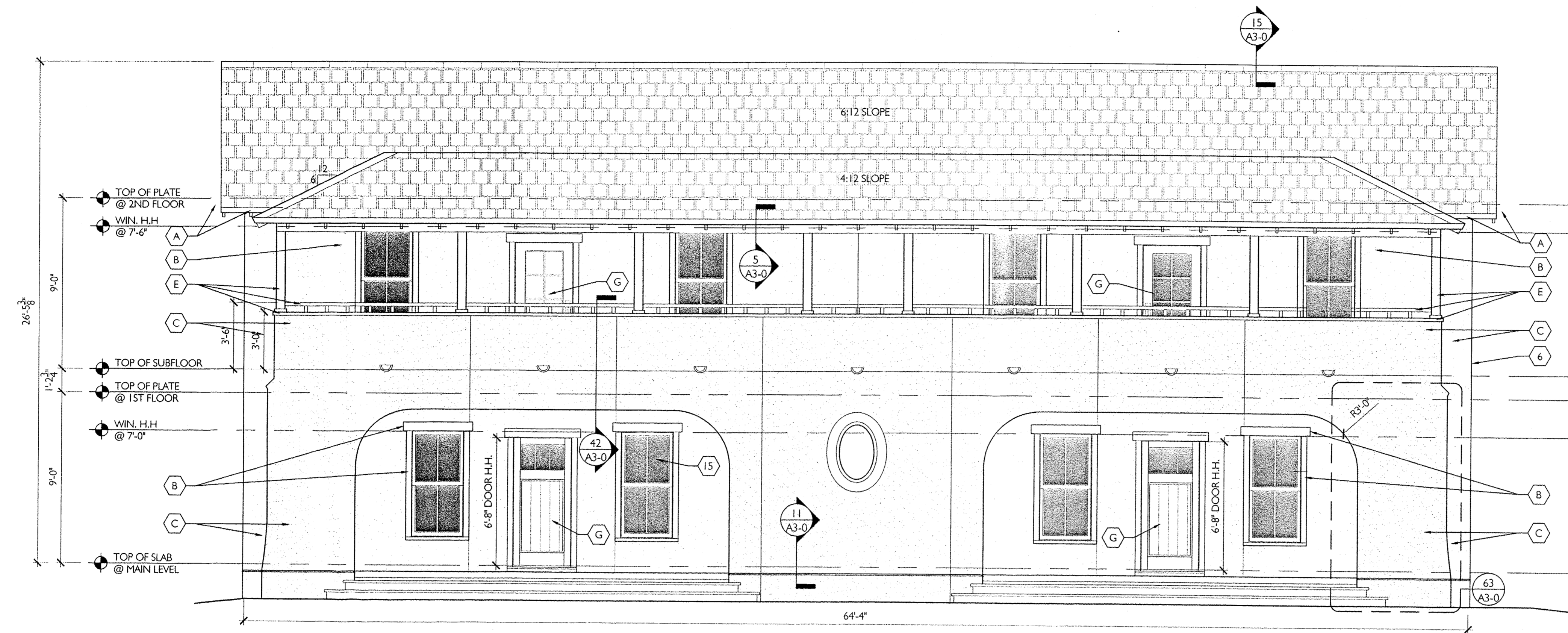
EXTERIOR ELEVATIONS
 "IRIS"

A2-2

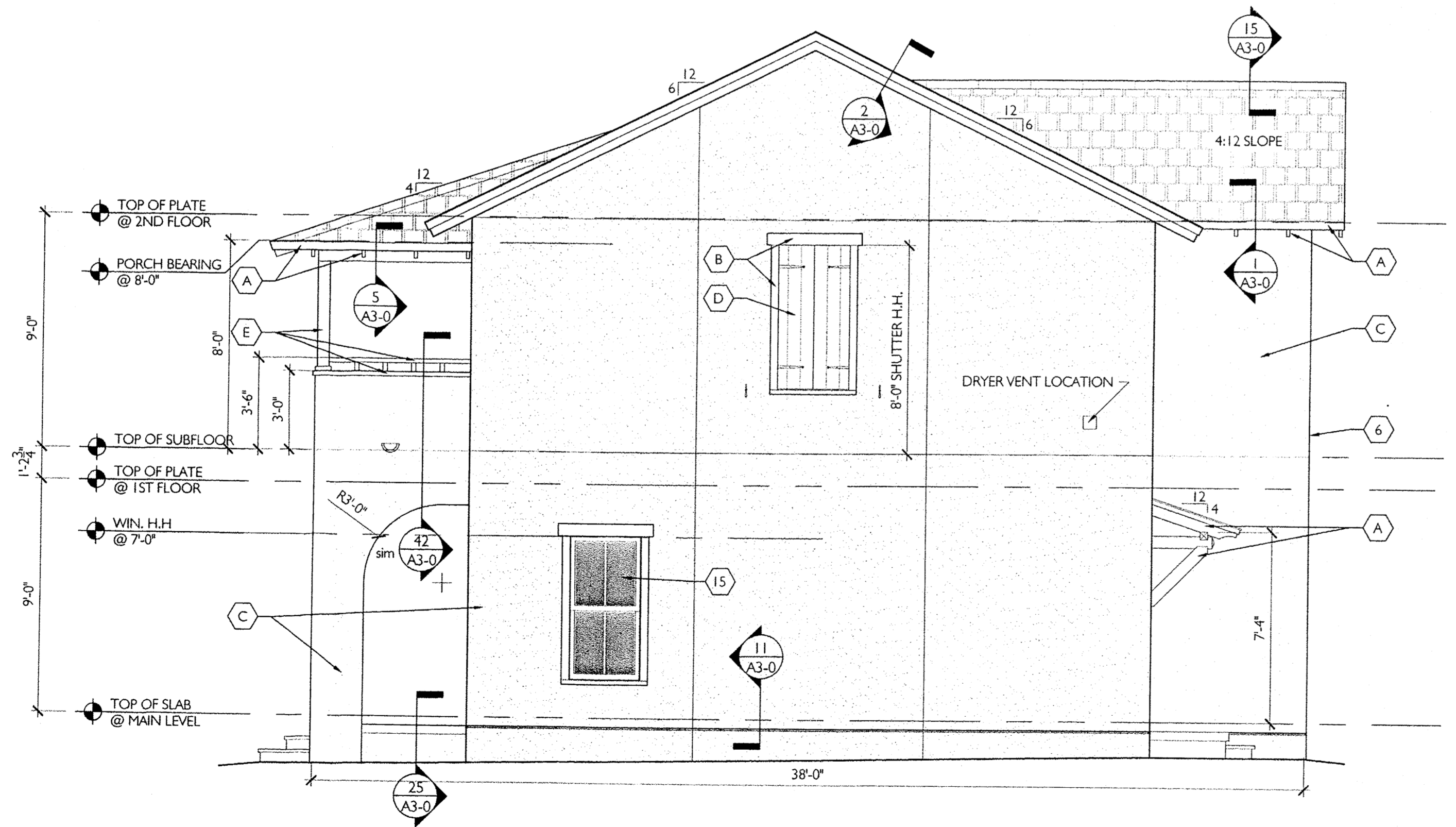


2 FRONT ELEVATION
A2-2 1/4" = 1'-0"





1 FRONT ELEVATION
 A2-1 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
 A2-1 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
6	FOR CORNER FRAMING DETAIL SEE DETAIL 20/A3-0
7	WOOD LOUVER DORMER VENT
8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
9	NOT USED
10	NOT USED
11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
12	SEE DETAIL 155 FOR HOUSE NUMBER LOCATION
14	STUCCO FINISH COAT @ PORCH
15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

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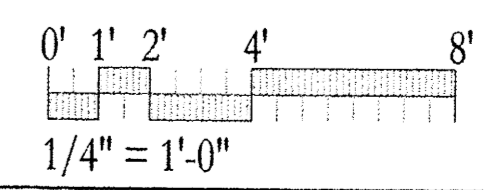
ISSUE FOR
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5-5 DUPLEX
 FERNBUSH
 UNIT: 1834 SQ.FT.
 BUILDING: 3668 SQ.FT.
 Albuquerque, New Mexico
 NUMBER 11044 MAY 13, 2013

