

CONSTRUCTION ADDRESS 317 Washington St SE 8700

Albuquerque Building & Safety PROPERTY OF CITY OF ALBUQUERQUE  
OCT 8 7 2008

APPROVED ZONING PERMIT  
PLAN CHECK APPLICATION NO. 0124059  
PLAN CHECK APP. FEE 305.11 ADJUSTED 1027.85  
ZONING 40-00 F.P.O. \_\_\_\_\_  
VALUATION OF WORK 343,299.00  
BUILDING PERMIT NO. 0124059  
BUILDING PERMIT FEE 1581.30

APPLICANT TO PROVIDE ALL INFORMATION BELOW:

TYPE OF APPLICATION  
 NEW BUILDING  REMODEL  
 SHELL-ONLY  REPAIR  
 ADDITION  OTHER

CONSTRUCTION DATA:  
NUMBER OF STORIES 1  
SQUARE FOOTAGE 4,923 GSF  
VALUATION OF WORK 343,299.00

LEGAL DESCRIPTION  
LOT NO. 15A BLOCK NO. 15  
SUBDIVISION MESA GRANDE ADDITION  
TRACT \_\_\_\_\_ PARCEL \_\_\_\_\_ UNIT \_\_\_\_\_  
UNIFORM PROPERTY CODE 101709726312333203

OWNER SL CAPITAL LLC PHONE 554-3928  
ADDRESS 2317 San Pedro NE 2-A  
ALBUQUERQUE, NM ZIP 87110

ARCHITECT, ENGINEER OR DESIGNER ALEXANDER FINALE PHONE 205-4728  
ADDRESS 9815 Shantilly Rd. NW  
ALBUQUERQUE, NM ZIP 87114

CONTRACTOR ALBUQUERQUE HOME SERVICES PHONE 379-0925  
ADDRESS 8513 TIMBERLAKE PL NW  
ALBUQUERQUE, NM ZIP 87114

NM STATE LICENSE NO. 87784  
LICENSE CLASSIFICATION GB 75  
NM STATE TAX NO. AS444  
ALB. BUSINESS REG. NO. \_\_\_\_\_

NO. OF APT. OR MOTEL UNITS \_\_\_\_\_ NO. OF BUILDINGS \_\_\_\_\_

OWNERSHIP  
 PRIVATE  
 PUBLIC

DESCRIPTION OF WORK:  
REMODELING

PUBLIC (BUILT WITH PUBLIC FUNDS)  
 COMMERCIAL  
 TRIPLEX  
 FOURPLEX  
 APARTMENT COMPLEX GREATER THAN FOUR UNITS  
 FOUNDATION ONLY  
 FOUNDATION FOR MODULAR BUILDING  
 OTHER (DESCRIBE) COMMERCIAL

CERTIFICATE OF OCCUPANCY REQUIRED?  YES  NO

SHELL CERTIFICATE OF COMPLETION REQUIRED?  YES  NO

APPROVAL REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE?  
YES NO  
 FIRE MARSHAL  
 HYDROLOGY  
 MECHANICAL  
 PLUMBING  
 ELECTRICAL  
 BOILER  
 ELEVATOR  
 REFUSE  
 TRANSPORTATION DEVELOPMENT  
 BUILDING CODE  
 ZONING

City of Albuquerque IMPACT FEES  
Drs \_\_\_\_\_ Rdy \_\_\_\_\_  
Pcs \_\_\_\_\_ Sfy \_\_\_\_\_  
By SL

