

**SHEET LIST**

- A-100 ARCHITECTURAL SITE PLAN AND SITE DETAILS
- L-100 LANDSCAPE PLAN
- C-100 CONCEPTUAL GRADING PLAN
- A-200 BUILDING ELEVATIONS
- A-201 BUILDING ELEVATION AND UTILITY PLAN

**PROJECT DATA**

**PROPERTY INFORMATION**

1410 CENTRAL AVENUE  
 ALBUQUERQUE, NM 87104

A.K.A. 120 15TH STREET SW  
 ALBUQUERQUE, NM 87104

TRACT 349-A  
 MRGCD #38  
 UPC # 10130583280430211  
 AGIS ZONE ATLAS PAGE # J-13-Z

**ZONING**

SU-2 CLD CURRENT ZONING

PROPOSED USE: BANK, A PERMITTED USE SPECIFICALLY LISTED IN THE HUNING CASTLE AND RAYNOLDS NEIGHBORHOOD SECTOR DEVELOPMENT PLAN

**COA PARKING REQUIREMENTS**

5,200 NET LEASABLE SQUARE FEET ON GROUND FLOOR  
 3,000 NET LEASABLE SQUARE FEET ON UPPER FLOOR

1 SPACE REQUIRED PER 200 NLSF ON GROUND FLOOR  
 1 SPACE REQUIRED PER 300 NLSF ON UPPER FLOOR

36 SPACES SUBTOTAL REQUIRED  
 - 3 (10%) TRANSIT REDUCTION  
 = 33 TOTAL SPACES REQUIRED  
 33 SPACES PROVIDED

2 MOTORCYCLE SPACES REQUIRED & PROVIDED  
 2 BICYCLE SPACES REQUIRED & PROVIDED  
 2 ACCESSIBLE SPACES REQUIRED & PROVIDED  
 1 VAN ACCESSIBLE SPACE REQUIRED & PROVIDED (INCLUDED WITHIN ACCESSIBLE)

**SITE PLAN HATCH PATTERNS**

- LANDSCAPED AREA
- PERVIOUS PAVING
- EXISTING OFFSITE BUILDING
- PROPOSED BUILDING

PROJECT NUMBER: 1009118 case# 12EPC 40002

Application Number: 12DRB - 70133

This plan is consistent with the specific Site Development Plan Approved by the Environmental Planning Commission (EPC), Dated 03/27/2012 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

	Date
	05/16/12
	5-16-12
	5-16-12
	Date
	5/16/12
	Date

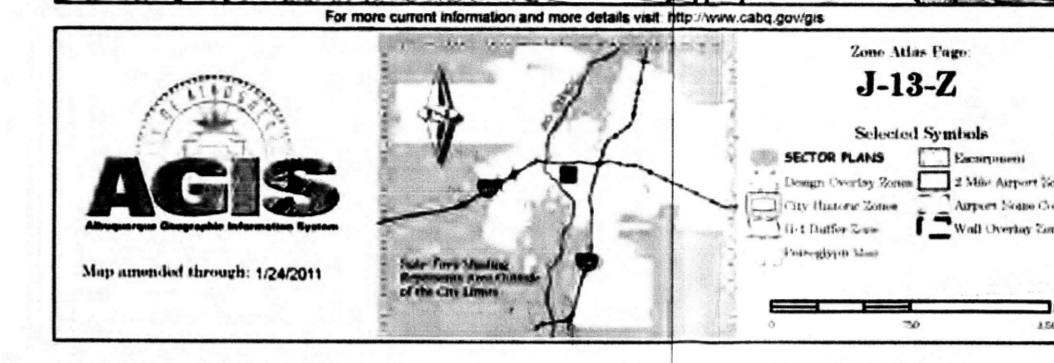
PROJECT OWNER:  
 SOUTHWEST CAPITAL BANK  
 622 DOUGLAS AVENUE  
 LAS VEGAS, NEW MEXICO 87701  
 LOCATION:  
**NEW HUNING CASTLE  
 BRANCH BANK**  
 1410 CENTRAL AVENUE  
 ALBUQUERQUE, NEW MEXICO 87104

SCALE: As indicated  
 RMM PROJECT NO. 1107  
 DRAWING FILE NO. A-100  
 DATE REVISED 5/11/2012 3:08:53 PM  
 PROJECT MANAGER STEPHEN TEETERS  
 DRAWN BY RMM

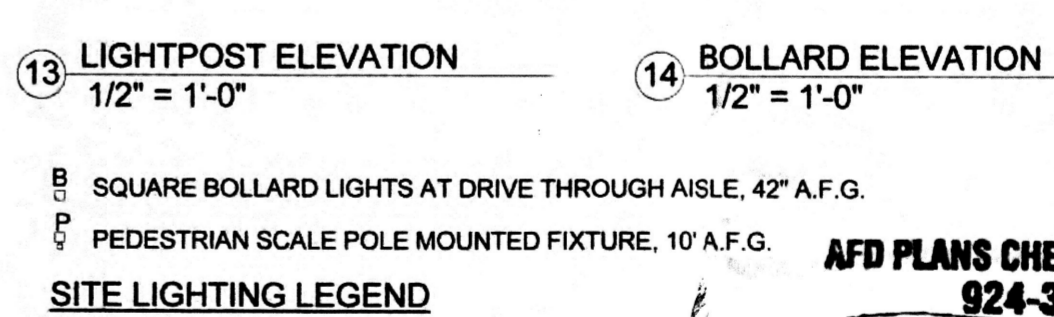
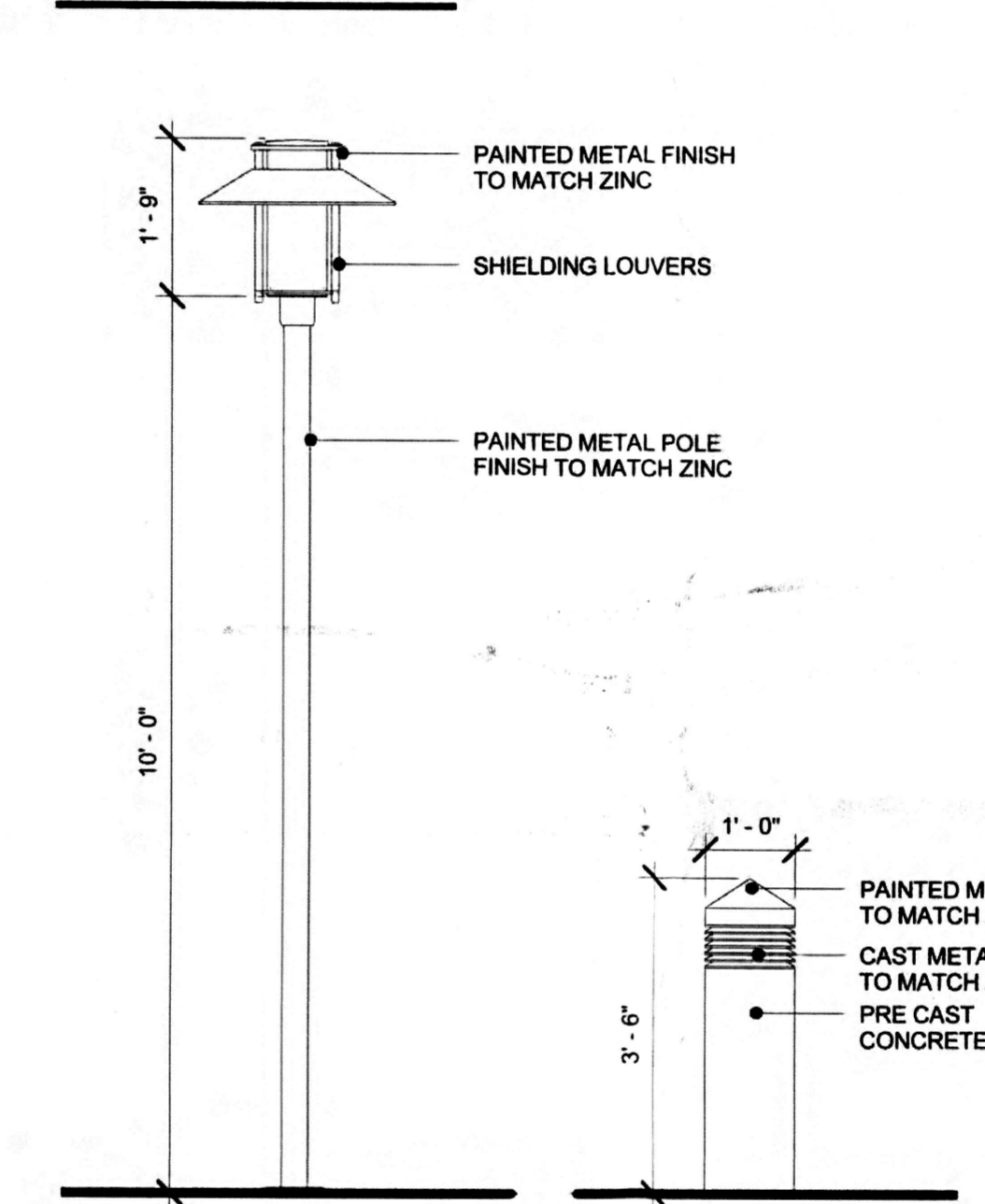
SHEET TITLE  
**ARCHITECTURAL SITE PLAN AND  
 SITE DETAILS**  
 CITY OF ALBUQUERQUE  
 DEVELOPMENT REVIEW BOARD

