

REVISIONS

△	7.27.2015 EPC COMMENTS
△	8.3.2015 EPC COMMENTS
△	
△	

DRAWN BY	LI
REVIEWED BY	MB
DATE	10/9/2015
PROJECT NO.	15-0067
DRAWING NAME	SITE PLAN

PROJECT NUMBER: 1009090

APPLICATION NUMBER: EPC Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHALL	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT DATA

ADDRESS: 2901 TRANSPORT STREET SE, ALBUQUERQUE, NM 87106

LEGAL DESCRIPTION: TRACT 2, CAPSTONE SUBDIVISION

ZONE ATLAS PAGE: M-15-Z

SITE AREA: 8.3555 ACRES

CURRENT ZONING: SU-1, IF PERMISSIVE USES AND STUDENT HOUSING

PROPOSED ZONING: NO CHANGE

BUILDING FOOTPRINT: 90,000 SF (PHASE 1: 79,500 SF; PHASE 2: 10,500 SF)

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

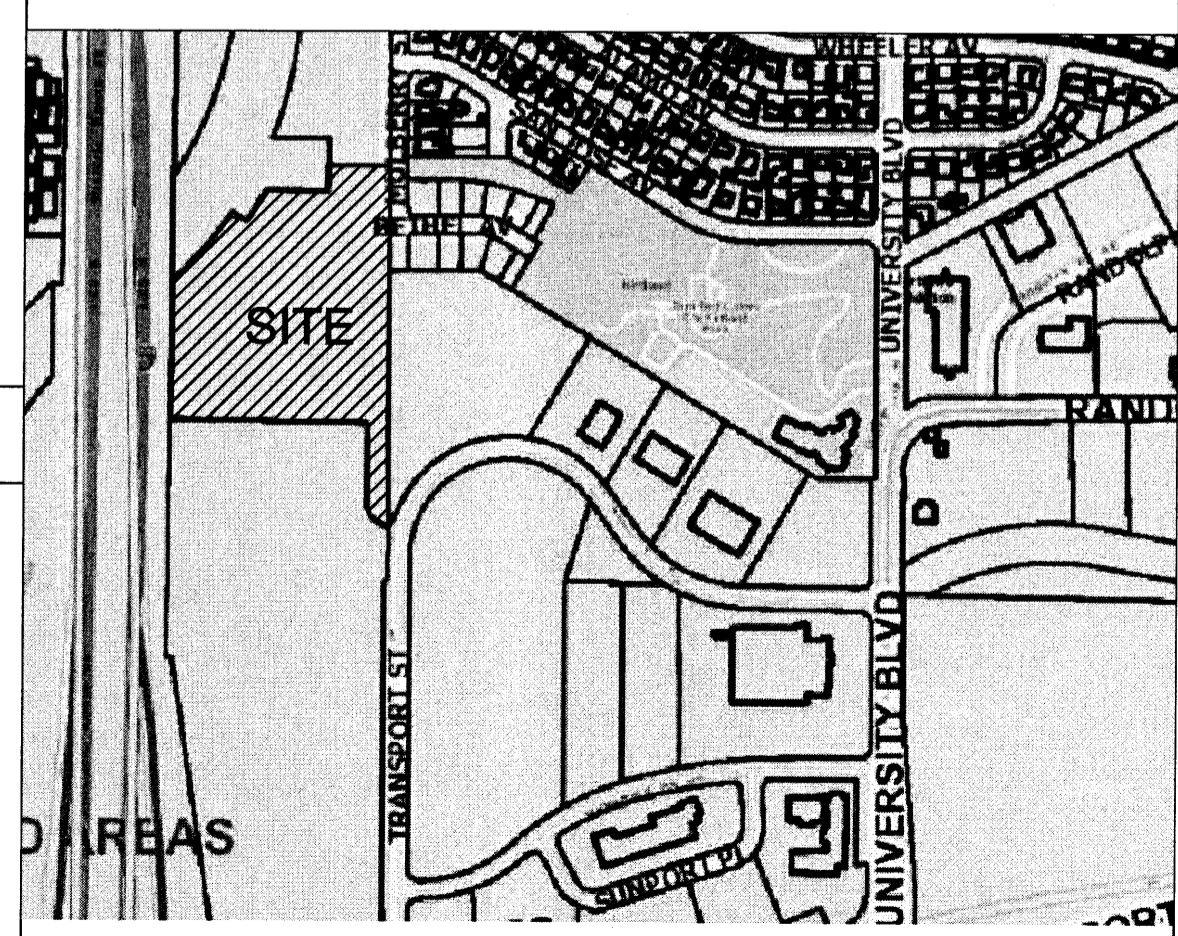
OCCUPANCY GROUP: B

CONSTRUCTION TYPE: IIB, FULLY SPRINKLERED

PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:
MEDICAL OR DENTAL OFFICE, CLINIC: FIVE SPACES FOR EACH DOCTOR= 80
DOCTORS/PROVIDERS = 400 SPACES REQUIRED

TOTAL PROPOSED PARKING:	
STANDARD CAR SPACES	445
ACCESSIBLE SPACES	15 (12 REQUIRED)
TOTAL CAR SPACES	460
MOTORCYCLE SPACES	6 (6 REQUIRED)
BICYCLE PARKING	28 (24 REQUIRED)

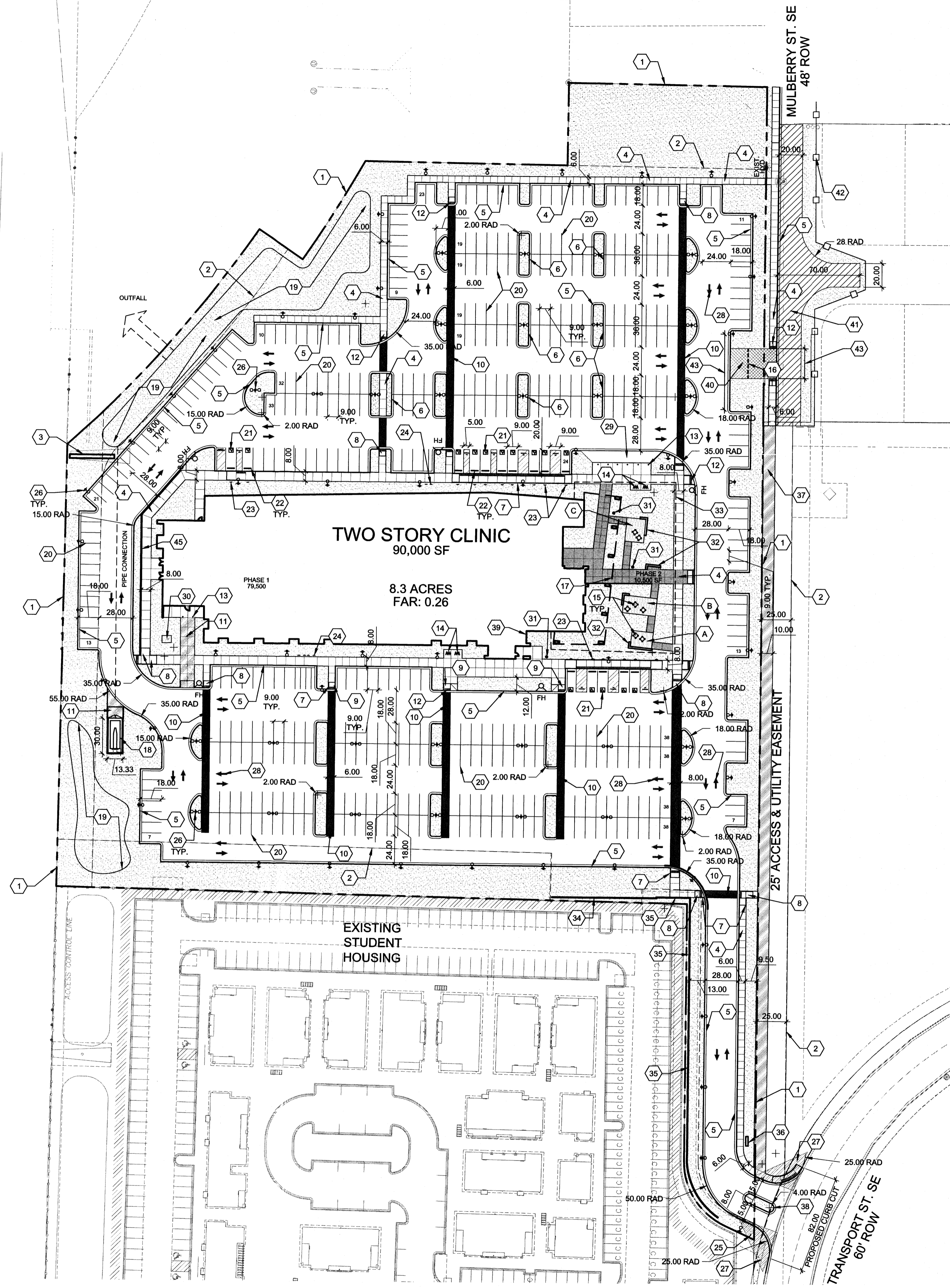


- GENERAL SHEET NOTES**
- THIS SUBMITTAL ILLUSTRATES THE DESIGN AND DEVELOPMENT INTENT FOR A NEW CLINIC AND ASSOCIATED SITE, LANDSCAPE, GRADING AND UTILITY IMPROVEMENTS.
 - SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED FIXTURES. SEE PLAN FOR POLE FIXTURES.
 - POLE LIGHTS AND SITE FURNISHINGS WILL HAVE COORDINATED AND COMPLEMENTARY LIGHT COLORED, METAL OR PAINTED METAL FINISHES.
 - TWO PHASES ARE INDICATED IN THE SITE PLAN. THE MAJORITY OF BUILDING AND SITE DEVELOPMENT WILL OCCUR IN PHASE 1. PHASE 2 INCLUDES DEVELOPMENT OF ADDITIONAL BUILDING SQUARE FOOTAGE IN THE CONFIGURATION INDICATED ON THE PLANS. SEE SITE DETAILS AND LANDSCAPE DETAILS FOR SITE DESIGN INFORMATION FOR PHASE 1 AROUND THE BUILDING'S MAIN ENTRANCE.
 - MECHANICAL UNITS WILL BE PLACED ON THE ROOF. MECHANICAL UNITS WILL BE SCREENED FROM VIEW WITH A COMBINATION OF STRATEGIC PLACEMENT AND ARCHITECTURAL SCREENING.
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
 - STANDARD PARKING SPACES ARE 9'-0" WIDE, 18'-0" DEEP. TYPICAL. REFER TO DETAIL ON SDP1.2 FOR ACCESSIBLE PARKING STALL DIMENSIONS.

- SHEET KEYED NOTES**
- PROPERTY LINE
 - EASEMENT LINE
 - EXISTING BILLBOARD SIGN TO REMAIN
 - CONCRETE SIDEWALK
 - CONCRETE CURB AND GUTTER
 - CONCRETE FLUSH CURB
 - CONCRETE HEADER CURB
 - CONCRETE ACCESSIBLE RAMP, TYPE A PER COA DPM STANDARDS
 - CONCRETE ACCESSIBLE RAMP, TYPE B PER COA DPM STANDARDS
 - HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR TBD
 - REINFORCED CONCRETE PAVING IN SERVICE YARD, COLOR NONE
 - DETECTABLE WARNING SURFACE
 - BOLLARD, COLOR TBD
 - BIKE RACKS
 - TABLE AND CHAIRS
 - EMERGENCY ONLY ACCESS GATE WITH KNOX BOX
 - OVERHEAD SEE ARCHITECTURAL SHEETS
 - COMPACTOR, 34 CU. YD. CAPACITY, SEE A1/SDP-1.2 FOR ENCLOSURE GATE ELEVATION
 - POND
 - PARKING STRIPING
 - ADA PAVEMENT MARKING, SEE A5/SDP-1.2
 - PARKING BUMPER
 - ACCESSIBLE PARKING SIGN, SEE B1/SDP-1.2
 - MOTORCYCLE PARKING SIGN, SEE B1/SDP-1.2
 - STOP SIGN, SEE B1/SDP-1.2
 - SITE LIGHTING, SEE LEGEND
 - CLEAR SIGHT TRIANGLE - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - PAVEMENT ARROWS
 - DROP OFF AREA
 - TRANSFORMER
 - LITTER RECEPTACLE
 - SEATWALL
 - PHASE 2 BOUNDARY
 - 5' TALL CMU WITH STUCCO SCREEN WALL
 - 6' TALL CMU WITH STUCCO SCREEN WALL
 - DOUBLE SIDED MONUMENT SIGN A, SEE A3/SDP-1.2
 - 10' WIDE ASPHALT TRAIL
 - LOW PROFILE MOUNTABLE CURB AT MEDIAN
 - FIRE DEPARTMENT CONNECTION (FDC)
 - EMERGENCY ACCESS DRIVE (GRASS-CRETE PAVERS) WITH MOUNTABLE CURB
 - NEW ROADWAY IN PUBLIC RIGHT OF WAY
 - GUARD RAIL OR JERSEY BARRIER
 - MOUNTABLE CURB, MARKED "FIRE LANE - NO PARKING"
 - WATER LINE EASEMENT
 - 5' TALL CMU RETAINING WALL WITH STUCCO

- LEGEND**
- PROPERTY LINE
 - EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
 - 16'-0" MAX HT. POLE LIGHT PER SECTION 14-16-3-9 OF ZONING CODE, DOUBLE, FULL CUT-OFF
 - 16'-0" MAX HT. POLE LIGHT PER SECTION 14-16-3-9 OF ZONING CODE, SINGLE, FULL CUT-OFF
 - FIRE HYDRANT
 - STABILIZED CRUSHER FINES
 - REINFORCED CONCRETE PAVING
 - DECORATIVE CONCRETE PAVING, COLOR TBD
 - HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR TBD
 - LANDSCAPE AREA, SEE SDP-2.1
 - 10' WIDE ASPHALT TRAIL

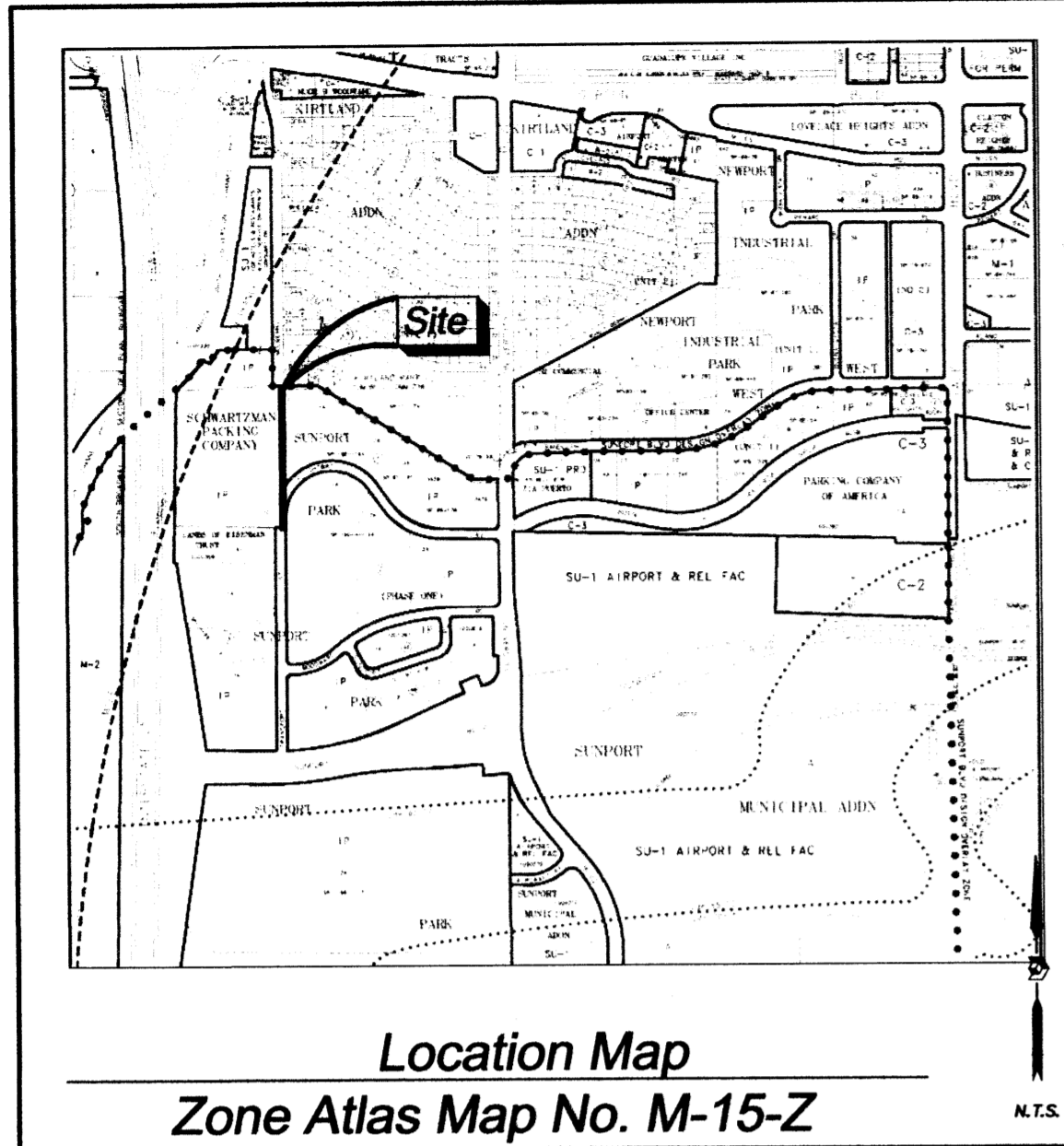
- SITE PATIO / AMENITIES**
- A PATIO A - 248 SF
 - B PATIO B - 420 SF
 - C PATIO C - 320 SF



NORTH
A1 SITE PLAN
1" = 50'-0"
0 50' 100'

NORTH
VICINITY MAP
ZONING MAP M-15-Z
0 750' 1,500'

Plat of
Tracts 1 and 2
Mulberry-Transport
 Albuquerque, Bernalillo County, New Mexico
 November 2015



Subdivision Data:

ZONING: SU-1
 GROSS SUBDIVISION ACREAGE: 0.6004 ACRES±
 ZONE ATLAS INDEX NO: M-15-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0.198
 DATE OF SURVEY: JUNE 1-15, 2015

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CREATE TWO NEW TRACTS FROM THE REMAINING PORTION OF TRACT "01" LANDS OF SCHWARTZMAN AND DEDICATE AS PUBLIC ROAD RIGHT OF WAY FOR TRANSPORT STREET, S.E. AND FOR PUBLIC TRAIL RIGHT OF WAY.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 03 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.
- ADJOINING PROPERTY OWNER DISCLAIMERS OF INTEREST IN SUBJECT PROPERTY
 - TRACT 1, CAPSTONE SUBDIVISION, CCC-NEW MEXICO, LLC (10/28/2015, DOC. NO. 2015094550)
 - LOT 1--A, BLOCK 1, SUNPORT PARK, SIGMA JOINT VENTURE

Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - QUEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QUEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QUEST CORPORATION D/B/A CENTURYLINK QC AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF TRACT "01" OF PLAT OF LANDS OF SCHWARTZMAN PACKING COMPANY, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON APRIL 17, 1981, IN PLAT BOOK D2, PAGE 133, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES, (US SURVEY FOOT) AS FOLLOWS:

TRACT 1
 BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF MULBERRY STREET, SE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "L_25_30" BEARS N 22°33'22" W, A DISTANCE OF 2,451.47 FEET;

THENCE FROM SAID POINT OF BEGINNING S 89°58'32" E, A DISTANCE OF 25.11 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP;

THENCE S 00°10'21" W, A DISTANCE OF 615.19 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°49'29" W, A DISTANCE OF 25.14 FEET THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 00°10'31" W, A DISTANCE OF 615.12 FEET TO THE POINT OF BEGINNING, CONTAINING 0.3548 ACRES (15454 SQUARE FEET.) MORE OR LESS.

TRACT 2
 A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF TRACT "01" OF PLAT OF LANDS OF SCHWARTZMAN PACKING COMPANY, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON APRIL 17, 1981, IN PLAT BOOK D2, PAGE 133, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES, (US SURVEY FOOT) AS FOLLOWS:

THENCE FROM SAID POINT OF BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT FROM WHENCE A TIE TO A.G.R.S. MONUMENT "L_25_30" BEARS N 18°30'17" W, A DISTANCE OF 3,036.12 FEET;

THENCE S 00°10'31" W, A DISTANCE OF 428.57 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

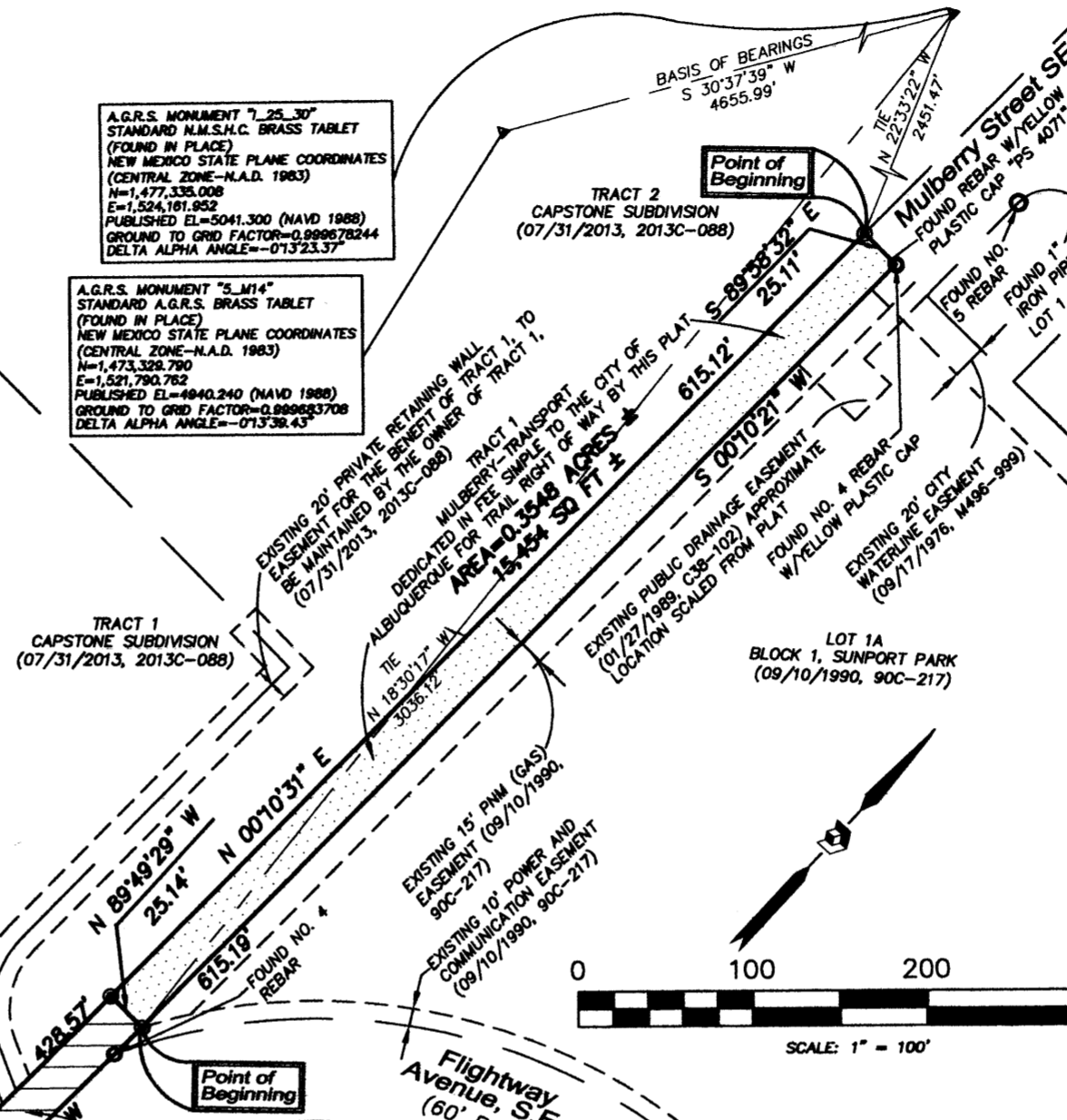
THENCE N 89°49'56" W, A DISTANCE OF 25.00 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°08'25" E, A DISTANCE OF 428.57 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°49'39" E, A DISTANCE OF 25.14 FEET TO THE POINT OF BEGINNING, CONTAINING 0.2466 ACRES (10,743 SQUARE FEET) MORE OR LESS.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

RECORDING STAMP

Free Consent and Dedication

THE PLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. OWNER DOES HEREBY CERTIFY THAT THIS DEDICATION IS ITS FREE ACT AND DEED. OWNER HEREBY QUITCLAIMS AND DEDICATES TO CITY OF ALBUQUERQUE, A MUNICIPAL CORPORATION, WHOSE ADDRESS IS P.O. BOX 1293, ALBUQUERQUE, NEW MEXICO 87102, THE REAL PROPERTY MORE PARTICULARLY DESCRIBED ABOVE ON THIS PLAT.

SCHWARTZMAN, INC.
 SUCCESSOR IN INTEREST TO SCHWARTZMAN PACKING COMPANY
 A NEW MEXICO CORPORATION

BY: _____
 NAME: ALFRED H. VOLDEN
 ITS: PRESIDENT
 DATED: _____ 2015

STATE OF NEW MEXICO)
) SS.
 COUNTY OF BERNALILLO)

THE FOREGOING INSTRUMENT WAS DULY ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2015, BY ALFRED H. VOLDEN, PRESIDENT OF SCHWARTZMAN, INC., A NEW MEXICO CORPORATION.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC

Project No. _____
 Application No. **15DRB-**
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QUEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
City Approvals	
CITY SURVEYOR	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 10/29/15 DATE



OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199
 505.856.5700 PHONE
 505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER ALFRED VOLDEN, PRESIDENT, SCHWARTZMAN INC.
 SECTION 33, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION MULBERRY-TRANSPORT

Plat of
Tract 1
Mulberry-Transport
Albuquerque, Bernalillo County, New Mexico
October 2015

Project No. _____
Application No. **15DRB-**
Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
City Approvals	
CITY SURVEYOR	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.M.P.S. No. 11993



OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER ??????????????
SECTION 33, TOWNSHIP 10 N., RANGE 3 E,
SUBDIVISION CAPSTONE SUBDIVISION

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING A PORTION OF TRACT "0" OF PLAT OF LANDS OF SCHWARTZMAN PACKING COMPANY, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO ON APRIL 17, 1961, IN PLAT BOOK D2, PAGE 133, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES, (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF MULBERRY STREET, SE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "L_25_30" BEARS N 22°33'22" W, A DISTANCE OF 2,451.47 FEET;

THENCE FROM SAID POINT OF BEGINNING S 89°58'32" E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 25.11 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP;

THENCE S 00°10'21" W, A DISTANCE OF 637.77 FEET TO AN ANGLE POINT MARKED BY A FOUND NO. 4 REBAR;

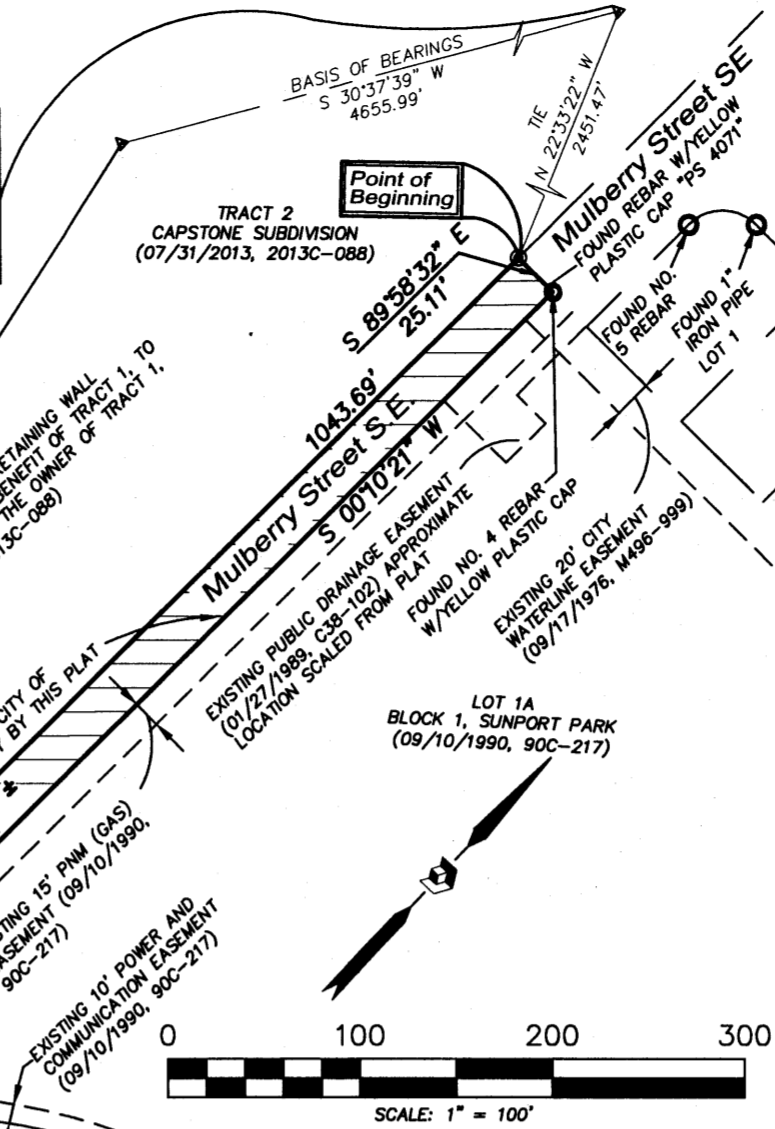
THENCE S 00°10'31" W, A DISTANCE OF 405.98 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 89°49'56" W, A DISTANCE OF 25.00 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 00°10'04" E, A DISTANCE OF 1,043.69 FEET TO THE POINT OF BEGINNING, CONTAINING 0.6004 ACRES (26,155 SQUARE FEET), MORE OR LESS.

A.G.R.S. MONUMENT "L_25_30"
STANDARD N.M.S.H.C. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,477,335,000
E=1,524,161,652
PUBLISHED EL=5041.300 (NAVD 1988)
GROUND TO GRID FACTOR=0.999683708
DELTA ALPHA ANGLE=-0°13'38.43"

A.G.R.S. MONUMENT "L_25_30"
STANDARD N.M.S.H.C. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,477,335,000
E=1,524,161,652
PUBLISHED EL=5041.300 (NAVD 1988)
GROUND TO GRID FACTOR=0.999683708
DELTA ALPHA ANGLE=-0°13'38.43"



Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

RECORDING STAMP

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

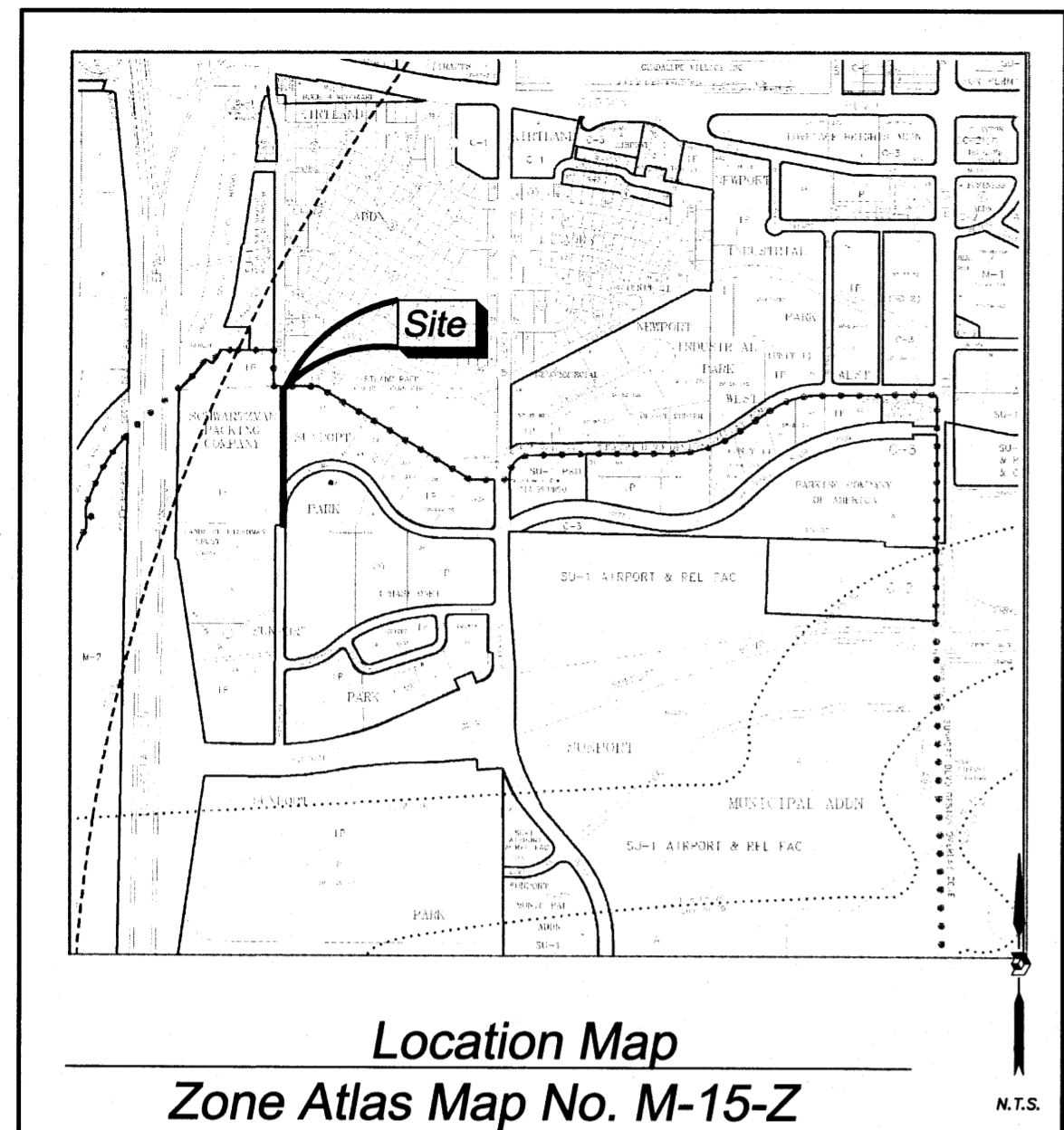
DATE

Acknowledgment

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2015 BY

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC



Subdivision Data:

ZONING: SU-1
GROSS SUBDIVISION ACREAGE: 0.6004 ACRES±
ZONE ATLAS INDEX NO.: M-15-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0.198
DATE OF SURVEY: JUNE 1-15, 2015

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CREATE ONE NEW TRACT FROM THE REMAINING PORTION OF TRACT "0", LANDS OF SCHWARTZMAN AND DEDICATE AS PUBLIC ROAD RIGHT OF WAY FOR MULBERRY STREET, S.E. AND TRANSPORT STREET, S.E.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 03 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

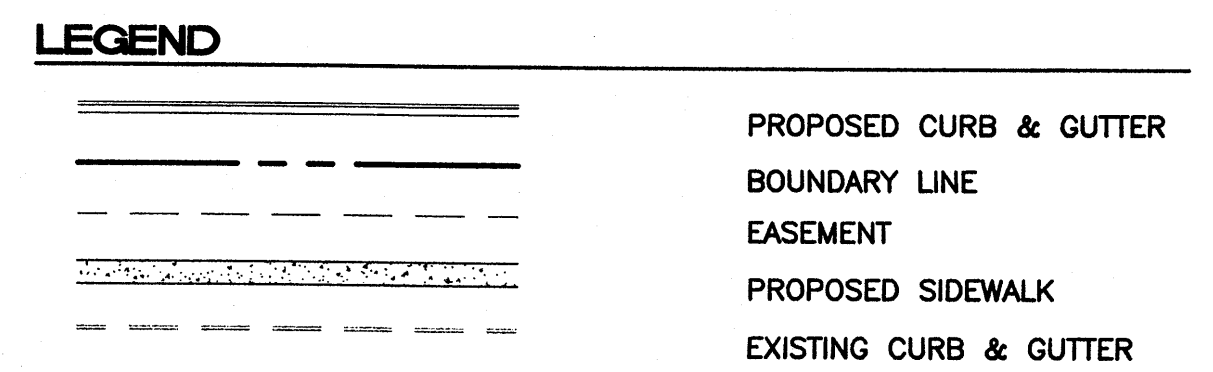
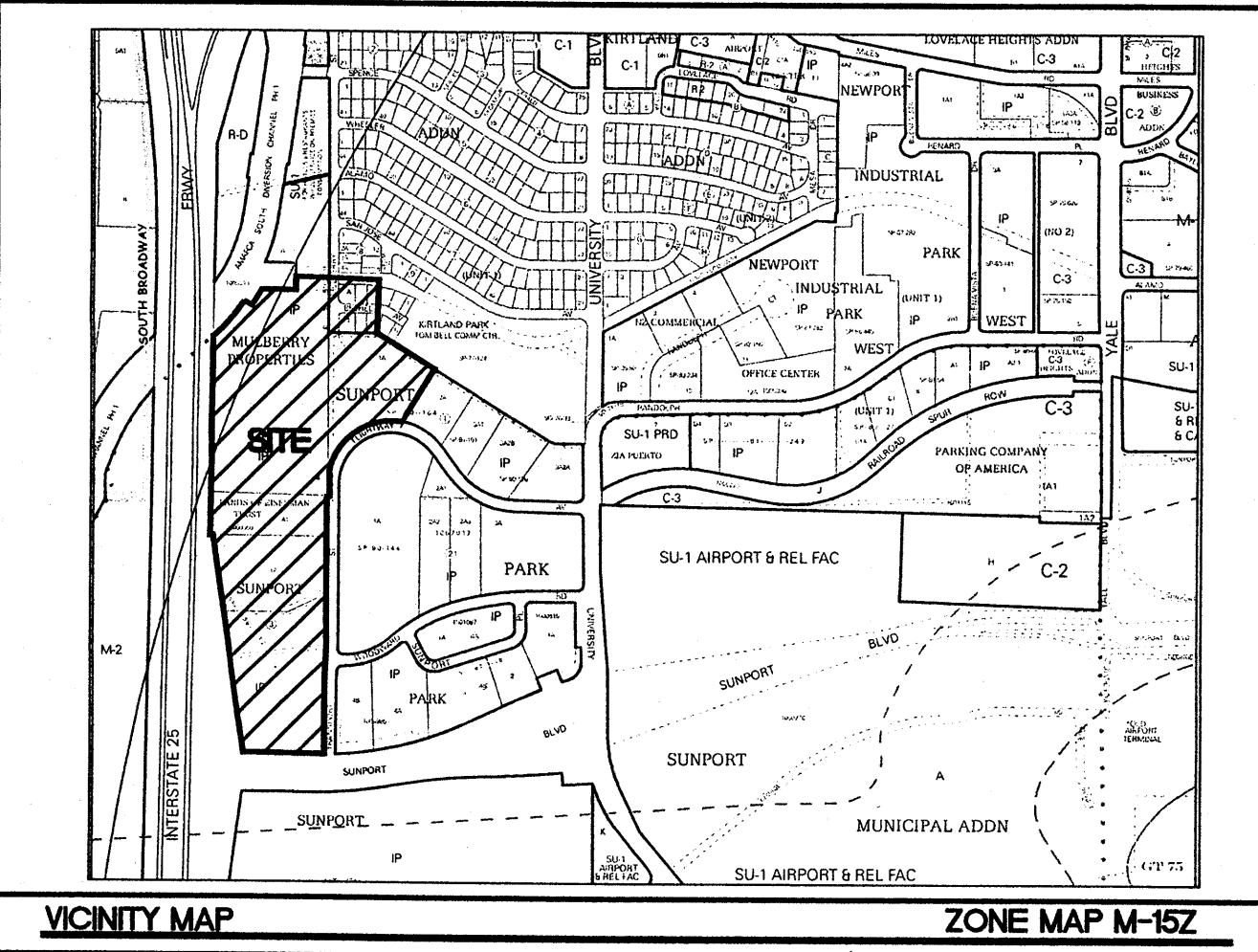
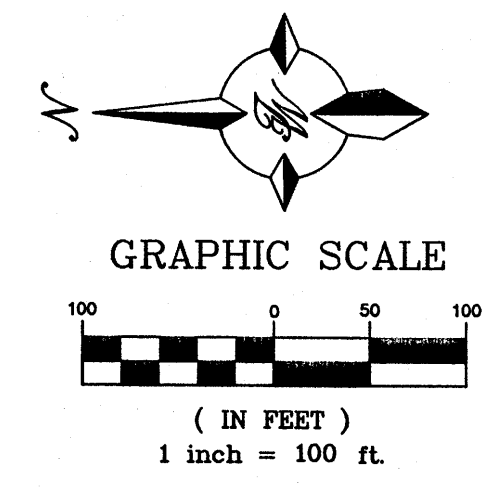
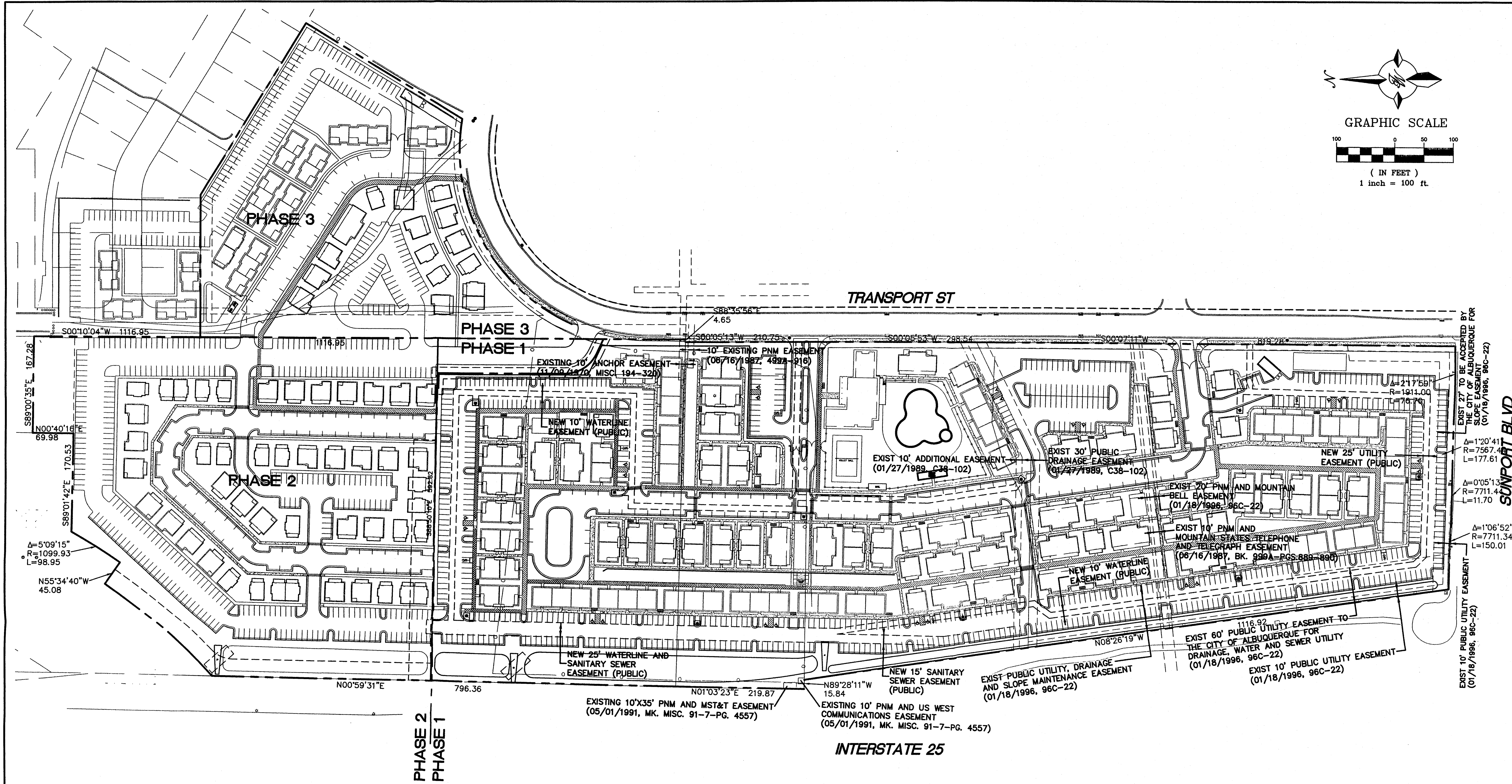
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS; WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.