**CITY OF ALBUQUERQUE**  
BUILDING SAFETY DIVISION  
600 Second Street N.W.  
Albuquerque, New Mexico 87102

IS THIS DEVELOPMENT WITHIN 1000 FT. OF A FORMER LANDFILL SITE?  
 YES  NO  
SL 10/9/08

**GENERAL NOTES**

- One set of approved plans shall be kept on the site of the building or work, at all times during which the work authorized thereby is in progress.
- Separate permits are required for plumbing, gas and electrical work.
- For foundation-only permits, a separate set of plans must be submitted. Plumbing, mechanical and electrical work in/under the slab shall be inspected and approved before any concrete is poured.
- The issuance of a permit does not guarantee that the permit holder (owner) will receive a Certificate of Occupancy upon completion of construction. It is the permit holder's responsibility to comply with all of the requirements for a Certificate of Occupancy including obtaining water and sanitary sewer service, electrical service and natural gas service.
- The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Utility Development Division of the Public Works Department.
- City-approved street and alley top-of-curb elevations shall be used when establishing lot grades and rear property lines. In the event that these approved elevations are not used, the City assumes no responsibility for loss of access to property or damage to property-line walls upon construction of streets, alleys, curbs and gutters.
- Separate permits are required for retaining walls, garden walls and fences.
- Gates in walls or fences on private or public property shall not swing over sidewalks, streets, alleys or other public rights-of-way.
- Toilet facilities for the workers shall be provided at all construction sites.

1-10

**ZONING ENFORCEMENT**  
(505) 924-3849

CITY ZONE D-R ZONING MAP K-17 LOT ACREAGE \_\_\_\_\_  
CASEFILE NO. \_\_\_\_\_  
USE Residential

CAUTION ON LOCATION OF STRUCTURE: City approval is contingent upon correct information being received from the owner's agent (architect, engineer, etc.). Zoning approval is for structures sited exactly as specified on these plans. Setbacks are measured from the lot lines. The lot line at the street right-of-way is not necessarily the curb or the edge of the sidewalk.

PLANS DISAPPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
PLANS APPROVED SL DATE 10/21/08

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

**ENVIRONMENTAL HEALTH**  
CONSTRUCTION SERVICES SECTION  
(505) 924-3823 E-Mail: aehdconstserv@cabq.gov

PLANS DISAPPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
PLANS APPROVED SL DATE 10/21/08  
CONDITIONAL APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

PLANS CORRECTIONS REQUIRED:

CONDITIONAL APPROVAL REQUIREMENTS:

PLEASE NOTE: Environmental Health administrators programs which are not in the general construction permit review process. If the Construction Services Section has determined that your project is regulated by such a program, you will be granted CONDITIONAL APPROVAL. The specifics of the approval conditions will be provided below, along with appropriate contact information. While the CONDITIONAL APPROVAL will not impede the issuance of your general construction permit, failure to observe the approval conditions will prevent Construction Services personnel from conducting a final inspection of your project.

**TRANSPORTATION DEVELOPMENT**  
(505) 924-3830

PLANS DISAPPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
PLANS APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

PLANS DISAPPROVED FOR THE FOLLOWING REASONS:

An approved Traffic Circulation Layout (TCL) needs to be included in each plan set.

A site plan, signed off by DRB, is required in each plan set.

**SOLID WASTE DISPOSAL**  
(505) 781-8100

A final inspection by the plan checker of the Solid Waste Management Department (SWMD) is required. Required refuse container(s) shall be in place before a Certificate of Occupancy will be issued.

An inspection by the SWMD plan checker is required before the concrete slab or apron is poured.

Each customer shall provide their own refuse container(s).

Contact the SWMD at least thirty (30) days prior to occupancy to start service.

Proposed construction complies with the Albuquerque Municipal Refuse Collection Service Ordinance (Ordinance 42-1980, as amended).

PLANS DISAPPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
PLANS APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

**HYDROLOGY**  
(505) 924-3982

PLANS DISAPPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
PLANS APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

PLANS DISAPPROVED FOR THE FOLLOWING REASONS:

Drainage report/plan required for new construction and for additions of 500 square feet or more to existing structures. See Section 14-5-2-12 of the City's Drainage Ordinance. A pre-design conference with this office is recommended.

Follow procedures for drainage submissions as outlined on page 1, Section 17, Volume 1 of the City's Development Process Manual.