SHEET NUMBER  
**A-100**  
 REVISIONS: 5-11-2012

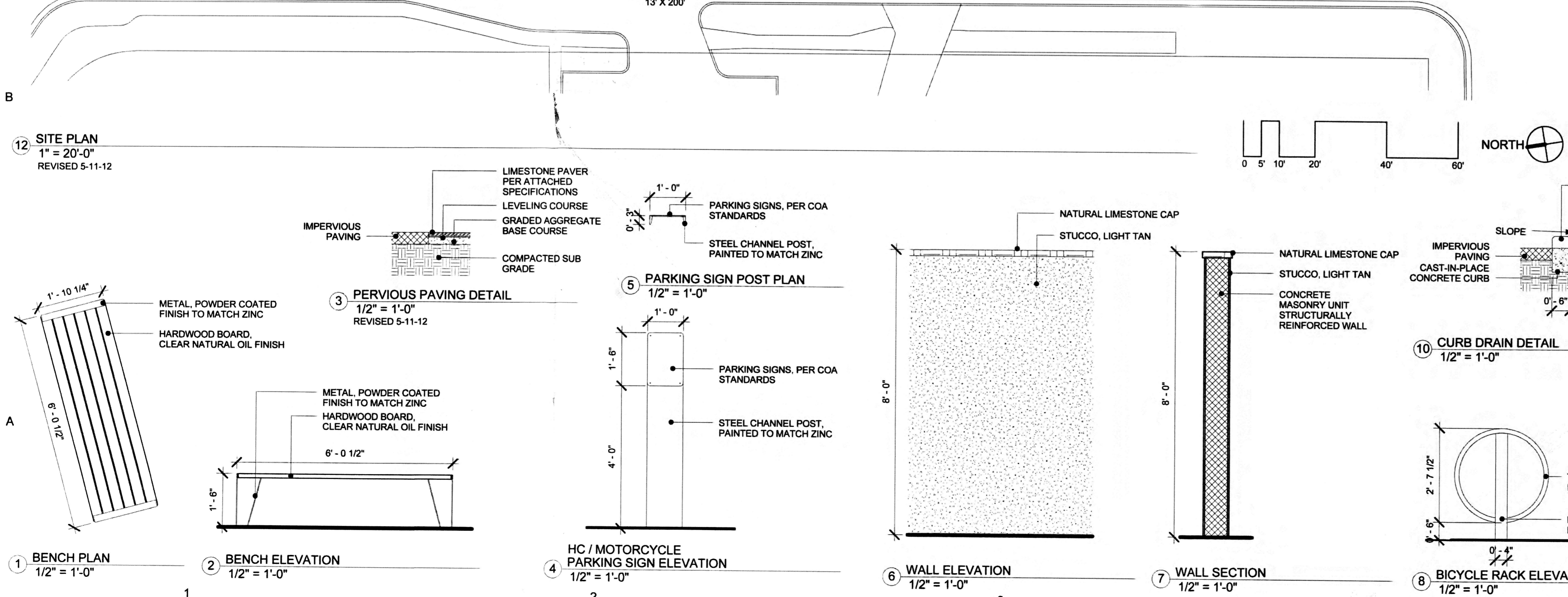
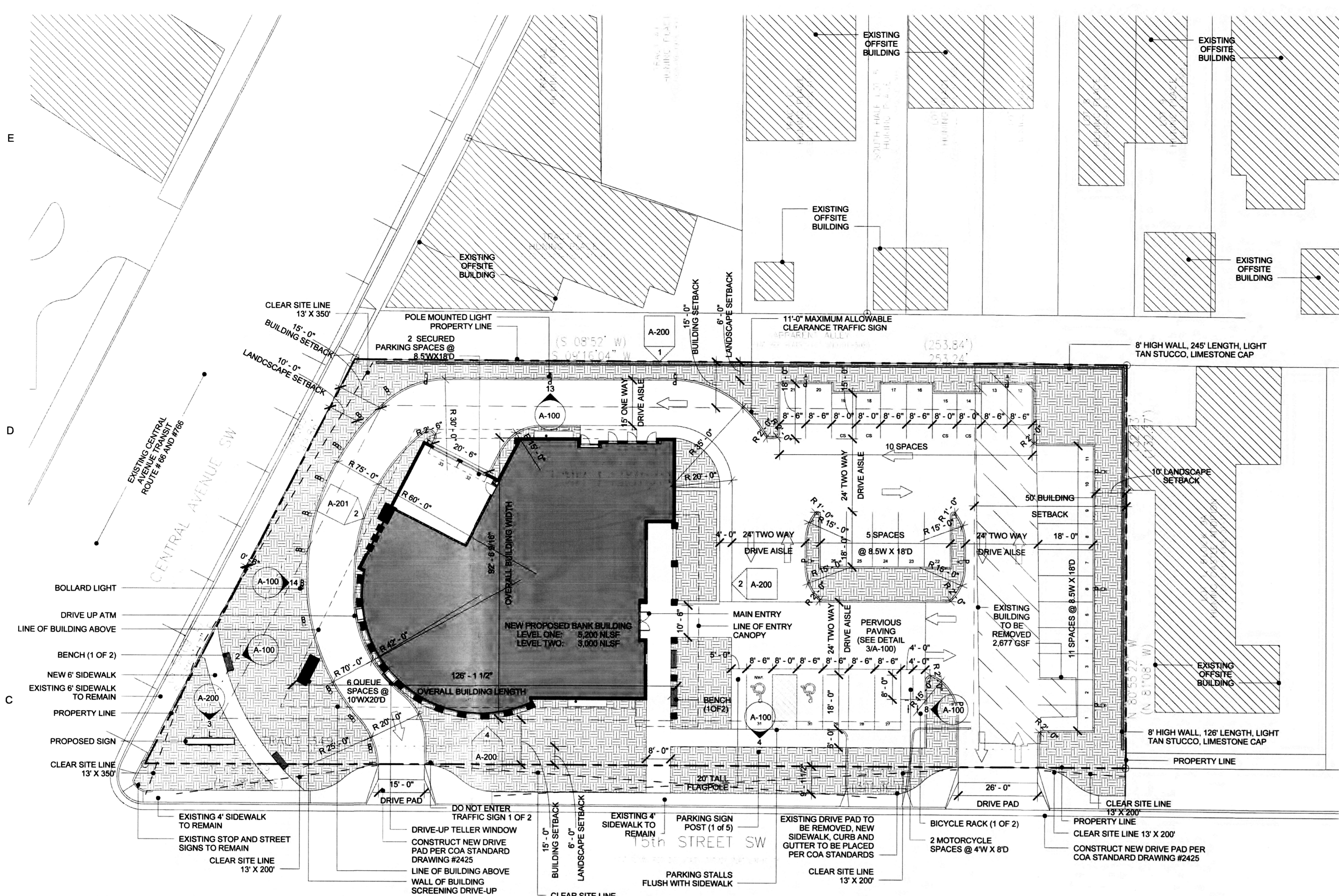
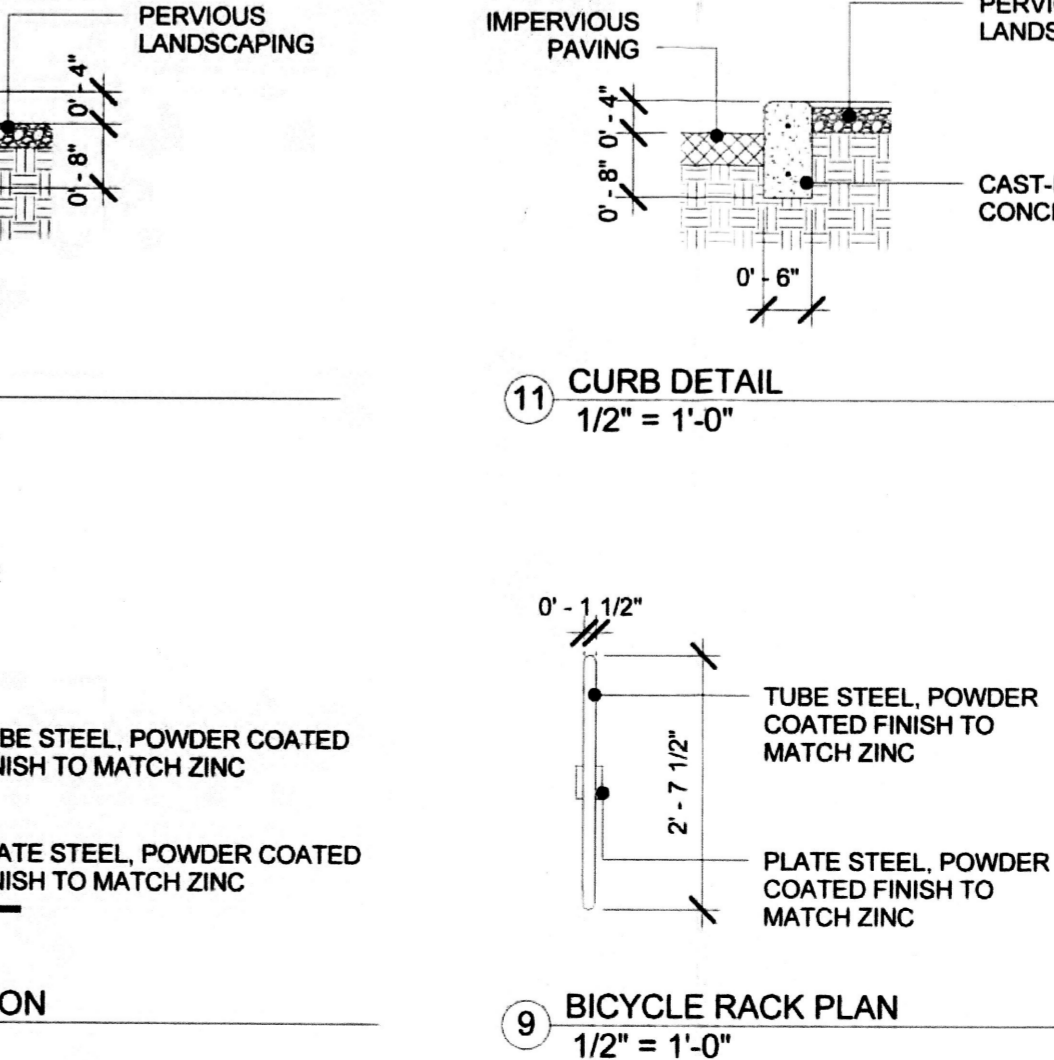
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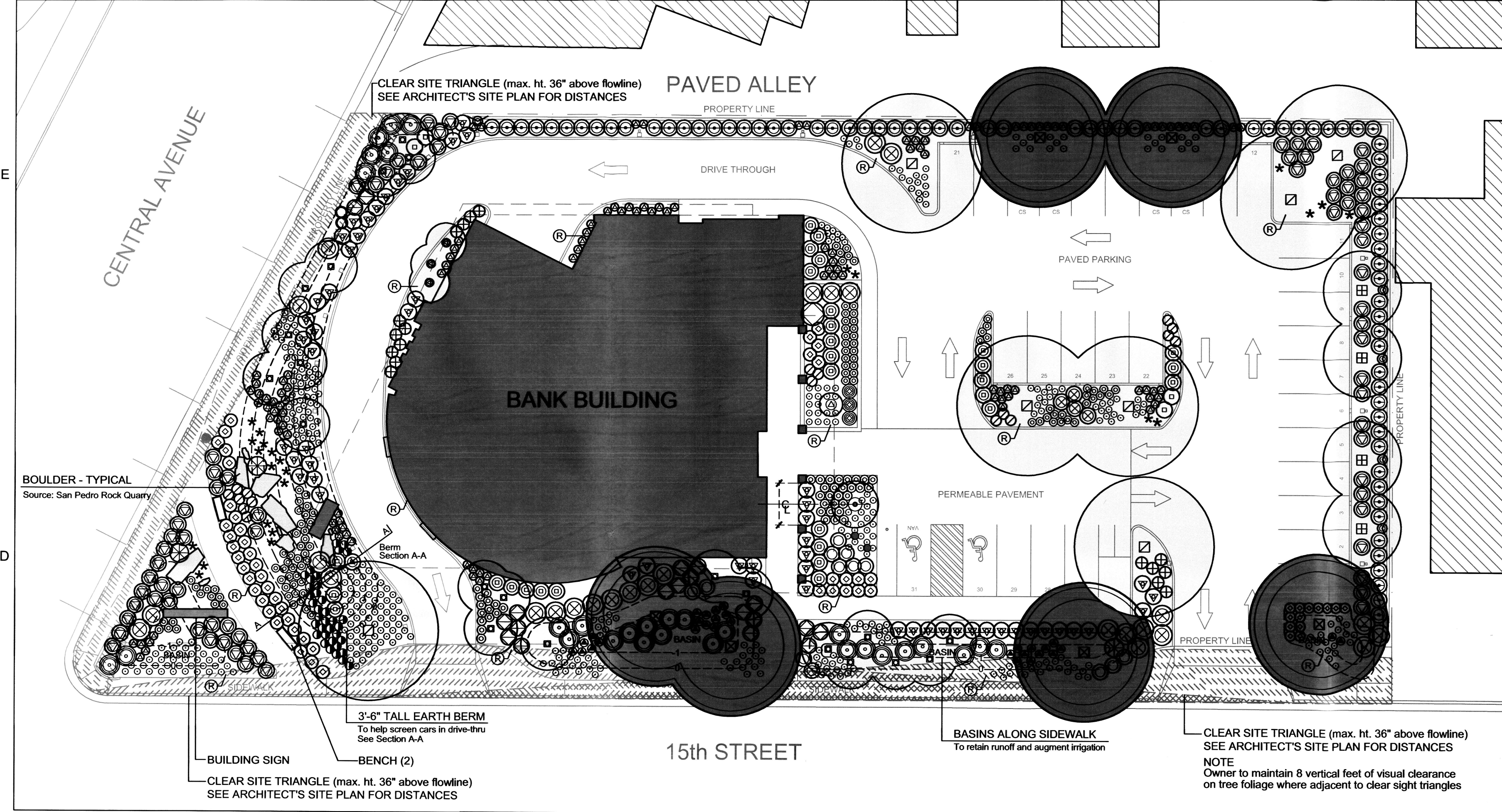
**VICINITY MAP**