EXIST 27' TO BE ACQUIRED BY THE CITY OF ALBUQUERQUE FOR ROPE EASEMENT (07/10/1986, 96C-22)
 Δ=120'41" R=7567.4 L=177.61
 Δ=0'05'11" R=7711.4 L=11.70
 Δ=1'06'52" R=7711.34 L=150.01
 EXIST 10' PUBLIC UTILITY EASEMENT (01/18/1996, 96C-22)

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 R.E. [Signature] 6-5-2013
 SIGNATURE & DATE

SITE DATA

LEGAL DESCRIPTION: LOTS 1A AND 2A, SUNPORT PARK; PARCEL 1A, SUNPORT PARK; TRACT B, MULBERRY PROPERTIES; TRACT A1, LANDS OF EISEMAN TRUST; AND LOTS 1-6 & A-F, UNIT 3, KIRTLAND ADDITION.

ZONING (EXISTING) IP AND R-1
 ZONING (PROPOSED) SU-1 FOR IP USES INCLUDING STUDENT HOUSING
 SITE AREA 35.9 ACRES

PROPOSED USE
 STUDENT HOUSING RESIDENTIAL COTTAGES AND CLUBHOUSE
 166 SINGLE COTTAGE RESIDENCE BUILDINGS (97 DWELLING UNITS)
 47 DUPLEX COTTAGE RESIDENCE BUILDINGS (158 DWELLING UNITS)
 TOTAL 260 DWELLING UNITS

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS
 VEHICULAR TRAFFIC WILL ACCESS FROM FLIGHTWAY AVENUE AND TRANSPORT STREET THROUGH TWO GATED ACCESS POINTS OVER PRIVATE DRIVEWAYS. THE PUBLIC SIDEWALK ON FLIGHTWAY AVE WILL BE EXTENDED ALONG THE PROJECT FRONTAGE TO PROVIDE PEDESTRIAN ACCESS ADJACENT TO THE THREE VEHICULAR POINTS OF CONNECTION.

INTERNAL CIRCULATION REQUIREMENTS
 PRIVATE DRIVEWAY AND PEDESTRIAN WALKS AND TRAILS WILL PROVIDE INTERNAL CIRCULATION. EXISTING LOTS WILL BE CONSOLIDATED INTO TWO PARCELS CORRESPONDING WITH THE TWO PHASES OF CONSTRUCTION, BY SEPARATE PLAT.

MAXIMUM BUILDING HEIGHT
 4 STORIES ON LOTS 1A AND 2A OF SUNPORT PARK. OTHER AREAS: UNLESS MODIFIED BY EPC 26 FEET AT ANY LEGAL LOCATION, THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGE WAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

PROPOSED MAX BUILDING HEIGHT 30' TO RIDGE-LINE (COTTAGES), 45' TO RIDGELINE (CLUBHOUSE)

SITE DATA

MINIMUM BUILDING SETBACK
 ON LOTS 1A AND 2A OF SUNPORT PARK
 FRONT SETBACK OF NOT LESS THAN 20' FROM THE R.O.W LINE
 SIDE SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE
 REAR SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE

MAXIMUM TOTAL DWELLING UNITS
 NO MAXIMUM PER IP ZONE (EXISTING), 260 DWELLING UNITS (PROPOSED)

MAXIMUM F.A.R. (NON-RESIDENTIAL)
 0.43 F.A.R. ON LOT 1A AND 0.44 ON Lot 2A OF SUNPORT PARK

PHASING 2 PHASES PROPOSED.

STRUCTURE LOCATIONS
 SITE IS UNDEVELOPED AND VACANT WITH NO EXISTING STRUCTURES. PROPOSED STRUCTURES PER PLAN.

STRUCTURE ELEVATIONS AND DIMENSIONS
 BUILDING AREA
 CLUBHOUSE: 11,800 SF
 3-BEDROOM COTTAGE (1,346 SF EACH X 40): 53,840 SF
 3-BEDROOM DUPLEX (1,346 SF EACH X 40): 53,840 SF
 4-BEDROOM COTTAGE (1,543 SF EACH X 24): 37,032 SF
 5-BEDROOM DUPLEX (1,834 SF EACH X 40): 73,360 SF
 5-BEDROOM DUPLEX (1,879 SF EACH X 66): 124,014 SF
 6-BEDROOM TOWNHOUSE (2,534 SF EACH X 50): 126,700 SF
 TOTAL 480,586 SF

PARKING REQUIREMENTS

PARKING REQUIRED

CLUBHOUSE 44 (ONE SPACE PER 200 SF)
 COTTAGES 389 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-16-3-1 (A)(10))

TOTAL REQUIRED 448 SPACES
 TOTAL PROVIDED 762 SPACES

HC PARKING REQUIRED 16 SPACES (FOR 501 TO 1000, 2% OF TOTAL)
 PARKING PROVIDED 22 SPACES

TOTAL PARKING PROVIDED 784 SPACES

MC PARKING REQUIRED 10 SPACES
 MC PARKING PROVIDED 12 SPACES

BICYCLE PARKING REQUIRED 195 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
 BICYCLE PARKING PROVIDED 195 SPACES

LOADING FACILITIES
 NONE REQUIRED OR PROPOSED.

NON-AUTO TRANSPORTATION
 SHUTTLE SERVICE TO UNM IS PROPOSED. PUBLIC TRANSPORTATION IS AVAILABLE NEAR THE SITE BY BUS ROUTE 1618, 222, AND 250. BICYCLE AND PEDESTRIAN ACCESS IS AVAILABLE ALONG UNIVERSITY AVE TO UNM SPORTS FACILITIES AND MAIN CAMPUS.

FIRE MARSHAL APPROVAL

FIRE MARSHAL _____ DATE _____

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

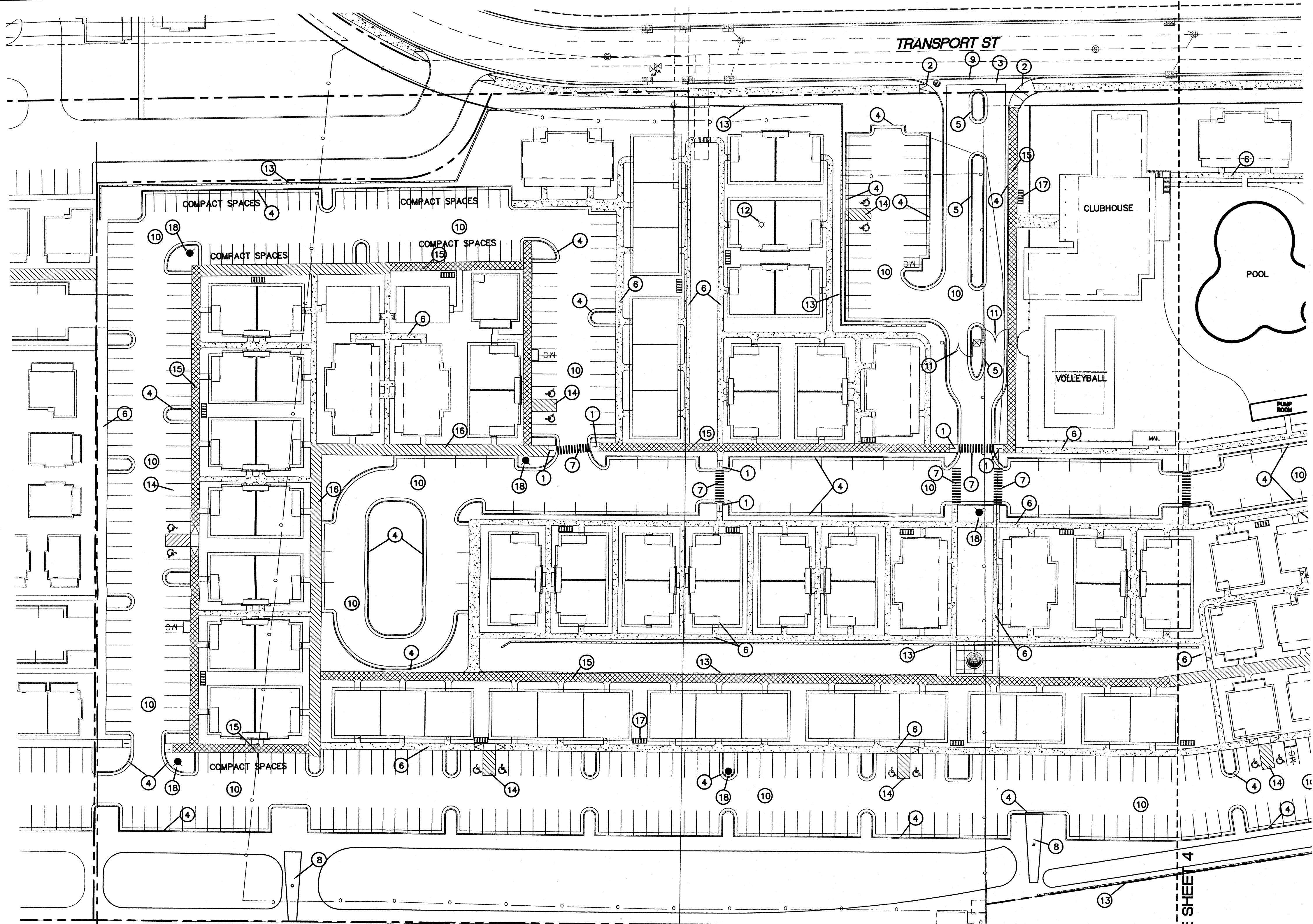
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division _____ Date _____
 Water Utility Development _____ Date _____
 Parks & Recreation Department _____ Date _____
 City Engineer _____ Date _____
 * Environmental Health Department (conditional) _____ Date _____
 Solid Waste/Management _____ Date 06-10-13
 DRB Chairperson, Planning Department _____ Date _____

* Environmental Health, if necessary

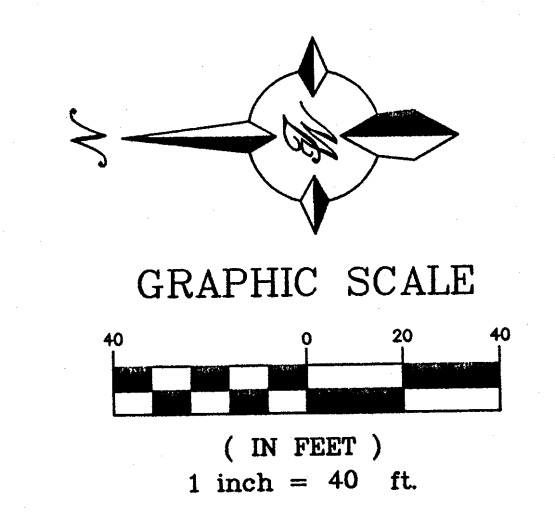
ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	PHASE 1-SITE PLAN FOR BUILDING PERMIT	DATE 5-31-13
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011064-SP
		SHEET # C2
RONALD R. BOHANNAN P.E. #7868		JOB # 2011064



LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	6' MULTIUSE TRAIL
	8' MULTIUSE TRAIL

- KEYED NOTES**
- ① ACCESSIBLE PARKING PER ADA STANDARDS
 - ② 8" STD CURB AND GUTTER PER COA STD DWG 2415A
 - ③ 6" VALLEY GUTTER PER COA STD DWG 2420
 - ④ 6" STD CURB AND GUTTER PER COA STD DWG 2415A
 - ⑤ MOUNTABLE MEDIAN CURB PER COA STD DWG 2415B
 - ⑥ CONCRETE SIDEWALK SEE PLAN FOR SIZE, PER ARCHITECTS PLAN
 - ⑦ PEDESTRIAN CROSSWALK, 6' MIN
 - ⑧ EXISTING BILLBOARD TO REMAIN
 - ⑨ REMOVE AND DISPOSE 104 LF EXIST CURB
 - ⑩ NEW ASPHALT PAVING
 - ⑪ GATE, SEE ARCHITECTS PLAN FOR DETAILS
 - ⑫ EXIST LIGHT POLE TO BE REMOVED
 - ⑬ RETAINING WALL, SEE GRADING PLAN FOR HEIGHTS
 - ⑭ ACCESSIBLE PARKING PER ADA SPECIFICATIONS
 - ⑮ 6' MULTIUSE TRAIL
 - ⑯ 8' MULTIUSE TRAIL
 - ⑰ BICYCLE RACK (TYP)
 - ⑱ FIRE HYDRANT

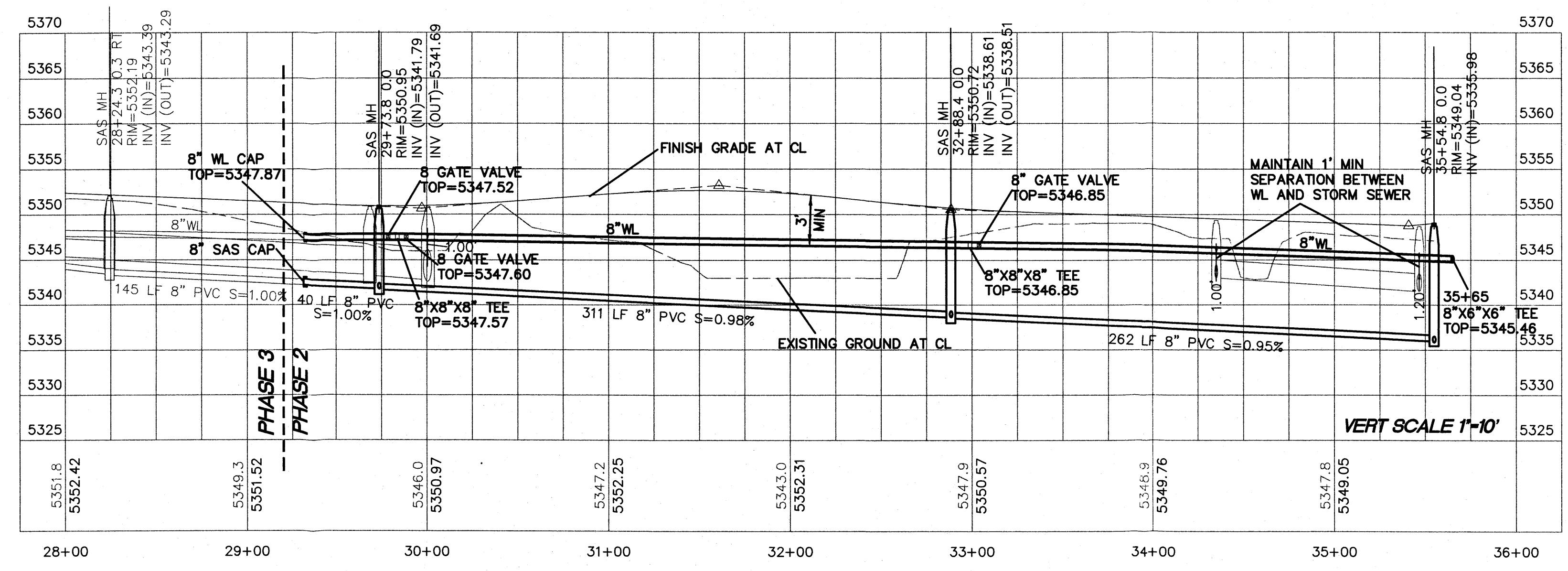
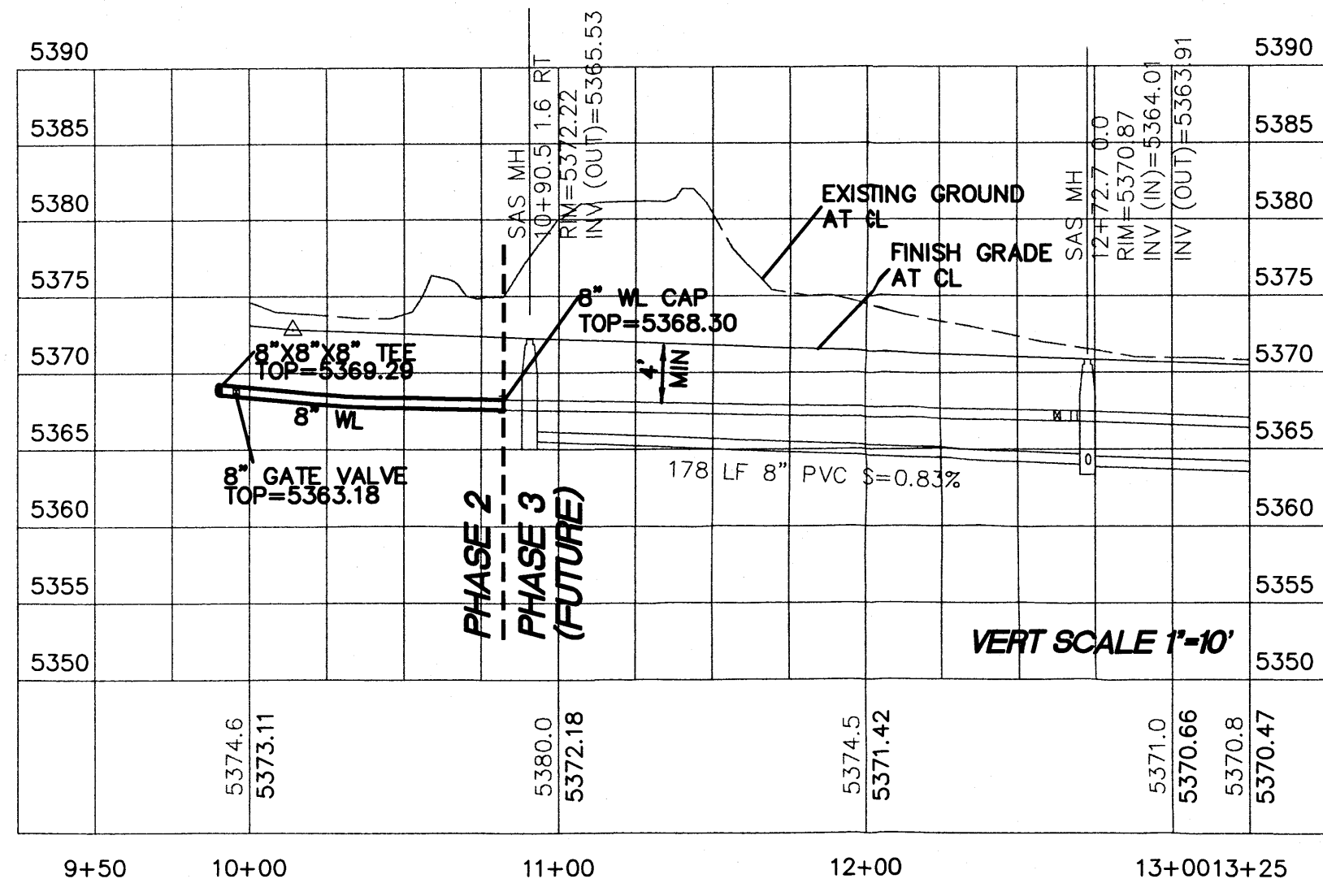
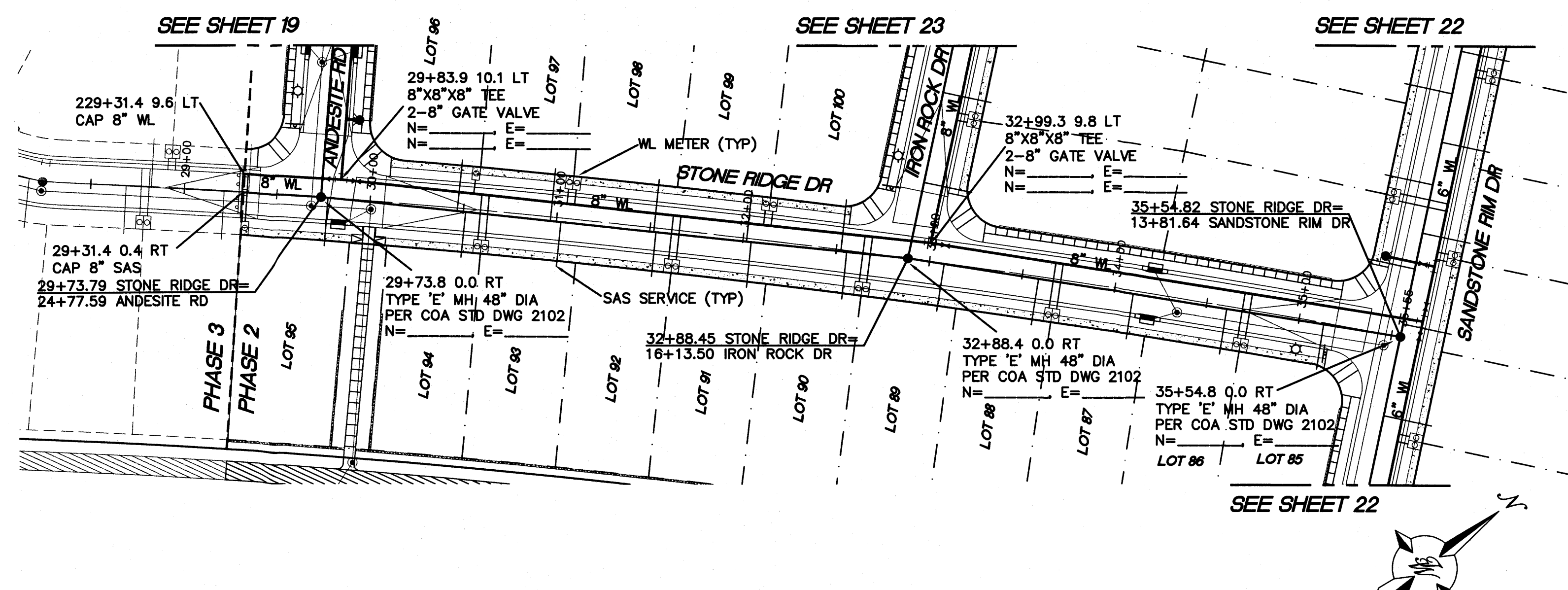
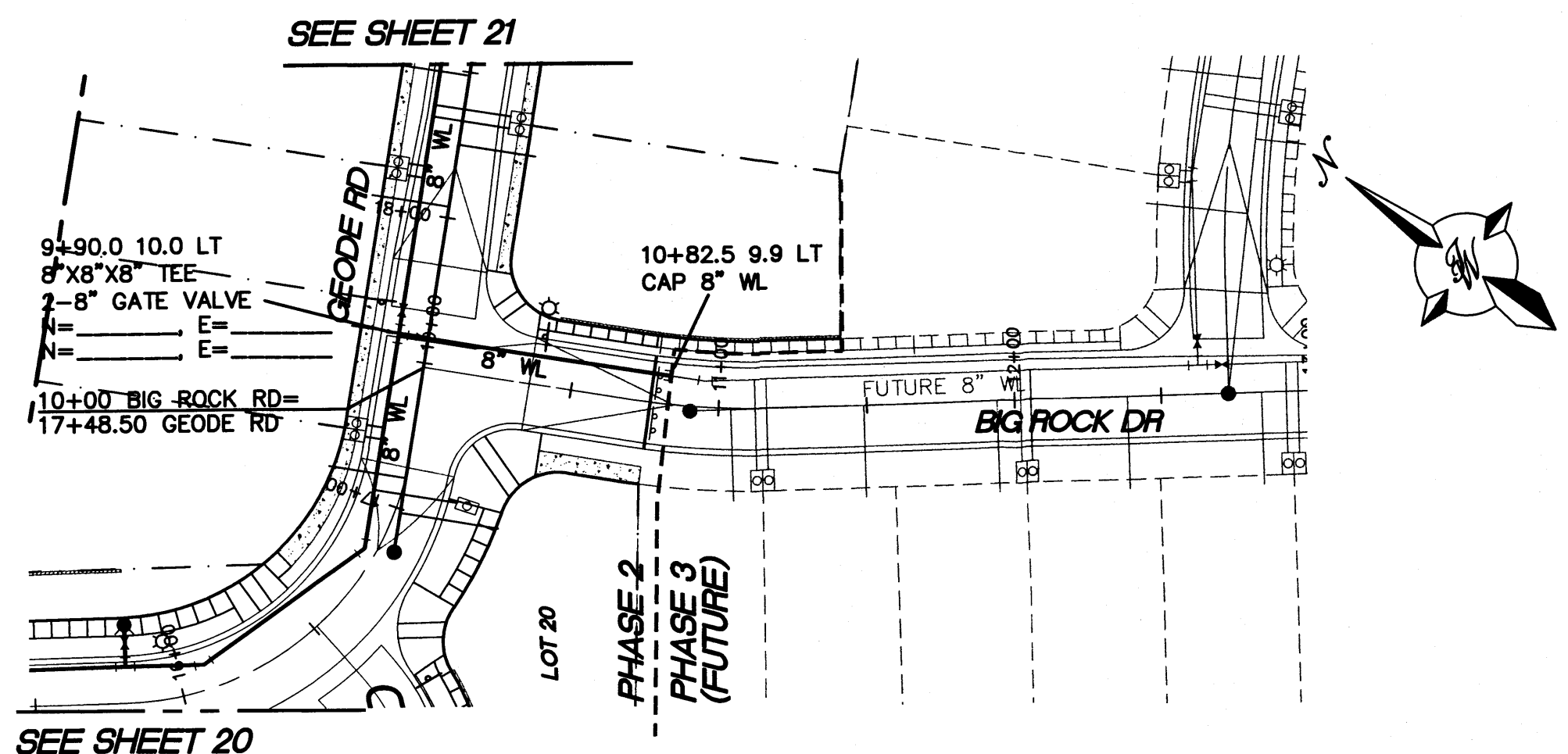


PHASE 2
PHASE 1

INTERSTATE 25

SEE SHEET 4

ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	PHASE 1-SITE PLAN DETAIL	DATE 5-31-13
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2011064-SP
		SHEET # C3
		JOB # 2011064



- NOTES:
- SANITARY SEWER SERVICE CONNECTION PER COA STD DWG 2125.
 - ALL FIRE HYDRANTS ARE TO BE BUILT WITH MECH RESTRAINTS PER COA STANDARDS.
 - ALL EXISTING UTILITY CONNECTION LOCATIONS AND INVERTS MUST BE FIELD VERIFIED PRIOR TO AND CONSTRUCTION OF UTILITIES.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL WATERLINES ARE C900 PVC (DR18) UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER LINES ARE TO BE SDR35 UNLESS OTHERWISE NOTED.

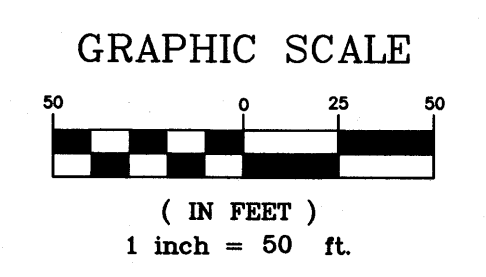
WL TABLE

LOT #	STATION	SERVICE
85&86	34+71.3	DOUBLE
87&88	33+68.7	DOUBLE
89&90	32+66.2	DOUBLE
91&92	31+63.6	DOUBLE
93&94	30+61.0	DOUBLE
95	29+31.4	SINGLE
96	30+57.0	SINGLE
97&98	31+06.9	DOUBLE
99&100	32+11.9	DOUBLE

SAS TABLE

LOT #	STATION*	LF	INV.*	ELEV. @ PL
85	35+14	23	5337.29	5349.2
86	34+61	23	5337.79	5349.6
87	34+10	23	5338.27	5349.9
88	33+58	23	5338.76	5350.2
89	33+07	23	5339.25	5350.6
90	32+56	23	5339.84	5351.5
91	32+05	23	5340.35	5352.4
92	31+53	23	5340.85	5353.0
93	31+02	23	5341.35	5352.9
94	30+51	23	5341.85	5351.7
95	29+81	23	5342.65	5351.1
96	30+47	23	5341.89	5351.7
97	30+96	23	5341.40	5352.5
98	31+52	23	5340.86	5352.9
99	32+02	23	5340.38	5352.5
100	32+52	23	5339.88	5351.5

* @ END OF SERVICE LINE



TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

TITLE: **THE BOULDERS PHASE 2
 UTILITY IMPROVEMENTS**
BIG ROCK RD 10+00 TO 10+82.50 AND STONE RIDGE DR 29+00 TO 35+65

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

DESIGNED BY: VC
 DRAWN BY: pm
 DRAWING NAME: PH2-STONE RIDGE DR-MU
 CHECKED BY: VC

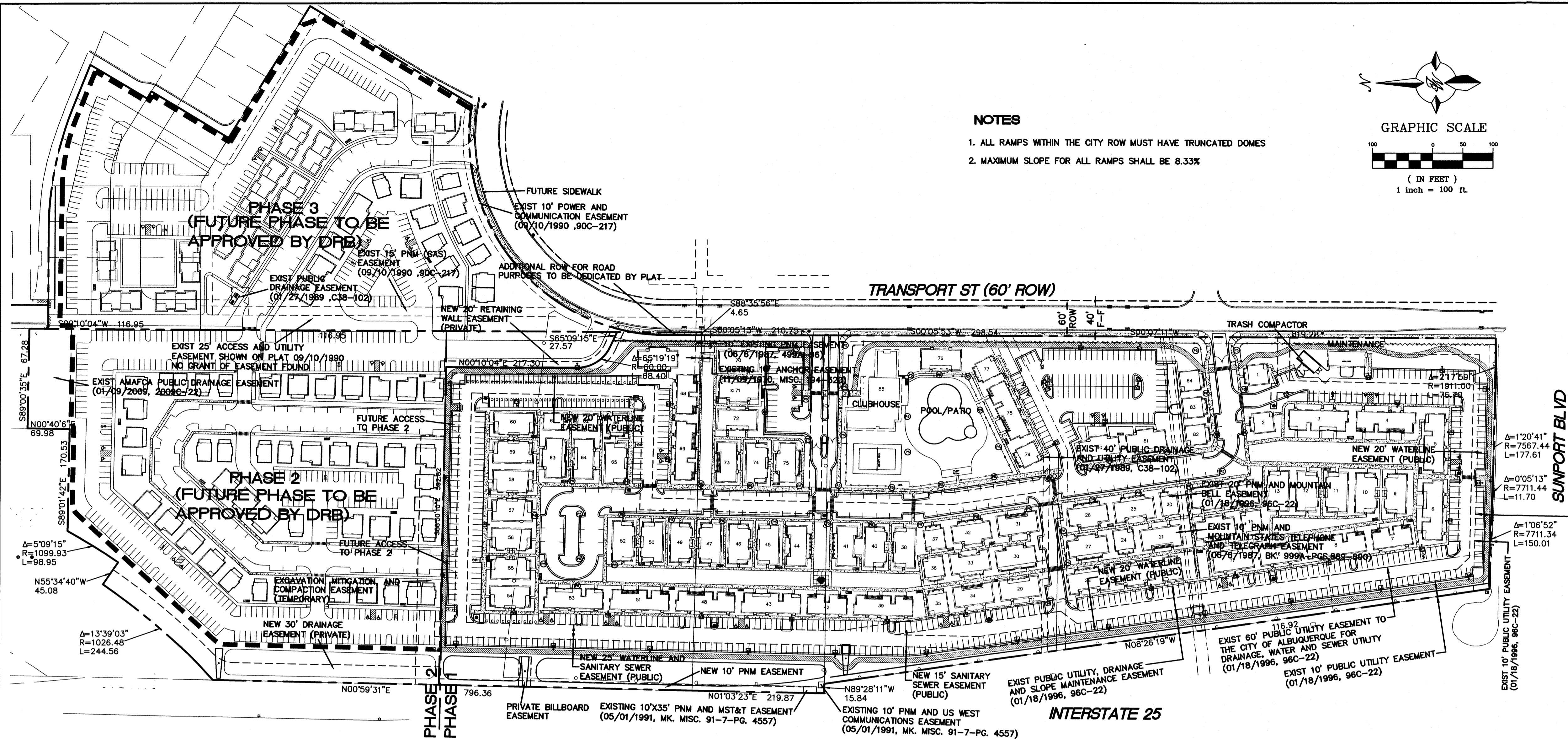
DATE: 8-15-12
 DATE: 8-15-12
 JOB NO.: 2011005
 DATE: 8-15-12

761787 ZONE MAP NO. B-10-Z & B-11-Z SHEET 24 OF 27

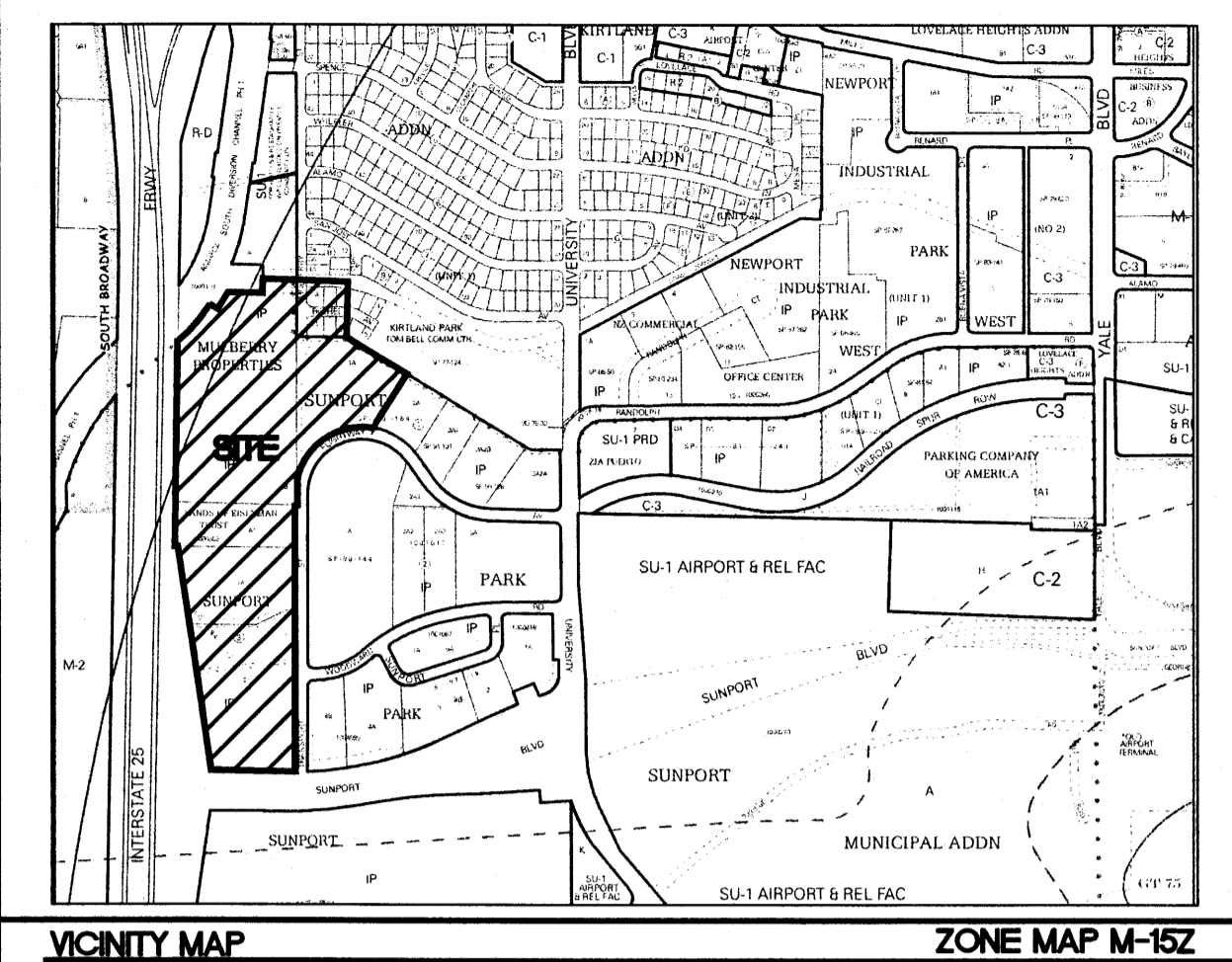
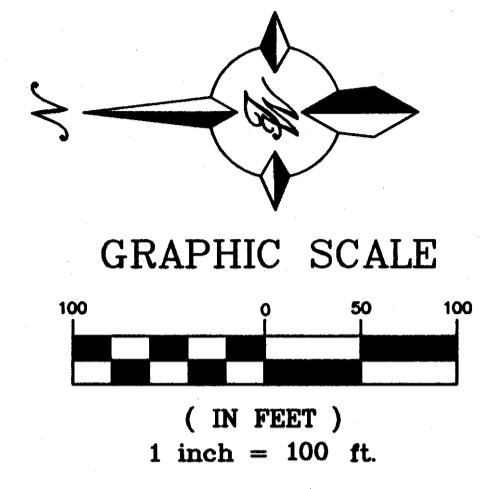
CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

CONTRACTOR TO POT HOLE AND VERIFY EXISTING SAS INVERT PRIOR TO CONSTRUCTION.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WORK BY	A.C.S. MONUMENT "10-B10"	DATE	NO.	BY	NO.	BY
INSPECTOR'S ACCEPTANCE BY	DATE	STANDARD A.C.S. BRASS TABLET (FOUND IN PLACE)	DATE	DATE	REMARKS	DATE	REVISIONS
VERIFICATION BY	DATE	NM STATE PLANE COORDINATES	DATE	NO.	DESIGN	DATE	
DRAWINGS CORRECTED BY	DATE	CENTRAL ZONE NAD 1983	DATE	NO.		DATE	
MICRO-FILM INFORMATION	DATE	X=1,503,026.373	DATE	NO.		DATE	
	DATE	Y=1,526,756.072	DATE	NO.		DATE	
	DATE	G-G=0.999668666	DATE	NO.		DATE	
	DATE	Doc=-0'15'54.21"	DATE	NO.		DATE	
	DATE	ELEVATION=5370.757 (NSVD 1988)	DATE	NO.		DATE	



- NOTES**
1. ALL RAMPS WITHIN THE CITY ROW MUST HAVE TRUNCATED DOMES
 2. MAXIMUM SLOPE FOR ALL RAMPS SHALL BE 8.33%



NEW 27' SLOPE MAINTENANCE EASEMENT TO BE DEDICATED TO THE CITY OF ALBUQUERQUE BY PLAT. PARKING IN THIS AREA EXCEEDS ZONING CODE REQUIREMENTS. THE CITY CAN TAKE POSSESSION OF THE EASEMENT FOR MAINTENANCE AT ANY TIME WITHOUT NOTICE OR ANY TYPE OF COMPENSATION FOR ANY DURATION IT DEEMS NECESSARY. PRIVATE IMPROVEMENTS TO BE MAINTAINED BY PROPERTY OWNER, AT THEIR OWN EXPENSE REGARDLESS OF CAUSE OF DAMAGE.