Drawn by: TMB
 Checked by: EAL

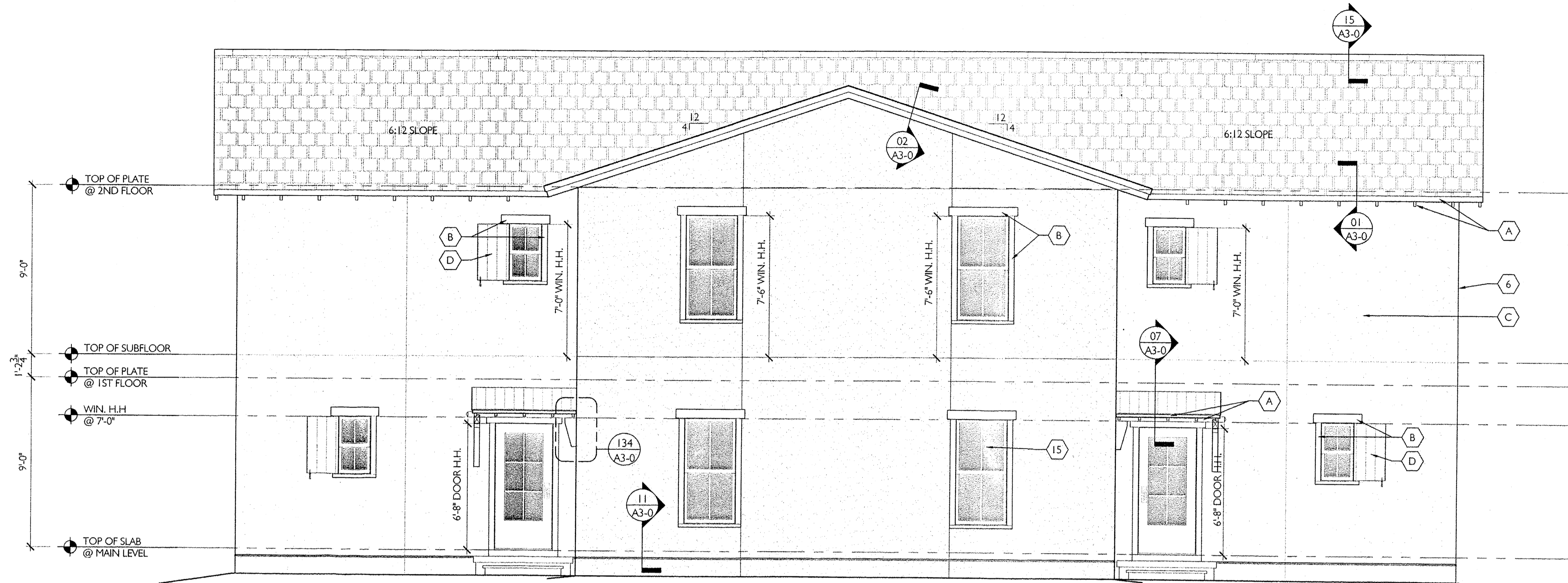
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EXTERIOR ELEVATIONS
 "FERNBUSH"



A2-1

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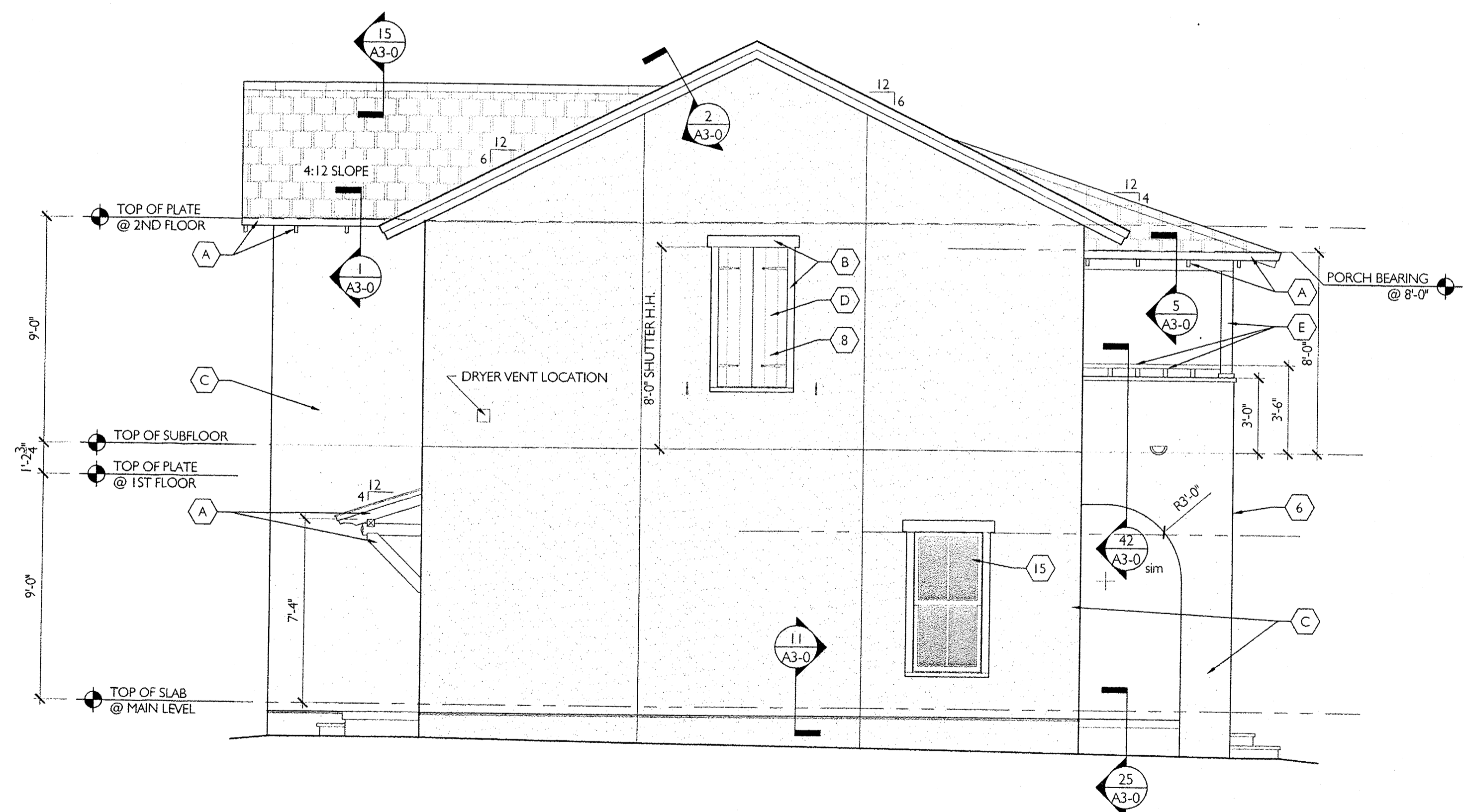


1 REAR ELEVATION
A2-2
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING. SEE CIVIL FOR DETAIL.
4	DIMENSIONAL ASPHALT SHINGLES
5	EXTERIOR HANDRAIL IF NEEDED. SEE DTL. 60/A3-0
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10	NOT USED
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16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS



2 LEFT SIDE ELEVATION
A2-2
1/4" = 1'-0"

GENERAL NOTE:

