

DRB CASE ACTION LOG - BLUE SHEET

Preliminary/Final Plat [FP]

Site Plan - Subdivision [SPS]

Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1009245 Application #: 12DRB-70221
Project Name: North Albuquerque Acres Unit 3
Agent: Rick Bennett Architects Phone #:

Your request was approved on 8-22-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: P/A - SBP

PARKS / CIP:

PLANNING (Last to sign): City Co. signature, done after Easement on plat

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.


**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1009245**
12DRB-70221 MINOR - SDP FOR
BUILDING PERMIT
12DRB-70233 PRELIMINARY/FINAL
PLAT APPROVAL
- RICK BENNETT ARCHITECTS agent(s) for GUARDIAN STORAGE LLC request(s) the above action(s) for all or a portion of Lot(s) 19 AND 20, Block(s) 9, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2, located on ON HOLLY BETWEEN WYOMING AND LOUISIANA containing approximately 1.9952 acre(s). (C-19-Z)) [*Deferred from 8/1/1, 8/8/12*] **THE SITE PLAN WAS DEFERRED TO 8/29/12 AT THE AGENT'S REQUEST. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR ACCESS EASEMENT, AGIS DXF, AND UTILITY COMPANY SIGNATURE.**


MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project# 1007266**
12DRB-70258 AMENDMENT TO
INFRASTRUCTUE LIST
- RIO GRANDE ENGINEERING agent(s) for JAMES AND KAREN TWOHIG request(s) the above action(s) for all or a portion of Lot(s) 20, Block(s) 3, **TRACT 2 NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2, located on ALAMEDA NE BETWEEN WYOMING NE AND LOUISIANA NE containing approximately 8 acre(s). (C-19)**THE AMENDMENT TO INFRASTRUCTURE LIST WAS APPROVED.**
5. **Project# 1009398**
12DRB-70259 MINOR -
PRELIMINARY/ FINAL PLAT
APPROVAL
- CARTESIAN SURVEYS INC agent(s) for JACQUE KELLEBREW request(s) the above action(s) for all or a portion of Lot(s) SOUTHERNLY PORTION OF LOT 1, 30 & 31, Block(s) 2, **ANDERSON ADDITION & JM MOORE'S REALTY COOMPANY'S ADDITON** zoned S-R, located on 8TH ST NW BETWEEN SUMMER AVE NW AND MOUNTAIN RD NW containing approximately .238 acre(s). (J-14) **DEFERRED TO 8/29/12 AT THE AGENT'S REQUEST.**
6. **Project# 1002962**
12DRB-70251 AMENDMENT TO
INFRASTRUCTUE LIST
- BOHANNAN HUSTON INC agent(s) for RCS-CANTATA RESIDENCES I, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **CANTATA AT THE TRAILS UNIT 2** zoned RD, located on TREE LINE BETWEEN OAKRIDGE AND UNIVERSE containing approximately 17.05 acre(s). (C-9)[*Deferred from 8/15/12*] **THE AMENDMENT TO INFRASTRUCTURE LIST WAS APPROVED.**




**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1002229**
12DRB-70232 EPC APPROVED SDP
FOR BUILD PERMIT 
- MAHLMAN STUDIO ARCHITECTURE agent(s) for COMFORT FOODS request(s) the above action(s) for all or a portion of Lot(s) A-1, **TANNEHILL-TAYLOR ADDITION** zoned C-2, located on MONTGOMERY BETWEEN EUBANK AND MORRIS containing approximately 3.06 acre(s). (G-21) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED. CITY ENGINEER MAY REQUIRE AN EASEMENT DEDICATION AT A FUTURE DATE WITH REGARD TO POTENTIAL NEIGHBORHOOD CONCERN.**
4. **Project# 1007649**
12DRB-70201 PRELIMINARY/FINAL
PLAT APPROVAL
12DRB-70217 EPC APPROVED SDP
FOR SUBDIVISION
12DRB-70218 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
12DRB-70219 MINOR - TEMP DEFR
SWDK CONST
- THE HARTMAN & MAJEWSKI and SURV-TEK INC. agent(s) for GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 9, **FRANSISCAN ACRES** zoned SU2/SU1 FOR PRD, located on INDIAN SCHOOL NE (H-14)) [*Deferred from 8/1/12*]
5. **Project# 1009245**
12DRB-70221 MINOR - SDP FOR
BUILDING PERMIT
12DRB-70233 PRELIMINARY/FINAL
PLAT APPROVAL
- RICK BENNETT ARCHITECTS agent(s) for GUARDIAN STORAGE LLC request(s) the above action(s) for all or a portion of Lot(s) 19 AND 20, Block(s) 9, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2, located on ON HOLLY BETWEEN WYOMING AND LOUISIANA containing approximately 1.9952 acre(s). (C-19-Z)) [*Deferred from 8/1/12*] **DEFERRED TO 8-22-12 AT THE AGENT'S REQUEST.**


MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1003991**
12DRB-70213 EXT OF SIA FOR TEMP
DEFR SDWK CONST 
- VUELO LLC request(s) the above action(s) for all or a portion of Lot(s) 1-26 AND TRACT A, **SAGE RANCH** zoned RLT, located on SNOW VISTE BETWEEN SAGE AND BENAVIDES containing approximately 3.7442 acre(s). (M-9) [*Deferred from 8/1/12*] **A TWO YEAR EXTENSION TO THE AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1007649**
12DRB-70201 PRELIMINARY/FINAL
PLAT APPROVAL
12DRB-70217 EPC APPROVED SDP
FOR SUBDIVISION
12DRB-70218 SUBDN DESIGN
VARIANCE FROM MIN DPM STDS
12DRB-70219 MINOR - TEMP DEFR
SWDK CONST 
- THE HARTMAN & MAJEWSKI and SURV-TEK INC.
agent(s) for GREATER ALBUQUERQUE HOUSING
PARTNERSHIP request(s) the above action(s) for all or a
portion of Lot(s) 1-3, Block(s) 9, **FRANSISCAN ACRES**
zoned SU2/SU1 FOR PRD, located on INDIAN SCHOOL
NE (H-14)**DEFERRED TO 8/8/12 AT THE AGENT'S
REQUEST.**
4. **Project# 1009245**
12DRB-70221 MINOR - SDP FOR
BUILDING PERMIT 
- RICK BENNETT ARCHITECTS agent(s) for GUARDIAN
STORAGE LLC request(s) the above action(s) for all or a
portion of Lot(s) 19 AND 20, Block(s) 9, Tract(s) 2,
NORTH ALBUQUERQUE ACRES Unit(s) 3, zoned SU-
2, located on ON HOLLY BETWEEN WYOMING AND
LOUISIANA containing approximately 1.9952 acre(s).
(C-19-Z) **DEFERRED TO 8/8/12 AT THE AGENT'S
REQUEST.**
5. **Project# 1003421**
12DRB-70175 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
12DRB-70188 EPC APPROVED SDP
FOR SUBDIVISION 
- TIERRA WEST LLC agent(s) for KEN WILLIAMS
ENTERPRISE, INC request(s) the above action(s) for all
or a portion of Lot(s) 1A-2-A, **RENAISSANCE
CENTER** zoned SEE ATTACHED FORM, located on
UNION WAY RD. NE BETWEEN MISSION RD NE
AND RENAISSANCE BLVD NE containing
approximately 12.55 acre(s). (F-16) *][Deferred from
7/18/12, 7/25/12 at the agent's request]* **THE
PRELIMINARY/FINAL PLAT WAS APPROVED WITH
FINAL SIGN OFF DELEGATED TO CITY ENGINEER TO
ADDRESS COMMENTS AND TO ADD TRACT 1A-2A-3
TO 1A-2A-2, AND FOR DRAINAGE BENEFIT NOTE
AND TO PLANNING FOR AGIS DXF AND UTILITY
SIGNATURE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project# 1008589**
12DRB-70212 MAJOR - FINAL PLAT
APPROVAL 
- CARTESIAN SURVEYS INC agent(s) for ESMAIL
HAIDARI request(s) the above action(s) for all or a portion
of Lot(s) 15, 16 & PORTIONS OF LOT 18, Block(s) 1,
**NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3
Unit(s) 3**, zoned R-D YDU/A, located on PINON VISTA
BETWEEN MODESTO AND EAGLE CREST containing
approximately 2.3961 acre(s). (C-19) **DEFERRED TO
8/16/12 AT THE AGENT'S REQUEST.**

**City of Albuquerque
Planning Department
Inter-Office Memorandum**

TO: Jack Cloud, DRB Chair

FROM: Carrie Barkhurst, Planner

SUBJECT: Project # 1009245

DATE: July 27, 2012

On June 14, 2012, the Environmental Planning Commission approved Project #1009245 / 12EPC-40023 and 12EPC-40027, Zone Map Amendment and a Site Development Plan for Building Permit for Lots 19 & 20, North Albuquerque Acres Unit 3, zoned SU-1 for Mixed Use and Indoor Storage, located on Holly Ave. between Wyoming Blvd. and Louisiana Blvd. containing approximately 1.8 acres.

The applicant has satisfied the EPC conditions of approval for the Zone Map Amendment and the Site Development Plan for Building Permit. The quality of the reproduction for Sheets 2 – 6 is not as clear as the original submittal. Because the modifications only impacted the first page, I have included the original submittal Sheets 2 – 6, in case they could be used for a higher quality final copy.

Compliance with conditions 6.a through 6.k should be verified with the City Engineer. If you have any questions regarding this case, please do not hesitate to call me at 924-3879.

Thank you.

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

08/02/2012 Issued By: BLDAVM 157092

Category Code **910**
2012 070 233

Application Number: 12DRB-70233, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: ON HOLLY WEST OF WYMONING

Project Number: 1009245

Applicant

GUARDIAN STORAGE III, LLC

9221 EAGLE RANCH RD NW
ALBUQUERQUE NM 87114

Agent / Contact

RICK BENNETT ARCHITECTS
XAVIER NUNO-WHELAN
1104 PARK AVE SW
ALBUQUERQUE NM 87102
5052421859

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions **\$215.00**

TOTAL: **\$235.00**



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1009245

TO: ALL MEMBERS

Application No. 12-DRB70221

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: 9/12/12

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: INFRASTRUCTURE LIST AND G&D PLAN

RECEIVED
SEP - 7 2012
HYDROLOGY
SECTION

CONTACT NAME: JARROD LIKAR

TELEPHONE: 892-5141 EMAIL: JLIKAR@HOITZOLLARS.COM

Letter of Transmittal

Date: 9/7/12 Project No.: 17-0983-01

ATTENTION: Jack Cloud

REFERENCE: Guardian Storage DRB # 1009245

TO: Jack Cloud, Planning Manager

Section Manager, DRB Chairman

City of Albuquerque

WE ARE SENDING YOU: Attached Under a separate cover
 Shop Drawings Prints Plans Specifications
 Copy of letter Change Order Samples _____

Copies	Date	No.	Description
6	9/4/12		G&D Plans
6	8/30/12		Infra List

THESE ARE BEING TRANSMITTED as checked below:

For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ 20____ PRINTS RETURNED AFTER LOAN TO US

REMARKS:

COPY TO: _____

SIGNED BY: Jarrod Likar, PE

Letter of Transmittal

Date: 9/7/12 Project No.: 17-0983-01

ATTENTION: Jack Cloud

REFERENCE: Guardian Storage DRB # 1009245

TO: Jack Cloud, Planning Manager

Section Manager, DRB Chairman

City of Albuquerque

WE ARE SENDING YOU: Attached Under a separate cover
 Shop Drawings Prints Plans Specifications
 Copy of letter Change Order Samples _____

Copies	Date	No.	Description
6	9/4/12		G&D Plans
6	8/30/12		Infra List

THESE ARE BEING TRANSMITTED as checked below:

For approval Approved as submitted Resubmit _____ copies for approval
 For your use Approved as noted Submit _____ copies for distribution
 As requested Returned for corrections Return _____ corrected prints
 For review and comment _____
 FOR BIDS DUE _____ 20____ PRINTS RETURNED AFTER LOAN TO US

REMARKS:

COPY TO: _____

SIGNED BY: Jarrod Likar, PE

Current DRC Project No 7964 83

Date Submitted September 4, 2012
 Date Site Plan for Bldg Permit Approve _____
 Date Site Plan for Sub Approved _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT 'A'
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D R B) REQUIRED INFRASTRUCTURE LIST