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE EASEMENT
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	8' MULTIUSE TRAIL
	SITE LIGHTING
	COMPACT SPACES

SITE DATA

LEGAL DESCRIPTION: LOTS 1A AND 2A, SUNPORT PARK; PARCEL 1A, SUNPORT PARK; TRACT B, MULBERRY PROPERTIES; TRACT A1, LANDS OF EISEMAN TRUST; AND LOTS 1-6 & A-F, UNIT 3, KIRTLAND ADDITION.

ZONING (EXISTING) IP AND R-1
 ZONING (PROPOSED) SU-1 FOR IP USES INCLUDING STUDENT HOUSING SITE AREA 35.9 ACRES

PROPOSED USE

STUDENT HOUSING RESIDENTIAL COTTAGES AND CLUBHOUSE
 66 SINGLE COTTAGE RESIDENCE BUILDINGS (97 DWELLING UNITS)
 47 DUPLEX COTTAGE RESIDENCE BUILDINGS (158 DWELLING UNITS)

TOTAL 260 DWELLING UNITS

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

VEHICULAR TRAFFIC WILL ACCESS FROM FLIGHTWAY AVENUE AND TRANSPORT STREET THROUGH TWO GATED ACCESS POINTS OVER PRIVATE DRIVEWAYS. THE PUBLIC SIDEWALK ON FLIGHTWAY AVE WILL BE EXTENDED ALONG THE PROJECT FRONTAGE TO PROVIDE PEDESTRIAN ACCESS ADJACENT TO THE THREE VEHICULAR POINTS OF CONNECTION.

INTERNAL CIRCULATION REQUIREMENTS

PRIVATE DRIVEWAY AND PEDESTRIAN WALKS AND TRAILS WILL PROVIDE INTERNAL CIRCULATION. EXISTING LOTS WILL BE CONSOLIDATED INTO TWO PARCELS CORRESPONDING WITH THE TWO PHASES OF CONSTRUCTION, BY SEPARATE PLAT.

MAXIMUM BUILDING HEIGHT

4 STORIES ON LOTS 1A AND 2A OF SUNPORT PARK. OTHER AREAS, UNLESS MODIFIED BY EPC 26 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGE WAY RIGHT-OF-WAY CENTERLINE, TO PROTECT SOLAR ACCESS. A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

PROPOSED MAX BUILDING HEIGHT 30' TO RIDGE-LINE (COTTAGES), 45' TO RIDGELINE (CLUBHOUSE)

SITE DATA

MINIMUM BUILDING SETBACK

ON LOTS 1A AND 2A OF SUNPORT PARK
 FRONT SETBACK OF NOT LESS THAN 20' FROM THE R.O.W LINE
 SIDE SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE
 REAR SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE

MAXIMUM TOTAL DWELLING UNITS
 NO MAXIMUM PER IP ZONE (EXISTING), 162 DWELLING UNITS (PROPOSED)

MAXIMUM F.A.R. (NON-RESIDENTIAL)
 0.43 F.A.R. ON LOT 1A AND 0.44 ON LOT 2A OF SUNPORT PARK

PHASING 3 PHASES PROPOSED.

STRUCTURE LOCATIONS

SITE IS UNDEVELOPED AND VACANT WITH NO EXISTING STRUCTURES. PROPOSED STRUCTURES PER PLAN.

STRUCTURE ELEVATIONS AND DIMENSIONS

BUILDING AREA (INCLUDING 2ND STORY)

House Type	Elevation	Int SF	# of Bldgs	# Units	# Beds
2 Bed Single Family Cottage	Pumpkin	832	3	3	6
4 Bed Single Family Cottage	Beagress	1556	8	8	32
4 Bed Single Family Cottage	Silverleaf	1556	7	7	28
5/5 Duplex Cottages Stand Alone	Soleberry	3778	7	14	70
5/5 Duplex Cottages Stand Alone	Brittlebush	3778	8	16	80
5/5 Duplex Cottages Stand Alone	Saguaro	3778	8	16	80
5/5 Duplex	Fernbush	3684	6	12	60
5/5 Duplex	Bursage	3684	7	14	70
5/5 Duplex	Buckhorn	3684	5	10	50
5/5 Duplex	Iris	3684	5	10	50
5/5 Duplex	Cliffrose	3684	5	10	50
5 Bed Townhouse	Jocoba	5340	5	15	75
5 Bed Townhouse	Yucca	5340	7	21	105
5 Bed Townhouse	Paloverde	3564	3	6	30
Project Totals		47936	84	162	786

PARKING REQUIREMENTS PHASE 1

CLUBHOUSE 44 (ONE SPACE PER 200 SF)

COTTAGES 786 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))

TOTAL REQUIRED 306 SPACES
 TOTAL PROVIDED 826 SPACES

HC PARKING REQUIRED 20 SPACES
 HC PARKING PROVIDED 22 SPACES

TOTAL PARKING PROVIDED 826 SPACES

MC PARKING REQUIRED 8 SPACES
 MC PARKING PROVIDED 12 SPACES

BICYCLE PARKING REQUIRED 136 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
 BICYCLE PARKING PROVIDED 140 SPACES

LOADING FACILITIES NONE REQUIRED OR PROPOSED.

NON-AUTO TRANSPORTATION

SHUTTLE SERVICE TO UNM IS PROPOSED. PUBLIC TRANSPORTATION IS AVAILABLE NEAR THE SITE BY BUS ROUTE 618, 222, AND 250. BICYCLE AND PEDESTRIAN ACCESS IS AVAILABLE ALONG UNIVERSITY AVE TO UNM SPORTS FACILITIES AND MAIN CAMPUS.

PARKING REQUIREMENTS PHASE 2

COTTAGES 180 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))

TOTAL REQUIRED 60 SPACES
 TOTAL PROVIDED 342 SPACES

HC PARKING REQUIRED 8 SPACES (FOR 301 TO 400)
 PARKING PROVIDED 12 SPACES

TOTAL PARKING PROVIDED 354 SPACES

MC PARKING REQUIRED 6 SPACES
 MC PARKING PROVIDED 10 SPACES

BICYCLE PARKING REQUIRED 30 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
 BICYCLE PARKING PROVIDED 30 SPACES

LOADING FACILITIES NONE REQUIRED OR PROPOSED.

STRUCTURE ELEVATIONS AND DIMENSIONS

BUILDING AREA (INCLUDING 2ND STORY)

House Type	Elevation	Int SF	# of Bldgs	# Units	# Beds
3-3 DUPLEX	(2692 SF X 3)	8076 SF			
5-BEDROOM COTTAGE	(1834 SF X 13)	23842 SF			
3-BEDROOM COTTAGE	(1346 SF X 15)	20190 SF			
4-BEDROOM COTTAGE	(1556 SF X 13)	20228 SF			
TOTAL		72,336 SF			

PARKING REQUIREMENTS PHASE 3

COTTAGES 203 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))

TOTAL REQUIRED 68 SPACES
 TOTAL PROVIDED 218 SPACES

HC PARKING REQUIRED 7 SPACES (FOR 201 TO 300)
 PARKING PROVIDED 8 SPACES

TOTAL PARKING PROVIDED 226 SPACES

MC PARKING REQUIRED 5 SPACES
 MC PARKING PROVIDED 6 SPACES

BICYCLE PARKING REQUIRED 34 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
 BICYCLE PARKING PROVIDED 35 SPACES

LOADING FACILITIES NONE REQUIRED OR PROPOSED.

STRUCTURE ELEVATIONS AND DIMENSIONS

BUILDING AREA (INCLUDING 2ND STORY)

House Type	Elevation	Int SF	# of Bldgs	# Units	# Beds
5-5 DUPLEX W/O BUMPOUT	(3668 SF X 1)	3668 SF			
3-3 DUPLEX	(2692 SF X 2)	5384 SF			
3-BEDROOM COTTAGE	(1834 SF X 6)	11004 SF			
4-BEDROOM COTTAGE	(1556 SF X 2)	3112 SF			
3-BEDROOM COTTAGE	(1346 SF X 5)	6730 SF			
6-BEDROOM TOWNHOUSE	(5340 SF X 4)	21360 SF			
4-BEDROOM TOWNHOUSE	(3564 SF X 7)	24948 SF			
TOTAL		76,206 SF			

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	PHASE 1-SITE PLAN FOR BUILDING PERMIT	DATE 7-3-13
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com	DRAWING 2011064-SP
		SHEET # C2
		JOB # 2011064

Plat of
Tracts 1 and 2
Capstone Subdivision
Albuquerque, Bernalillo County, New Mexico
June 2013

RECORDING STAMP

Legend

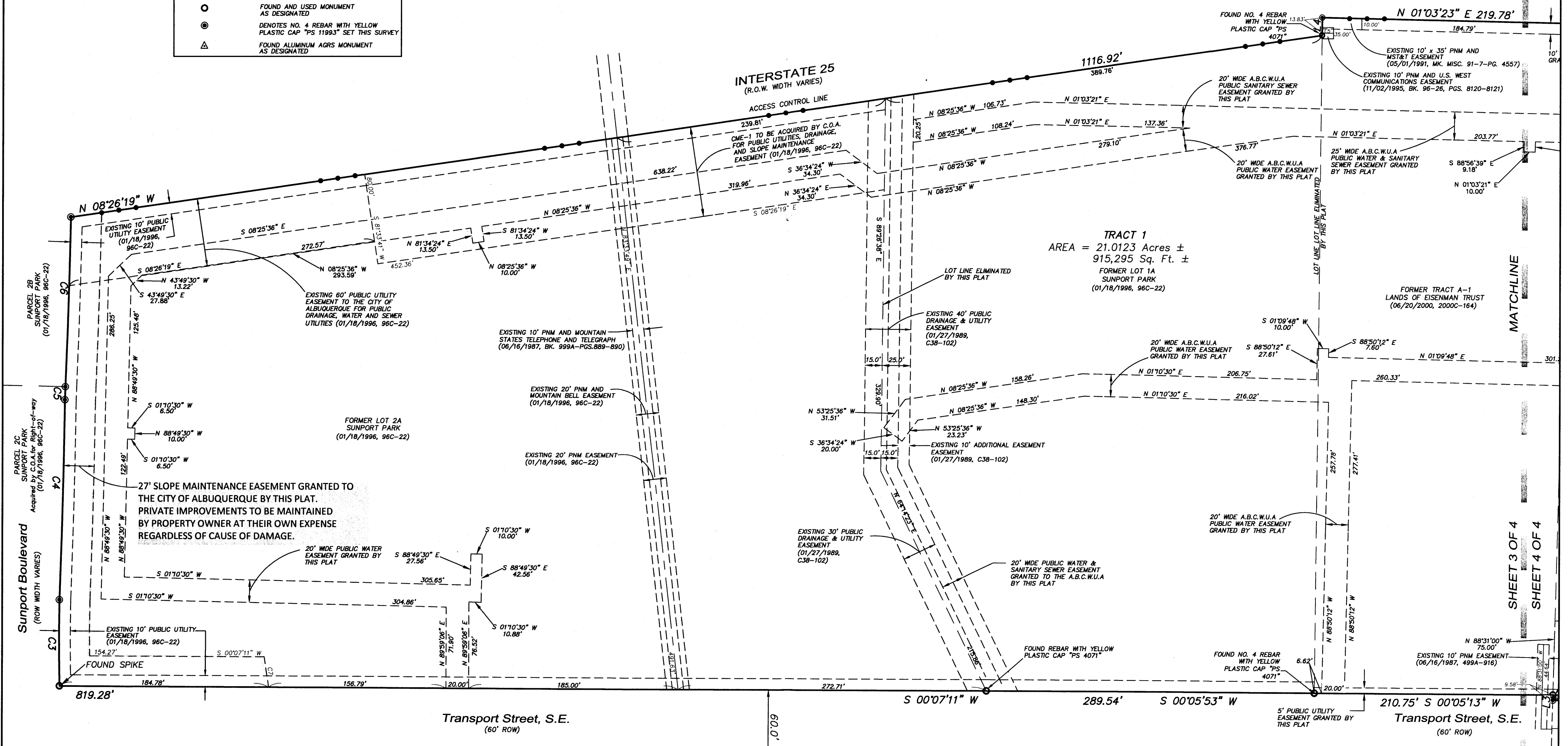
N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES

○ FOUND AND USED MONUMENT AS DESIGNATED

● DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

△ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED



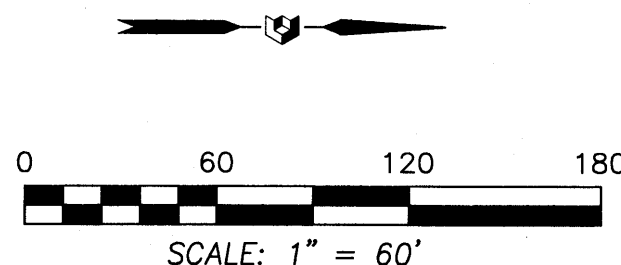
TRACT 1
AREA = 21.0123 Acres ±
915,295 Sq. Ft. ±
FORMER LOT 1A
SUNPORT PARK
(01/18/1996, 96C-22)

Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1054.93' (R=1054.93') (L=209.50')	209.49'	105.09'	11°22'41"	N 40°13'07" E (CH=N 40°11'40" E)	209.15' (209.16')
C2	1099.93' (R=1099.93') (L=98.99')	98.95'	49.51'	5°09'15"	N 31°55'38" E (CH=N 31°58'06" E)	98.91' (98.90')
C3	1911.00' (R=1911.00') (L=76.70')	76.70'	38.36'	2°17'59"	S 89°54'27" W (CH=S 89°34'29" W)	76.69' (76.69')
C4	7567.44' (R=7567.44') (L=177.61')	177.61'	88.81'	1°20'41"	N 88°34'22" W (CH=N 88°34'20" W)	177.61' (177.61')
C5	7711.44' (R=7711.44') (L=11.70')	11.70'	5.85'	0°05'13"	N 87°38'29" W (CH=N 87°38'27" W)	11.70' (11.70')
C6	7711.34' (R=7711.34') (L=150.01')	150.01'	75.01'	1°06'52"	N 88°14'32" W (CH=N 88°14'30" W)	150.01' (150.01')
C7	1400.00'	27.29'	13.65'	1°07'01"	N 81°46'15" E	27.29'

Line Table

LINE	BEARING	DISTANCE
L1	N 47°30'05" E (N 47°28'21" E)	35.08' (34.98')
L2	S 55°34'40" E (S 55°31'37" E)	45.08' (45.08')
L3	S 88°35'56" E	4.65'
L4	N 89°28'11" W (N 89°28'05" W)	15.84' (15.83')
L5	N 00°00'18" E	10.00'



INDEXING INFORMATION FOR COUNTY CLERK
OWNER ALBUQUERQUE AIRPARK PARTNERS/MAST VOYAGER
SECTION 33, TOWNSHIP 10 N, RANGE 3 E,
SUBDIVISION CAPSTONE SUBDIVISION

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109

MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

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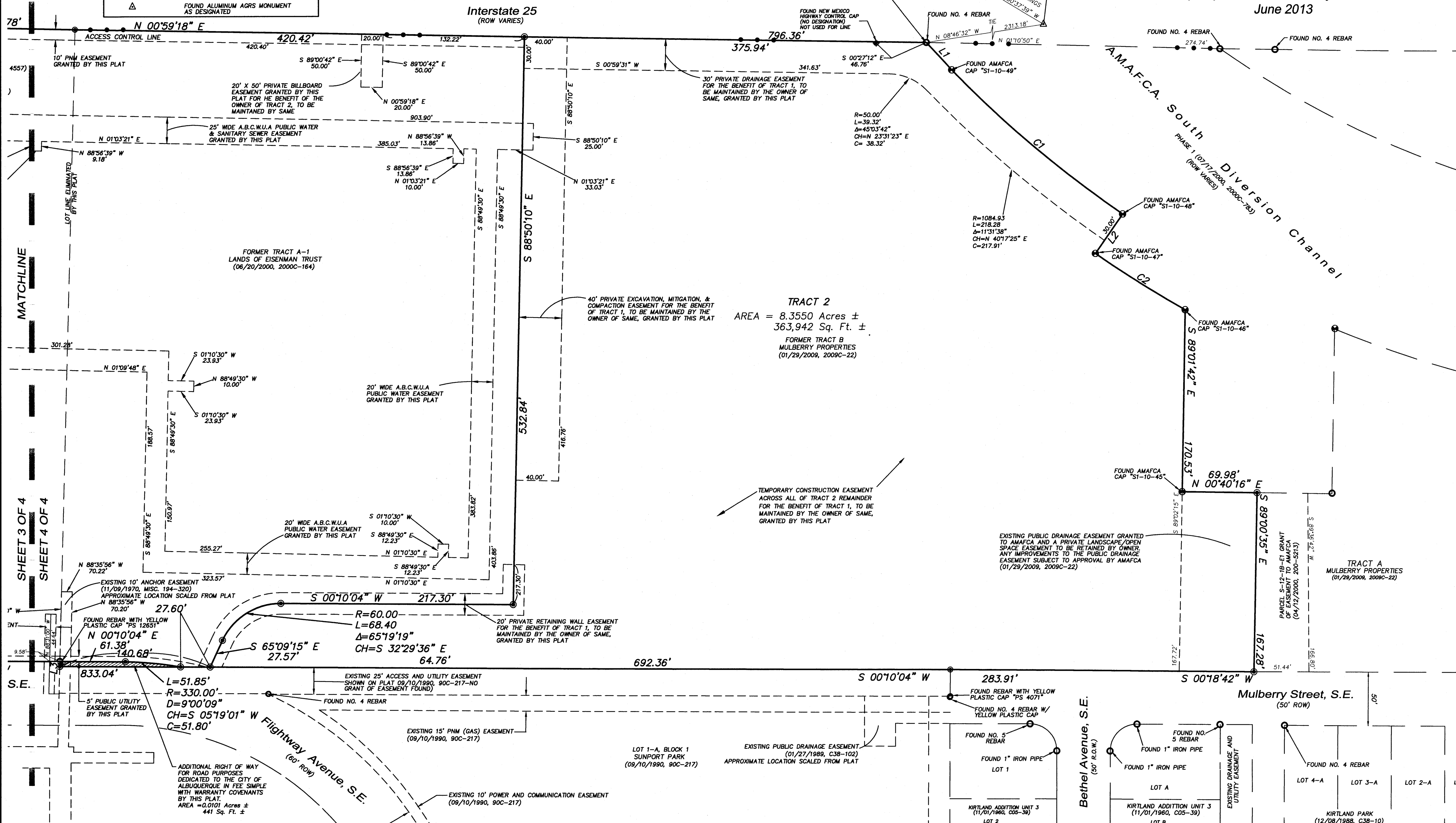
Legend

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RECORDING STAMP

Plat of Tracts 1 and 2 Capstone Subdivision

Albuquerque, Bernalillo County, New Mexico
June 2013

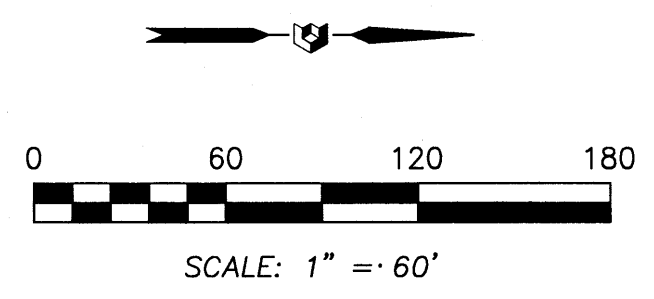


Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1054.93' (R=1054.93')	209.49' (L=209.50')	105.09' (T=105.10')	11°22'41" (Δ=11°22'43")	N 40°13'07" E (CH=N 40°11'40" E)	209.15' (208.16')
C2	1099.93' (R=1099.93')	98.95' (L=98.99')	49.51' (T=49.53')	5°09'15" (Δ=05°09'24")	N 31°55'38" E (CH=N 31°58'06" E)	98.91' (98.90')
C3	1911.00' (R=1911.00')	76.70' (L=76.70')	38.36' (T=38.36')	2°17'59" (Δ=02°17'59")	S 89°54'27" W (CH=S 89°54'29" W)	76.69' (76.69')
C4	7567.44' (R=7567.44')	177.61' (L=177.61')	88.81' (T=88.81')	1°20'41" (Δ=01°20'41")	N 88°34'22" W (CH=N 88°34'20" W)	177.61' (177.61')
C5	7711.44' (R=7711.44')	11.70' (L=11.70')	5.85' (T=5.85')	0°05'13" (Δ=00°05'13")	N 87°38'29" W (CH=N 87°38'27" W)	11.70' (11.70')
C6	7711.34' (R=7711.34')	150.01' (L=150.01')	75.01' (T=75.01')	1°06'52" (Δ=01°06'52")	N 88°14'32" W (CH=N 88°14'30" W)	150.01' (150.01')
C7	1400.00'	27.29'	13.65'	1°07'01"	N 81°46'15" E	27.29'

Line Table

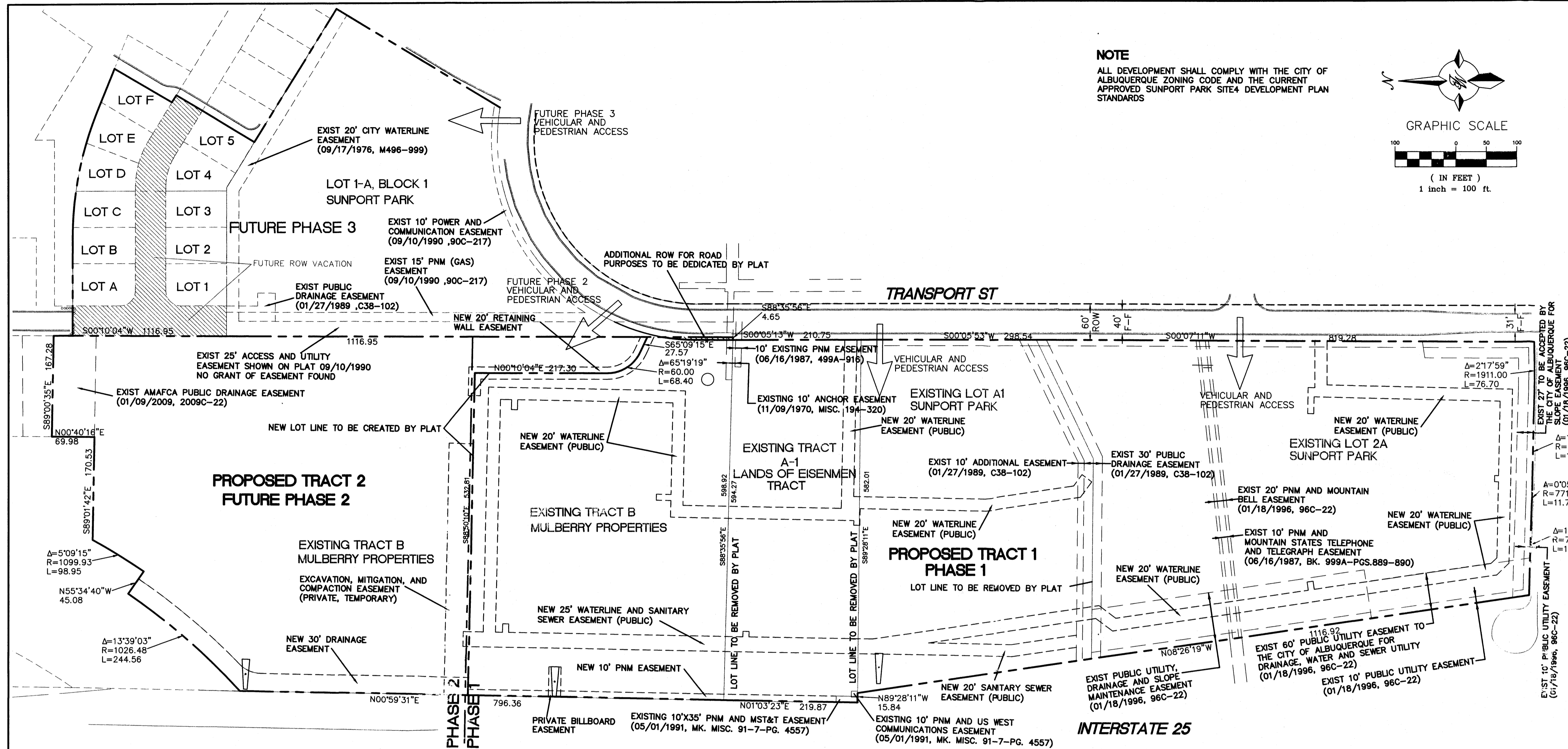
LINE	BEARING	DISTANCE
L1	N 47°30'05" E (N 47°28'21" E)	35.08' (34.98')
L2	S 55°34'40" E (S 55°31'37" E)	45.08' (45.08')
L3	S 88°35'56" E	4.65'
L4	N 89°28'11" W (N 89°28'05" W)	15.84' (15.83')
L5	N 00°00'18" E	10.00'



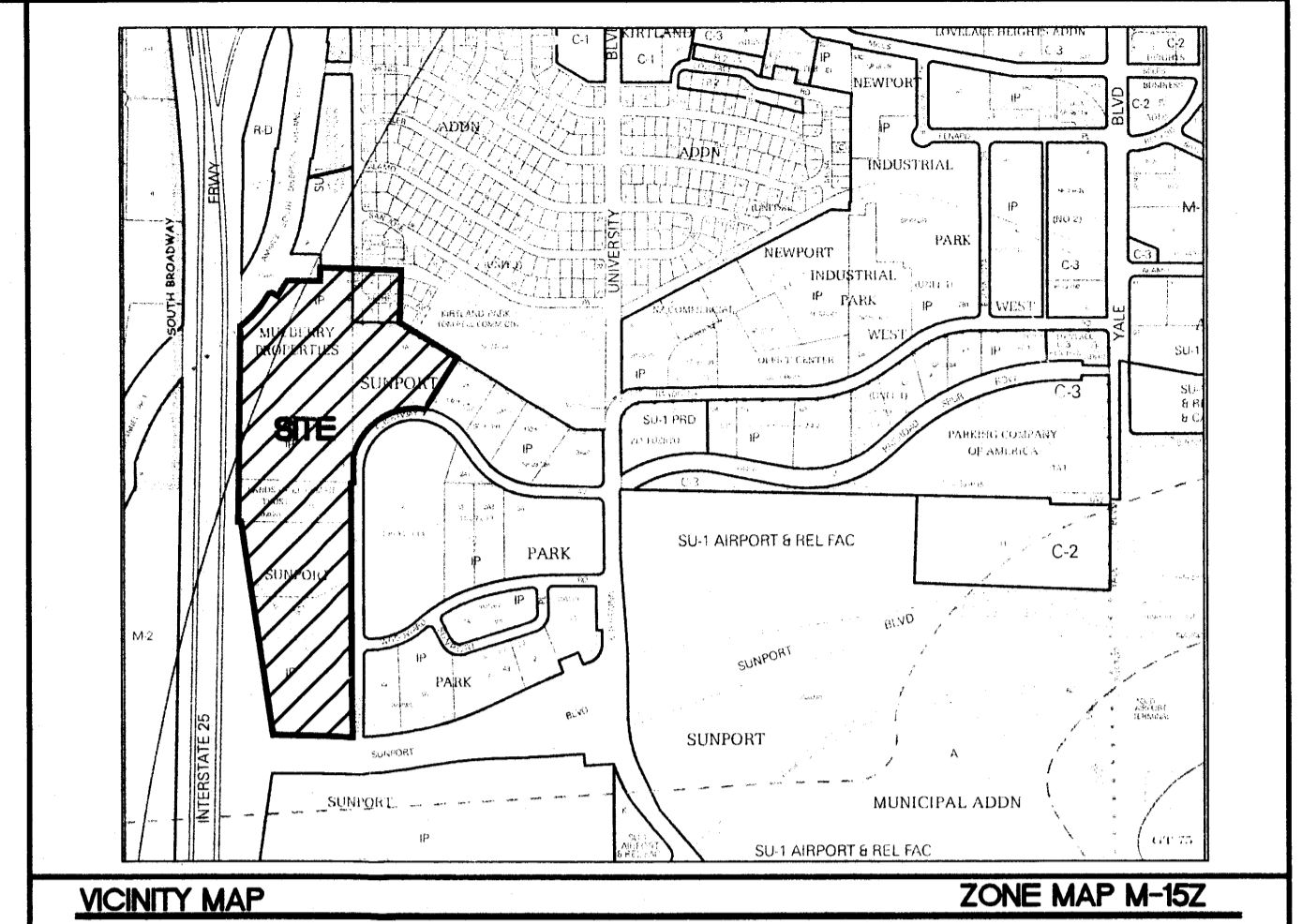
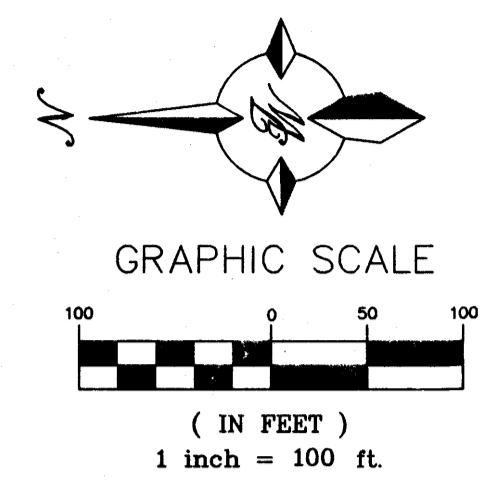
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OFFICE LOCATION:
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MAILING ADDRESS:
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866.442.8011 TOLL FREE
505.856.5700 PHONE
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NOTE
 ALL DEVELOPMENT SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE AND THE CURRENT APPROVED SUNPORT PARK SITE4 DEVELOPMENT PLAN STANDARDS



LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	RIGHT OF WAY

SITE DATA

LEGAL DESCRIPTION: LOTS 1A AND 2A, SUNPORT PARK; PARCEL 1A, SUNPORT PARK; TRACT B, MULBERRY PROPERTIES; TRACT A1, LANDS OF EISEMAN TRUST; AND LOTS 1-5 & A-F, UNIT 3, KIRTLAND ADDITION.

ZONING (EXISTING) IP AND R-1
 ZONING (PROPOSED) SU-1 FOR IP USES INCLUDING STUDENT HOUSING
 SITE AREA 35.9 ACRES

PROPOSED USE
 STUDENT HOUSING RESIDENTIAL COTTAGES AND CLUBHOUSE
 166 SINGLE COTTAGE RESIDENCE BUILDINGS (97 DWELLING UNITS)
 47 DUPLEX COTTAGE RESIDENCE BUILDINGS (158 DWELLING UNITS)

TOTAL 260 DWELLING UNITS

SITE DATA

MINIMUM BUILDING SETBACK
 ON LOTS 1A AND 2A OF SUNPORT PARK
 FRONT SETBACK OF NOT LESS THAN 20' FROM THE R.O.W LINE
 SIDE SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE
 REAR SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE

MAXIMUM TOTAL DWELLING UNITS
 NO MAXIMUM PER IP ZONE (EXISTING), 155 DWELLING UNITS (PROPOSED)

MAXIMUM F.A.R. (NON-RESIDENTIAL)
 0.43 F.A.R. ON LOT 1A AND 0.44 ON Lot 2A OF SUNPORT PARK

PHASING 3 PHASES PROPOSED.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS
 VEHICULAR TRAFFIC WILL ACCESS FROM FLIGHTWAY AVENUE AND TRANSPORT STREET THROUGH TWO GATED ACCESS POINTS OVER PRIVATE DRIVEWAYS. THE PUBLIC SIDEWALK ON FLIGHTWAY AVE WILL BE EXTENDED ALONG THE PROJECT FRONTAGE TO PROVIDE PEDESTRIAN ACCESS ADJACENT TO THE THREE VEHICULAR POINTS OF CONNECTION.

INTERNAL CIRCULATION REQUIREMENTS
 PRIVATE DRIVEWAY AND PEDESTRIAN WALKS AND TRAILS WILL PROVIDE INTERNAL CIRCULATION. EXISTING LOTS WILL BE CONSOLIDATED INTO TWO PARCELS CORRESPONDING WITH THE TWO PHASES OF CONSTRUCTION, BY SEPARATE PLAT.

MAXIMUM BUILDING HEIGHT
 4 STORIES ON LOTS 1A AND 2A OF SUNPORT PARK. OTHER AREAS: UNLESS MODIFIED BY EPC 26 FEET AT ANY LEGAL LOCATION, THE HEIGHT AND WIDTH OF THE STRUCTURE OVER 26 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGE WAY RIGHT-OF-WAY CENTERLINE. TO PROTECT SOLAR ACCESS, A STRUCTURE OVER 26 FEET MAY NOT EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME BOUNDARIES OR CENTER LINE.

PROPOSED MAX BUILDING HEIGHT 30' TO RIDGE-LINE (COTTAGES), 45' TO RIDGELINE (CLUBHOUSE)

INDEX TO DRAWINGS

C1	SITE PLAN FOR SUBDIVISION
C2	SITE PLAN FOR BUILDING PERMIT
C3	SITE PLAN DETAIL (1"=40')
C4	SITE PLAN DETAIL (1"=40')
C5	OVERALL GRADING PLAN
C6	OVERALL UTILITY PLAN
C7	MASTER UTILITY PLAN
C8	CONSTRUCTION DETAILS
C8-C10	CONSTRUCTION DETAILS TRASH COMPACTOR
C11	MONUMENT SIGN DETAIL
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE PLAN
L4	LANDSCAPE PLAN
L5	LANDSCAPE PLAN
EL-1	BUILDING ELEVATIONS
-	AMENDMENT TO PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

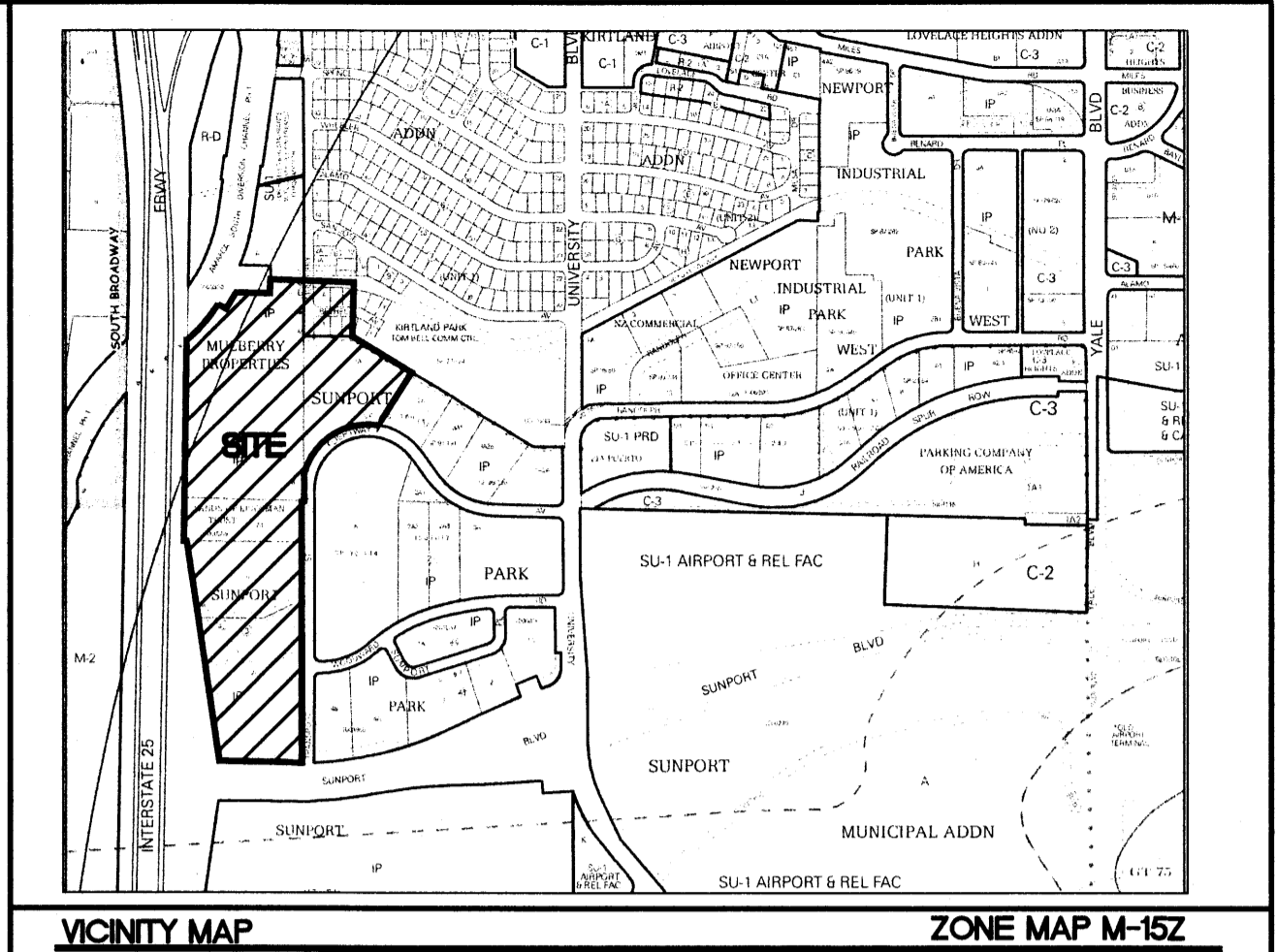
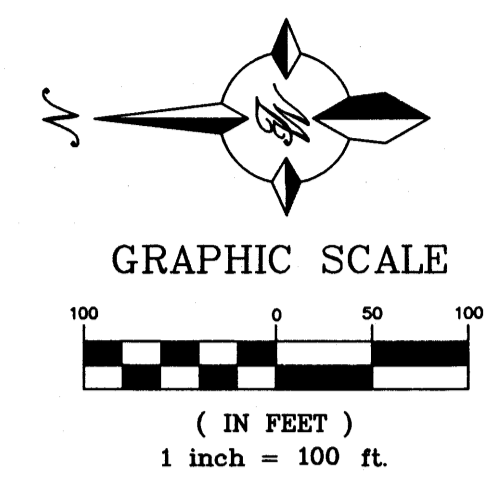
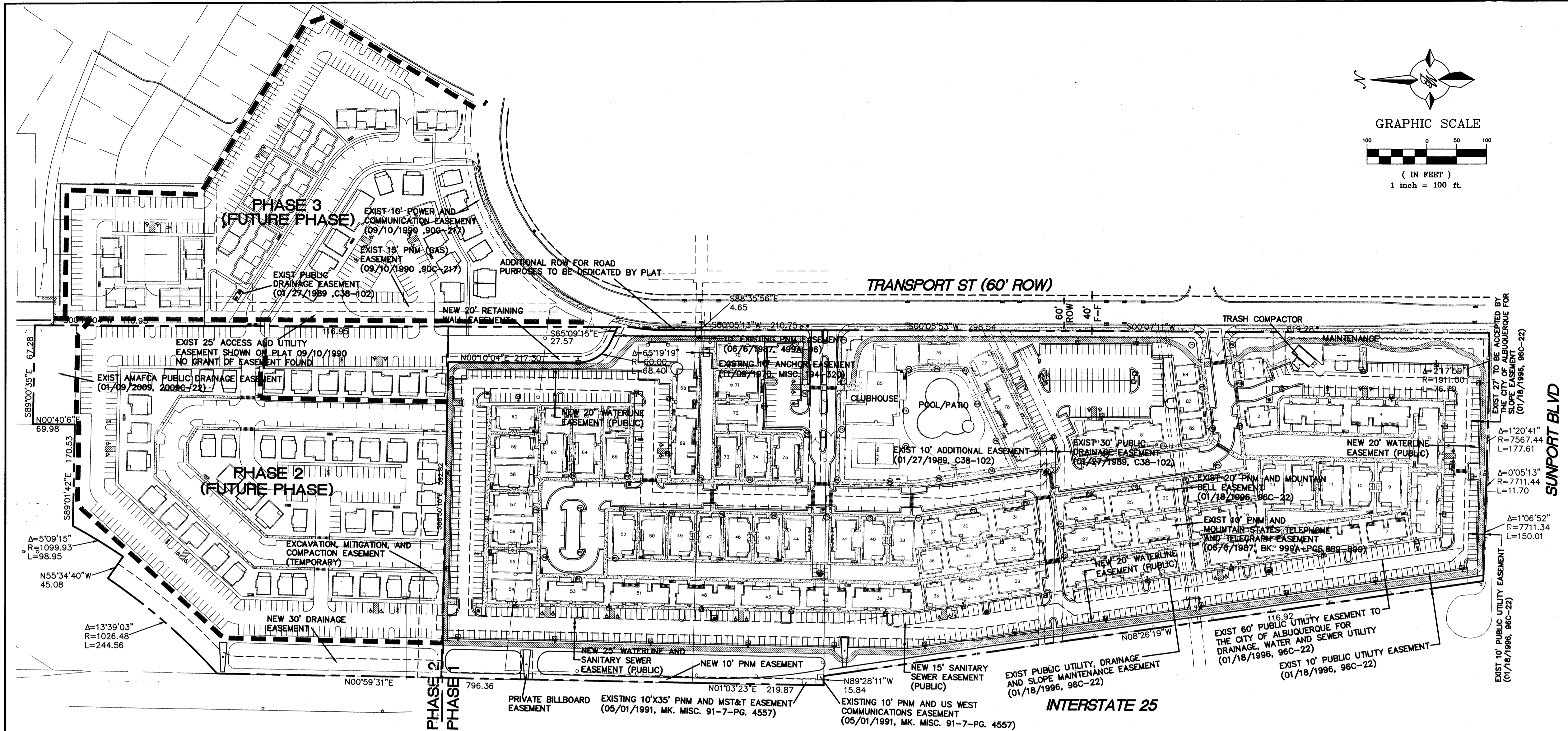
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

ENGINEER'S SEAL JEFFREY T. WOOTEN P.E. #16892	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN FOR SUBDIVISION	DATE 6-11-13
TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011064-SP	SHEET # C1
	JOB # 2011064	



- LEGEND**
- PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - EXISTING CURB & GUTTER
 - 8' MULTISE TRAIL
 - SITE LIGHTING

SITE DATA

LEGAL DESCRIPTION: LOTS 1A AND 2A, SUNPORT PARK; PARCEL 1A, SUNPORT PARK; TRACT B, MULBERRY PROPERTIES; TRACT A1, LANDS OF EISEMAN TRUST; AND LOTS 1-6 & A-F, UNIT 3, KIRTLAND ADDITION.

