



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): ISAACSON & ARFMAN, PA. PHONE: 268-8828
 ADDRESS: 128 MONROE ST. NE FAX: _____
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: FRDA@IACIVIL.COM

APPLICANT: RSO1, LLC PHONE: _____
 ADDRESS: 4310 CENTRAL AVE SE FAX: _____
 CITY: ABQ STATE NM ZIP 87108 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: CONSOLIDATE 6 LOTS IN TWO (2) LOTS ALONG AN OWNER SEPARATION BOUNDARY

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 4-9 Block: 5 Unit: _____
 Subdiv/Addn/TBKA: MESA GRANDE ADDITION
 Existing Zoning: CCR-2 Proposed zoning: SAME MRGCD Map No. _____
 Zone Atlas page(s): K-17 UPC Code: 101705724920534113
101705725120534112; 101705725420434111; 101705725720434111; 101705725920334109
101705726120334108

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): _____

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 6 No. of proposed lots: 2 Total site area (acres): 0.4270 AC.
 LOCATION OF PROPERTY BY STREETS: On or Near: CENTRAL AVE
 Between: WASHINGTON ST and GRACELAND AV.

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Fred C. Arfman DATE 02-18-14
 (Print Name) FRED C. ARFMAN Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>14DRB - 70043</u>	<u>SK</u>	_____	<u>\$ 0</u>
<input checked="" type="checkbox"/>	All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/>	Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/>	F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/>	F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 0</u>

Hearing date February 18, 2015

[Signature]

2-18-14
Staff signature & Date

Project # 1009243

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Maximum Size: 24" x 36"
- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** Maximum Size: 24" x 36"
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** Maximum Size: 24" x 36"
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** Maximum Size: 24" x 36"
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**

I, the applicant, understand that any information required but not submitted with this application will likely result in deferral of actions.

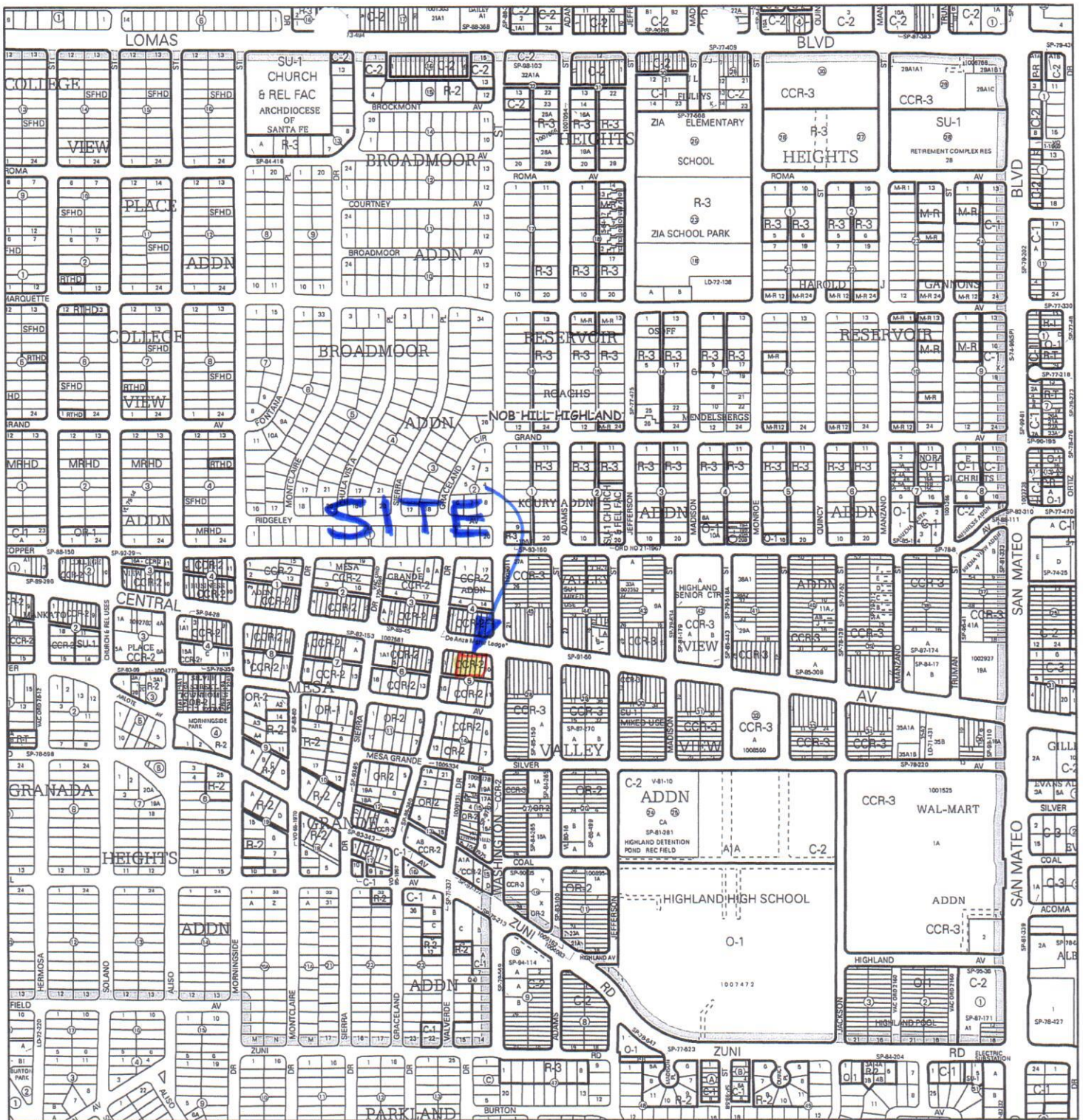
for Fred C. Artman
Ruth Bogano 2/18/14
 Applicant name (print)
 Applicant signature / date