Date Preliminary Plat Approved _____

Date Preliminary Plat Expires _____

DRB Project No 1009245

**GUARDIAN STORAGE FACILITY
 (LOTS 19 & 20, BLOCK 9, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3)**

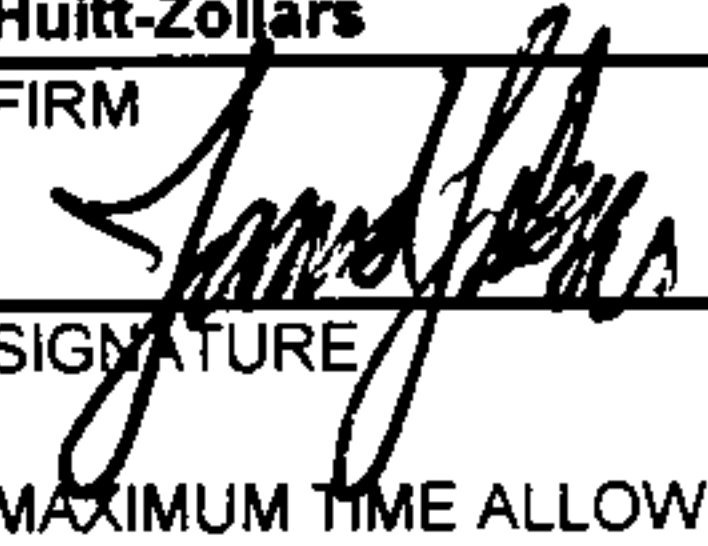
Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
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PUBLIC ROADWAY IMPROVEMENTS

B	7964 83	2'-4' WIDE	MAJOR LOCAL PVMT SECTION PLUS TRANSITION	HOLLY AVE	EASTERN PL	WESTERN PL	/	/	/
B	7964 83	6' WIDE	CONCRETE SIDEWALK	HOLLY AVE	EASTERN PL	WESTERN PL	/	/	/
B	7964 83	STD	CURB AND GUTTER	HOLLY AVE	EASTERN PL	WESTERN PL	/	/	/
B	7964 83	3" THICK	ASPHALT DIVERSION BERM	WESTERN PL	END OF RETURN	ADJACENT DRIVEWAY	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/



AGENT/OWNER		DEVELOPMENT REVIEW BOARD MEMBER APPROVALS			
Jarrold Likar	8/30/2012	DRB CHAIR	DATE	PARKS & GENERAL SERVICES	DATE
PREPARED BY PRINT NAME	DATE				
Huitt-Zollars		TRANSPORTATION DEVELOPMENT	DATE	AMAFCA	DATE
FIRM					
		ABCWUA	DATE	CITY ENGINEER	DATE
SIGNATURE					
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION					DATE



DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1009245

TO: ALL MEMBERS
Application No. 12DRB-7022:2i

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: SEPTEMBER 12TH, 2012

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: CHANGE TO ENTRY DRIVEPAD & INFRASTRUCTURE

LIST BASED ON EXISTING CONDITIONS.

CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____

DRB CASE ACTION LOG - BLUE SHEET

Preliminary/Final Plat [FP]

Site Plan - Subdivision [SPS]

Site Plan - Building Permit [SBP]

DONE 2-20-13

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Project #: 1009245 Application #: 12DRB-70221

Project Name: North Albuquerque Acres Unit 3

Agent: Rick Bennett Architects Phone #:

Your request was approved on 8-22-12 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA: P/A - SBP

PARKS / CIP:

PLANNING (Last to sign): del City Co sig notes, release files Easement on plat

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

OK

9245

DXF Electronic Approval Form

DRB Project Case #: 1009245

Subdivision Name: NORTH ALBUQUERQUE ACRES, BLOCK 9, LOT 19A

Surveyor: ANTHONY L HARRIS

Contact Person: MIKE TAPIA

Contact Information: 998-0303

DXF Received: 9/24/2012

Hard Copy Received: 9/24/2012

Coordinate System: NMSP Grid (NAD 83)


Approved

9-25-12
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **9245** to agiscov on **9/25/2012** Contact person notified on **9/25/2012**

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

07/24/2012 Issued By: BLDAVM 155705

Category Code **910**
2012 070 221

Application Number: 12DRB-70221, Minor - Sdp For Building Permit

Address:

Location Description: ON HOLLY BETWEEN WYOMING AND LOUISIANA

Project Number: 1009245

Applicant

GUARDIAN STORAGE LLC

1221 EAGLE RANCH RD NW
ALBUQUERQUE NM 87114
505-450-6385

Agent / Contact

RICK BENNETT ARCHITECTS

1104 PARK AVE. SW
ALBUQUERQUE NM 87102
505-242-1859

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$385.00

TOTAL: \$405.00

City of Albuquerque Treasury
Date: 7/24/2012 Office: ANNEX
Stat ID: WSN000007 Cashier: TRSYLB
Batch: 518 Trans #: 19
Permit: 2012070221
Receipt Num: 00037154
Payment Total: \$405.00
0901 Conflict Mgmt. Fee \$20.00
0903 DRB Actions \$385.00
VISA Tendered: \$405.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

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STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

09/07/2012 Issued By: BLDAVM 155705

Category Code **910**
2012 070 221

Application Number: 12DRB-70221, Minor - Sdp For Building Permit

Address:

Location Description: ON HOLLY BETWEEN WYOMING AND LOUISIANA

Project Number: 1009245

Applicant

GUARDIAN STORAGE LLC

1221 EAGLE RANCH RD NW
ALBUQUERQUE NM 87114
505-450-6385

Agent / Contact

RICK BENNETT ARCHITECTS

1104 PARK AVE. SW
ALBUQUERQUE NM 87102
505-242-1859

Application Fees

APN Fee

Conflict Mgmt Fee

DRB Actions DEFERRAL **\$50.00**

TOTAL: \$50.00

City of Albuquerque Treasury
Date: 9/7/2012 Office: AHMEX
Stat ID: 48000007 Cashier: TRSCCS
Batch: 716 Trans #: 3
Permit: 2012070221
Receipt Num 00050823
Payment Total: \$50.00
0903 DRB Actions
VISA Tendered : \$50.00

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009245

AGENDA ITEM NO: 5

SUBJECT:

FINAL PLAT
PRELIMINARY PLAT
SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide as-built information for Holly Avenue. This must be provided prior to a complete review of the infrastructure requirements.

Build notes, referring to the specific City Standards, must be provided for the proposed entrances.

Pavement markings and signage must be provided at the exits of one-way drive aisles through out proposed development. (EPC Condition 6d)

Identify turning template information of delivery vehicle classification and size of the delivery vehicle, and provide route path from Paseo Del Norte roadway system. (EPC Condition 6e)

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

08-22-12

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Kristal D. Metro
Transportation Development

DATE: AUGUST 8, 2012
505-924-3991

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009245

AGENDA ITEM NO: 6

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

EPC Condition 6i notes “All easements need to be shown and labeled on Site Plan.” Previous submittals did not indicate the existing public access easement on Lots 17-A and 17-B (Doc # 2011009829, B: 2011C, P: 0007). The public access easement functions as a public roadway; therefore, the *Development Process Manual* requires the drive be a minimum of 25 feet from the intersection of the public access easement and Holly Avenue (see EPC Condition 6j, “Site plan shall comply and be designed per current DPM standards/requirements.”).

Provide as-built information for Holly Avenue. This must be provided prior to a complete review of the infrastructure requirements.

Clarify the existing width of Holly Avenue; is the existing pavement permanent or temporary?

Identify turning template information of delivery vehicle classification and size of the delivery vehicle, and provide route path from Paseo Del Norte roadway system. (EPC Condition 6e)

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: AUGUST 29, 2012

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1009245

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for Building Permit

ENGINEERING COMMENTS:

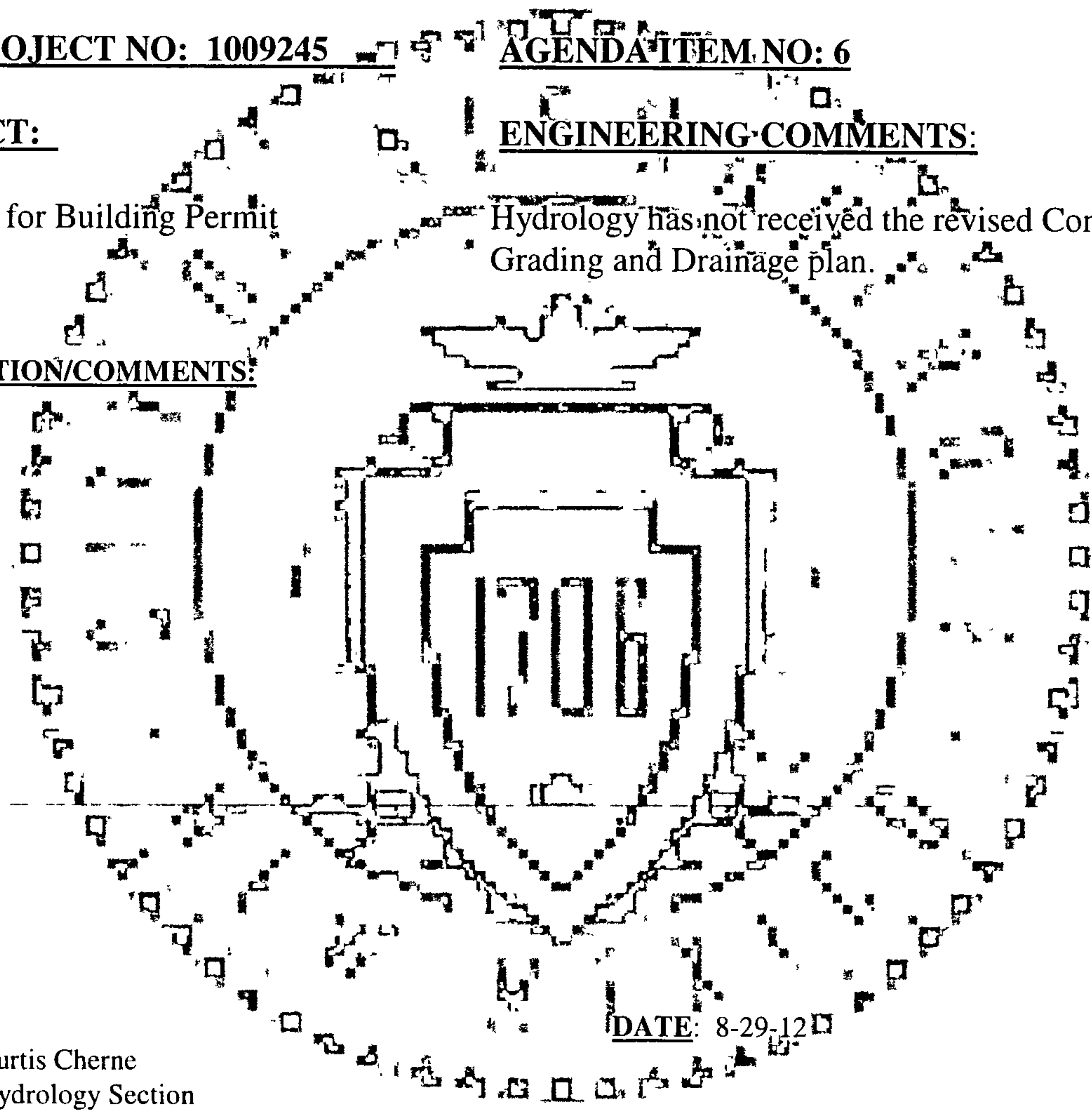
Hydrology has not received the revised Conceptual Grading and Drainage plan.