Attach a copy of the approved drainage report/plan to each set of building plans.

Pending approval of drainage report/plan submitted.

**FIRE MARSHAL** CASE # 4674-06  
(505) 924-3811

All items listed below shall be installed in accordance with applicable fire codes prior to a building (or portion of a building) being occupied.

All required fire hydrants shall be installed and operable before any building (or portion of the building) is occupied.

An approved and adequate water supply shall be provided before any combustible materials are delivered to the building site.

NAME OF BUSINESS 317 WASHINGTON ST SE STORE OR SPACE NO. 4673  
OCCUPANCY GROUP R-3 CONSTRUCTION TYPE V-B  
FIRE FLOW REQD. \_\_\_\_\_ FIRE HYDRANTS REQD. \_\_\_\_\_

PLANS DISAPPROVED \_\_\_\_\_ DATE 11/30/06  
PLANS APPROVED SL DATE 11/1/08

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

KEEP FIRE EXTINGUISHER FOR UNIT  
KEEP FIRE EXTINGUISHER FOR UNIT  
KEEP FIRE EXTINGUISHER FOR UNIT  
KEEP FIRE EXTINGUISHER FOR UNIT  
KEEP FIRE EXTINGUISHER FOR UNIT

**INTERNATIONAL BUILDING CODE**  
(505) 924-3957

Premises shall not be occupied until a Certificate of Occupancy has been issued in accordance with Section 115 of the Uniform Administrative Code.

WAREHOUSE CONVERSION

DESCRIPTION OF WORK WAREHOUSE CONVERSION  
SIZE OF BLDG. (SQ.FT.) 4125 OCCUPANCY GROUP R-3  
CONSTRUCTION TYPE VB BUILDING CODE EDITION (YR.) 2001 IBC

PLANS DISAPPROVED SL DATE 11-22-06  
PLANS APPROVED SL DATE 1-8-07

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

- Provide accessible parking, one required.
- Roof opening permitted within 3'-0" of units.
- Temper. glass required within 24" of door jamb.
- New rafter? Or existing rafters to remain.
- Locate smoke detectors closer to bedroom doors.
- Complete electrical plan (outlets)
- Provide a complete wall section at new CMU walls between units
- Provide access to water heater.
- Clarify roof drainage.

PROVIDE ICC REPORT FOR STRUCTURE SYSTEM  
PROVIDE MODEL ENERGY CALCS.