- Use high temp modified bitumen underlayment along eaves, slope transitions and ridges, in 18"-24"-36" widths, in keeping with underlayment manufacturers recommendations; install underlayment along both sides of valleys at 48" upslope. If required, see detail 27 for detail of flashing at valleys.
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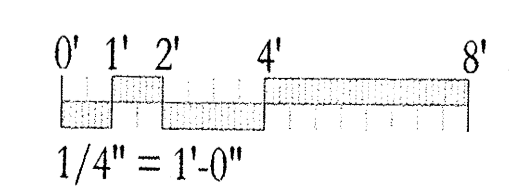
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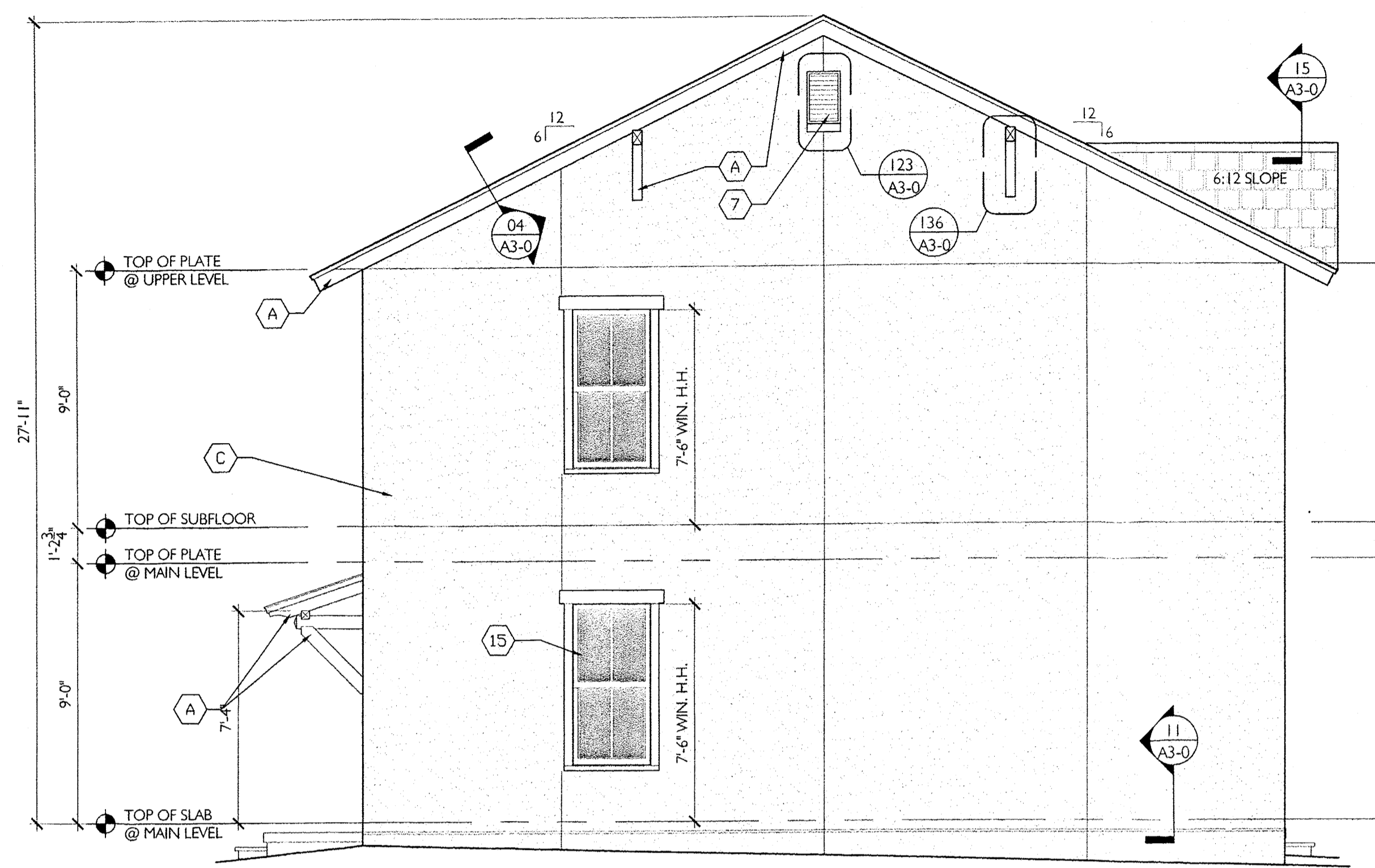
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5-5 DUPLEX
FERNBUSH
UNITE: 1834 SQ.FT.
BUILDING: 3688 SQ.FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013

Drawn by: TMB
Checked by: EAL

REVISIONS
EXTERIOR ELEVATIONS
"FERNBUSH"
A2-2



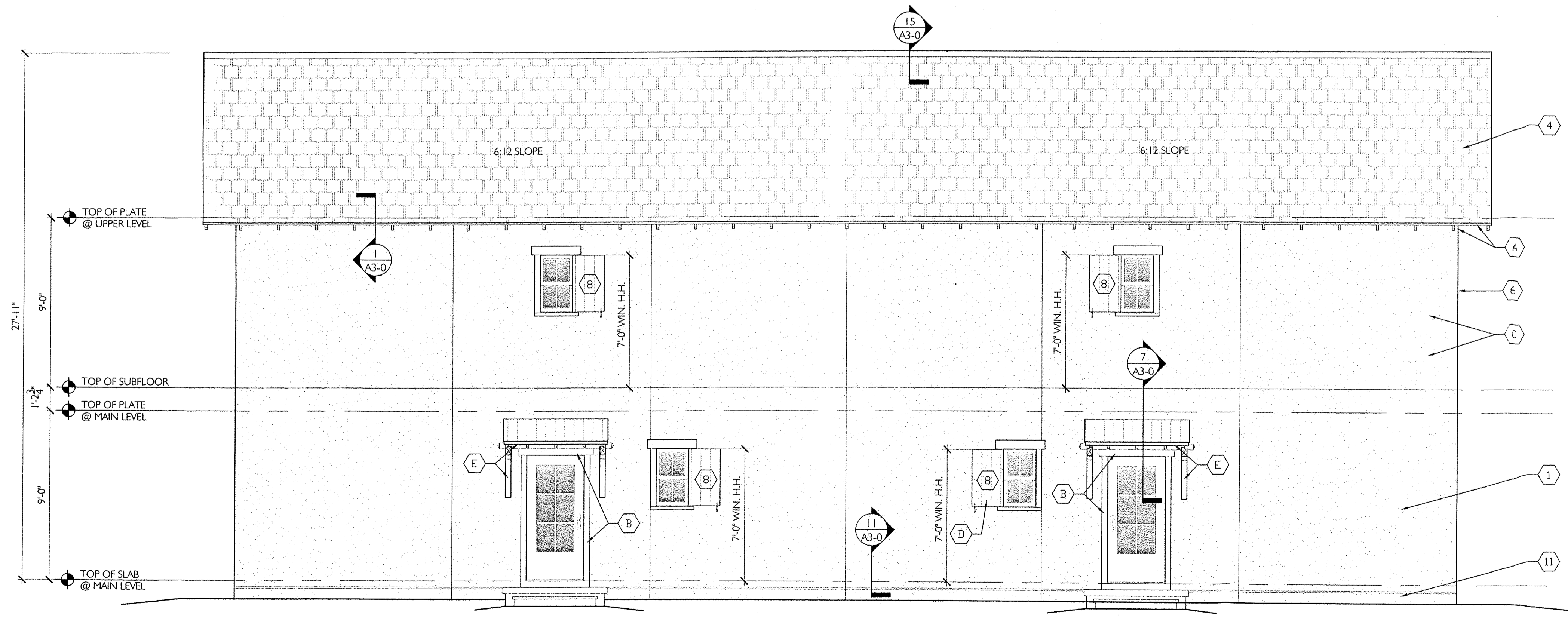


1 LEFT SIDE ELEVATION
A2-1 1/4" = 1'-0"

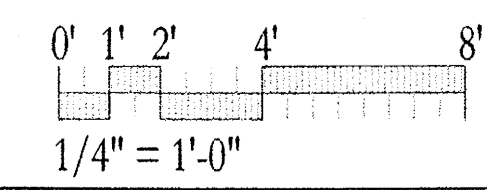
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17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS