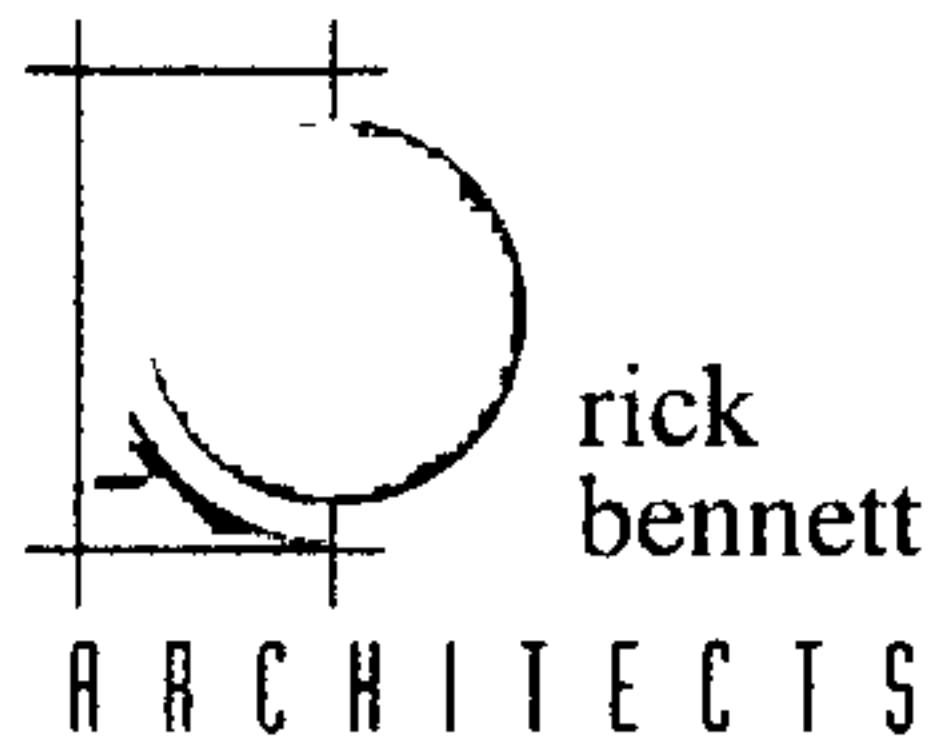
RESOLUTION/COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 8-29-12





July 9, 2012

Carrie Barkhurst
Staff Planner
City of Albuquerque, Planning Department
kcbarkhurst@caba.aov

RE: Guardian Storage – Conditions of Approval – 12EPC-40026-June 14, 2012- Site Plan for Building Permit.

Dear Carrie,

In response to the Conditions of Approval found by the EPC on the hearing listed above, the following changes have been made to the site plan prior to submittal to the DRB for review.

Walls/Fences:

EPC Item A - 8"x8" CMU Pillars have been added to the security fencing around the perimeter of the building in order to break up the expanse of unarticulated fence.

EPC Item B – A detail of the retaining wall in the north and west sides of the property has been added to the site plan.

EPC Item C – Retaining wall detail shows that the maximum height of the fence along the north and west sides of the property is not to exceed 12'-0" high, this included both the retaining wall and tubular steel fencing above it.

Architecture:

EPC Item A – Recesses and projections are shown in the site plan as well as the elevations to be within the 20% min requirement along facades 100'-0' or greater.

Signage:

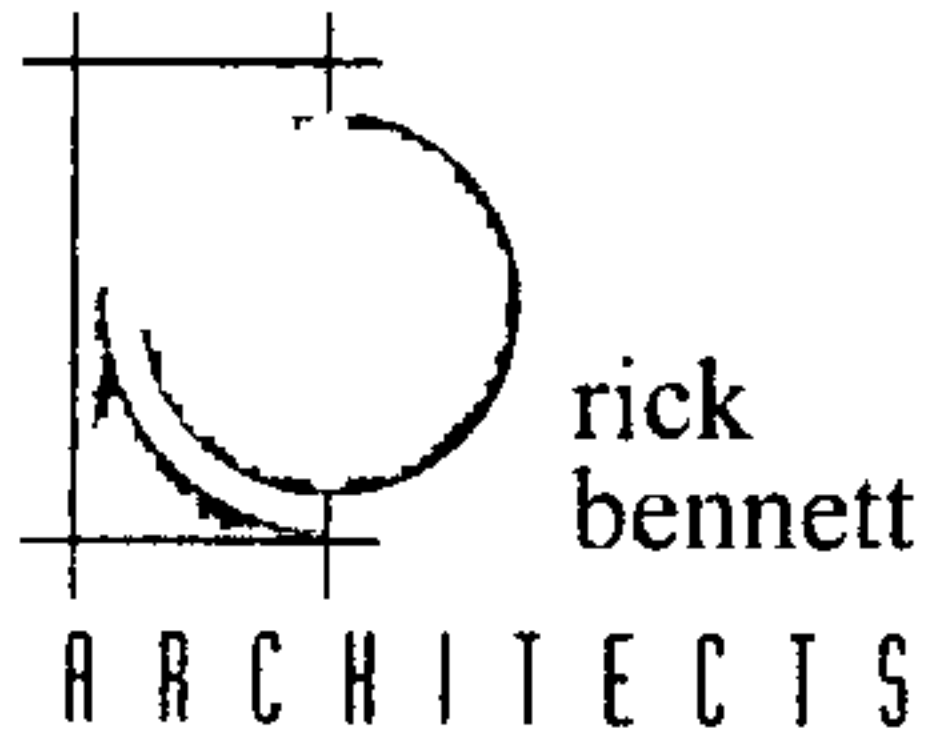
EPC Item A – Note regarding monument sign has been deleted. There is to be no monument sign on this property, all signage is to be building mounted.

These are the only changes made to the site plan since the EPC hearing. Please let us know if you have any questions or concerns.

CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT AND NMDOT:

D. Pavement markings and signage are shown on the site plan.

E. Turning radii have been verified with waste management and largest size truck radius has been shown on site plan. Route Path from Paseo Del Norte is access from either Louisiana Blvd. or Wyoming Blvd.



F. Maximum allowable clearance of both overhangs is 14'-0" and has been shown on site plan. Signage will be located on both the south and north faces of the overhangs.

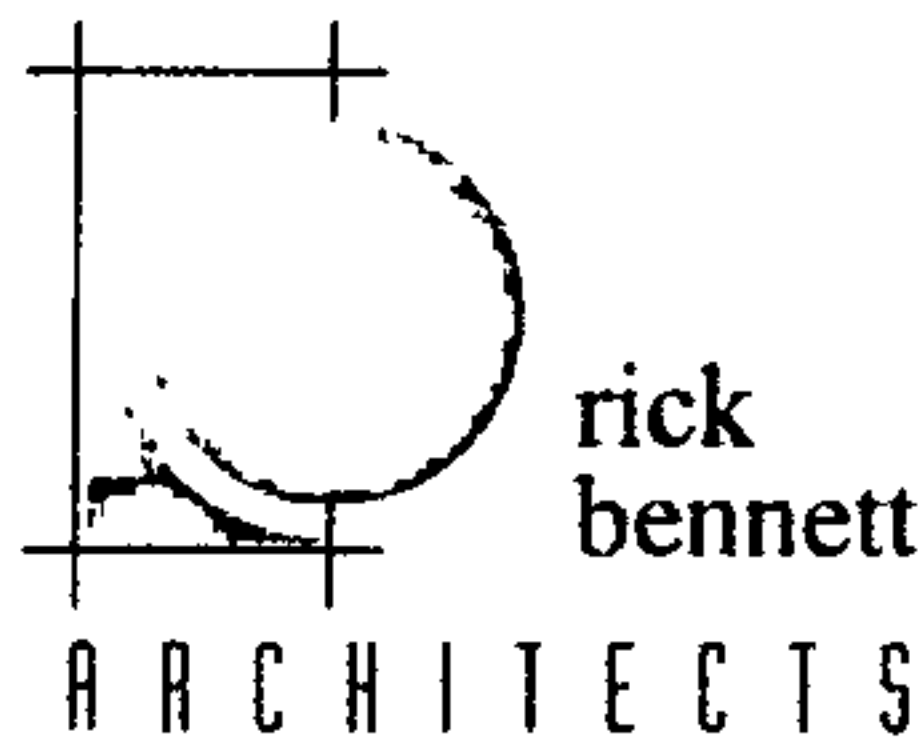
G. Sidewalk has been moved to property line and a 10'-0" landscape buffer remains. This information is shown on the site plan.

H. Infrastructure list has been provided.

I. Easements have been shown on site plan

Sincerely,
Rick Bennett

A handwritten signature in black ink, appearing to read 'Rick Bennett', with a long horizontal line extending to the right from the end of the signature.



July 9, 2012

Carrie Barkhurst
Staff Planner
City of Albuquerque, Planning Department
kcbarkhurst@caba.aov

RE: Guardian Storage – Conditions of Approval – 12EPC-40026-June 14, 2012- Site Plan for Building Permit.

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Architecture:

EPC Item A – Recesses and projections are shown in the site plan as well as the elevations to be within the 20% min requirement along facades 100'-0' or greater.

Signage:

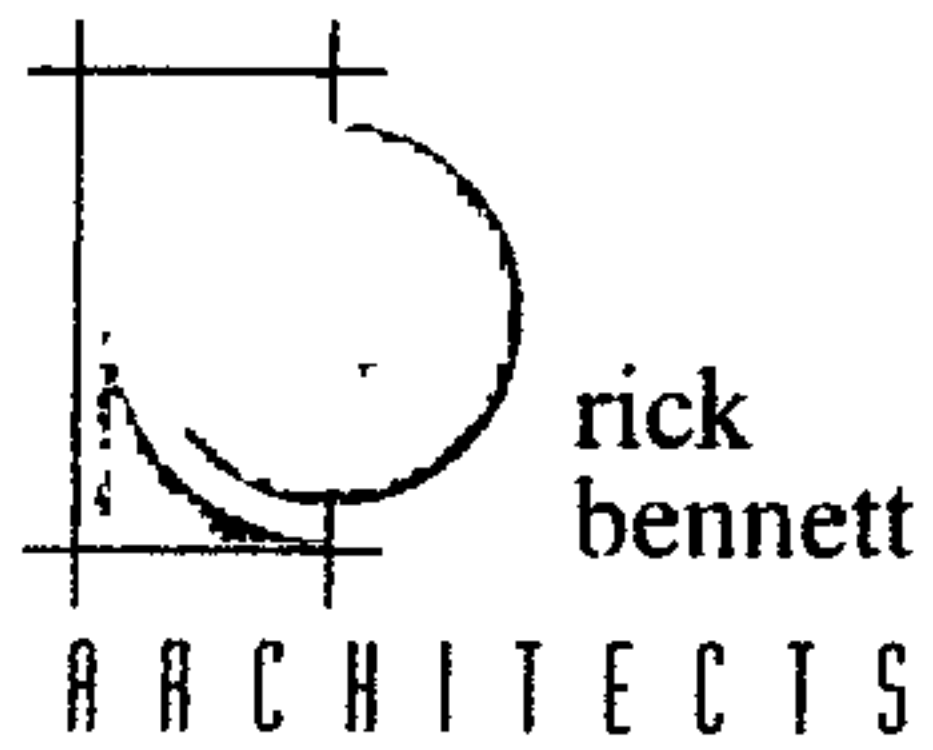
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D. Pavement markings and signage are shown on the site plan.

E. Turning radii have been verified with waste management and largest size truck radius has been shown on site plan. Route Path from Paseo Del Norte is access from either Louisiana Blvd. or Wyoming Blvd.