Form revised October 2007

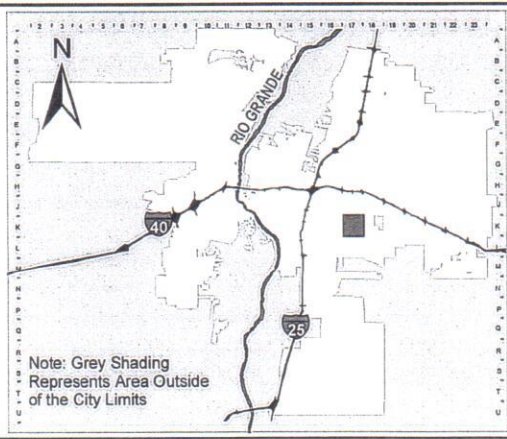
- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 14DRB - 70043

Vign 2-18-14
 Planner signature / date
 Project # 1009243



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/10/2013



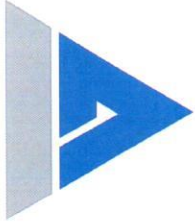
Zone Atlas Page:

K-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





February 18, 2014

Mr. Jack Cloud, Chairman
Development Review Board
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Sketch Plat Submittal
Lots 4-9, Block 5
Mesa Grande Addition
(K-17)

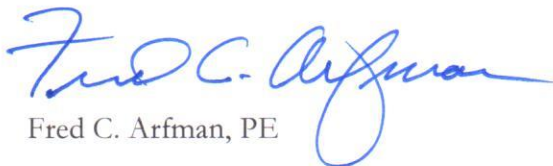
Dear Mr. Cloud,

Isaacson & Arfman, PA acting as the agent for Gieco, LLC request that the accompanying Sketch Plat submittal be entered into the DRB process. The site is within the limits of the Nob Hill Sector Plan and the subsequent plating will consolidate the six lots into two (2) lots along the ownership boundary line as shown on the accompanying plat.

The business situated on future Lot 9-A is a separate entity from the existing business on the westerly lots being O'Niell's Irish Pub.

We are available to answer any questions on this submittal.

Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, PE

**DECLARATION AND GRANT OF
PRIVATE ACCESS EASEMENT**

THIS DECLARATION and GRANT if made and entered into by Daniel Spanogle (hereinafter referred to as "Declarant/Grantor") on behalf of himself/herself, his/her heirs, successors and assigns.

WHEREAS, Declarant/Grantor is/are the owner/s of the real property described as follows:

Lot 17-A, Block 15, Mesa Grande Addition, a Subdivision in City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 16, 2007, in Plat Book 2007C, Page 94.

(hereinafter referred to as the "Servient Tenement")

and

WHEREAS, Declarant/Grantor grants an exclusive, permanent and private access easement ("Easement") in, over, upon and across the Servient Tenement described above for the construction, installation, maintenance, repair, modification, replacement and operation of of access road across the Servient Tenement which Easement is shown on the attached Exhibit "A" and which Easement is to benefit the adjacent real property described as follows:

Lot 15-A, Block 15, Mesa Grande Addition, a Subdivision in City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said Plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on April 16, 2007, in Plat Book 2007C, Page 94.

WHEREAS, the Easement may require periodic maintenance and Declarant/Grantor desired to provide for the maintenance of said Easement.