2 REAR ELEVATION
A2-1 1/4" = 1'-0"

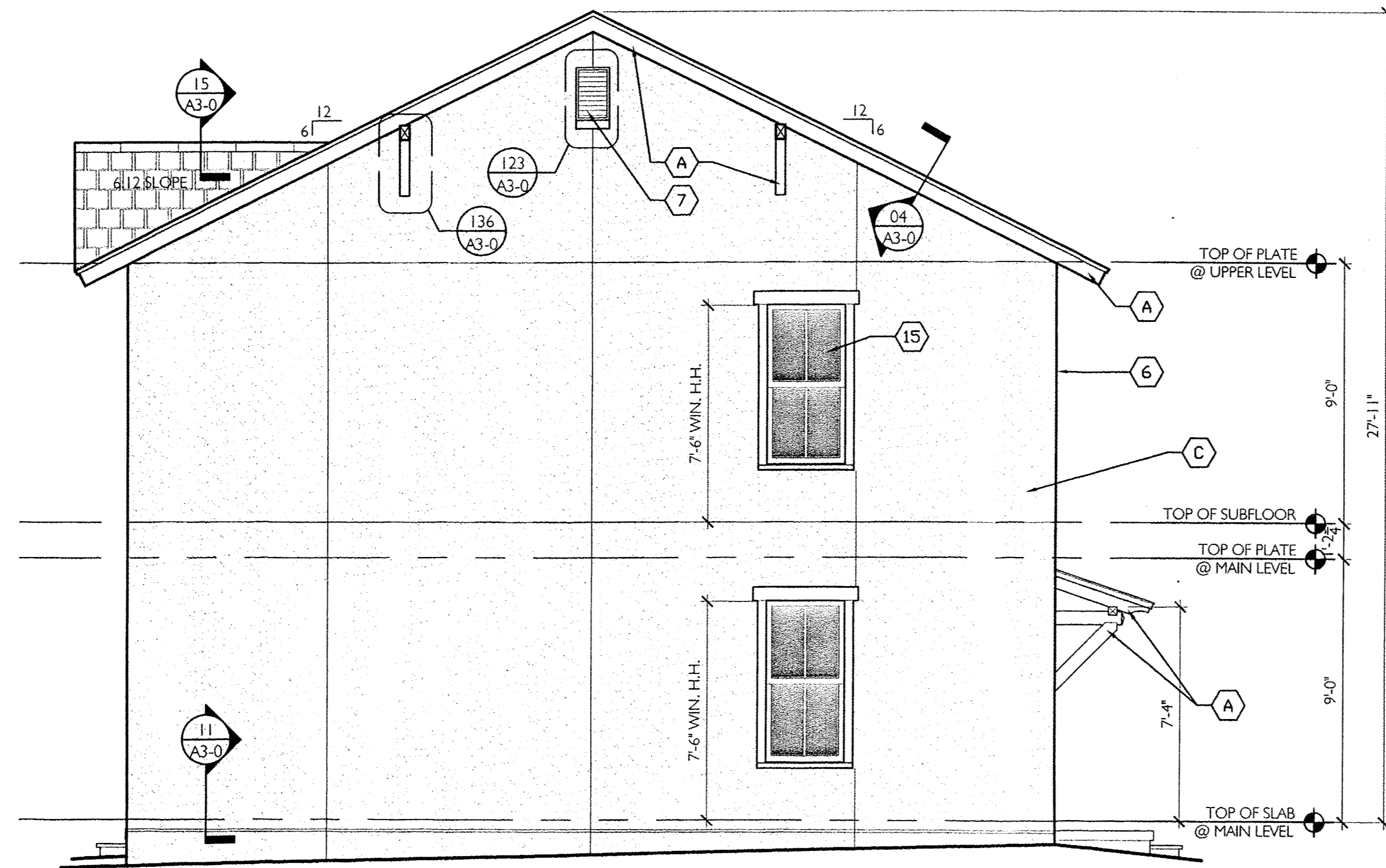


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5-5 DUPLEX
CLIFFROSE
Albuquerque, New Mexico UNIT: 1842 SQ.FT.
BUILDING: 3684 SQ.FT.
NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

REVISIONS
EXTERIOR ELEVATIONS
"CLIFFROSE"
A2-1

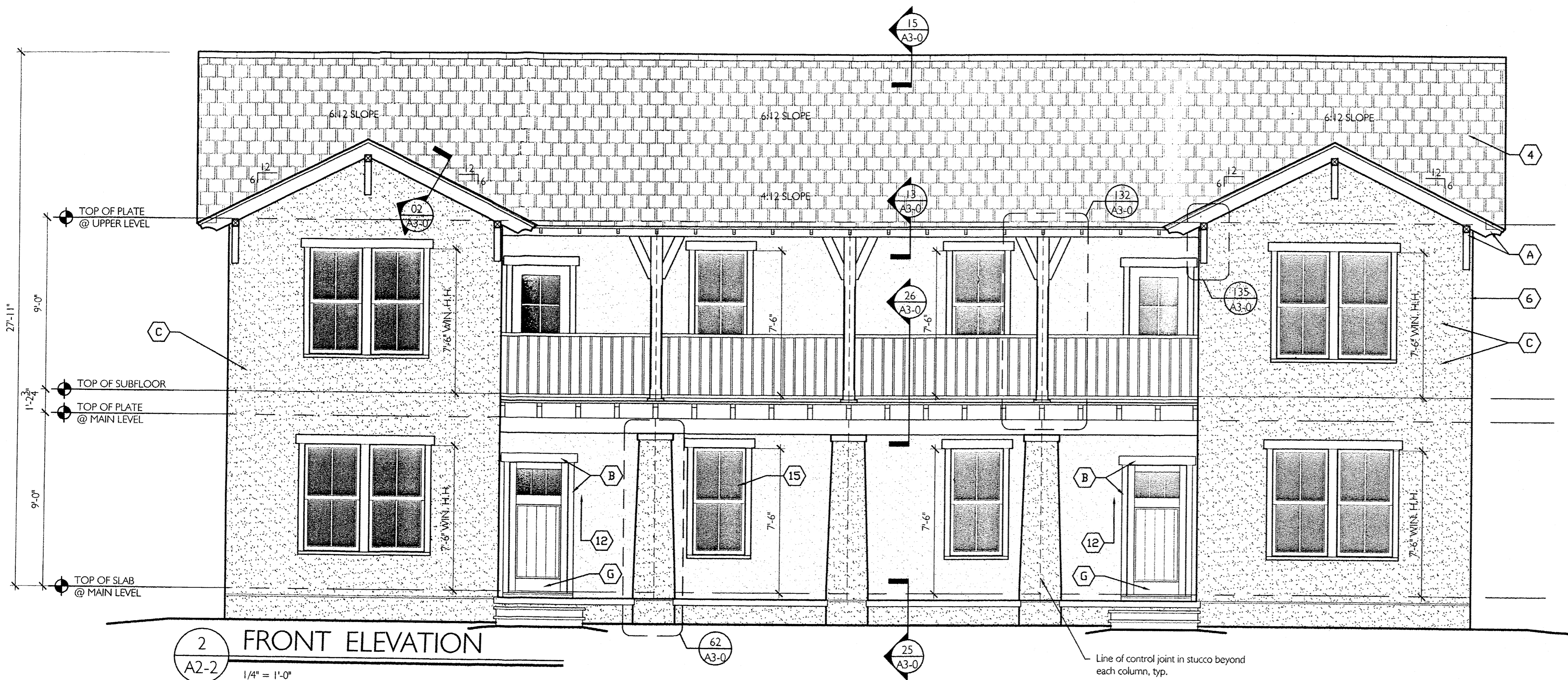


1 RIGHT SIDE ELEVATION
A2-2
1/4" = 1'-0"

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
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15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED



2 FRONT ELEVATION
A2-2
1/4" = 1'-0"

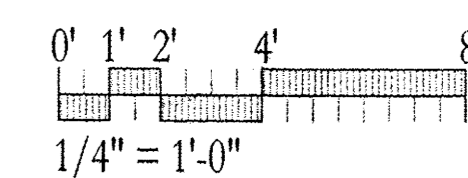
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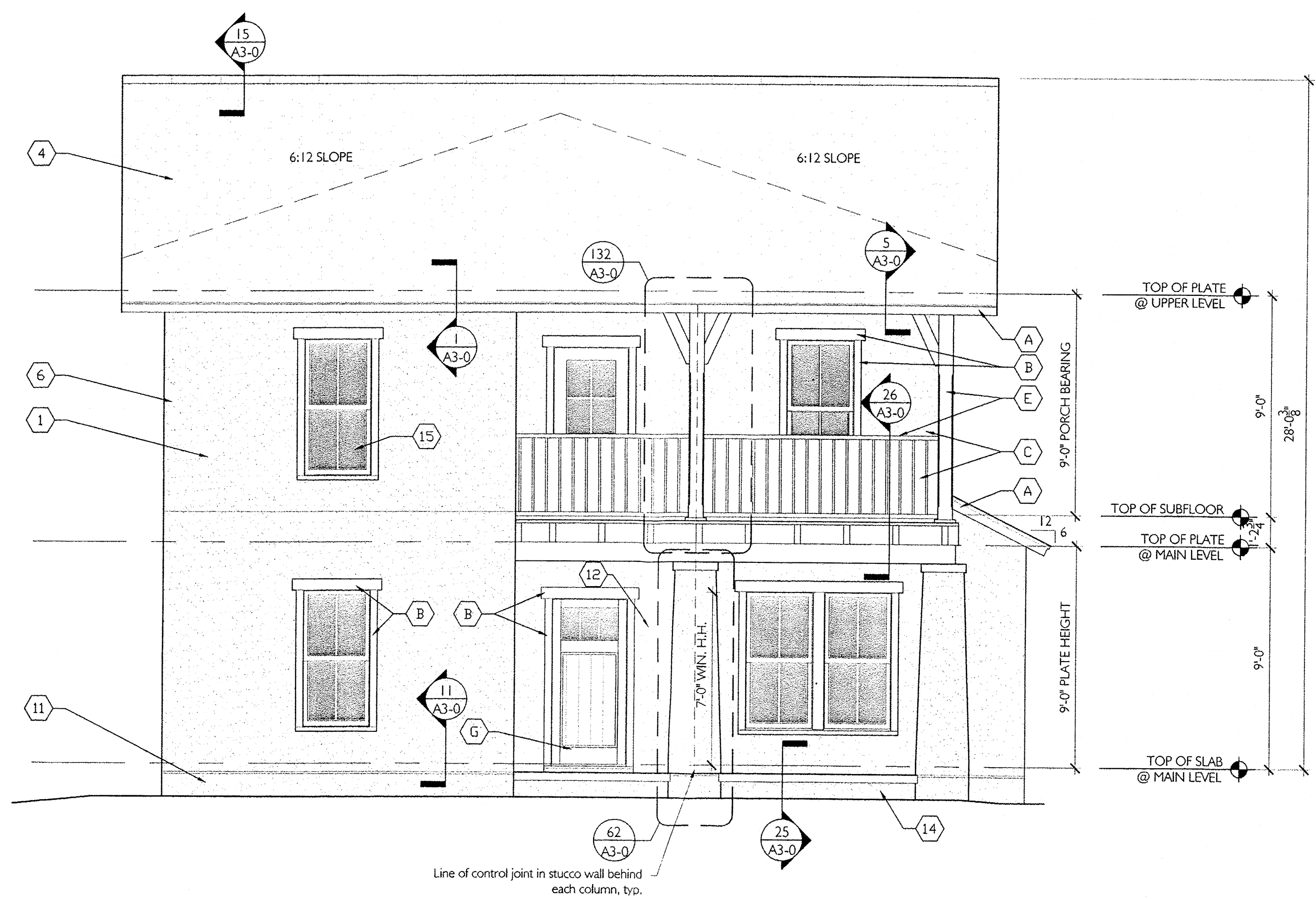
5-5 DUPLEX
CLIFFROSE
Albuquerque, New Mexico UNIT: 1842 SQ.FT.
BUILDING: 3684 SQ.FT.
NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