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I. Easements have been shown on site plan

Sincerely,
Rick Bennett

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DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1009245

TO: ALL MEMBERS

Application No. 70233

Jack Cloud, DRB Chairman, Planning Department

Curtis Cherne, P.E., Hydrology

Kristal Metro, P.E., Transportation Development

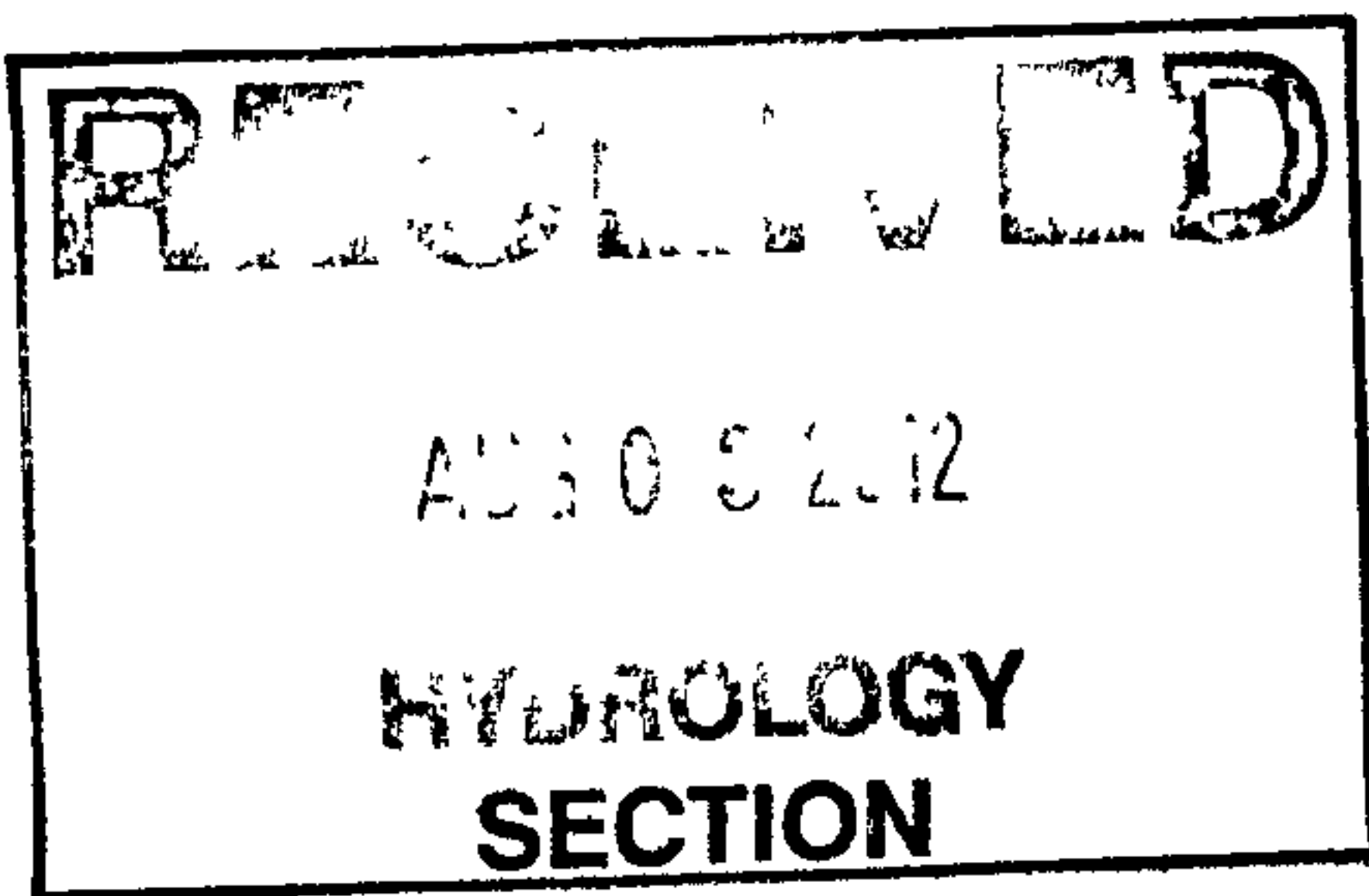
Allan Porter, P.E., Albuquerque/ Bernalillo Co.WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: August 8, 2012

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: 6 extra inserts added on August 3, 2012.



CONTACT NAME: _____

TELEPHONE: _____ EMAIL: _____

Current DRC
Project No _____

Date Submitted _____
 Date Site Plan for Bldg Permit Approve _____
 Date Site Plan for Sub Approved _____
 Date Preliminary Plat Approved. _____
 Date Preliminary Plat Expires _____
 DRB Project No _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT 'A'
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

**GUARDIAN STORAGE FACILITY
 (LOTS 19 & 20, BLOCK 9, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3)**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<u>PUBLIC ROADWAY IMPROVEMENTS</u>									
B		60' ROW (330 LF)	CURB AND GUTTER, PAVEMENT	PROPERTY FRONTAGE	EASTERN PROPERTY CORNER	WESTERN PROPERTY CORNER	/	/	/
		6' WIDE (330 LF)	CONCRETE SIDEWALK	PROPERTY FRONTAGE	EASTERN PROPERTY CORNER	WESTERN PROPERTY CORNER	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

AGENT/OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

AGENT/OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

PREPARED BY PRINT NAME DATE

DRB CHAIR DATE

PARKS & GENERAL SERVICES DATE

FIRM

TRANSPORTATION DEVELOPMENT DATE

AMAFCA DATE

SIGNATURE

ABCWUA DATE

CITY ENGINEER DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DATE

[Empty box for maximum time allowed to construct improvements]

DESIGN REVIEW COMMITTEE REVISIONS

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RICK BENNETT ARCHITECTS PHONE: 242-1859
 ADDRESS: 1104 PARK AVE. SW. FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: XAVIER@RBABI.COM

APPLICANT: Guardian Storage II, LLC PHONE: 450-6385
 ADDRESS: 9221 Eagle Ranch Rd. NW FAX: 898-1309
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: pdhedges@hotmail.com
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR STORAGE & RETAIL BUILDING

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 19 & 20 TRACK 2 Block: 9 Unit: 3
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES
 Existing Zoning: SU-2 Proposed zoning: SU-2 MRGCD Map No _____
 Zone Atlas page(s): C-19-2 UPC Code: 101906422106730214 (LOT 19)
101906420606730213 (LOT 20)

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z-, V-, S-, etc.): 1009245

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 1.9952 ACRES
 LOCATION OF PROPERTY BY STREETS: On or Near: ON HOLY AVENUE WEST OF WYOMING
 Between: WYOMING and LOUISIANA

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Xavier Nuño-Wheeler DATE 7-29-12
 (Print Name) XAVIER NUÑO-WHEELER Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING				
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB - 70221</u>	<u>SBP</u>		<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input type="checkbox"/> AGIS copy has been sent				\$ _____
<input type="checkbox"/> Case history #s are listed				\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
				Total
				<u>\$ 405.00</u>

Hearing date Aug. 1, 2012

Bryanna Garcia 7/24/12
 Staff signature & Date

Project # 1009245

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22) Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18) Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17) Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) Maximum Size: 24" x 36"**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Paul Hedger
Applicant name (print)
Paul Hedger
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
12 - DRB - 70221

Form revised **October 2007**
Buyanna Garcia 7/24/12
Planner signature / date
Project # 1009245

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Your attendance is required.**
 - ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** **Your attendance is required.**
 - ___ Preliminary Plat reduced to 8.5" x 11"
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Copy of DRB approved infrastructure list
 - ___ Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - ___ List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** **Your attendance is required.**
 - ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - ___ Design elevations & cross sections of perimeter walls **3 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ Copy of recorded SIA
 - ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - ___ List any original and/or related file numbers on the cover application
 - ___ DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** **Your attendance is required.**
 - 5 Acres or more: Certificate of No Effect or Approval
 - ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - ___ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - ___ Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
 - ___ Infrastructure list if required (**verify with DRB Engineer**)
 - ___ DXF file and hard copy of final plat data for AGIS is required.


- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.



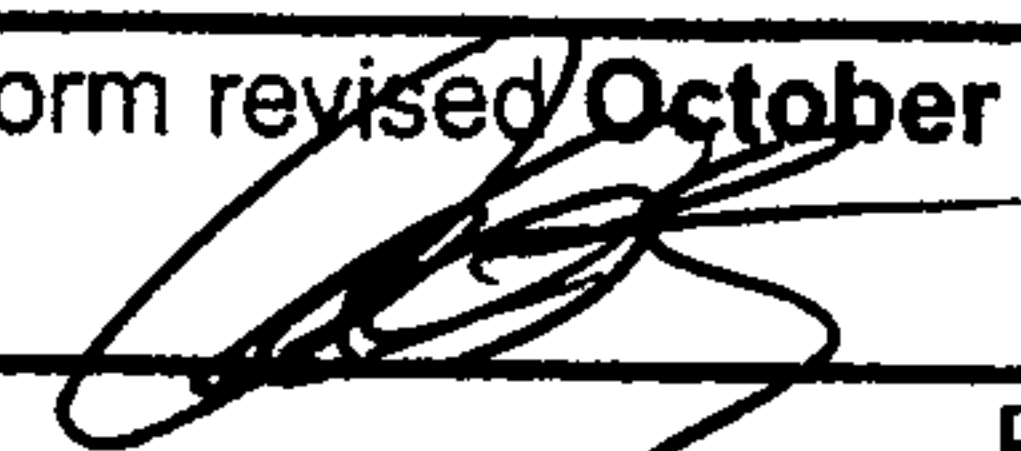
 Applicant name (print)

 Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70233

Form revised **October 2007**



 Planner signature / date
 Project # 1009245



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RICK BENNETT ARCHITECTS PHONE: 242-1859
 ADDRESS: 1104 PARK AVE. SW. FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87102 E-MAIL: XAVIER@RBABI.COM

APPLICANT: Guardian Storage II, LLC PHONE: 450-6385
 ADDRESS: 9221 Eagle Ranch Rd. NW FAX: 898-1309
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: pdhedges@hstnml.com
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR STORAGE & RETAIL BUILDING

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 19 & 20 TRACK 2 Block: 9 Unit: 3
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES
 Existing Zoning: SJ-2 Proposed zoning: SJ-2 MRGCD Map No _____
 Zone Atlas page(s): C-19-2 UPC Code: 101906422106730214 (LOT 19)
101906420606730213 (LOT 20)

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc): 1009245

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots 1 Total site area (acres): 1.9952 ACRES
 LOCATION OF PROPERTY BY STREETS: On or Near: ON HOLLY AVENUE WEST OF WYOMING
 Between: WYOMING and LOUISIANA

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE Xavier Nuño-Wheeler DATE 7-29-12
 (Print Name) XAVIER NUÑO-WHEELER Applicant: Agent

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>12DRB - 70221</u>	<u>SBP</u>	_____	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 405.00</u>

Hearing date Aug. 1, 2012

Bryanna Garcia 7/24/12
 Staff signature & Date

Project # 1009245

FORM P(3): SITE PLAN REVIEW - D. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22) Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg setbacks, adjacent rights-of-way and street improvements, etc (folded to fit into an 8 5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18) Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center. Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8 5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting**
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17) Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center. Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8 5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8 5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**
Your attendance is required.

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8 5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Bring the original to the meeting**
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

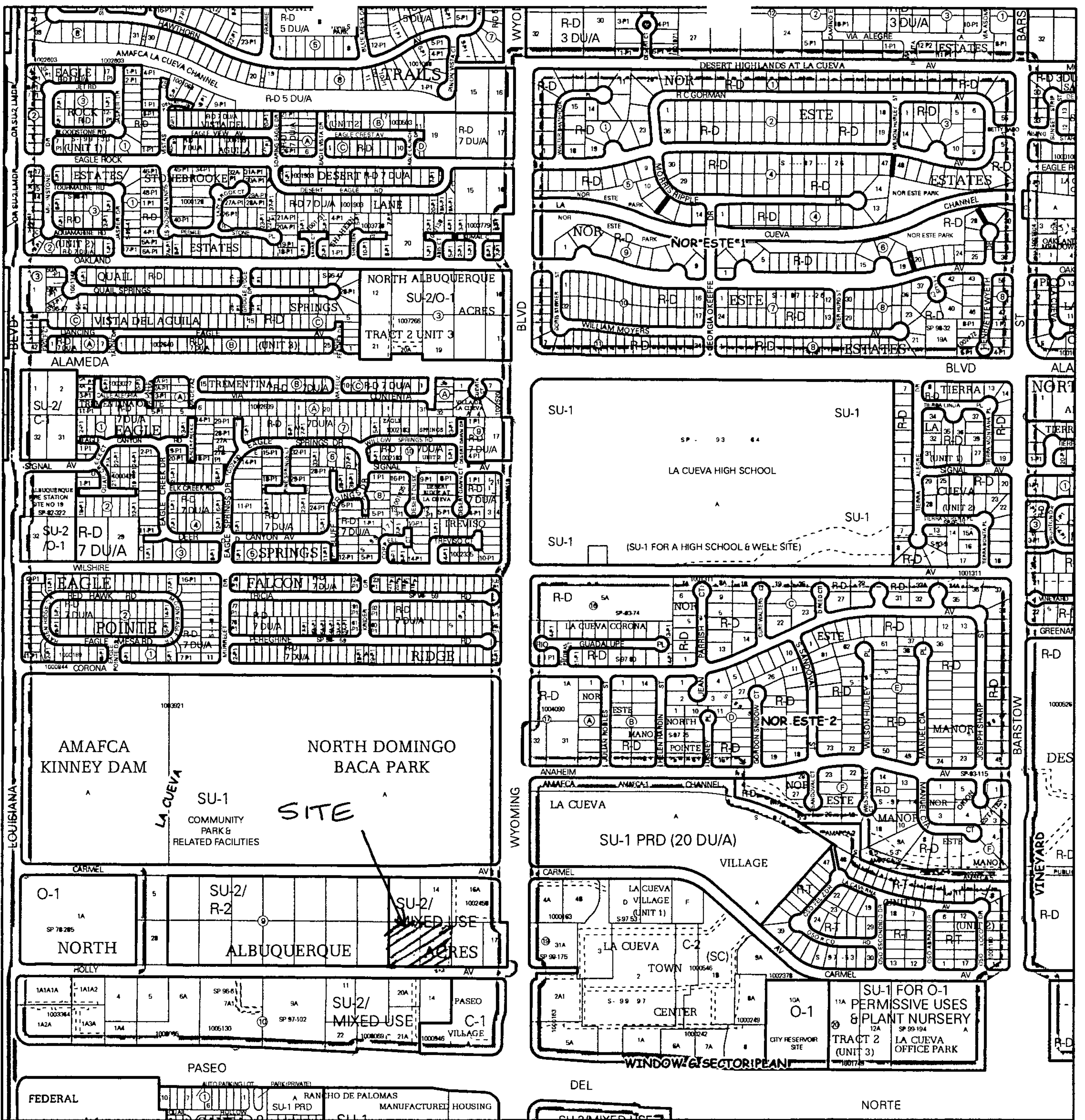
Paul Medges
Applicant name (print)
Paul Medges
Applicant signature / date