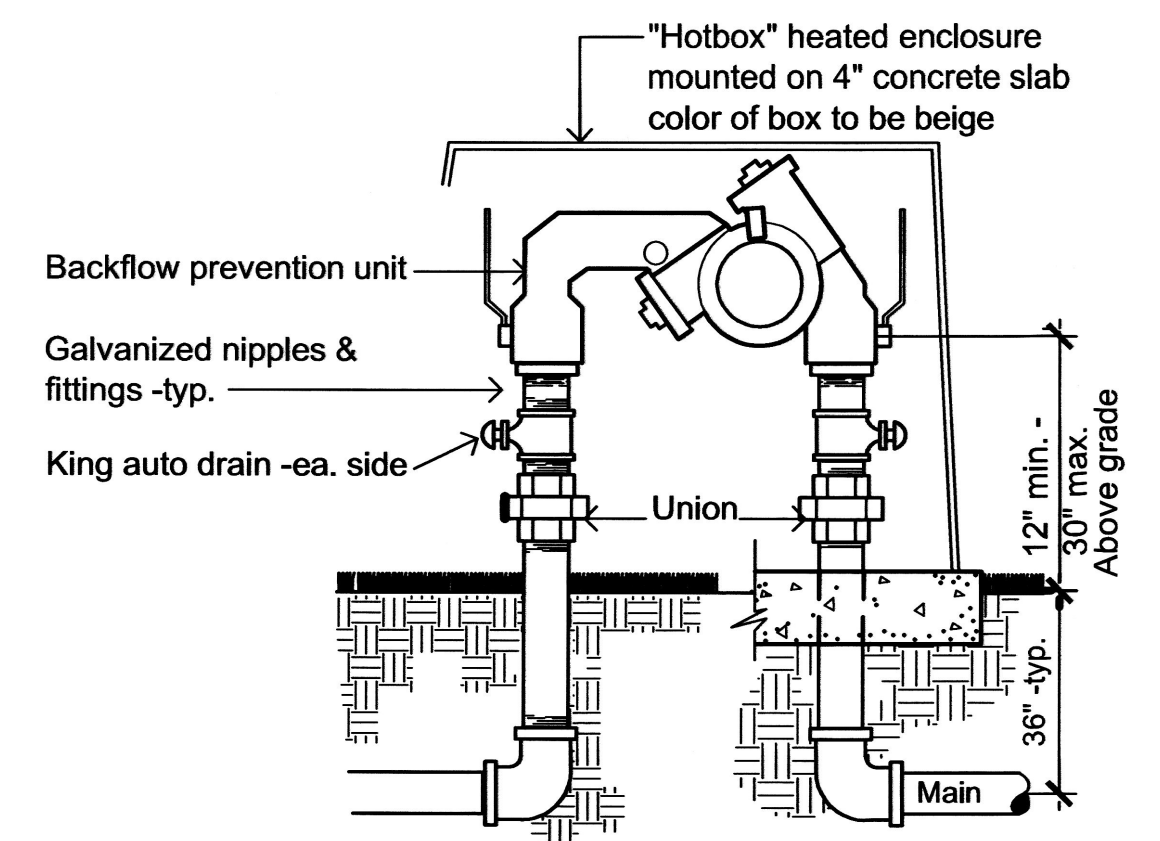
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 924-3611  
**APPROVED/DISAPPROVED**  
 HYDRANT(S) ONLY  
 [Signature]  
 SIGNATURE & DATE