REVISIONS

EXTERIOR ELEVATIONS
"CLIFFROSE"



A2-2



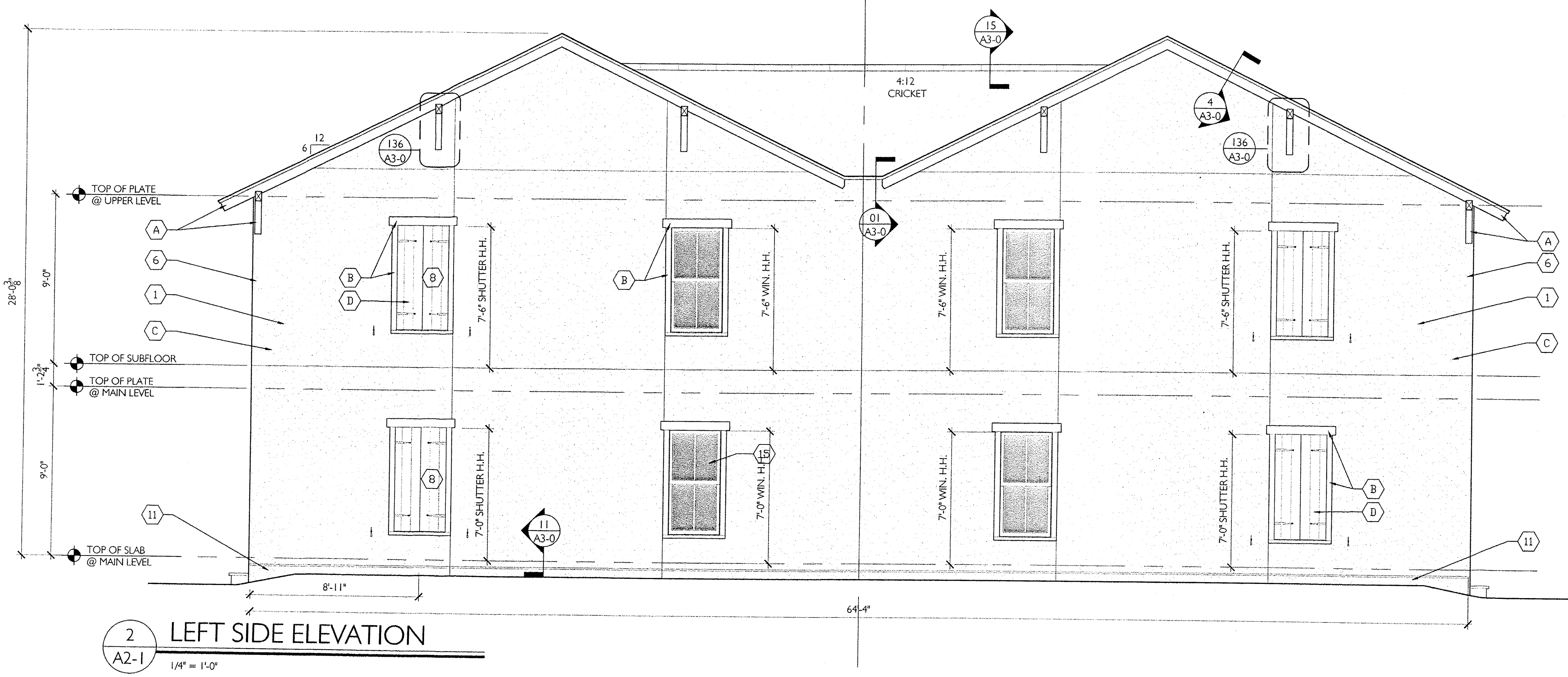
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EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
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D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMIERS
G	DOOR

SEE COLOR SCHEME BOOK FOR PAINT COLOR SELECTIONS

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2 LEFT SIDE ELEVATION
A2-1
1/4" = 1'-0"

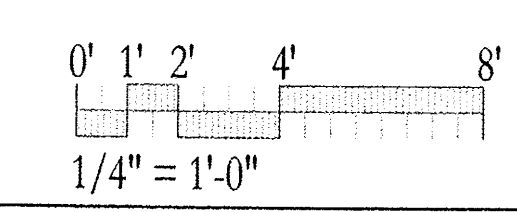
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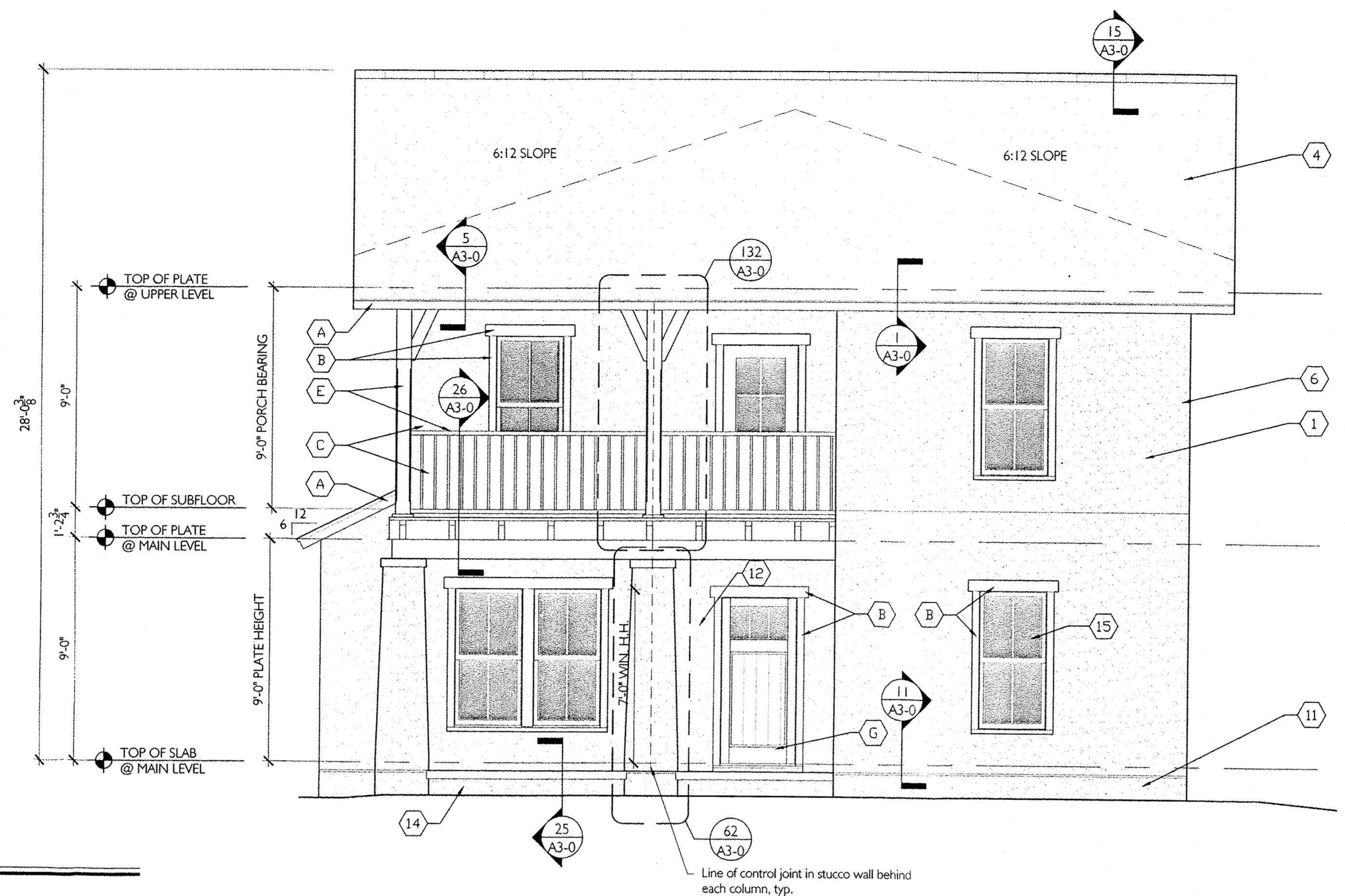
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TWO STORY
5-5 DUPLEX
BRITTLEBUSH
UNIT: 1888 SQ.FT.
BUILDING: 3776 SQ.FT.
Albuquerque, New Mexico
NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