Form revised **October 2007**

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
12 - DRB - 70221

Buyanna Garcia 7/24/12
Planner signature / date
Project # 1009245



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/24/2011

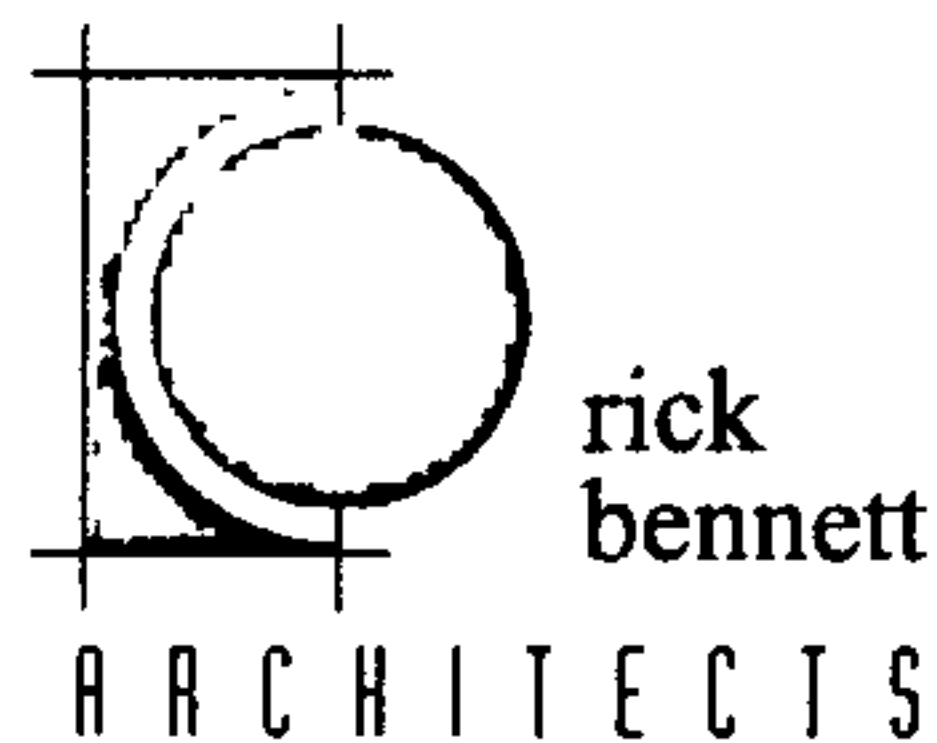
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-19-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1500 Feet



July 17, 2012

City of Albuquerque
Zoning Hearing Examiner
600 2nd Street NW
Albuquerque, NM 87102

Narrative of Project

Dear DRB,

This project consists of a 24,200 S.F. 3 story storage building with 6,536 S.F. of liner retail suites fronting Holly Ave. The proposed meets the applicable policies of the Comprehensive Plan and the La Cueva Sector Plan. This project is a mixed use and will provide storage and retail for the surrounding neighborhoods. The design of the building is consistent with surrounding structures and will maintain the design that is currently in the neighborhood. Light stucco colors and brown tones are the main finishes of the building and the building has been accentuated with recesses and details to make it more appealing.

We feel this building will add character to the neighborhood and provide services that are needed and desired by the community.

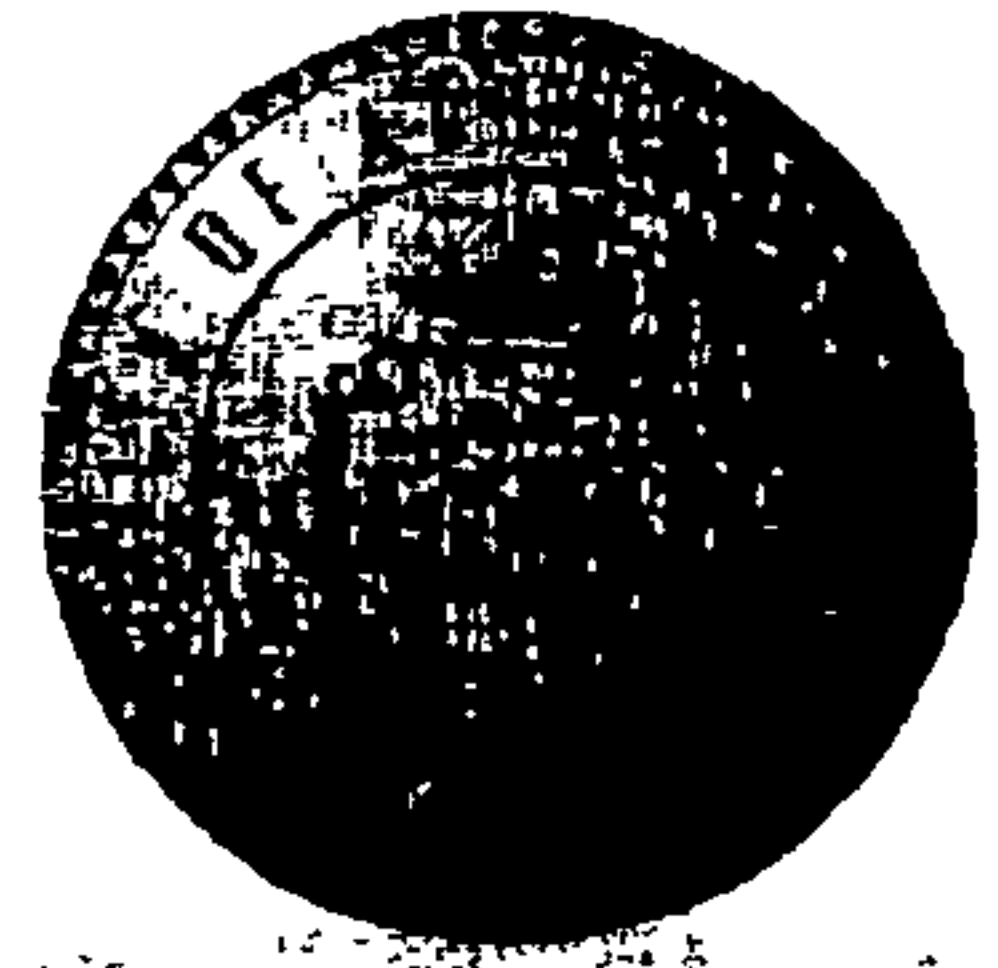
Sincerely,

A handwritten signature in black ink, appearing to read "Rick Bennett", with a long horizontal flourish extending to the right. The signature is written in a cursive style.

Rick Bennett

CITY OF ALBUQUERQUE

**PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION**
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

June 15, 2012

Guardian Storage VI, LLC
9221 Eagle Ranch Rd NW
Albuquerque, NM 87114

Project# 1009245
12EPC-40023 Site Development Plan for
Building Permit
12EPC-40027 Sector Plan Map Amendment
(Zone Change)

LEGAL DESCRIPTION:

For all or a portion of Lots 19 & 20, Block 9, North
Albuquerque Acres Unit 3, located on Holly Ave
between Wyoming and Louisiana Blvd and
containing approximately 1.8 acres
Carrie Barkhurst, Staff Planner

PO Box 1293

Albuquerque

NM 87103

On June 14, 2012, the Environmental Planning Commission (EPC) voted to Approve Project
1009245 12EPC-40027, a Sector Plan Map Amendment (Zone Change) and 12EPC-40026, a
request for a Site Development Plan for Building Permit based on the following Findings and
subject to the following Conditions:

FINDINGS – 12EPC-40027 – June 14, 2012 – Sector Plan Map Amendment

www.cabq.gov

1. This is a request for Sector Plan Map Amendment for Lots 19 and 20, Block 9, Unit 3, North Albuquerque Acres, located on Holly Ave., and containing approximately 1.8 acres. The request is from SU-2/Mixed Use to SU-2/SU-1 for Mixed Use and Indoor Storage. The applicant proposes to construct an indoor storage facility with retail liner shops.
2. This request for sector plan map amendment is accompanied by a request for a Site Development Plan for Building Permit
3. The subject site is in the Developing Urban Area of the Comprehensive Plan and within the boundaries of the La Cueva Sector Development Plan (LCSDP). The proposal must

DRB Angela Gomez
924-3946

OFFICIAL NOTICE OF DECISION**Project #1009245****June 14, 2012****Page 2 of 8**

comply with the Design Regulations in the LCSDP and the General Regulations in the Zoning Code.

4. The Albuquerque/Bernalillo County Comprehensive Plan, La Cueva Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request furthers the following *Comprehensive Plan* policies for Developing Urban Areas:
 - a. ~~This request furthers~~ Policy II.B.5.d. Neighborhood values have been expressed through the LCSDP and the proposed zoning will not diminish the goals and intent of this Plan.
 - b. This request furthers Policy II.B.5.e because it will not negatively impact the integrity of the existing infrastructure or the neighborhoods. Storage facilities generally generate less traffic compared to what could currently be developed on the site.
 - c. The request furthers Policy II.B.5.i by providing site plan control to minimize adverse effects of noise, lighting, pollution and traffic on residential environments.
 - d. The request complies with Policy II.B.5.j because the proposed zone will allow commercial development on a site that already allows commercial development.
 - e. The request furthers Policy II.B.5.k because the addition of a storage use to the current zoning will not encourage an increase in traffic when compared to the current zoning. The livability and safety of established residential neighborhoods will be protected in transportation planning and operation.
6. The request furthers the following *La Cueva Sector Development Plan* goals and policies:
 - a. The zone change request and proposed SPBP meet the intent of the Guiding Principles, 2nd Bullet by providing a new service business that can meet the needs of businesses and residents in the area and by adding variety in retail uses. The office-like building adds to the urban landscape while being of similar intensity as surrounding non-residential uses.
 - b. The request furthers Zoning Principle, 3rd Bullet by facilitating development of a new commercial use adjacent to the Paseo del Norte corridor specifically identified as suitable and desired for "more intense land use".
 - c. The request furthers Zoning Principle, 5th Bullet by retaining the SU-2 zoning descriptor which will require compliance the Design Regulations in the LCSDP. As

OFFICIAL NOTICE OF DECISION

Project #1009245

June 14, 2012

Page 3 of 8

- such, development under the new zoning category will reinforce the community identity and improve land use compatibility.
- d. The proposed zoning meets the intent of the current Mixed Use zone by continuing to allow a mix of retail and service uses that will contribute to the creation of an active urban environment.
7. The applicant has adequately justified the sector plan map amendment request pursuant to **Resolution 270-1980**:
- a. **Section 1A:** Consistency with the City's health, safety, morals and general welfare is demonstrated because the request furthers a preponderance of Goals and policies of the Comprehensive Plan and the LCSDP. The proposed zoning is not likely to have an adverse impact on the welfare of the neighborhood or the City.
- b. **Section 1B:** The requested change will not destabilize adjacent land uses and zoning because it is generally consistent with the current zone and it is controlled through a site development plan. Indoor Storage is a conditional use under the current zoning, which offers stability of uses in the area. Development under the proposed zone will be subject to the LCSDP design regulations, which offers consistent design.
- c. **Section 1C:** The applicant has adequately justified how the requested zone change furthers a preponderance of the Goals and Policies that are presented in the Comprehensive Plan and the LCSDP. There is no "significant conflict" with these adopted Plans.
- d. **Section 1D:** The proposed zoning would allow permissive uses that are similar to those under the current zone. The main difference is the addition of Indoor Storage, which is a Conditional Use under the current zone.
- e. **Section 1E:** The permissive uses allowed under the proposed zone are similar to those under the current zone and will not increase harm to adjacent property, the neighborhood, or the community as compared to the current zone. Because the site is governed by a site development plan and the LCSDP design regulations, future development will be compatible with what would be seen under the current zone.
- f. **Section 1F:** The proposed zone change requires no major or unprogrammed capital expenditures by the City.
- g. **Section 1G:** The cost of land or other economic considerations are not the determining factor for this request. The applicant has demonstrated that the proposed zone change furthers a preponderance of relevant policies in the Comprehensive Plan and the LCSDP.
- h. **Section 1H:** Location on a collector or major street is not used as justification for the proposed zone change.