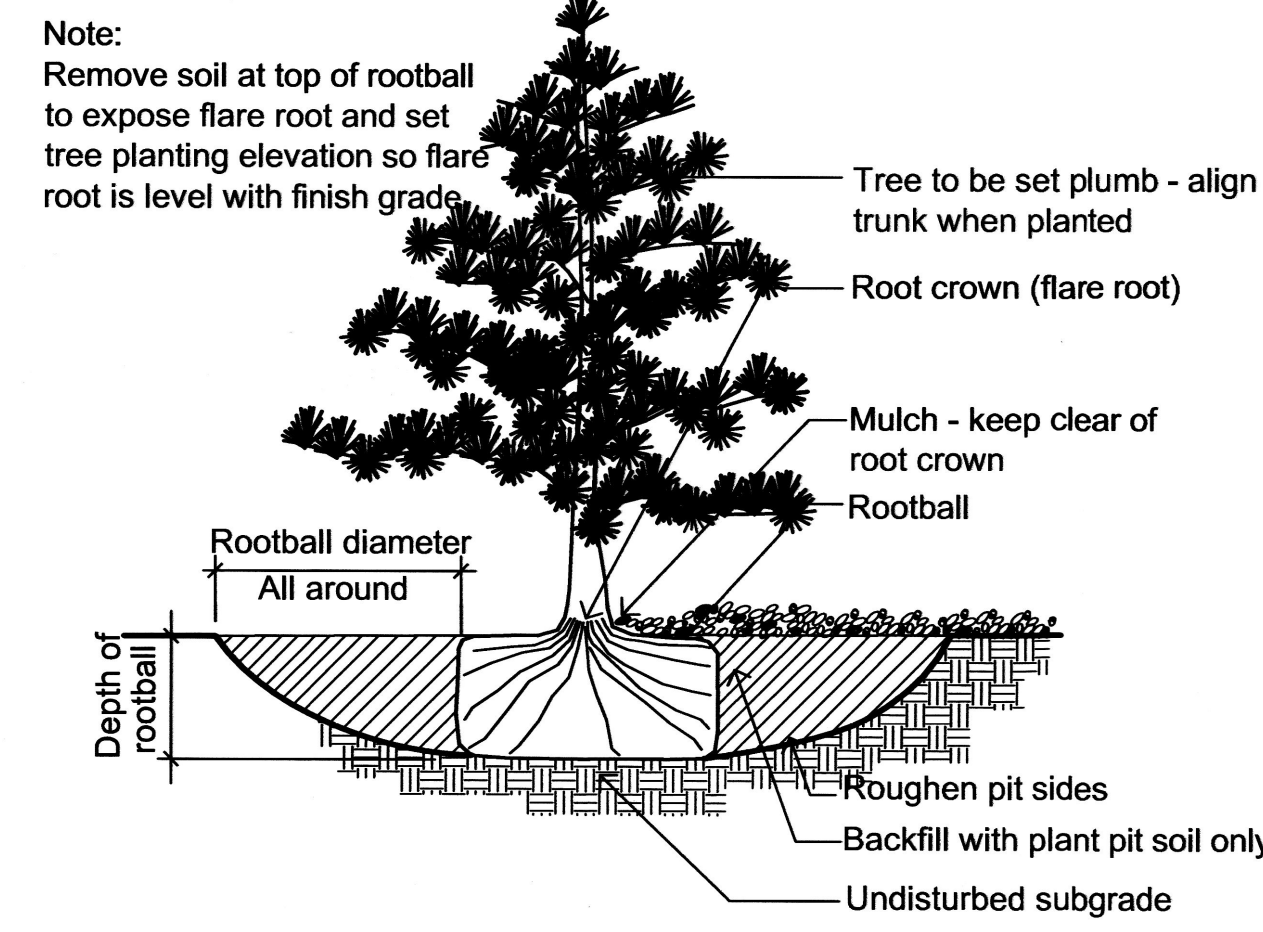
**1 LANDSCAPE PLAN** Plant symbols on plan show plants at approximately mature size  
Scale: 1" = 20'-0"



Note: Landscape contractor to provide electrical connection to hotbox enclosure per manufacturer's instructions

**BACKFLOW PREVENTION ASSEMBLY**

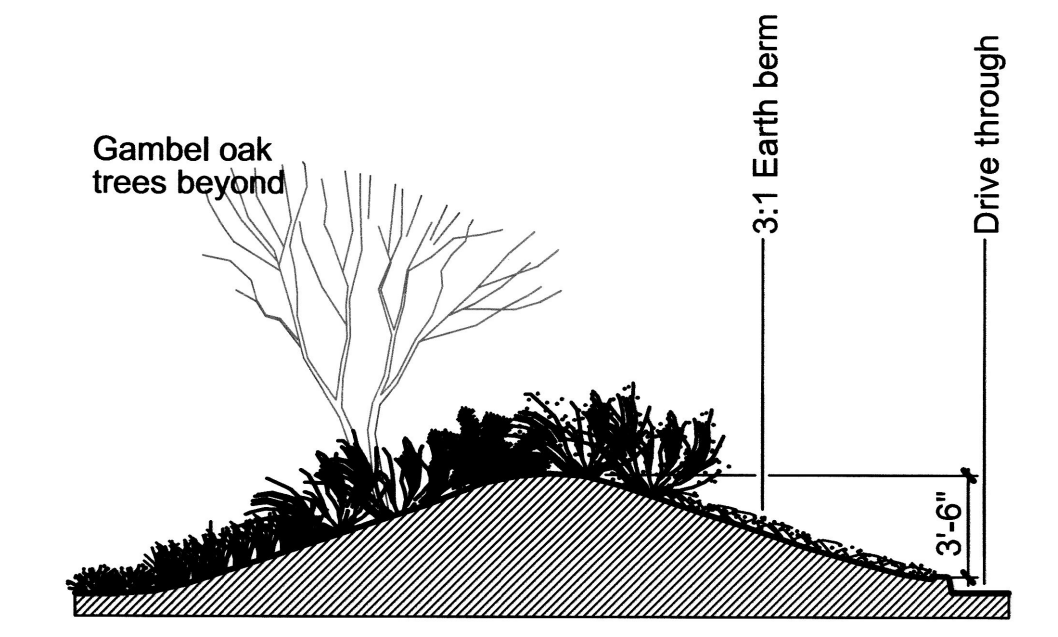
SCALE: NTS



All trees: Begin backfilling when plant pit has been filled with running water 1/2 full to ensure uniform density with no air pockets

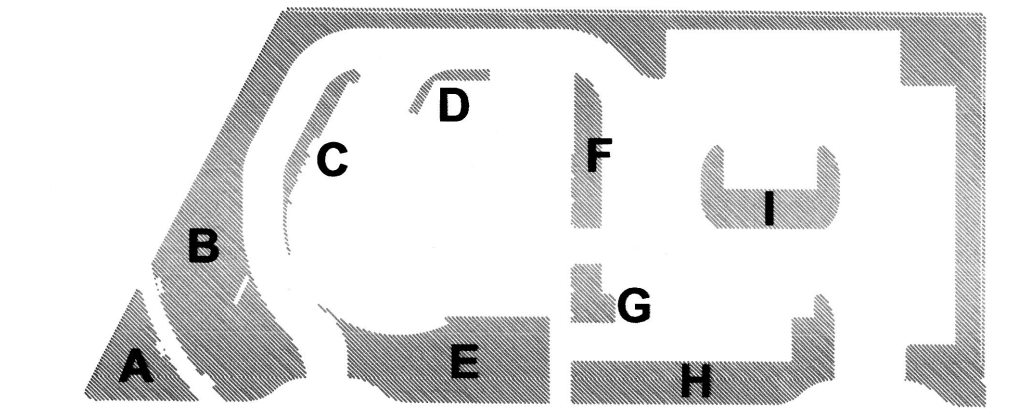
**TREE PLANTING**

SCALE: NTS



**BERM SECTION A-A**

NTS



**LANDSCAPE AREAS**

<b>A</b>	1,278 s.f.
<b>B</b>	6,012 s.f.
<b>C</b>	245 s.f.
<b>D</b>	96.5 s.f.
<b>E</b>	1,978 s.f.
<b>F</b>	661 s.f.
<b>G</b>	675 s.f.
<b>H</b>	1,448.5 s.f.
<b>I</b>	632 s.f.
<b>TOTAL</b>	<b>13,026 s.f.</b>