ZONING (EXISTING) IP AND R-1
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SITE AREA 35.9 ACRES

PROPOSED USE
STUDENT HOUSING RESIDENTIAL COTTAGES AND CLUBHOUSE
66 SINGLE COTTAGE RESIDENCE BUILDINGS (97 DWELLING UNITS)
47 DUPLEX COTTAGE RESIDENCE BUILDINGS (158 DWELLING UNITS)

TOTAL 260 DWELLING UNITS

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS
VEHICULAR TRAFFIC WILL ACCESS FROM FLIGHTWAY AVENUE AND TRANSPORT STREET THROUGH TWO GATED ACCESS POINTS OVER PRIVATE DRIVEWAYS. THE PUBLIC SIDEWALK ON FLIGHTWAY AVE WILL BE EXTENDED ALONG THE PROJECT FRONTAGE TO PROVIDE PEDESTRIAN ACCESS ADJACENT TO THE THREE VEHICULAR POINTS OF CONNECTION.

INTERNAL CIRCULATION REQUIREMENTS
PRIVATE DRIVEWAY AND PEDESTRIAN WALKS AND TRAILS WILL PROVIDE INTERNAL CIRCULATION. EXISTING LOTS WILL BE CONSOLIDATED INTO TWO PARCELS CORRESPONDING WITH THE TWO PHASES OF CONSTRUCTION, BY SEPARATE PLAT.

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PROPOSED MAX BUILDING HEIGHT 30' TO RIDGE-LINE (COTTAGES), 45' TO RIDGELINE (CLUBHOUSE)

SITE DATA

MINIMUM BUILDING SETBACK
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FRONT SETBACK OF NOT LESS THAN 20' FROM THE R.O.W LINE
SIDE SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE
REAR SETBACK OF NOT LESS THAN 10' FROM THE R.O.W LINE

MAXIMUM TOTAL DWELLING UNITS
NO MAXIMUM PER IP ZONE (EXISTING), 162 DWELLING UNITS (PROPOSED)
MAXIMUM F.A.R. (NON-RESIDENTIAL)
0.43 F.A.R. ON LOT 1A AND 0.44 ON LOT 2A OF SUNPORT PARK

PHASING 3 PHASES PROPOSED.

STRUCTURE LOCATIONS
SITE IS UNDEVELOPED AND VACANT WITH NO EXISTING STRUCTURES. PROPOSED STRUCTURES PER PLAN.

STRUCTURE ELEVATIONS AND DIMENSIONS
BUILDING AREA (INCLUDING 2ND STORY)

House Type	Elevation	Int SF	# of Bldgs	# Units	# Beds
2 Bed Single Family Cottage	Pumpkin	832	3	3	6
4 Bed Single Family Cottage	Beargrass	1556	8	8	32
4 Bed Single Family Cottage	Silverleaf	1556	7	7	28
5/5 Duplex Cottages Stand Alone	Scapberry	3776	7	14	70
5/5 Duplex Cottages Stand Alone	Brittishash	3776	8	16	80
5/5 Duplex Cottages Stand Alone	Sigano	3776	8	16	80
5/5 Duplex	Fernbush	3684	6	12	60
5/5 Duplex	Bursage	3684	7	14	70
5/5 Duplex	Buckhorn	3684	5	10	50
5/5 Duplex	Ins	3684	5	10	50
5/5 Duplex	Cliffrose	3684	5	10	50
5 Bed Townhouse	Jacobs	5340	5	15	75
5 Bed Townhouse	Yucca	5340	7	21	105
5 Bed Townhouse	Paloverde	3564	3	6	30
Project Totals		47936	84	162	786

PARKING REQUIREMENTS PHASE 1

PARKING REQUIRED

CLUBHOUSE 44 (ONE SPACE PER 200 SF)

COTTAGES 786 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))

TOTAL REQUIRED 306 SPACES
TOTAL PROVIDED 826 SPACES

HC PARKING REQUIRED 20 SPACES
HC PARKING PROVIDED 22 SPACES

TOTAL PARKING PROVIDED 826 SPACES

MC PARKING REQUIRED 8 SPACES
MC PARKING PROVIDED 12 SPACES

BICYCLE PARKING REQUIRED 136 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
BICYCLE PARKING PROVIDED 140 SPACES

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NON-AUTO TRANSPORTATION
SHUTTLE SERVICE TO UNM IS PROPOSED. PUBLIC TRANSPORTATION IS AVAILABLE NEAR THE SITE BY BUS ROUTE 618, 222, AND 250. BICYCLE AND PEDESTRIAN ACCESS IS AVAILABLE ALONG UNIVERSITY AVE TO UNM SPORTS FACILITIES AND MAIN CAMPUS.

PARKING REQUIREMENTS PHASE 2

PARKING REQUIRED

COTTAGES 180 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))

TOTAL REQUIRED 60 SPACES
TOTAL PROVIDED 342 SPACES

HC PARKING REQUIRED 8 SPACES (FOR 301 TO 400)
PARKING PROVIDED 12 SPACES

TOTAL PARKING PROVIDED 354 SPACES

MC PARKING REQUIRED 6 SPACES
MC PARKING PROVIDED 10 SPACES

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STRUCTURE ELEVATIONS AND DIMENSIONS
BUILDING AREA (INCLUDING 2ND STORY)

House Type	Area	SF
3-3 DUPLEX	(2692 SF X 3)	8076 SF
5-BEDROOM COTTAGE	(1834 SF X 13)	23842 SF
3-BEDROOM COTTAGE	(1346 SF X 15)	20190 SF
4-BEDROOM COTTAGE	(1556 SF X 13)	20228 SF
TOTAL		72,336 SF

PARKING REQUIREMENTS PHASE 3

PARKING REQUIRED

COTTAGES 203 (ONE SPACE FOR EACH THREE PERSONS IN RESIDENCE PER § 14-6-3-1 (A)(10))

TOTAL REQUIRED 68 SPACES
TOTAL PROVIDED 218 SPACES

HC PARKING REQUIRED 7 SPACES (FOR 201 TO 300)
PARKING PROVIDED 8 SPACES

TOTAL PARKING PROVIDED 255 SPACES

MC PARKING REQUIRED 5 SPACES
MC PARKING PROVIDED 6 SPACES

BICYCLE PARKING REQUIRED 34 SPACES (ONE BICYCLE SPACE FOR EACH SIX PERSONS IN RESIDENCE)
BICYCLE PARKING PROVIDED 35 SPACES

LOADING FACILITIES NONE REQUIRED OR PROPOSED.

STRUCTURE ELEVATIONS AND DIMENSIONS
BUILDING AREA (INCLUDING 2ND STORY)

House Type	Area	SF
5-5 DUPLEX W/O BUMPOUT	(3668 SF X 1)	3668 SF
3-3 DUPLEX	(2692 SF X 2)	5384 SF
5-BEDROOM COTTAGE	(1834 SF X 6)	11004 SF
4-BEDROOM COTTAGE	(1556 SF X 2)	3112 SF
3-BEDROOM COTTAGE	(1346 SF X 5)	6730 SF
6-BEDROOM TOWNHOUSE	(5340 SF X 4)	21360 SF
4-BEDROOM TOWNHOUSE	(3564 SF X 7)	24948 SF
TOTAL		76,206 SF

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRD plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

ENGINEER'S SEAL	CAPSTONE STUDENT HOUSING ALBUQUERQUE, NM	DRAWN BY pm
	PHASE 1-SITE PLAN FOR BUILDING PERMIT	DATE 6-18-13
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2011064-SP
		SHEET # C2
		JOB # 2011064

REVISIONS	
△	7.27.2015 EPC COMMENTS
△	8.3.2015 EPC COMMENTS
△	
△	

DRAWN BY	LI
REVIEWED BY	MB
DATE	10/9/2015
PROJECT NO.	15-0067
DRAWING NAME	SITE PLAN

PROJECT NUMBER: 1009090

APPLICATION NUMBER: EPC Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHALL	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT DATA

ADDRESS: 2901 TRANSPORT STREET SE, ALBUQUERQUE, NM 87106

LEGAL DESCRIPTION: TRACT 2, CAPSTONE SUBDIVISION

ZONE ATLAS PAGE: M-15-Z

SITE AREA: 8.3555 ACRES

CURRENT ZONING: SU-1, (I) PERMISSIVE USES AND STUDENT HOUSING

PROPOSED ZONING: NO CHANGE

BUILDING FOOTPRINT: 90,000 SF (PHASE 1: 79,500 SF; PHASE 2: 10,500 SF)

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

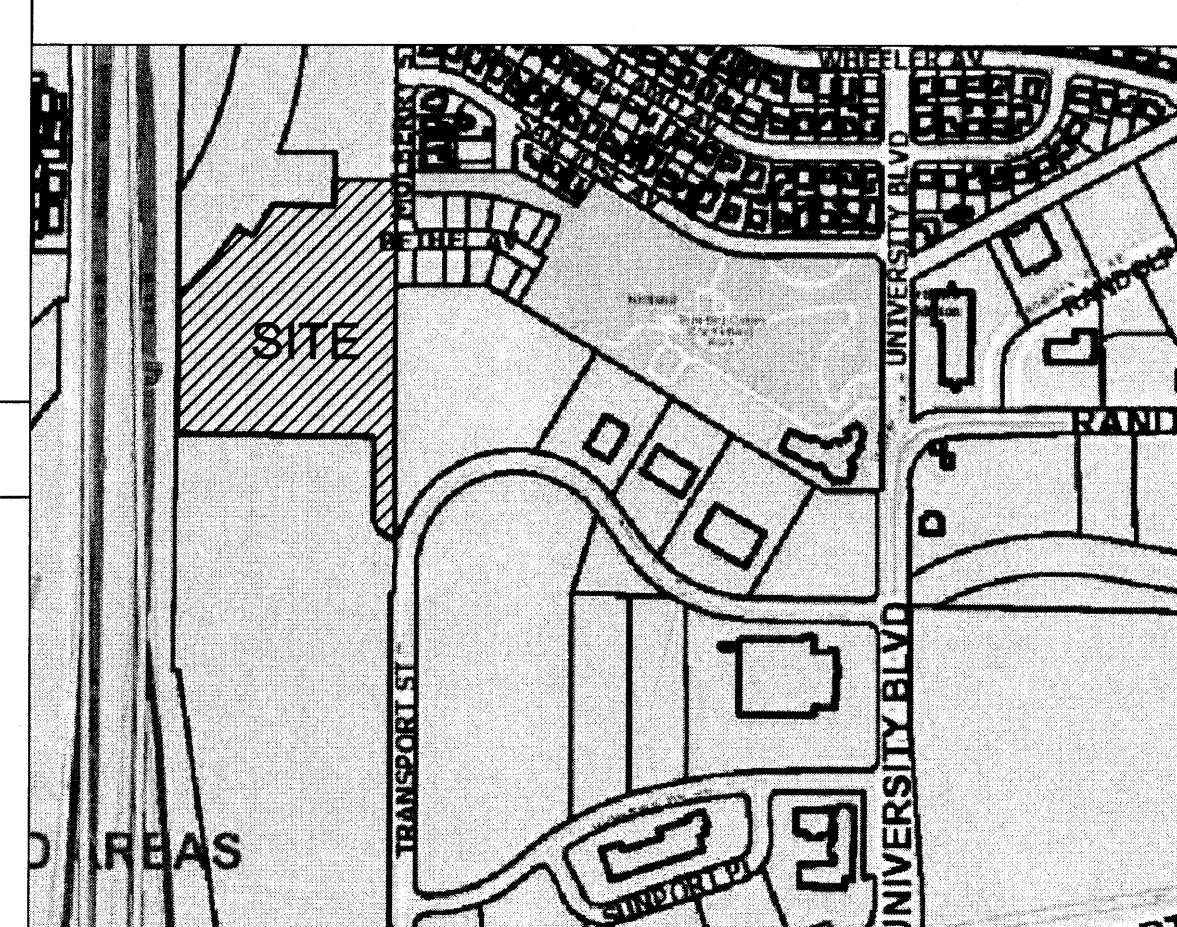
OCCUPANCY GROUP: B

CONSTRUCTION TYPE: IIB, FULLY SPRINKLERED

PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:
MEDICAL OR DENTAL OFFICE, CLINIC: FIVE SPACES FOR EACH DOCTOR = 80
DOCTORS/PROVIDERS = 400 SPACES REQUIRED

TOTAL PROPOSED PARKING:	
STANDARD CAR SPACES	445
ACCESSIBLE SPACES	15 (12 REQUIRED)
TOTAL CAR SPACES	460
MOTORCYCLE SPACES	6 (6 REQUIRED)
BICYCLE PARKING	28 (24 REQUIRED)



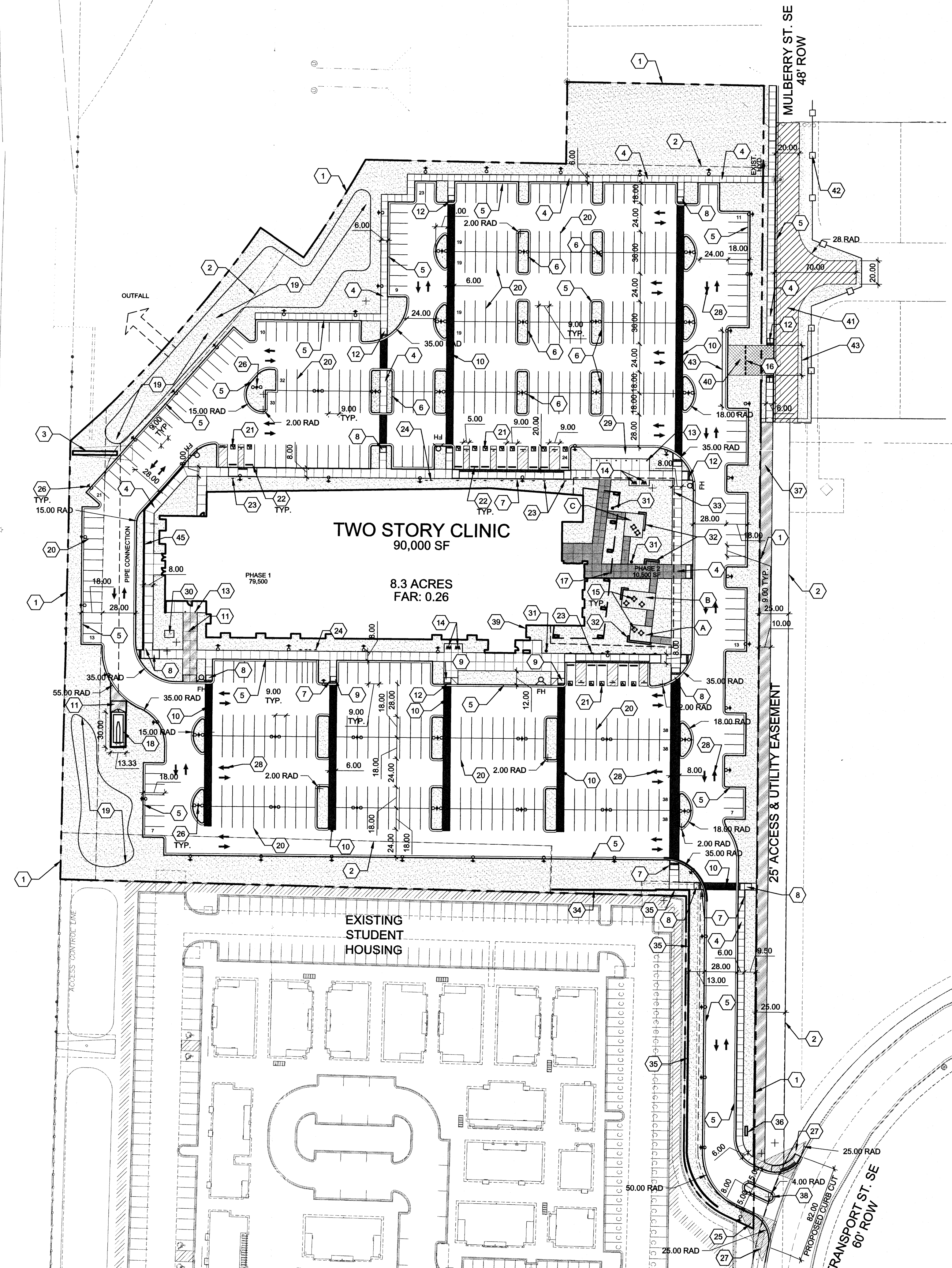
VICINITY MAP
ZONING MAP M-15-Z
NORTH
0 750' 1,500'

- GENERAL SHEET NOTES
- THIS SUBMITTAL ILLUSTRATES THE DESIGN AND DEVELOPMENT INTENT FOR A NEW CLINIC AND ASSOCIATED SITE, LANDSCAPE, GRADING AND UTILITY IMPROVEMENTS.
 - SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED FIXTURES. SEE PLAN FOR POLE FIXTURES.
 - POLE LIGHTS AND SITE FURNISHINGS WILL HAVE COORDINATED AND COMPLEMENTARY LIGHT COLORED, METAL OR PAINTED METAL FINISHES.
 - TWO PHASES ARE INDICATED IN THE SITE PLAN. THE MAJORITY OF BUILDING AND SITE DEVELOPMENT WILL OCCUR IN PHASE 1. PHASE 2 INCLUDES DEVELOPMENT OF ADDITIONAL BUILDING SQUARE FOOTAGE IN THE CONFIGURATION INDICATED ON THE PLANS. SEE SITE DETAILS AND LANDSCAPE DETAILS FOR SITE DESIGN INFORMATION FOR PHASE 1 AROUND THE BUILDING'S MAIN ENTRANCE.
 - MECHANICAL UNITS WILL BE PLACED ON THE ROOF. MECHANICAL UNITS WILL BE SCREENED FROM VIEW WITH A COMBINATION OF STRATEGIC PLACEMENT AND ARCHITECTURAL SCREENING.
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
 - STANDARD PARKING SPACES ARE 9'-0" WIDE, 18'-0" DEEP. TYPICAL. REFER TO DETAIL ON SDP-1.2 FOR ACCESSIBLE PARKING STALL DIMENSIONS

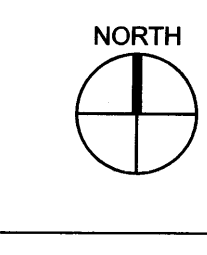
- SHEET KEYED NOTES
- PROPERTY LINE
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 - CONCRETE SIDEWALK
 - CONCRETE CURB AND GUTTER
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- SITE PATIO / AMENITIES
- A PATIO A - 248 SF
 - B PATIO B - 420 SF
 - C PATIO C - 320 SF



SITE PLAN
NORTH
1" = 50'-0"
0 50' 100'



DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

MULTI-SPECIALTY CLINIC
2901 Transport St. SE
ALBUQUERQUE, NM 87106

FOR REFERENCE ONLY

REVISIONS

△	7.27.2015 EPC COMMENTS
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DRAWN BY	LI
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DATE	10/13/2015
PROJECT NO.	15-0067
DRAWING NAME	SITE PLAN

SHEET NO. SDP 1.1 OF

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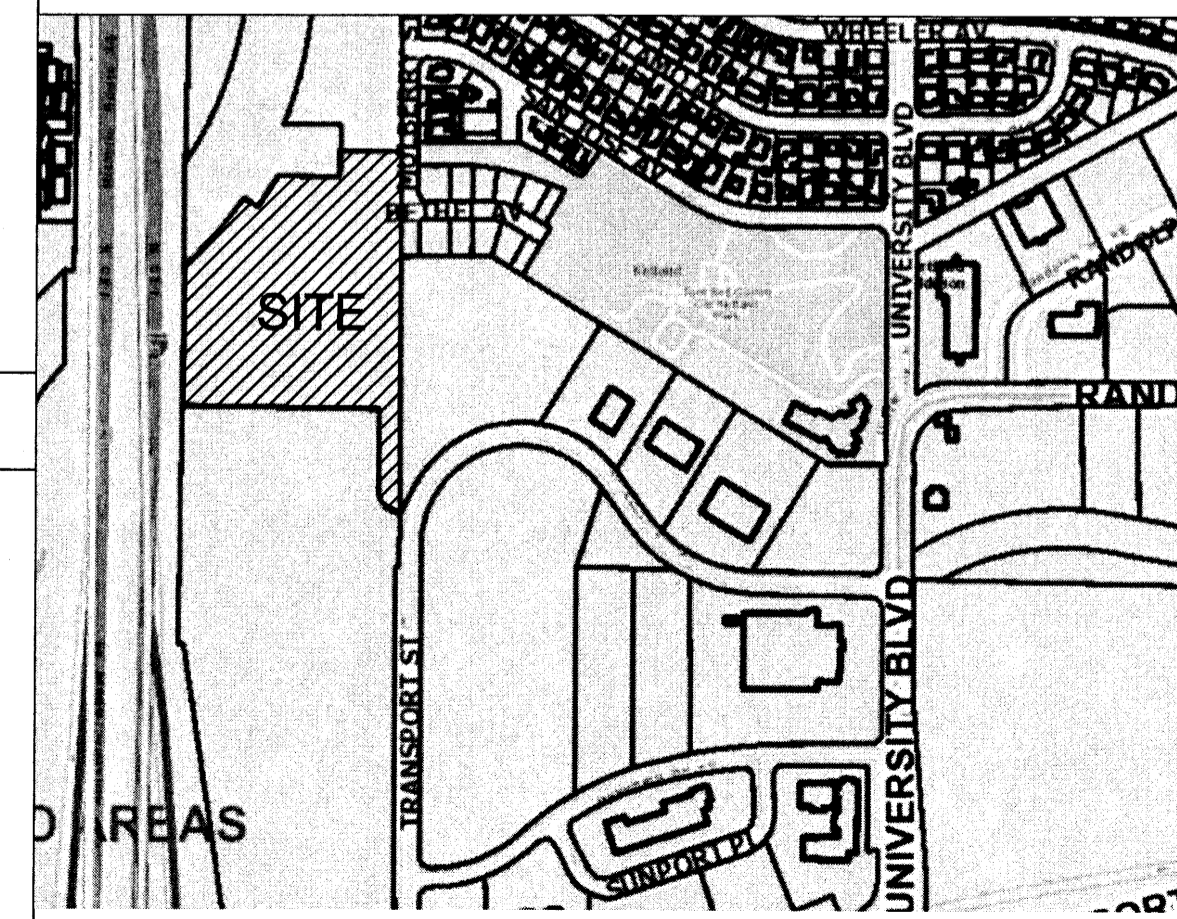
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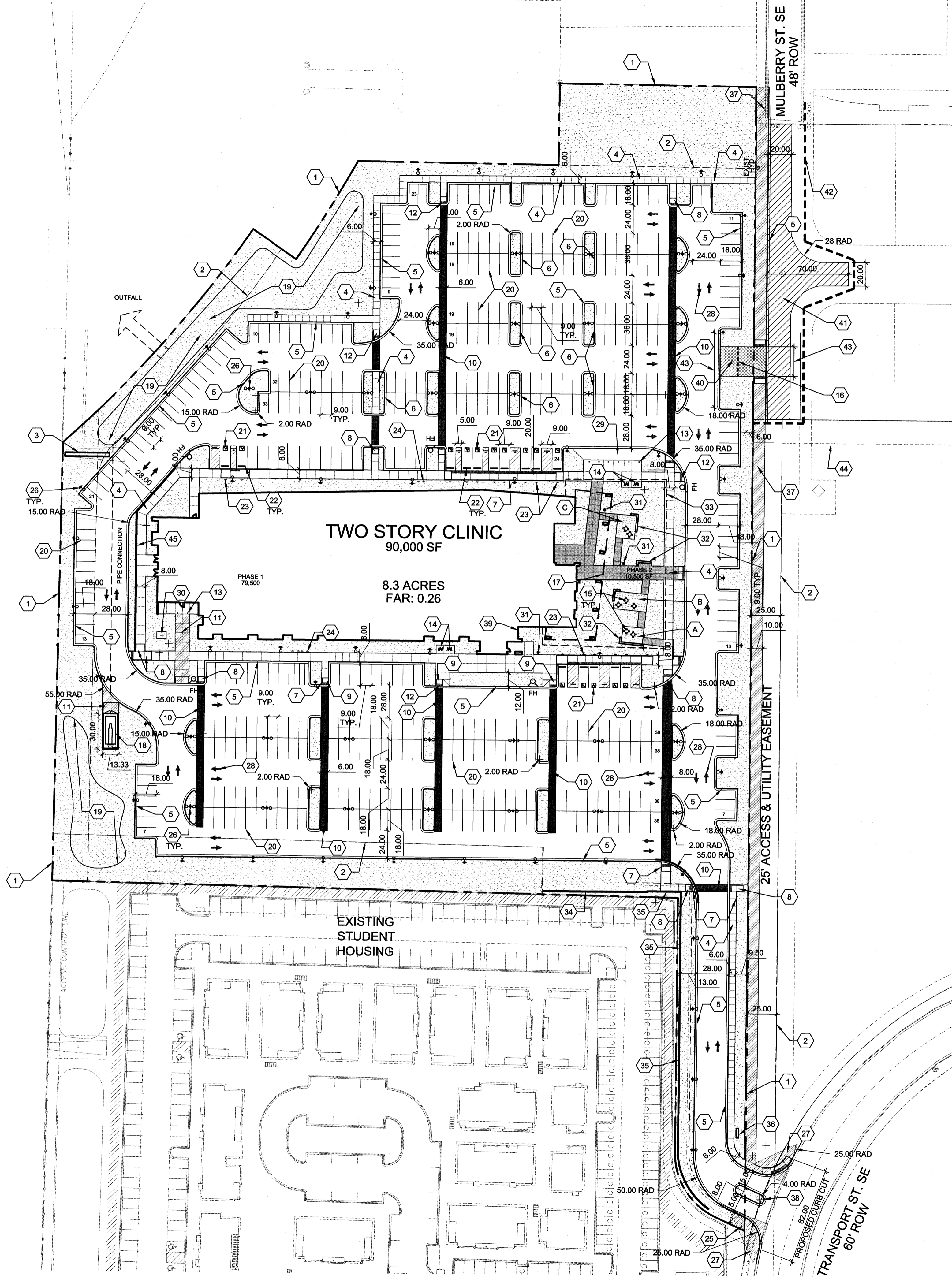
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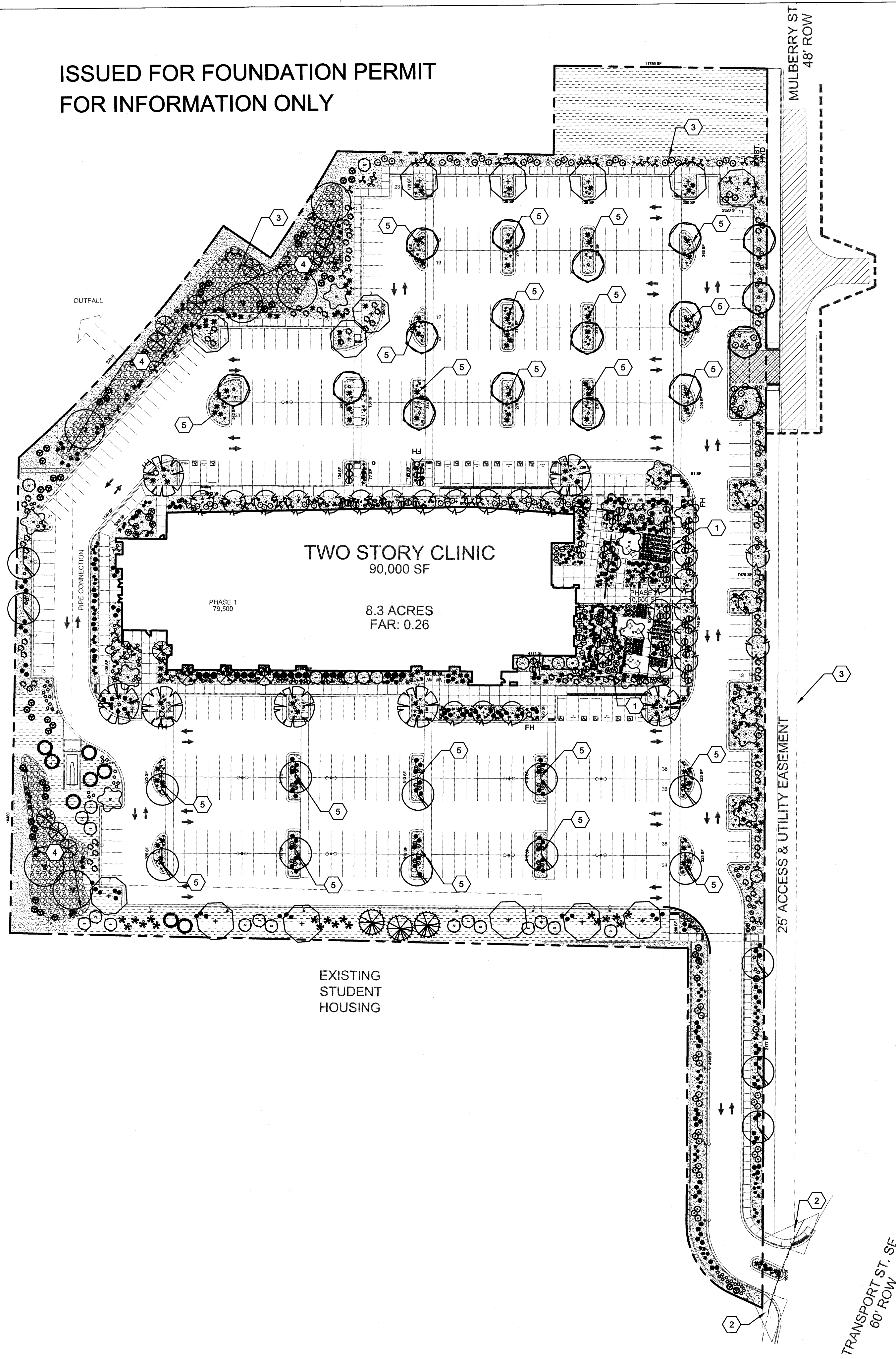
SITE PATIO / AMENITIES

- PATIO A - 248 SF
- PATIO B - 420 SF
- PATIO C - 320 SF



A1 SITE PLAN

ISSUED FOR FOUNDATION PERMIT
FOR INFORMATION ONLY



PLANT LEGEND

TREES			
SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	DESERT WILLOW	Chilopsis linearis (Multi-trunk)	LOW
	NEW MEXICO OLIVE	Forestiera neomexicana	LOW
	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	LOW
	MODESTO ASH	Fraxinus velutina 'Modesto'	MED
	CHINESE PISTACHE	Pistacia chinensis	MED
	ROCKY MOUNTAIN JUNIPER	Juniperus scopulorum	MED
	RIO GRANDE COTTONWOOD	Populus wislizeni (Multi-trunk)	MED
	TEXAS RED OAK	Quercus buckleyi	MED
	AUSTRIAN PINE	Pinus nigra	LOW
	ACCOLADE ELM	Ulmus 'Frontier'	MED
SHRUBS			
SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	DARK KNIGHT BLUE MIST SPIREA	Caryopteris x clandonensis 'Dark Knight'	MED
	FERNBUSH	Chamaebatiaria millefolium	LOW
	DAMIANITA	Chrysactinia mexicana	LOW
	THOMPSON BROOM	Baccharis hybrid 'Starn Thompson'	LOW
	APACHE PLUME	Fallugia paradoxa	LOW
	CREEPING MAHONIA	Mahonia repens	LOW
	PRUNUS BESSEYI 'PAWNEE BUTTES'	Creeping Sandcherry	LOW
	TURPENTINE BUSH	Ericameria laricifolia	LOW
	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'	LOW
	EVERGREEN SUMAC	Rhus virens	LOW
	MOJAVE SAGE	Salvia mohavensis	LOW
	SNOWBERRY	Symphoricarpos albus	LOW
	SHRUBBY CINQUEFOIL	Potentilla fruticosa	MED
	SALVIA OFFICINALIS MINIMUS	Little-leaf Culinary Sage	LOW
PERENNIALS			
SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	ROCKY MOUNTAIN COLUMBINE	Aquilegia caerulea	MED
	WHIRLING BUTTERFLIES	Gaura lindheimeri	LOW
	MAY NIGHT SAGE	Salvia 'May Night'	LOW
GRASSES			
SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	KARL FOERSTER REED GRASS	Calamagrostis x acutifolia 'Karl Foerster'	LOW
	ELIJAH BLUE FESCUE	Festuca glauca 'Elijah Blue'	MED
	MEXICAN FEATHER GRASS	Nassella tenuissima	LOW
	GIANT SACATON	Sporobolus wrightii	LOW
	DEER GRASS	Muhlenbergia rigens	LOW
	INDIAN RICEGRASS	Oryzopsis hymenoides	LOW
ACCENTS			
SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	NEW MEXICO AGAVE	Agave neomexicana	LOW
	GIANT HESPERALOE	Hesperaloe funifera	LOW
	YELLOW FLOWERING YUCCA	Hesperaloe parviflora 'Yellow'	LOW
	BEARGRASS	Nolina microcarpa	LOW
	SOAP TREE YUCCA	Yucca elata	LOW
	PALE YUCCA	Yucca pallida	LOW
MULCHES			
SYMBOL	DESCRIPTION		
	1/2" Ø ROCK MULCH OVER FILTER FABRIC, 3" DEPTH MIN. COLOR: TAN / BROWN		
	3/8" Ø ROCK MULCH OVER FILTER FABRIC, 3" DEPTH MIN. COLOR: TAN / BROWN		
	4" - 6" COBBLES		
	IRRIGATED NATIVE SEED BLEND CABQ EASTSIDE MIX, HYDROMULCH		

SHEET KEYED NOTES

- PHASE TWO LIMITS
 - CLEAR SITE TRIANGLE
 - EXISTING EASEMENT
 - PROPOSED PONDING AREA, SEE CIVIL
 - WATER HARVESTING AREA
- PLANTING NOTES**
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90 DAY MAINTENANCE PERIOD.
 - STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT.
 - EXISTING PLANT MATERIALS: THE MAJORITY OF THE SITE HAS BEEN DISTURBED. THERE IS NO SIGNIFICANT PLANT MATERIAL TO BE PRESERVED OR PROTECTED ON THE SITE.
 - TURF AREA: GRASS TURF AREAS ARE NOT INCLUDED IN THIS PLAN.
 - TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE BUILDING OCCUPANCY. LANDSCAPE IMPROVEMENTS WILL BE PHASED IN ASSOCIATION WITH THE PHASED SITE DEVELOPMENT INDICATED.
 - SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION OR MULCH.
 - VEGETATION: A MINIMUM OF 40% OF INSTALLED SHRUBS, ACCENT PLANTS AND ORNAMENTAL GRASSES WILL BE EVERGREEN IN ORDER TO PROVIDE SIGNIFICANT WINTER INTEREST AND VISUAL IMPACT.
 - WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE PLANS. SEE IRRIGATION NOTES.
 - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE INSTALLED IN THESE AREAS.

IRRIGATION NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION INSTALLATION DURING CONSTRUCTION AND THE 90-DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATE OF COMPLIANCE WITH WATER CONSERVATION REGULATIONS: THE IRRIGATION DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
- IRRIGATION DESIGN DESCRIPTION: A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE PLANTS IN THE PROJECT AREA. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO WATER REQUIREMENTS. ON AVERAGE, EACH TREE SHALL RECEIVE THREE (3) - TWO (2) GPH EMITTERS EACH AND ALL OTHER PLANT MATERIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS EACH.
- WATER SOURCE AND PROTECTION: THE WATER SOURCE FOR PROJECT IRRIGATION WILL BE CITY WATER. A BACKFLOW PREVENTER AND MASTER VALVE WILL BE PROVIDED PER COA STANDARD DETAIL 2701.
- WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE LANDSCAPE PLAN. THE IRRIGATION SYSTEM DESIGN WILL INCLUDE A SMART CONTROLLER AND A MOISTURE SENSOR TO REDUCE POTABLE WATER FOR IRRIGATION.