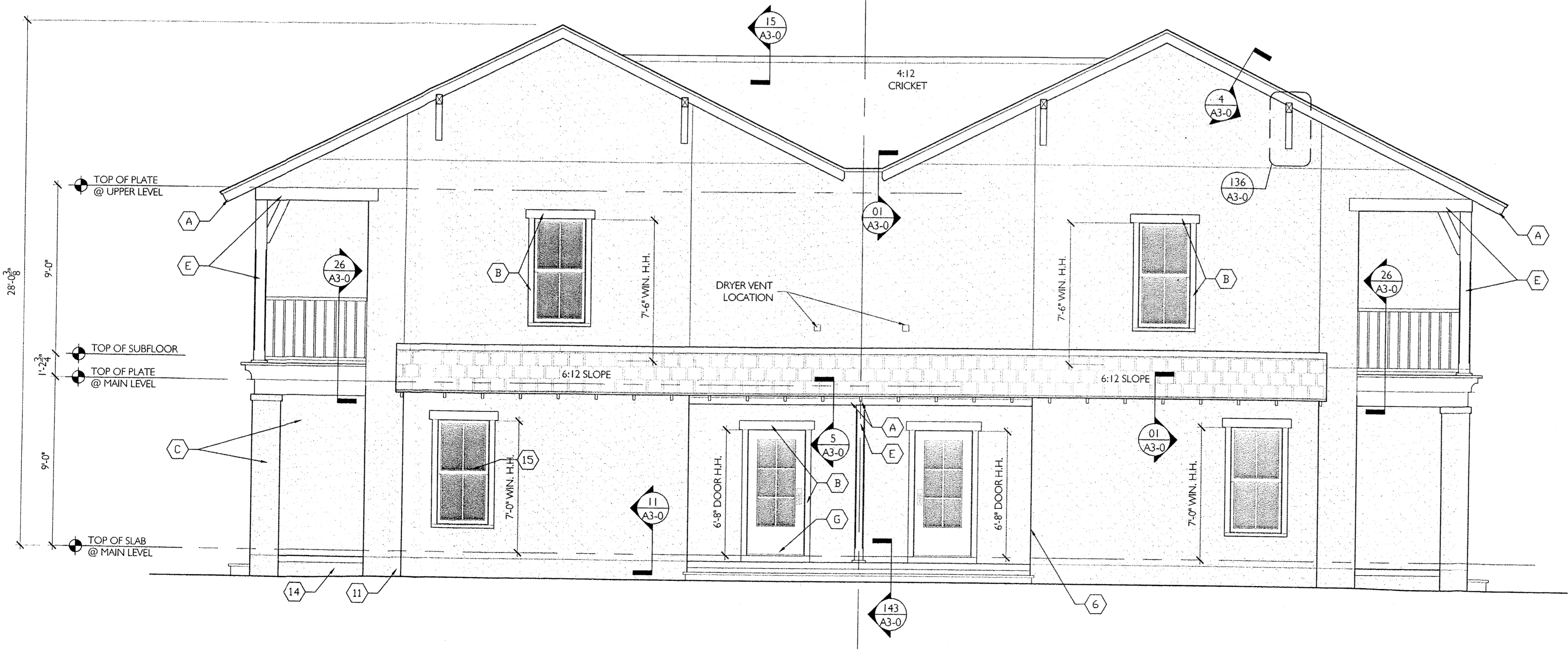
REVISIONS
EXTERIOR ELEVATIONS
"BRITTLEBUSH"
A2-1



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1 REAR ELEVATION
A2-2
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A2-2
1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
1	3 COAT STUCCO WITH 4TH FINISH COAT - see typical details 16/A3-0
2	FOR TRIM TRANSITION FROM RAKE TO EAVE SEE DETAIL 3/A3-0
3	SITE FENCING - SEE CIVIL FOR DETAIL
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8	FAUX SHUTTERS. SEE SHEET 152,153,154 FOR DETAIL
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11	STUCCO FINISH COAT - SEE TRANSITION DETAILS 16a - 16e /A3-0 FOR REFERENCE
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15	SEE DETAIL 149 FOR WINDOW CALL OUTS AND DETAILS
16	SEE DETAIL 150 FOR WINDOW CALL OUTS AND DETAILS
17	NOT USED

EXTERIOR PAINT SCHEDULE	
A	EAVES/FASCIA
B	WINDOW/DOOR TRIM
C	STUCCO FINISH
D	SHUTTERS
E	PORCH (TRIM & COLUMNS)
F	DORMERS
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GENERAL NOTE:

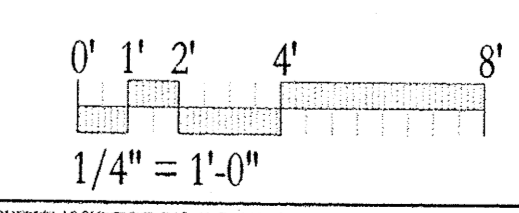
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THE COTTAGES of ALBUQUERQUE