**UPC, UMC, NEC** # 01/09/07  
(505) 924-3957

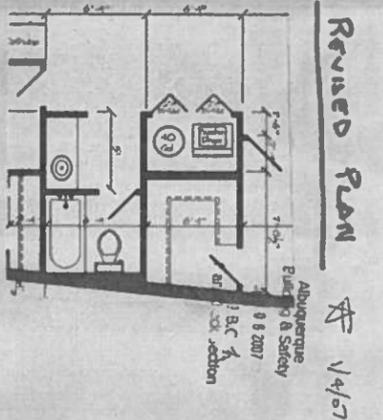
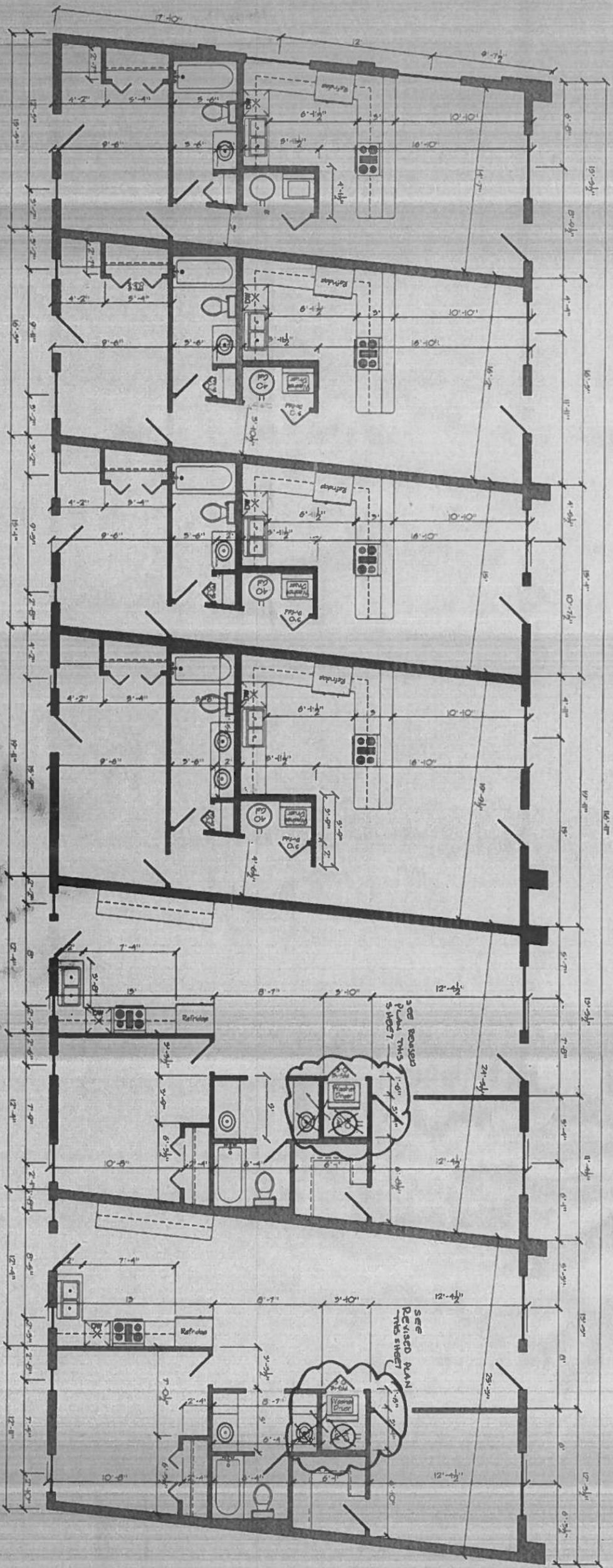
CODE EDITIONS (YR.):  
UPC 2003 UMC 2003 NEC 2001

PLANS DISAPPROVED \_\_\_\_\_ DATE 12/1/2008  
PLANS APPROVED \_\_\_\_\_ DATE 2/11/2007

PLANS CORRECTIONS REQUIRED:  
(INDICATE ORDINANCE SECTION REFERENCE)

1. Check equip. location  
2. Check equip. location  
3. Check equip. location  
4. Check equip. location





# Dimensions

Scale 1/4" = 1'

39.35 x 116.9144

4



317 Washington  
Albuquerque New Mexico

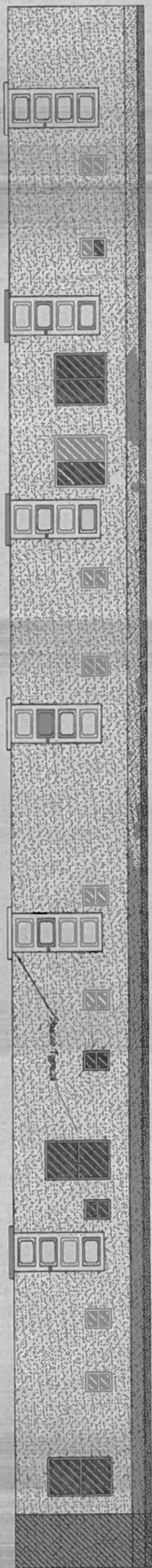
Oct. 13, 2006  
Dimensions

Ron Montoya Custom Designs  
Residential Design and Drafting Services Fax 823-6487  
4801 Alameda N.E. Suite G-1 New Mexico Design Center  
(505) 823-6474 Cell. (505) 307-1005