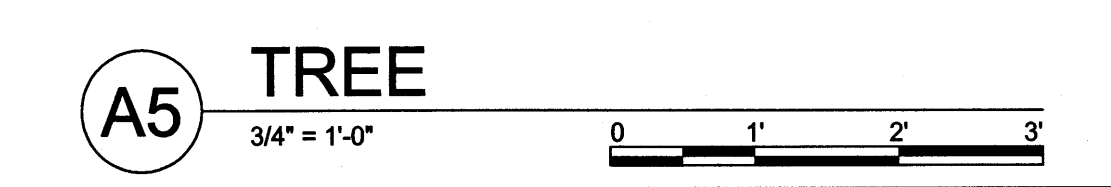
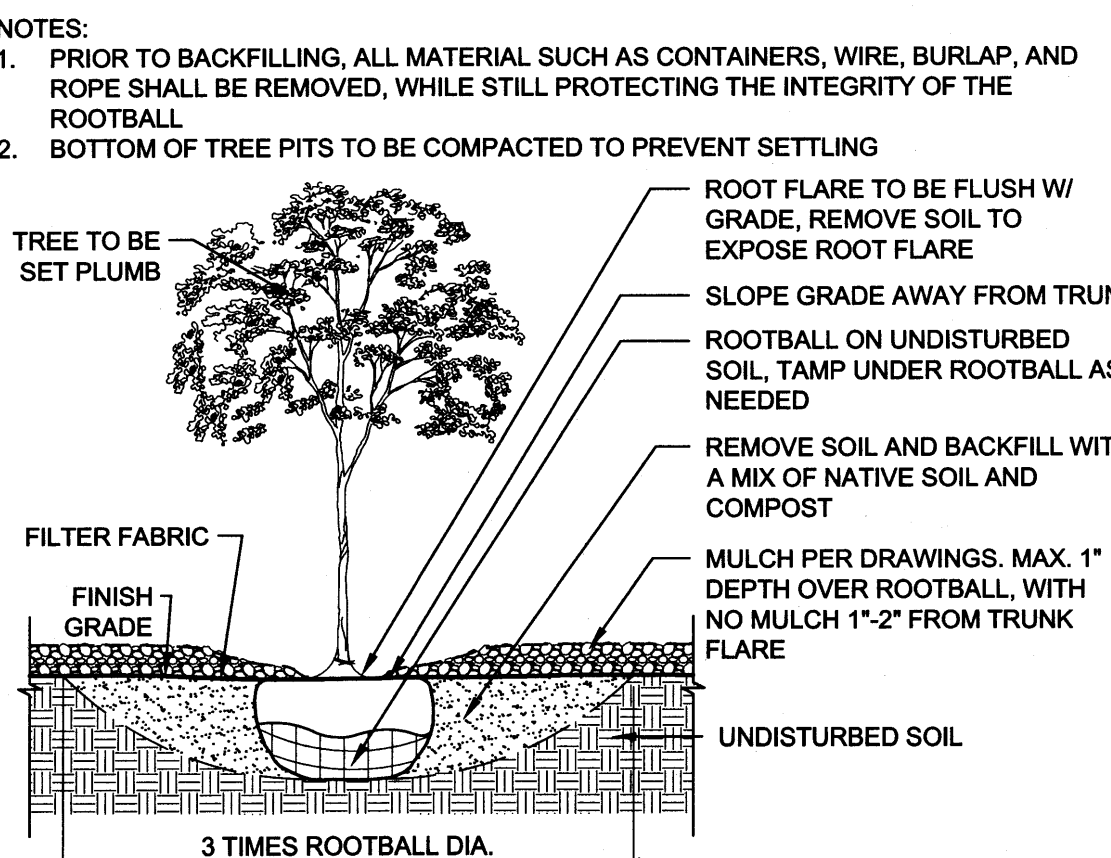
LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 8.355 AC = 363,944 SF
 AREA OF LOT COVERED BY BUILDING (AT FULL BUILD-OUT) = 90,000 SF
 NET LOT AREA = 273,944 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 41,091 SF
 PROVIDED LANDSCAPE AREA (AT FULL BUILD-OUT) = 90,788 SF = 33%
 LANDSCAPE AREA CALCULATION DOES NOT INCLUDE R.O.W.
 THERE IS NO HIGH WATER USE TURF GRASS ON THIS PROJECT

TREES PER PARKING SPACES - REQUIRED = 1 TREE / 10 PARKING SPACES
 NUMBER OF PARKING = 460 SPACES (AT FULL BUILD-OUT)
 REQUIRED NUMBER OF TREES = 46 TREES
 PROVIDED NUMBER OF TREES = 114 TREES

THE LANDSCAPE PLAN MEETS THE 75% LIVE GROUND COVERAGE REQUIREMENT AS STATED IN THE ZONING CODE
 75% OF REQUIRED COVERAGE: 30,818 SF
 SITE HAS 20,011 SF OF PLANT COVERAGE



7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

MULTI-SPECIALTY CLINIC
2901 Transport St. SE,
ALBUQUERQUE, NM 87106

FOR REFERENCE ONLY

REVISIONS

 7/27/15 EPC SUBMITTAL
 8.3.2015 EPC COMMENTS

DRAWN BY MV
 REVIEWED BY MB
 DATE 10/13/2015
 PROJECT NO. 15-0067
 DRAWING NAME

LANDSCAPE PLAN

SHEET NO.
SDP 2.1
OF



REVISIONS

△	7.27.2015 EPC COMMENTS
△	8.3.2015 EPC COMMENTS
△	
△	

DRAWN BY	LI
REVIEWED BY	MB
DATE	09/11/2015
PROJECT NO.	15-P071
DRAWING NAME	SITE PLAN

PROJECT NUMBER: 1009090

APPLICATION NUMBER: EPC Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
UTILITIES DIVISION	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
SOLID WASTE MANAGEMENT	DATE
FIRE MARSHALL	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

PROJECT DATA

ADDRESS: 2901 TRANSPORT STREET SE, ALBUQUERQUE, NM 87106

LEGAL DESCRIPTION: TRACT 2, CAPSTONE SUBDIVISION

ZONE ATLAS PAGE: M-15-Z

SITE AREA: 8.3555 ACRES

CURRENT ZONING: SU-1, IF PERMISSIVE USES AND STUDENT HOUSING

PROPOSED ZONING: NO CHANGE

BUILDING FOOTPRINT: 90,000 SF (PHASE 1: 79,500 SF; PHASE 2: 10,500 SF)

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

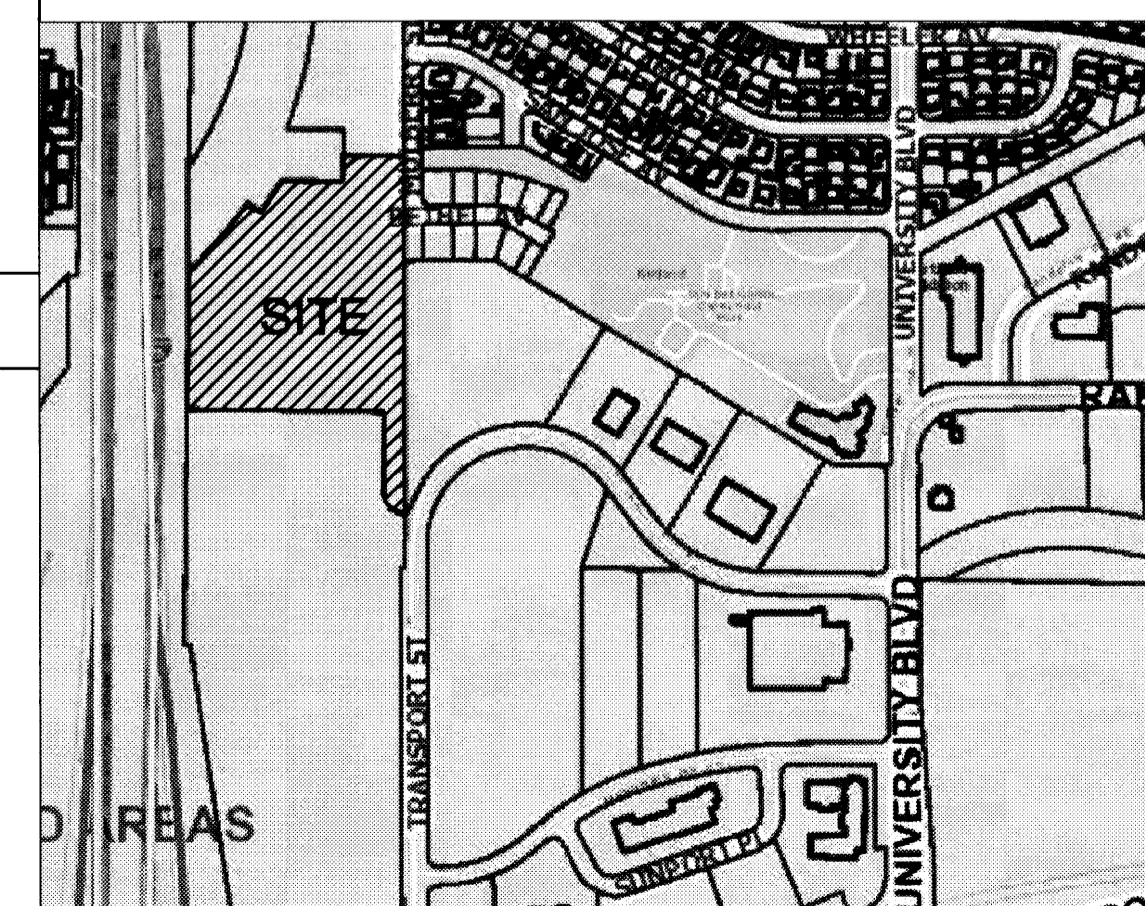
OCCUPANCY GROUP: B

CONSTRUCTION TYPE: IIB, FULLY SPRINKLERED

PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:
MEDICAL OR DENTAL OFFICE, CLINIC: FIVE SPACES FOR EACH DOCTOR= 80
DOCTORS/PROVIDERS = 400 SPACES REQUIRED

TOTAL PROPOSED PARKING:	
STANDARD CAR SPACES	445
ACCESSIBLE SPACES	15 (12 REQUIRED)
TOTAL CAR SPACES	460
MOTORCYCLE SPACES	6 (6 REQUIRED)
BICYCLE PARKING	28 (24 REQUIRED)



VICINITY MAP
NORTH
ZONING MAP M-15-Z
0 750' 1,500'

GENERAL SHEET NOTES

- THIS SUBMITTAL ILLUSTRATES THE DESIGN AND DEVELOPMENT INTENT FOR A NEW CLINIC AND ASSOCIATED SITE, LANDSCAPE, GRADING AND UTILITY IMPROVEMENTS.
- SITE LIGHTING WILL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED FIXTURES. SEE PLAN FOR POLE FIXTURES.
- POLE LIGHTS AND SITE FURNISHINGS WILL HAVE COORDINATED AND COMPLEMENTARY LIGHT COLORED, METAL OR PAINTED METAL FINISHES.
- TWO PHASES ARE INDICATED IN THE SITE PLAN. THE MAJORITY OF BUILDING AND SITE DEVELOPMENT WILL OCCUR IN PHASE 1. PHASE 2 INCLUDES DEVELOPMENT OF ADDITIONAL BUILDING SQUARE FOOTAGE IN THE CONFIGURATION INDICATED ON THE PLANS. SEE SITE DETAILS AND LANDSCAPE DETAILS FOR SITE DESIGN INFORMATION FOR PHASE 1 AROUND THE BUILDING'S MAIN ENTRANCE.
- MECHANICAL UNITS WILL BE PLACED ON THE ROOF. MECHANICAL UNITS WILL BE SCREENED FROM VIEW WITH A COMBINATION OF STRATEGIC PLACEMENT AND ARCHITECTURAL SCREENING.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- STANDARD PARKING SPACES ARE 9'-0" WIDE, 18'-0" DEEP, TYPICAL. REFER TO DETAIL ON SDP.1.2 FOR ACCESSIBLE PARKING STALL DIMENSIONS.

SHEET KEYED NOTES

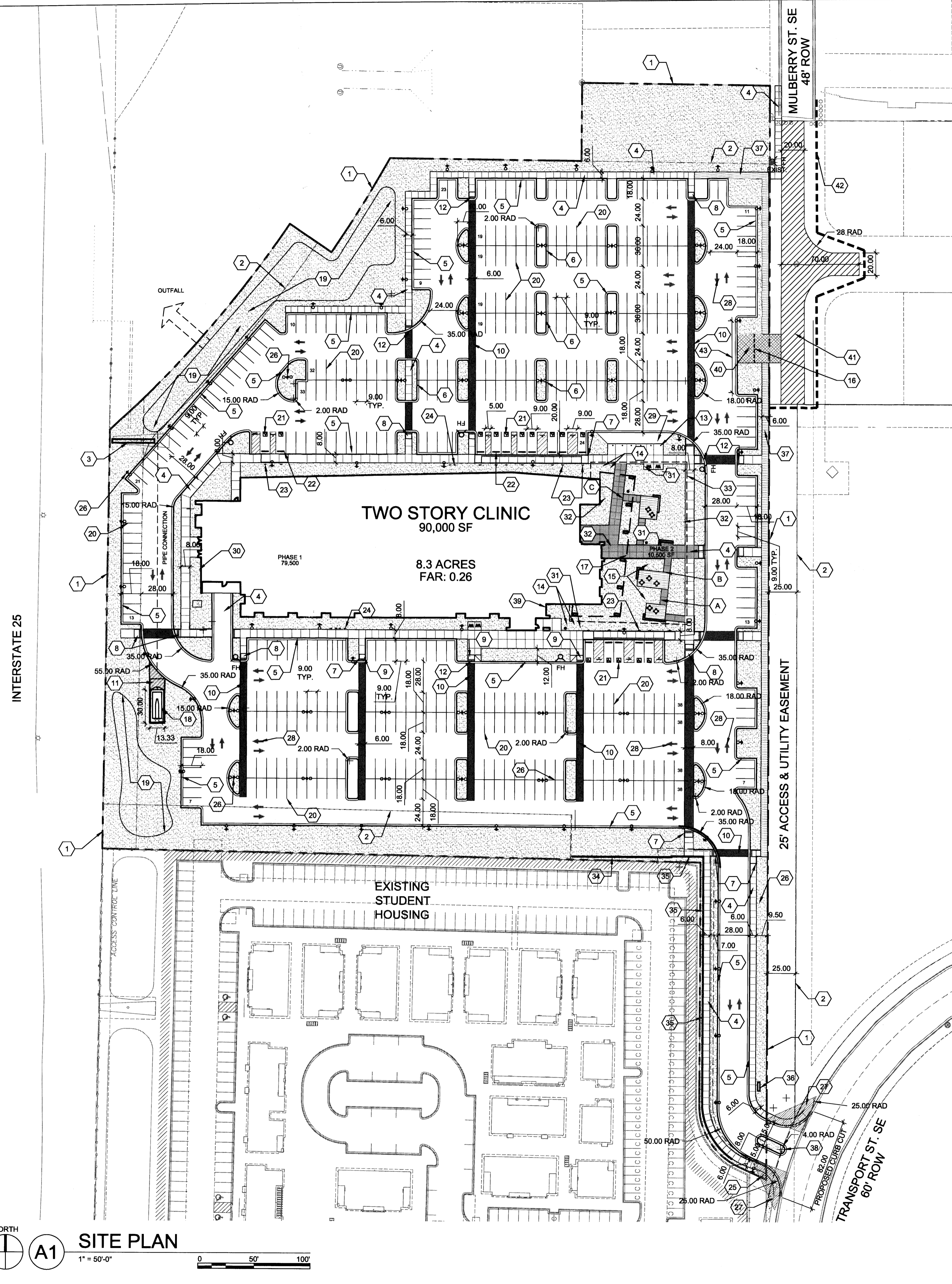
- PROPERTY LINE
- EASEMENT LINE
- EXISTING BILLBOARD SIGN TO REMAIN
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- CONCRETE FLUSH CURB
- CONCRETE HEADER CURB
- CONCRETE ACCESSIBLE RAMP, TYPE A PER COA DPM STANDARDS
- CONCRETE ACCESSIBLE RAMP, TYPE B PER COA DPM STANDARDS
- HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR TBD
- REINFORCED CONCRETE PAVING IN SERVICE YARD, COLOR NONE
- DETECTABLE WARNING SURFACE
- BOLLARD, COLOR TBD
- BIKE RACKS
- TABLE AND CHAIRS
- EMERGENCY ONLY ACCESS GATE WITH KNOX BOX
- OVERHEAD SEE ARCHITECTURAL SHEETS
- COMPACTOR, 34 CU. YD. CAPACITY, SEE A1/SDP-1.2 FOR ENCLOSURE GATE ELEVATION
- POND
- PARKING STRIPING
- ADA PAVEMENT MARKING, SEE A5/SDP-1.2
- PARKING BUMPER
- ACCESSIBLE PARKING SIGN, SEE B1/SDP-1.2
- MOTORCYCLE PARKING SIGN, SEE B1/SDP-1.2
- STOP SIGN, SEE B1/SDP-1.2
- SITE LIGHTING: SEE LEGEND
- CLEAR SIGHT TRIANGLE - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- PAVEMENT ARROWS
- DROP OFF AREA
- TRANSFORMER
- LITTER RECEPTACLE
- SEATWALL
- PHASE 2 BOUNDARY
- 5' TALL CMU WITH STUCCO SCREEN WALL
- 6' TALL CMU WITH STUCCO SCREEN WALL
- DOUBLE SIDED MONUMENT SIGN A, SEE A3/SDP-1.2
- STABILIZED CRUSHER FINES TRAIL
- LOW PROFILE MOUNTABLE CURB AT MEDIAN
- FIRE DEPARTMENT CONNECTION (FDC)
- EMERGENCY ACCESS DRIVE (GRASS-CRETE PAVERS) WITH MOUNTABLE CURB
- NEW ROADWAY IN PUBLIC RIGHT OF WAY
- GUARD RAIL OR JERSEY BARRIER
- MOUNTABLE CURB, MARKED "FIRE LANE - NO PARKING"

LEGEND

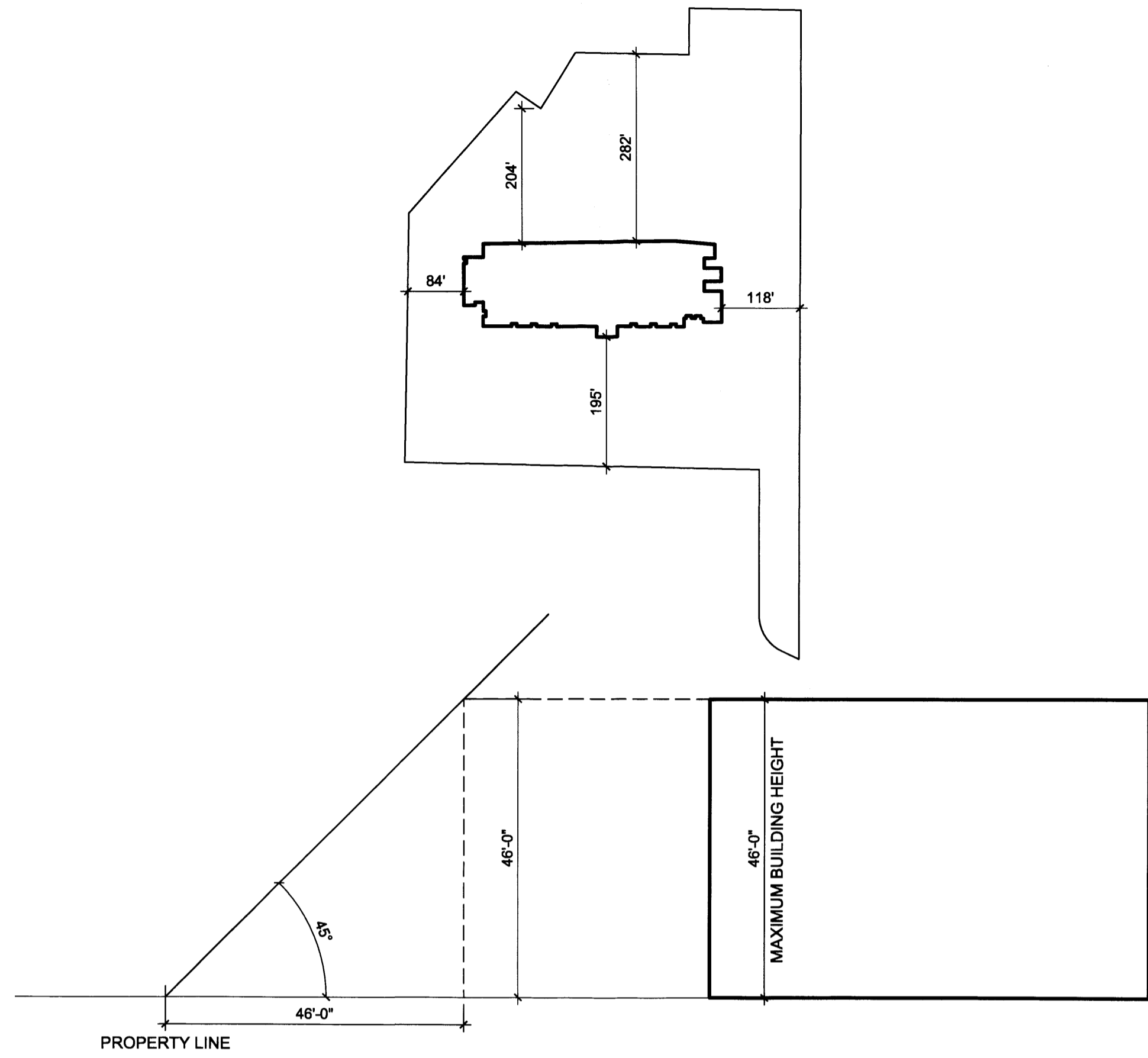
- PROPERTY LINE
- EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
- 16'-0" MAX HT. POLE LIGHT PER SECTION 14-16-3-9 OF ZONING CODE, DOUBLE, FULL CUT-OFF
- 16'-0" MAX HT. POLE LIGHT PER SECTION 14-16-3-9 OF ZONING CODE, SINGLE, FULL CUT-OFF
- FIRE HYDRANT
- STABILIZED CRUSHER FINES
- REINFORCED CONCRETE PAVING
- DECORATIVE CONCRETE PAVING, COLOR TBD
- HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR TBD
- LANDSCAPE AREA, SEE SDP-2.1

SITE PATIO / AMENITIES

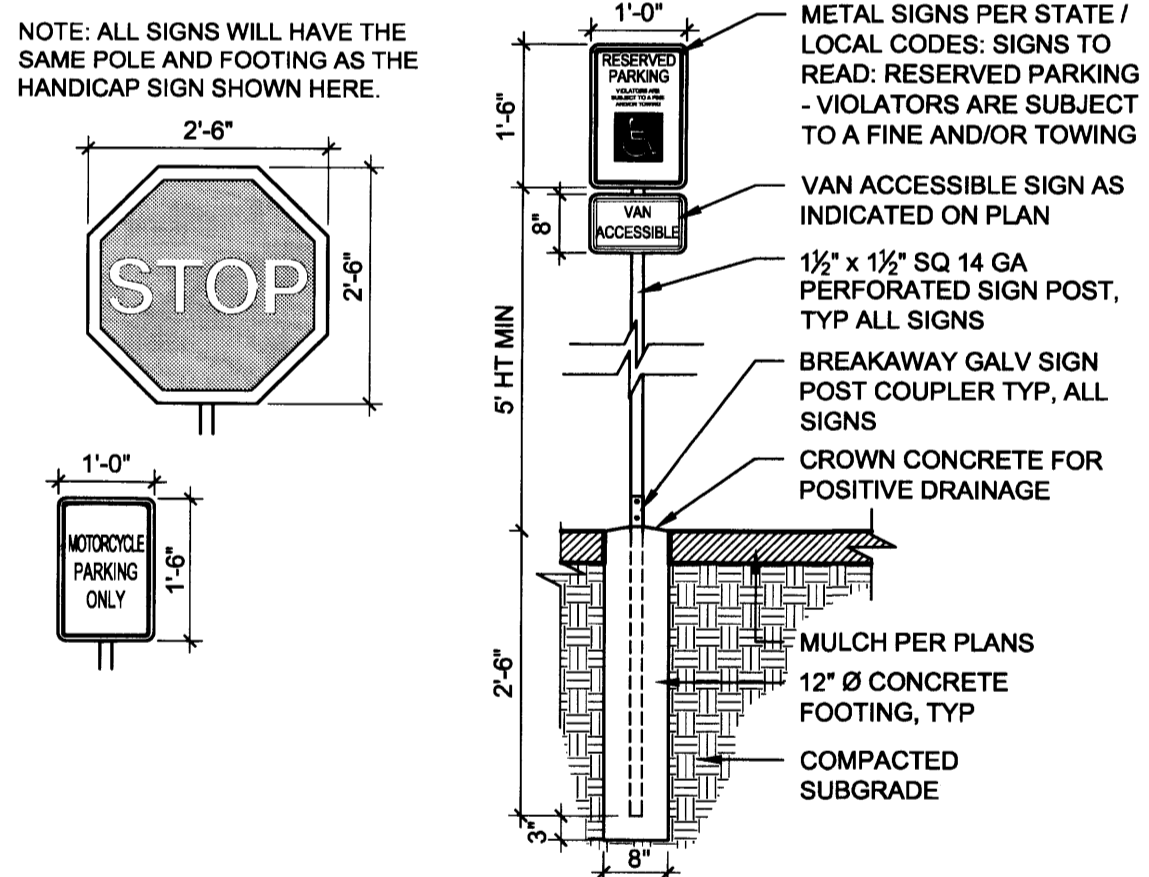
- A PATIO A - 430 SF
- B PATIO B - 620 SF
- C PATIO C - 320 SF



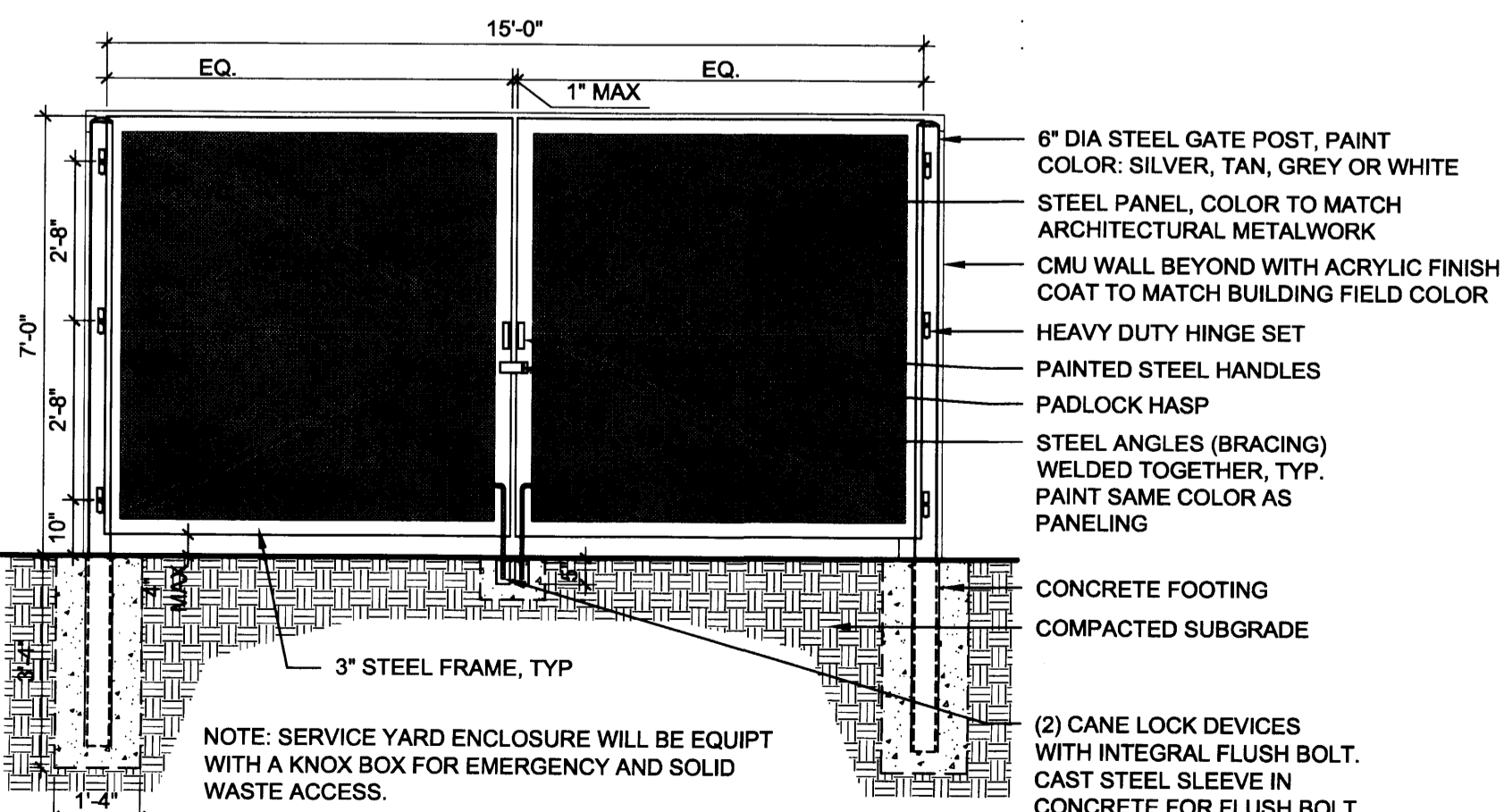
SITE PLAN
NORTH
1" = 50'-0"
0 50' 100'



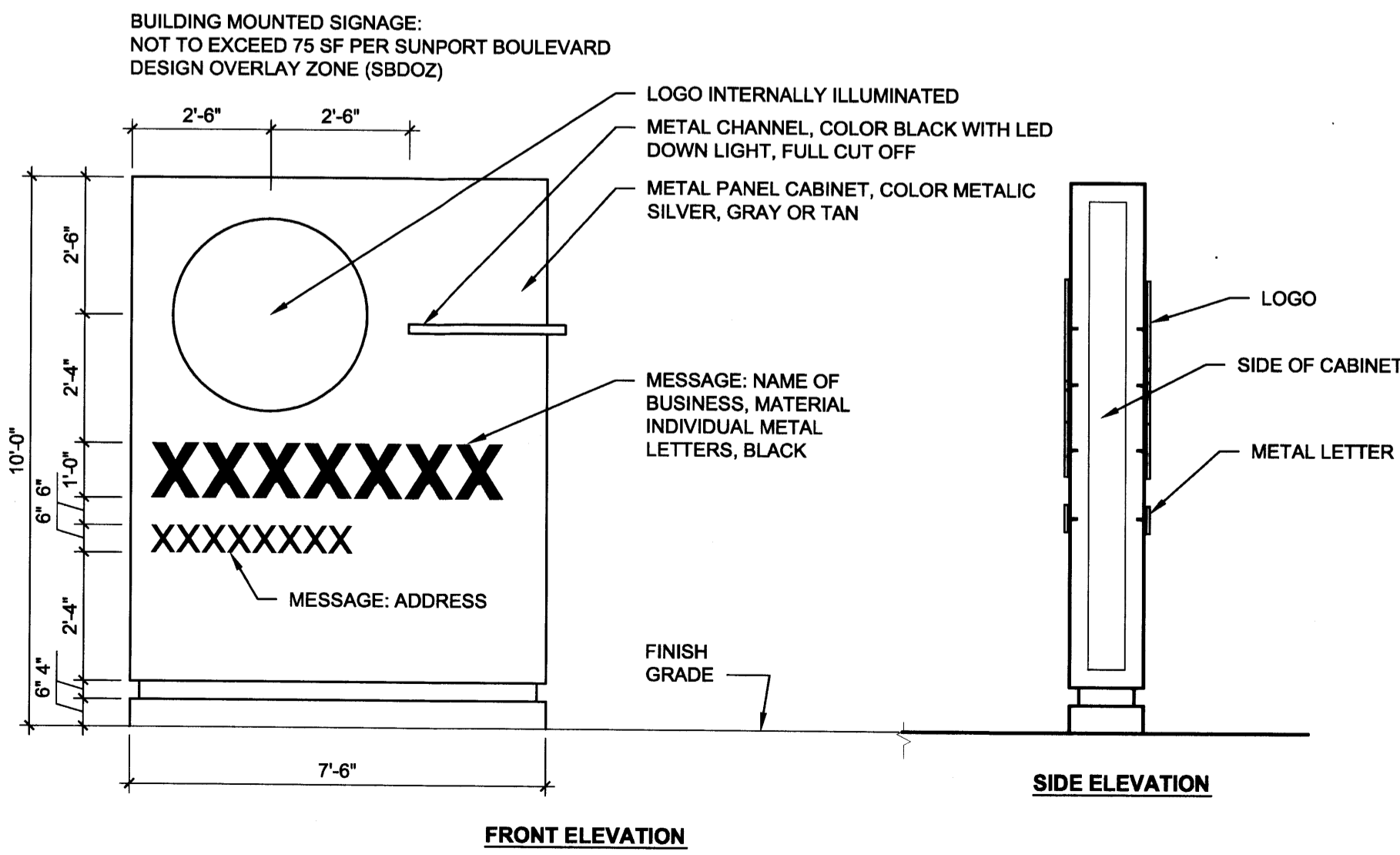
C1 SOLAR ACCESS SETBACK DIAGRAM
NOT TO SCALE



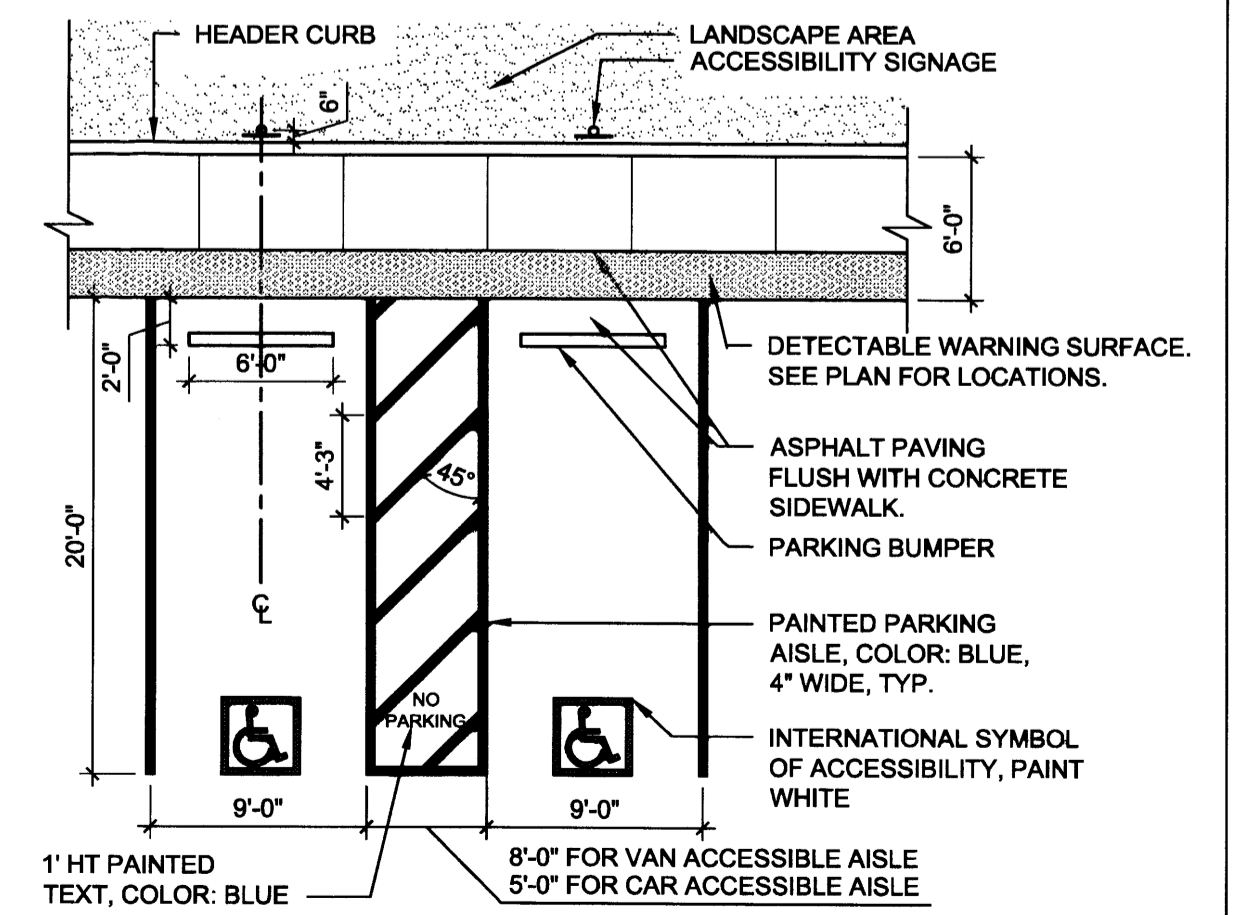
B1 SITE SIGNAGE
1/2" = 1'-0"



A1 SERVICE YARD ENCLOSURE GATE
3/8" = 1'-0"



A3 DOUBLE SIDED MONUMENT SIGN A
3/8" = 1'-0"



A5 ACCESSIBLE PARKING
1/8" = 1'-0"

REVISIONS

△	7.27.2015 EPC COMMENTS
△	8.3.2015 EPC COMMENTS
△	

DRAWN BY	LI
REVIEWED BY	MB
DATE	09/11/2015
PROJECT NO.	15-P071
DRAWING NAME	SITE DETAILS

SHEET KEYED NOTES

1. PHASE TWO LIMITS
2. CLEAR SITE TRIANGLE
3. EXISTING EASEMENT
4. PROPOSED PONDING AREA, SEE CIVIL
5. WATER HARVESTING AREA

PLANTING NOTES

1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE INSTALLATION DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90 DAY MAINTENANCE PERIOD.
2. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: GENERAL LANDSCAPE REGULATIONS SECTION 14-16-3-10: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS APPLICABLE TO NON-RESIDENTIAL DEVELOPMENT.
3. EXISTING PLANT MATERIALS: THE MAJORITY OF THE SITE HAS BEEN DISTURBED. THERE IS NO SIGNIFICANT PLANT MATERIAL TO BE PRESERVED OR PROTECTED ON THE SITE.
4. TURF AREA: GRASS TURF AREAS ARE NOT INCLUDED IN THIS PLAN.
5. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE BUILDING OCCUPANCY. LANDSCAPE IMPROVEMENTS WILL BE PHASED IN ASSOCIATION WITH THE PHASED SITE DEVELOPMENT INDICATED.
6. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION OR MULCH.
7. VEGETATION: A MINIMUM OF 40% OF INSTALLED SHRUBS, ACCENT PLANTS AND ORNAMENTAL GRASSES WILL BE EVERGREEN IN ORDER TO PROVIDE SIGNIFICANT WINTER INTEREST AND VISUAL IMPACT.
8. WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE PLANS. SEE IRRIGATION NOTES.
9. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE INSTALLED IN THESE AREAS.

IRRIGATION NOTES

1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION INSTALLATION DURING CONSTRUCTION AND THE 90-DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
2. STATE OF COMPLIANCE WITH WATER CONSERVATION REGULATIONS: THE IRRIGATION DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE'S WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE.
3. IRRIGATION DESIGN DESCRIPTION: A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE PLANTS IN THE PROJECT AREA. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH SEPARATE ZONES ACCORDING TO WATER REQUIREMENTS. ON AVERAGE, EACH TREE SHALL RECEIVE THREE (3) - TWO (2) GPH EMITTERS EACH AND ALL OTHER PLANT MATERIAL SHALL RECEIVE TWO (2) - ONE (1) GPH EMITTERS EACH.
4. WATER SOURCE AND PROTECTION: THE WATER SOURCE FOR PROJECT IRRIGATION WILL BE CITY WATER. A BACKFLOW PREVENTER AND MASTER VALVE WILL BE PROVIDED PER COA STANDARD DETAIL 2701.
5. WATER HARVESTING: PASSIVE AND ACTIVE WATER HARVESTING ZONES ARE INDICATED ON THE LANDSCAPE PLAN. THE IRRIGATION SYSTEM DESIGN WILL INCLUDE A SMART CONTROLLER AND A MOISTURE SENSOR TO REDUCE POTABLE WATER FOR IRRIGATION.