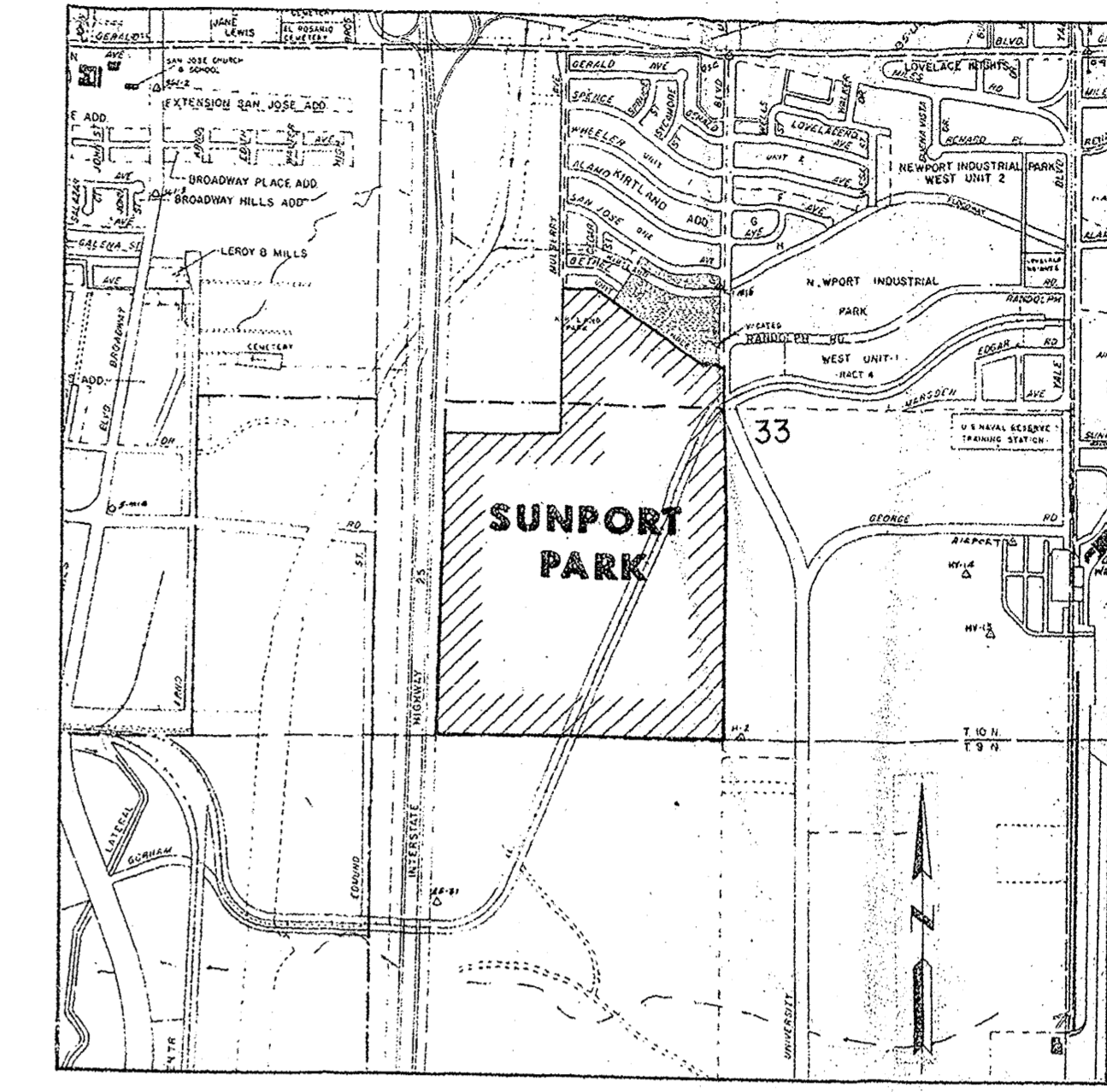
TWO STORY
5-5 DUPLEX
BRITTLEBUSH
UNIT: 1888 SQ.FT. BUILDING: 3776 SQ.FT.
Albuquerque, New Mexico NUMBER 11044 MAY 13, 2013
Drawn by: TMB
Checked by: EAL

REVISIONS
EXTERIOR ELEVATIONS
"BRITTLEBUSH"
A2-2



AMENDED SUNPORT PARK SITE DEVELOPMENT PLAN FOR SUBDIVISION

*Sunport Park
SPS (MP)*



LOCATION MAP
ZONE ATLAS MAP No. M-15

GENERAL NOTES

SITE DEVELOPMENT PLAN STANDARDS

LAND-USE IS LIMITED TO THE PERMISSIVE USES OF THE I-P ZONE, WHICH ARE REFLECTED BY THE USES DESIGNATED ON THE SITE DEVELOPMENT PLAN FOR SUBDIVISION, EXCEPT FOR BLOCK 1 LOTS AND BLOCKS 1 AND 2 WHICH SHALL ALSO ALLOW RESIDENTIAL USE FOR STUDENT HOUSING. LAND-USE INTENSITY IS DETERMINED BY THE FLOOR-AREA RATIOS SPECIFIED ON THE SITE DEVELOPMENT PLAN.

BUILDING HEIGHT SHALL BE AS SPECIFIED IN THE SITE DEVELOPMENT PLAN, AND AS LIMITED TO THE I-P ZONE.

Building Setbacks
Buildings shall be located on each site according to the following setback dimensions except as provided in 14-16-3-3 of the zoning code:
Front setback of not less than 20' from the R.O.W. line
Side setback of not less than 10' from the R.O.W. line
Rear setback of not less than 10' from the R.O.W. line

LOT SIZE SHALL BE A MINIMUM OF ONE ACRE, WITH A MINIMUM DIMENSION OF NOT LESS THAN 100 FEET.

SIGNS LOCATION. A SIGN SHALL NOT OVERHANG INTO THE PUBLIC RIGHT-OF-WAY. SIZE SHALL BE LIMITED TO 75 SQUARE FEET IF THE MOST IMPORTANT STREET ABUTTING THE LOT IS A LOCAL STREET OR 100 SQUARE FEET IF THE MOST IMPORTANT STREET ABUTTING THE LOT IS A COLLECTOR OR ARTERIAL STREET OR FREEWAY.

ONE WALL SIGN SHALL BE PERMITTED PER FACADE PER BUSINESS.

A BUILDING-MOUNTED SIGN SHALL NOT EXCEED 15 PERCENT OF THE AREA OF THE FACADE TO WHICH IT IS APPLIED IF THE SIGN IS NOT WHOLLY VISIBLE FROM AN ABUTTING ARTERIAL OR COLLECTOR STREET, OR 20 PERCENT OF THE AREA OF THE FACADE TO WHICH IT IS APPLIED IF THE SIGN IS WHOLLY VISIBLE FROM AN ABUTTING ARTERIAL OR COLLECTOR STREET OR FREEWAY.

HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET. A BUILDING-MOUNTED SIGN SHALL NOT EXCEED FIVE FEET ABOVE THE BUILDING WALL. LIGHT BULBS ILLUMINATING SIGNS SHALL NOT SHINE DIRECTLY INTO ADJACENT CONFORMING RESIDENTIAL PROPERTY.

OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS AS REQUIRED IN SECTION 40-A OF THE ZONING CODE.

PARKING LOT LANDSCAPING SHOULD CONSIST PRIMARILY OF DECIDUOUS TREES AND GRASS TURF WITH AUTOMATIC IRRIGATION SYSTEMS. AT LEAST TEN PERCENT OF PAVED PARKING AREAS SHALL BE LANDSCAPED.

Landscape Concept
The development of an overall landscape concept will establish a framework that unifies the individual sites within the Sunport Park. To achieve a totally unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies. The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project. These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Street Tree Ordinance and landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Each individual lot owner will be responsible for the installation and maintenance of the landscape on their property and within the adjacent public right-of-way.

ORGANIC GROUND COVERS SUCH AS GRAVEL AND CONCRETE (INCLUDING SIDEWALKS) SHOULD BE USED ONLY WHEN REQUIRED FOR DRAINAGE, PEDESTRIAN, AND OTHER FUNCTIONAL PURPOSES.

INTERNAL STREET AND PARKING LOT LIGHTING SHALL MEET THE REQUIREMENTS OF SECTION 40-T OF THE ZONING CODE. IN ADDITION, FIXTURES SHOULD BE STANDARDIZED AND OF A SIZE SUITED TO THEIR FUNCTION.

SERVICE AREAS SUCH AS LOADING DOCKS, JANITORIAL AND MACHINE ROOMS, AND OTHER SERVICE ENTRANCES, AND REFUSE COLLECTION FACILITIES SHOULD NOT BE LOCATED IN OR ADJACENT TO THE MOST PROXIMATE BOUNDARIES OF RESIDENTIAL AREAS.

INGRESS/EGRESS WITHIN THE PARK SHALL BE PROMOTED. IN PARTICULAR, PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS IN BLOCKS 2, 4 AND 6 SHALL BE ENCOURAGED. LANDSCAPED WALKWAYS FOR PEDESTRIANS ARE PARTICULARLY ENCOURAGED AS THE INDIVIDUAL BLOCKS AND LOTS ARE DEVELOPED. IT IS HIGHLY DESIRABLE THAT PEDESTRIAN ACCESS BE FACILITATED TO THE GREATEST EXTENT POSSIBLE AND SHOULD BE ENCOURAGED.

VEHICULAR MOVEMENT THROUGH THESE LOTS IS ALSO ENCOURAGED WITHIN SPECIFIC TRAVEL WAYS WITH AN EMPHASIS ON SPEED CONTROL.

LARGE BUILDING SITING SHALL BE ACCOMPLISHED WITH PARTICULAR ATTENTION PAID TO MASSING RELATIONSHIP BALANCED WITH BOTH NEARBY LARGE AND SMALL BUILDINGS. IT IS PROPOSED THAT THE ADAPTED BUILDING SIZE, ORIENTATION, LANDSCAPING WILL BE COMPATIBLE WITH OTHER BUILDINGS IN THE AREA. SOLAR ACCESS, COLOR, STRUCTURE, SHAPE, AND LANDSCAPING SHOULD BE COMPATIBLE WITH THE GENERAL PARK MOTIF.

TOPOGRAPHICAL CONSIDERATION SHALL BE INCLUDED WHEN PLANNING STRUCTURES WITH A PARTICULAR EMPHASIS ON LARGER STRUCTURES TO PREVENT AN UNDESIRABLE "STAND OUT" APPEARANCE.