NOW, THEREFORE, in consideration of the covenants and promises contained herein, Declarant/Grantor hereby grants the Easement described above with the following conditions:

1. Declarant/Grantor, on behalf of himself, his heirs, successors and/or assigns, agrees that both Owners of Lots 15-A, Block 15, Mesa Grande Addition (Dominant Tenement) and 17-A, Block 15, Mesa Grande Addition (The Grantor) shall keep said Easement in a safe and useable condition, and will maintain the same for this use and benefit. The term "maintenance" is defined as grading, shaping and smoothing the roadway so as to keep it in its present state of repair.

Doc# 2013110098

10/02/2013 01:44 PM Page: 1 of 3
EASE R:\$25 00 M. Toulouse Oliver, Bernalillo County

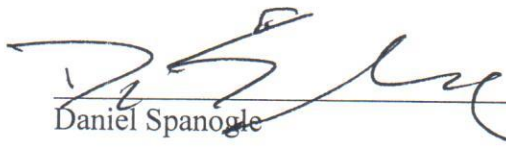


2. All necessary maintenance to be preformed shall be determined by both Owners of the Lots 15-A, Block 15, Mesa Grande Addition (Dominant Tenement) and 17-A, Block 15, Mesa Grande Addition (The Grantor)

3. All costs of maintenance shall be borne by both Owners of the Lots 15-A, Block 15, Mesa Grande Addition (Dominant Tenement) and 17-A, Block 15, Mesa Grande Addition (The Grantor), the Owner's heirs, successors and assigns in interest.

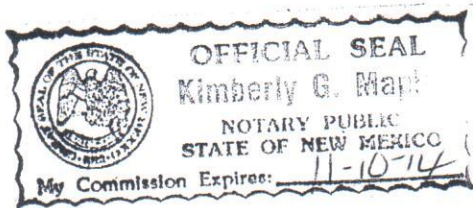
4. Nothing contained herein shall require the Declarant/Grantor to further improve the Easement. Any upgrading of the Easement from its present state shall be done at the sole discretion of the Owner of Lot 15-A, Block 15, Mesa Grande Addition (Dominant Tenement).

5. The covenants set forth in this Declaration shall run with the above described parcels of property and shall be binding upon all its owners successors and assigns.


Daniel Spanogle
Date 9/5/13

STATE OF NEW MEXICO)
)SS
COUNTY OF BERNALILLO)

This instrument was acknowledged before me this 5th Day of September 2013, by Daniel Spanogle.



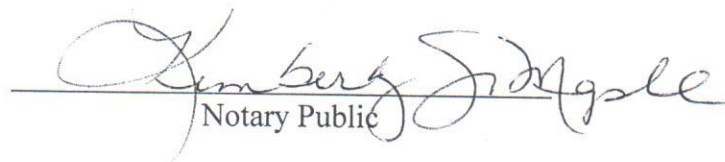
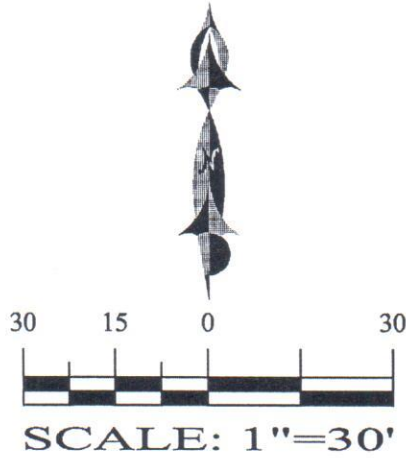

Notary Public

EXHIBIT "A"

PRIVATE ACCESS EASEMENT



LOT 2, BLOCK 15
MESA GRANDE ADDITION

LOT 18, BLOCK 15
MESA GRANDE ADDITION

LOT 5, BLOCK 15
MESA GRANDE ADDITION

**LOT 17-A, BLOCK 15
MESA GRANDE ADDITION**

REC. 4-16-2007
BK. 2007C, FOL. 94

LOT 4, BLOCK 15
MESA GRANDE ADDITION

LOT 15-A, BLOCK 15
MESA GRANDE ADDITION

**PRIVATE ACCESS
EASEMENT TO
BE GRANTED**

WASHINGTON STREET SE
60.00' R.O.W.

**LOT 17-A, BLOCK 15
MESA GRANDE ADDITION**

LEGAL DESCRIPTION:

LOT 17-A, BLOCK 15
MESA GRANDE ADDITION
SITE AREA: 0.1268 AC.

**SBS CONSTRUCTION AND
ENGINEERING, LLC**

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
PH: (505)804-5013 FAX: (505) 897-4996

**PRIVATE ACCESS
EASEMENT TO
BE GRANTED**