LANDSCAPE CALCULATIONS

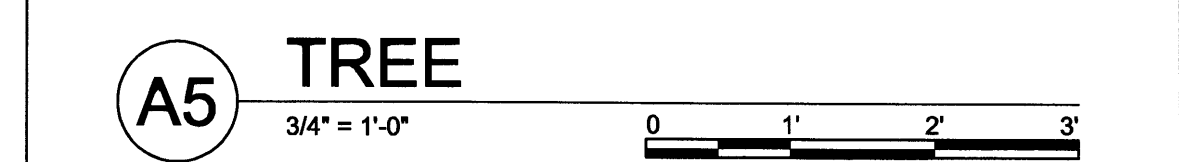
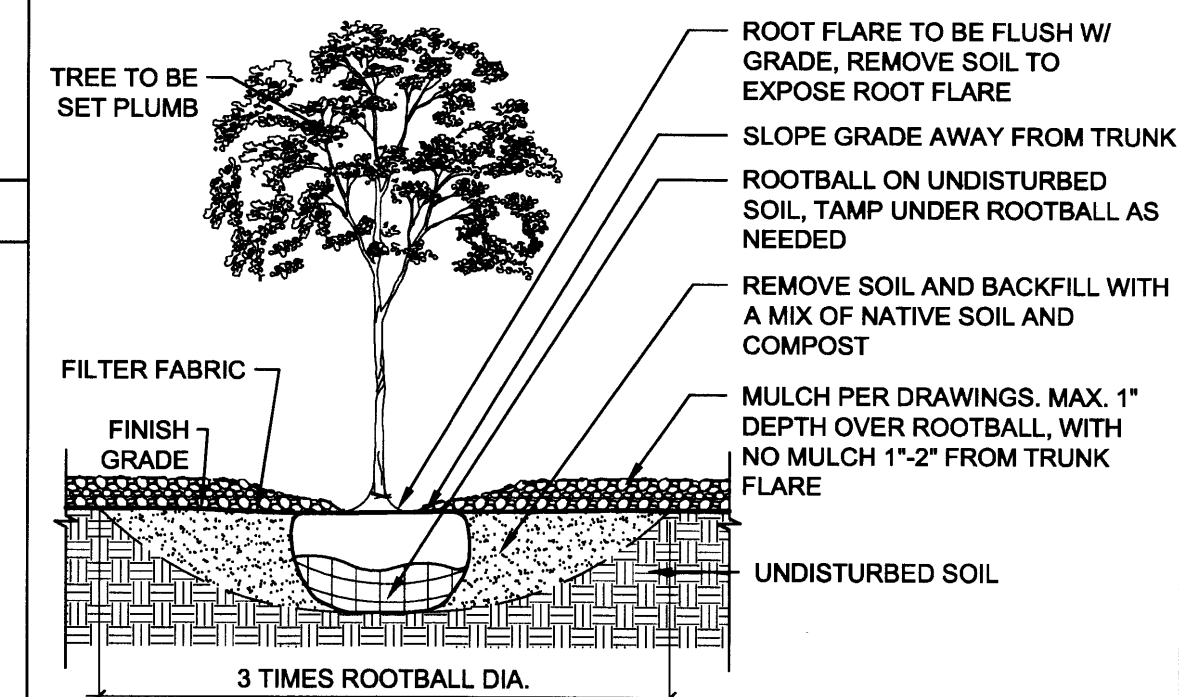
TOTAL SITE AREA = 8,355 AC = 363,944 SF
 AREA OF LOT COVERED BY BUILDING (AT FULL BUILD-OUT) = 90,000 SF
 NET LOT AREA = 273,944 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 41,091 SF
 PROVIDED LANDSCAPE AREA (AT FULL BUILD-OUT) = 101,945 SF = 35%
 LANDSCAPE AREA CALCULATION DOES NOT INCLUDE R.O.W.
 THERE IS NO HIGH WATER USE TURF GRASS ON THIS PROJECT

TREES PER PARKING SPACES - REQUIRED = 1 TREE / 10 PARKING SPACES
 NUMBER OF PARKING = 460 SPACES (AT FULL BUILD-OUT)
 REQUIRED NUMBER OF TREES = 46 TREES
 PROVIDED NUMBER OF TREES = 83 TREES

THE LANDSCAPE PLAN MEETS THE 75% LIVE GROUND COVERAGE REQUIREMENT AS STATED IN THE ZONING CODE
 SITE HAS 101,945 SF TOTAL LANDSCAPE AREA. 75% OF REQUIRED COVERAGE:
 76458 SF
 SITE HAS 12,810 SF OF PLANT COVERAGE

- NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP, AND ROPE SHALL BE REMOVED, WHILE STILL PROTECTING THE INTEGRITY OF THE ROOTBALL
 2. BOTTOM OF TREE PITS TO BE COMPACTED TO PREVENT SETTLING



PLANT LEGEND

TREES	SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	(Symbol)	DESERT WILLOW	Chilopsis linearis (Multi-trunk)	LOW
	(Symbol)	NEW MEXICO OLIVE	Forestiera neomexicana	LOW
	(Symbol)	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	LOW
	(Symbol)	MODESTO ASH	Fraxinus velutina 'Modesto'	MED
	(Symbol)	CHINESE PISTACHE	Pistacia chinensis	MED
	(Symbol)	ROCKY MOUNTAIN JUNIPER	Juniperus scopulorum	MED
	(Symbol)	RIO GRANDE COTTONWOOD	Populus wislizeni (Multi-trunk)	MED
	(Symbol)	TEXAS RED OAK	Quercus buckleyi	MED
	(Symbol)	AUSTRIAN PINE	Pinus nigra	LOW
	(Symbol)	ACCOLADE ELM	Ulmus 'Frontier'	MED

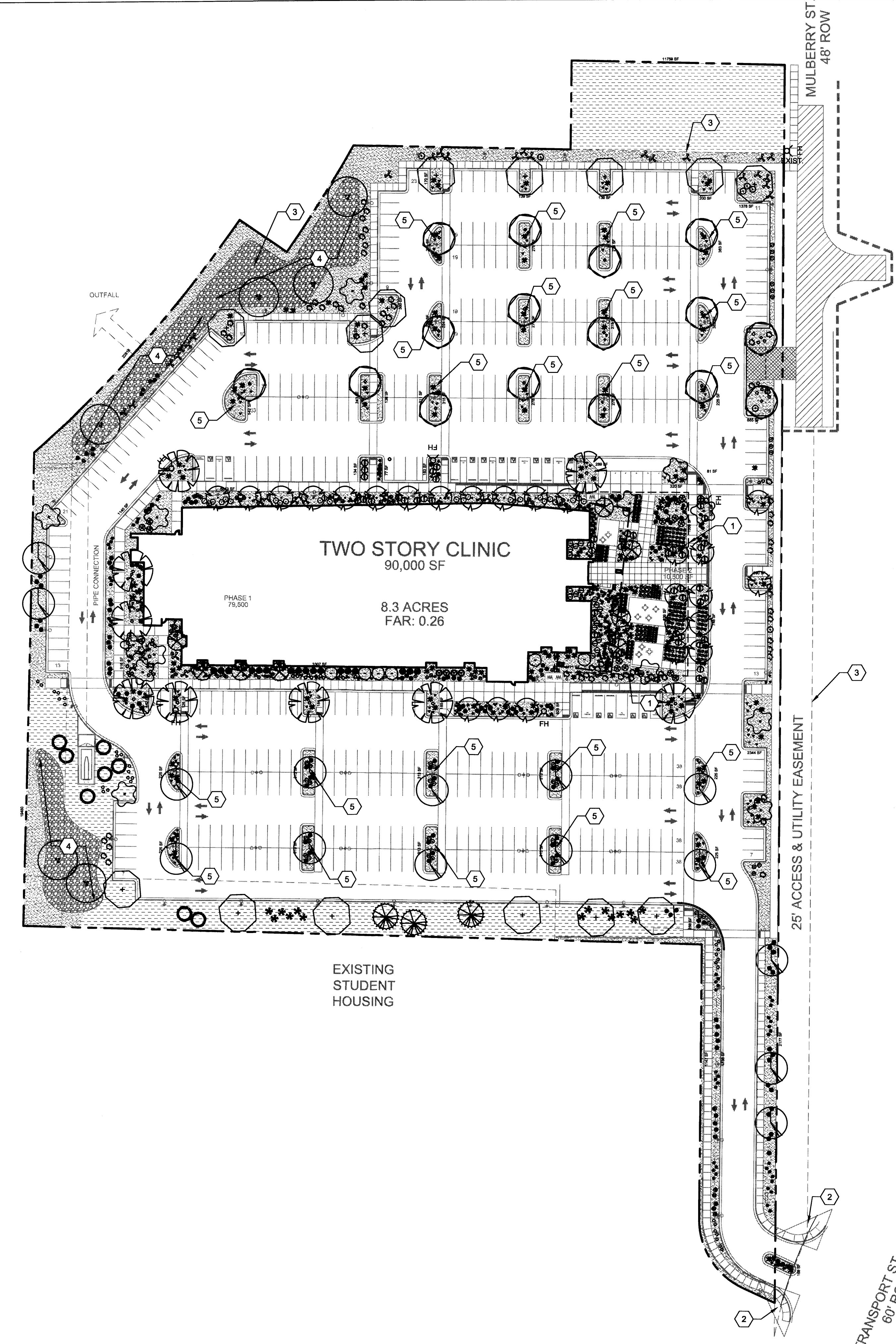
SHRUBS	SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	(Symbol)	DARK KNIGHT BLUE MIST SPIREA	Caryopteris x clandonensis 'Dark Knight'	MED
	(Symbol)	FERNBUSH	Chamaebatiaria millefolium	LOW
	(Symbol)	DAMIANITA	Chrysactinia mexicana	LOW
	(Symbol)	THOMPSON BROOM	Baccharis hybrid 'Starn Thompson'	LOW
	(Symbol)	APACHE PLUME	Fallugia paradoxa	LOW
	(Symbol)	CREeping MAHONIA	Mahonia repens	LOW
	(Symbol)	PRUNUS BESSEYI 'PAWNEE BUTTES'	Creeping Sandcherry	LOW
	(Symbol)	TURPENTINE BUSH	Ericameria laricifolia	LOW
	(Symbol)	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'	LOW
	(Symbol)	EVERGREEN SUMAC	Rhus virens	LOW
	(Symbol)	MOJAVE SAGE	Salvia mohavensis	LOW
	(Symbol)	SNOWBERRY	Symphoricarpos albus	LOW
	(Symbol)	SHRUBBY CINQUEFOIL	Potentilla fruticosa	MED
	(Symbol)	SALVIA OFFICINALIS MINIMUS	Little-leaf Culinary Sage	LOW

PERENNIALS	SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	(Symbol)	ROCKY MOUNTAIN COLUMBINE	Aquilegia caerulea	MED
	(Symbol)	WHIRLING BUTTERFLIES	Gaura lindheimeri	LOW
	(Symbol)	MAY NIGHT SAGE	Salvia 'May Night'	LOW

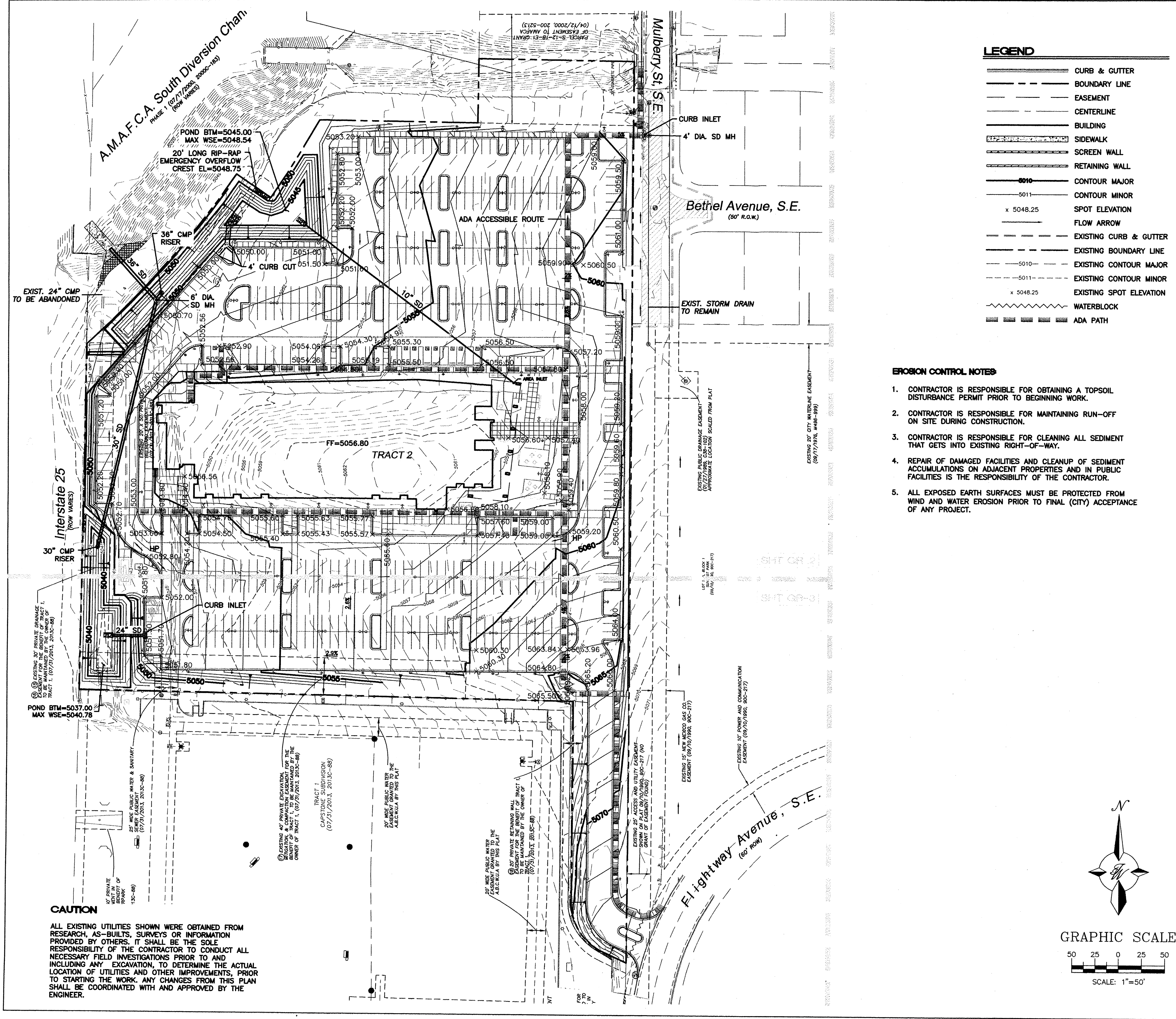
GRASSES	SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	(Symbol)	KARL FOERSTER REED GRASS	Calamagrostis x acutifolia 'Karl Foerster'	LOW
	(Symbol)	ELIJAH BLUE FESCUE	Festuca glauca 'Elijah Blue'	MED
	(Symbol)	MEXICAN FEATHER GRASS	Nassella tenuissima	LOW
	(Symbol)	GIANT SACATON	Sporobolus wrightii	LOW
	(Symbol)	DEER GRASS	Muhlenbergia rigens	LOW
	(Symbol)	INDIAN RICEGRASS	Oryzopsis hymenoides	LOW

ACCENTS	SYMBOL	COMMON NAME	BOTANICAL NAME	WATER REQ.
	(Symbol)	NEW MEXICO AGAVE	Agave neomexicana	LOW
	(Symbol)	GIANT HESPERALOE	Hesperaloe funifera	LOW
	(Symbol)	YELLOW FLOWERING YUCCA	Hesperaloe parviflora 'Yellow'	LOW
	(Symbol)	BEARGRASS	Nolina microcarpa	LOW
	(Symbol)	SOAP TREE YUCCA	Yucca elata	LOW
	(Symbol)	PALE YUCCA	Yucca pallida	LOW

MULCHES	SYMBOL	DESCRIPTION
	(Symbol)	1/2" Ø ROCK MULCH OVER FILTER FABRIC, 3" DEPTH MIN. COLOR: TAN / BROWN
	(Symbol)	3/8" Ø ROCK MULCH OVER FILTER FABRIC, 3" DEPTH MIN. COLOR: TAN / BROWN
	(Symbol)	4" - 6" COBBLES
	(Symbol)	IRRIGATED NATIVE SEED BLEND CABQ EASTSIDE MIX, HYDROMULCH



A1

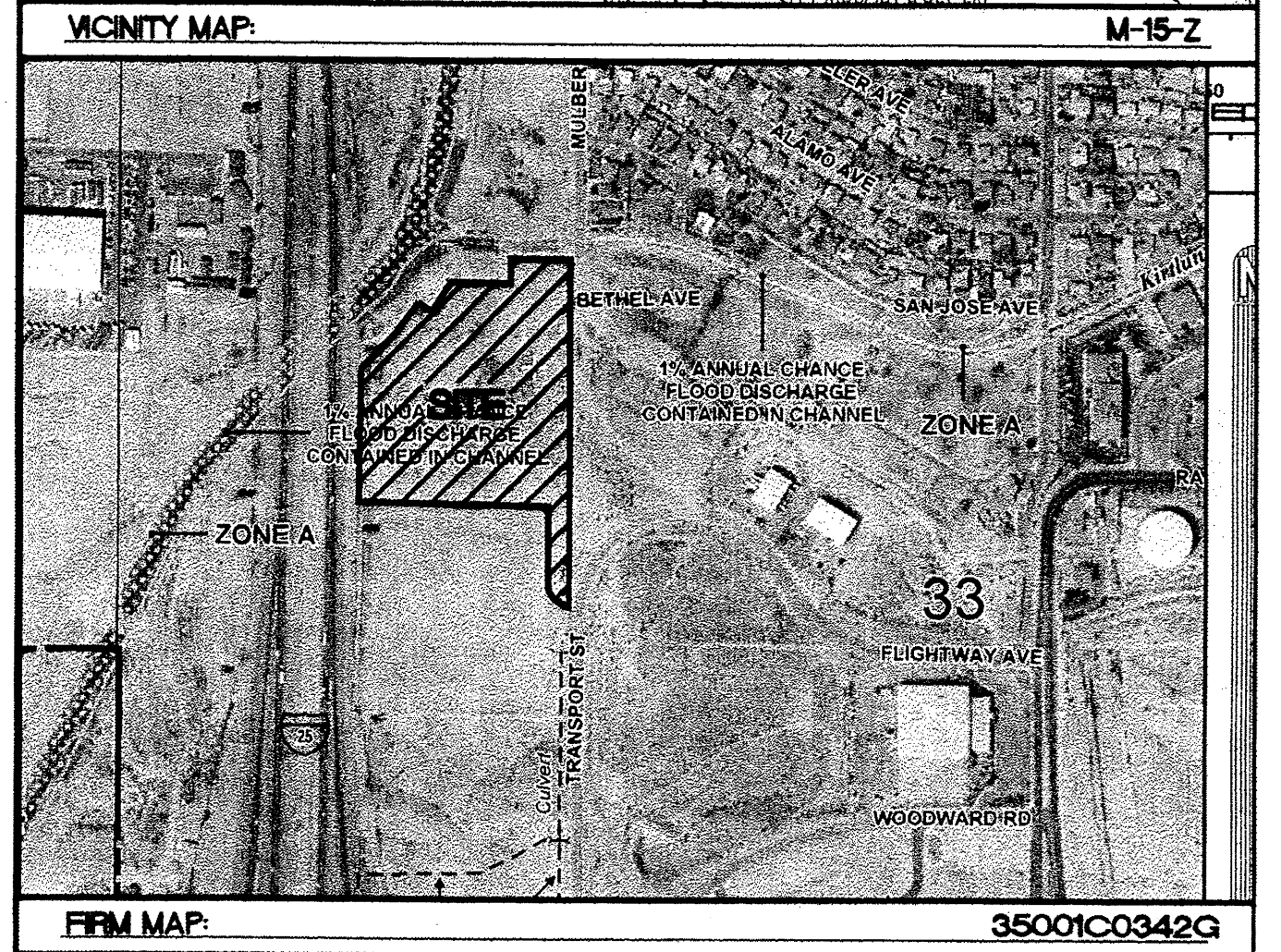
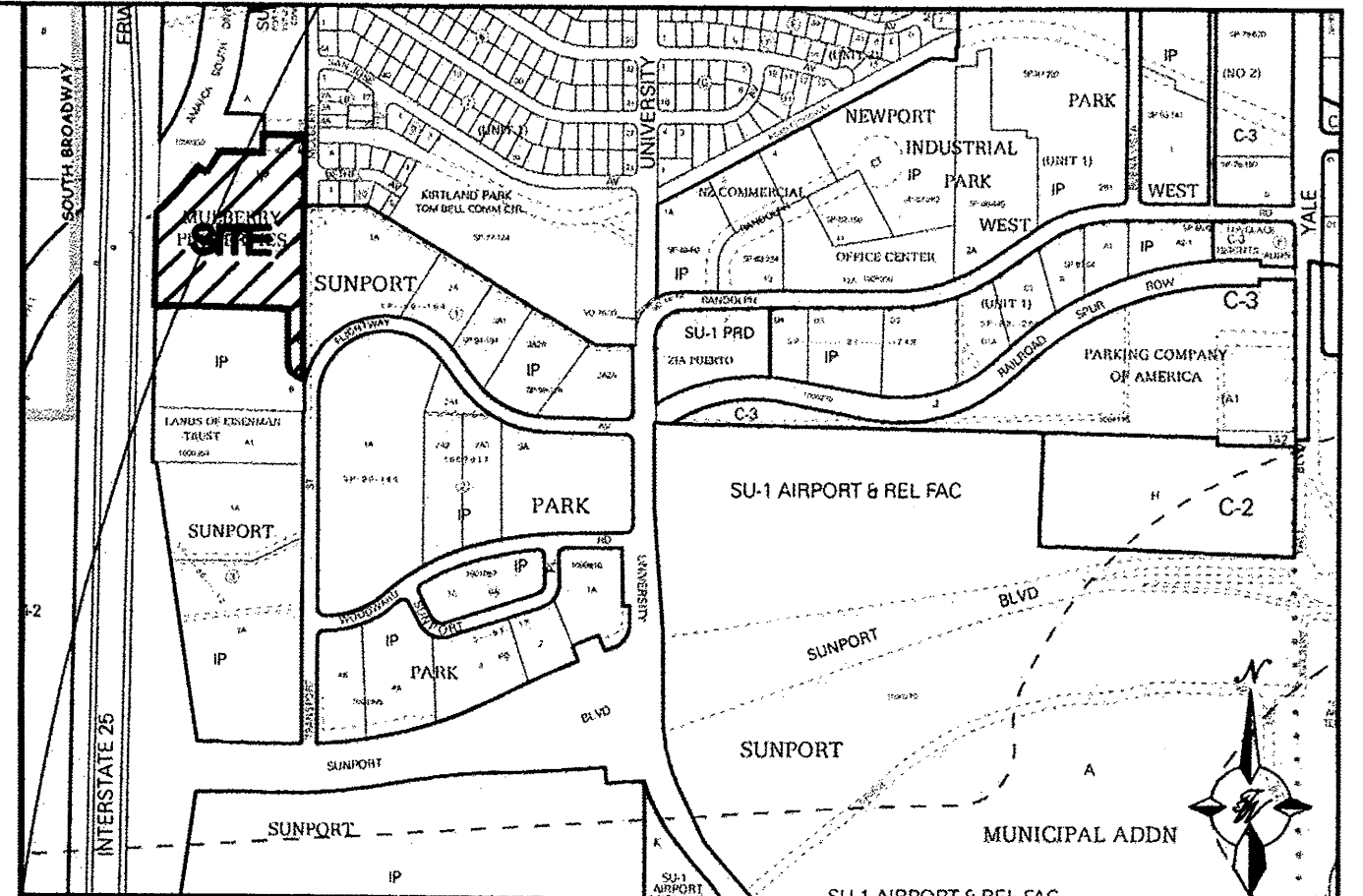


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 5010 — EXISTING CONTOUR MAJOR
- - - 5011 — EXISTING CONTOUR MINOR
- x 5048.25 — EXISTING SPOT ELEVATION
- WATERBLOCK
- ADA PATH

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



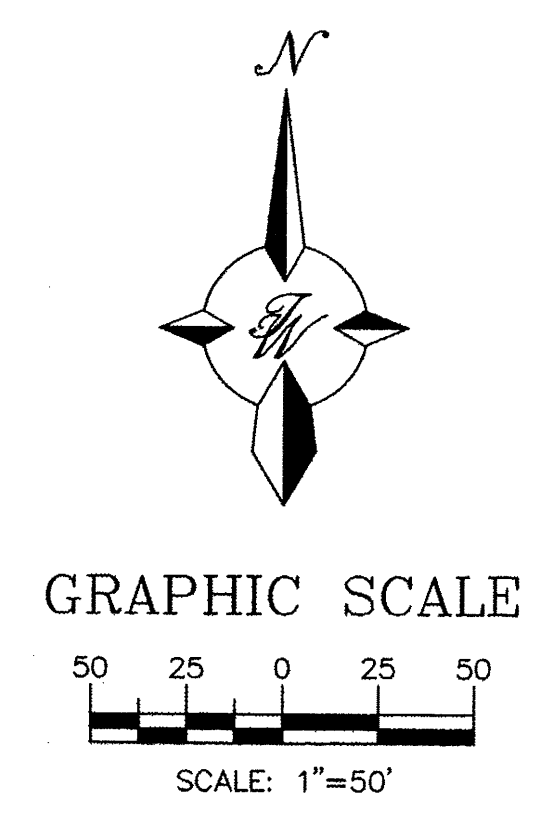
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST. S.E.	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 9/15/15
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2015044-GRB
SHEET # GR-1		JOB # 2015044

A.M.A.F.C.A. South L
 PHASE 1 (07/17/2000, 2001)
 (ROW VARIES)

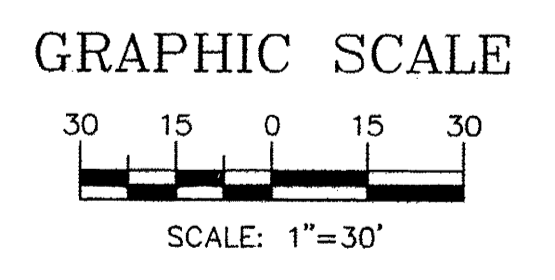
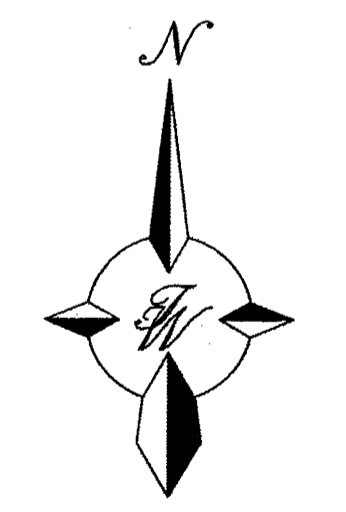
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	WATERBLOCK

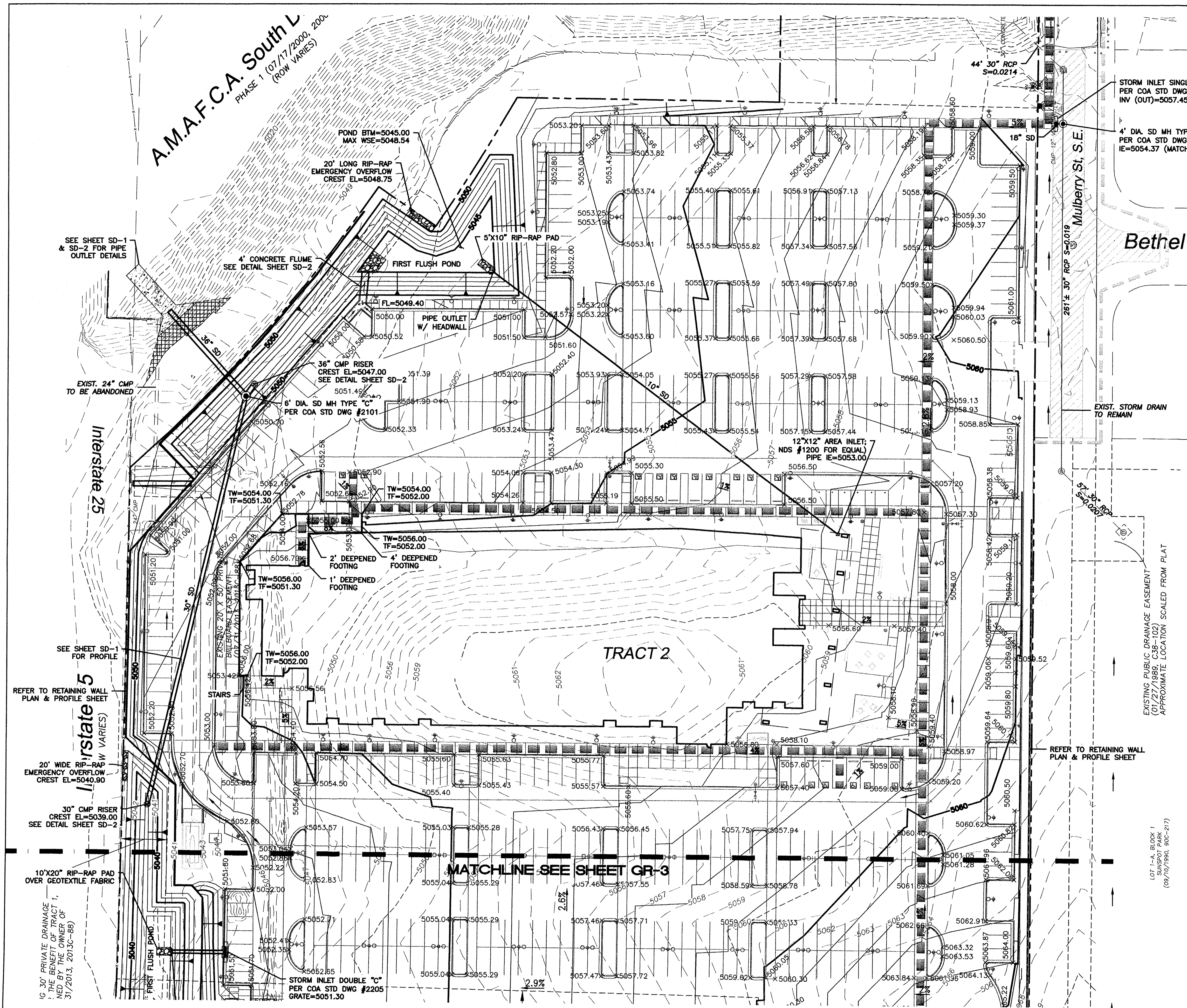
- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION

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	MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST. S.E.	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 9/11/15
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # GR-2	JOB # 2015044



SEE SHEET SD-1 & SD-2 FOR PIPE OUTLET DETAILS

EXIST. 24" CMP TO BE ABANDONED

SEE SHEET SD-1 FOR PROFILE

REFER TO RETAINING WALL PLAN & PROFILE SHEET

20' WIDE RIP-RAP EMERGENCY OVERFLOW CREST EL=5040.90

30" CMP RISER CREST EL=5039.00 SEE DETAIL SHEET SD-2

10'X20" RIP-RAP PAD OVER GEOTEXTILE FABRIC

16" 30' PRIVATE DRAINAGE TO THE BENEFIT OF TRACT 1, TO BE INSTALLED BY THE OWNER OF TRACT 1 (3/1/2013, 2013C-88)

STORM INLET DOUBLE "C" PER COA STD DWG #2205 GRATE=5051.30

MATCHLINE SEE SHEET GR-3

REFER TO RETAINING WALL PLAN & PROFILE SHEET

LOT 1-A, BLOCK 1 SUNSPOT PARK (09/10/1990, 90C-417)

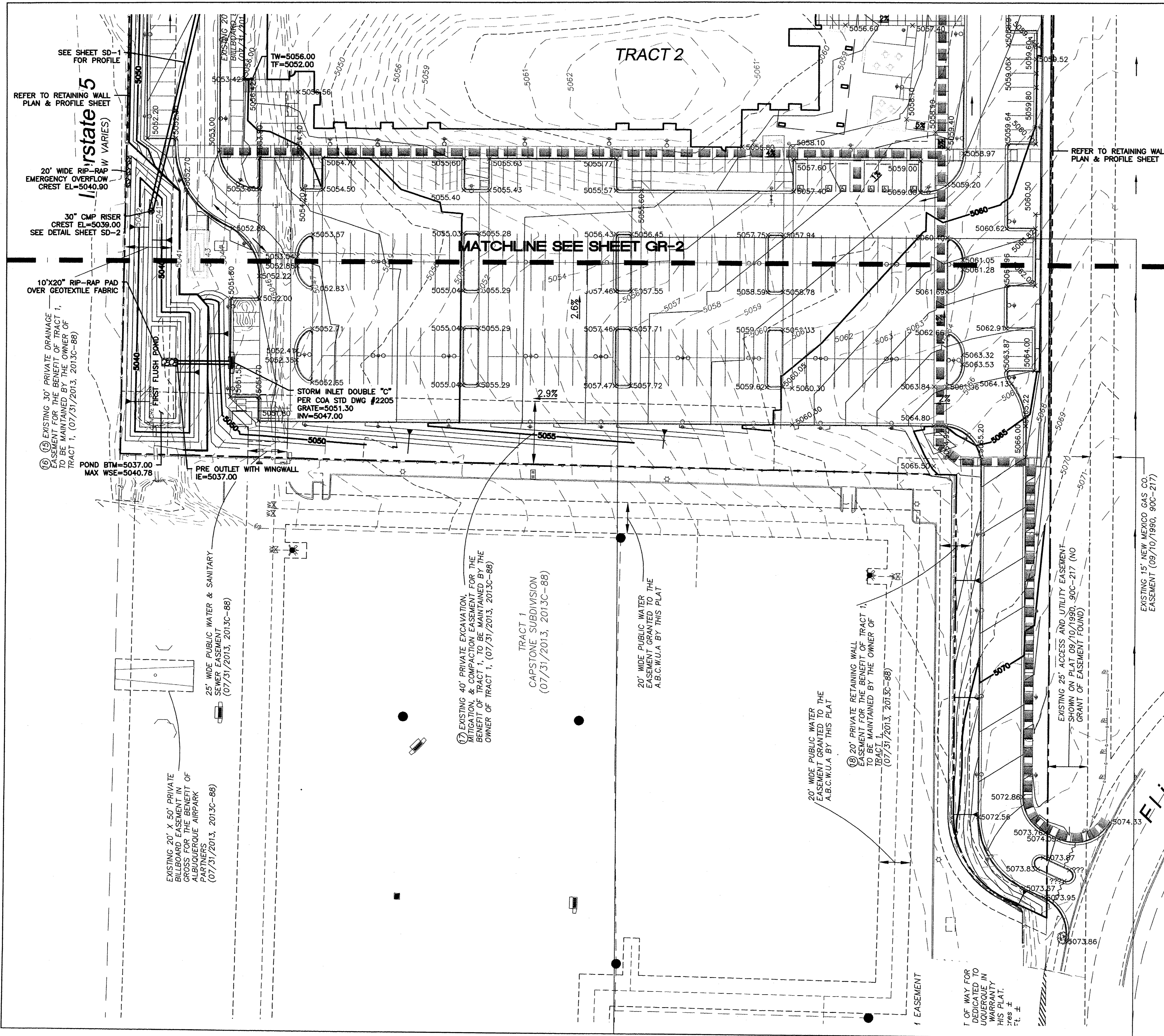
EXIST. STORM DRAIN TO REMAIN

EXISTING PUBLIC DRAINAGE EASEMENT (01/27/1989, C38-102) APPROXIMATE LOCATION SCALED FROM PLAT

STORM INLET SINGLE "C" PER COA STD DWG #2205 INV (OUT)=5057.45
 4" DIA. SD MH TYPE "C" PER COA STD DWG #2101 IE=5054.37 (MATCH EXIST.)

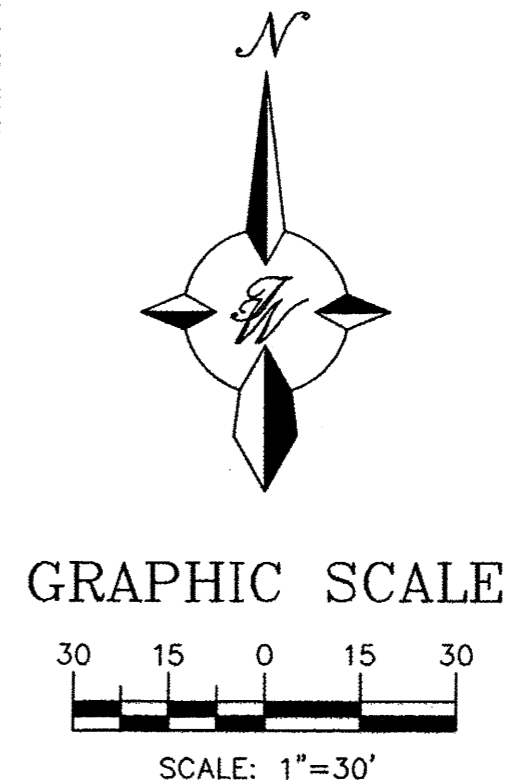
Mulberry St. S.E.
 Bethel Ave (50' R)

TRACT 2



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	WATERBLOCK

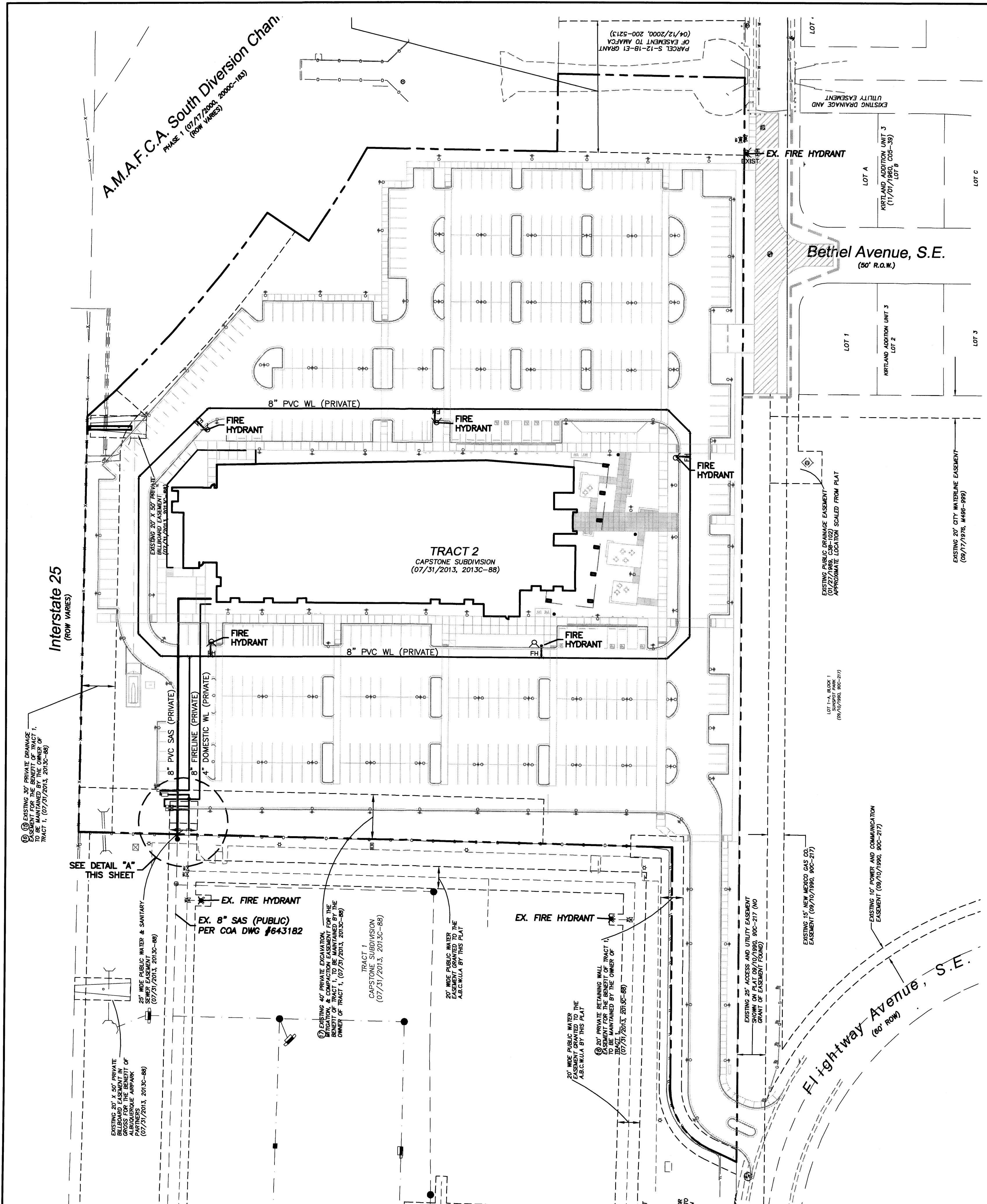


- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION

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	MULTI-SPECIALTY CLINIC	DRAWN BY
	2901 TRANSPORT ST, S.E.	DY
	GRADING AND DRAINAGE PLAN	DATE
		9/15/15
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2015044-GRB
		SHEET #
		GR-3
		JOB #
		2015044