TOPOGRAPHICAL FEATURES SHALL BE CONSIDERED AN ASSET WHEN SITING AND LANDSCAPING STRUCTURES WITHIN THE SUNPORT PARK SITE.

DRAINAGE CONCEPT
THE DRAINAGE CONCEPT USES COMBINATION OF POSSIBLE DISPOSAL STRATEGIES INCLUDING A 36" COLLECTOR WHICH DISCHARGES INTO AN INLET OF THE SOUTH DIVERSION CHANNEL AND TWO 24" COLLECTORS WHICH DISCHARGE INTO EXISTING DRAINAGE PIPES UNDER I-25. ADDITIONALLY 42" AND 48" COLLECTORS DISCHARGE INTO AN EXISTING 6' X 8' BOX CULVERT UNDER I-25. ALL RUN-OFF IS BASED ON A SITE ANALYSIS USING A 6 HOUR PRECIPITATION AND 100 YEAR FREQUENCY OCCURRENCE (STORM).

RAILROAD VACATION
THE EXISTING ABANDONED AT & SF RAIL BED IS PRESENTLY SCHEDULED FOR A VACATION HEARING ON JANUARY 7, 1986 (V-85-98-1). THE PROPOSED VACATION AND RIGHT-OF-WAY EXCHANGE INCLUDES PLANNED CONDITIONS. THE REVERSED RAILROAD CORRIDOR ALONG WOODHARD ROAD, AN ADJACENT VACATED CORRIDOR HAS BEEN REFERRED WITH CITY, STATE AND OWNERS FOR THE MORE DESIRABLE EAST-WEST ALIGNMENT.

ACCESS
A 200 FOOT RIGHT-OF-WAY WILL BE DEDICATED FOR WOODHARD BOULEVARD. THIS RIGHT-OF-WAY WILL BE DEDICATED AS FOLLOWS:

- 156 FEET OF RIGHT-OF-WAY IS DEDICATED AS A CORRIDOR FOR AN ARTERIAL STREET SECTION BETWEEN THE EAST RIGHT-OF-WAY BOUNDARY OF INTERSECTION 25 AND THE RIGHT-OF-WAY BOUNDARY LINE OF UNIVERSITY BOULEVARD SE.
- 44 FEET OF RIGHT-OF-WAY TO BE DEDICATED IN ADDITION TO THE 156 FOOT RIGHT-OF-WAY CORRIDOR SPECIFIED IN PARAGRAPH A ABOVE WHEN REQUESTED BY THE CITY OF ALBUQUERQUE.
- NO DIRECT VEHICULAR ACCESS IS PERMITTED FOR A CONNECTION OF STREET "C" OR LOT 1 OF BLOCK 1 WITH MULBERRY STREET SE.
- NO DIRECT VEHICULAR ACCESS IS PERMITTED FOR ANY LOTS WITH COMMON PROPERTY LINES ABUTTING THE WEST UNIVERSITY BOULEVARD SE RIGHT-OF-WAY.
- NO DIRECT VEHICULAR ACCESS IS PERMITTED FOR ANY LOTS ABUTTING WOODHARD BOULEVARD SE.
- ALL FINAL STREET RADI SHALL CONFORM WITH THE DESIGN PROCEDURES MANUAL REQUIREMENTS.

INDEX

DESCRIPTION	SHEET No.
TITLE SHEET	1
SITE DEVELOPMENT PLAN	2
PROTOTYPICAL SITE PLAN (LOT 1, BLOCK 1)	3
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PROTOTYPICAL BUILDING ELEVATIONS (LOT 1, BLOCK 1)	6
CONCEPTUAL DRAINAGE PLAN FILE NO. Z-85-98-1	MAP No. 2

I CERTIFY THAT THIS SITE DEVELOPMENT PLAN IS IN ACCORDANCE WITH THE ENVIRONMENTAL PLANNING COMMISSION'S DECISION OF MARCH 6, 1986 AND THAT CONDITIONS 1 AND 2 HAVE BEEN SATISFIED.

James T. Adams, P.E.
ANDREWS, ASBURY & ROBERT, INC.

APPROVALS

NA	DATE
CHIEF CITY SURVEYOR	
NA	DATE
PROPERTY MANAGEMENT	
<i>Robert A. Farnough</i>	4-2-86
TRAFFIC ENGINEER	DATE
<i>Jack Shivers</i>	4-1-86
PARKS AND RECREATION DIRECTOR	DATE
<i>Ronald A. Fought</i>	4-1-86
WATER RESOURCES DEPARTMENT	DATE
NA	DATE
ALBUQUERQUE METROPOLITAN AREA FLOOD CONTROL AUTHORITY	
<i>NA</i>	4-2-86
CITY ENGINEER, ENGINEERING DIVISION	DATE
<i>NA</i>	4-2-86
CITY ENGINEER, ENGINEERING DIVISION	DATE
<i>Richard Tomlin</i>	4-1-86
PLANNING DIRECTOR, CITY/COUNTY PLANNING DIVISION	DATE

APPROVALS

THIS PLAN OF LOTS 3-A-2-A & 3-A-2-B IN BLOCK 1 AMENDS THAT PORTION OF THE SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION BOARD ON APRIL 1, 1986, Z-85-98-1, AND SIGNED OFF BY THE DEVELOPMENT REVIEW BOARD ON APRIL 1, 1986. A SITE DEVELOPMENT PLAN FOR EACH PARCEL SHALL BE SUBMITTED AND APPROVED AT A PUBLIC HEARING BY THE CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD PRIOR TO ISSUANCE OF A BUILDING PERMIT.

DRB-97-257

<i>Jack Adams</i>	7/8/99
PLANNING DEPARTMENT	DATE
<i>Bill Adams</i>	7-07-99
TRANSPORTATION DEVELOPMENT	DATE
<i>Richard Tomlin</i>	7-15-99
PARKS AND GENERAL SERVICES	DATE
<i>NA</i>	7-22-99
CITY ENGINEER / AMAFCA	DATE
<i>Robert Adams</i>	7-7-99
UTILITY DEVELOPMENT	DATE

ANDREWS, ASBURY & ROBERT, INC.
CONSULTING ENGINEERS
ALBUQUERQUE
NEW MEXICO

AMENDED ALLOWABLE LAND USES FOR BLOCK 1, LOTS 1-A AND BLOCKS, LOTS 1 AND 2.
12/28/11

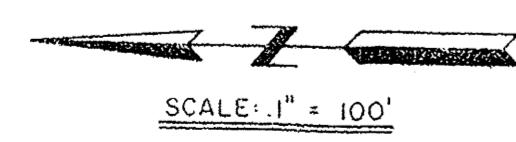
REVISED: March 17, 1988
ENGINEER'S FILE No. 85-415

AMENDED BLOCK 1, LOTS 1 AND 2
NEW LOTS 1-A, 2-A, 3-A-1,
3-A-2-A AND 3-A-2-B.
7/6/99

AMENDED SUNPORT PARK SITE DEVELOPMENT PLAN

LAND USE ALLOCATIONS							
BLOCK	LOT	ZONING	AREA (ACRES)	FAR	SQ. FT.	STORIES	PARKING
1	1	I-P	6.67	0.70	100,000	2	35
	2	I-P	5.25	0.24	55,000	2	195
2	1	I-P	6.67	0.66	101,000	6	566
	2	I-P	6.05	0.28	73,000	2	259
3	1	I-P	6.71	0.70	205,000	8	670
	2	I-P	5.17	0.43	98,000	4	305
4	1	I-P	5.64	0.44	107,000	4	341
	2	I-P	5.00	0.27	59,000	2	205
5	1	I-P	5.00	0.31	67,000	1	100
	2	I-P	5.00	0.31	67,000	1	57
6	1	I-P	5.00	0.31	67,000	1	29
	2	I-P	5.00	0.31	67,000	1	26
7	1	I-P	5.00	0.23	45,000	2	16
	2	I-P	5.00	0.37	81,000	2	287
8	1	I-P	8.60	0.22	81,000	2	287
	2	I-P	5.00	0.20	44,000	2	156
9	1	I-P	5.00	0.20	44,000	2	156
	2	I-P	8.70	0.23	88,000	1	38
TOTAL			104.50				4,170

REPLAT OF TRACT A
MUNICIPAL ADDITION No. 9
TR. A-4



AMENDED BLOCK 1, LOTS 1 AND 2
NEW LOTS 1-A, 2-A, 3-A-1,
3-A-2-A AND 3-A-2-B.
7/6/99