OFFICIAL NOTICE OF DECISION

Project #1009245

June 14, 2012

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- i. Section 1I: SU-1 zoning is considered a justifiable "spot zone" because it would result in the realization of policies in applicable plans as demonstrated in this case.
 - j. Section 1J: The request does not create a strip zone.
8. Representatives from the North Domingo Baca NA, the District 4 Coalition of NA's, and property-owners within 100-feet of the subject site were notified. A facilitated meeting was held on May 23, 2012; only one NA representative attended the meeting. There is general support for the project, except for the adjacent resident to the west. This resident has indicated that the request is inconsistent with the LCSDP and will negatively impact property values and quality of life.

CONDITIONS OF APPROVAL – 12EPC-40027 –Sector Plan Map Amendment

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

FINDINGS – 12EPC-40026 –Site Development Plan for Building Permit

1. This is a request for Site Development Plan for Building Permit for Lots 19 and 20, Block 9, Unit 3, North Albuquerque Acres, located on Holly Ave., and containing approximately 1.8 acres. The applicant proposes to construct an indoor storage facility with retail liner shops.
2. This request for a Site Development Plan for Building Permit is accompanied by a request for a Sector Plan Map Amendment from SU-2/Mixed Use to SU-2/SU-1 for Mixed Use and Indoor Storage.
3. The subject site is in the Developing Urban Area of the Comprehensive Plan and within the boundaries of the La Cueva Sector Development Plan (LCSDP). The proposal must comply with the Design Regulations in the LCSDP and the General Regulations in the Zoning Code.

OFFICIAL NOTICE OF DECISION

Project #1009245

June 14, 2012

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4. The Albuquerque/Bernalillo County Comprehensive Plan, La Cueva Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The LCSDP does not establish zoning regulations in the SU-1 zone; therefore the EPC has the authority to determine lot size, height and setbacks under the proposed SU-1 zone.
6. The proposed SU-2 zone requires compliance with the LCSDP Design Regulations.
7. The current zone (SU-2/MU) allows a maximum building height of 36 feet. The subject site development plan proposes an overall building height of 28' 4" with articulated cornices at the four corners of the building that are 32' 6".
8. The current zone requires a maximum setback of 30 feet from Holly Ave. The proposed building setback is 50 ft. The applicant has justified the requested site plan layout as being substantially consistent with the intent of the LCSDP. The maximum setback is designed to control the visual qualities of the area and to create a "high-density, active urban environment". The proposal has retail shops facing Holly, one drive aisle, and diagonal pull-in parking lined with an allée of trees. The proposed layout is consistent with the intent of the setback regulation under the current zone.
9. The request generally complies with the applicable regulations and design standards with the exception of Zoning Code Regulation §14-16-3-19(A)(3)(b), *General Height and Design Regulations for Walls*. The vertical combination of retaining wall and cmu wall along the western boundary (residential side) exceeds the allowable 8 feet. According to the Zoning Code, if a wall has a height of over 8 feet above the abutting grade on the residential side, the Zoning Hearing Examiner shall decide the required height through a Conditional Use.
10. The applicant has justified the need for less parking than what is required in the Zoning Code. The EPC has the authority to approve the requested parking amount.
11. Representatives from the North Domingo Baca NA, the District 4 Coalition of NA's, and property-owners within 100-feet of the subject site were notified. A facilitated meeting was held on May 23, 2012 – only one NA representative attended the meeting. There is general support for the project, except for the adjacent resident to the west.

OFFICIAL NOTICE OF DECISION

Project #1009245

June 14, 2012

Page 6 of 8

This resident has indicated that the request is inconsistent with the LCSDP and will negatively impact property values and quality of life.

CONDITIONS OF APPROVAL – 12EPC-40026 – June 14, 2012 – Site Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Walls/Fences:
 - a. The fence, as shown on the view analysis, is designed in compliance with the LCSDP Perimeter Wall Design Regulations, page 35. The pillars break up the long expanse of unarticulated fence. The pillars shall be added to the site development plan and fence detail.
 - b. Provide details of all retaining walls and the 6' CMU wall along the western boundary.
 - c. The maximum height of the solid wall on the west property boundary shall be 6-feet, including retaining wall portions. Any additional fencing needed for security shall be open tubular steel fencing and in no case shall the total height of fence and wall be more than 12-feet.
4. Architecture:
 - a. Section 5R-4 LCSDP: Facades greater than 100 feet in length must incorporate recessions or projections along at least 20% of the length of the façade. Recessions must be a minimum depth of three feet and a minimum width of 10 feet.
5. Signage:
 - a. Delete the note on Sheet 1 regarding monument sign.

OFFICIAL NOTICE OF DECISION**Project #1009245****June 14, 2012****Page 7 of 8**

- 6. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:**
- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. All public infrastructures shown within City Right-of-Way (ROW) will need a separate work order from Design Review Committee (DRC).
 - c. Concurrent Plating Action required at Development Review Board (DRB).
 - d. Pavement markings and signage must be provided at the exits of one-way drive aisles through out proposed development.
 - e. Identify turning template information of delivery vehicle classification and size of the delivery vehicle, and provide route path from Paseo Del Norte roadway system.
 - f. Define the maximum allowable clearance where the building overhangs (Porte Cochere) into the drive aisle. Signs must be provided.
 - g. Sidewalk should be located at property line instead of back of curb on Holly frontage.
 - h. Provide/label/detail all dimensions, classifications and proposed infrastructure for site.
 - i. All easements need to be shown and labeled on Site Plan.
 - j. Site plan shall comply and be designed per current DPM standards/ requirements.
 - k. Holly Avenue downstream of this location does not have curb and gutter. Some consideration should be given to this condition with the DRB submittal.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 29, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION

Project #1009245

June 14, 2012

Page 8 of 8

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF

APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



for Deborah L. Stover
Planning Director

DS/CB/mc

cc: Consensus Planning, Inc. 302 8th Street NW, Albuquerque, NM 87102
Guardian Storage VI, LLC, 9221 Eagle Ranch Rd NW, Albuquerque, NM 87114
Judie Pellegrino, 8515 Murrelet NE, Albuquerque, NM 87113
Erik Bose, 7200 Peregrine NE, Albuquerque, NM 87113
Peter Nicholls, 8519 Palomar Ave. NE, Albuquerque, NM 87109
Erica Vasquez, P.O. Box 92315, Albuquerque, NM 87199
Gino Gurulé, 7413 Holly Ave., Albuquerque, NM 87113

796482

PERMANENT EASEMENT

Grant of Permanent Easement, between V-MOD, LLC, a New Mexico limited liability company ("Grantor"), whose address is 11010 Ranchitos Rd NE, Albuquerque, NM 87122 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of a public access, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this 21 day of OCTOBER, 2010.

APPROVED:

[Handwritten Signature]

City Engineer

Date: 11-2-10

GRANTOR:

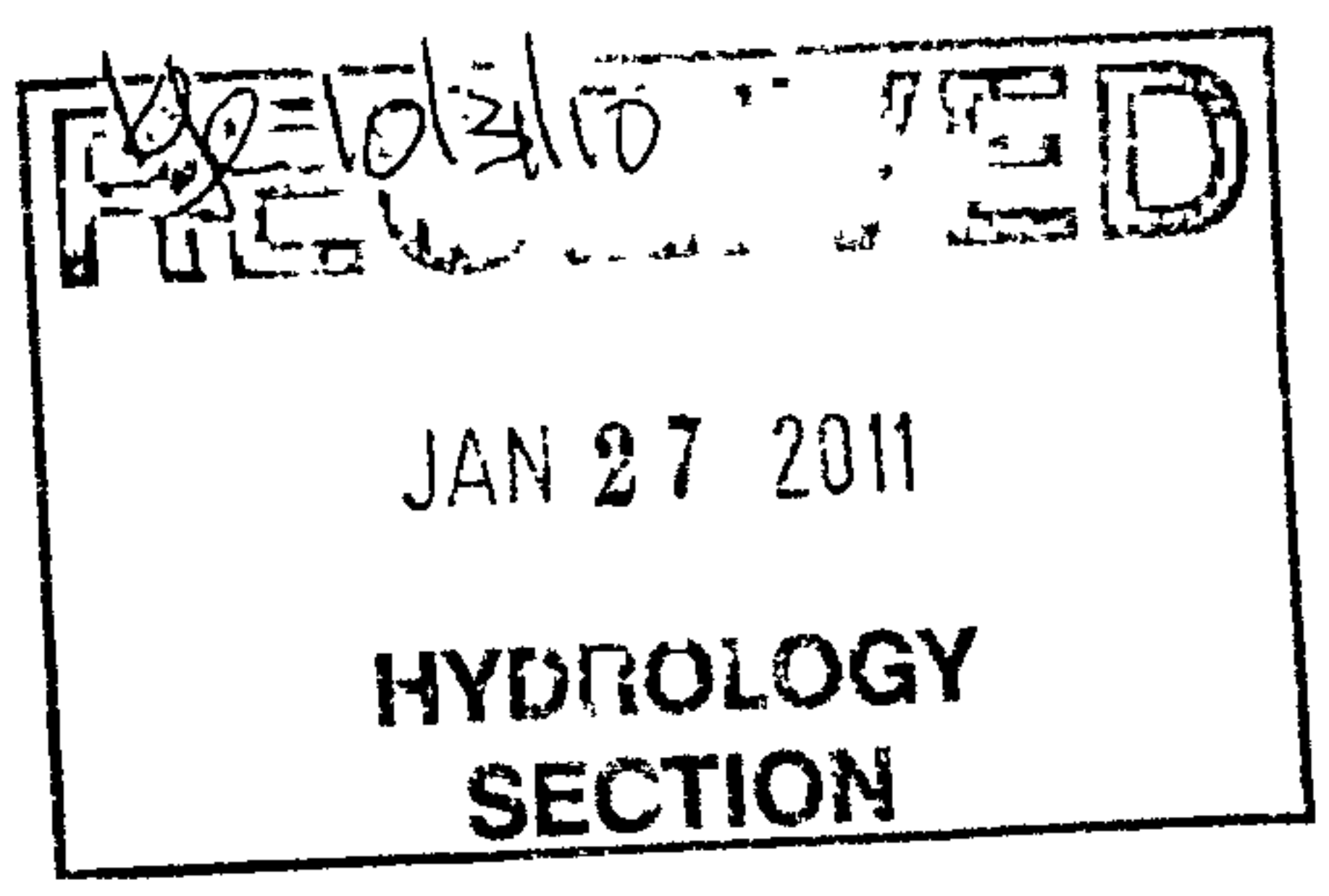
[Handwritten Signature]

By: V-MOD, LLC, a New Mexico limited liability company

Print Name: JABEEN VAGH

Title: Managing Member

Date: OCTOBER 21, 2010.