Paul Drumm  
 Architect/Planner  
 L. A. Corralles  
 Sheet  
 3  
 OF 8 Sheets



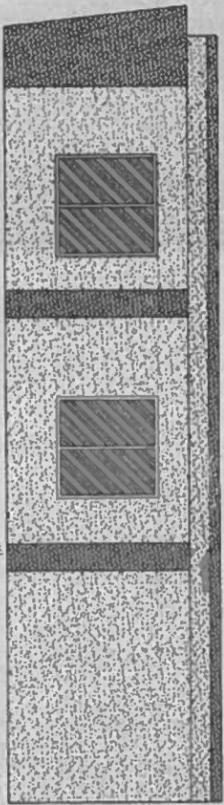




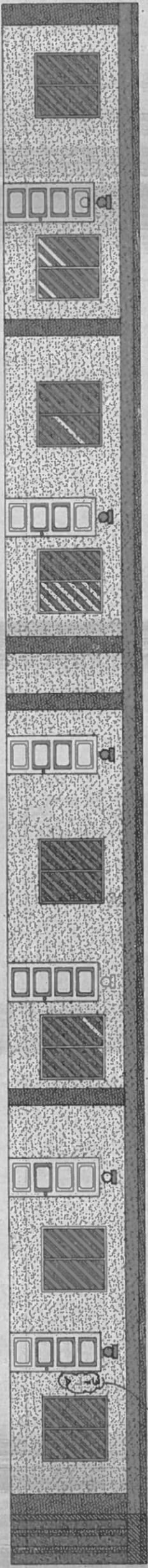
Back Elevation



Left Elevation



Right Elevation



Front Elevation

# Elevations

Scale 1/4" = 1'

