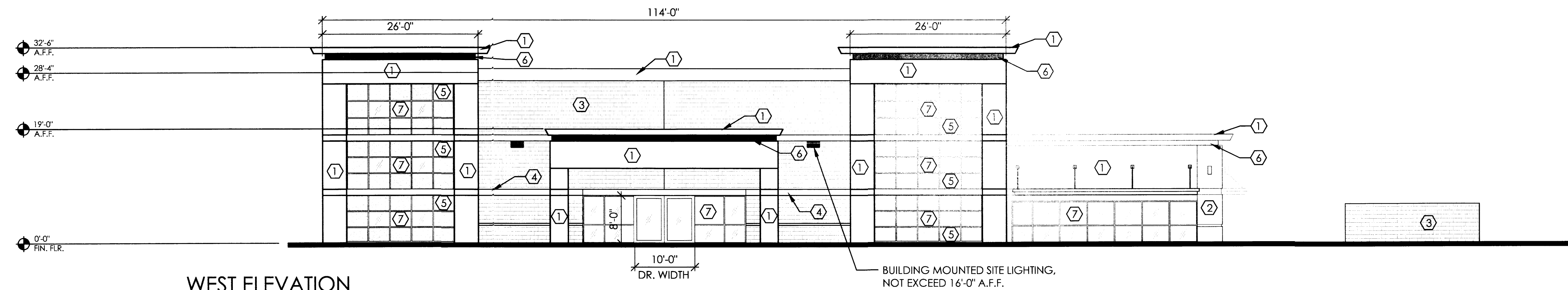


**SOUTH ELEVATION (HOLLY AVE VIEW)**

1" = 10'-0"

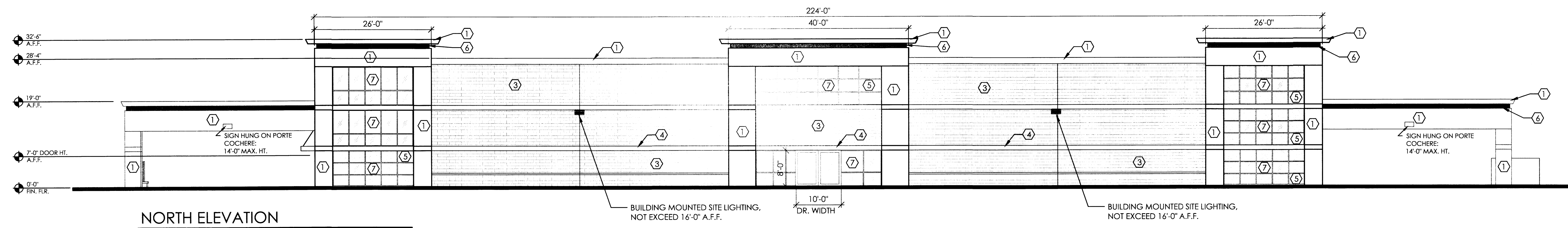


**WEST ELEVATION**

1" = 10'-0"

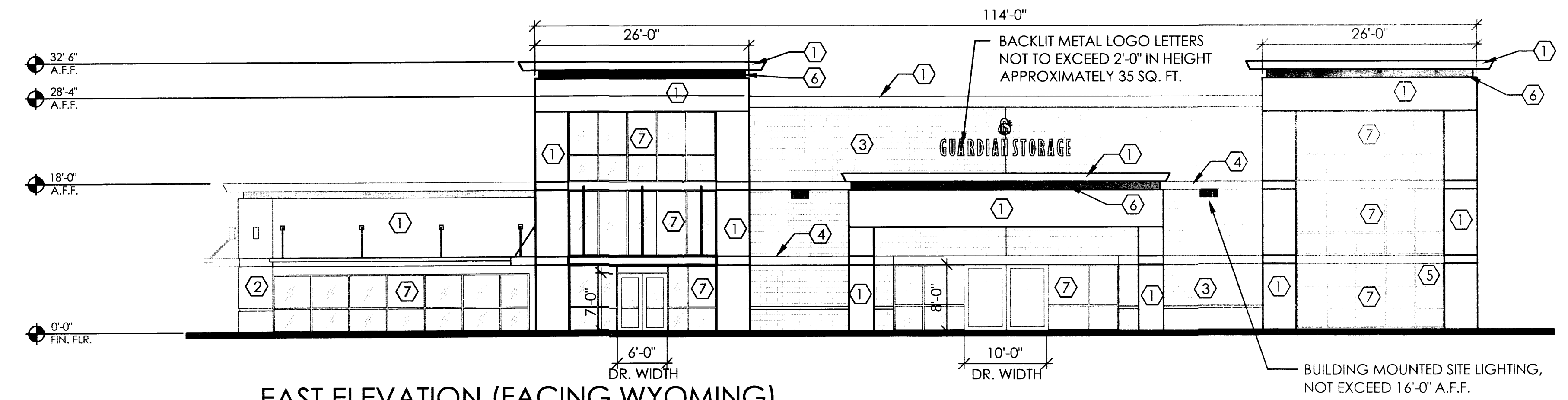
NOTE: PERIMETER FENCE NOT SHOWN FOR CLARITY REFER TO SITE PLAN FOR SIZE AND LOCATION.

- FINISH MATERIAL KEY NOTE LEGEND:**
- ① LIGHT BROWN STUCCO FINISH
  - ② DARK BROWN STUCCO FINISH
  - ③ DARK BROWN SPLIT-FACE CMU
  - ④ LIGHT BROWN SMOOTH-FACE CMU
  - ⑤ LIGHT BROWN SMOOTH PAINT FINISH
  - ⑥ FOREST GREEN ACCENT BAND
  - ⑦ GLAZING WITH BLACK METAL STOREFRONT



**NORTH ELEVATION**

1" = 10'-0"



**EAST ELEVATION (FACING WYOMING)**

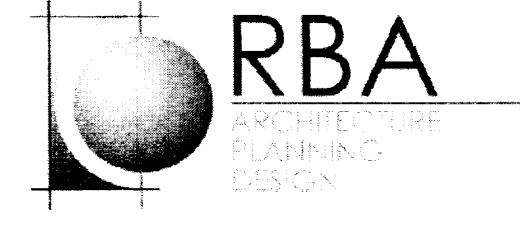
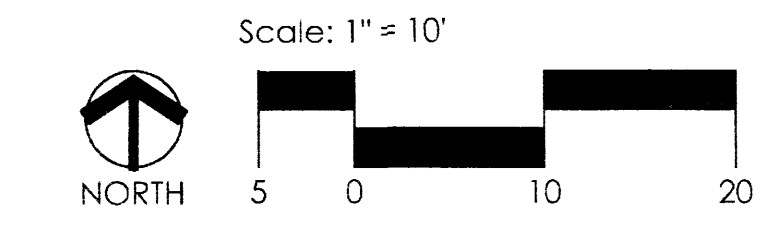
1" = 10'-0"

**ARCHITECTURAL ELEVATIONS  
GUARDIAN SELF STORAGE**

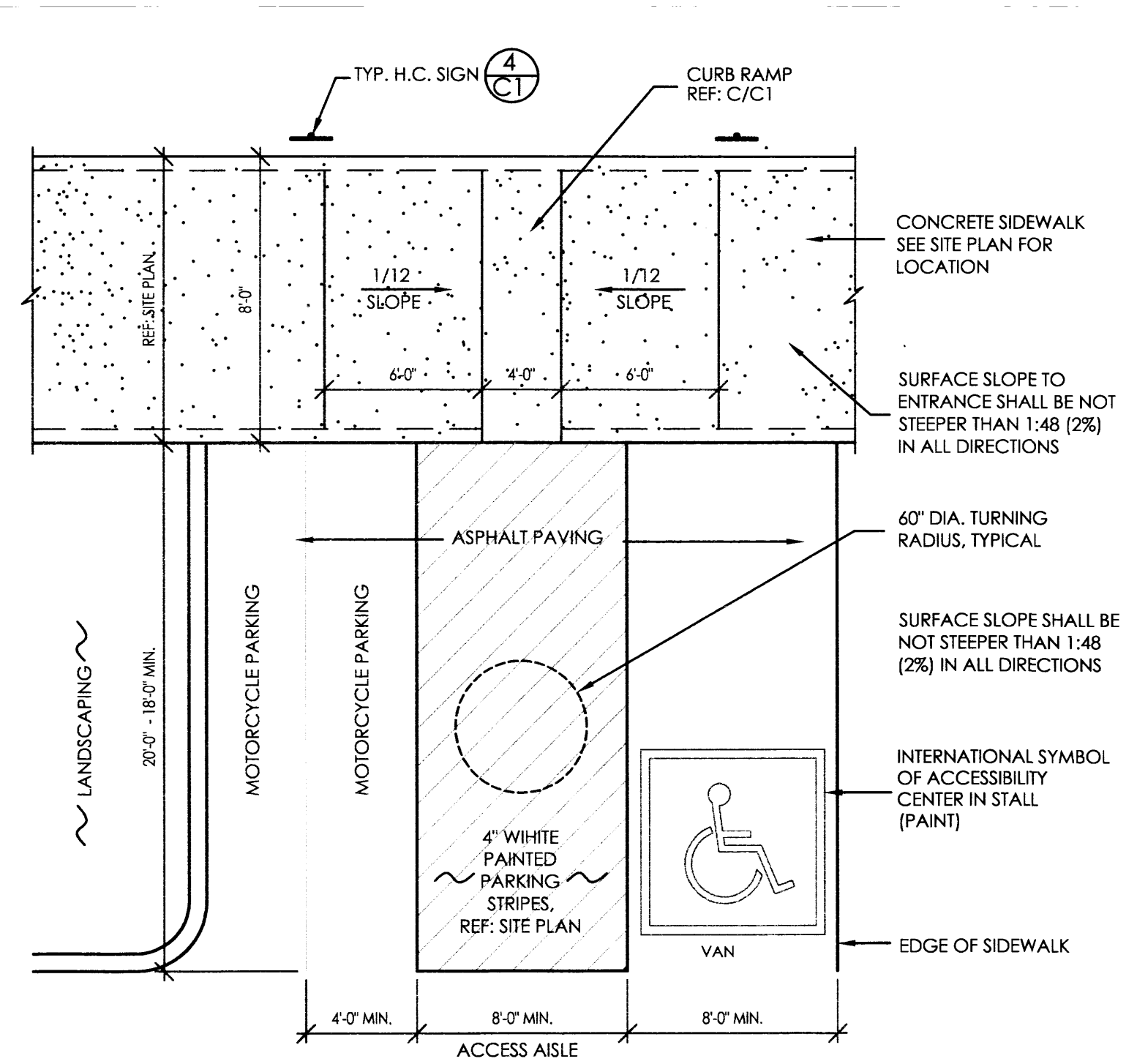
Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Rick Bennett Architects  
1104 Park Ave. SW  
Albuquerque, NM 87102

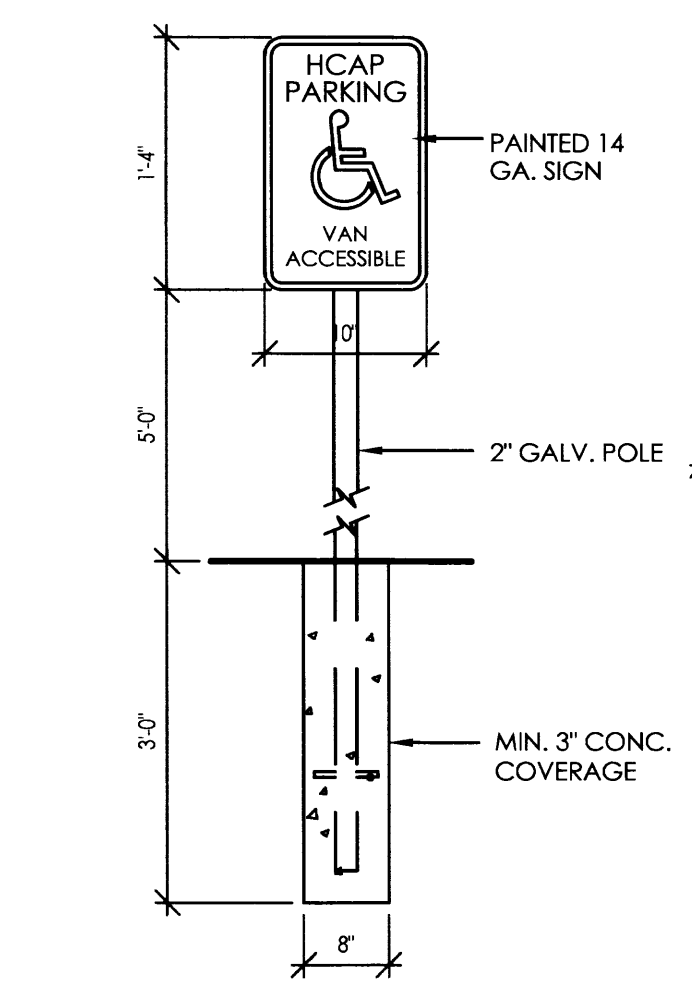
REVISION DATE:  
JUNE 7, 2012



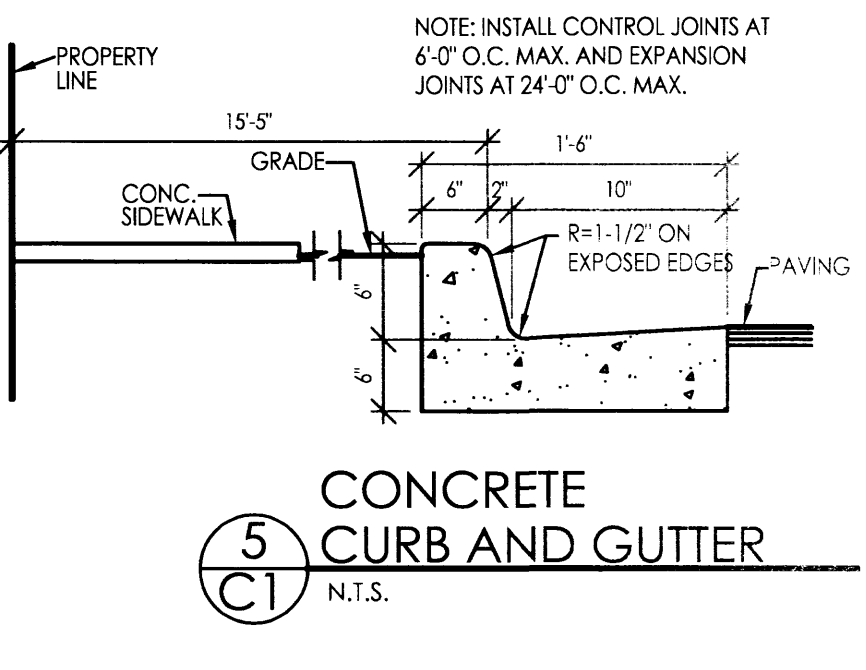




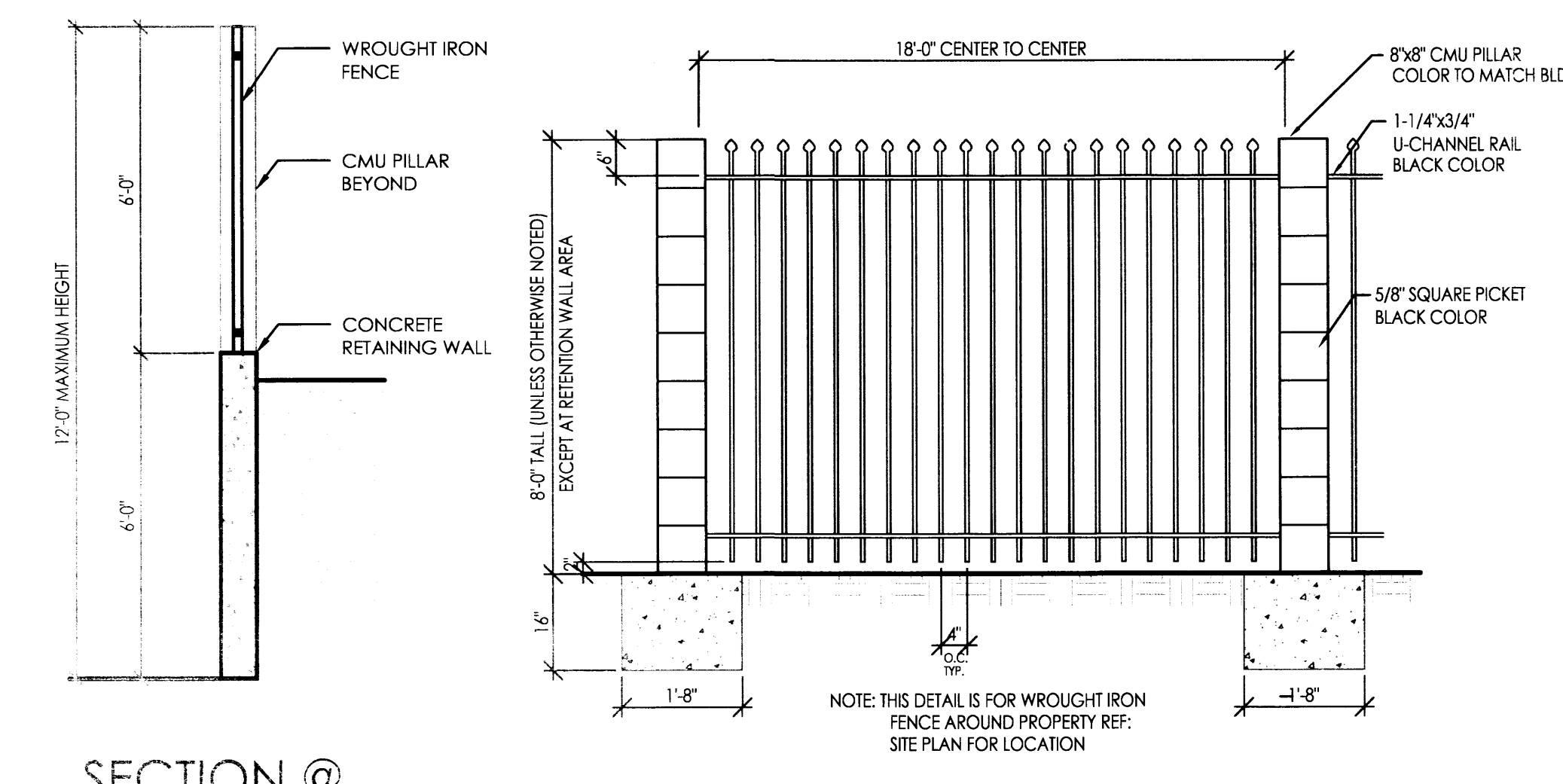
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C1 NOT TO SCALE



4 TYP. H.C. SIGN DETAIL  
C1 SCALE: 1" = 1'-0"

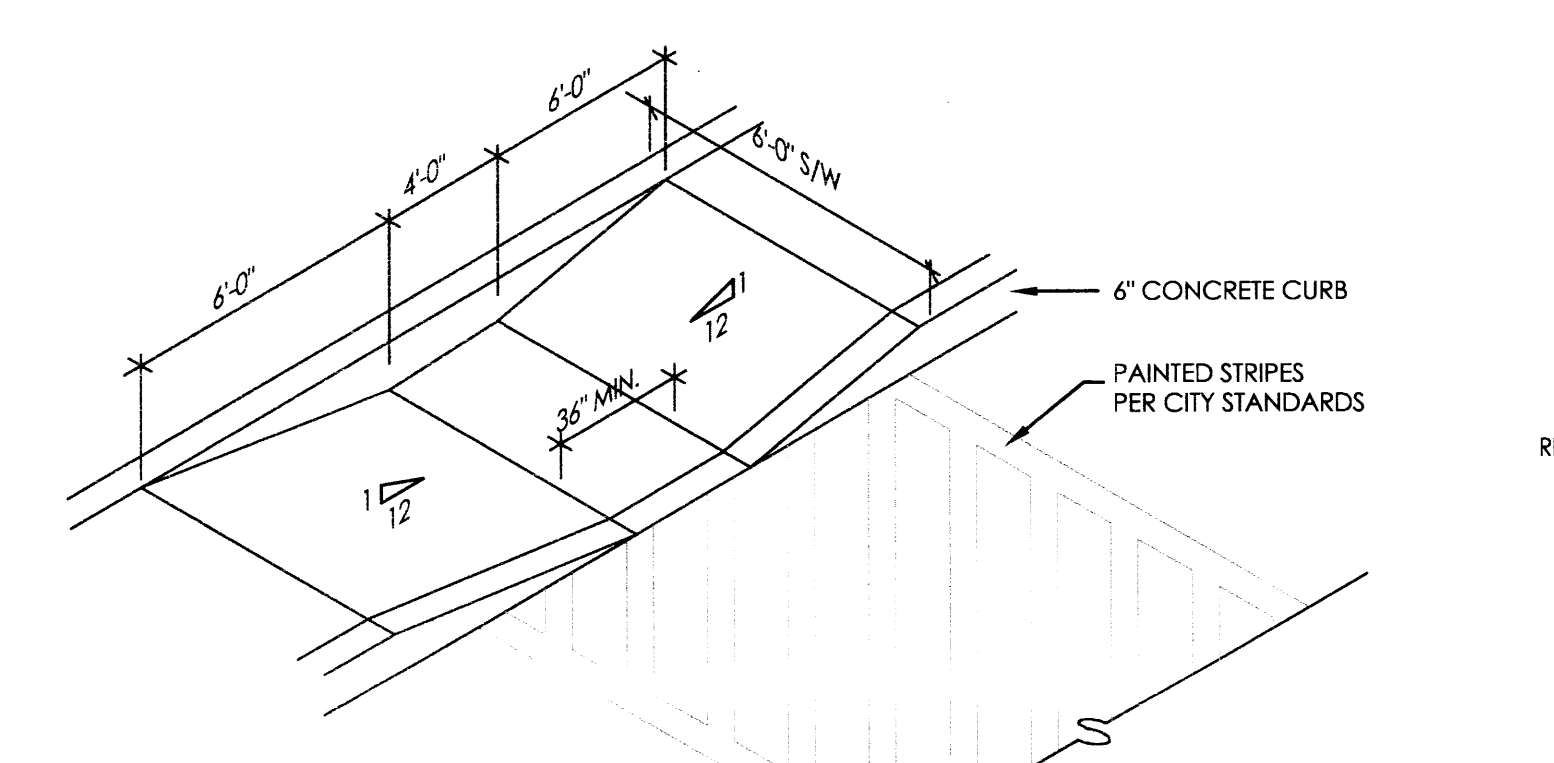


5 CONCRETE CURB AND GUTTER  
C1 N.T.S.

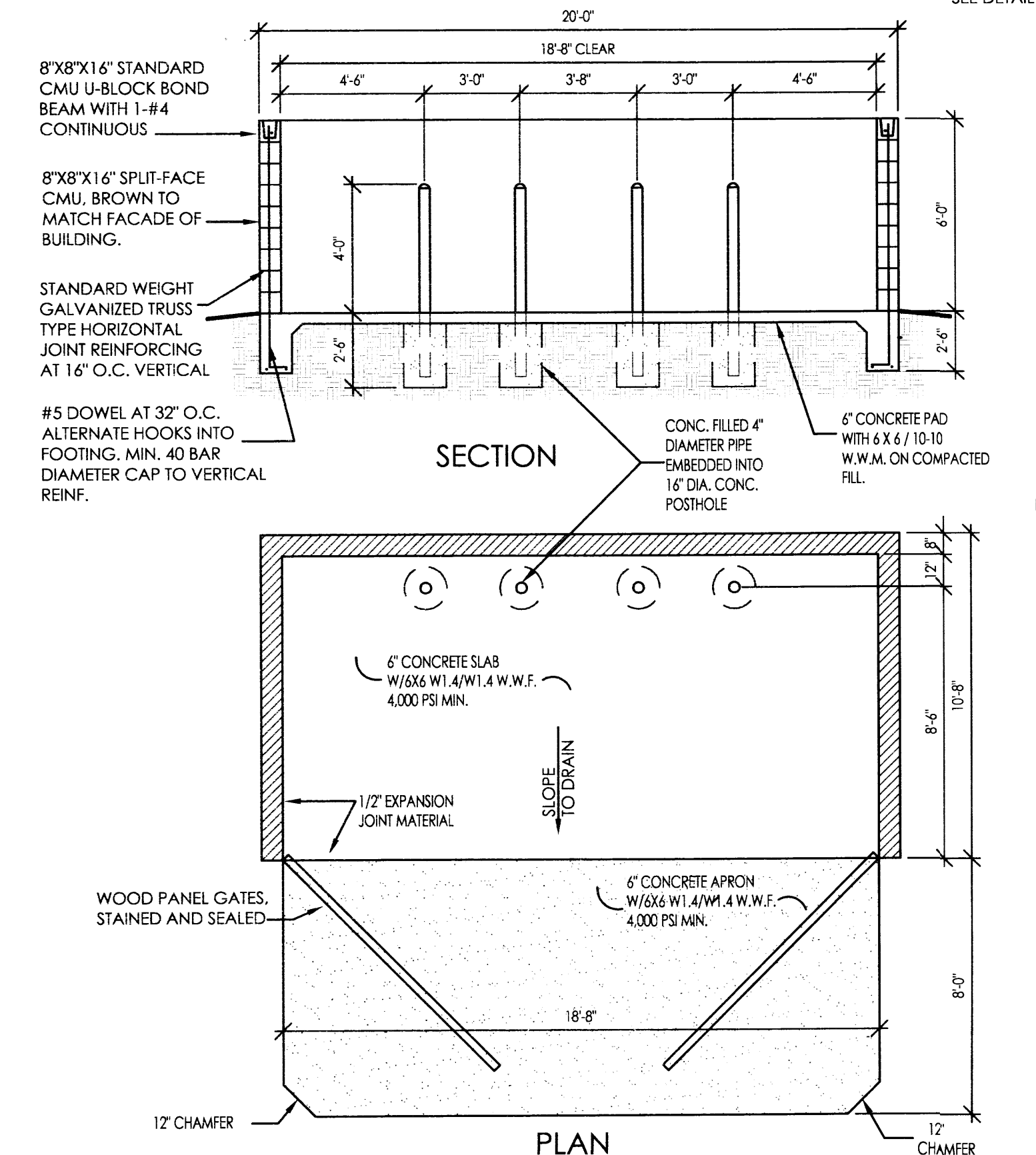


6 SECTION @ RETAINING WALL  
C1 1" = 20'-0"

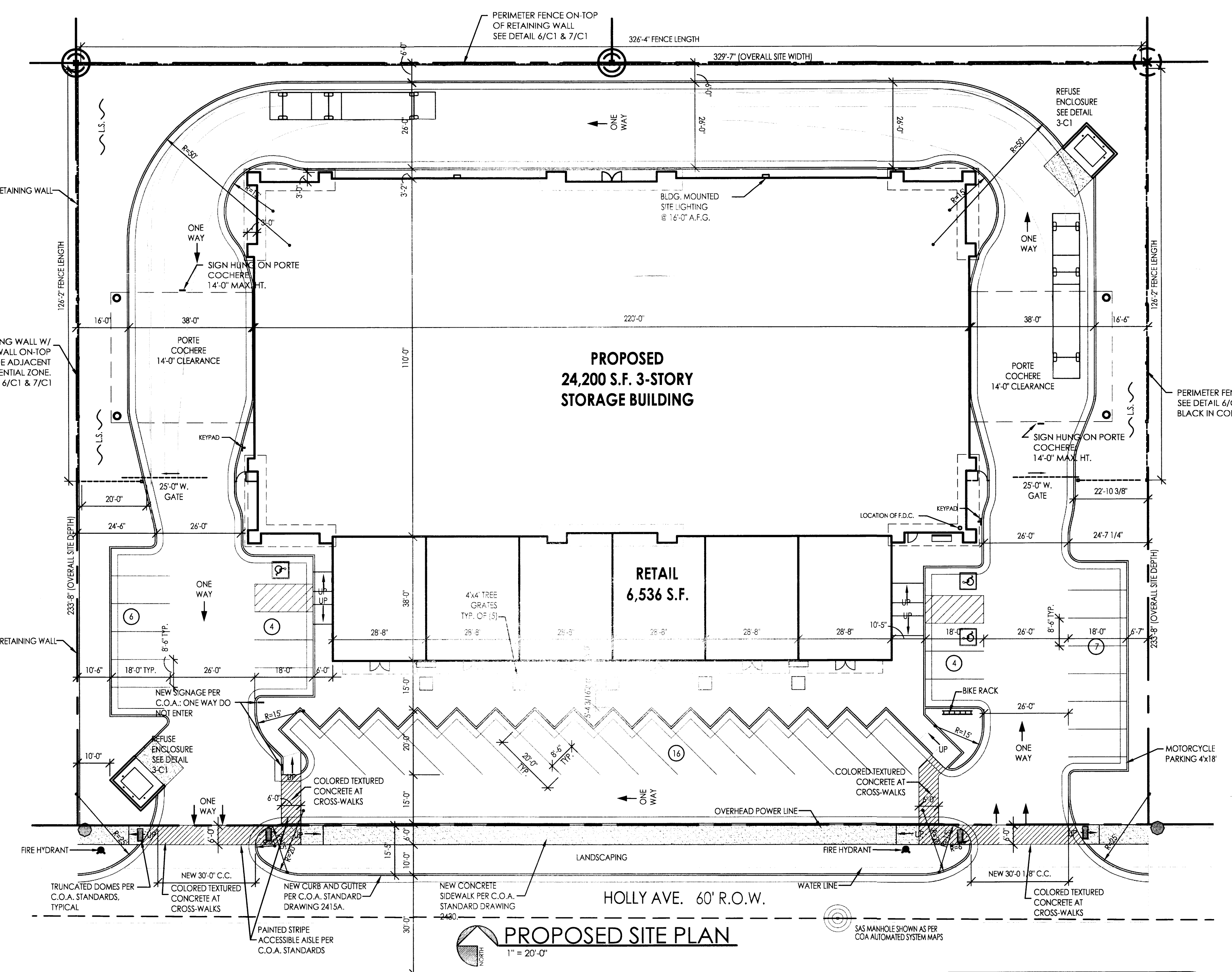
6 TYPICAL PERIMETER FENCE DETAIL  
C1 3/4" = 1'-0"