[Handwritten mark]
10-27-10

Doc# 2010113009

NOTARY

STATE OF New Mexico)

COUNTY OF Bernalillo)ss

This instrument was acknowledged before me on 21st day of, October
2010, by Jabeen Vagh, Managing Member
of V-mob, LLC, a New Mexico LLC Company
corporation, on behalf of the corporation.

(SEAL)

My Commission Expires:
3/20/2011

Janice K. Schol
Notary Public

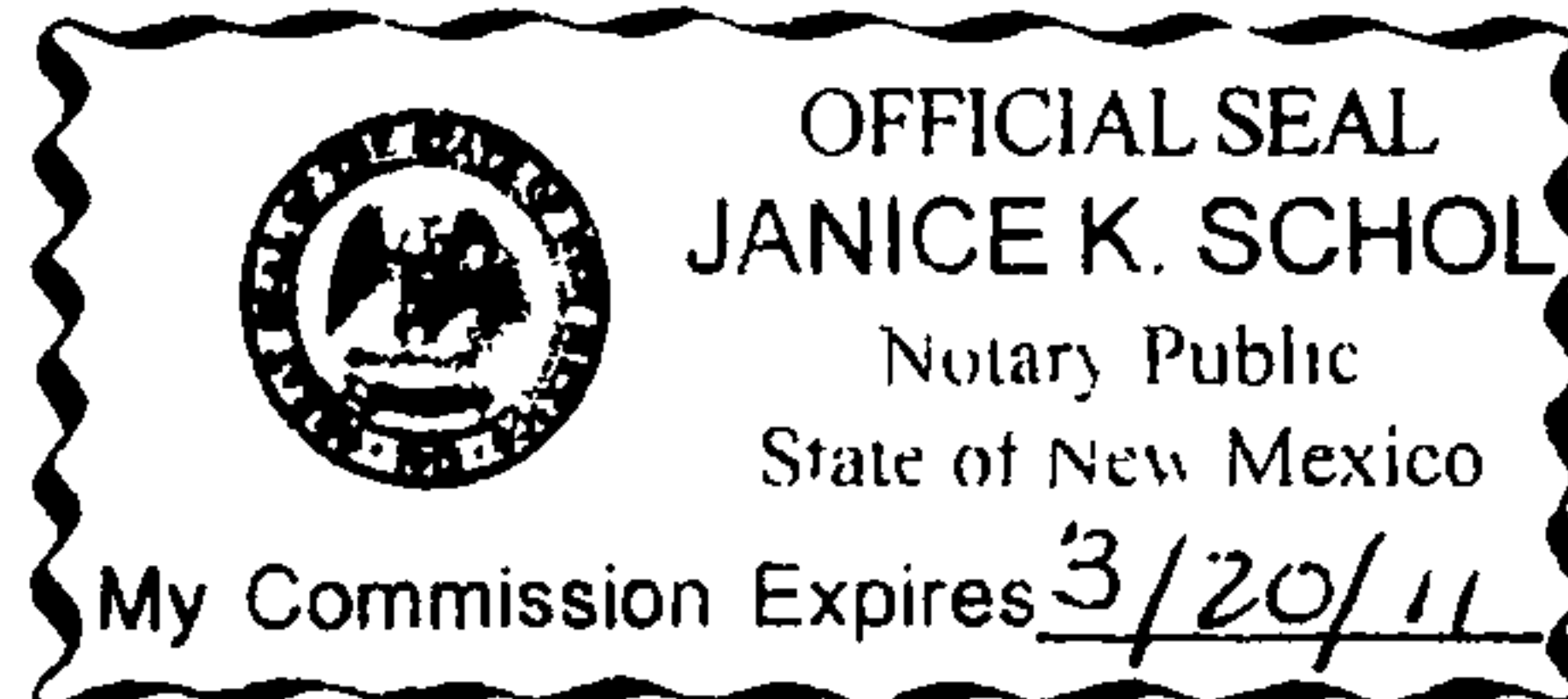


Exhibit A

LEGAL DESCRIPTION

An Easement situate within the Elena Gallegos Grant in Projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising a Southeasterly portion of Lot 19, Block 9, Tract 2, Unit 3, North Albuquerque Acres, as the same is shown and designated on the plat entitled "TRACT 2 UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO, SCALE: 1 INCH = 400 FEET", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 10, 1931, in Volume D1, Folio 20, more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

BEGINNING at the southeasterly corner of the easement herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the southeasterly corner of said Lot 19, and also being a point on the northerly right of way line of Holly Avenue N.E., whence Albuquerque Control Survey Monument "HEAVEN" bears S 15°43'55" W, 647.54 feet distant; Thence,

N 89° 39'23" W , 5.00 feet along said northerly right of way line of Holly Avenue N.E. to the southwest corner of the easement herein described; Thence,

N 00°20'37" E , 6.08 feet to a point; Thence,

N 45° 20'37" E , 7.07 feet to a point on the easterly boundary of said Lot 19 and the Northeast corner of the easement herein described; Thence,

S 00°20'37" W , 11.08 feet along said easterly boundary of Lot 19 to the southeast corner and point of beginning of the easement herein described.

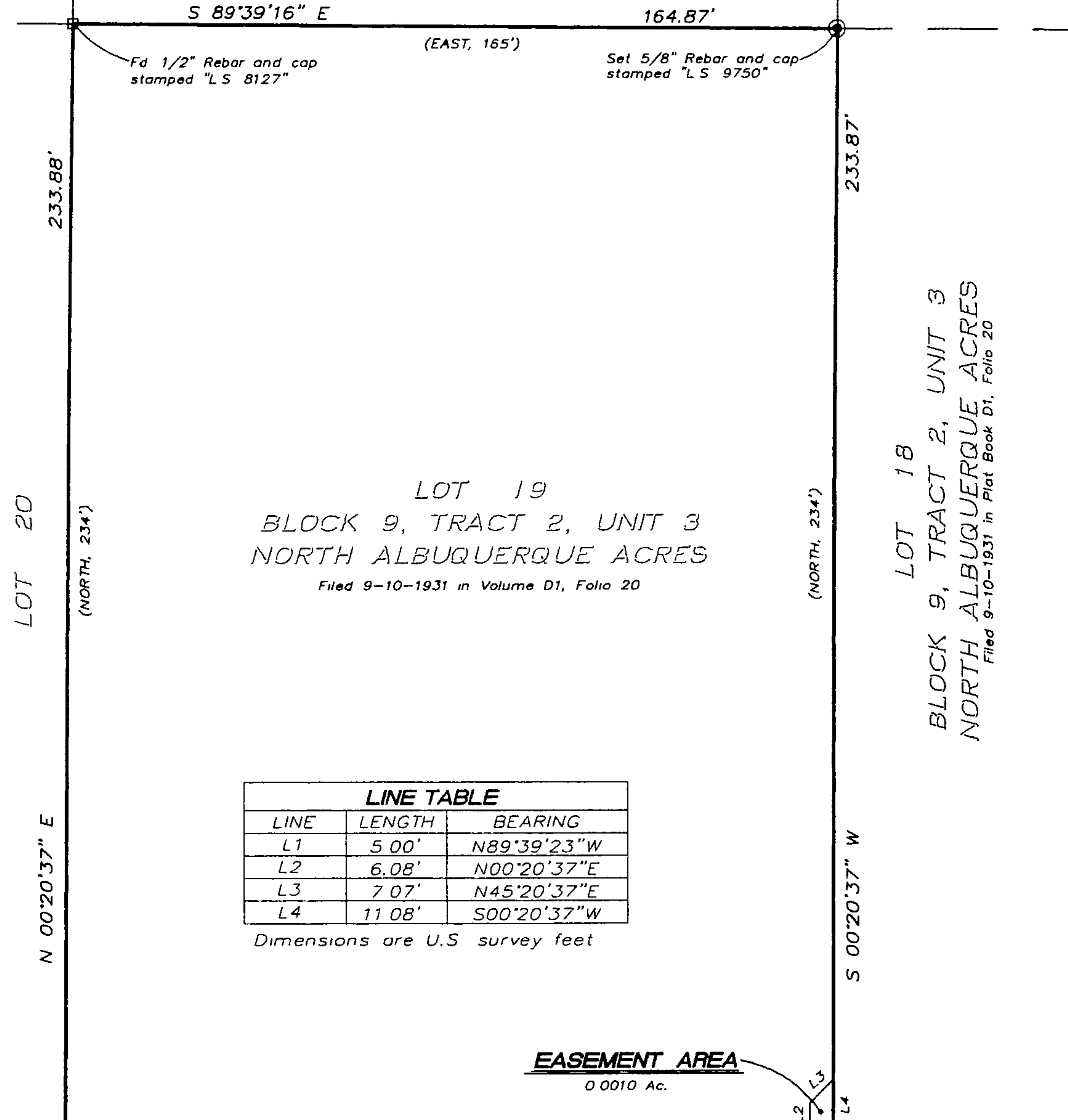
Said easement contains 0.0010 acre, more or less.



EXHIBIT "A"

LOT 14
 BLOCK 9, TRACT 2, UNIT 3
 NORTH ALBUQUERQUE ACRES
 Filed 9-10-1931 in Plat Book D1, Folio 20

LOT 16-A



LINE TABLE		
LINE	LENGTH	BEARING
L1	5.00'	N89°39'23"W
L2	6.08'	N00°20'37"E
L3	7.07'	N45°20'37"E
L4	11.08'	S00°20'37"W

Dimensions are U.S. survey feet

EASEMENT AREA
 0.0010 Ac.

HOLLY AVENUE N.E.
 60' R/W

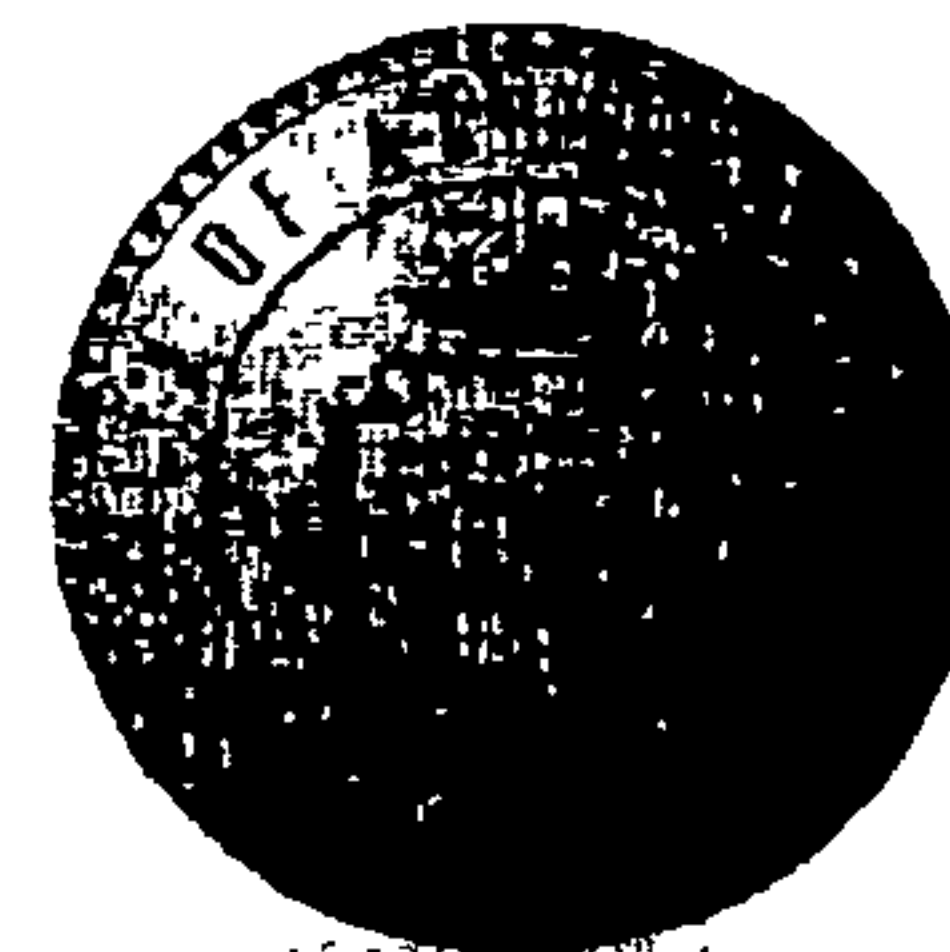
Scale 1" = 30'