7

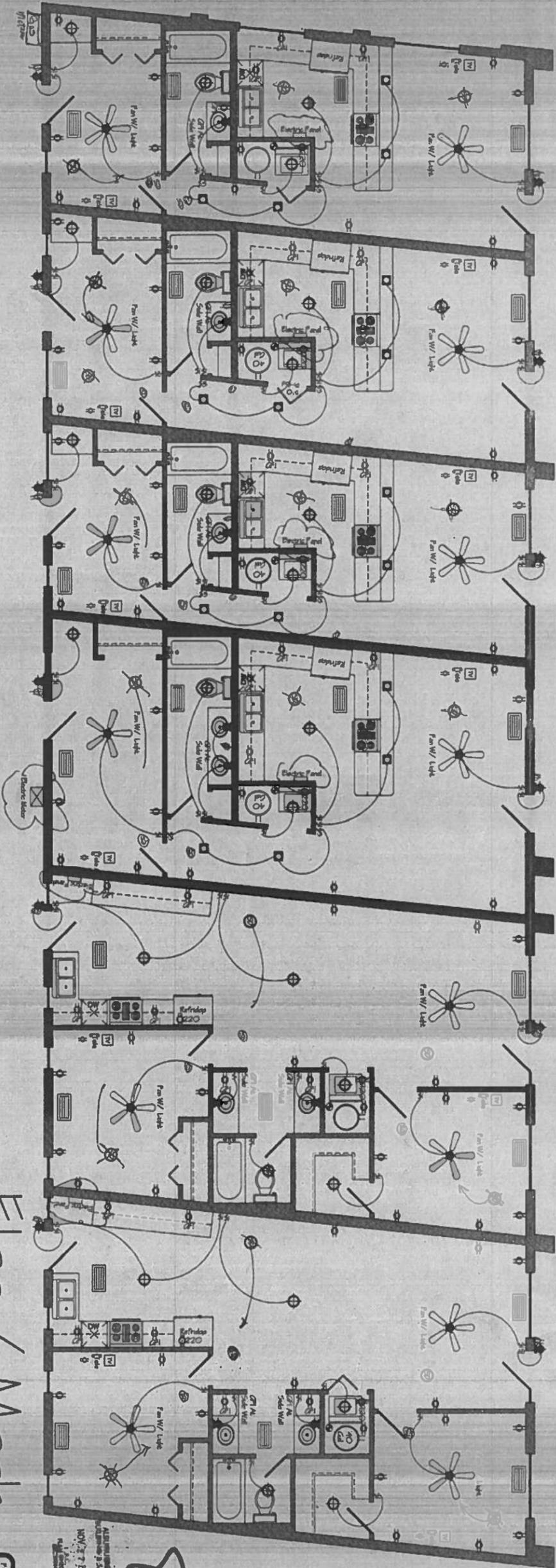


NOV 27 2006  
ALBUQUERQUE  
ARCHITECTURE & SERVICE

Prepared by: L. E. Montoya  
 Checked by: L. E. Montoya  
 Date: 10/14/03  
 Sheet: 1 of 8 Sheets

317 Washington Albuquerque New Mexico	Oct. 14, 2003 Elevations
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Ron Montoya Custom Designs  
 Residential Design and Drafting Services Fax: 825-6487  
 4801 Alameda N.E., Suite G-1 New Mexico Design Center  
 (505) 825-6474 Cell: (505) 307-1005



**General Notes:**  
 All electrical work shall be in accordance with the National Electrical Code (NEC) and all applicable local codes. All work shall be done in accordance with the manufacturer's instructions. All work shall be done in accordance with the applicable codes and standards. All work shall be done in accordance with the applicable codes and standards.

**Note:** (Optional)  
 For the purpose of this plan, the electrical system shall be designed to provide for the maximum load of the building. The electrical system shall be designed to provide for the maximum load of the building. The electrical system shall be designed to provide for the maximum load of the building.

**Note:**  
 An Electrical Service Panel shall be located in the building. The electrical system shall be designed to provide for the maximum load of the building. The electrical system shall be designed to provide for the maximum load of the building.

**Note:**  
 All electrical work shall be done in accordance with the applicable codes and standards. All work shall be done in accordance with the applicable codes and standards. All work shall be done in accordance with the applicable codes and standards.

**Electrical Notes:**  
 All outlets shall be 12" from the floor unless otherwise noted.  
 All outlets in kitchen, living room, and garage to be 4'-1" above floor and 18" from the wall.  
 All outlets in bedrooms to be 4'-1" above floor and 18" from the wall.  
 All outlets in bathrooms to be 4'-1" above floor and 18" from the wall.  
 All outlets in hallways to be 4'-1" above floor and 18" from the wall.  
 All outlets in closets to be 4'-1" above floor and 18" from the wall.  
 All outlets in utility rooms to be 4'-1" above floor and 18" from the wall.  
 All outlets in laundry rooms to be 4'-1" above floor and 18" from the wall.  
 All outlets in storage rooms to be 4'-1" above floor and 18" from the wall.  
 All outlets in mechanical rooms to be 4'-1" above floor and 18" from the wall.  
 All outlets in electrical rooms to be 4'-1" above floor and 18" from the wall.  
 All outlets in other rooms to be 4'-1" above floor and 18" from the wall.

**GENERAL NOTES**  
 ALL PULLING LIMIT BETWEEN BRANCH CIRCUITS SHALL BE PROTECTED BY AN ARC-FULT CIRCUIT INTERRUPTER PER NEC 210-12(b).