**PLANT SCHEDULE**

Trees							
SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR	CONDITION	INSTALLED SIZE	MATURE SIZE WxH	WATER USE	QTY. NOTES
⊙	Ficus carica Edible fig	Celeste	25 gallon	6' tall	15X15	MED	1
⊙	Forestiera neomexicana New Mexican olive	NA	B/B	10'-12' tall	15X15	MED	1 Multi trunk Clump
⊙	Juniperus chinensis Spear-mint juniper	Spear-mint (female)	B/B	6' tall	4X8	LOW	77
⊙	Pinus eldarica Afghan pine	NA	B/B	10' tall	18X40	MED	6
⊙	Pyrus callierana Flowering pear	Chanticleer	B/B	10' tall 2" cal.	15x40	MED	4
⊙	Quercus gambeli Gambel oak	NA	B/B	10' tall	25x25	MED	13 Multi trunk Clump
⊙	Quercus buckleyi Texas red oak	NA	24" box	10' tall 2" cal.	60x60	MED	7

Cacti / Succulents / Yucca							
SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR	CONTAINER SIZE	MATURE SIZE WxH	WATER USE	QTY. NOTES	
⊙	Opuntia engelmannii Englemann prickly pear	NA	#5	10X3	LOW	3	
*	Hesperaloe parviflora Red yucca	NA	#1	2X2	LOW	24	

Grasses and Ground Covers							
SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR	CONTAINER SIZE	MATURE SIZE WxH	WATER USE	QTY. NOTES	
⊙	Calamagrostis xacutifolia Feather reed grass	Karl Foerster	#1 (one gallon)	1.5X1	MED	30	
⊙	Cerastigma plumbaginoides Dwarf plumbago	NA	#1	1.5X1	MED	406	
⊙	Cotoneaster dameri Bearberry cotoneaster	Eicholtz (12" max. ht.)	#1	8X1	MED	23	
⊙	Nassella tenuissima Mexican feather grass	NA	#1	1.5X1.5	LOW	144	
⊙	Helictotrichon sempervirens Blue avena grass	NA	#1	2X2	MED	35	
⊙	Juniperus sabina Buffalo juniper	Buffalo (female)	#1	8X1	MED	76	

Shrubs							
SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR	CONTAINER SIZE	MATURE SIZE WxH	QTY. WATER USE		
⊙	Achillea taygetea Moonshine yarrow	Moonshine	#5 (5 gallon)	2X1.5	17 MED		
⊙	Buddleia davidi Dwarf butterflybush	NA	#5	5X5	1 MED		
⊙	Caryopteris x clandonensis Blue mist	Dark Knight	#5	5X4	33 MED		
⊙	Ericameria laricifolia Turpentine bush	NA	#1	5X4	2 LOW		
⊙	Juniperus chinensis Sea Green juniper	Sea Green (female)	#1	8X1	69 LOW		
⊙	Kniphofia caulescens Blueleaf red hot poker	NA	#1	2X2	2 LOW		
⊙	Lavandula intermedia French lavender	Grosso	#5	3X2	59 LOW		
⊙	Mahonia aquifolia Oregon grape	Compacta	#5	2X3	95 MED		
⊙	Potentilla fruticosa Cinquefoil	NA	#5	3X3	17 MED		
⊙	Pinus mugu Mugo pine	NA	#5	5X3	33 MED		
⊙	Prunus besseyi Sand cherry	NA	#5	3X3	15 MED		
⊙	Rosa foetida Austrian copper rose	NA	#5	8X8	1 MED		
⊙	Rosmarinus officinalis Rosemary	Arp	#5	4X4	3 LOW		
⊙	Salvia greggii Cherry sage	NA	#5	3X3	8 LOW		

Vines							
SYMBOL	BOTANICAL NAME COMMON NAME	VARIETY/CULTIVAR SIZE	CONTAINER	MATURE SIZE	QTY. WATER USE		
⊙	Parthenocissus tricuspidata Boston ivy	x	#1 (one gallon)	Sprawling	4 MED		

**CALCULATIONS**

SITE AREA:	38,173 s.f.
BUILDING PAD AREA:	7,693 s.f.
NET SITE AREA:	30,480 s.f.
REQ. LANDSCAPE AREA (15%):	4,572 s.f.
PROVIDED LANDSCAPE AREA (43%):	13,026 s.f.
TREES IN PARKING AREA (min 75% deciduous req.)	
Evergreen	2
Deciduous	10 (83%)

REQUIRED Street Trees	
15th Street Frontage	10
Central Avenue Frontage	5
PROVIDED Street Trees	
15th Street Frontage	13
Central Avenue Frontage	12
Street tree quantity determined by 30' spacing along frontage	

**RESPONSIBILITY OF MAINTENANCE**

The landscape and irrigation system shall be maintained by the owner such that plant materials will remain healthy and vigorous and the irrigation system shall function to ensure this.

**DESCRIPTION OF IRRIGATION SYSTEM**

The landscape will be sustained by an automatic irrigation system consisting of a drip or bubbler system for trees, shrubs and ground covers.

**COMPLIANCE with WATER CONSERVATION**

The landscape design shall comply with the Water Conservation Ordinance 6-1-1-1.

**Rock Mulch**

(R) Denotes 3" deep "Canyon Gold" gravel over landscape fabric in landscape areas.

PROJECT OWNER:  
SOUTHWEST CAPITAL BANK  
622 DOUGLAS AVENUE  
LAS VEGAS, NEW MEXICO 87701  
LOCATION:

**NEW HUNING CASTLE  
BRANCH BANK**  
1410 CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO 87104

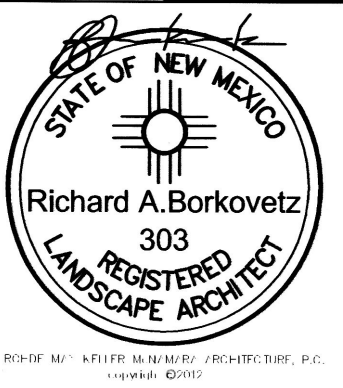
SHEET TITLE  
LANDSCAPE PLAN

CITY OF ALBUQUERQUE  
DEVELOPMENT REVIEW BOARD

SHEET NUMBER

**L-100**

SCALE  
As indicated  
RMKM PROJECT NO.  
1107  
DRAWING FILE NO.  
L-100  
DATE  
11 May 2012  
PROJECT MANAGER  
STEPHEN TEETERS  
DRAWN BY  
RBLA