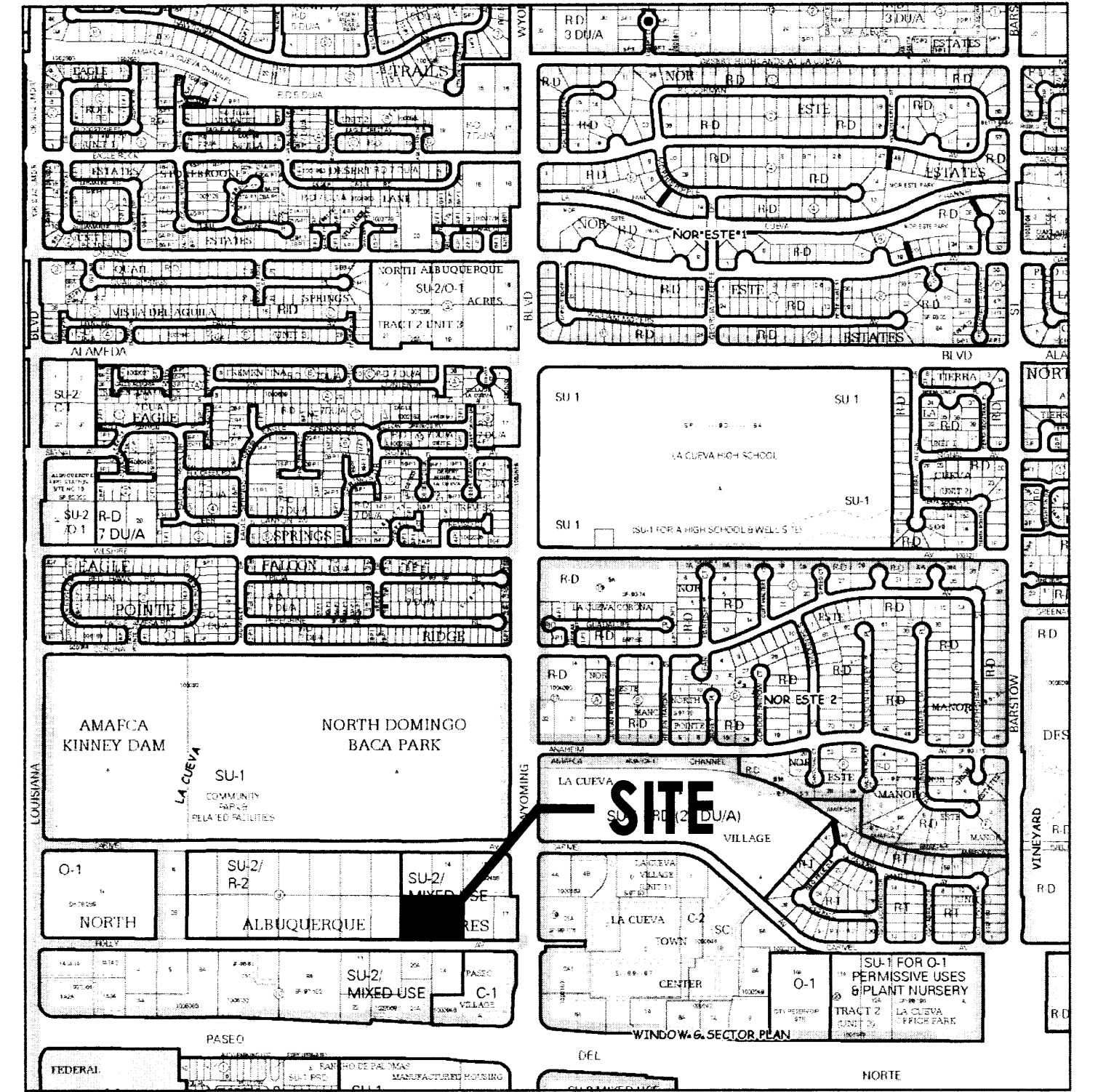
2 HC. ACCESSIBLE CURB RAMP  
C1 NOT TO SCALE



3 DUMPSTER ENCLOSER DETAIL  
C1 1/4" = 1'-0"



PROPOSED SITE PLAN  
1" = 20'-0"



VICINITY MAP C-19-Z

**LEGAL DESCRIPTION:** LOTS 19 & 20 BLOCK 9, NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3  
**PROPOSED USE:** 3-STORY STORAGE BUILDING WITH ONE BUILDING MOUNTED SIGN ALONG HOLLY AVE. WITH SINGLE STORY 6,536 S.F. RETAIL ALONG SOUTH SIDE OF BUILDING WITH FACADE MOUNTED SIGNS, STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIAL.  
**MAXIMUM BUILDING HEIGHT:** 36'-0" (MAX. ALLOWED IN SECTOR DEVELOPMENT PLAN)  
**MINIMUM BUILDING SETBACK:** 20'-0" ALONG HOLLY AVE.  
**MAXIMUM FLOOR AREA RATIO:** 77,026 / 30,736 = 39% FLOOR AREA RATIO

**PARKING REQUIREMENTS:**  
 RETAIL AREA = 6,536 S.F. / 7,200 = 33 REQUIRED SPACES  
 STORAGE BUILDING IS BASED ON TRIP GENERATION STUDY OF 179 TRIPS PER WEEKDAY. PARKING HAS BEEN DETERMINED BY NEEDS OF THIS FACILITY. ONE EMPLOYEE AND NO PERMANENT OCCUPANTS CONSTITUTES THE NEED FOR ONLY 4 REGULAR SPACES, 1 HANDICAPPED AND 1 MOTORCYCLE SPACE, WHICH HAVE BEEN PROVIDED.  
**PARKING PROVIDED:** 37 SPACES INCLUDING 3 HANDICAPPED-  
**SITE LIGHTING:** WILL BE COMPLIANT WITH THE ZONING CODE § 14-16-3-9 & ALSO MAINTAIN COMPLIANCE WITH THE LA CUEVA SDP. BUILDING MOUNTED SIGNS ARE TO BE BACKLIT VINYL SIGNS.  
**BUILDING WILL COMPLY WITH SECTION 14-16-3-8(6) & 11R-3 OF THE ZONING CODE AND ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.**

PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

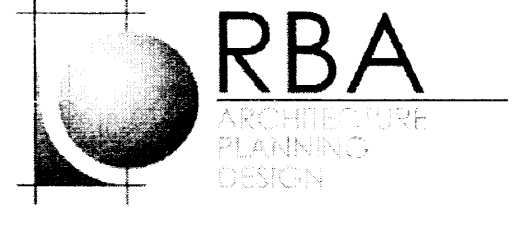
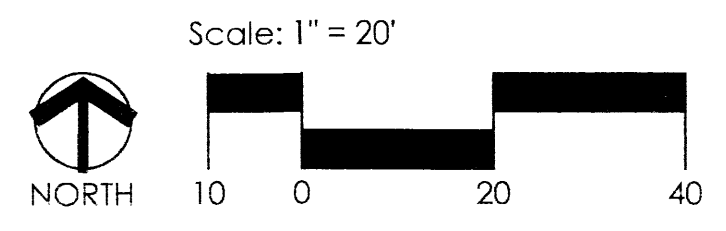
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

## ARCHITECTURAL SITE PLAN FOR BUILDING PERMIT GUARDIAN SELF STORAGE

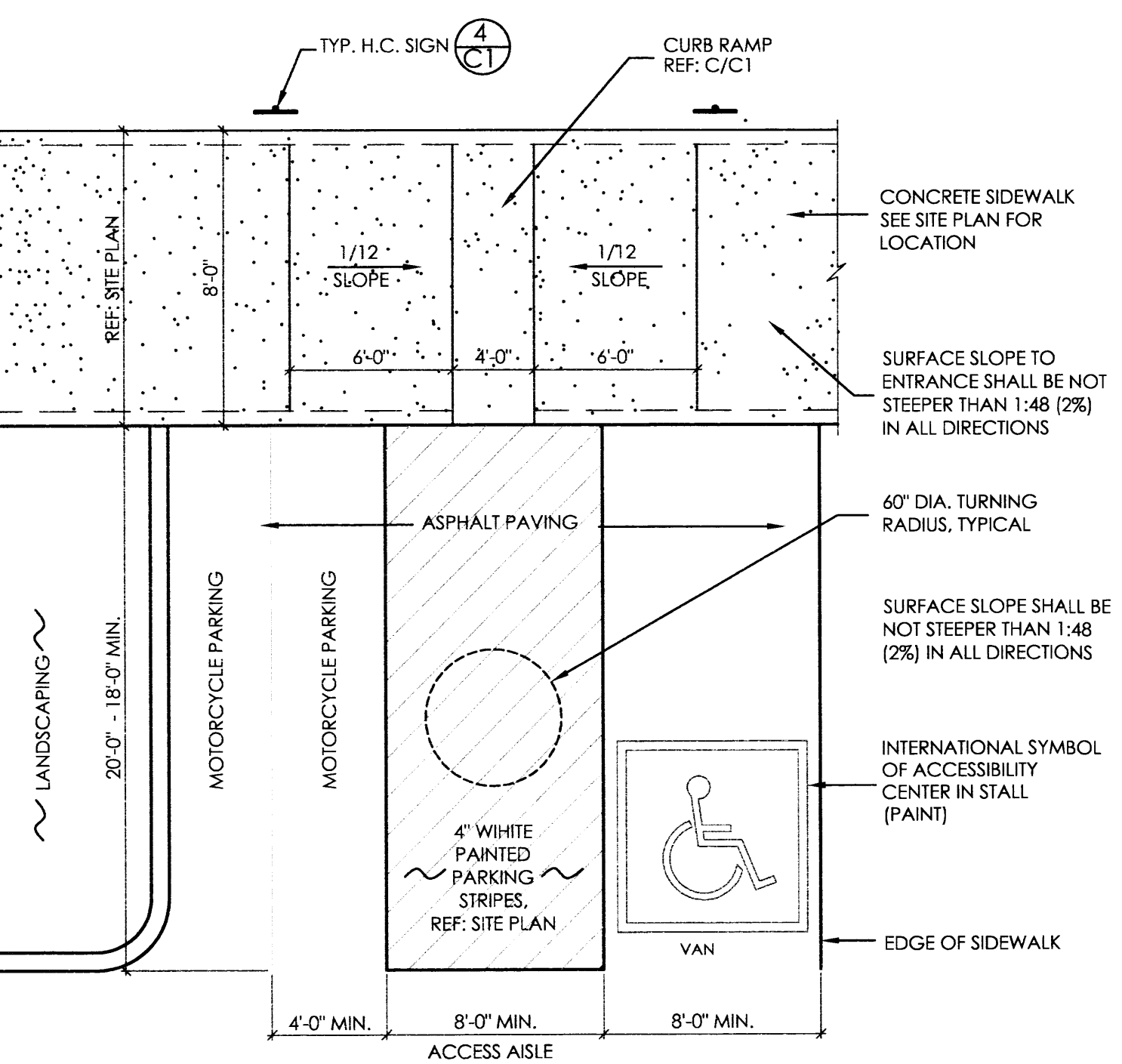
Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Rick Bennett Architects  
1104 Park Ave. SW  
Albuquerque, NM 87102

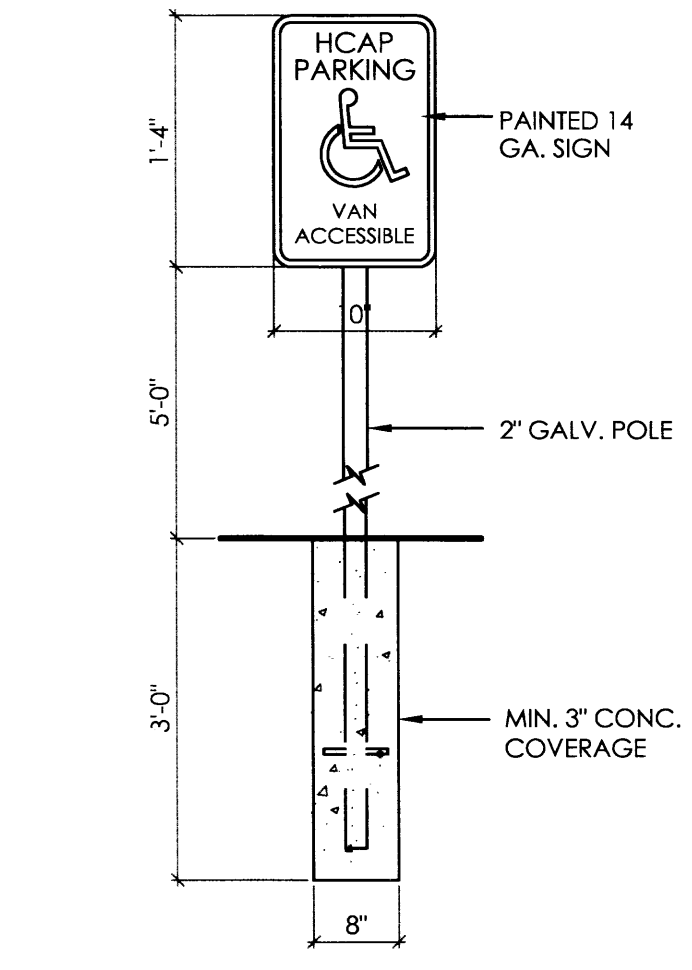
REVISION DATE:  
JULY 16, 2012



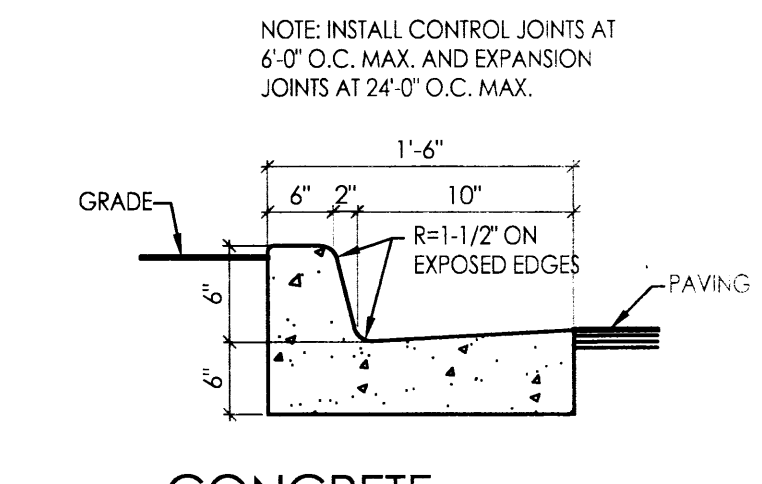




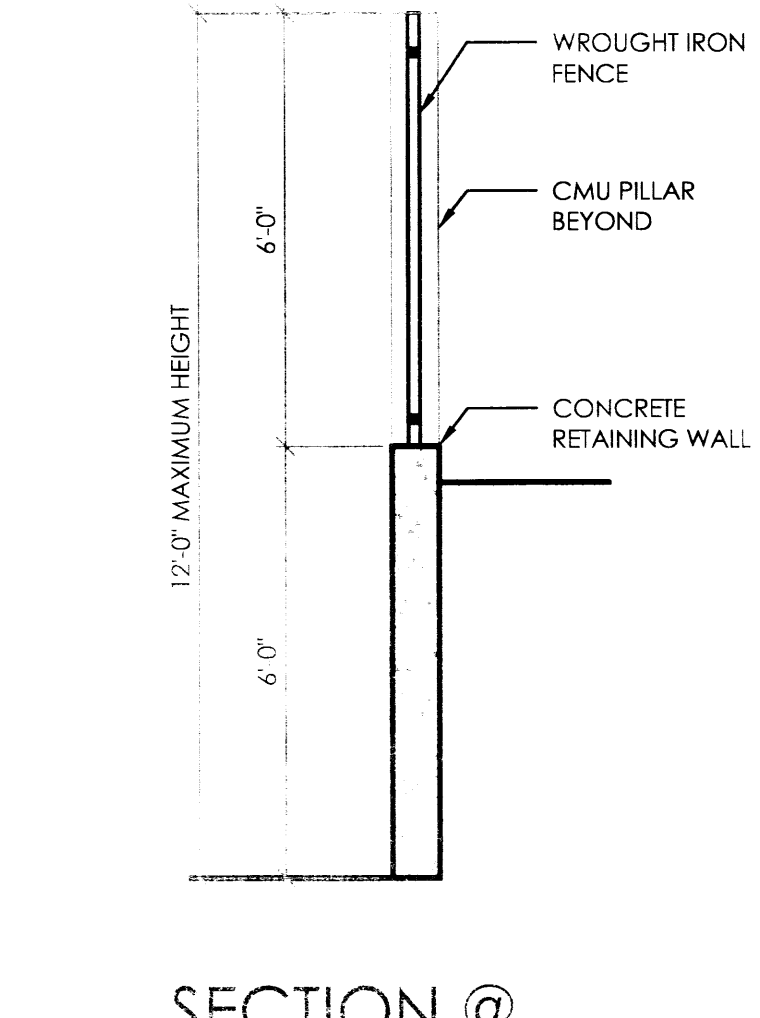
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C1 NOT TO SCALE



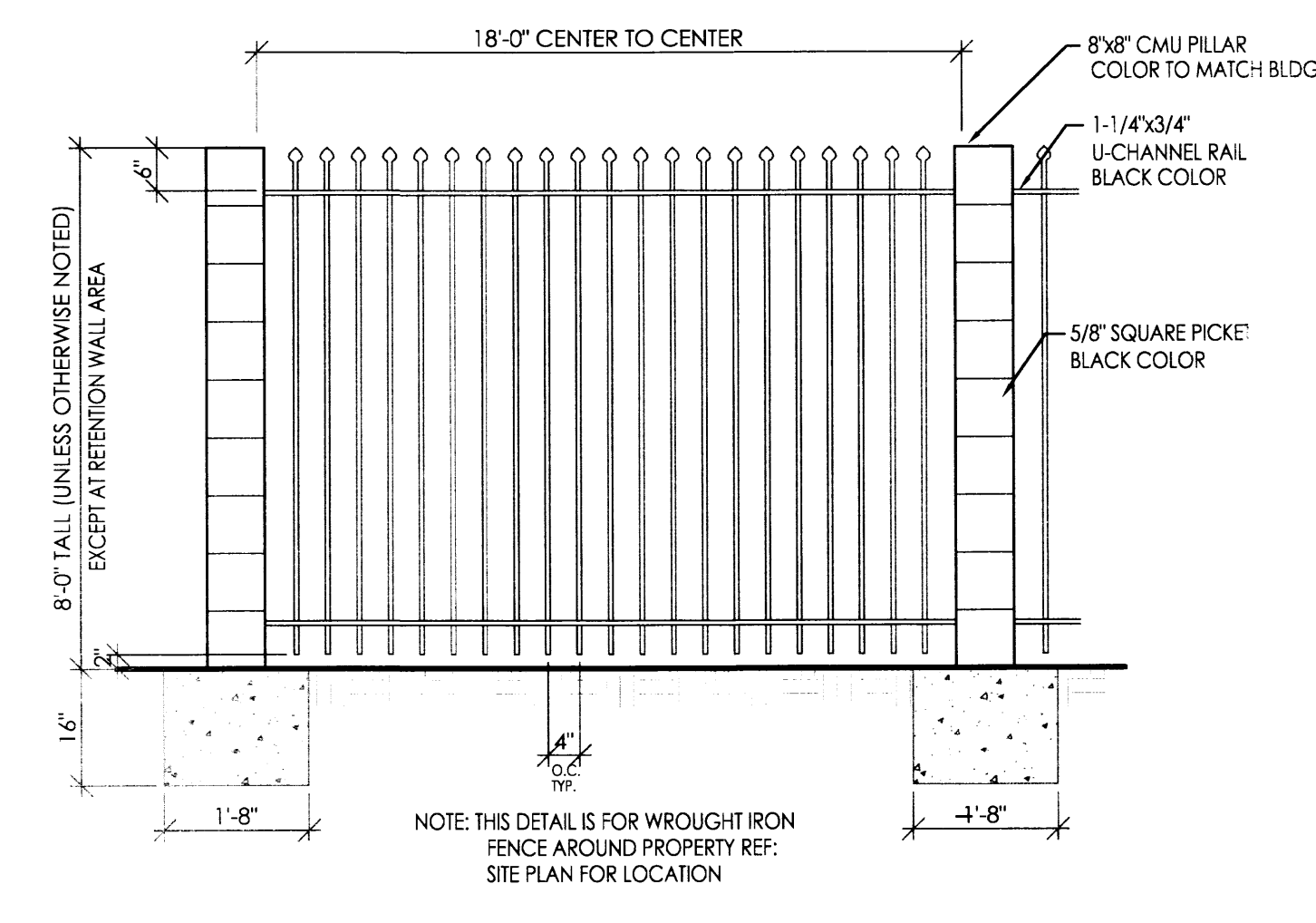
4 TYP. HC. SIGN DETAIL  
C1 SCALE: 1"=1'-0"



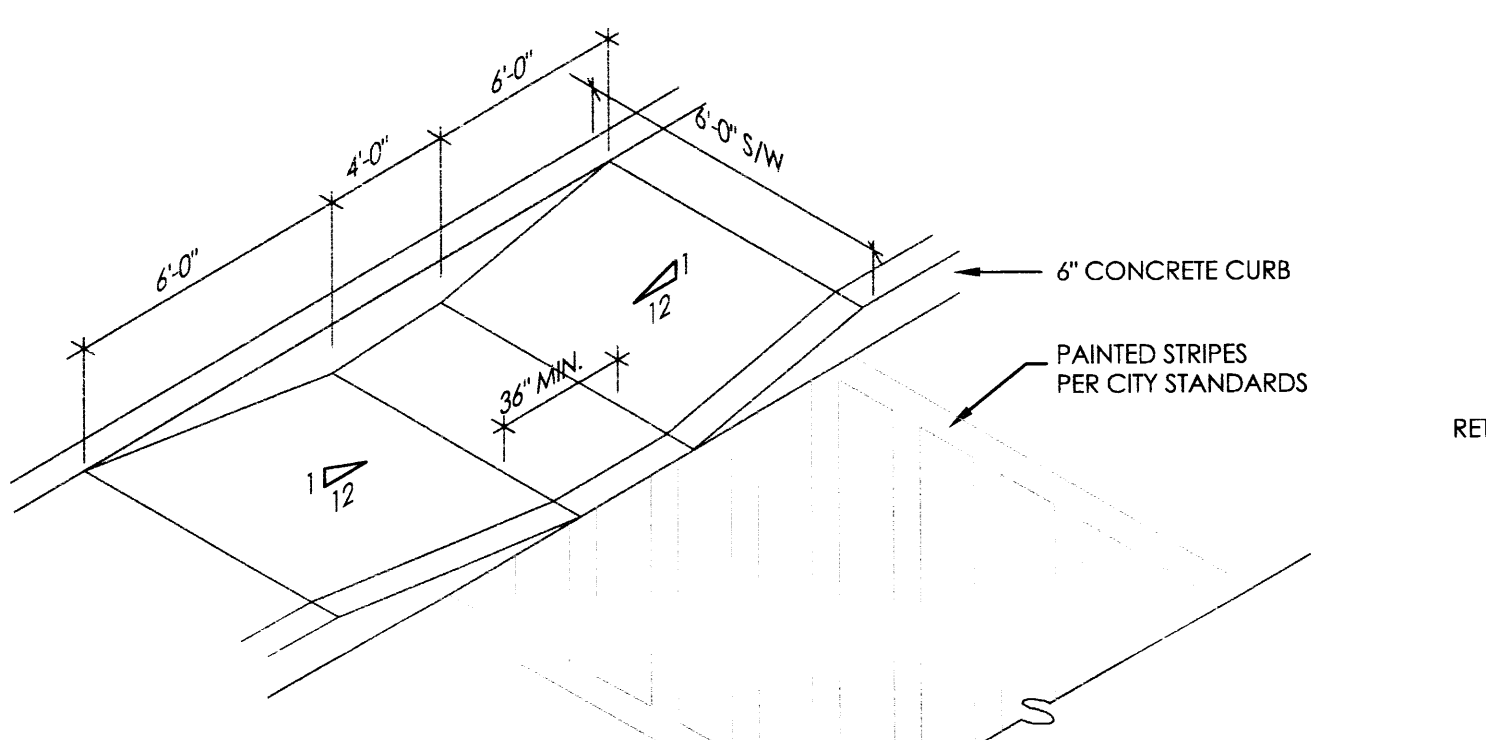
5 CONCRETE CURB AND GUTTER  
C1 N.T.S.



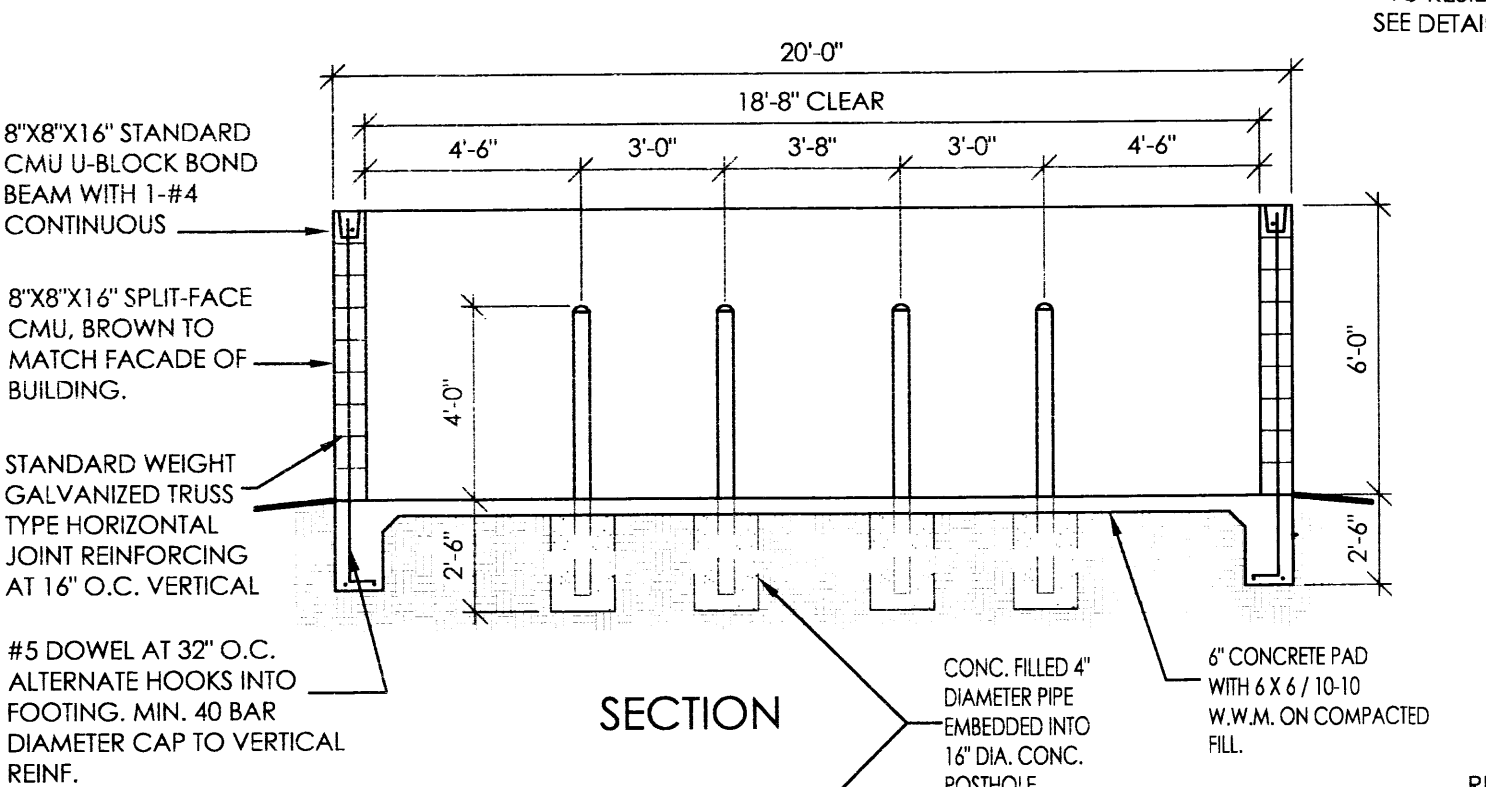
6 SECTION @ RETAINING WALL  
C1 1"=20'-0"