**Elec./Mech.**

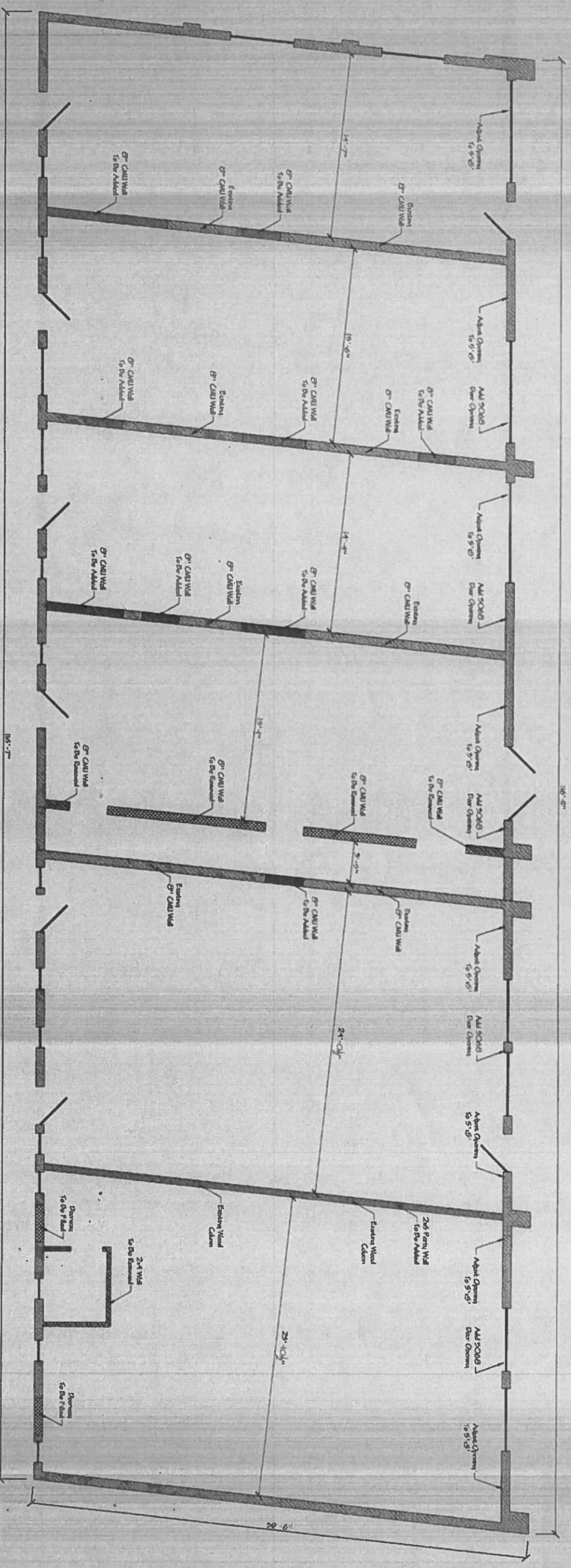
Scale 1/4" = 1'

Sheet 7 of 8 Sheets

317 Washington  
 Albuquerque New Mexico

Oct. 14, 2003  
 Elec./Mech.

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 (505) 823-6474 Cell: (505) 307-1003



# Existing / Demo Plan

Scale 1/4" = 1'