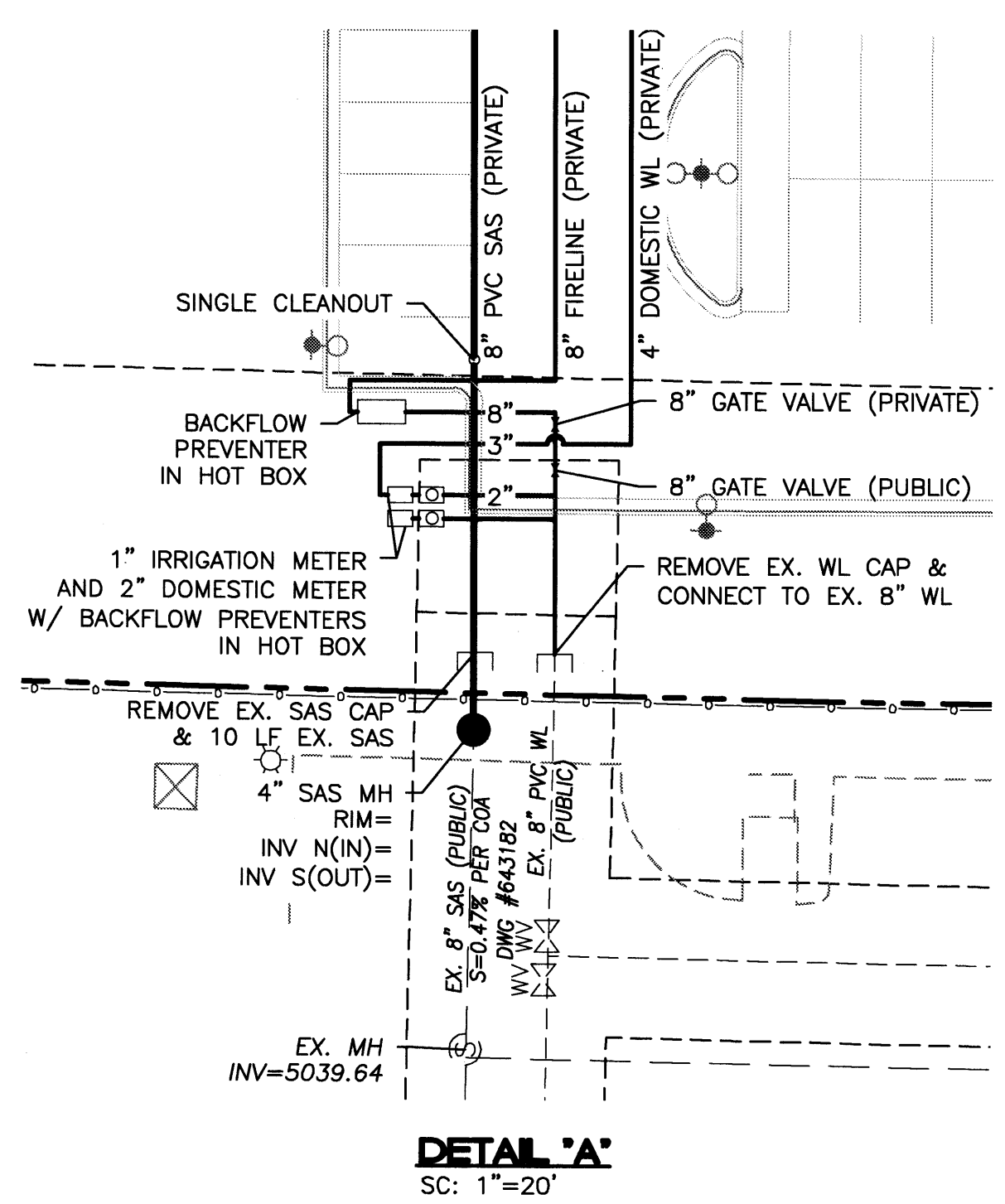


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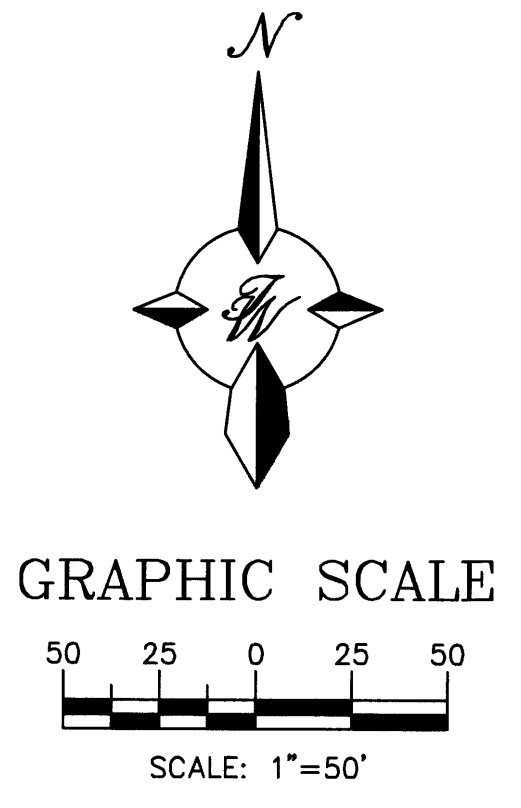
- GENERAL NOTES:**
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 - ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - CLEAN OUTS & MANHOLE TIE POINTS ARE TAKEN USING THE NW PROPERTY CORNER X=10,000, Y=10,000 SEE TABLE 2.
 - SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

LEGEND

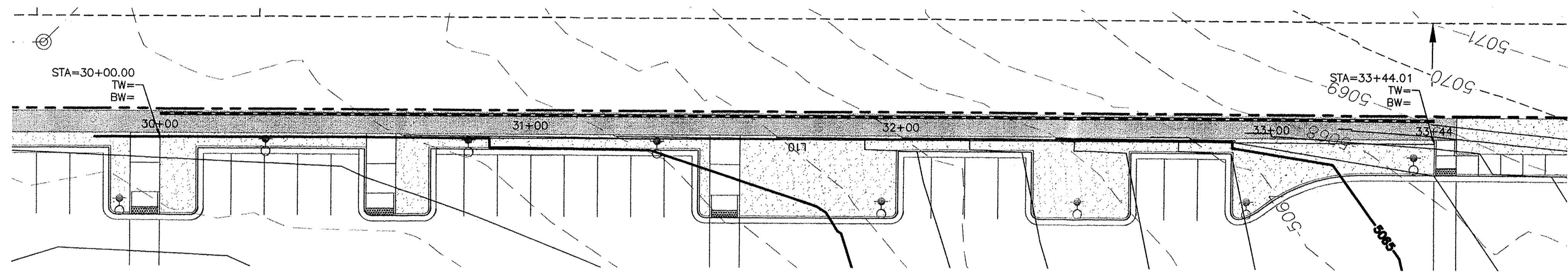
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE



- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ENGINEER'S SEAL	MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E.	DRAWN BY DY
	MASTER UTILITY PLAN	DATE 9/03/15
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2015044-MUB
		SHEET # C2
		JOB # 2015044



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

CAUTION

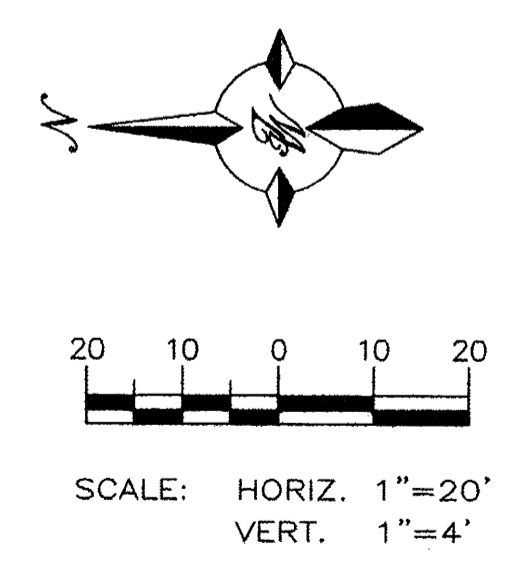
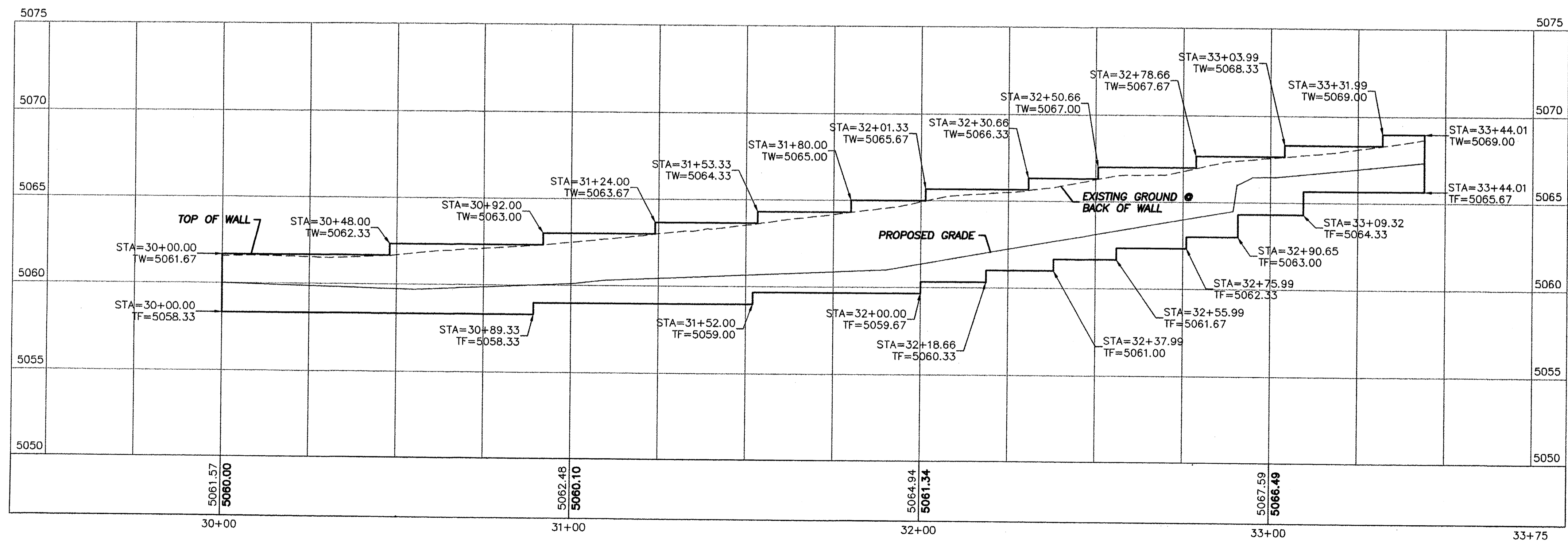
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LEGEND

- ==== CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▨ SIDEWALK
- ▧ RETAINING WALL
- 5010--- CONTOUR MAJOR
- 5011--- CONTOUR MINOR
- - - EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010--- EXISTING CONTOUR MAJOR
- 5011--- EXISTING CONTOUR MINOR

LINE TABLE		
LINE	BEARING	LENGTH
L10	N0°10'04"E	344.01

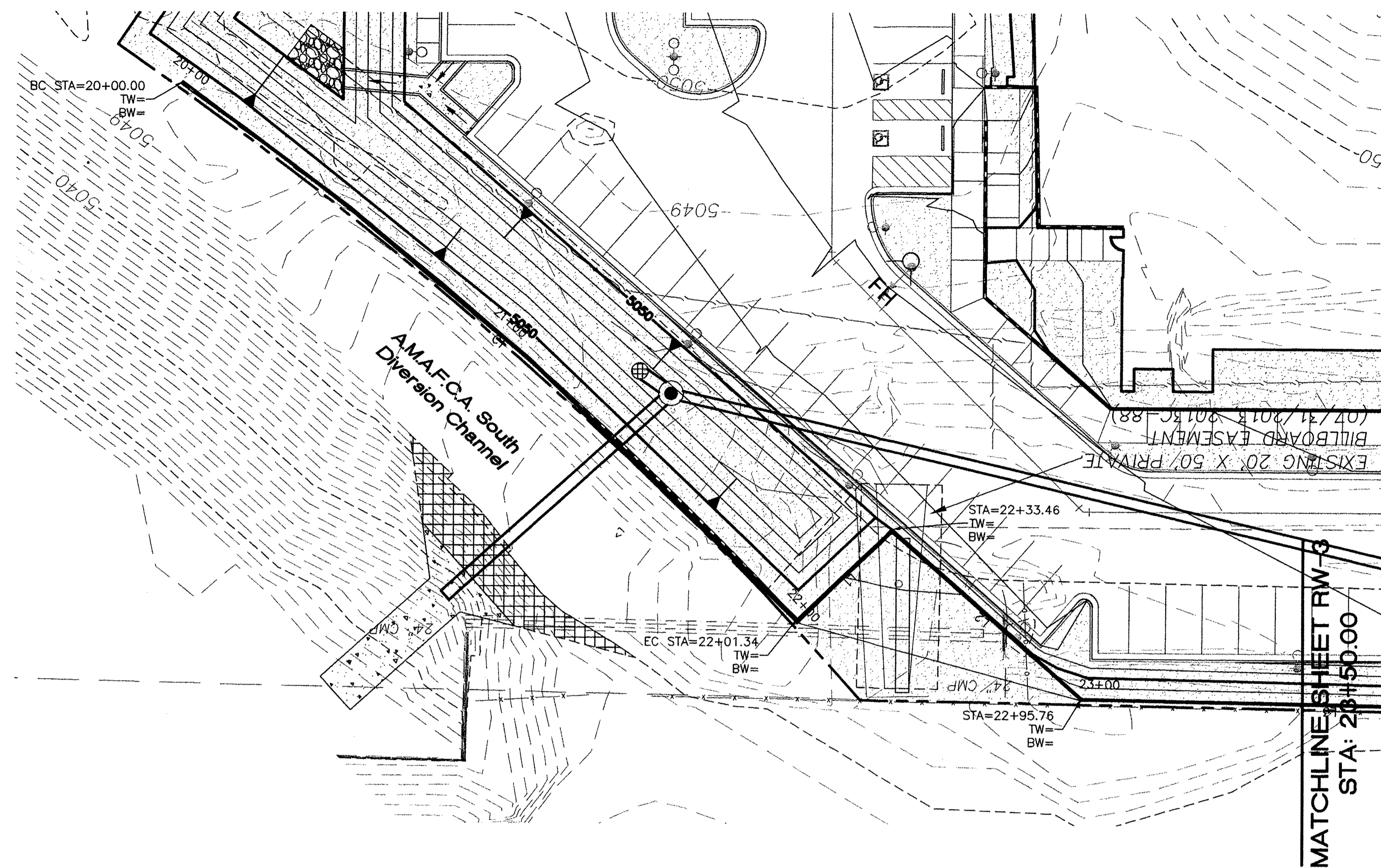
EAST RETAINING WALL



	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E. EAST RETAINING WALL PLAN AND PROFILE	DRAWN BY DY DATE 9/15/15 2015044-RWALLS
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # RW-1 JOB # 2015044	

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	10°57'42"	1052.35	201.34

LINE TABLE		
LINE	BEARING	LENGTH
L1	N43°28'32"W	32.13
L2	N41°15'46"E	62.30
L3	N1°01'01"E	121.87
L4	N45°57'23"W	45.17
L5	N0°00'00"W	65.70
L6	N89°56'41"W	11.19
L7	N41°25'17"W	10.72
L8	N0°10'04"E	92.41
L9	S88°48'26"E	15.58
L10	N0°10'04"E	344.01



EROSION CONTROL NOTES

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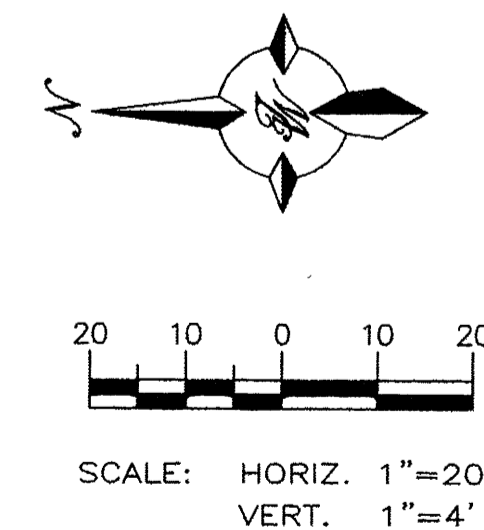
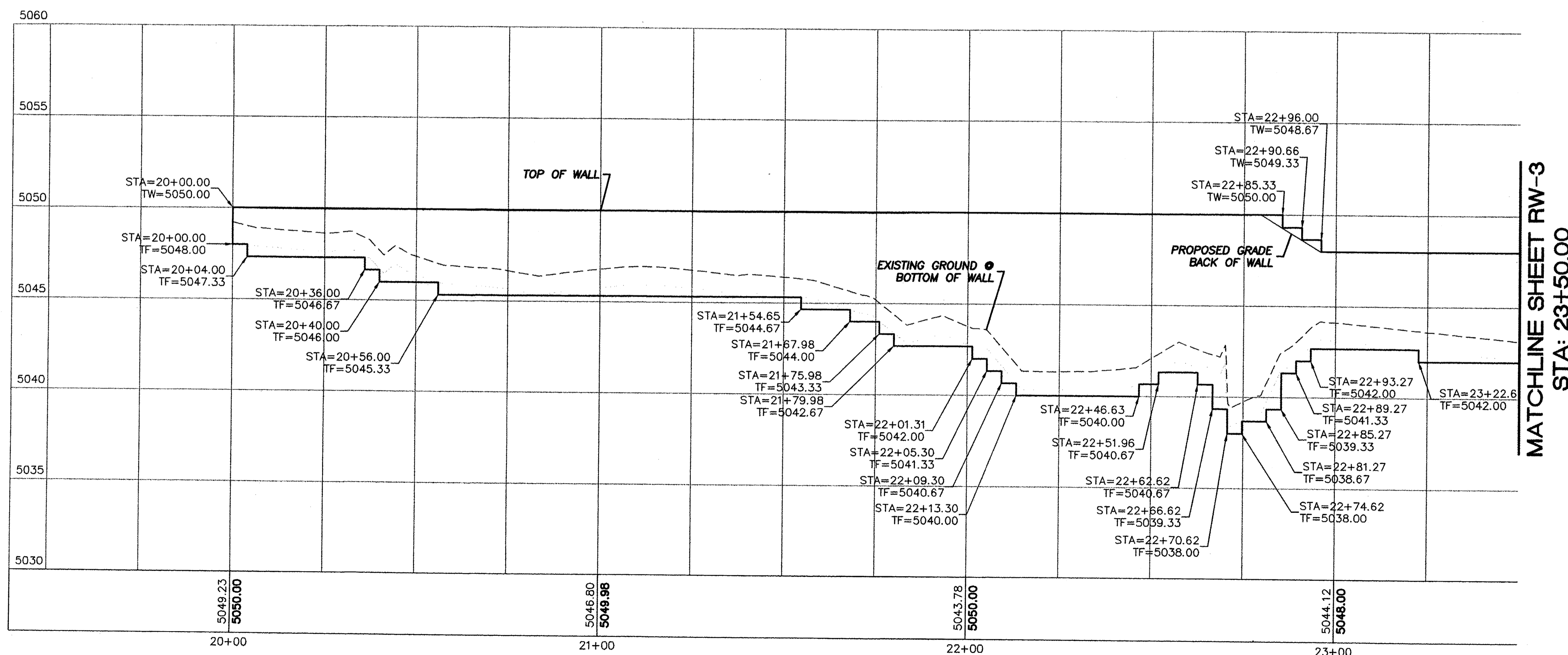
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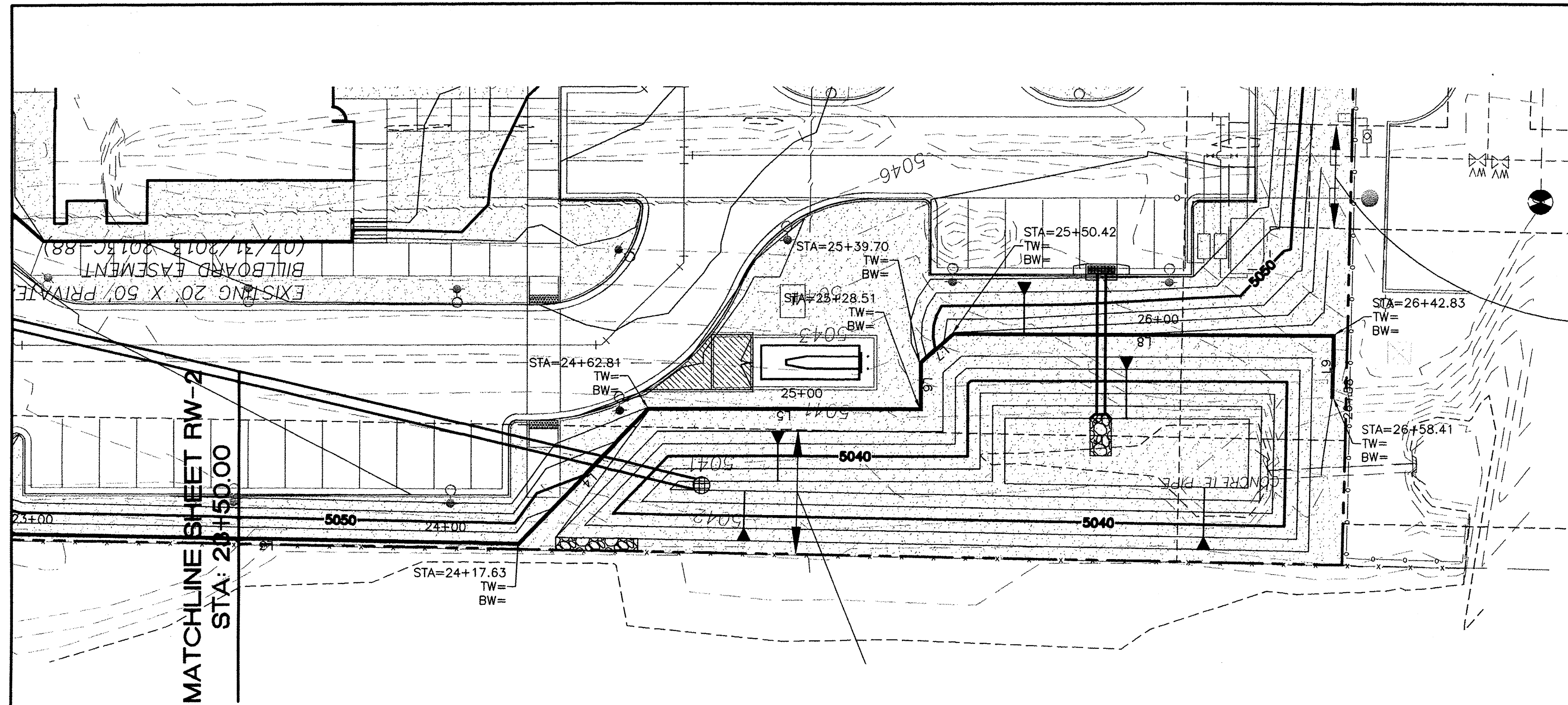
LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▭ SIDEWALK
- ▭ RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 5010 — EXISTING CONTOUR MAJOR
- - - 5011 — EXISTING CONTOUR MINOR

WEST RETAINING WALL



	MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E.	DRAWN BY DY
	WEST RETAINING WALL PLAN AND PROFILE	DATE 9/15/15
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2015044-RWALLS SHEET # RW-2 JOB # 2015044



CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	10°57'42"	1052.35	201.34

LINE TABLE		
LINE	BEARING	LENGTH
L1	N43°28'32"W	32.13
L2	N41°15'46"E	62.30
L3	N1°01'01"E	121.87
L4	N45°57'23"W	45.17
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L6	N89°56'41"W	11.19
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L9	S88°48'26"E	15.58
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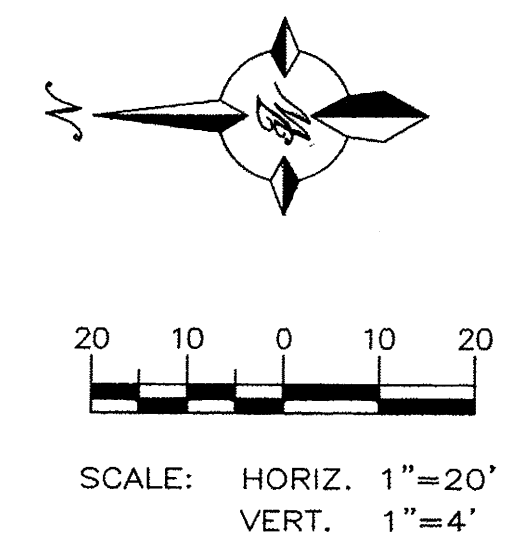
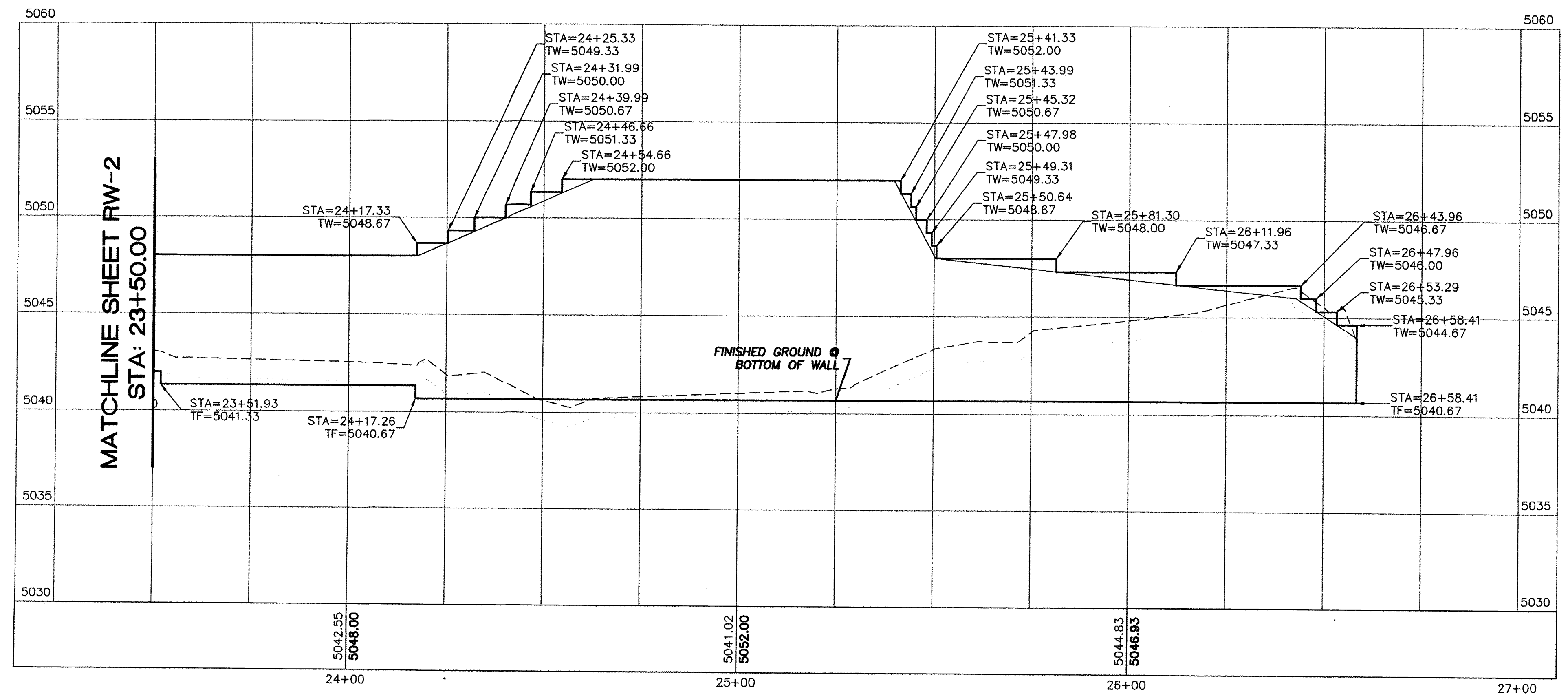
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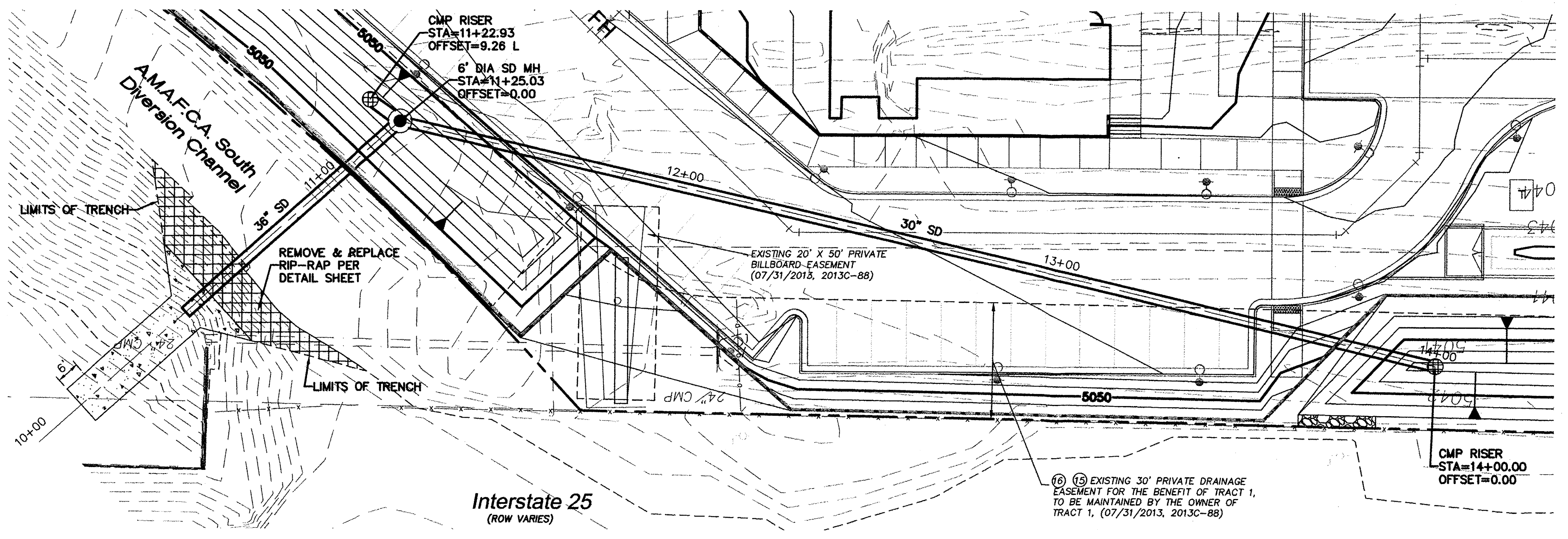
LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- BUILDING
- SIDEWALK
- RETAINING WALL
- 5010— CONTOUR MAJOR
- 5011— CONTOUR MINOR
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 5010— EXISTING CONTOUR MAJOR
- 5011— EXISTING CONTOUR MINOR

WEST RETAINING WALL



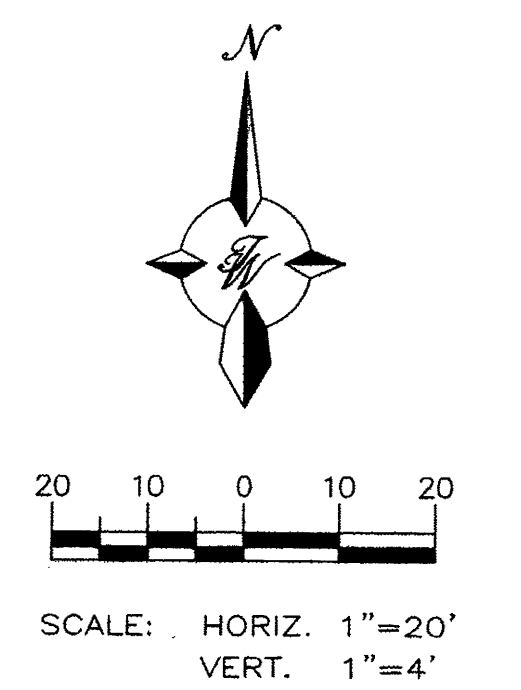
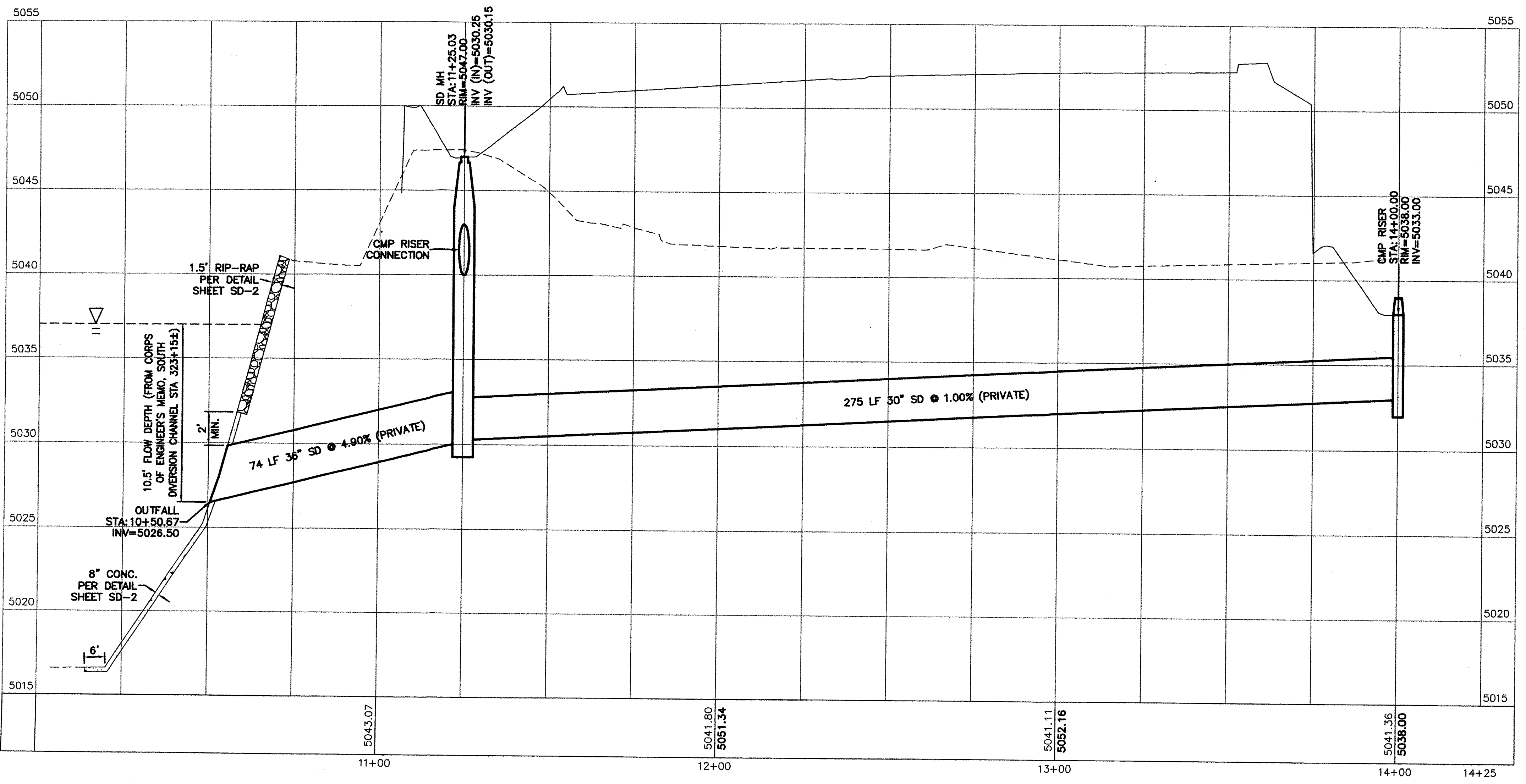
	ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E. WEST RETAINING WALL PLAN AND PROFILE	DRAWN BY DY DATE 9/15/15 2015044-RWALLS
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # RW-3 JOB # 2015044	



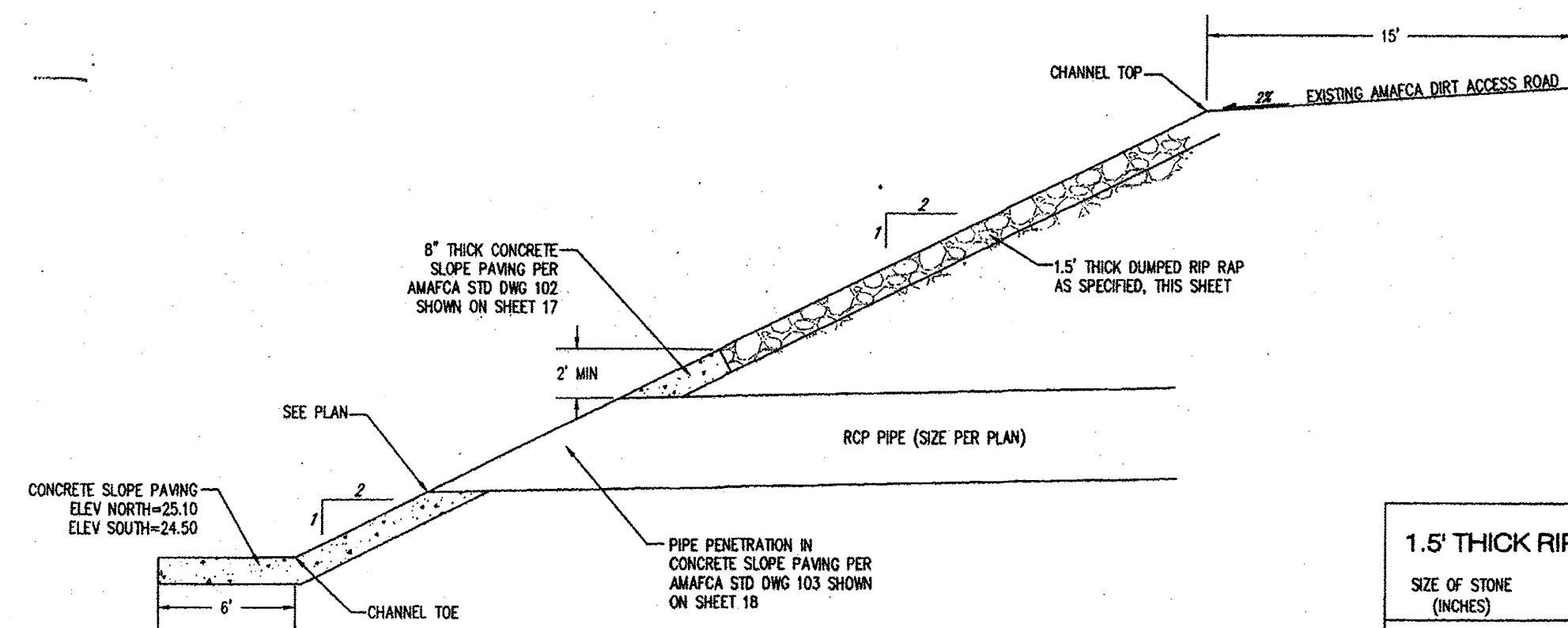
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	30" SD STORM SEWER LINE
	6" SAS SANITARY SEWER LINE
	8" WL WATERLINE
	SINGLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING 8" SAS SANITARY SEWER LINE
	EXISTING 12" WL WATER LINE
	EXISTING 30" RCP STORM SEWER LINE

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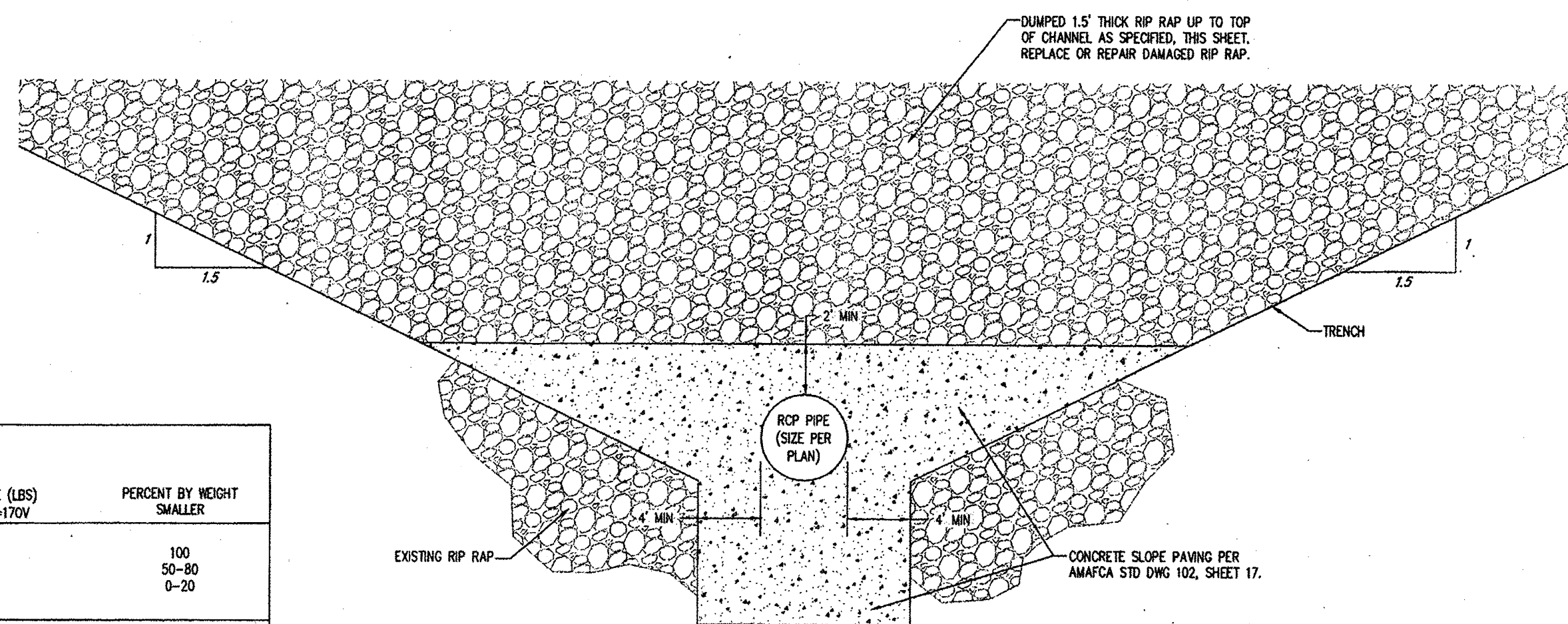
	MULTI-SPECIALTY CLINIC 2901 TRANSPORT ST, S.E. STORM DRAIN PLAN AND PROFILE	DRAWN BY DY DATE 9/15/15 2015044-SD
	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # SD-1 JOB # 2015044



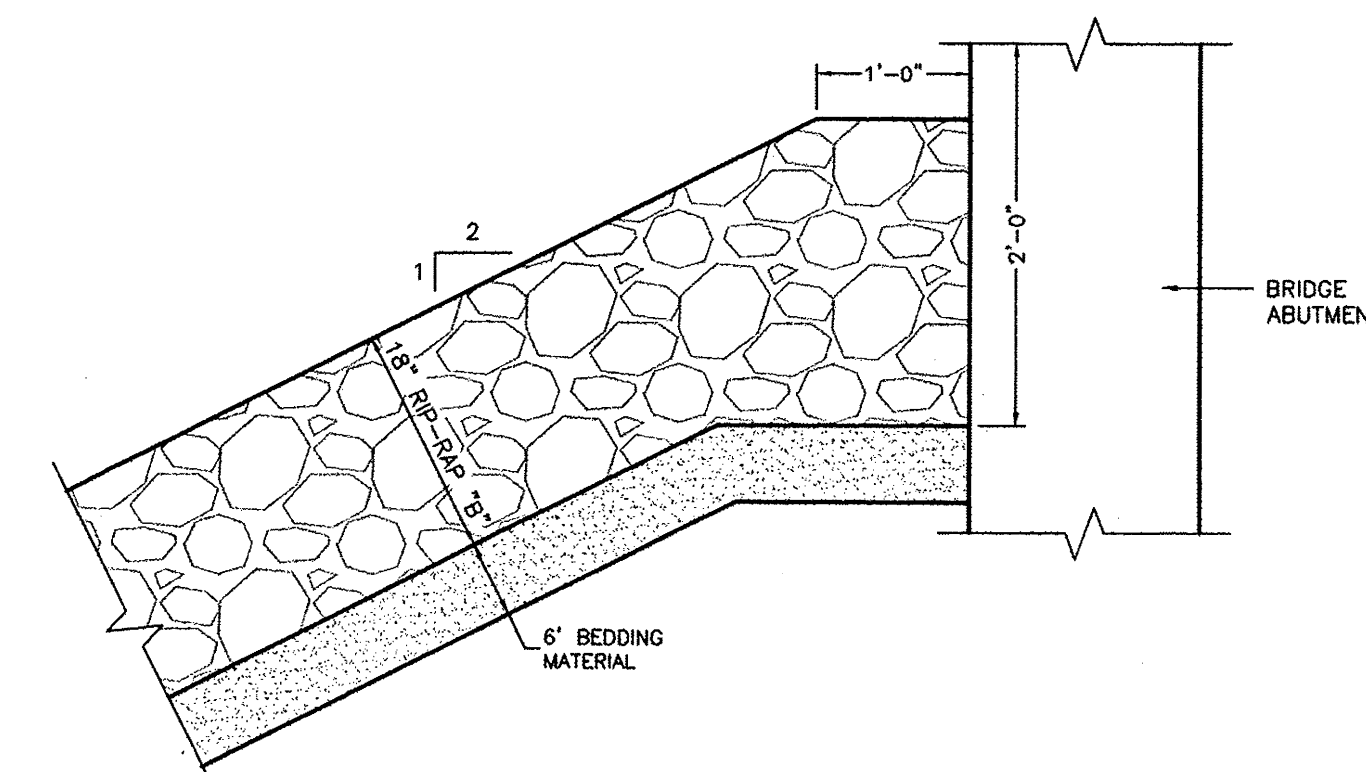
ROCK CHANNEL PIPE PENETRATION (SIDE VIEW)
N.T.S.