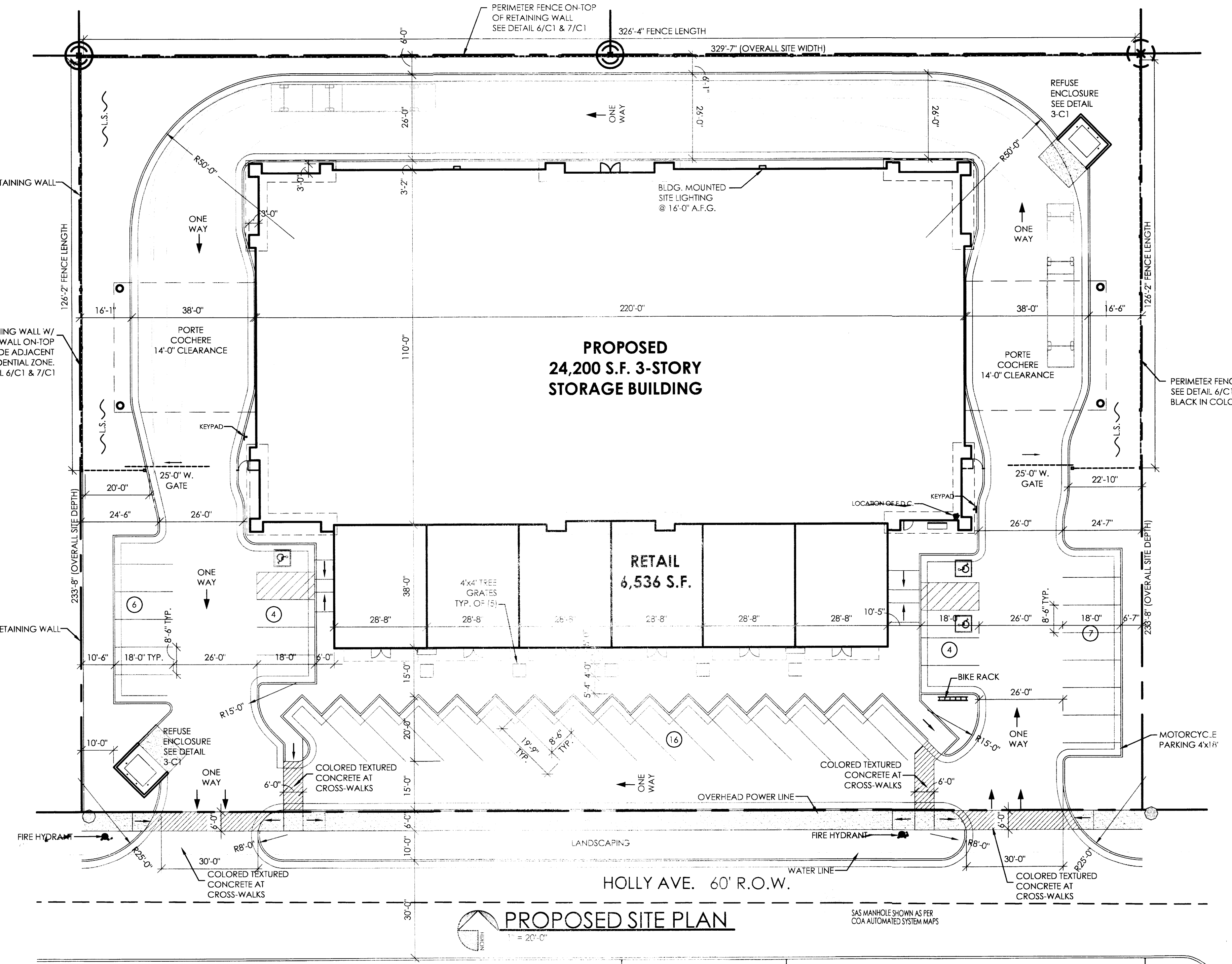
6 TYPICAL PERIMETER FENCE DETAIL  
C1 3/4"=1'-0"



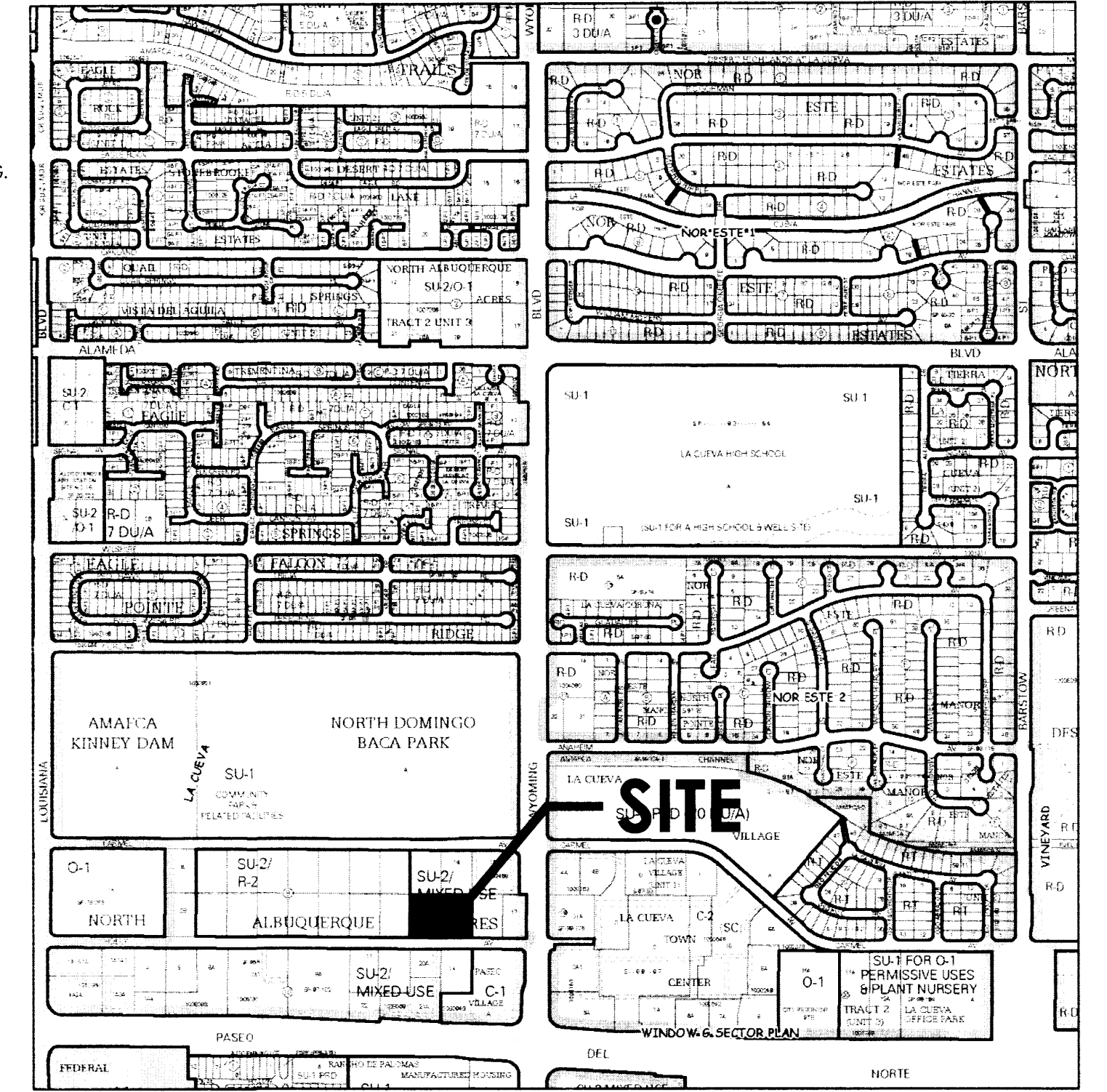
2 HC. ACCESSIBLE CURB RAMP  
C1 NOT TO SCALE



3 DUMPSTER ENCLOSURE DETAIL  
C1 1/4"=1'-0"



PROPOSED SITE PLAN  
1"=20'-0"



VICINITY MAP C-19-Z

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PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

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Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	07.24.12 Date
DRB Chairperson, Planning Department	Date

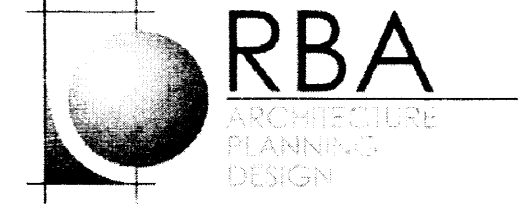
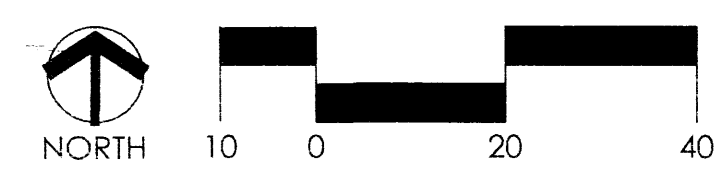
## ARCHITECTURAL SITE PLAN FOR BUILDING PERMIT GUARDIAN SELF STORAGE

Prepared for:  
 Guardian Storage VI, LLC  
 9221 Eagle Ranch Rd NW  
 Albuquerque, NM 87114

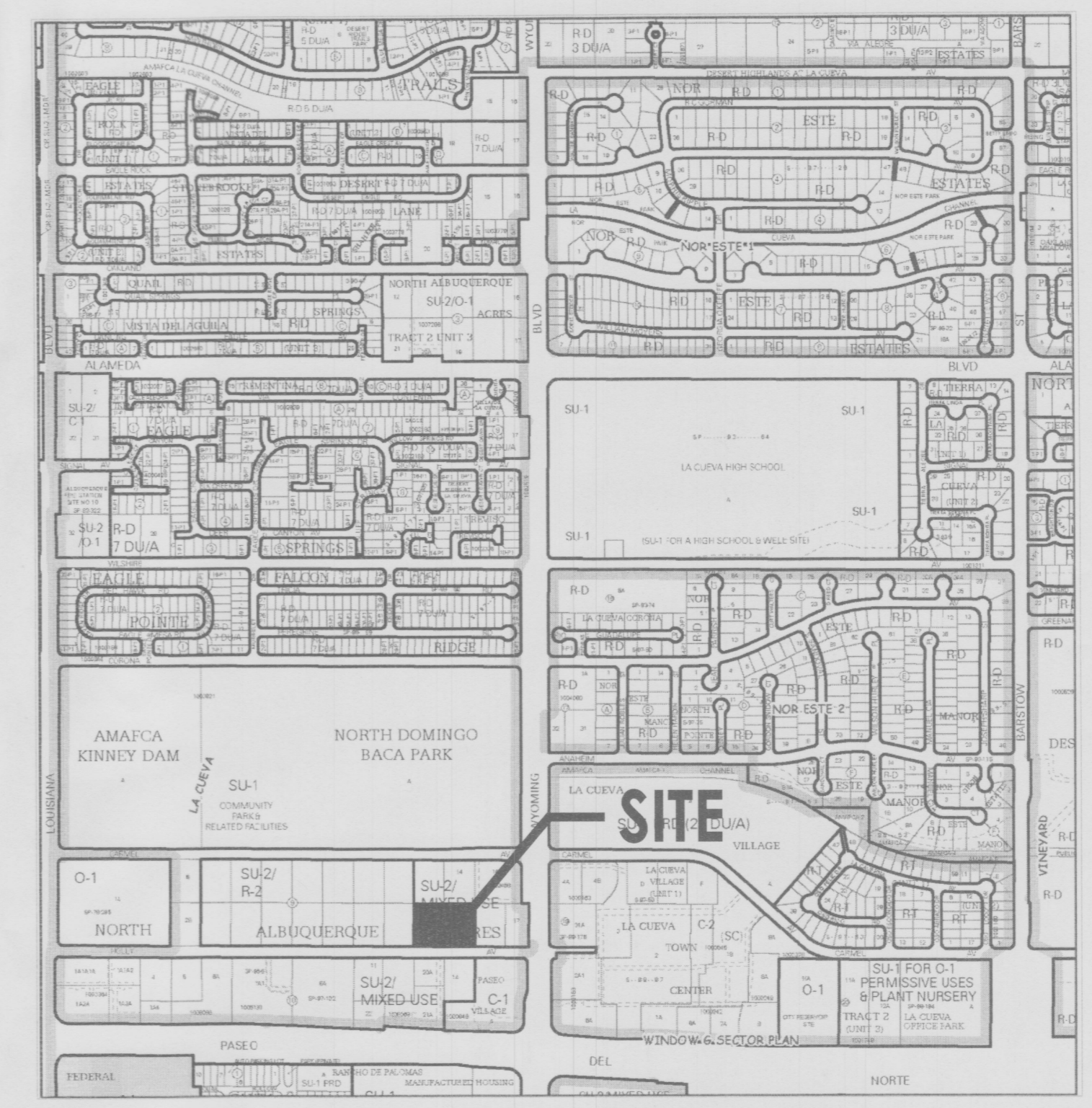
Prepared by:  
 Rick Bennett Architects  
 1104 Park Ave. SW  
 Albuquerque, NM 87102

AFD PLANS CHECKING OFFICE  
 924-3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
*[Signature]* 7/16/12  
 SIGNATURE & DATE

REVISION DATE:  
 JULY 16, 2012







VICINITY MAP C-19-Z  
 LEGAL DESCRIPTION: LOTS 19 & 20 BLOCK 9, NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3

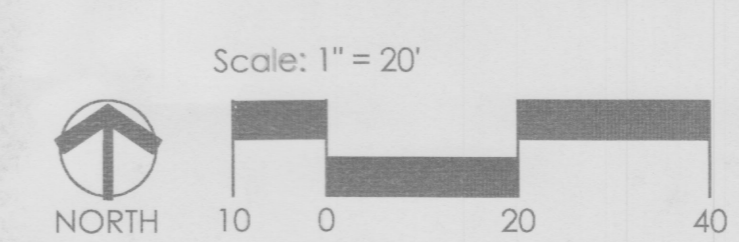
AS-BUILT INFORMATION HOLLY AVENUE  
**GUARDIAN SELF STORAGE**

Prepared for:  
 Guardian Storage VI, LLC  
 9221 Eagle Ranch Rd NW  
 Albuquerque, NM 87114

Prepared by:  
 Rick Bennett Architects  
 1104 Park Ave. SW  
 Albuquerque, NM 87102

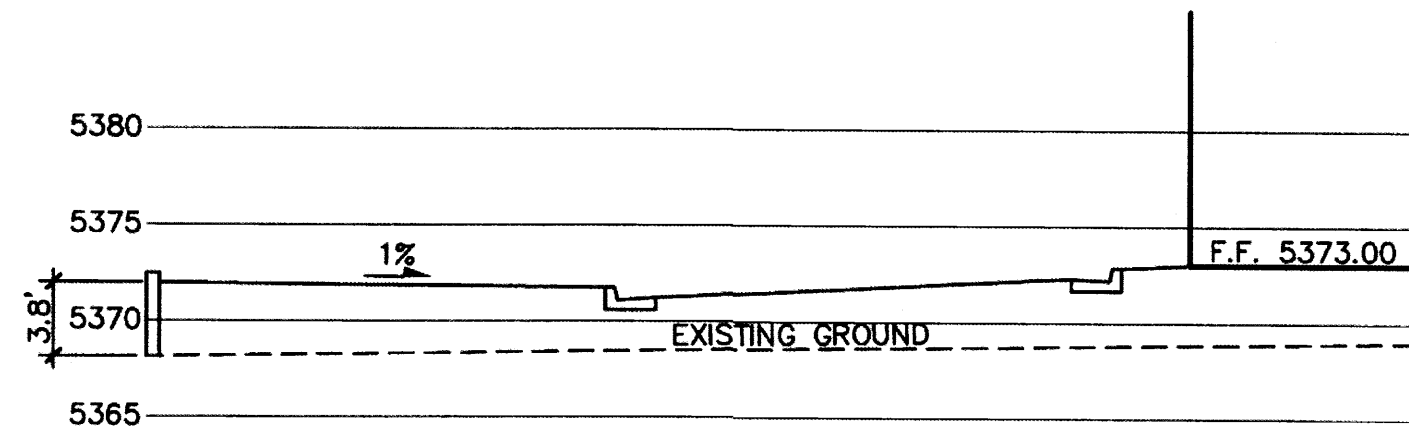
REVISION DATE:  
 JULY 16, 2012

EXISTING SITE PLAN AERIAL  
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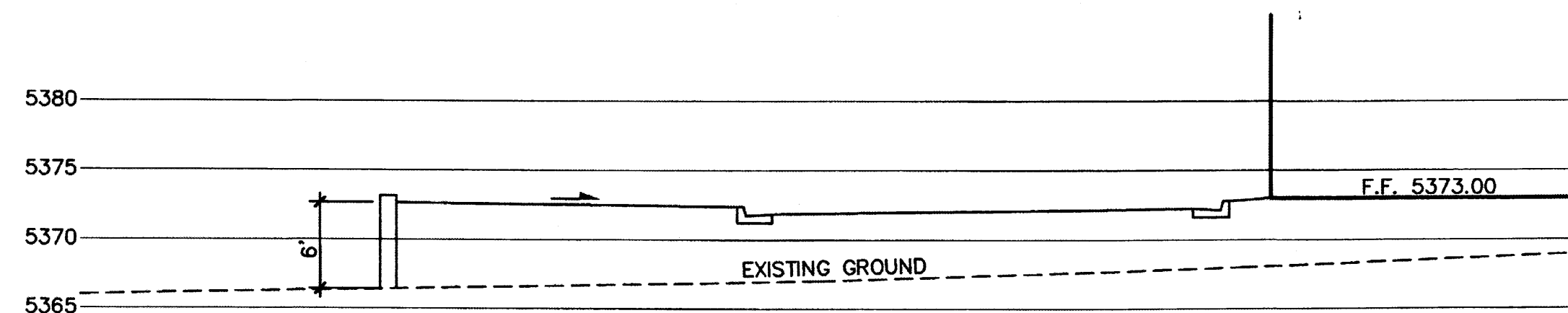


SHEET 6B OF 6

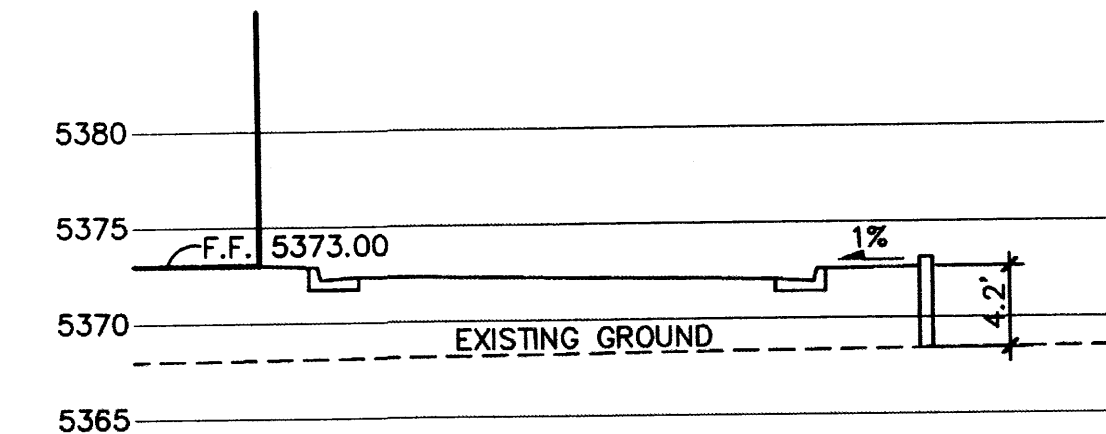




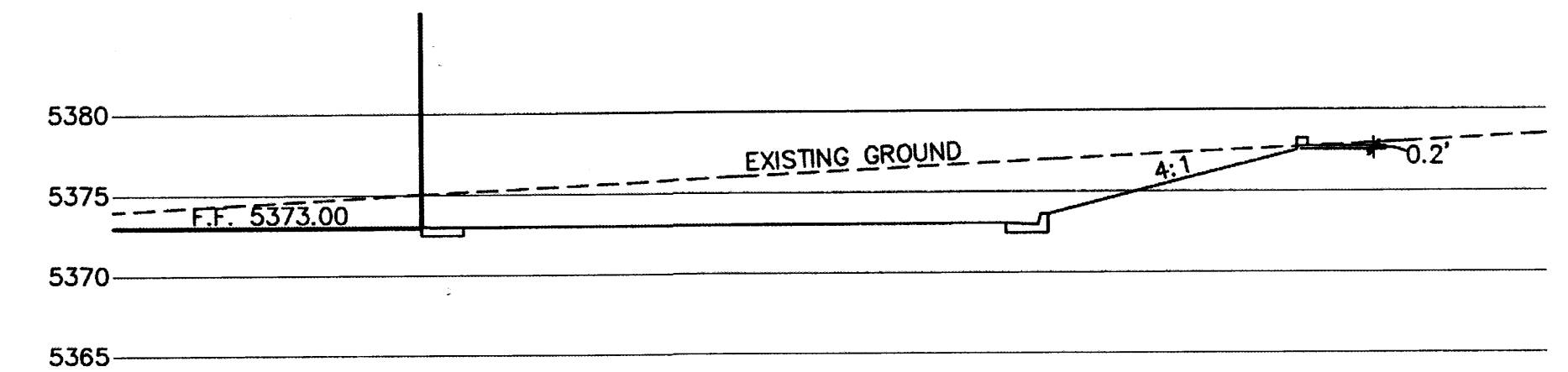
SECTION A  
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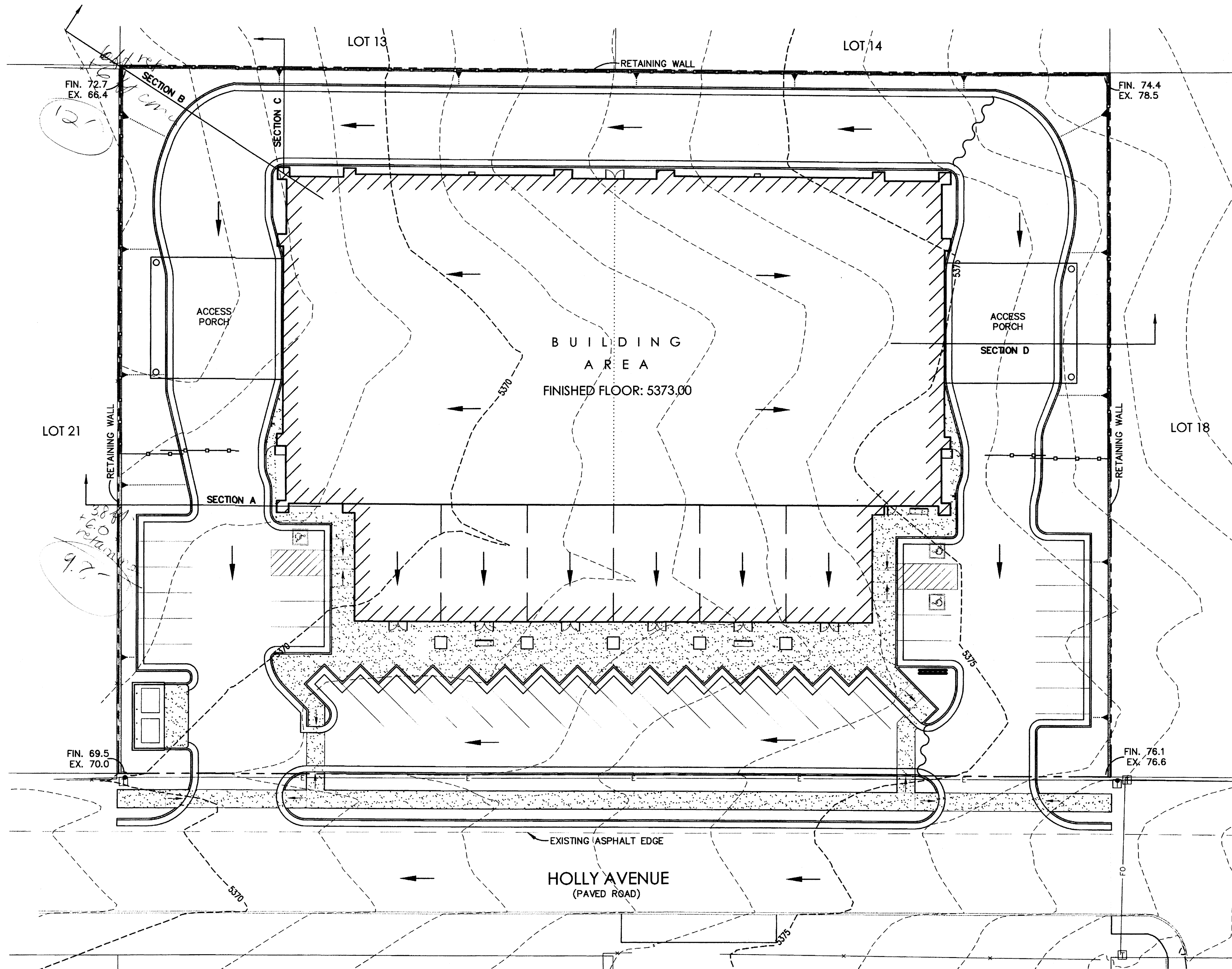
SECTION B  
SCALE 1"=10'



SECTION C  
SCALE 1"=10'



SECTION D  
SCALE 1"=10'



GRADING & DRAINAGE PLAN

**DRAINAGE PLAN**

THE SUBJECT PROPERTY IS LOCATED ON HOLLY AVENUE, BETWEEN WYOMING BLVD. AND LOUISIANA BLVD., ON LOTS 19 AND 20, BLOCK 9, OF NORTH ALBUQUERQUE ACRES, ON ZONE ATLAS PAGE C-19-2. THE PLANNED IMPROVEMENTS TO THE PROPERTY INCLUDE THE CONSTRUCTION OF A NEW CLIMATE CONTROLLED STORAGE FACILITY. AS SHOWN ON PANEL 35001C0141G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, DATED SEPTEMBER 26, 2008, THIS SITE DOES NOT LIE WITHIN THE DESIGNATED 100 YEAR FLOOD HAZARD AREA.

THIS SITE IS LOCATED WITHIN THE DOMINGO BACA DRAINAGE AREA AND NORTH ALBUQUERQUE ACRES DRAINAGE MANAGEMENT PLAN. THE SITE GENERALLY FLOWS FROM THE EAST TO THE WEST. THERE ARE NO OFFSITE FLOWS THAT ENTER THIS SITE FROM THE EAST DUE TO THE CONSTRUCTION OF A DEVELOPMENT DIRECTLY TO THE EAST.

THE ENTIRE POST-DEVELOPED DISCHARGE WILL BE RELEASED ONTO HOLLY AVENUE.

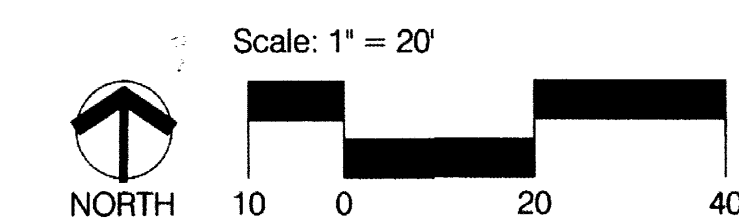
**LEGEND**

- RETAINING WALL
- FENCE
- SIDEWALK
- CURB AND GUTTER
- FLOW DIRECTION ARROW
- WATERBLOCK (HIGH POINT)
- SLOPE INDICATOR (SLOPE VARIES)

**CONCEPTUAL GRADING AND DRAINAGE PLAN  
GUARDIAN SELF STORAGE**

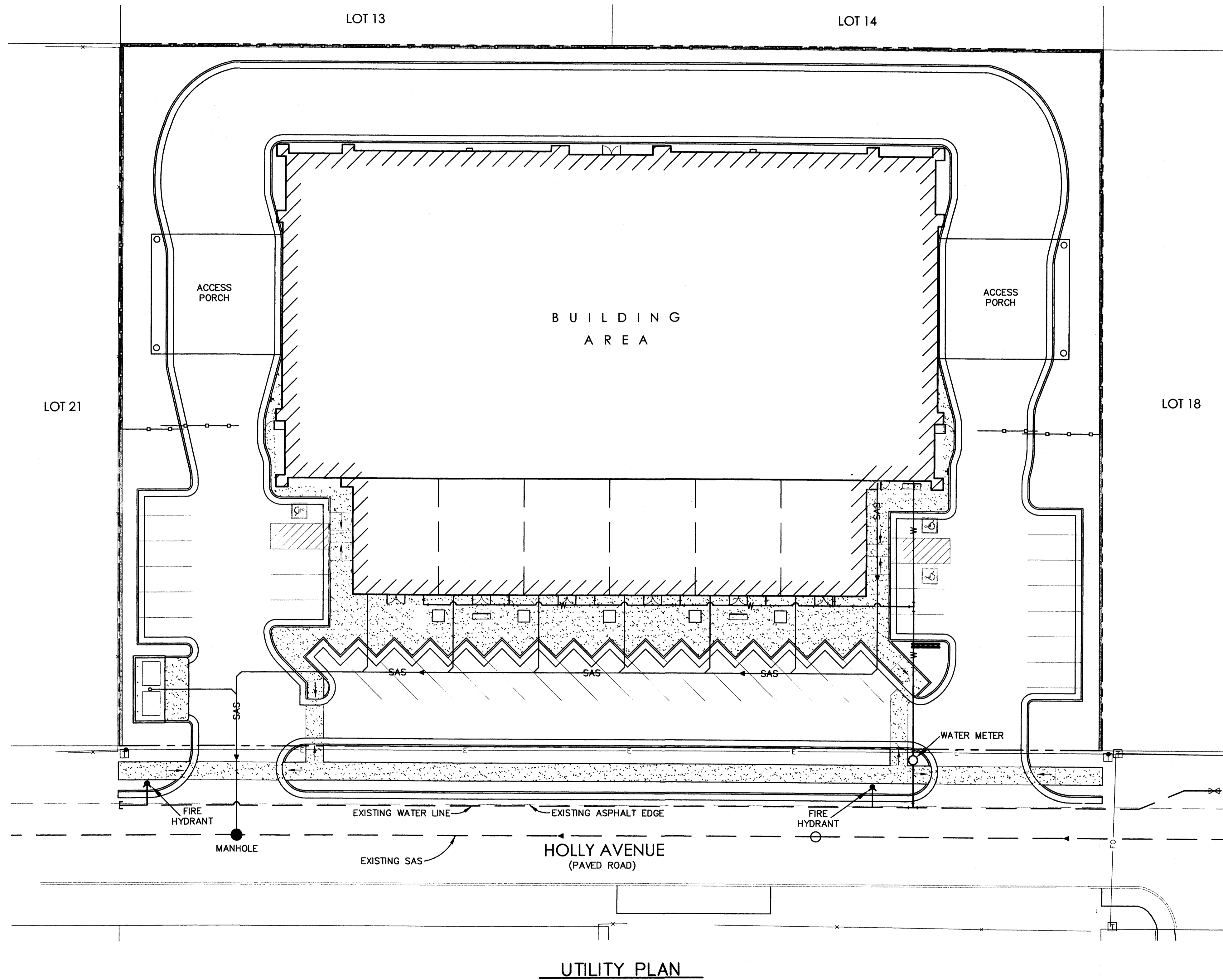
Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
**HUITT-ZOLIARS**  
6501 Americas Parkway NE, Suite 550  
Albuquerque, NM 87110


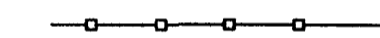
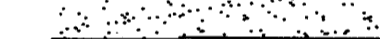
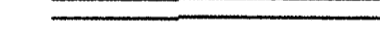









Jun 01, 2012 9:52:51am - User: mstandford  
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 Xrefs: [C:\PROJ\17096201\17096201\PROJ\_FILES\BASE.DWG]





**LEGEND**

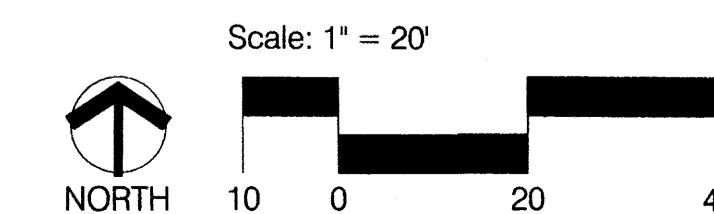
-  RETAINING WALL
-  FENCE
-  SIDEWALK
-  CURB AND GUTTER
-  EXISTING SANITARY SEWER LINE
-  PROPOSED SANITARY SEWER LINE
-  PROPOSED SAS MANHOLE
-  EXISTING WATER SUPPLY LINE
-  PROPOSED WATER SUPPLY LINE
-  PROPOSED WATER METER
-  PROPOSED FIRE HYDRANT

NOTE:  
THERE ARE NO PROPOSED UNDERGROUND STORM DRAIN  
STRUCTURES WITHIN THIS SITE.