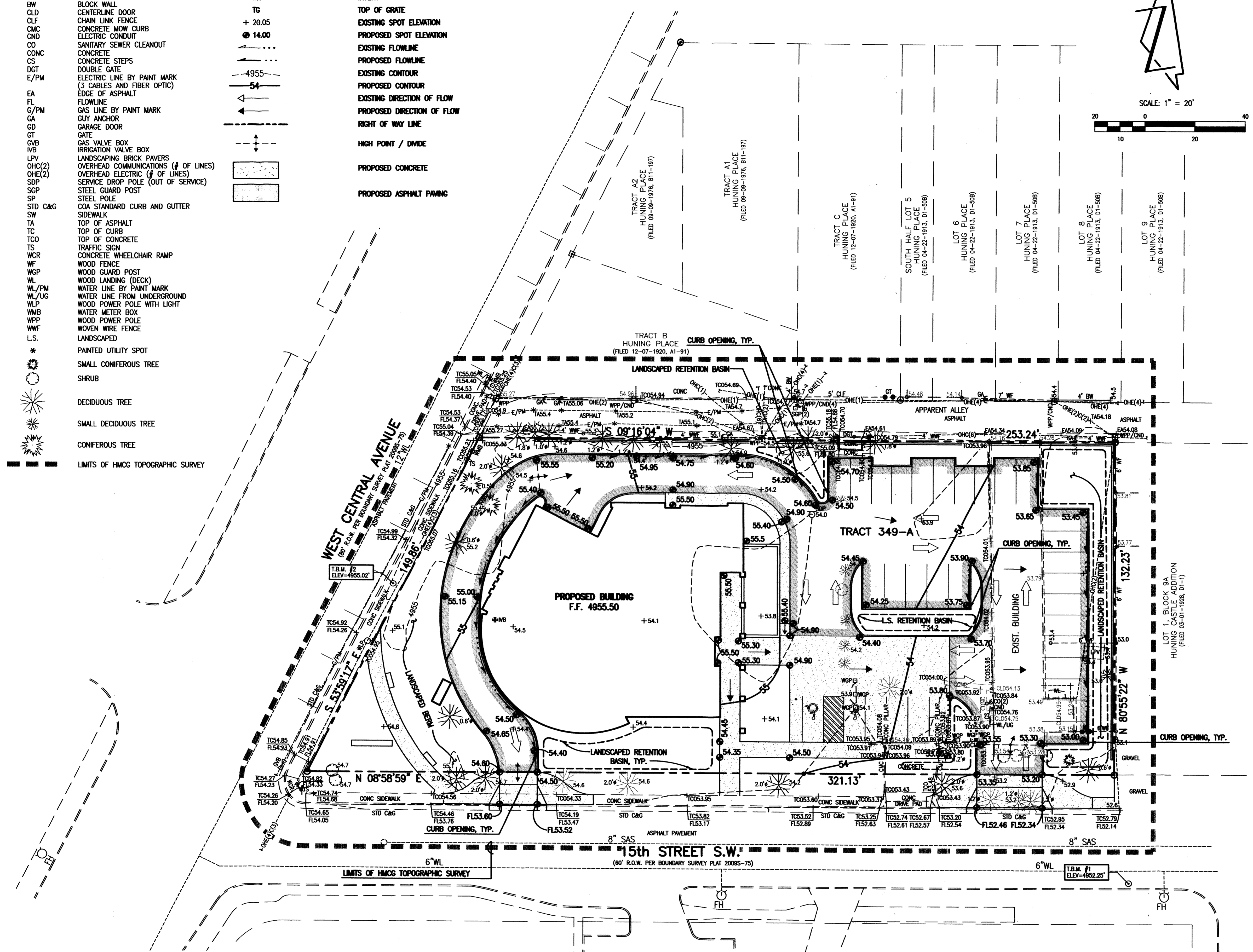
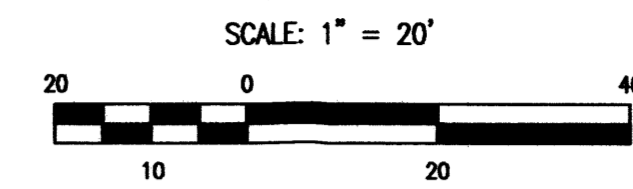


**SURVEY LEGEND**

BOH	BUILDING OVERHANG
BW	BLOCK WALL
CLD	CENTERLINE DOOR
CLF	CHAIN LINK FENCE
CMC	CONCRETE MOW CURB
CND	ELECTRIC CONDUIT
CO	SANITARY SEWER CLEANOUT
CONC	CONCRETE
CS	CONCRETE STEPS
DGT	DOUBLE GATE
E/PM	ELECTRIC LINE BY PAINT MARK (3 CABLES AND FIBER OPTIC)
EA	EDGE OF ASPHALT
FL	FLOWLINE
G/PM	GAS LINE BY PAINT MARK
GA	GUY ANCHOR
GD	GARAGE DOOR
GT	GATE
GV	GAS VALVE BOX
IVB	IRRIGATION VALVE BOX
LPV	LANDSCAPING BRICK PAVERS
OHC(2)	OVERHEAD COMMUNICATIONS (# OF LINES)
OHE(2)	OVERHEAD ELECTRIC (# OF LINES)
SOP	SERVICE DROP POLE (OUT OF SERVICE)
SGP	STEEL GUARD POST
SP	STEEL POLE
STD C&G	COA STANDARD CURB AND GUTTER SIDEWALK
SW	TOP OF ASPHALT
TA	TOP OF CURB
TC	TOP OF CONCRETE
TCO	TOP OF CONCRETE
TS	TRAFFIC SIGN
WCR	CONCRETE WHEELCHAIR RAMP
WF	WOOD FENCE
WGP	WOOD GUARD POST
WL	WOOD LANDING (DECK)
WL/PM	WATER LINE BY PAINT MARK
WL/UG	WATER LINE FROM UNDERGROUND
WLP	WOOD POWER POLE WITH LIGHT
WMB	WATER METER BOX
WPP	WOOD POWER POLE
WWF	WOVEN WIRE FENCE
L.S.	LANDSCAPED
*	PAINTED UTILITY SPOT
○	SMALL CONIFEROUS TREE
○	SHRUB
○	DECIDUOUS TREE
○	SMALL DECIDUOUS TREE
○	CONIFEROUS TREE
---	LIMITS OF HMC TOPOGRAPHIC SURVEY

**DESIGN GRADING LEGEND:**

INV	INVERT
TG	TOP OF GRATE
+ 20.05	EXISTING SPOT ELEVATION
⊕ 14.00	PROPOSED SPOT ELEVATION
→	EXISTING FLOWLINE
→	PROPOSED FLOWLINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
→	EXISTING DIRECTION OF FLOW
→	PROPOSED DIRECTION OF FLOW
---	RIGHT OF WAY LINE
↑	HIGH POINT / DIVIDE
▨	PROPOSED CONCRETE
▨	PROPOSED ASPHALT PAVING



**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS - PUBLIC WORKS CONSTRUCTION-1986-UPDATE NO.8.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

**EROSION CONTROL MEASURES:**

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

**NOTE:**

THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON AN UNRECORDED BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 12/02/2011 (2011.034.1). THE TOPOGRAPHIC INFORMATION DEPICTED HEREIN WITHIN THE IDENTIFIED LIMITS IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 12/02/2011 (2011.034.1). EXISTING SITE INFORMATION SHOWN OUTSIDE THE TOPO LIMITS IS TAKEN FROM THE ARCHITECTURAL SITE PLAN AND HAS BEEN LOCATED BY APPROXIMATE MEANS (NOT SURVEYED).

PROJECT OWNER:  
 SOUTHWEST CAPITAL BANK  
 622 DOUGLAS AVENUE  
 LAS VEGAS, NEW MEXICO 87701  
 LOCATION:  
**NEW HUNING CASTLE BRANCH BANK**  
 1410 CENTRAL AVENUE  
 ALBUQUERQUE, NEW MEXICO 87104

SCALE  
 1"=20'-0"  
 RMKM PROJECT NO.  
 1107  
 DRAWING FILE NO.  
 2011.034.2  
 DATE  
 5/01/2012  
 PROJECT MANAGER  
 STEPHEN TEETERS  
 DRAWN BY  
 E.J.S.

SHEET TITLE  
 CONCEPTUAL GRADING PLAN

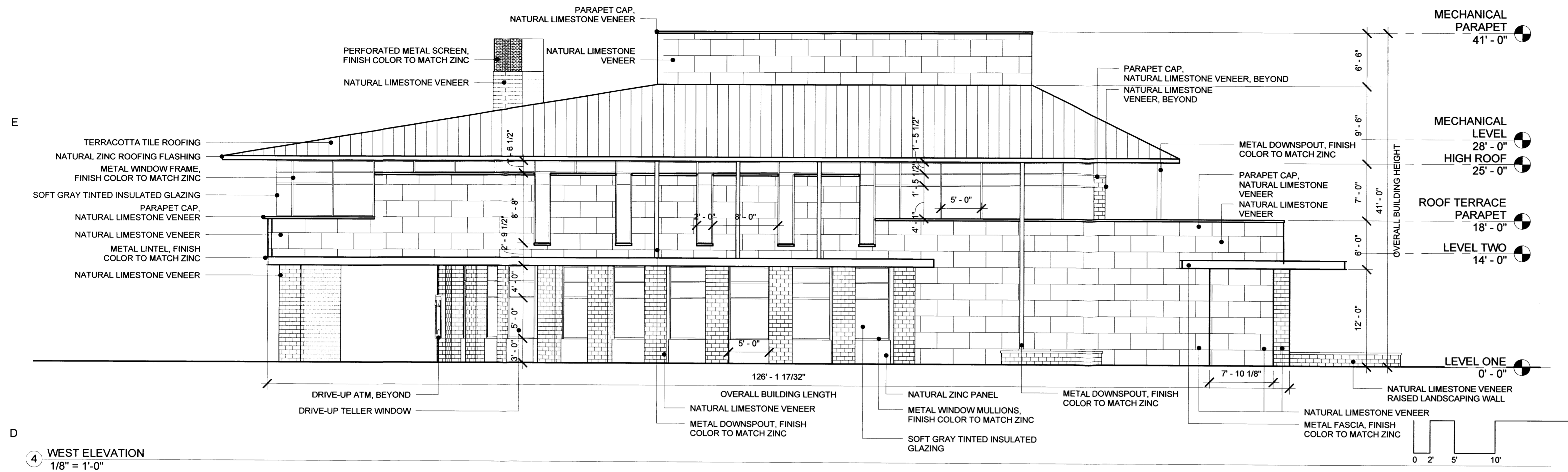
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**C-102**