1.5" THICK RIP RAP:		
SIZE OF STONE (INCHES)	WEIGHT OF STONE (LBS) Vp=0.75D ³ , W=170V	PERCENT BY WEIGHT SMALLER
12	125	100
9	50	50-80
6	15	0-20

6" BEDDING:	
STANDARD SIZE U.S. STANDARD	PERCENT BY WEIGHT PASSING
4-INCH	100
3-INCH	90-100
3/4-INCH	45-65
NO. 4	25-45
NO. 40	0-20
NO. 200	0-5



SOUTH DIVERSION ROCK CHANNEL PIPE PENETRATION
N.T.S.



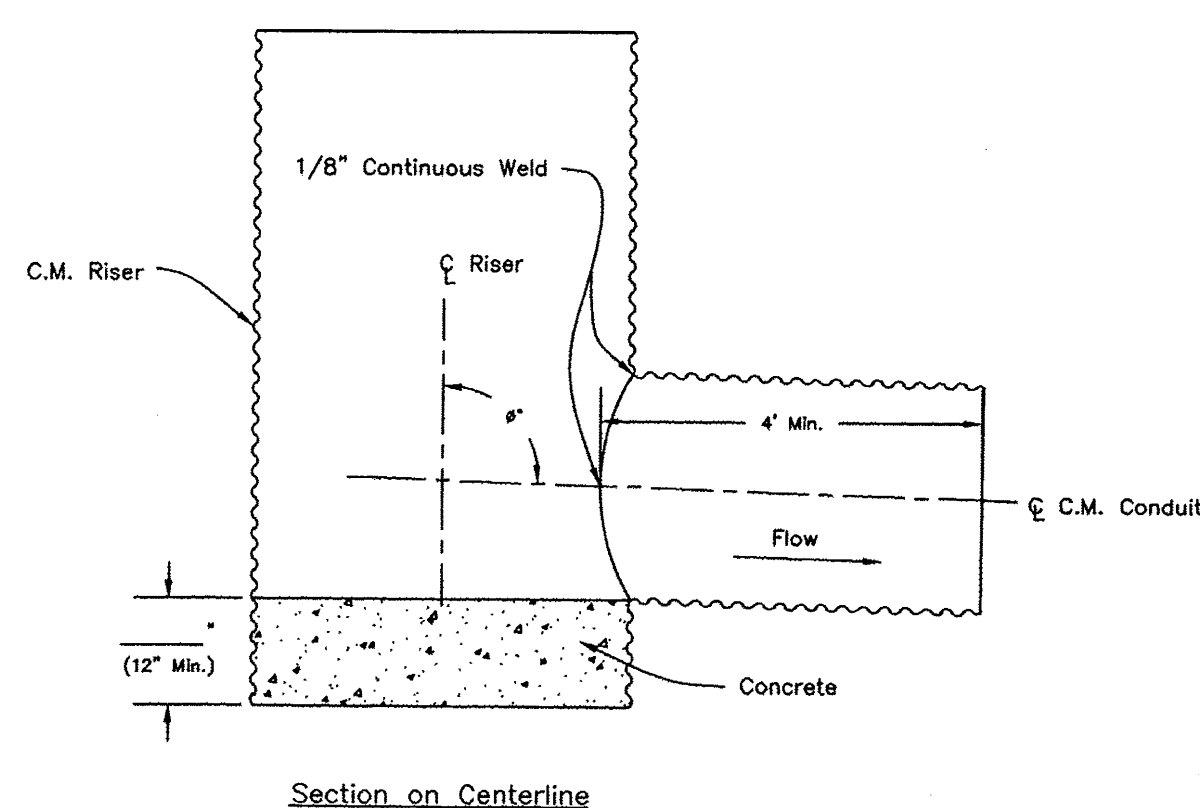
TYPICAL RIPRAP SECTION - BRIDGE ABUTMENT
N.T.S.

Bill of Materials

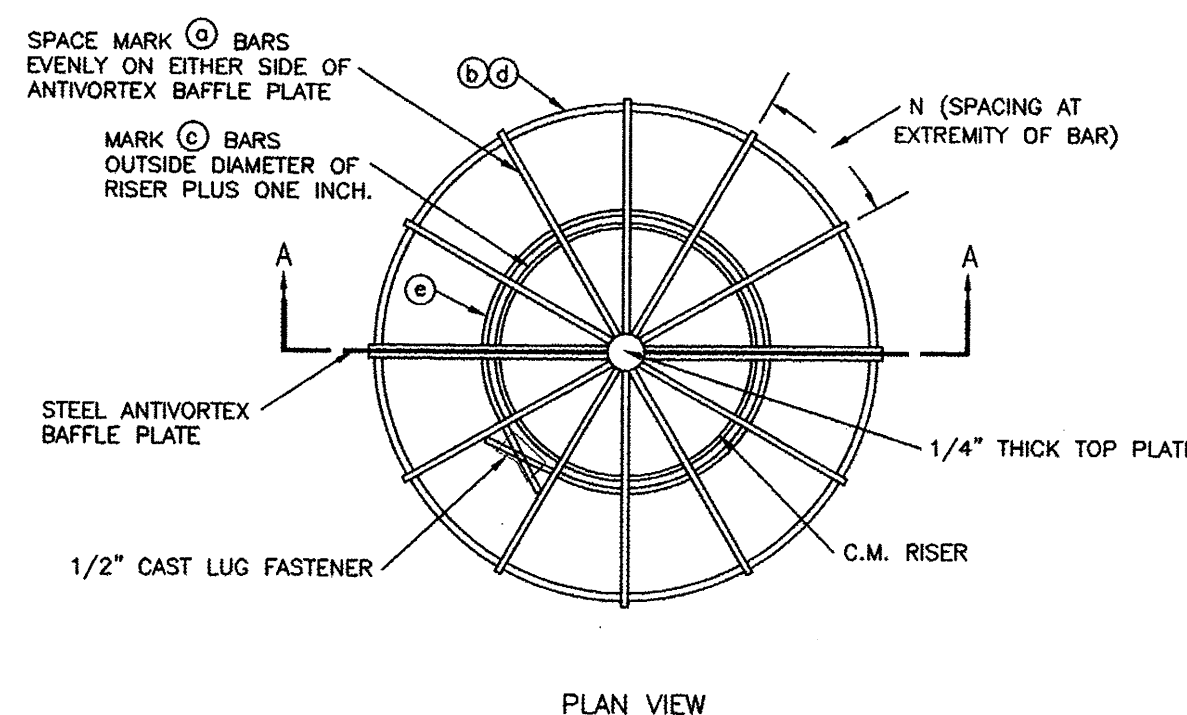
C.M. Riser _____ Diam., _____ Lin. Ft., Metal thickness = _____" (_____ Gage)
 C.M. Conduit _____ Diam., _____ Lin. Ft., Metal thickness = _____" (_____ Gage)
 Angle = _____ Degrees
 Volume of Concrete = _____ Cu. Yds.

Concrete Table

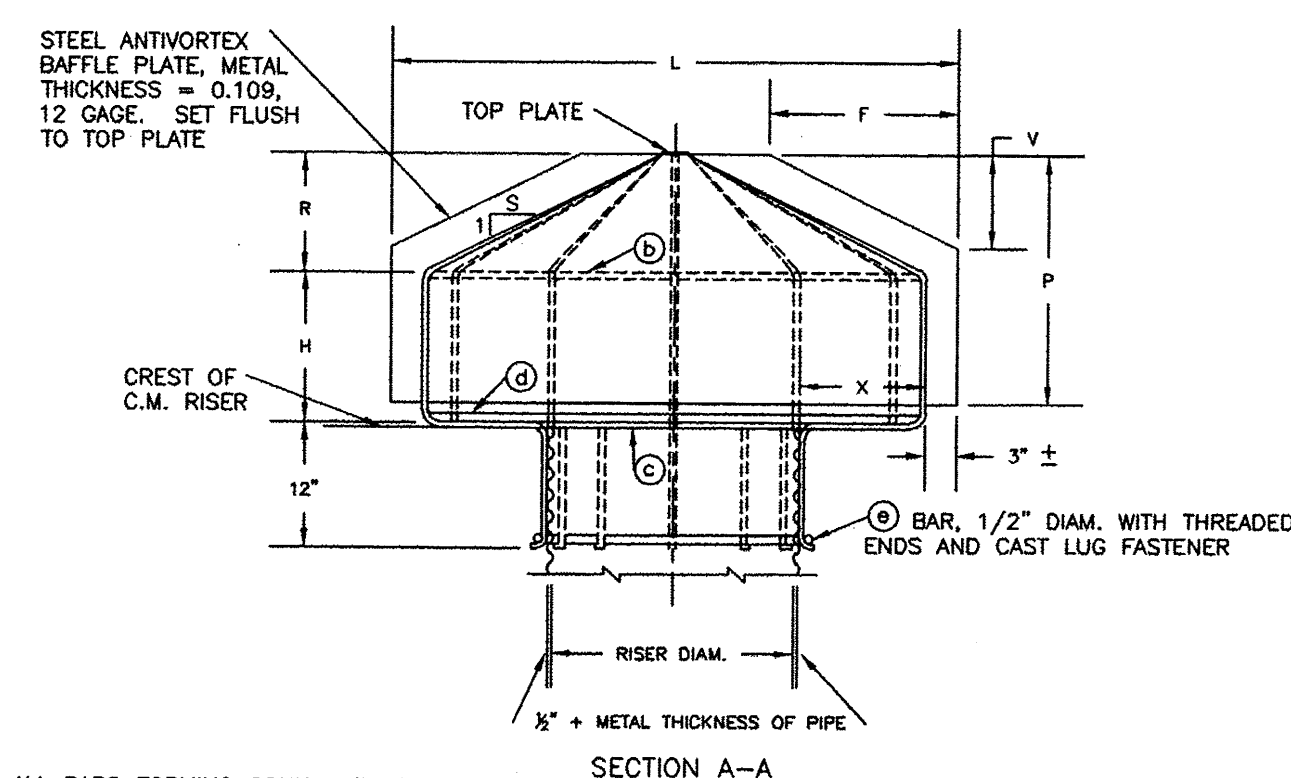
Riser Diameter (Inches)	Volume of Concrete (Cu. Yds./Inch)
18	.0055
21	.0074
24	.0097
30	.0152
36	.0218



- Notes:
- The maximum diameter of the C.M. riser shall be 36".
 - The maximum height of the C.M. riser measured from the top of the riser to the invert of the C.M. conduit shall be 13 feet.



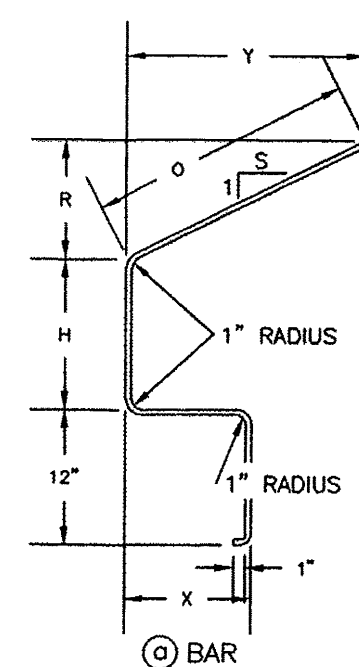
PLAN VIEW



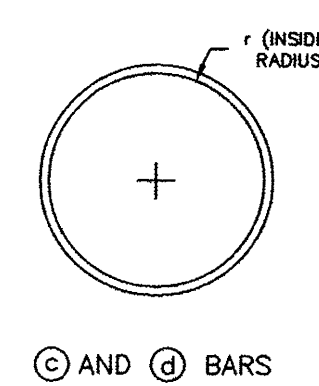
SECTION A-A

ALL BARS FORMING CONICAL TRASH RACK ARE MARK (C) BARS, UNLESS OTHERWISE NOTED.

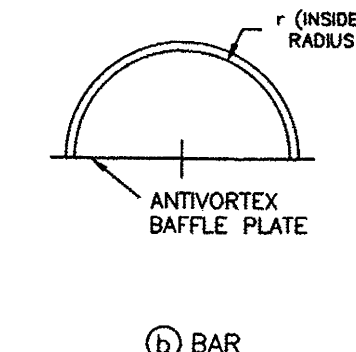
- NOTES:**
- WELD 4 MARK (C) BARS TO BAFFLE PLATE AND TO TOP PLATE. WELD MARK (C) AND MARK (D) BARS TO 4 MARK (C) BARS. WELD MARK (B) BAR TO MARK (C) BARS. WELD REMAINING MARK (C) BARS TO MARK (C), MARK (C), AND MARK (D) BARS AND TOP PLATE.
 - THE TRASH RACK AND ANTIVORTEX BAFFLE PLATE, MAY BE FABRICATED AS A UNIT, OR TRASH RACK MAY BE FABRICATED IN IDENTICAL HALVES AND ATTACHED TO BAFFLE PLATE WITH 1/2" DIAM. U BOLTS SPACED APPROXIMATELY 12 INCHES CENTER TO CENTER ALONG THE VERTICAL AND INCLINED SECTIONS OF THE MARK (C) BARS NEXT TO THE PLATE.
 - ALL BARS ARE SMOOTH ROUND BARS.
 - COAT WITH A RUST INHIBITIVE PAINT.



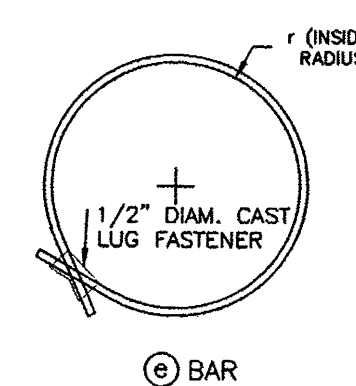
BENDING DIAGRAMS



(C) AND (D) BARS



(B) BAR



(C) BAR

TABLE OF DIMENSIONS AND QUANTITIES

(C) BARS 5/8" DIAMETER										ANTIVORTEX BAFFLE PLATE				
H	R	X	Y	S	O	TOTAL	NO.	N	L	P	F	V		
INCHES	INCHES	INCHES	INCHES	INCHES	INCHES	INCHES	LENGTH	REQ'D	INCHES	INCHES	INCHES	INCHES		
18" DIAMETER CORRUGATED METAL RISER														
9	14-1/8	8	14-1/8	1	20	4"	10	11-7/16	3'	21	8	8		
21" DIAMETER CORRUGATED METAL RISER														
12	9-1/4	9	18-1/2	2	20-5/8	4' 6-5/8"	12	12-3/8	4'	18	12	6		
24" DIAMETER CORRUGATED METAL RISER														
15	11-3/8	12	22-3/4	2	25-3/8	5' 5-3/8"	12	14-13/16	4'-6"	24	18	9		
30" DIAMETER CORRUGATED METAL RISER														
18	9-1/2	15	28-1/2	3	30	6' 4"	14	15-13/16	6'	24	21	7		
36" DIAMETER CORRUGATED METAL RISER														
21	12-1/2	21	37-5/8	3	39-1/2	7'10-1/2"	16	17-5/16	7'-6"	30	30	10		

TABLE OF DIMENSIONS AND QUANTITIES

(B) BARS 5/8" DIAMETER		(C) BARS 5/8" DIAMETER		(D) BARS 5/8" DIAMETER		(E) BARS 5/8" DIAMETER		TOP PLATE	
NO.	r	LENGTH	NO.	r	LENGTH	NO.	r	LENGTH	DIAM.
REQ'D	INCHES	INCHES	REQ'D	INCHES	INCHES	REQ'D	INCHES	INCHES	INCHES
18" DIAMETER CORRUGATED METAL RISER									
2	14-5/16	46	1	10	62-10	1	14-5/16	92	3
21" DIAMETER CORRUGATED METAL RISER									
2	18-13/16	60	1	11-1/2	72-1/4	1	18-13/16	120	3-1/2
24" DIAMETER CORRUGATED METAL RISER									
2	23-5/16	74	1	13	81-8	1	23-5/16	148	3-1/2
30" DIAMETER CORRUGATED METAL RISER									
2	29-5/16	93	1	16	100-1/2	1	29-5/16	186	4
36" DIAMETER CORRUGATED METAL RISER									
2	38-3/8	121-1/2	1	19	119-5	1	38-3/8	243	4

USDA United States Department of Agriculture
 Natural Resources Conservation Service

C.M. RISER DETAILS (ROUND CONCRETE BASE)

CLIENT: _____ COUNTY: _____

Designed: _____ Date: _____
 Drawn: _____ Date: 07/14
 Checked: _____
 Approved: _____

File Name: WI-261
 Date: 07/14
 Sheet XX of XXX

USDA United States Department of Agriculture
 Natural Resources Conservation Service

CONICAL TRASH RACK AND BAFFLE PLATE FOR 18" TO 36" DIAM. C.M. RISERS

CLIENT: _____ COUNTY: _____

Designed: _____ Date: _____
 Drawn: _____ Date: 07/14
 Checked: _____
 Approved: _____

File Name: WI-275
 Date: 07/14
 Sheet XX of XXX

ENGINEER'S SEAL

MULTI-SPECIALTY CLINIC
 2901 TRANSPORT ST, S.E.
STORM DRAIN DETAILS

DRAWN BY: DY
 DATE: 9/11/15
 2015044-SD DETAILS
 SHEET # **SD-2**
 JOB # 2015044

TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrowestllc.com

RONALD R. BOHANNAN
 P.E. #7868

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

SEAL

PROJECT

**I-25 MEDICAL PARK
2901 TRANSPORT ST. SE
ALBUQUERQUE, NM 87106**

REVISIONS

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- △
- △
- △
- △

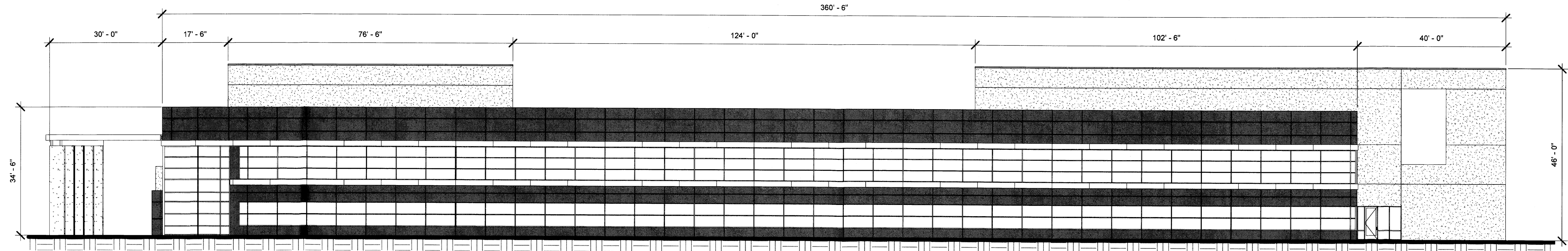
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REVIEWED BY	Approver
DATE	09.03.2015
PROJECT NO.	15-0067.001

DRAWING NAME

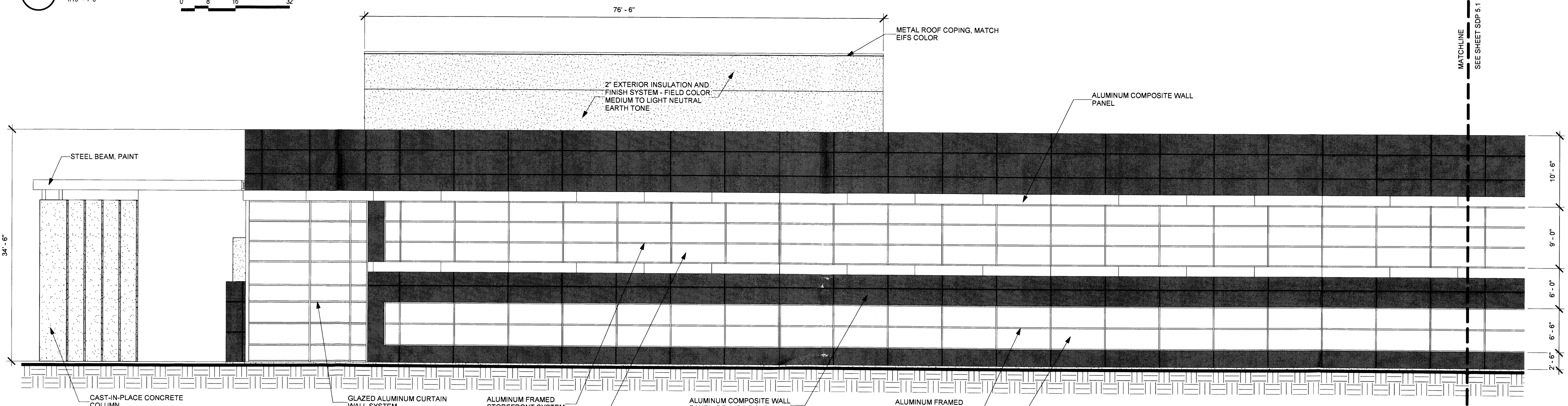
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ELEVATIONS**

SHEET NO

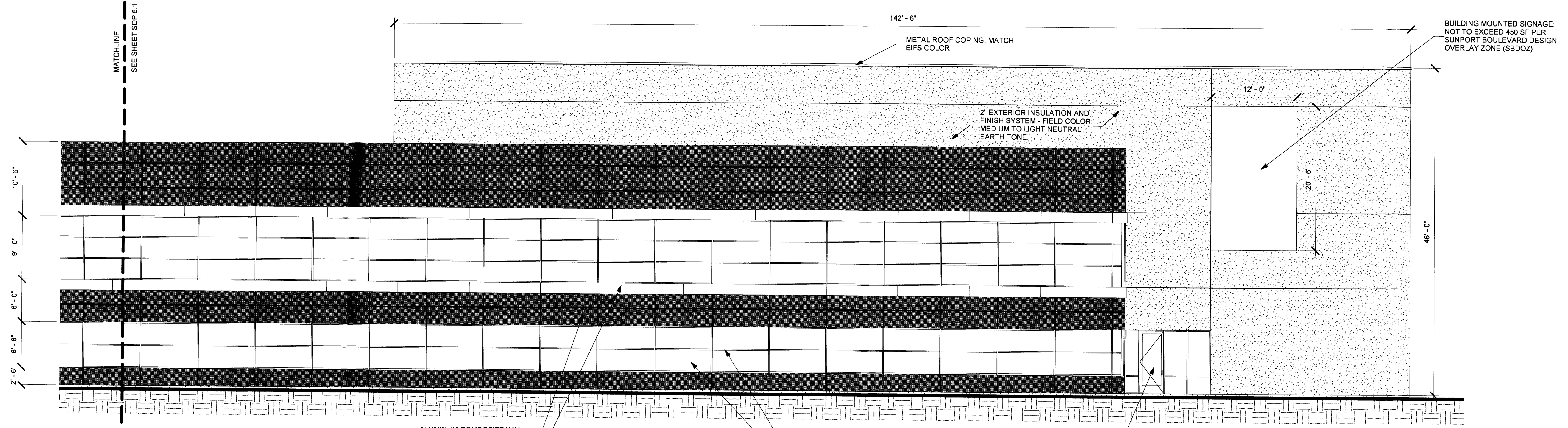
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E1 NORTH ELEVATION - OVERALL
1/16" = 1'-0"



C1 NORTH ELEVATION 1
1/8" = 1'-0"

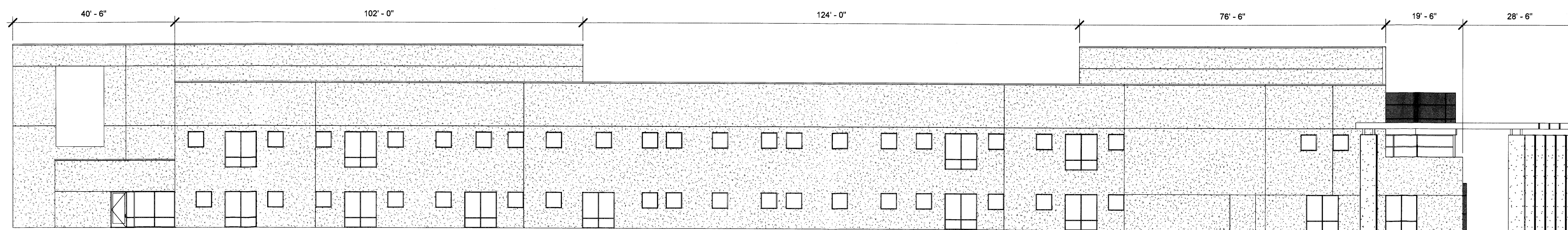


A1 NORTH ELEVATION 2
1/8" = 1'-0"

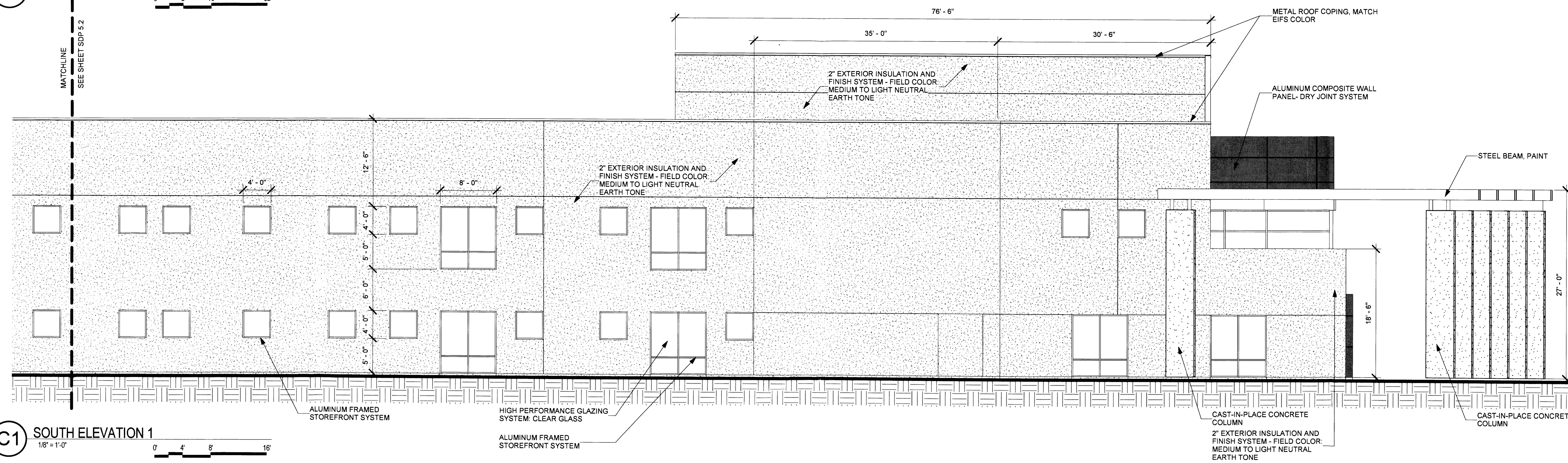
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**DEKKER
PERICH
SABATINI**

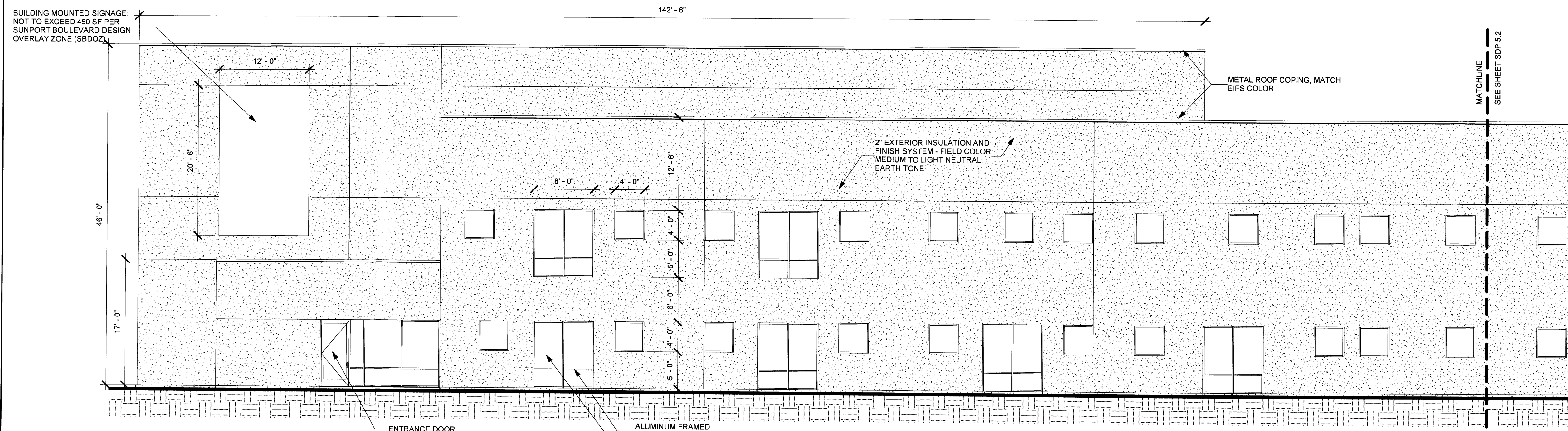
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ALBUQUERQUE, NM 87109
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E1 SOUTH ELEVATION - OVERALL
1/16" = 1'-0"
0' 8' 16' 32'



C1 SOUTH ELEVATION 1
1/8" = 1'-0"
0' 4' 8' 16'



A1 SOUTH ELEVATION 2
1/8" = 1'-0"
0' 4' 8' 16'

SEAL
PROJECT

I-25 MEDICAL PARK
2901 TRANSPORT ST. SE
ALBUQUERQUE, NM 87106

REVISIONS

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DRAWN BY	Author
REVIEWED BY	Approver
DATE	09.03.2015
PROJECT NO.	15-0067.001

DRAWING NAME
**EXTERIOR
ELEVATIONS**

SHEET NO
SDP 5.2

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ALBUQUERQUE, NM 87106

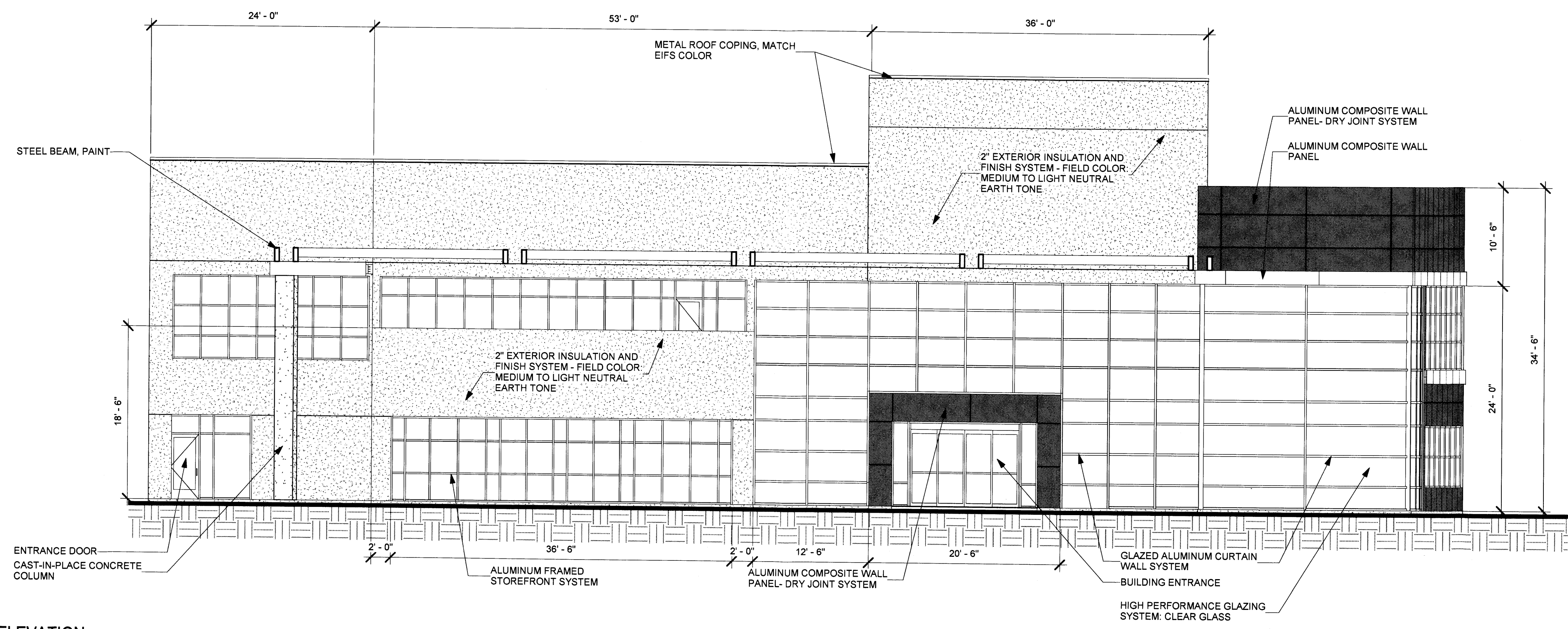
REVISIONS

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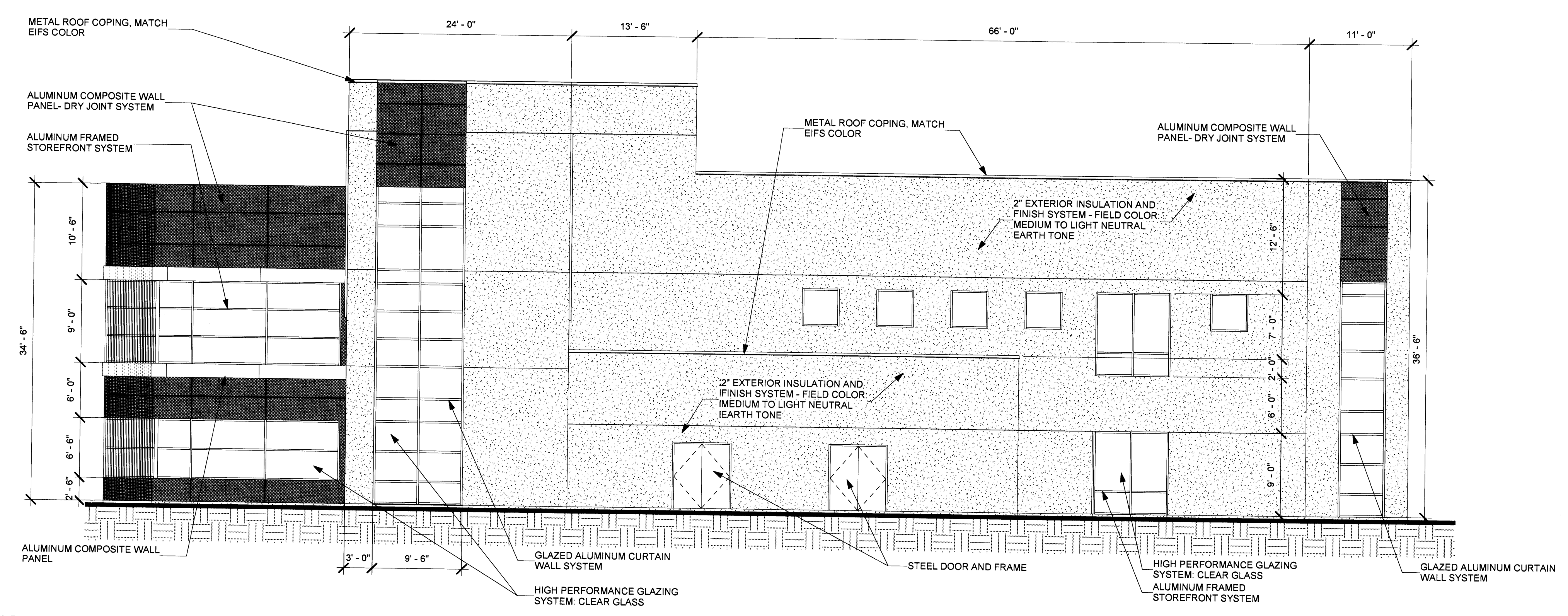
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REVIEWED BY	Approver
DATE	09.03.2015
PROJECT NO.	15-0067.001

DRAWING NAME
**EXTERIOR
ELEVATIONS**

SHEET NO
SDP 5.3



D2 EAST ELEVATION
1/8" = 1'-0"
0' 4' 8' 16'



A2 WEST ELEVATION
1/8" = 1'-0"
0' 4' 8' 16'

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