## CONCEPTUAL UTILITY PLAN GUARDIAN SELF STORAGE

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

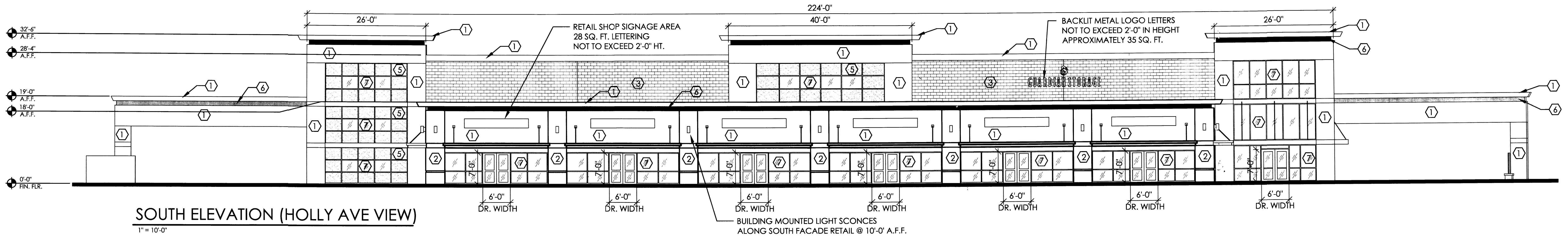
Prepared by:  
**HUTT-ZOLLARS**  
6501 Americas Parkway NE, Suite 550  
Albuquerque, NM 87110



JUNE 1, 2012

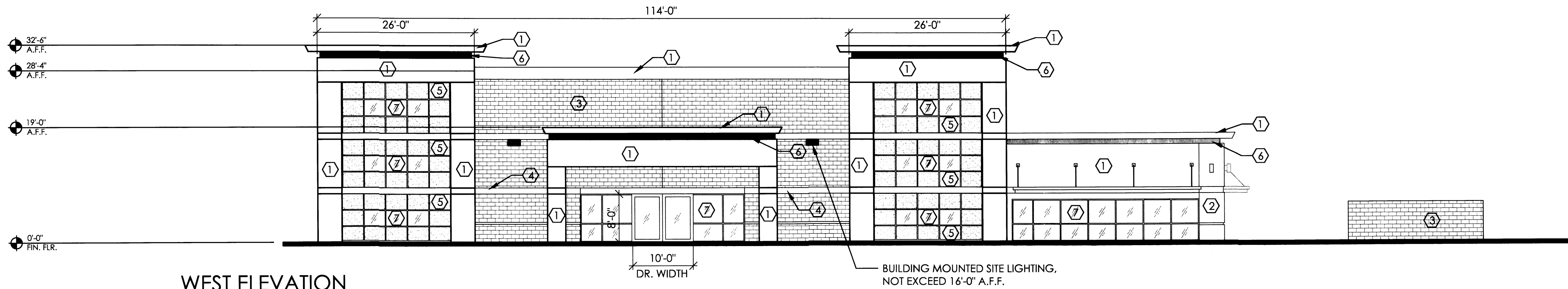
CONSENSUS





**SOUTH ELEVATION (HOLLY AVE VIEW)**

1" = 10'-0"



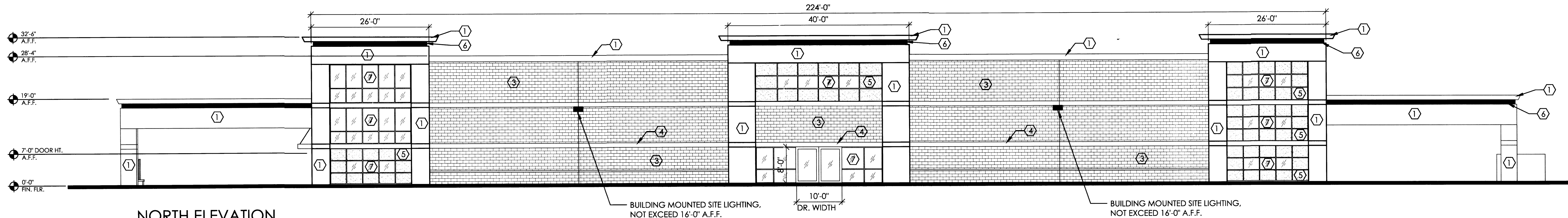
**WEST ELEVATION**

1" = 10'-0"

NOTE: PERIMETER FENCE NOT SHOWN FOR CLARITY REFER TO SITE PLAN FOR SIZE AND LOCATION.

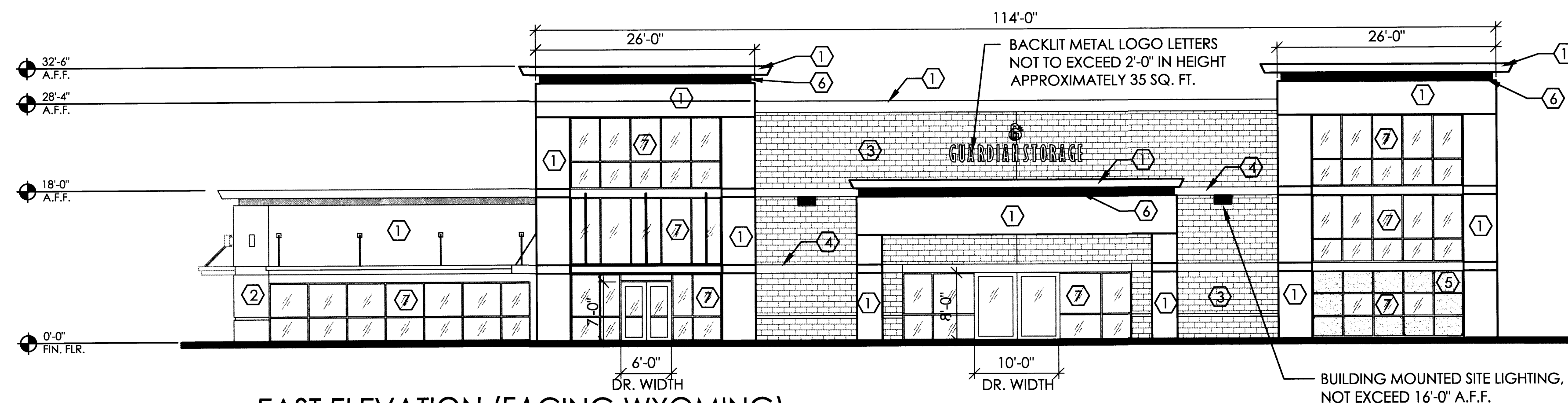
**FINISH MATERIAL KEY NOTE LEGEND:**

- ① LIGHT BROWN STUCCO FINISH
- ② DARK BROWN STUCCO FINISH
- ③ DARK BROWN SPLIT-FACE CMU
- ④ LIGHT BROWN SMOOTH-FACE CMU
- ⑤ LIGHT BROWN SMOOTH PAINT FINISH
- ⑥ FOREST GREEN ACCENT BAND
- ⑦ GLAZING WITH BLACK METAL STOREFRONT



**NORTH ELEVATION**

1" = 10'-0"



**EAST ELEVATION (FACING WYOMING)**

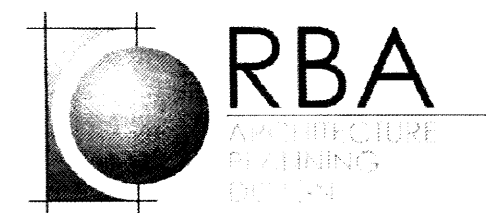
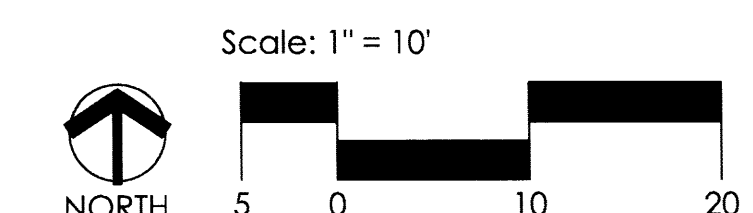
1" = 10'-0"

**ARCHITECTURAL ELEVATIONS  
GUARDIAN SELF STORAGE**

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

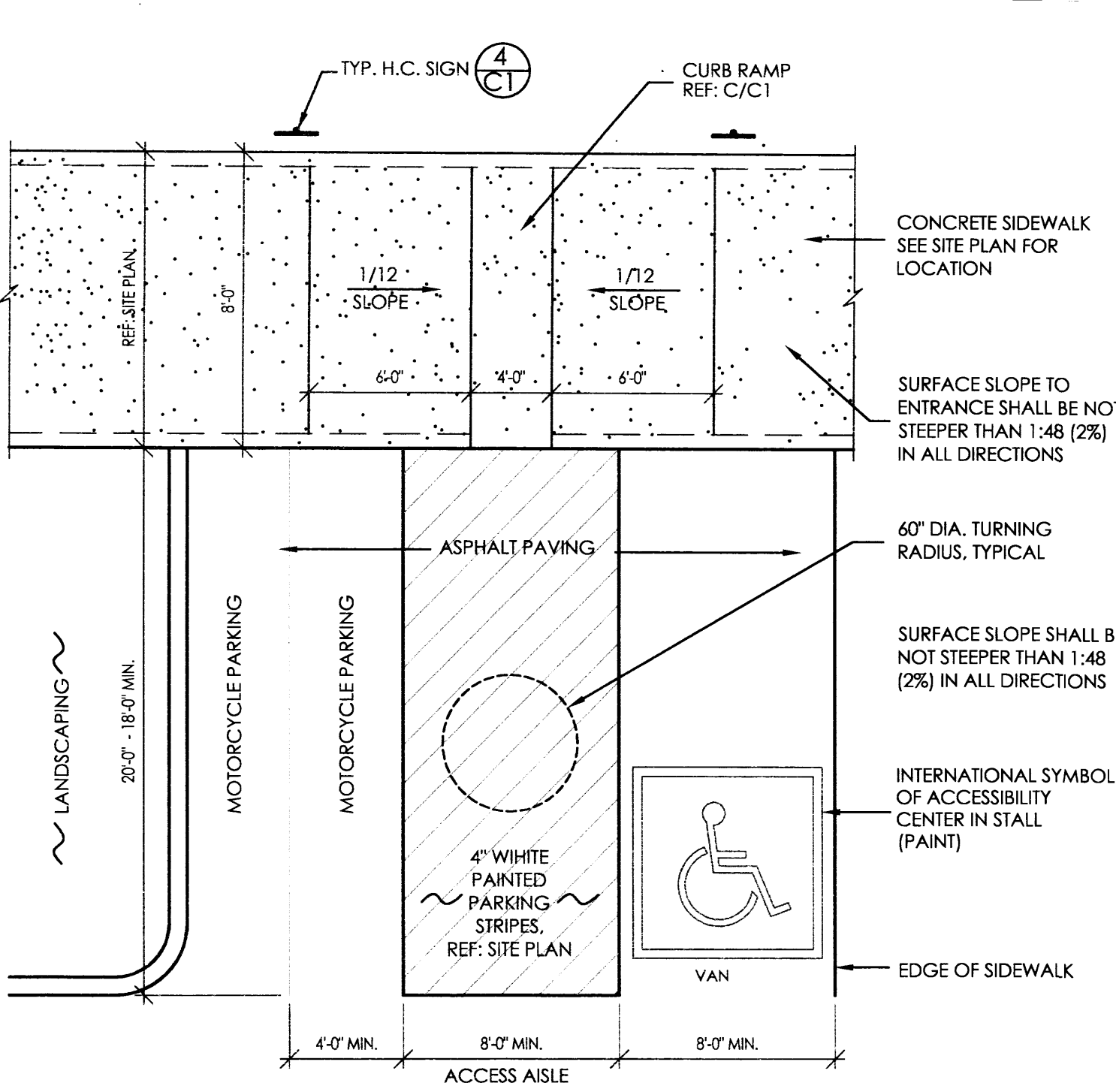
Prepared by:  
Rick Bennett Architects  
1104 Park Ave. SW  
Albuquerque, NM 87102

REVISION DATE:  
JUNE 1, 2012

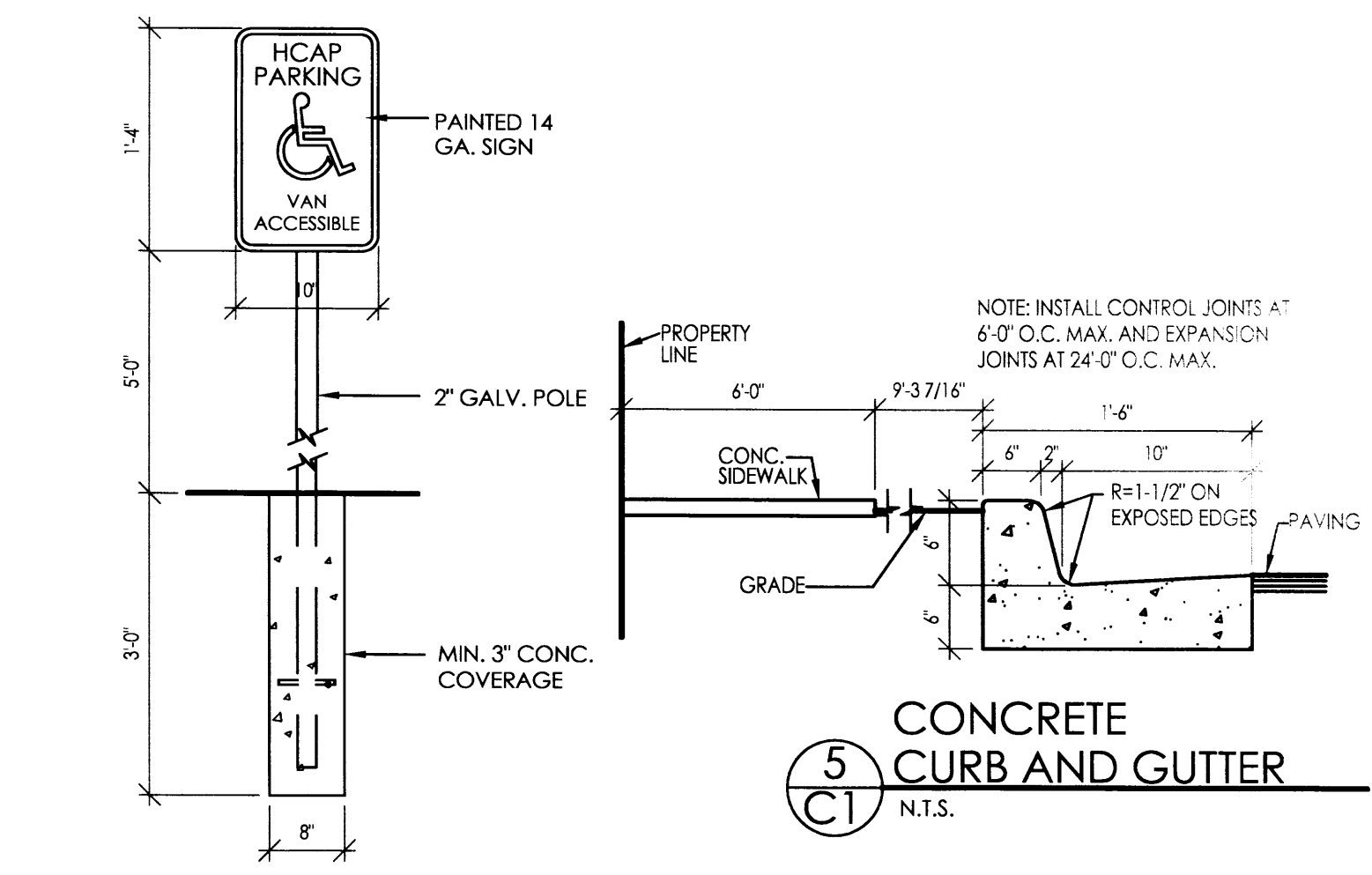




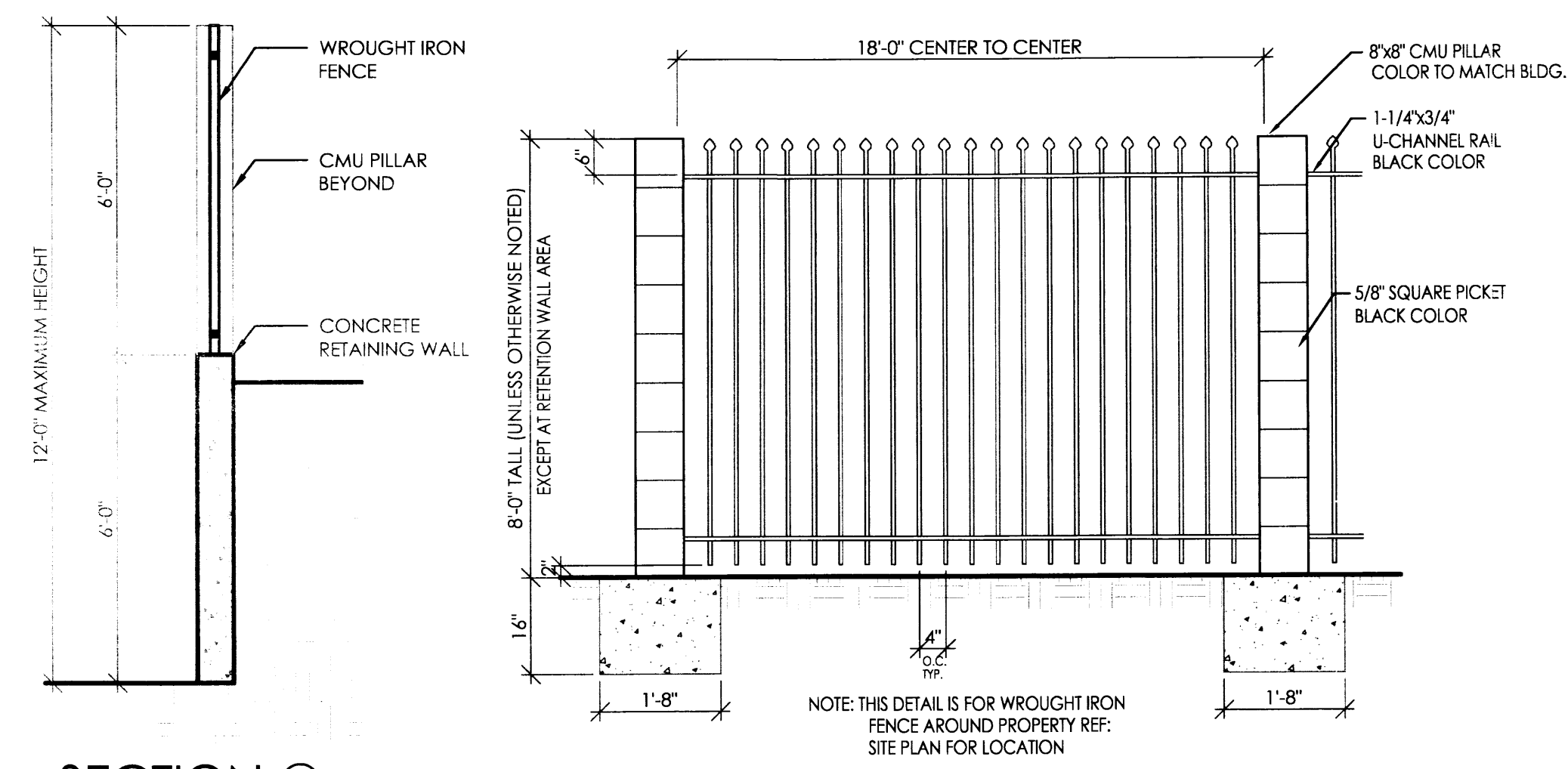




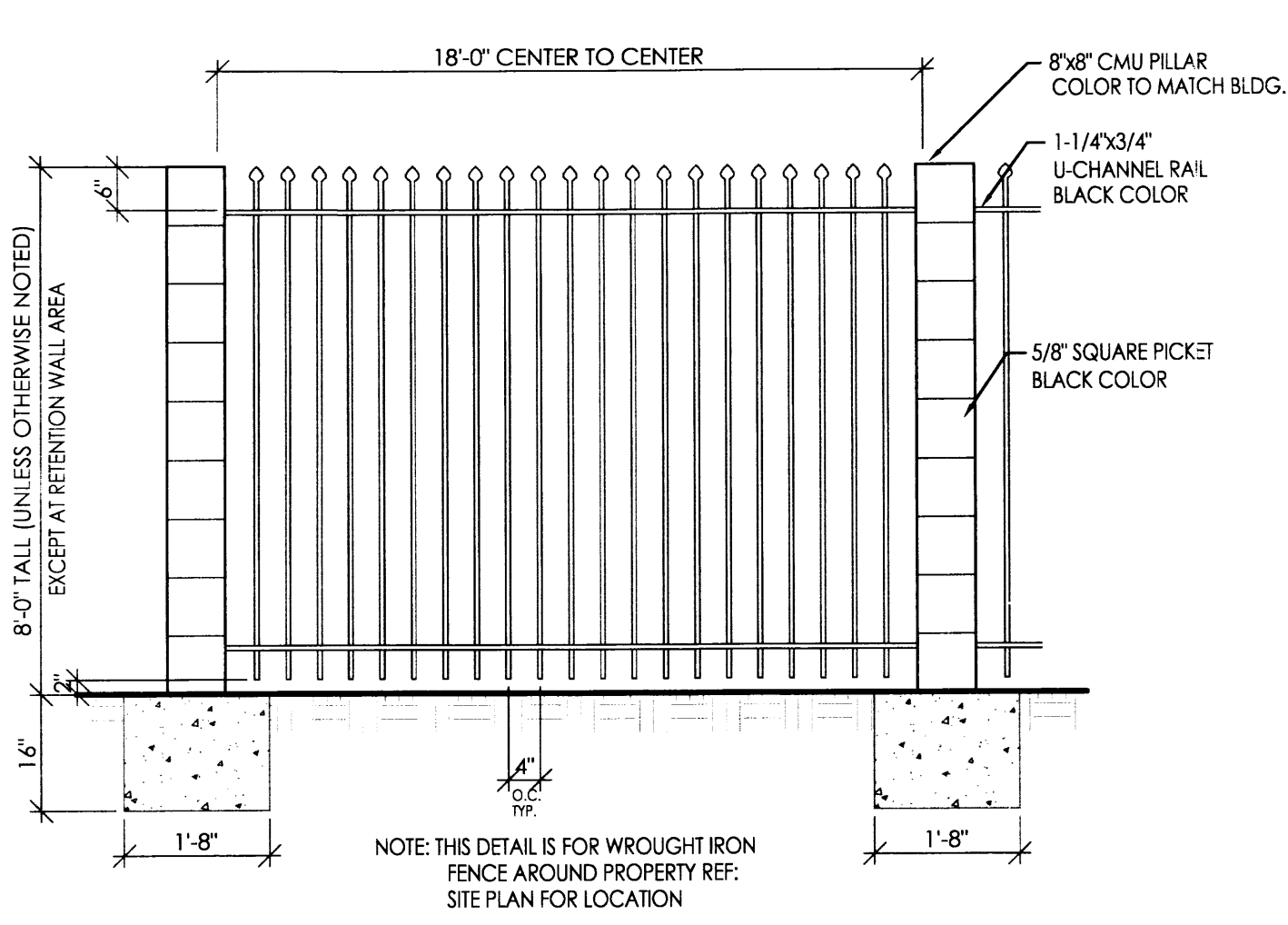
1 HC. PARKING PLAN TYP.  
C1 NOT TO SCALE



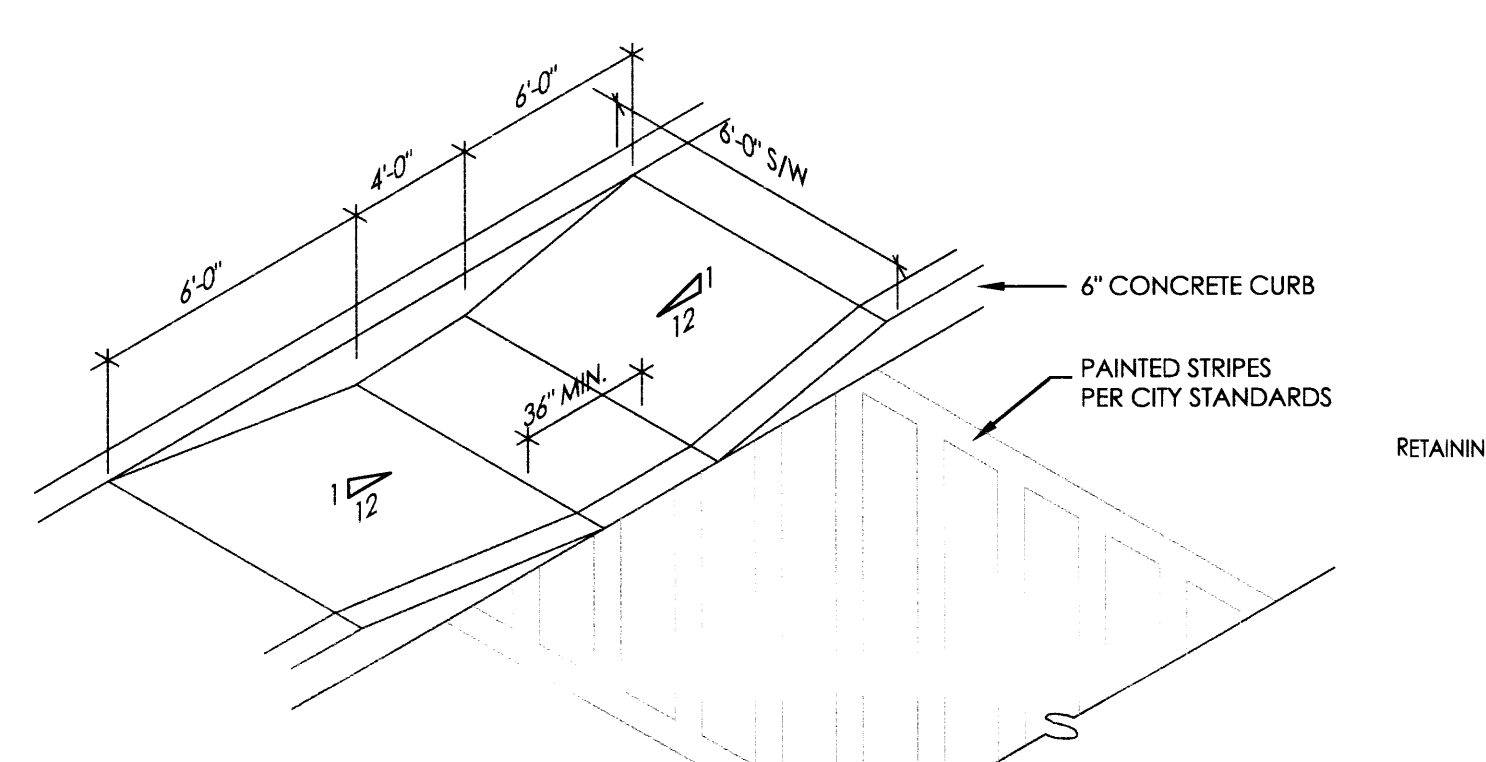
4 TYP. HC. SIGN DETAIL  
C1 SCALE: 1" = 1'-0"