ALBUQUERQUE  
 REGISTERED ARCHITECT  
 NOV 2 2 2005

1. E. Arvizu	Project Designer
2. J. Gonzalez	Checked By
3. [Signature]	Sheet

317 Washington  
 Albuquerque New Mexico

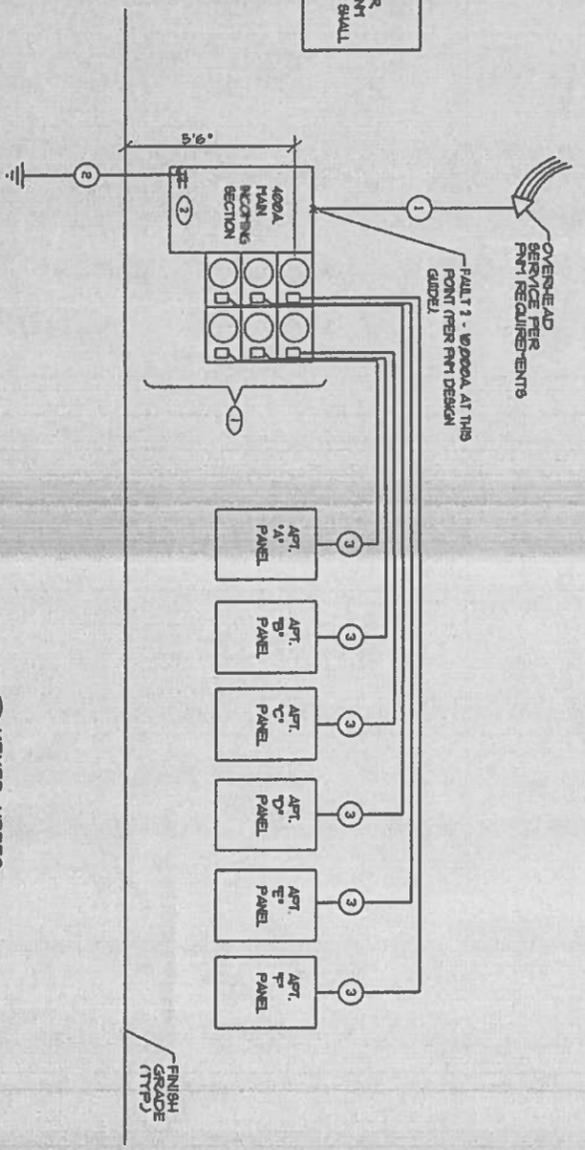
Oct. 14, 2006  
 Demo Plan

Ron Montoya Custom Designs  
 Residential Design and Drafting Services Fax 823-6487  
 4801 Alameda N.E. Suite G-1 New Mexico Design Center  
 (505) 823-6474 Cell. (505) 307-1003

NOTE:  
CONTRACTOR SHALL INSTALL RISER  
LETTERS, LETTER ENCLOSURE PER FMI  
DESIGN STANDARDS. CONTRACTOR SHALL  
COORDINATE SAID PAVE.

NOTE:  
ALWAYS USE OF EQUIVALENT APPLICABLE  
PERMITS, THAT BE OBTAINED FOR  
CONTRACTOR'S WORK.

SYMBOL	DESCRIPTION
①	3/8" BORE CONDUCTOR THIN CU N 3" CONDUIT.
②	1/2" BORE CONDUCTOR TO CONCRETE ENCASED 3/4" x 1/2" CONCRETE GROUND ROD AND NEAREST METALLIC COLO DRAIN PIPE.
③	3/4" THIN CU AND 1/2" N 1/2" CONDUIT. (PER NEC TABLE 300(B)(6))



RISER DIAGRAM - UPGRADE  
NOT TO SCALE

KEYED NOTES  
1. 120/240V, 1 PHASE, 3 WIRE, 60HZ, 20 RATED OUTDOOR NETWORK. COORDINATE EXACT LOCATION ON BUILDING WITH OWNER AND PERMITS TO RUSH-DL.  
2. NOT USED.

DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
General Lighting	1	1000	100.00	100.00	General Lighting	1	1000	100.00	100.00
Recessed Lighting	1	1000	100.00	100.00	Recessed Lighting	1	1000	100.00	100.00
Switches	1	1000	100.00	100.00	Switches	1	1000	100.00	100.00
Outlets	1	1000	100.00	100.00	Outlets	1	1000	100.00	100.00
Conduit	1	1000	100.00	100.00	Conduit	1	1000	100.00	100.00
Backdrops	1	1000	100.00	100.00	Backdrops	1	1000	100.00	100.00
Check Valve	1	1000	100.00	100.00	Check Valve	1	1000	100.00	100.00

Table 220-11	Application of Demand Factor	Net Computed Load (with ranges)
NEC 220-11	Application of Demand Factor	Net Computed Load (with ranges)
NEC 220-11	Application of Demand Factor	Net Computed Load (with ranges)
NEC 220-11	Application of Demand Factor	Net Computed Load (with ranges)



RM  
11/19/04

317 WASHINGTON  
Albuquerque New Mexico

Oct. 14, 2006  
Riser Diagram

Ron Montoya Custom Designs  
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4801 Alameda N.E., Suite G-1 New Mexico Design Center  
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Sheet  
Of 9 Sheets