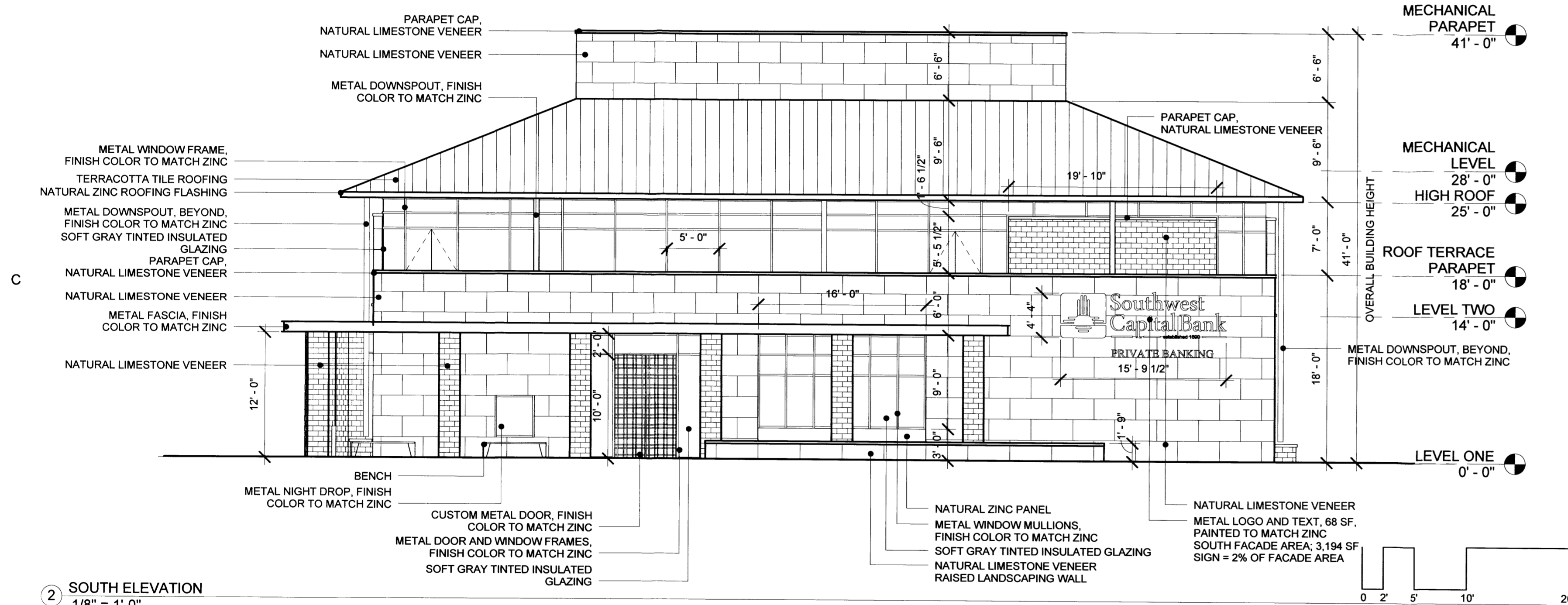


**BUILDING MATERIALS COLOR LEGEND**

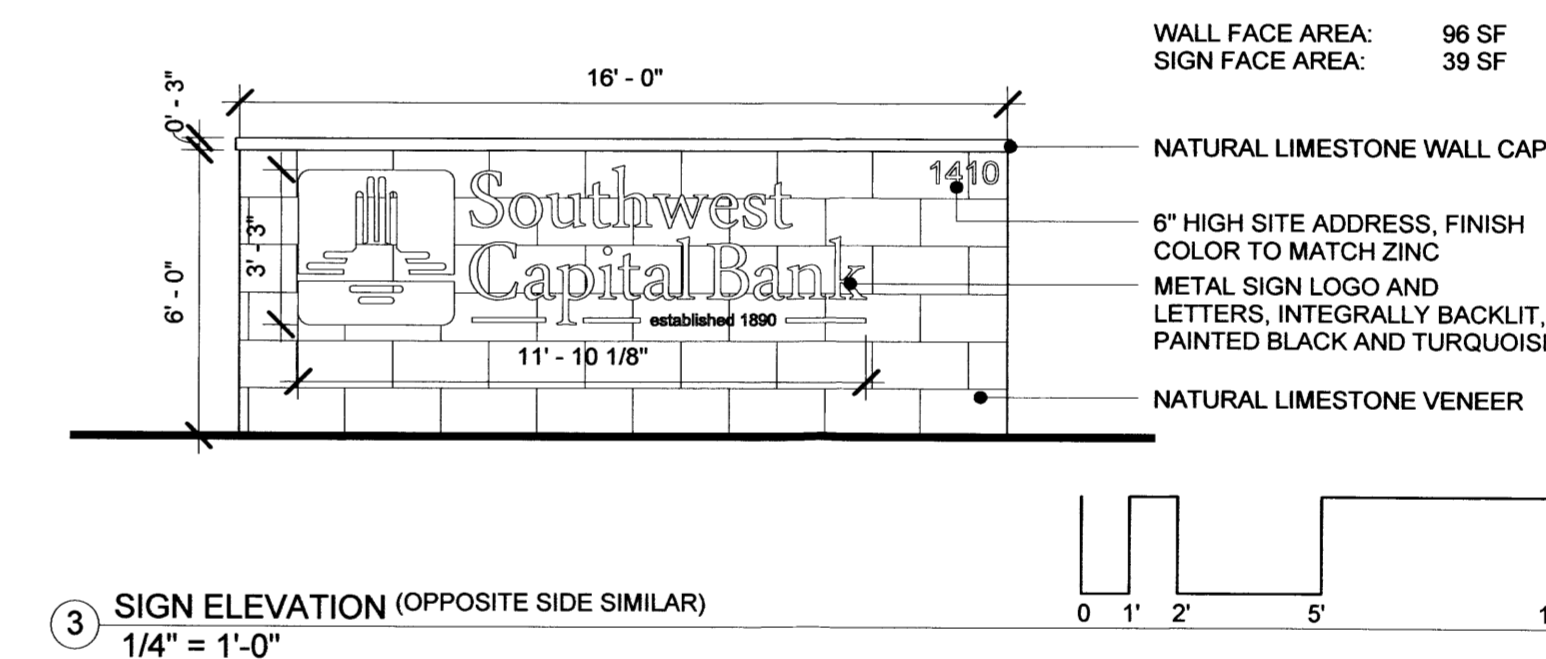
MATERIAL	COMMON COLOR NAME
TERRACOTTA ROOFING	WARM ORANGE - RED
ZINC METAL	COOL GRAY - BROWN
LIMESTONE	LIGHT BROWN TAN
STUCCO	LIGHT YELLOW TAN
GLASS	COOL LIGHT GRAY, NON REFLECTIVE



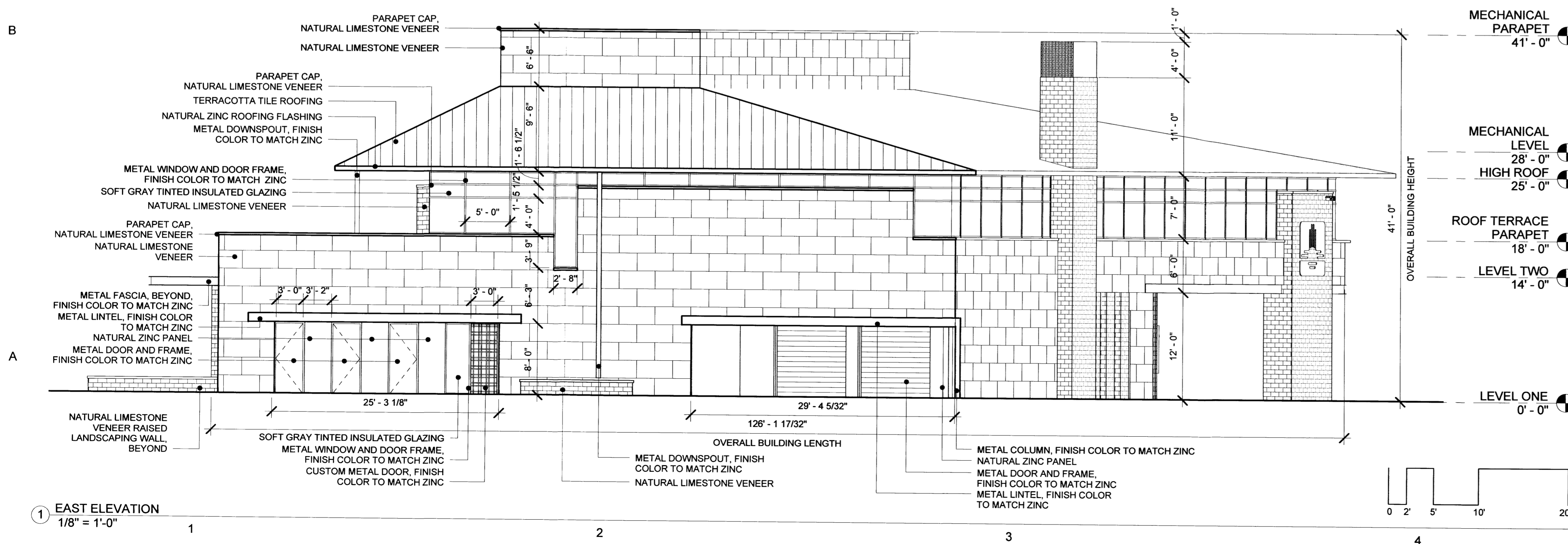
④ WEST ELEVATION  
 1/8" = 1'-0"