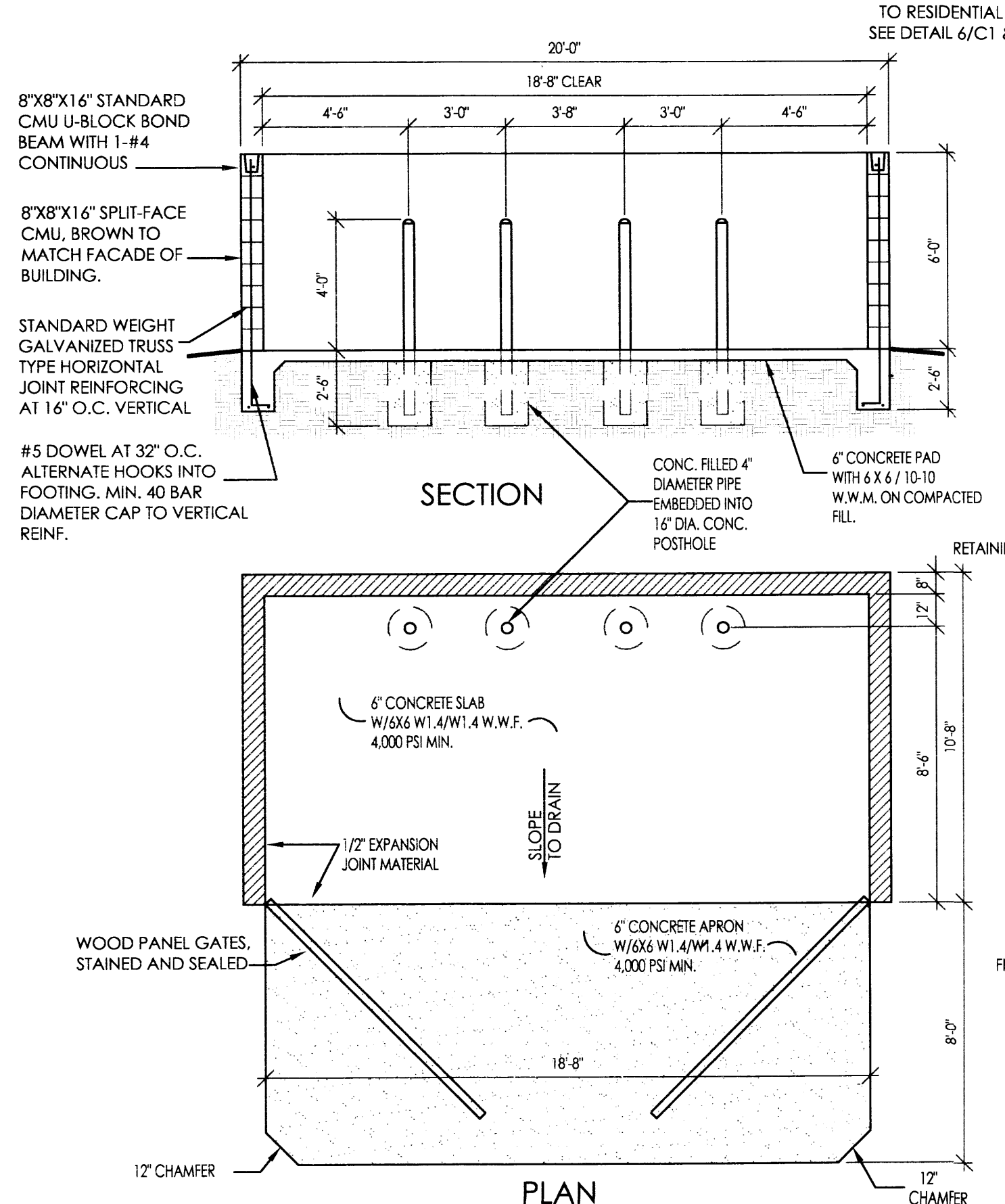
6 SECTION @ RETAINING WALL  
C1 1" = 20'-0"



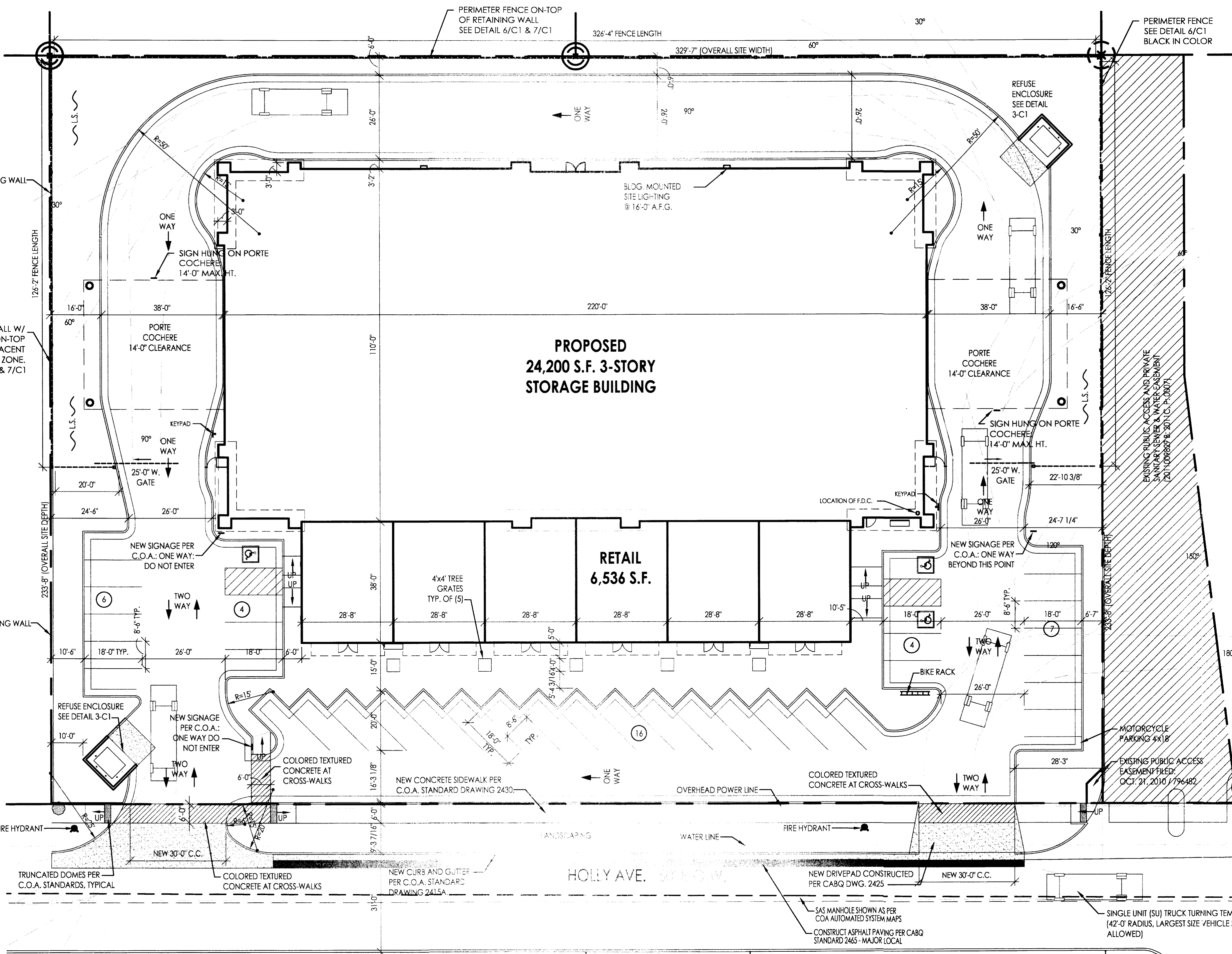
6 TYPICAL PERIMETER FENCE DETAIL  
C1 3/4" = 1'-0"



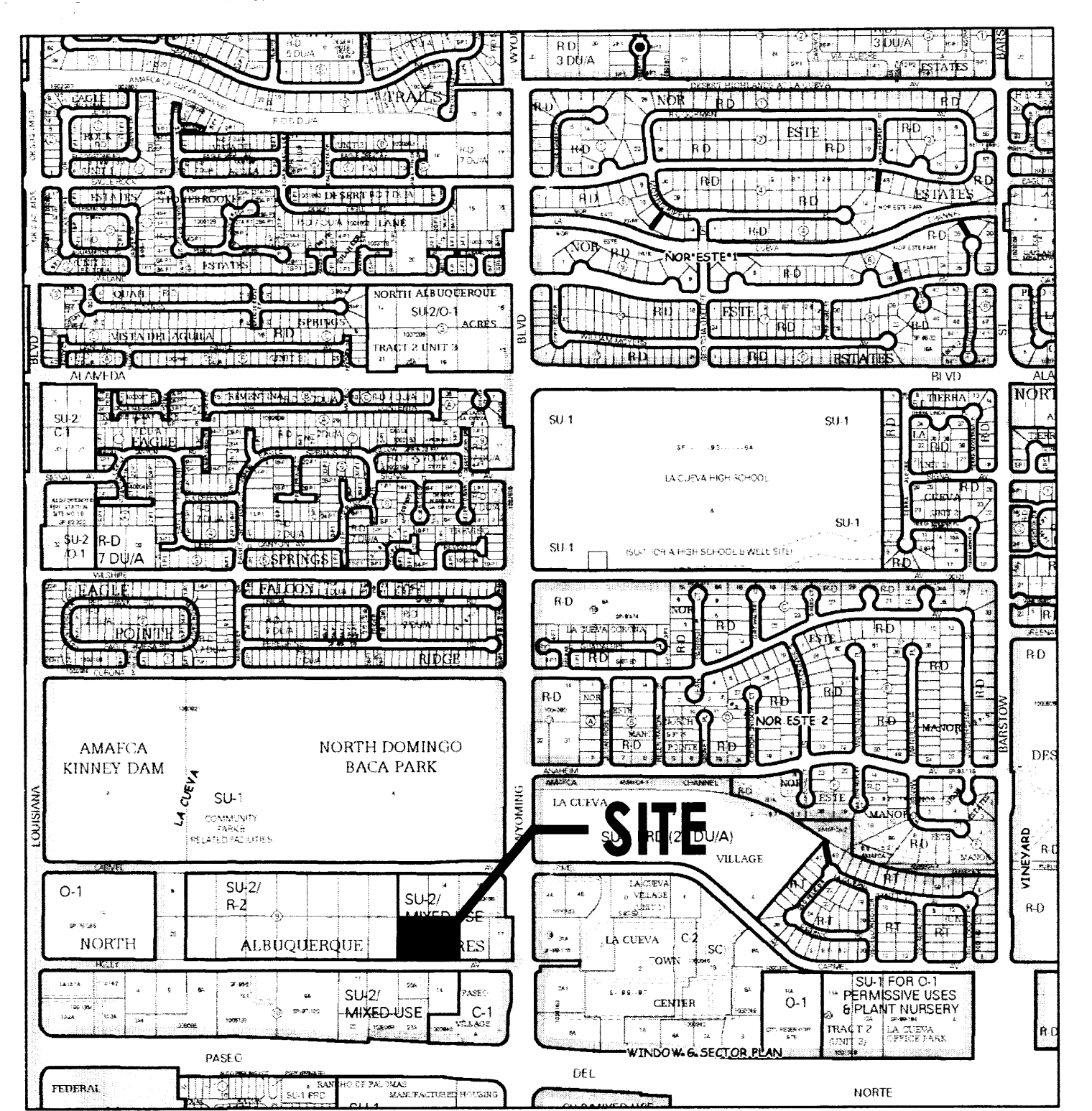
2 HC. ACCESSIBLE CURB RAMP  
C1 NOT TO SCALE



3 DUMPSTER ENCLOSER DETAIL  
C1 1/4" = 1'-0"



PROPOSED SITE PLAN  
1" = 20'-0"



VICINITY MAP C-19-Z

**LEGAL DESCRIPTION:** LOTS 19 & 20 BLOCK 9, NORTH ALBUQUERQUE ACRES TRACT 2 UNIT 3  
**PROPOSED USE:** 3-STORY STORAGE BUILDING WITH ONE BUILDING MOUNTED SIGN ALONG HOLLY AVE. WITH SINGLE STORY 6,536 S.F. RETAIL ALONG SOUTH SIDE OF BUILDING WITH FACADE MOUNTED SIGNS. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIAL.  
**MAXIMUM BUILDING HEIGHT:** 36'-0" (MAX. ALLOWED IN SECTOR DEVELOPMENT PLAN)  
**MINIMUM BUILDING SETBACK:** 20'-0" ALONG HOLLY AVE.  
**MAXIMUM FLOOR AREA RATIO:** 77,026 / 30,736 = 39% FLOOR AREA RATIO  
**PARKING REQUIREMENTS:**  
 RETAIL AREA = 6,536 S.F. / 200 = 33 REQUIRED SPACES  
 STORAGE BUILDING IS BASED ON TRIP GENERATION STUDY OF 179 TRIPS PER WEEKDAY. PARKING HAS BEEN DETERMINED BY NEEDS OF THIS FACILITY. ONE EMPLOYEE AND NO PERMANENT OCCUPANTS CONSTITUTES THE NEED FOR ONLY 4 REGULAR SPACES, 1 HANDICAPPED AND 1 MOTORCYCLE SPACE, WHICH HAVE BEEN PROVIDED.  
**PARKING PROVIDED = 37 SPACES INCLUDING 3 HANDICAP ED.**  
**SITE LIGHTING:** WILL BE COMPLIANT WITH THE ZONING CODE § 14-16-3-9 & ALSO MAINTAIN COMPLIANCE WITH THE LA CUYA S.D.P. BUILDING MOUNTED SIGNS ARE TO BE BACKLIT VINYL SIGNS.  
**BUILDING WILL COMPLY WITH SECTION 14-16-3-8(a) & 11R.3 OF THE ZONING CODE AND ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.**

PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

## ARCHITECTURAL SITE PLAN FOR BUILDING PERMIT GUARDIAN SELF STORAGE

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Rick Bennett Architects  
1104 Park Ave. SW  
Albuquerque, NM 87102

REVISION DATE:  
SEPTEMBER 6, 2012

Scale: 1" = 20'

NORTH

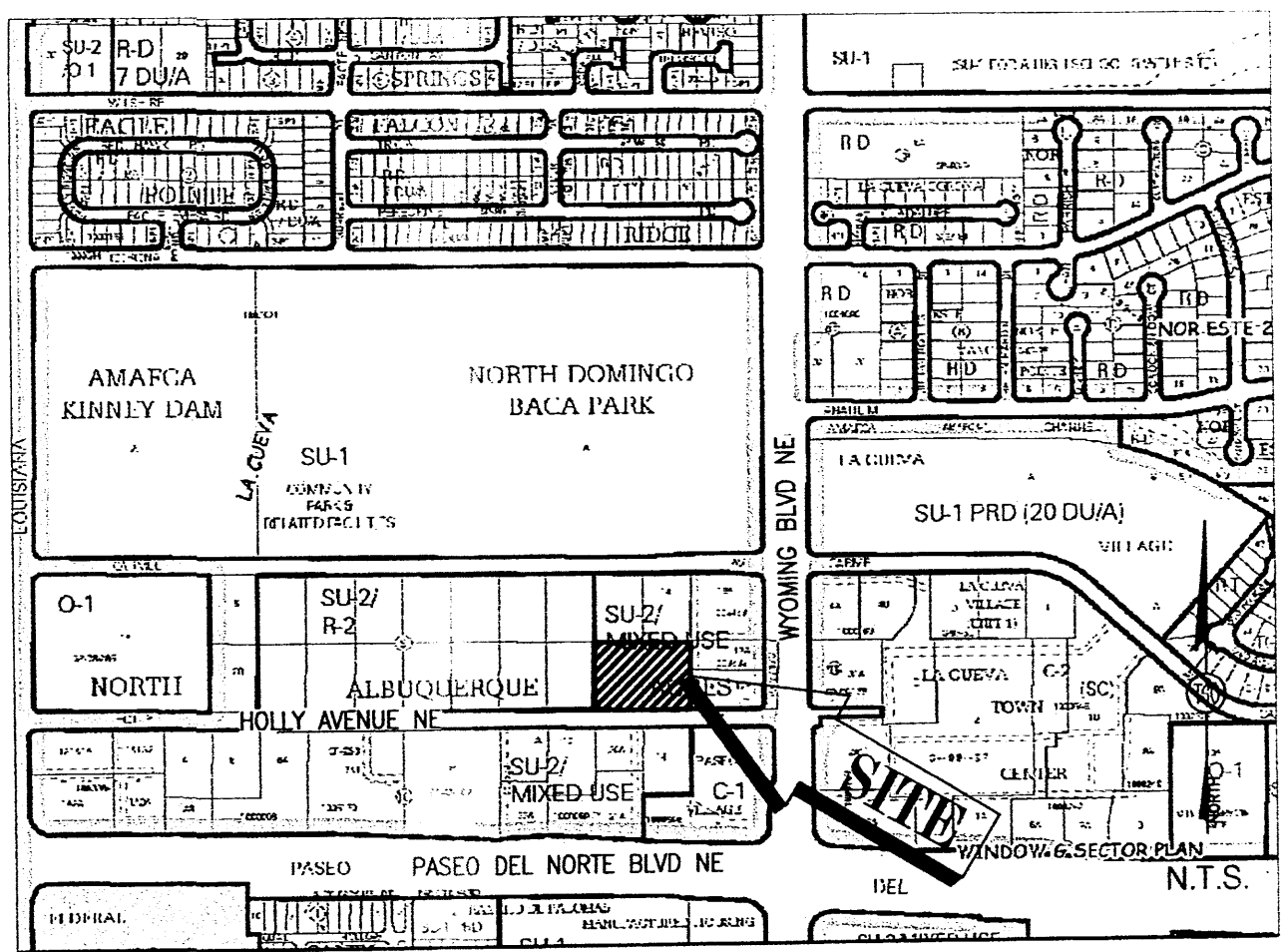
RBA  
RICK BENNETT ARCHITECTS  
PLANNING & DESIGN

SHEET 1 OF 6









Vicinity Map ZONE ATLAS: C-19-Z

**SUBDIVISION DATA / NOTES**

1. PLAT WAS COMPILED USING EXISTING RECORD DATA, ACTUAL FIELD SURVEY AND PLAT OF NORTH ALBUQUERQUE ACRES BLOCK 9 UNIT 2 TRACT 3, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D1, PAGE 20.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ABQ CONTROL MONUMENT HEAVEN, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF NORTH ALBUQUERQUE ACRES BLOCK 9 TRACT 2 UNIT 3, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D1, PAGE 20.
6. GROSS AREA: 1.9952 ACRES
7. GROSS AREA OF RIGHT OF WAY DEDICATION: 0.2273 ACRE
8. NUMBER OF EXISTING LOTS: 2
9. NUMBER OF TRACTS CREATED: 1
10. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE TRACTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENTS SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: \_\_\_\_\_

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE:

**LEGAL DESCRIPTION**

LOTS NUMBERED 19 AND 20 BLOCK 9 OF NORTH ALBUQUERQUE ACRES TRACT 3 UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931, IN PLAT BOOK D1, PAGE 20 AND MORE PARTICULARLY AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING THE THE SOUTHWEST CORNER OF SAID LOT 20 AND BEING A POINT ON THE CENTERLINE OF HOLLY AVENUE; WHENCE CITY OF ALBUQUERQUE CONTROL STATION "HEAVEN" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) NORTHING = 1518799.515 AND EASTING = 1547297.145 BEARS SOUTH 14°29'12" EAST, A DISTANCE OF 614.67 FEET RUNNING;

THENCE NORTH 00°15'05" EAST, 263.73 FEET TO THE NORTHWEST CORNER;

THENCE NORTH 90°00'00" EAST A DISTANCE OF 328.98 FEET TO THE NORTHEAST CORNER;

THENCE SOUTH 00°07'14" WEST A DISTANCE OF 263.72 FEET TO THE SOUTHEAST CORNER;

BEING A POINT ON THE CENTERLINE OF HOLLY AVENUE;

THENCE SOUTH 90°00'00" WEST, ALONG THE CENTERLINE OF HOLLY AVENUE, A DISTANCE OF 329.88 FEET TO THE SOUTHWEST CORNER AND POINT OF BEGINNING AND CONTAINING 1.9952 ACRES MORE OR LESS.

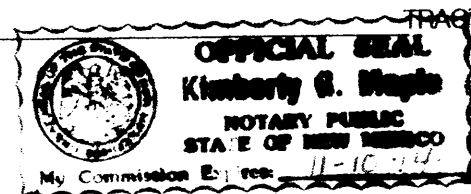
**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ANY ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

OWNER(S) SIGNATURE: Jabeed Vagh DATE: 7/19/12

OWNER(S) PRINT NAME: JABEED VAGH

ADDRESS: \_\_\_\_\_  
 ACKNOWLEDGMENT STATE OF NEW MEXICO )  
 )SS  
 COUNTY OF BERNALILLO )



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF July, 2012.

BY: Kimberly S. Maple Jabeed Vagh

MY COMMISSION EXPIRES: 11-16-14 Kimberly S. Maple  
 NOTARY PUBLIC

**PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:**

A. PUBLIC SERVICE COMPANY OF NEW MEXICO, (PNM) A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVER-HEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

4. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT-OF-WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

**DISCLAIMER**

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

**PLAT OF  
 LOT 19-A, BLOCK 9  
 NORTH ALBUQUERQUE ACRES  
 UNIT 2 TRACT 3  
 ELENA GALLEGOS LAND GRANT  
 PROJECTED SEC. 18, T. 11 N., R. 4 E  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JULY 2012  
 SHEET 1 OF 2**

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO COMBINE TWO (2) EXISTING LOTS INTO ONE (1) NEW LOT, GRANT ANY EASEMENTS, AND DEDICATE RIGHT OF WAY TO CITY OF ALBUQUERQUE AS SHOWN HEREON.

CITY APPROVALS: PROJECT NO.: \_\_\_\_\_ APPLICATION NO. \_\_\_\_\_

CITY SURVEYOR: Anthony L. Harris DATE: 1-20-12

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

A.B.C.W.U.A \_\_\_\_\_ DATE \_\_\_\_\_

A.M.A.F.C.A \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVALS**

PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) \_\_\_\_\_ DATE \_\_\_\_\_

QWEST CORPORATION D/B/A CENTURY LINK QC \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST CABLE \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO GAS COMPANY (NMGC) \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I, ANTHONY L. HARRIS, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Anthony L. Harris DATE: 7-19-12  
 ANTHONY L. HARRIS  
 NEW MEXICO PROFESSIONAL SURVEYOR, 11463

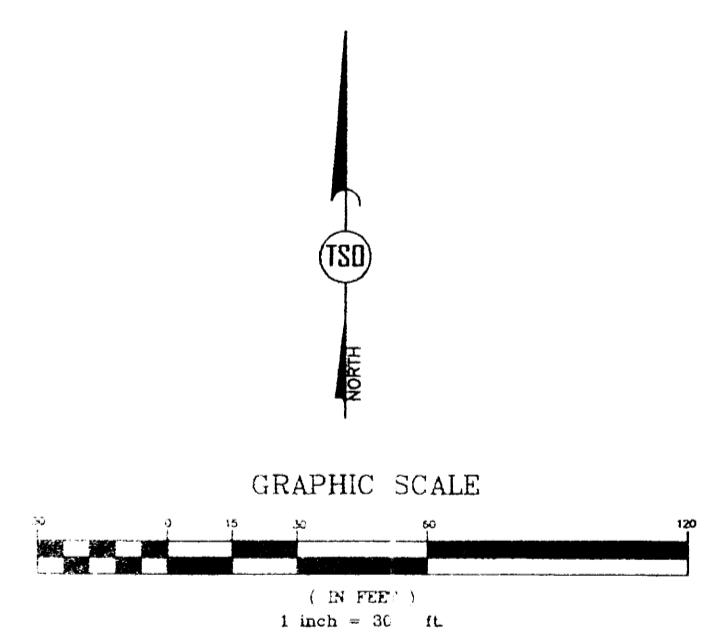
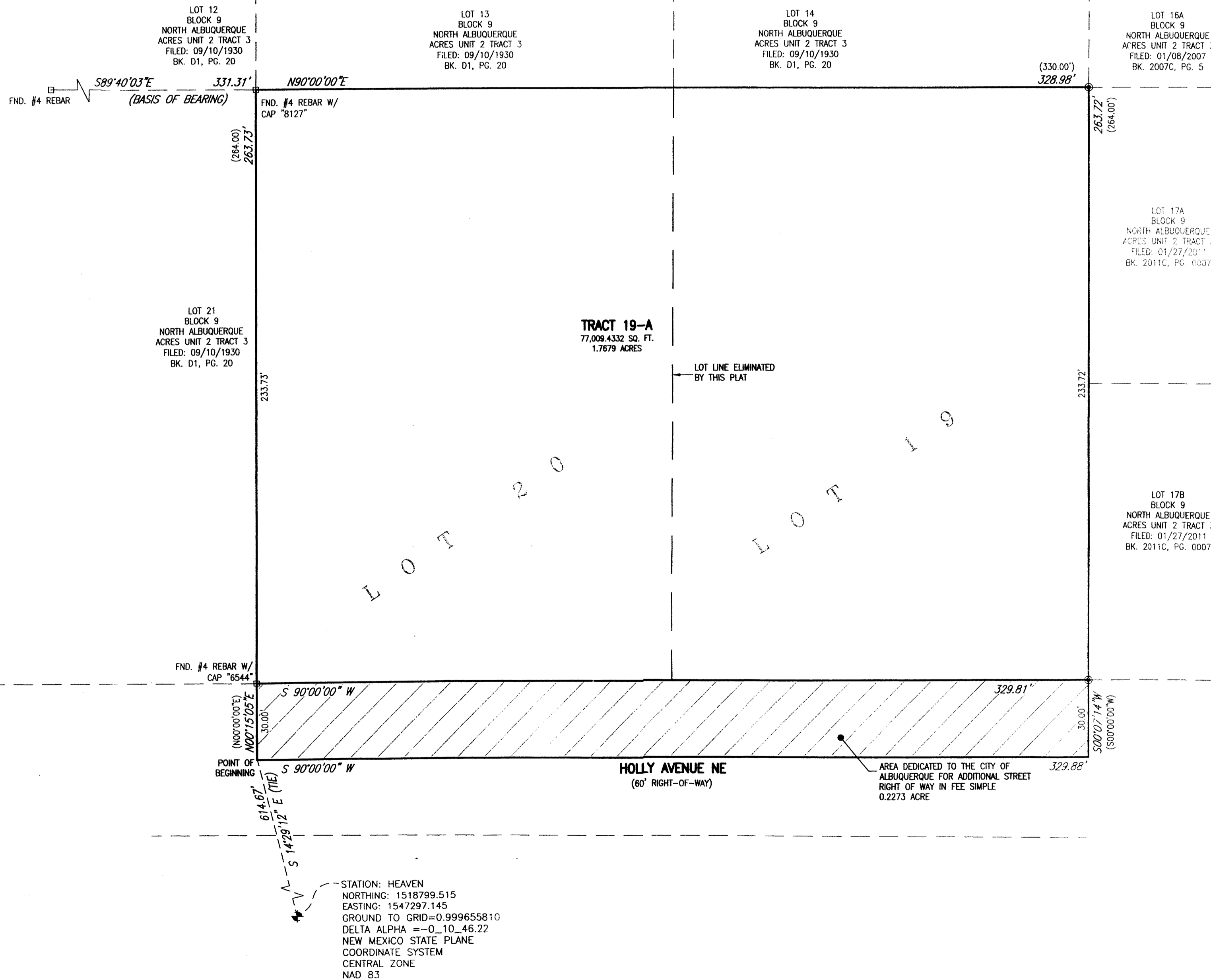


**THE SURVEY OFFICE, LLC**

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0305  
 87102



PLAT OF  
 LOT 19-A, BLOCK 9  
 NORTH ALBUQUERQUE ACRES  
 UNIT 2 TRACT 3  
 ELENA GALLEGOS LAND GRANT  
 PROJECTED SEC. 18, T. 11 N., R. 4 E  
 CITY OF ALBUQUERQUE  
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 JULY 2012  
 SHEET 1 OF 2



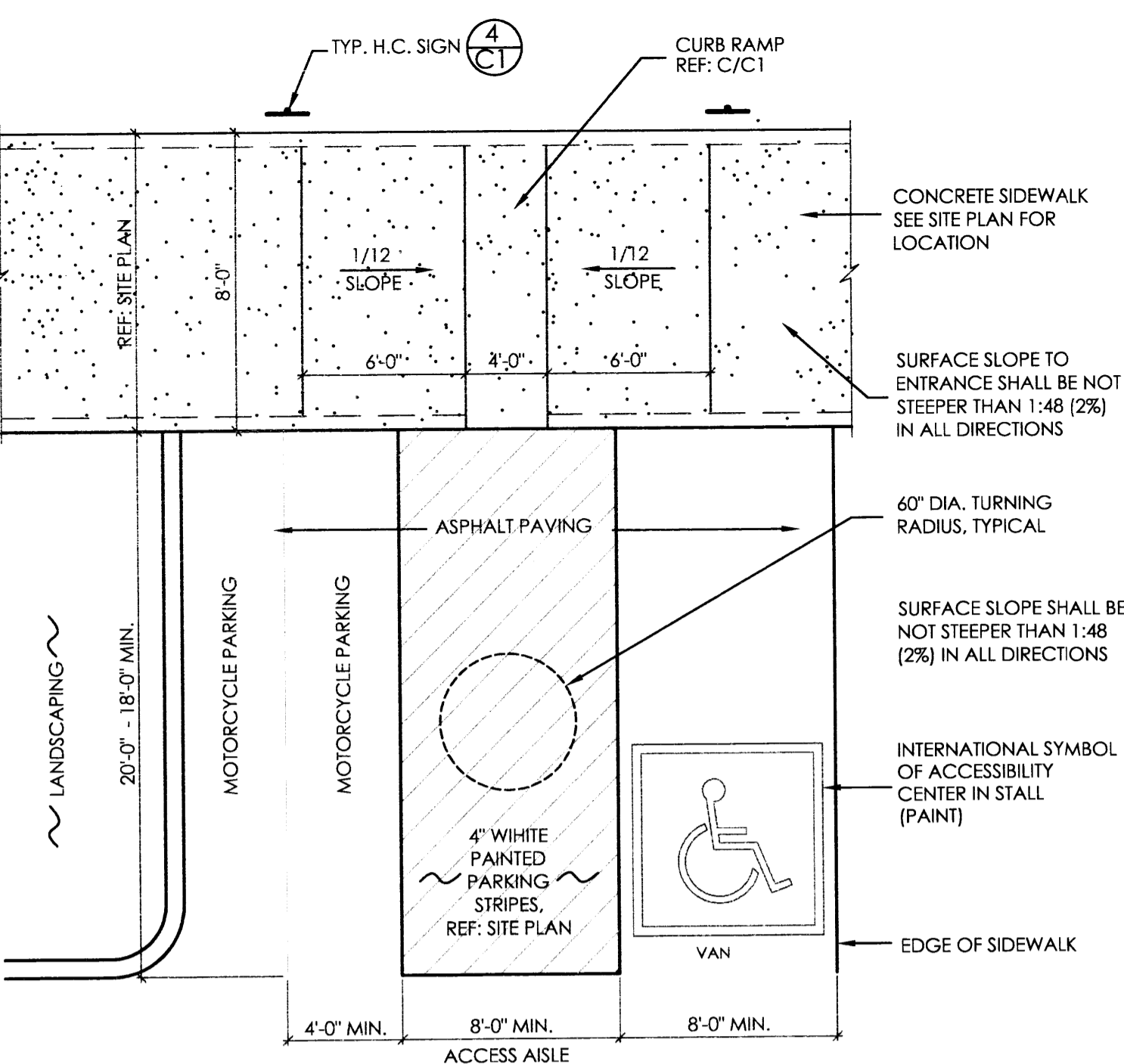
PROJECT NO. North Albuquerque Acres Unit 3 Tract 2  
 DRAWN BY: JMT  
 ZONE ATLAS: C-19-Z