Albuquerque Control Survey Monument "HEAVEN"
 New Mexico State Plane Coordinates
 Central Zone (NAD 83)
 North = 1,518,799.515
 East = 1,547,297.145
 Elevation = 5,378.235 (NAVD 1988)
 Delta Alpha = -00°10'46.22"
 Ground-to-Grid Factor = 0.999655810

Fd 5/8" Rebar and cap stamped "L.S. 6455"

Point of BEGINNING
 Set 5/8" Rebar and cap stamped "L.S. 9750"

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

June 15, 2012

Guardian Storage VI, LLC
9221 Eagle Ranch Rd NW
Albuquerque, NM 87114

Project# 1009245
12EPC-40023 Site Development Plan for
Building Permit
12EPC-40027 Sector Plan Map Amendment
(Zone Change)

LEGAL DESCRIPTION:

For all or a portion of Lots 19 & 20, Block 9, North Albuquerque Acres Unit 3, located on Holly Ave between Wyoming and Louisiana Blvd and containing approximately 1.8 acres
Carrie Barkhurst, Staff Planner

PO Box 1293

Albuquerque

NM 87103

On June 14, 2012, the Environmental Planning Commission (EPC) voted to Approve Project 1009245 / 12EPC-40027, a Sector Plan Map Amendment (Zone Change) and 12EPC-40026, a request for a Site Development Plan for Building Permit based on the following Findings and subject to the following Conditions:

FINDINGS – 12EPC-40027 – June 14, 2012 – Sector Plan Map Amendment

www.cabq.gov

1. This is a request for Sector Plan Map Amendment for Lots 19 and 20, Block 9, Unit 3, North Albuquerque Acres, located on Holly Ave., and containing approximately 1.8 acres. The request is from SU-2/Mixed Use to SU-2/SU-1 for Mixed Use and Indoor Storage. The applicant proposes to construct an indoor storage facility with retail liner shops.
2. This request for sector plan map amendment is accompanied by a request for a Site Development Plan for Building Permit
3. The subject site is in the Developing Urban Area of the Comprehensive Plan and within the boundaries of the La Cueva Sector Development Plan (LCSDP). The proposal must

DRB Angela Gomez
924-3946

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comply with the Design Regulations in the LCSDP and the General Regulations in the Zoning Code.

4. The Albuquerque/Bernalillo County Comprehensive Plan, La Cueva Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The request furthers the following *Comprehensive Plan* policies for Developing Urban Areas:
 - a. ~~This request furthers~~ Policy II.B.5.d. Neighborhood values have been expressed through the LCSDP and the proposed zoning will not diminish the goals and intent of this Plan.
 - b. This request furthers Policy II.B.5.e because it will not negatively impact the integrity of the existing infrastructure or the neighborhoods. Storage facilities generally generate less traffic compared to what could currently be developed on the site.
 - c. The request furthers Policy II.B.5.i by providing site plan control to minimize adverse effects of noise, lighting, pollution and traffic on residential environments.
 - d. The request complies with Policy II.B.5.j because the proposed zone will allow commercial development on a site that already allows commercial development.
 - e. The request furthers Policy II.B.5.k because the addition of a storage use to the current zoning will not encourage an increase in traffic when compared to the current zoning. The livability and safety of established residential neighborhoods will be protected in transportation planning and operation.
6. The request furthers the following *La Cueva Sector Development Plan* goals and policies:
 - a. The zone change request and proposed SPBP meet the intent of the Guiding Principles, 2nd Bullet by providing a new service business that can meet the needs of businesses and residents in the area and by adding variety in retail uses. The office-like building adds to the urban landscape while being of similar intensity as surrounding non-residential uses.
 - b. The request furthers Zoning Principle, 3rd Bullet by facilitating development of a new commercial use adjacent to the Paseo del Norte corridor specifically identified as suitable and desired for "more intense land use".
 - c. The request furthers Zoning Principle, 5th Bullet by retaining the SU-2 zoning descriptor which will require compliance the Design Regulations in the LCSDP. As

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such, development under the new zoning category will reinforce the community identity and improve land use compatibility.

- d. The proposed zoning meets the intent of the current Mixed Use zone by continuing to allow a mix of retail and service uses that will contribute to the creation of an active urban environment.
7. The applicant has adequately justified the sector plan map amendment request pursuant to **Resolution 270-1980**:
- a. **Section 1A:** Consistency with the City's health, safety, morals and general welfare is demonstrated because the request furthers a preponderance of Goals and policies of the Comprehensive Plan and the LCSDP. The proposed zoning is not likely to have an adverse impact on the welfare of the neighborhood or the City.
 - b. **Section 1B:** The requested change will not destabilize adjacent land uses and zoning because it is generally consistent with the current zone and it is controlled through a site development plan. Indoor Storage is a conditional use under the current zoning, which offers stability of uses in the area. Development under the proposed zone will be subject to the LCSDP design regulations, which offers consistent design.
 - c. **Section 1C:** The applicant has adequately justified how the requested zone change furthers a preponderance of the Goals and Policies that are presented in the Comprehensive Plan and the LCSDP. There is no "significant conflict" with these adopted Plans.
 - d. **Section 1D:** The proposed zoning would allow permissive uses that are similar to those under the current zone. The main difference is the addition of Indoor Storage, which is a Conditional Use under the current zone.
 - e. **Section 1E:** The permissive uses allowed under the proposed zone are similar to those under the current zone and will not increase harm to adjacent property, the neighborhood, or the community as compared to the current zone. Because the site is governed by a site development plan and the LCSDP design regulations, future development will be compatible with what would be seen under the current zone.
 - f. **Section 1F:** The proposed zone change requires no major or unprogrammed capital expenditures by the City.
 - g. **Section 1G:** The cost of land or other economic considerations are not the determining factor for this request. The applicant has demonstrated that the proposed zone change furthers a preponderance of relevant policies in the Comprehensive Plan and the LCSDP.
 - h. **Section 1H:** Location on a collector or major street is not used as justification for the proposed zone change.

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- i. Section 1I: SU-1 zoning is considered a justifiable "spot zone" because it would result in the realization of policies in applicable plans as demonstrated in this case.
 - j. Section 1J: The request does not create a strip zone.
8. Representatives from the North Domingo Baca NA, the District 4 Coalition of NA's, and property-owners within 100-feet of the subject site were notified. A facilitated meeting was held on May 23, 2012; only one NA representative attended the meeting. There is general support for the project, except for the adjacent resident to the west. This resident has indicated that the request is inconsistent with the LCSDP and will negatively impact property values and quality of life.

CONDITIONS OF APPROVAL – 12EPC-40027 –Sector Plan Map Amendment

1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.
-

FINDINGS – 12EPC-40026 –Site Development Plan for Building Permit

1. This is a request for Site Development Plan for Building Permit for Lots 19 and 20, Block 9, Unit 3, North Albuquerque Acres, located on Holly Ave., and containing approximately 1.8 acres. The applicant proposes to construct an indoor storage facility with retail liner shops.
2. This request for a Site Development Plan for Building Permit is accompanied by a request for a Sector Plan Map Amendment from SU-2/Mixed Use to SU-2/SU-1 for Mixed Use and Indoor Storage.
3. The subject site is in the Developing Urban Area of the Comprehensive Plan and within the boundaries of the La Cueva Sector Development Plan (LCSDP). The proposal must comply with the Design Regulations in the LCSDP and the General Regulations in the Zoning Code.

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4. The Albuquerque/Bernalillo County Comprehensive Plan, La Cueva Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The LCSDP does not establish zoning regulations in the SU-1 zone; therefore the EPC has the authority to determine lot size, height and setbacks under the proposed SU-1 zone.
6. The proposed SU-2 zone requires compliance with the LCSDP Design Regulations.
7. The current zone (SU-2/MU) allows a maximum building height of 36 feet. The subject site development plan proposes an overall building height of 28' 4" with articulated cornices at the four corners of the building that are 32' 6".
8. The current zone requires a maximum setback of 30 feet from Holly Ave. The proposed building setback is 50 ft. The applicant has justified the requested site plan layout as being substantially consistent with the intent of the LCSDP. The maximum setback is designed to control the visual qualities of the area and to create a "high-density, active urban environment". The proposal has retail shops facing Holly, one drive aisle, and diagonal pull-in parking lined with an allée of trees. The proposed layout is consistent with the intent of the setback regulation under the current zone.
9. The request generally complies with the applicable regulations and design standards with the exception of Zoning Code Regulation §14-16-3-19(A)(3)(b), *General Height and Design Regulations for Walls*. The vertical combination of retaining wall and cmu wall along the western boundary (residential side) exceeds the allowable 8 feet. According to the Zoning Code, if a wall has a height of over 8 feet above the abutting grade on the residential side, the Zoning Hearing Examiner shall decide the required height through a Conditional Use.
10. The applicant has justified the need for less parking than what is required in the Zoning Code. The EPC has the authority to approve the requested parking amount.
11. Representatives from the North Domingo Baca NA, the District 4 Coalition of NA's, and property-owners within 100-feet of the subject site were notified. A facilitated meeting was held on May 23, 2012 – only one NA representative attended the meeting. There is general support for the project, except for the adjacent resident to the west.

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This resident has indicated that the request is inconsistent with the LCSDP and will negatively impact property values and quality of life.

CONDITIONS OF APPROVAL – 12EPC-40026 – June 14, 2012 – Site Plan for Building Permit

- ✓ 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- ✓ 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Walls/Fences:
 - ✓ a. The fence, as shown on the view analysis, is designed in compliance with the LCSDP Perimeter Wall Design Regulations, page 35. The pillars break up the long expanse of unarticulated fence. The pillars shall be added to the site development plan and fence detail.
 - ✓ b. Provide details of all retaining walls and the 6' CMU wall along the western boundary.
 - ✓ c. The maximum height of the solid wall on the west property boundary shall be 6-feet, including retaining wall portions. Any additional fencing needed for security shall be open tubular steel fencing and in no case shall the total height of fence and wall be more than 12-feet.
4. Architecture:
 - ✓ a. Section 5R-4 LCSDP: Facades greater than 100 feet in length must incorporate recessions or projections along at least 20% of the length of the façade. Recessions must be a minimum depth of three feet and a minimum width of 10 feet.
5. Signage:
 - ✓ a. Delete the note on Sheet 1 regarding monument sign.

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- 6. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT and NMDOT:**
- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
 - b. All public infrastructures shown within City Right-of-Way (ROW) will need a separate work order from Design Review Committee (DRC).
 - ✓ c. Concurrent Plating Action required at Development Review Board (DRB).
 - ⓓ d. Pavement markings and signage must be provided at the exits of one-way drive aisles through out proposed development.
 - ⓔ e. Identify turning template information of delivery vehicle classification and size of the delivery vehicle, and provide route path from Paseo Del Norte roadway system.
 - ✓ f. Define the maximum allowable clearance where the building overhangs (Porte Cochere) into the drive aisle. Signs must be provided.
 - ✓ g. Sidewalk should be located at property line instead of back of curb on Holly frontage.
 - ⓓ h. Provide/label/detail all dimensions, classifications and proposed infrastructure for site.
 - i. All easements need to be shown and labeled on Site Plan.
 - j. Site plan shall comply and be designed per current DPM standards/ requirements.
 - ⓓ k. Holly Avenue downstream of this location does not have curb and gutter. Some consideration should be given to this condition with the DRB submittal.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JUNE 29, 2012 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF

APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,



for Deborah L. Stover
Planning Director

DS/CB/mc

cc: Consensus Planning, Inc. 302 8th Street NW, Albuquerque, NM 87102
Guardian Storage VI, LLC, 9221 Eagle Ranch Rd NW, Albuquerque, NM 87114
Judie Pellegrino, 8515 Murrelet NE, Albuquerque, NM 87113
Erik Bose, 7200 Peregrine NE, Albuquerque, NM 87113
Peter Nicholls, 8519 Palomar Ave. NE, Albuquerque, NM 87109
Erica Vasquez, P.O. Box 92315, Albuquerque, NM 87199
Gino Gurulé, 7413 Holly Ave., Albuquerque, NM 87113

August 1, 2012

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