② SOUTH ELEVATION  
 1/8" = 1'-0"



③ SIGN ELEVATION (OPPOSITE SIDE SIMILAR)  
 1/4" = 1'-0"



① EAST ELEVATION  
 1/8" = 1'-0"

PROJECT  
 OWNER:  
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 622 DOUGLAS AVENUE  
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**NW HUNING CASTLE  
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SHEET TITLE  
**BUILDING ELEVATIONS**

CITY OF ALBUQUERQUE  
 DEVELOPMENT REVIEW BOARD

SHEET NUMBER  
**A-200**

SCALE  
 As indicated  
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 1107  
 DRAWING FILE NO.  
 A-200  
 DATE  
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 STEPHEN TEETERS  
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 RMKM

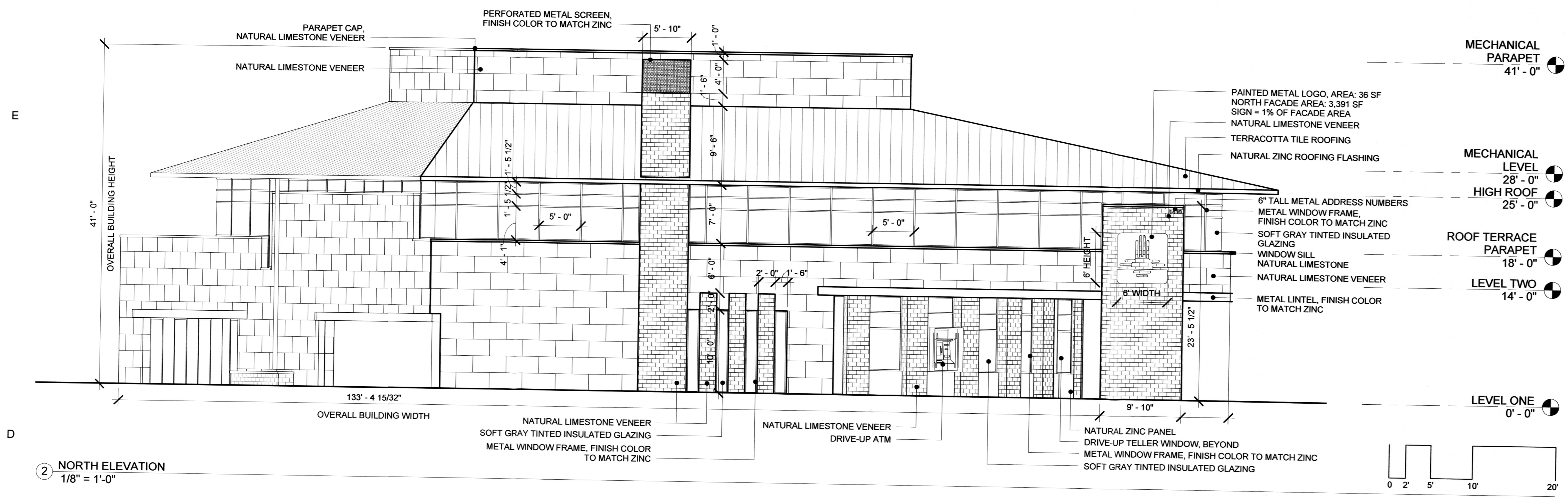


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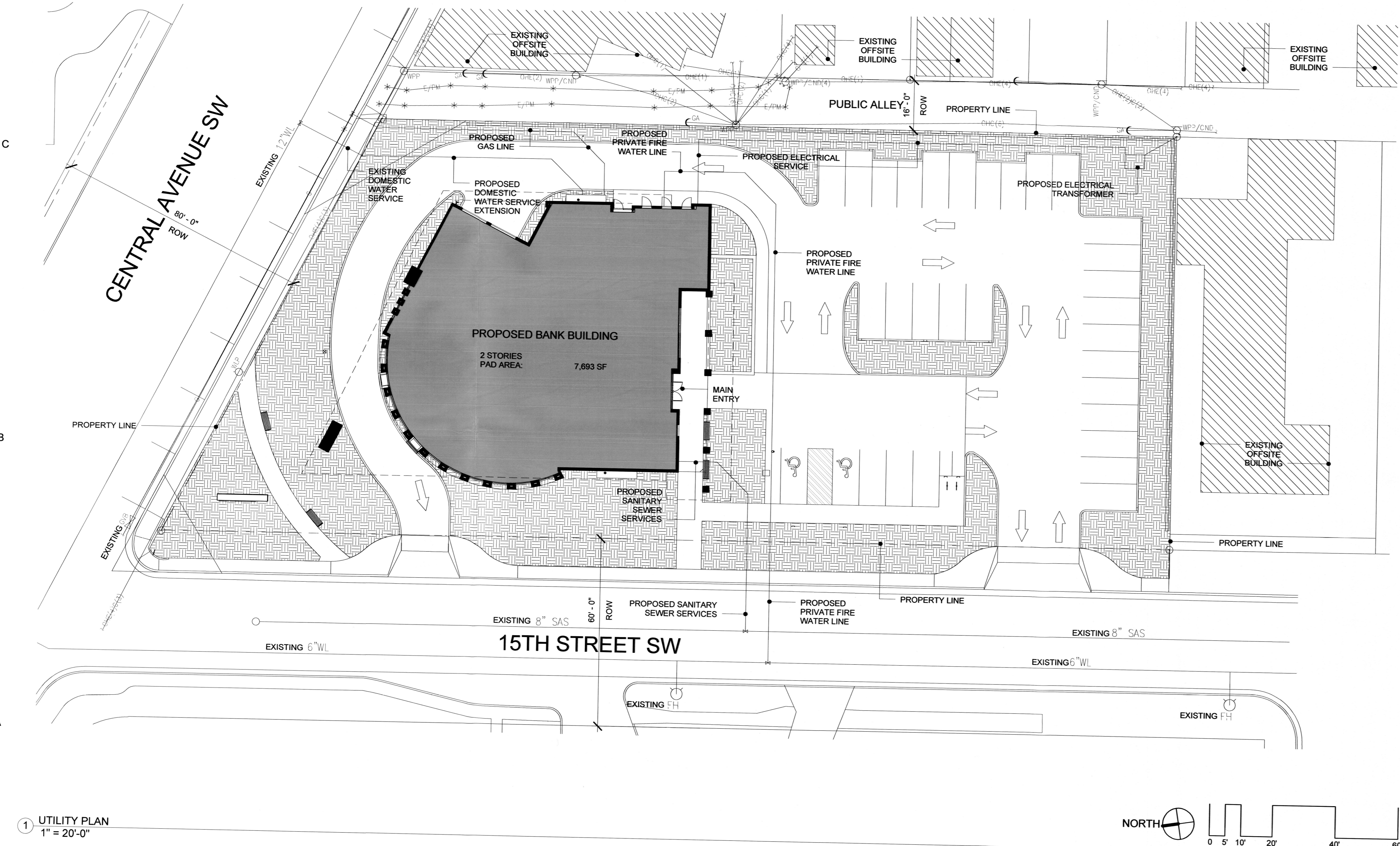


**BUILDING MATERIALS COLOR LEGEND**

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ZINC METAL	COOL GRAY - BROWN
LIMESTONE	LIGHT BROWN TAN
STUCCO	LIGHT YELLOW TAN
GLASS	COOL LIGHT GRAY, NON REFLECTIVE



2 NORTH ELEVATION  
 1/8" = 1'-0"



1 UTILITY PLAN  
 1" = 20'-0"

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