MONUMENT LEGEND

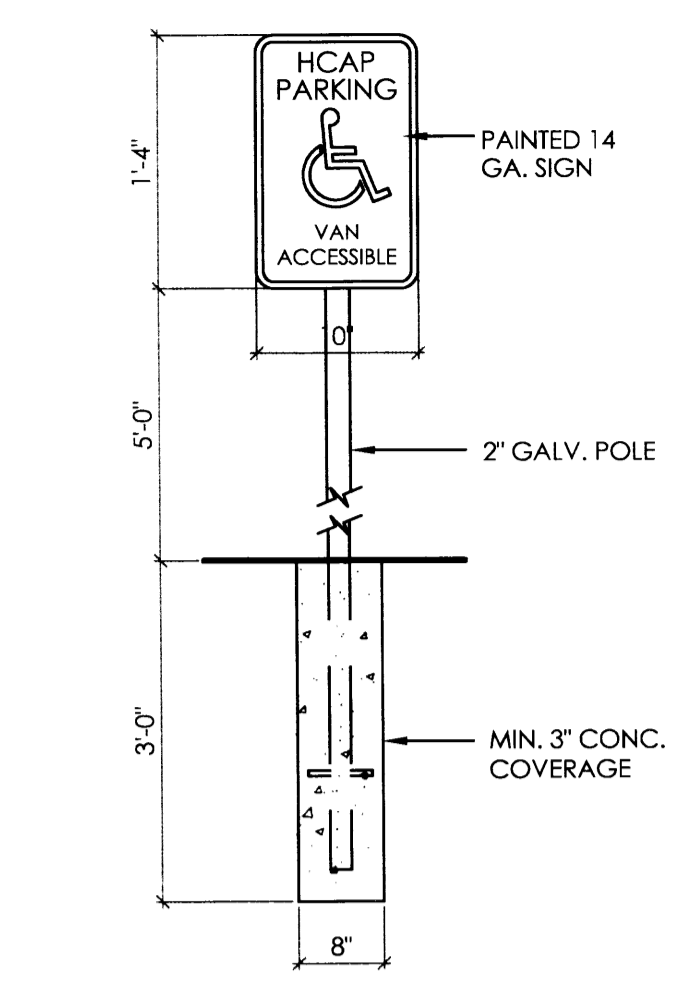
	FOUND CONTROL STATION AS NOTED
	FOUND MONUMENT AS NOTED
	SET 1/2" REBAR w/ CAP STAMPED "FS 11463" UNLESS OTHERWISE NOTED

**THE SURVEY OFFICE, LLC**  
 333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0305  
 87102

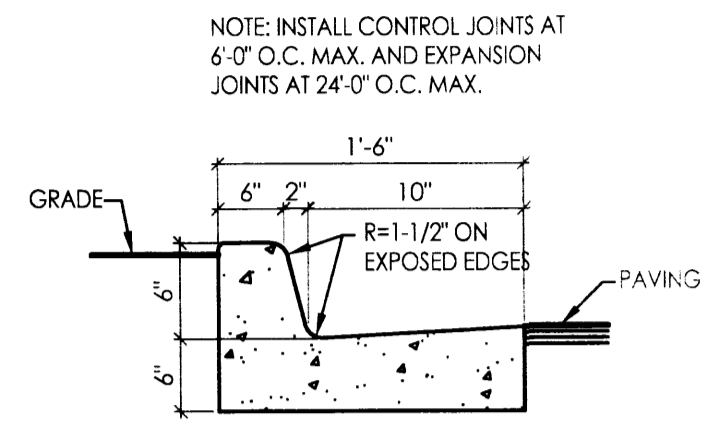




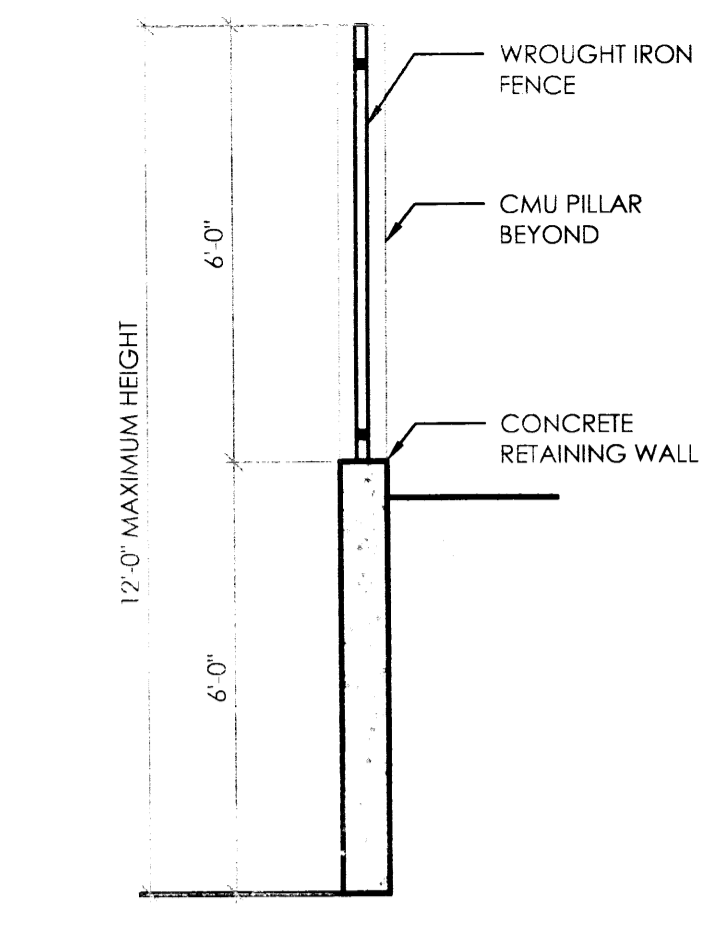
1 HC. PARKING PLAN TYP.  
C1 NOT TO SCALE



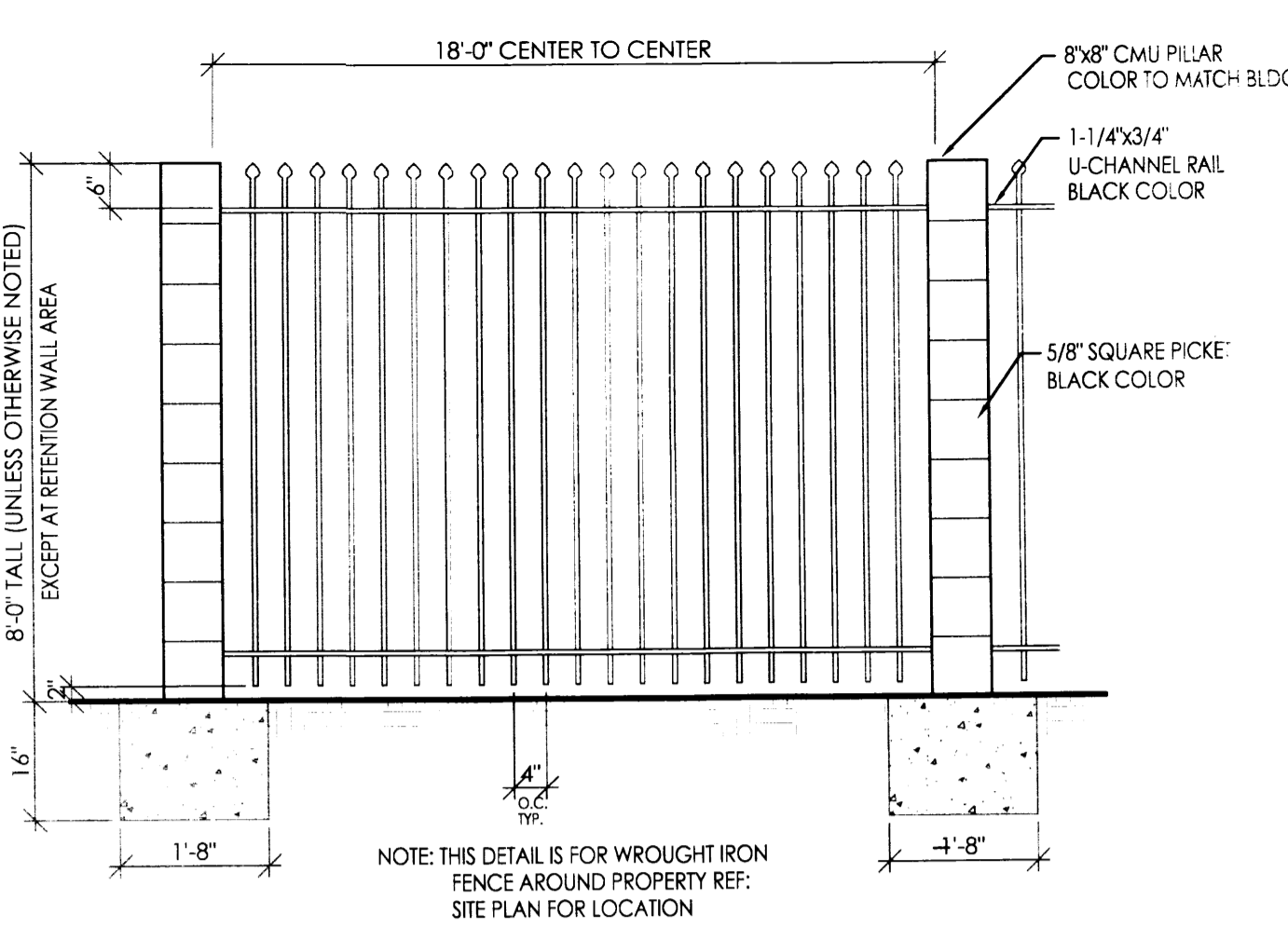
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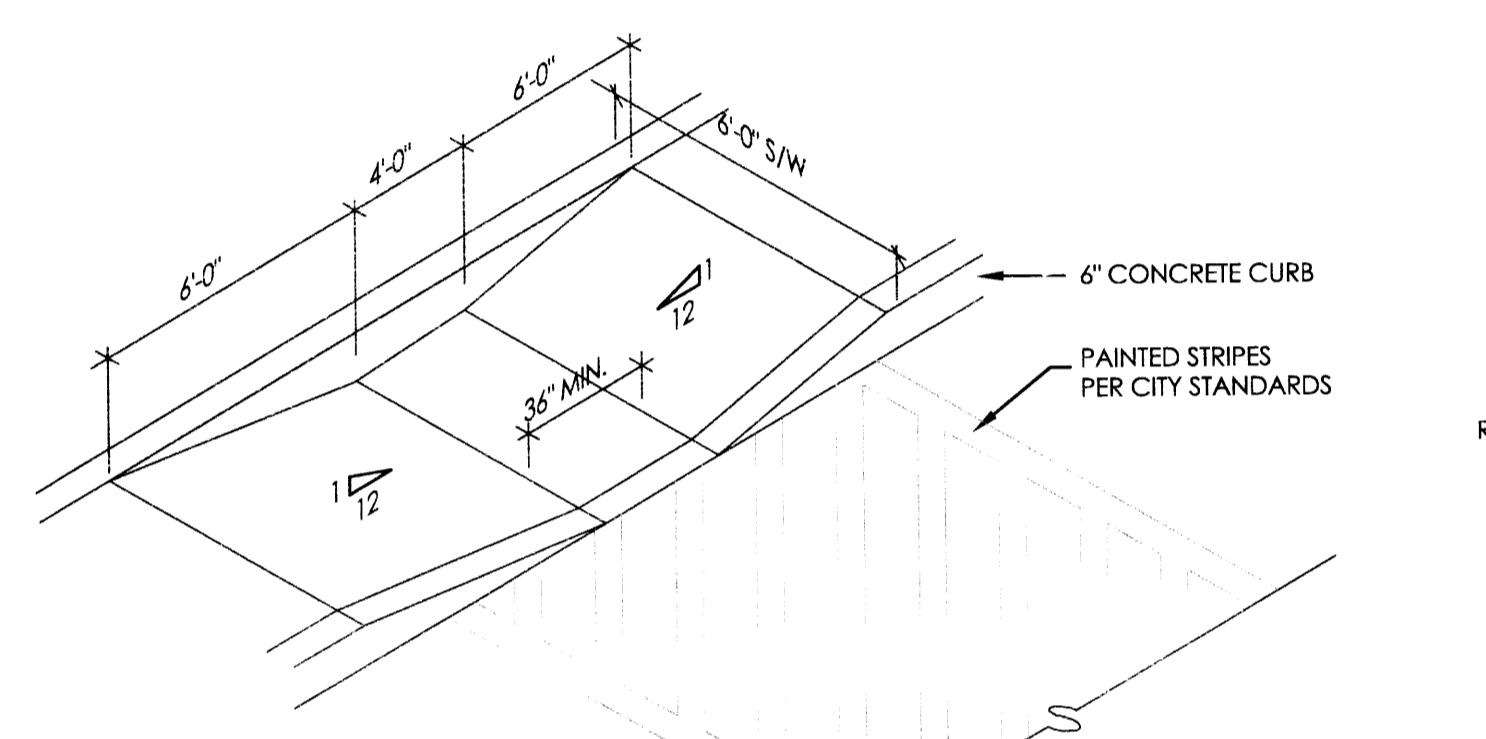
5 CONCRETE CURB AND GUTTER  
C1 N.T.S.



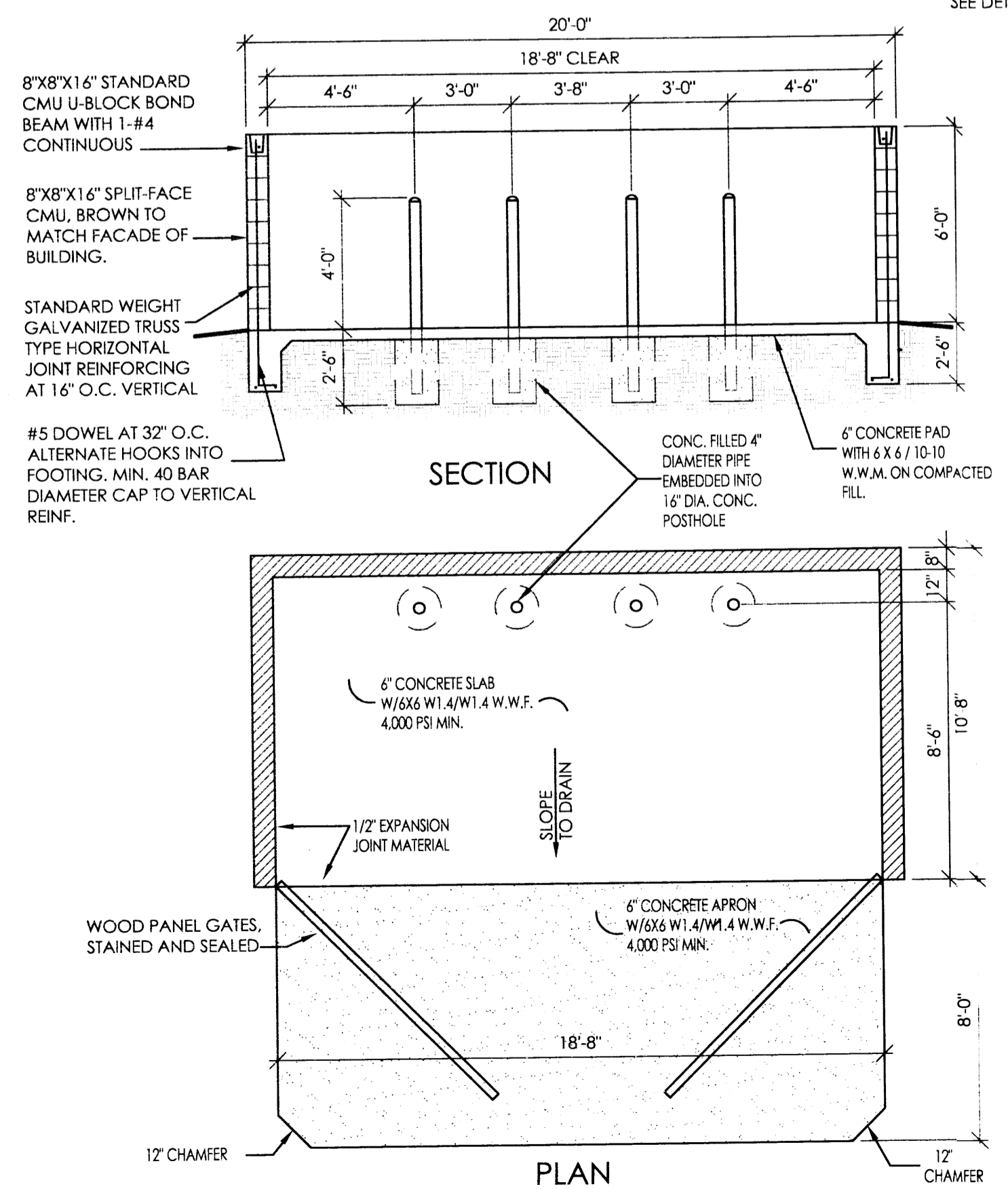
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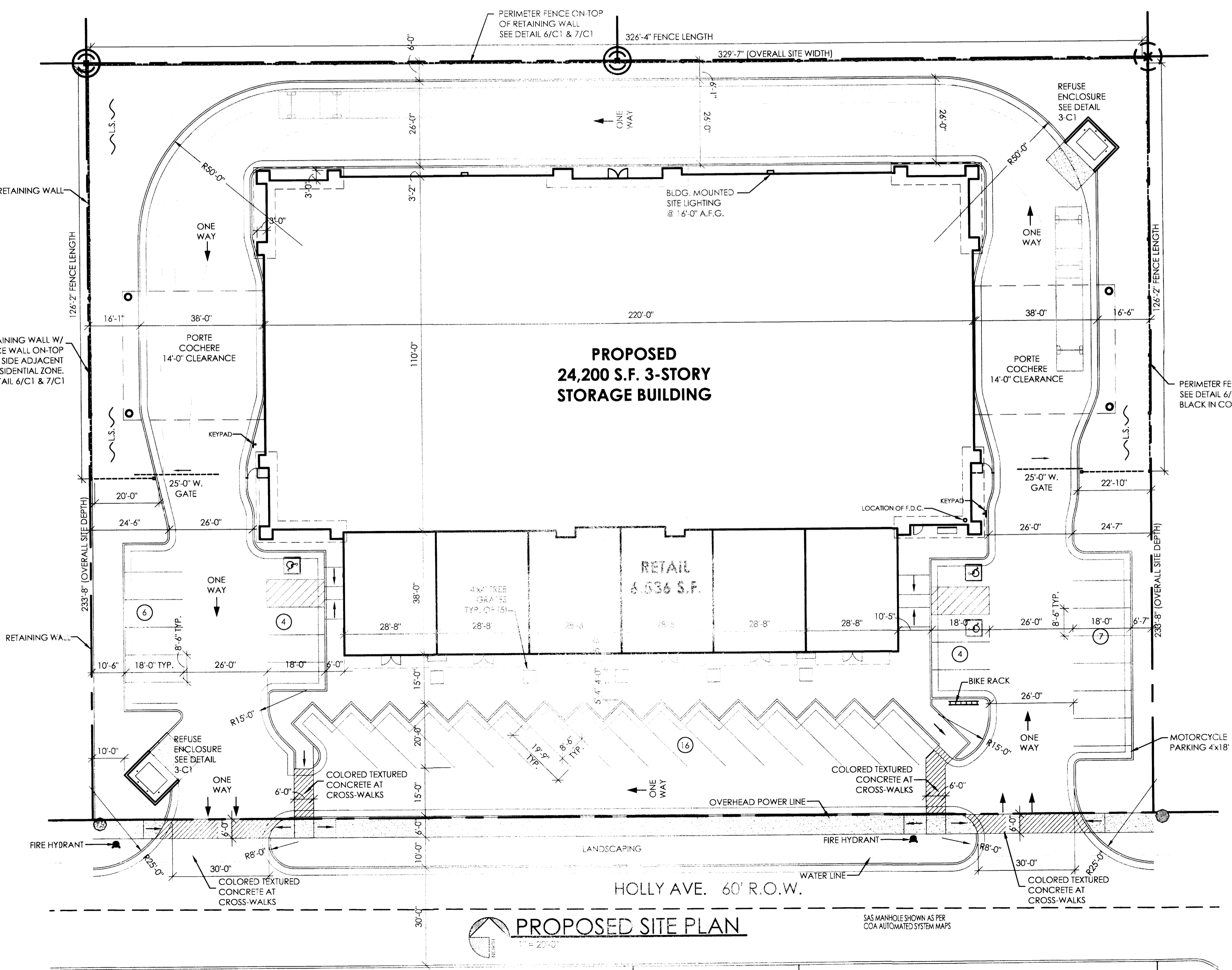
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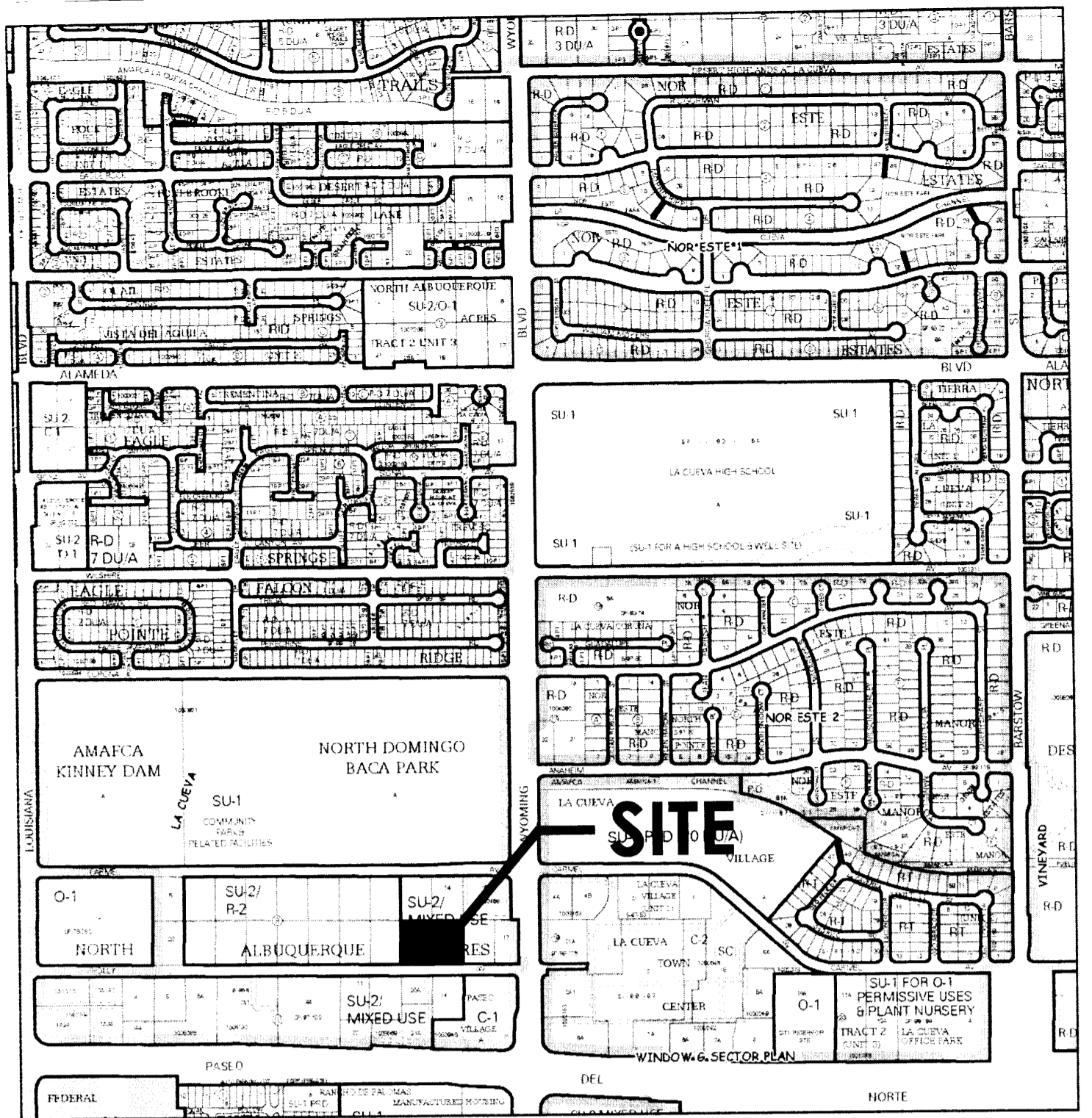
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3 DUMPSTER ENCIOSER DETAIL  
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PROPOSED SITE PLAN  
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PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

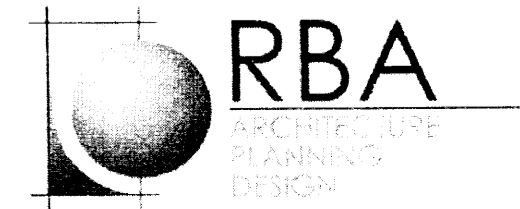
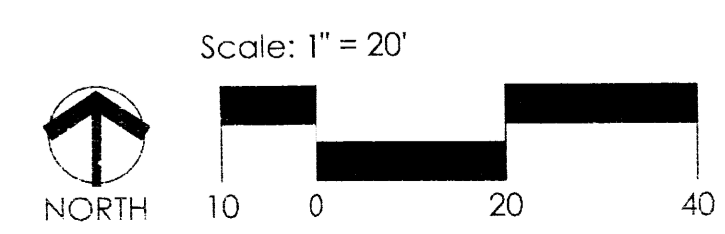
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

# ARCHITECTURAL SITE PLAN FOR BUILDING PERMIT GUARDIAN SELF STORAGE

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Rick Bennett Architects  
1104 Park Ave. SW  
Albuquerque, NM 87102

REVISION DATE:  
JULY 16, 2012





**GUARDIAN STORAGE**  
 VIEW ANALYSIS 2  
 LOOKING EAST FROM NORTH SIDE OF HOLLY AVE.



VIEW SHOWING CORRECT COLORS

**GUARDIAN STORAGE**  
 VIEW ANALYSIS  
 LOOKING NORTHEAST FROM HOLLY AVE.



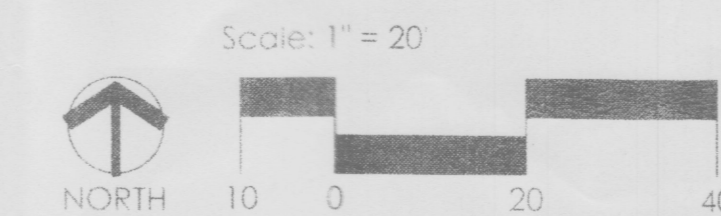
CORNER ELEMENTS TO BE BEIGE

SITE VIEW ANALYSIS  
**GUARDIAN SELF STORAGE**

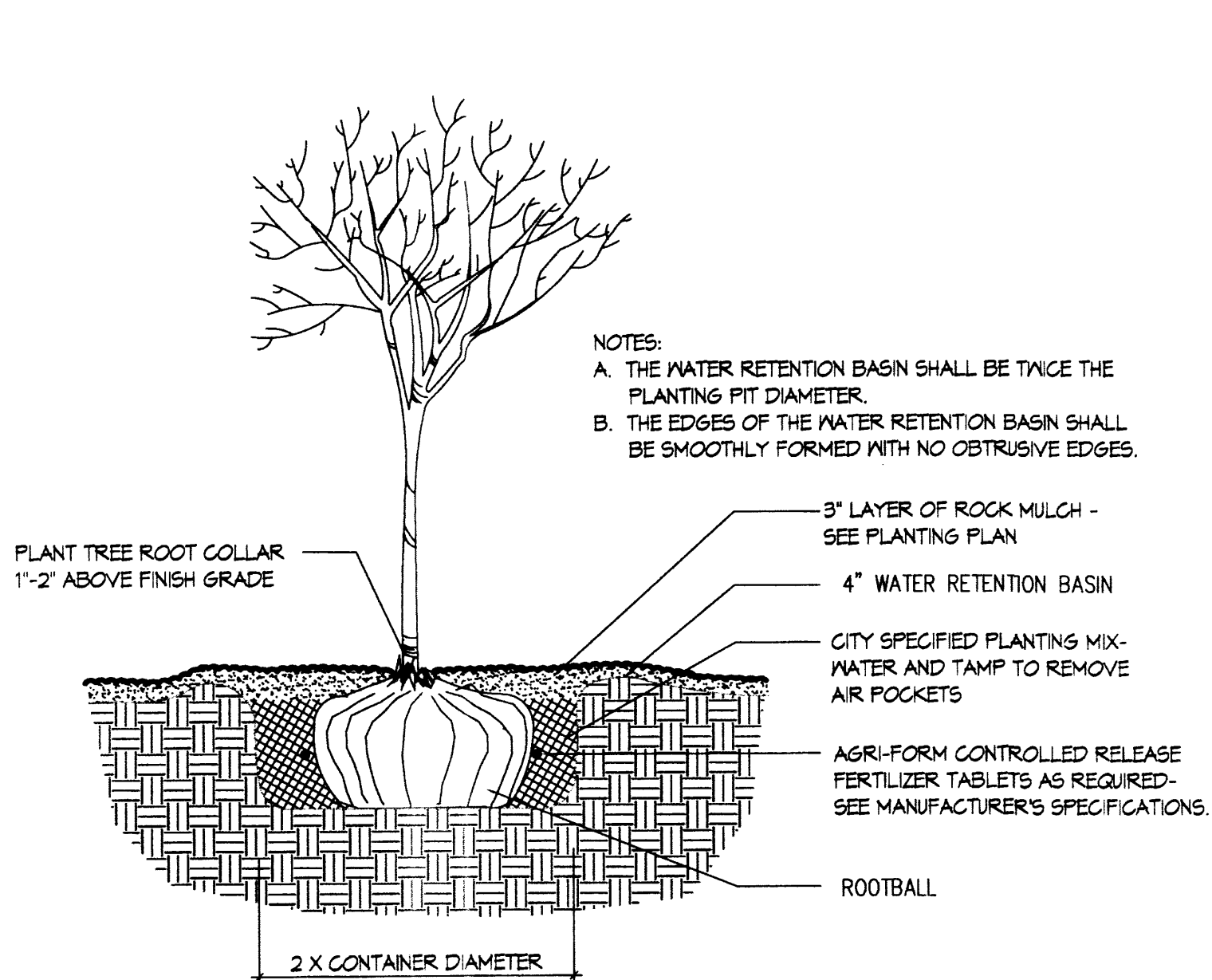
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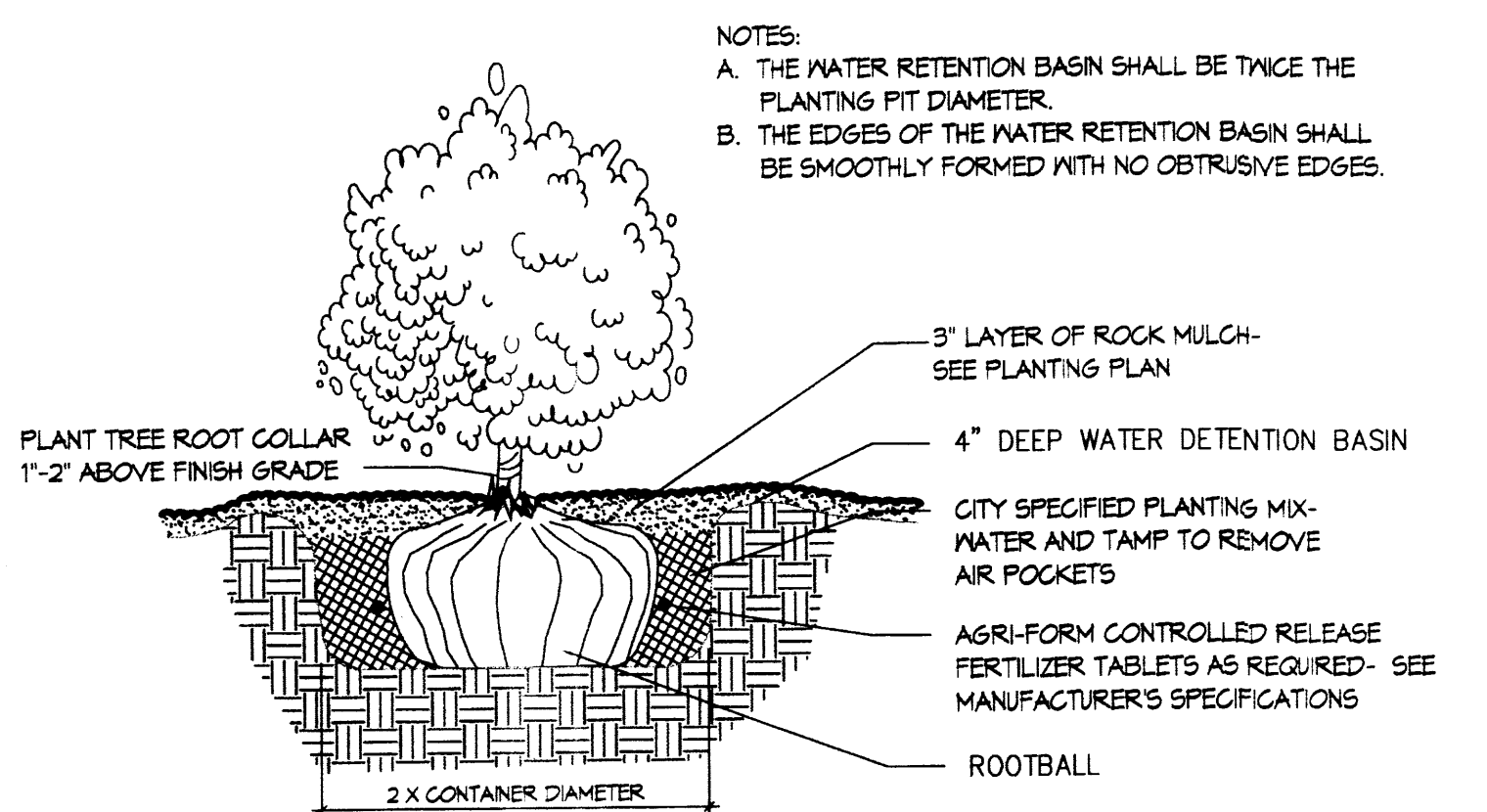
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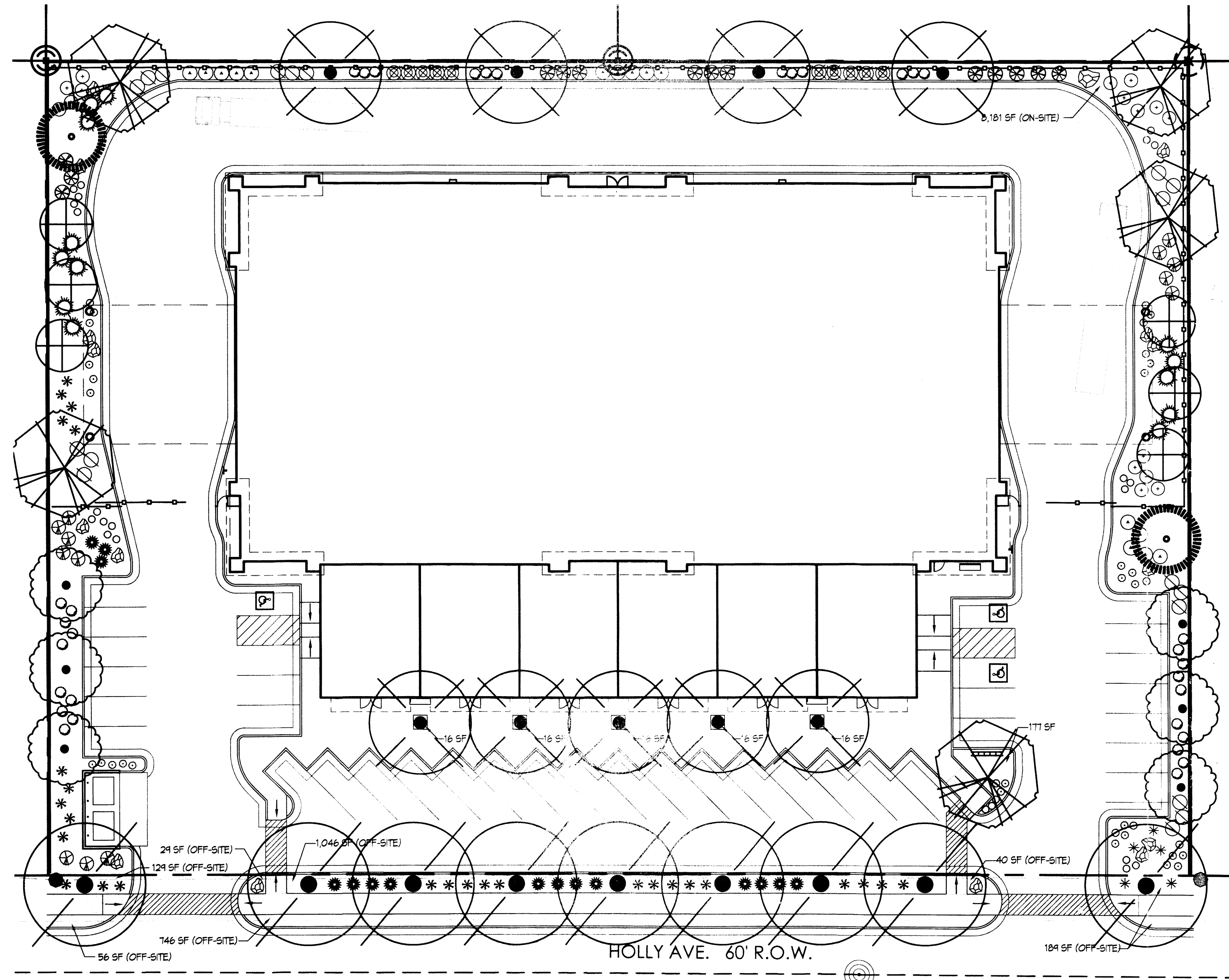




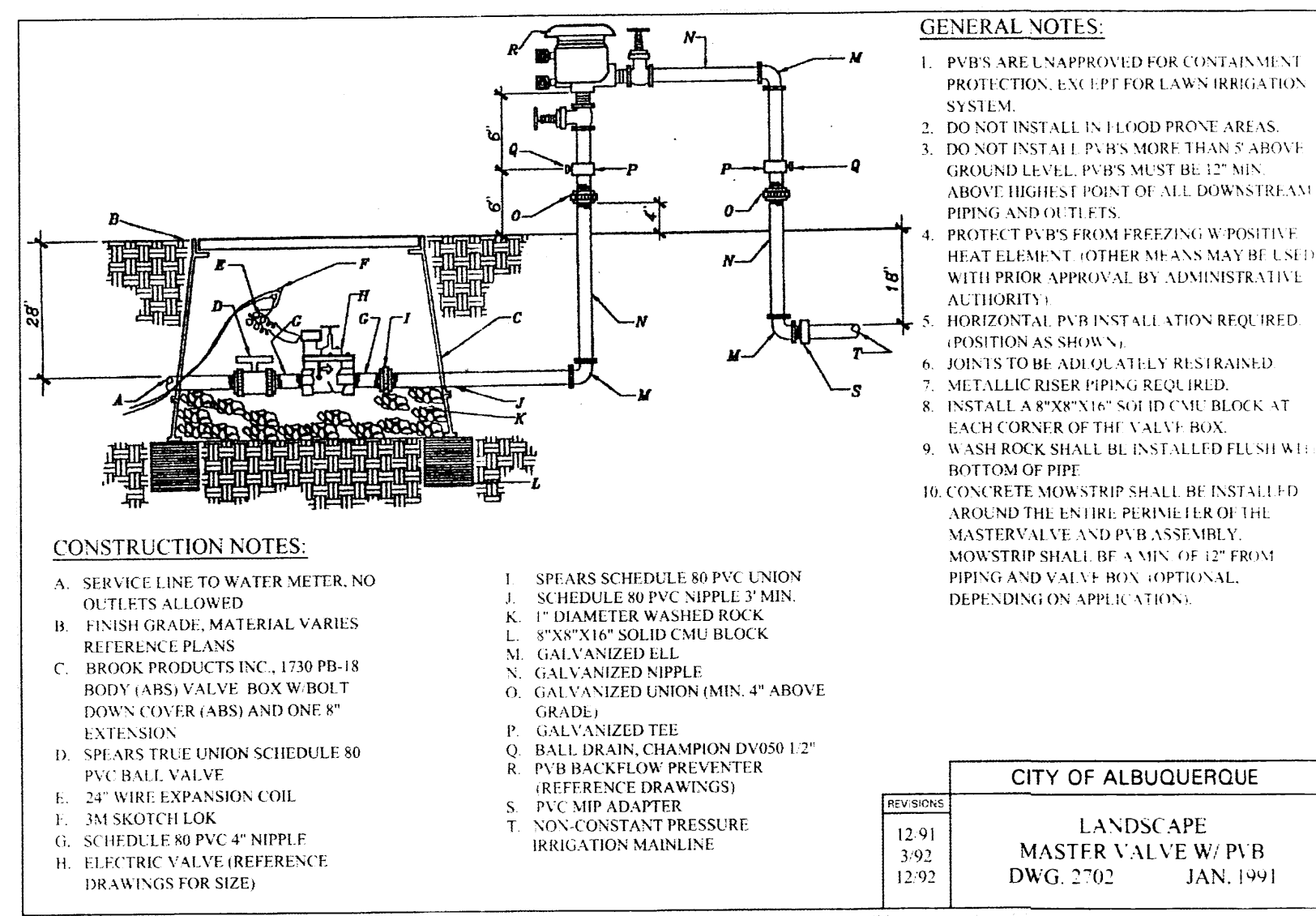
1 TREE PLANTING @ GRADE N.T.S.



2 SHRUB PLANTING @ GRADE N.T.S.



PLANT LEGEND		SCIENTIFIC NAME	COMMON NAME	SIZE	INSTALLED SIZE	MATURE SIZE	WATER USE	
5	⊗	CHILOPSIS X GATALPA	CHITALPA	2'B4B	8' HT. X 6' SPR.	30' HT. X 30' SPR.	MEDIUM	
6	⊕	FORESTERA NEOMEXICANA	NEW MEXICO OLIVE	15 GAL.	8' HT. X 5' SPR.	15' HT. X 15' SPR.	LOW +	
9	⊙	FRAXINUS VELLUTINA	MODESTO ASH	2.5' B4B	14' HT. X 6' SPR.	40' HT. X 35' SPR.	MEDIUM +	
2	⊙	PINUS ELDARICA	AFGHAN PINE	B4B	8' MIN HT.	30' HT. X 20' SPR.	MEDIUM	
6	⊙	PYRUS CALLERYANA	'CLEVELAND' FLOWERING PEAR	2' B4B	14' HT. X 5' SPR.	25' HT. X 20' SPR.	MEDIUM +	
9	⊗	ROBINIA AMBIGUA	PURPLE ROBE LOCUST	2' B4B	16' HT. X 6' SPR.	30' HT. X 30' SPR.	MEDIUM	
SHRUBS/GROUNDCOVERS								
16	⊙	CHRYSOTHAMNUS NAUSEOSUS	CHAMISA	1-GAL.	5' O.C.	4' HT. X 4' SPR.	LOW	
14	⊗	CYTTISUS SCOP.	'LENA'S BROOM'	1-GAL.	4' O.C.	4' HT. X 4' SPR.	LOW	
35	⊙	ERIGAMERIA LARICIFOLIA	'AGUIRRE' TURPENTINE BUSH	1-GAL.	2' O.C.	2' HT. X 2' SPR.	LOW	
23	⊙	ERYSIMUM BOYLES MAUVE	BOYLES MAUVE MALLFLOWER	1-GAL.	2' O.C.	1' HT. X 2' SPR.	LOW +	
13	⊕	FALLIGIA PARADOXA	APACHE PLUME	1-GAL.	5' O.C.	4' HT. X 4' SPR.	LOW	
32	⊙	LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1-GAL.	4' O.C.	3' HT. X 3' SPR.	MEDIUM	
10	⊗	PEROVSKIA A.	'LITTLE SPIRE'	5-GAL.	5' O.C.	3' HT. X 4' SPR.	MEDIUM	
18	⊙	RAPHIOLEPIS INDICA	INDIA HAWTHORN	5-GAL.	5' O.C.	3' HT. X 4' SPR.	MEDIUM	
15	⊙	RHUS TRILOBATA	'AUTUMN AMBER'	5-GAL.	4' O.C.	4' HT. X 4' SPR.	LOW +	
13	⊙	ROSMARINUS OFFICINALIS	'PROSTRATA'	5-GAL.	5' O.C.	3' HT. X 5' SPR.	LOW +	
ORNAMENTAL GRASSES								
28	*	CALAMAGROSTIS KARL FOERSTER	FEATHER REED GRASS	5-GAL.	3' O.C.	3' HT. X 3' SPR.	LOW +	
15	*	MISCANTHUS SIN.	'GRACILLIMUS'	5-GAL.	4' O.C.	8' HT. X 4' SPR.	LOW	
DESERT ACCENTS								
5	*	AGAVE PARRYI	PARRY'S AGAVE	5-GAL.	2' O.C.	2' HT. X 2' SPR.	LOW	
GRAVEL MULCH AND ACCENT BOULDERS								
10,292 SF	⊠	3/8" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DEWITT PRO-5 WEED CONTROL FABRIC)						
13	⊗	MOSS ROCK BOULDERS (3X3" MINIMUM)						



**GENERAL NOTES:**

- PVBs ARE UNAPPROVED FOR CONTAINMENT PROTECTION. EXCEPT FOR LAWN IRRIGATION SYSTEMS.
- DO NOT INSTALL IN FLOOD PRONE AREAS.
- DO NOT INSTALL PVBs MORE THAN 5' ABOVE GROUND LEVEL. PVBs MUST BE 12" MIN. ABOVE HIGHEST POINT OF ALL DOWNSTREAM PIPING AND/OR TIE-INS.
- PROTECT PVBs FROM FREEZING W/ POSITIVE HEAT ELEMENT (OTHER MEANS MAY BE USED WITH PRIOR APPROVAL BY ADMINISTRATIVE AUTHORITY).
- HORIZONTAL PVB INSTALLATION REQUIRED (POSITION AS SHOWN).
- JOINTS TO BE ADJACENTLY RESTRAINED.
- METALLIC RISER PIPING REQUIRED.
- INSTALL A 6"x6"x1/2" SOLID CURE BLOCK AT EACH CORNER OF THE VALVE BOX.
- WASH ROCK SHALL BE INSTALLED FLUSH W/ BOTTOM OF PIPE.
- CONCRETE MOWSTRIP SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE MASTER VALVE AND PVB ASSEMBLY. MOWSTRIP SHALL BE A MIN. OF 12" FROM PIPING AND VALVE BOX, (OPTIONAL, DEPENDING ON APPLICATIONS).

**CONSTRUCTION NOTES:**

- SERVICE LINE TO WATER METER. NO ORIFICES ALLOWED.
- FINISH GRADE. MATERIAL VARIES REFERENCE PLANS.
- BRONK PRODUCTS INC., 1730 PB-18 BODY (ABS) VALVE BOX W/ BOLT DOWN COVER (ABS) AND ONE 4" EXTENSION.
- SPEARS TRUE UNION SCHEDULE 80 PVC BALL VALVE.
- 24" WIRE EXPANSION COIL.
- 3/4" SKOTCH LOK.
- SCIP DUELE 90 PVC 4" SIPLEE.
- ELECTRIC VALVE (REFERENCE DRAWINGS FOR SIZE).
- SPEARS SCHEDULE 80 PVC UNION.
- SCHEDULE 80 PVC NIPPLE 3" MIN.
- 1" DIAMETER WASHED ROCK.
- 6"x6"x1/2" SOLID CURE BLOCK.
- GALVANIZED ILL.
- GALVANIZED NIPPLE.
- GALVANIZED UNION (MIN. 4" ABOVE GRADE).
- GALVANIZED TEE.
- BALL BEARING CHAMPION DV300 1 1/2".
- PVB BACKFLOW PREVENTER (REFERENCE DRAWINGS).
- PVC MIP ADAPTER.
- NON-CONSTANT PRESSURE IRRIGATION MAINLINE.

REV	DATE	DESCRIPTION
1	12-91	
2	3-92	
3	12-92	

**CITY OF ALBUQUERQUE**

LANDSCAPE MASTER VALVE W/ PVB DWG. 2702 JAN. 1991

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 3/8" SANTA FE BROWN GRAVEL MULCH.

**IRRIGATION SYSTEM**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL, ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE IRRIGATION WILL BE DESIGNED TO CONNECT TO THE EXISTING SYSTEM. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**MAINTENANCE RESPONSIBILITY**  
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

**WATER CONSERVATION ORDINANCE COMPLIANCE**  
THE LANDSCAPE PLAN FOR THIS SITE EXCLUDES HIGH WATER USE TURF. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**LANDSCAPE COVERAGE**

PLANTING BEDS SHALL HAVE 75% LIVING GROUND COVER AT FULL MATURITY.

**LANDSCAPE CALCULATIONS**

SITE AREA (1.11 AC.)	77,026 SF
BUILDING FOOTPRINT:	- 30,846 SF
NET LOT AREA:	46,180 SF

IMPERVIOUS AREA: 31,142 SF

REQUIRED LANDSCAPE (15%): 6,927 SF

PROVIDED LANDSCAPE OFF-SITE/ON SITE:

ON SITE:	2,235 SF
OFF-SITE:	8,438 SF
TOTAL PROVIDED:	10,673 SF

PROVIDED ON-SITE LANDSCAPE: 8,438 SF

REQUIRED LIVE VEGETATIVE COVER (75%): 6,075 SF

PROVIDED LIVE VEGETATIVE COVER: 6,471 SF

**PARKING LOT TREES**  
GUARDIAN SELF STORAGE IS PROVIDING 31 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED: 4  
PARKING LOT TREES PROVIDED: 5

**STREET TREES**  
HOLLY AVENUE FRONTAGE IS 210' (330' INCLUDING INGRESS/EGRESS). STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

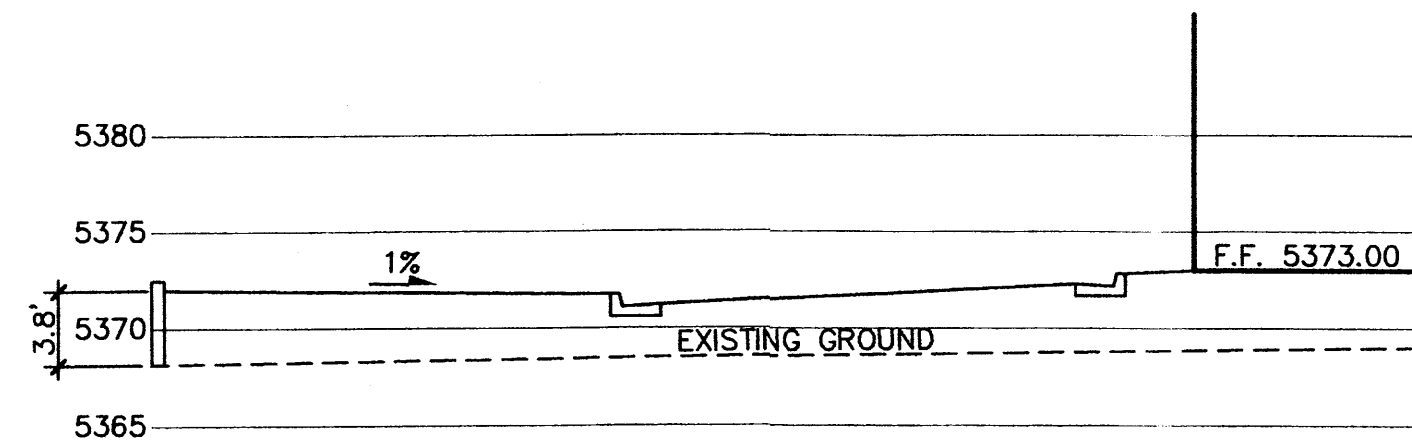
STREET TREES REQUIRED: 4  
STREET TREES PROVIDED: 9

**LANDSCAPE PLAN**  
**GUARDIAN SELF STORAGE**

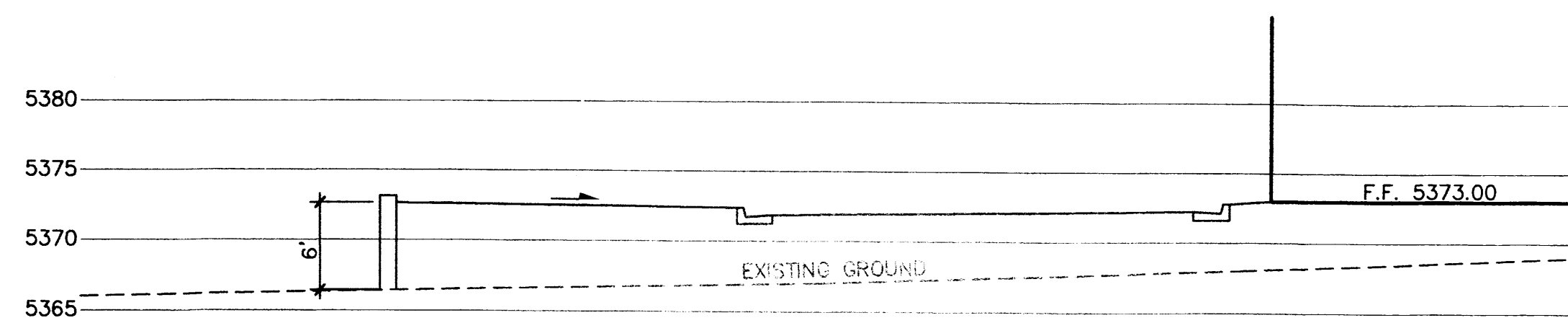
Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street NW  
Albuquerque, NM 87102

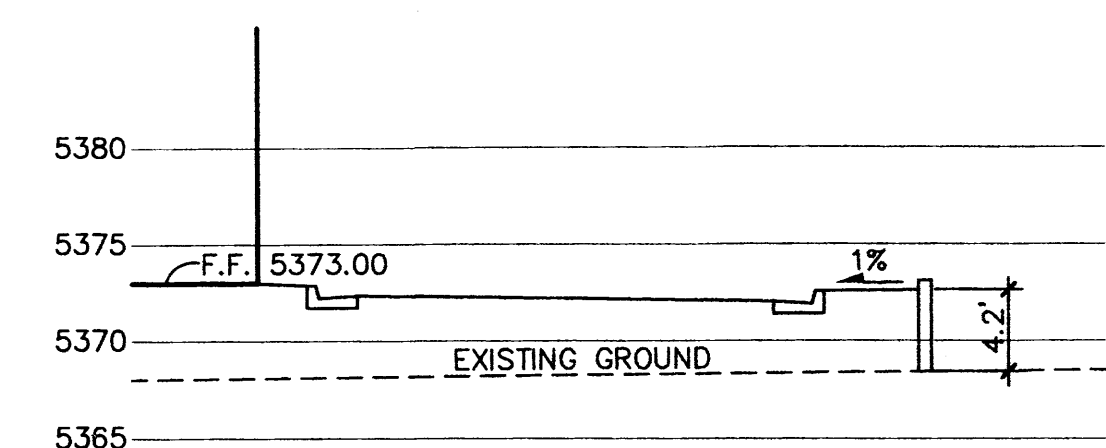




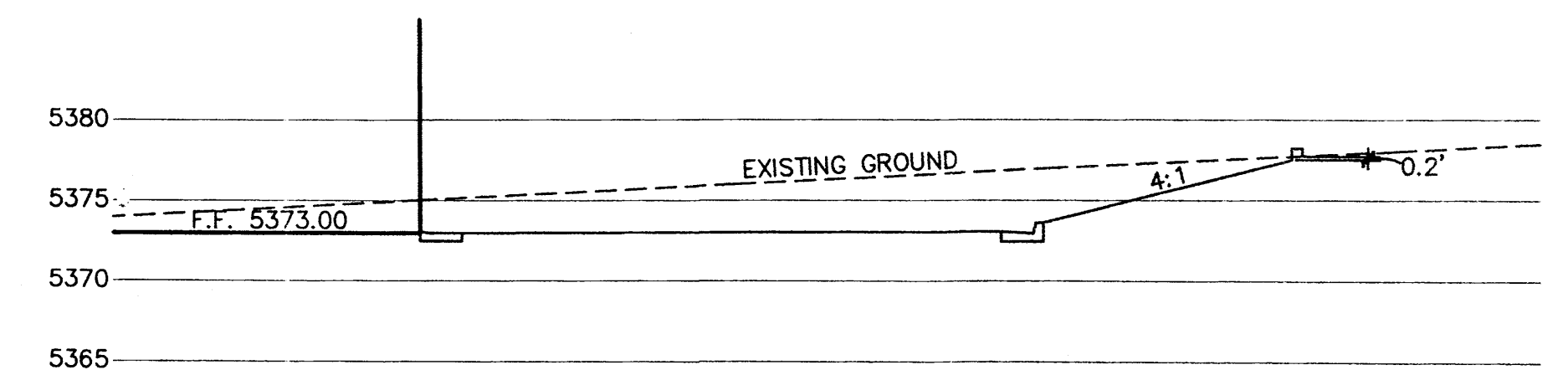
SECTION A  
SCALE 1"=10'



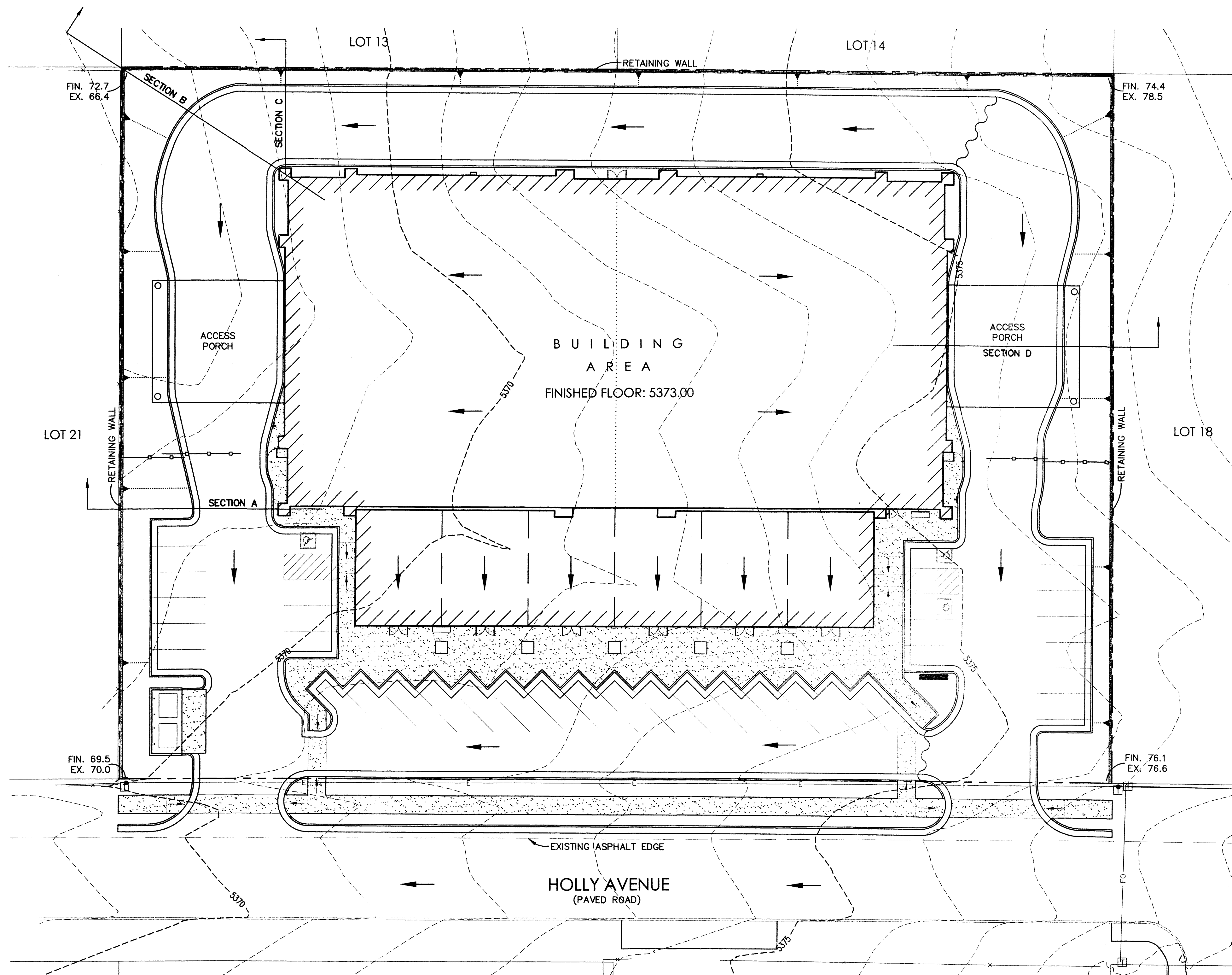
SECTION B  
SCALE 1"=10'



SECTION C  
SCALE 1"=10'



SECTION D  
SCALE 1"=10'



GRADING & DRAINAGE PLAN

**DRAINAGE PLAN**

THE SUBJECT PROPERTY IS LOCATED ON HOLLY AVENUE BETWEEN WYOMING BLVD. AND LOUISIANA BLVD. ON LOTS 19 AND 20, BLOCK 9, OF NORTH ALBUQUERQUE ACRES, ON ZONE ATLAS PAGE C-19-Z. THE PLANNED IMPROVEMENTS TO THE PROPERTY INCLUDE THE CONSTRUCTION OF A NEW CLIMATE CONTROLLED STORAGE FACILITY. AS SHOWN ON PANEL 35001C0141G OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, DATED SEPTEMBER 26, 2008, THIS SITE DOES NOT LIE WITHIN THE DESIGNATED 100 YEAR FLOOD HAZARD AREA.

THIS SITE IS LOCATED WITHIN THE DOMINGO BACA DRAINAGE AREA AND NORTH ALBUQUERQUE ACRES DRAINAGE MANAGEMENT PLAN. THE SITE GENERALLY FLOWS FROM THE EAST TO THE WEST. THERE ARE NO OFFSITE FLOWS THAT ENTER THIS SITE FROM THE EAST DUE TO THE CONSTRUCTION OF A DEVELOPMENT DIRECTLY TO THE EAST.

THE ENTIRE POST-DEVELOPED DISCHARGE WILL BE RELEASED ONTO HOLLY AVENUE.

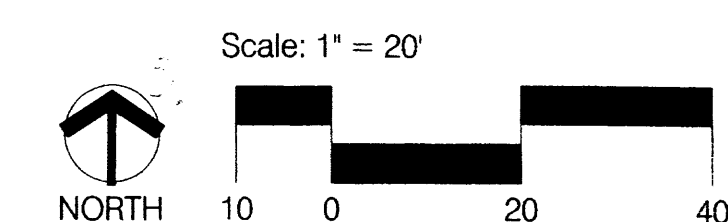
**LEGEND**

- RETAINING WALL
- FENCE
- SIDEWALK
- CURB AND GUTTER
- FLOW DIRECTION ARROW
- WATERBLOCK (HIGH POINT)
- SLOPE INDICATOR (SLOPE VARIES)

**CONCEPTUAL GRADING AND DRAINAGE PLAN  
GUARDIAN SELF STORAGE**

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
**HUITT-ZOLIARS**  
6501 Americas Parkway NE, Suite 550  
Albuquerque, NM 87110



JUNE 17, 2012

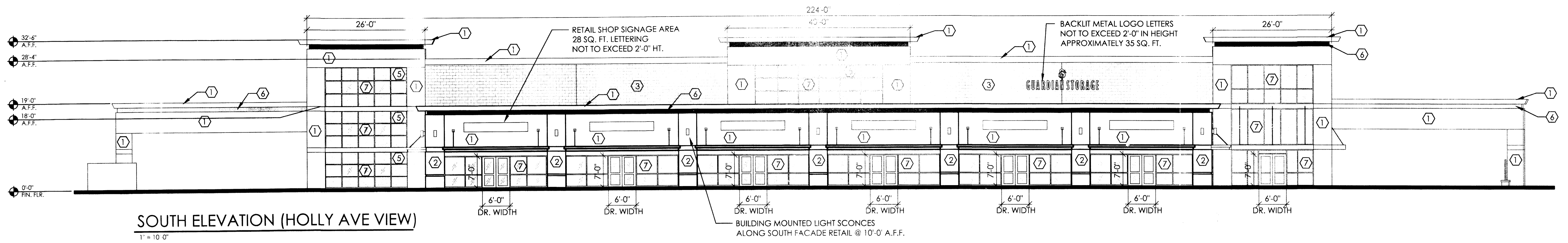


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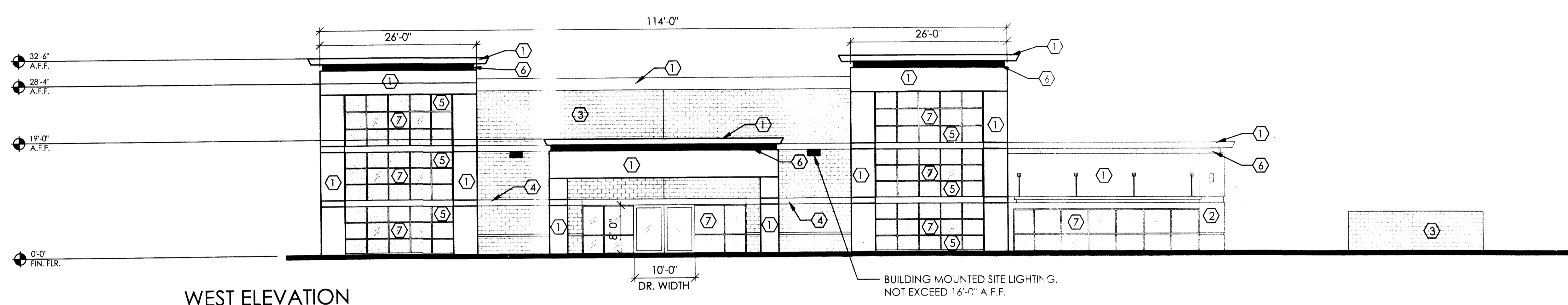






**SOUTH ELEVATION (HOLLY AVE VIEW)**

1" = 10'-0"

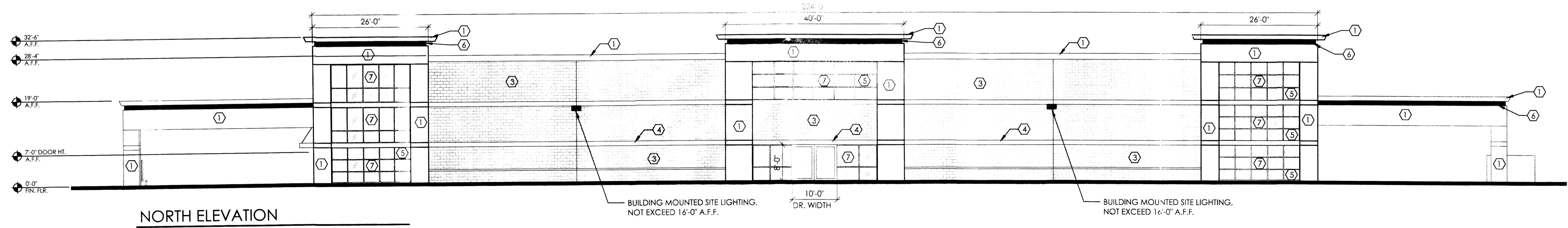


**WEST ELEVATION**

1" = 10'-0"

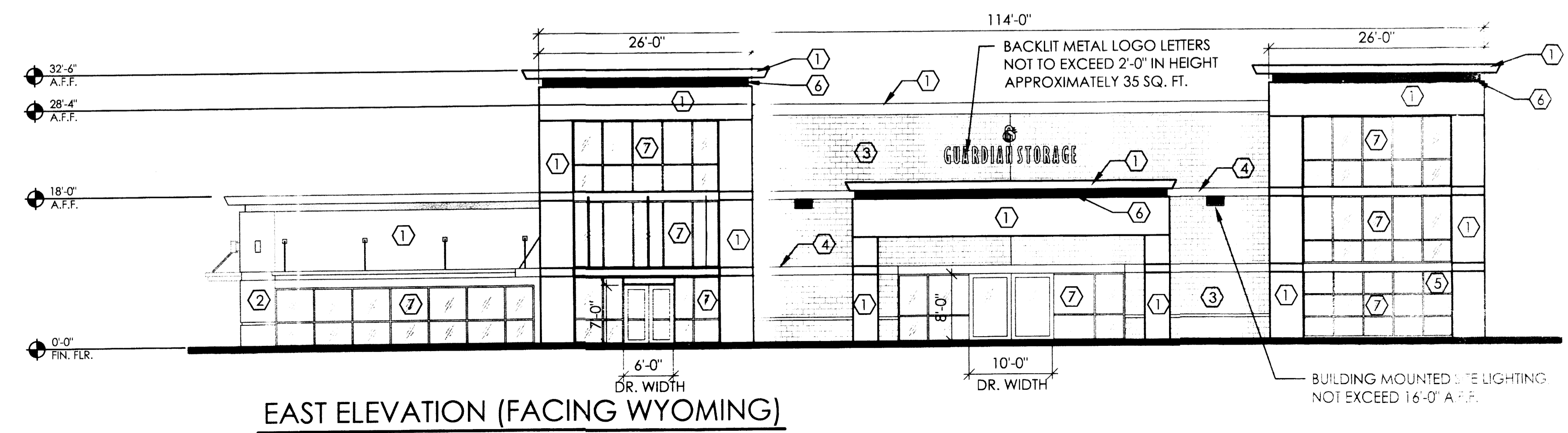
NOTE: PERIMETER FENCE NOT SHOWN FOR CLARITY REFER TO SITE PLAN FOR SIZE AND LOCATION.

- FINISH MATERIAL KEY NOTE LEGEND:**
- ① LIGHT BROWN STUCCO FINISH
  - ② DARK BROWN STUCCO FINISH
  - ③ DARK BROWN SPLIT-FACE CMU
  - ④ LIGHT BROWN SMOOTH-FACE CMU
  - ⑤ LIGHT BROWN SMOOTH PAINT FINISH
  - ⑥ FOREST GREEN ACCENT BAND
  - ⑦ GLAZING WITH BLACK METAL STOREFRONT



**NORTH ELEVATION**

1" = 10'-0"



**EAST ELEVATION (FACING WYOMING)**

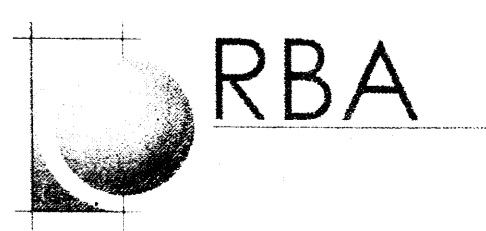
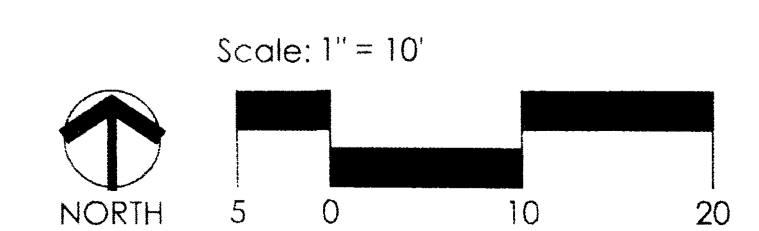
1" = 10'-0"

## ARCHITECTURAL ELEVATIONS GUARDIAN SELF STORAGE

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Rick Bennett Architects  
1104 Park Ave. SW  
Albuquerque, NM 87102

REVISION DATE:  
JUNE 7, 2012





**PLAT OF  
LOT 19-A, BLOCK 9  
NORTH ALBUQUERQUE ACRES  
UNIT 2 TRACT 3  
ELENA GALLEGOS LAND GRANT  
PROJECTED SEC. 18, T. 11 N., R. 4 E  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY 2012  
SHEET 1 OF 2**

**DISCLOSURE STATEMENT**

THE PURPOSE OF THIS PLAT IS TO COMBINE TWO (2) EXISTING LOTS INTO ONE (1) NEW LOT, GRANT ANY EASEMENTS, AND DEDICATE RIGHT OF WAY TO CITY OF ALBUQUERQUE AS SHOWN HEREON.

CITY APPROVALS: PROJECT NO.: 1009245 APPLICATION NO.

<i>[Signature]</i>	7-20-12
CITY SURVEYOR	DATE
<i>[Signature]</i>	08-22-12
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	8-22-12
PARKS & RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	08/22/12
A.B.C.W.U.A.	DATE
<i>[Signature]</i>	8-22-12
A.M.A.F.C.A.	DATE
<i>[Signature]</i>	8-22-12
CITY ENGINEER	DATE
<i>[Signature]</i>	9-24-12
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

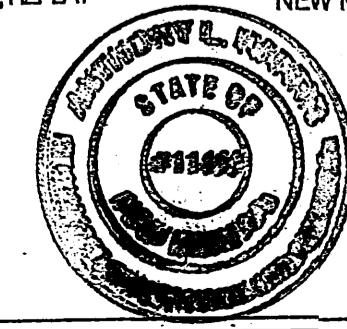
**APPROVALS**

<i>[Signature]</i>	9-19-12
PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM)	DATE
<i>[Signature]</i>	9-20-12
QWEST CORPORATION D/B/A CENTURY LINK QC	DATE
<i>[Signature]</i>	9-19-12
COMCAST CABLE	DATE
<i>[Signature]</i>	9/19/2012
NEW MEXICO GAS COMPANY (NMGC)	DATE

**SURVEYOR'S CERTIFICATION**

I, ANTHONY L. HARRIS, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

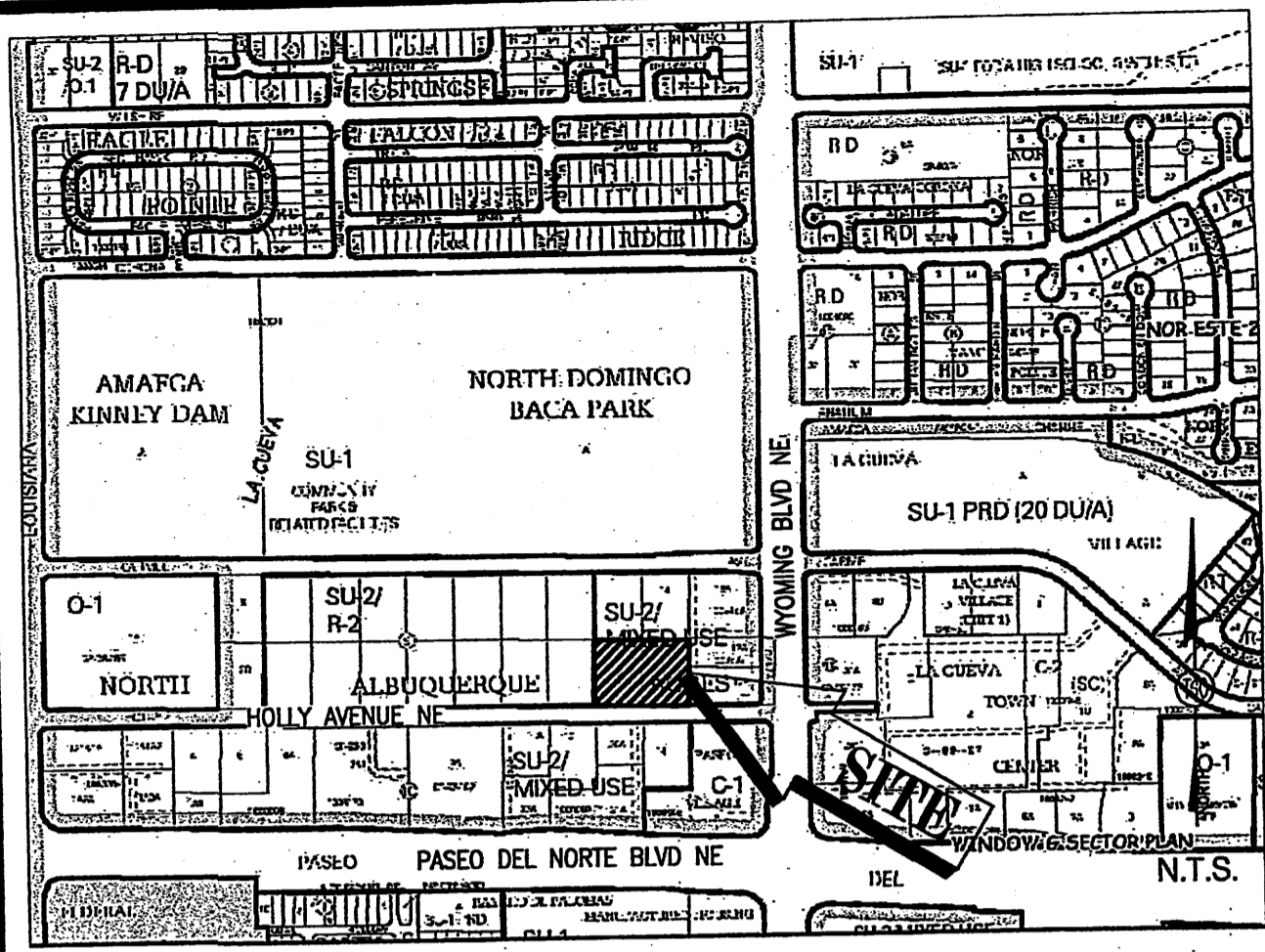
*[Signature]* 7-19-12  
ANTHONY L. HARRIS  
NEW MEXICO PROFESSIONAL SURVEYOR, 11463  
DATE



**THE SURVEY OFFICE, LLC**

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0305  
87102

Lot 19A



Vicinity Map ZONE ATLAS: C-19-Z

**SUBDIVISION DATA / NOTES**

- PLAT WAS COMPILED USING EXISTING RECORD DATA, ACTUAL FIELD SURVEY AND PLAT OF NORTH ALBUQUERQUE ACRES BLOCK 9 UNIT 2 TRACT 3, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D1, PAGE 20.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ABQ CONTROL MONUMENT HEAVEN, AS SHOWN HEREON.
- DISTANCES ARE GROUND DISTANCES.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF NORTH ALBUQUERQUE ACRES BLOCK 9 TRACT 2 UNIT 3, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931 IN BOOK D1, PAGE 20.
- GROSS AREA: 1.9952 ACRES
- GROSS AREA OF RIGHT OF WAY DEDICATION: 0.2273 ACRE
- NUMBER OF EXISTING LOTS: 2
- NUMBER OF TRACTS CREATED: 1
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE TRACTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENTS SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

**LEGAL DESCRIPTION**

LOTS NUMBERED 19 AND 20 BLOCK 9 OF NORTH ALBUQUERQUE ACRES TRACT 3 UNIT 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931, IN PLAT BOOK D1, PAGE 20 AND MORE PARTICULARLY AS FOLLOWS;

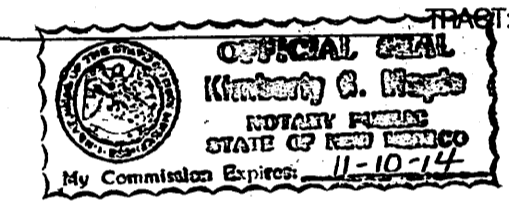
BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING THE THE SOUTHWEST CORNER OF SAID LOT 20 AND BEING A POINT ON THE CENTERLINE OF HOLLY AVENUE; WHENCE CITY OF ALBUQUERQUE CONTROL STATION "HEAVEN" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) NORTHING = 1518799.515 AND EASTING = 1547297.145 BEARS SOUTH 14°29'12" EAST, A DISTANCE OF 614.67 FEET RUNNING;

THENCE NORTH 00°15'05" EAST, 263.73 FEET TO THE NORTHWEST CORNER;  
THENCE NORTH 90°00'00" EAST A DISTANCE OF 328.98 FEET TO THE NORTHEAST CORNER;  
THENCE SOUTH 00°07'14" WEST A DISTANCE OF 263.72 FEET TO THE SOUTHEAST CORNER;  
BEING A POINT ON THE CENTERLINE OF HOLLY AVENUE;  
THENCE SOUTH 90°00'00" WEST, ALONG THE CENTERLINE OF HOLLY AVENUE, A DISTANCE OF 329.88 FEET TO THE SOUTHWEST CORNER AND POINT OF BEGINNING AND CONTAINING 1.9952 ACRES MORE OR LESS.

**FREE CONSENT**

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT ANY ADDITIONAL EASEMENT(S) AS SHOWN AND DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

OWNER(S) SIGNATURE: *Jabeen Vagh* DATE: 7/19/12  
OWNER(S) PRINT NAME: JABEEN VAGH  
ADDRESS:  
ACKNOWLEDGMENT  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF July, 2012  
BY: *[Signatures]*  
MY COMMISSION EXPIRES: 11-10-14  
*[Notary Signature]*  
NOTARY PUBLIC



**PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:**

- A PUBLIC SERVICE COMPANY OF NEW MEXICO, (PNM) A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QWEST CORPORATION D/B/A CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT-OF-WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

**DISCLAIMER**

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: 101906420600130213 + 101906422106730214

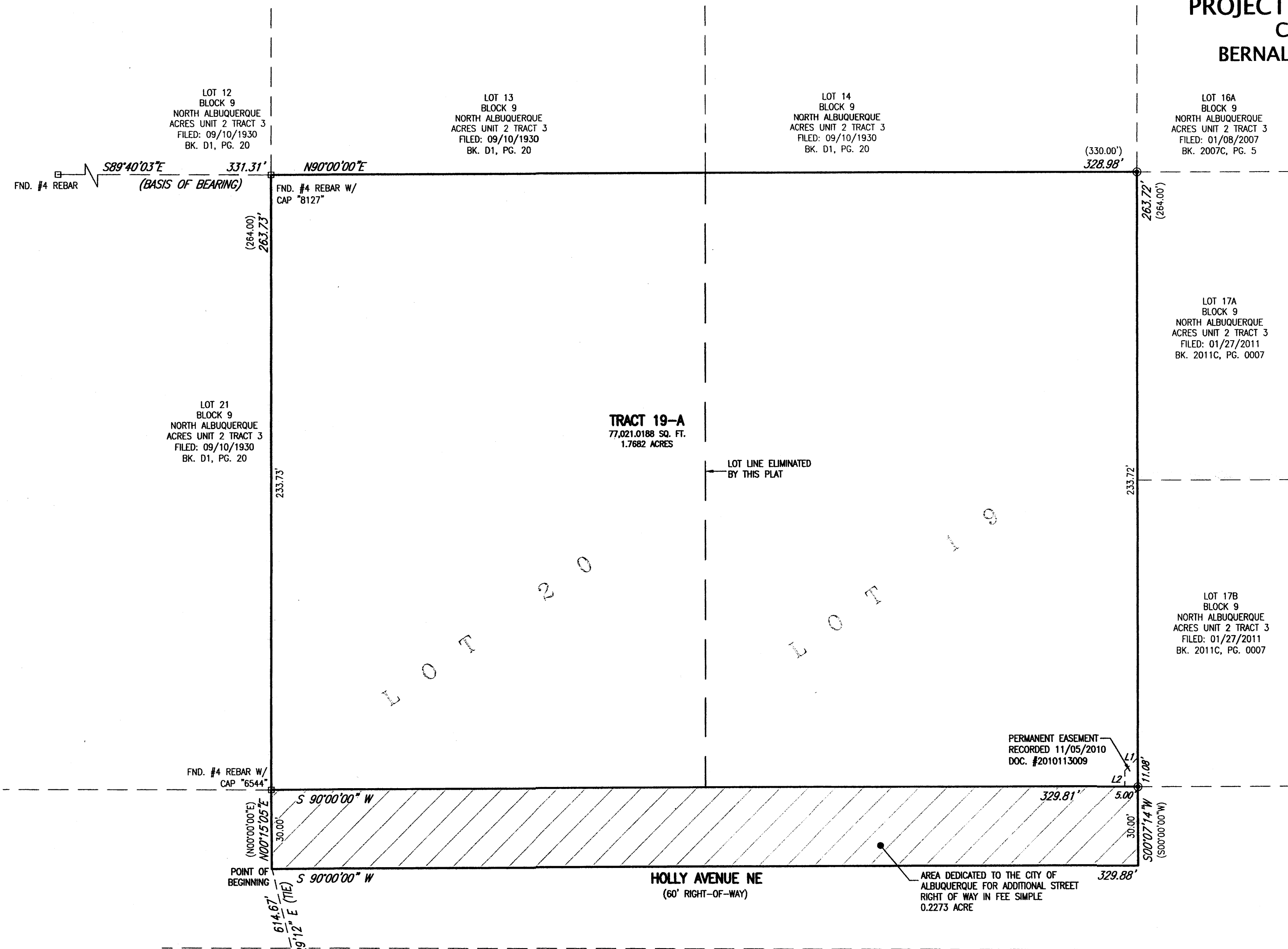
PROPERTY OWNER OF RECORD:

*[Signature]*

BERNALILLO COUNTY TREASURERS OFFICE:



**PLAT OF  
 LOT 19-A, BLOCK 9  
 NORTH ALBUQUERQUE ACRES  
 UNIT 2 TRACT 3  
 ELENA GALLEGOS LAND GRANT  
 PROJECTED SEC. 18, T. 11N., R. 4E  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JULY 2012  
 SHEET 1 OF 2**



LOT 12  
 BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES UNIT 2 TRACT 3  
 FILED: 09/10/1930  
 BK. D1, PG. 20

LOT 13  
 BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES UNIT 2 TRACT 3  
 FILED: 09/10/1930  
 BK. D1, PG. 20

LOT 14  
 BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES UNIT 2 TRACT 3  
 FILED: 09/10/1930  
 BK. D1, PG. 20

LOT 16A  
 BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES UNIT 2 TRACT 3  
 FILED: 01/08/2007  
 BK. 2007C, PG. 5

LOT 21  
 BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES UNIT 2 TRACT 3  
 FILED: 09/10/1930  
 BK. D1, PG. 20

LOT 17A  
 BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES UNIT 2 TRACT 3  
 FILED: 01/27/2011  
 BK. 2011C, PG. 0007

LOT 17B  
 BLOCK 9  
 NORTH ALBUQUERQUE  
 ACRES UNIT 2 TRACT 3  
 FILED: 01/27/2011  
 BK. 2011C, PG. 0007

**TRACT 19-A**  
 77,021.0188 SQ. FT.  
 1.7682 ACRES

LOT LINE ELIMINATED  
 BY THIS PLAT

PERMANENT EASEMENT  
 RECORDED 11/05/2010  
 DOC. #2010113009

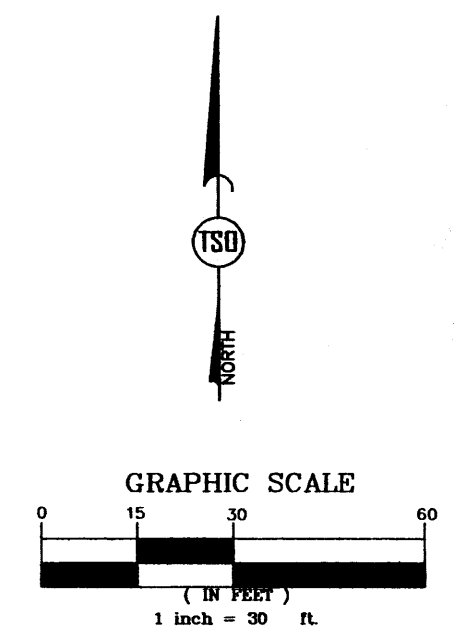
AREA DEDICATED TO THE CITY OF  
 ALBUQUERQUE FOR ADDITIONAL STREET  
 RIGHT OF WAY IN FEE SIMPLE  
 0.2273 ACRE

FND. #4 REBAR W/  
 CAP "6544"  
 (N00°00'00"E)  
 (N00°15'05"E)  
 30.00'

POINT OF  
 BEGINNING  
 S 90°00'00" W  
 S 14°29'12" E (TIE)  
 614.67'

STATION: HEAVEN  
 NORTHING: 1518799.515  
 EASTING: 1547297.145  
 GROUND TO GRID=0.999655810  
 DELTA ALPHA = -0\_10\_46.22  
 NEW MEXICO STATE PLANE  
 COORDINATE SYSTEM  
 CENTRAL ZONE  
 NAD 83

LINE	LENGTH	BEARING
L1	7.07'	N89°39'23"E
L2	6.08'	N00°20'37"E



PROJECT NO. North Albuquerque Acres Unit 3 Tract 2  
 DRAWN BY: JMT  
 ZONE ATLAS:C-19-Z

- MONUMENT LEGEND**
- ⊕ - FOUND CONTROL STATION AS NOTED
  - ⊞ - FOUND MONUMENT AS NOTED
  - ⊙ - SET 1/2" REBAR w/ CAP STAMPED "PS 11463" UNLESS OTHERWISE NOTED

**THE SURVEY OFFICE, LLC**  
 333 LOMAS BLVD., N.E. PHONE: (505) 998-0303  
 ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0305  
 87102

LOT\_19-A.DWG