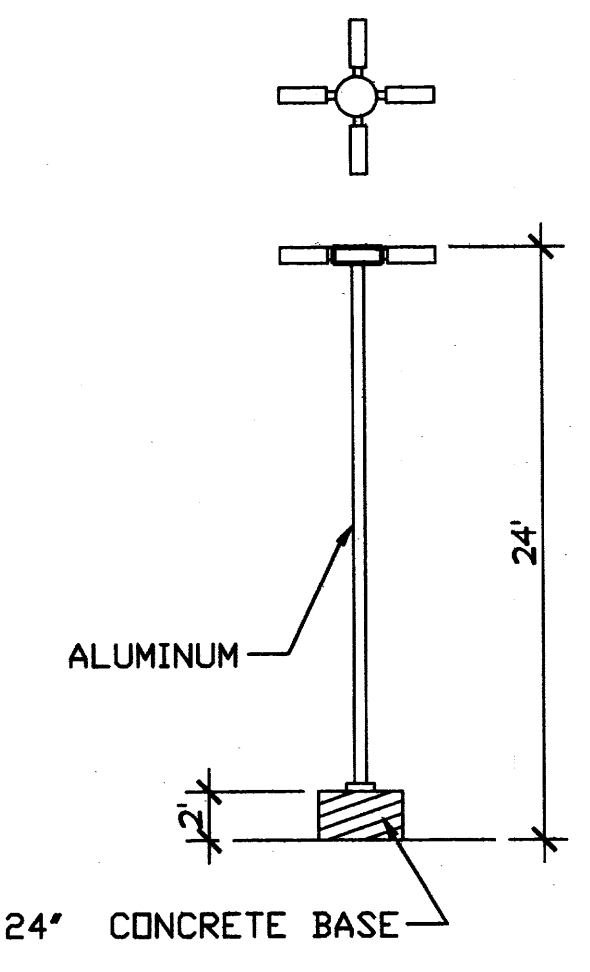


2 LIGHT POLE
1/4" = 1'-0"



PROJECT NUMBER:
CASE NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

IS AN INFRASTRUCTURE LIST REQUIRED () YES () NO. IF YES, THEN A SET OF APPROVED DRG WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

| | | |
|---|---|------|
| SIGNATURE BLOCK | TRAFFIC ENGINEER, TRANSPORTATION DIVISION | DATE |
| | PUBLIC WORKS, WATER UTILITIES DIVISION | DATE |
| | PARKS & RECREATION DEPARTMENT | DATE |
| | CITY ENGINEER, ENGINEERING DIVISION/AMARCA | DATE |
| | ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | DATE |
| | SOLID WASTE DEPARTMENT | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT, ALBUQUERQUE | DATE | |

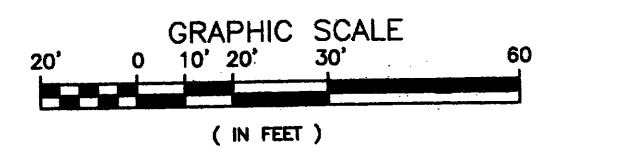
AND PLANNING DEPARTMENT
APPROVED FOR PHASE I
APPROVED FOR PHASE II
SIGNATURE & DATE

RADIUS LEGEND

| | | | |
|-------------|--------------|--------------|---------------|
| ① 2' RADIUS | ④ 5' RADIUS | ⑦ 20' RADIUS | ⑩ 50' RADIUS |
| ② 3' RADIUS | ⑤ 10' RADIUS | ⑧ 25' RADIUS | ⑪ 100' RADIUS |
| ③ 4' RADIUS | ⑥ 15' RADIUS | ⑨ 35' RADIUS | ⑫ 150' RADIUS |

SITE DEVELOPMENT PLAN

1"=30' (FOR BUILDING PERMIT PHASE III)



LEGAL DESCRIPTION
All of Lots numbered Fourteen (14), Fifteen (15), Sixteen (16), Seventeen (17), Eighteen (18) and Nineteen (19) together with portions of Lots Numbered Thirteen (13), Twenty (20) and Twenty-one (21), in Block numbered Eight (8), Tract A, Unit B, NORTH ALBUQUERQUE, ACRES, Albuquerque, New Mexico, as the same are shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130.

GENERAL NOTES:
LIGHTING: LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1,000 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

DESIGN CRITERIA - BLDG. E

IBC CODE DESIGN DATA

| | |
|-----------------------|--------------------------------------|
| OCCUPANCY GROUP | = B,M AND S-OFFICE, RETAIL & STORAGE |
| TYPE OF CONSTRUCTION | = VB (SPRINKLERED) |
| AREA OF BUILDING | |
| OFFICE/RETAIL | = 11,323 S.F. |
| WAREHOUSE | = 28,375 S.F. |
| OCCUPANT LOAD | |
| OFFICE/RETAIL | 11,323 SF/ 200 = 56 OCC. |
| WAREHOUSE | 28,375 SF/500 = 56.75 OCC. |
| TOTAL OCCUPANT LOAD | = 113 |
| SEISMIC ZONE | = 2B |
| SOIL BEARING CAPACITY | = 1,500 PSI |
| CONCRETE STRENGTH | = 3,000 PSI |
| STRESS VALUES | |
| | = LUMBER: Fb = 970 MIN. |
| | = STEEL: 50,000 PSI. |
| | = SPEED = 75 MPH |
| | = 20 PSF LL, 15 PSF DL |
| | = SLAB ON GRADE |
| | = N/A |

WIND DESIGN LOAD
ROOF DESIGN LOAD
FLOOR DESIGN LOAD
CORRIDOR DESIGN LOAD

ZONING DESIGN DATA

- ZONING = SU-2 FOR IP
- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
 - LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
 - IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.
B. SHRUB PLANTING: DRIP IRRIGATION W/ 6-1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVB, PRESSURE REGULATOR, AND FITTER.
 - PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.
 - NEW HYDRANTS (IF REQUIRED) TO BE INSTALLED SHALL BE MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION

1 MONUMENT SIGN
1/4" = 1'-0"

H+W
architecture llc

2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.761.8238
fax 505.508.4478
email: hplu@comcast.net

MATTRESS FIRM

DISTRIBUTION CENTER
SHOWROOM
CORPORATE OFFICES
ALBUQUERQUE, NM

Sheet Title:

SITE PLAN

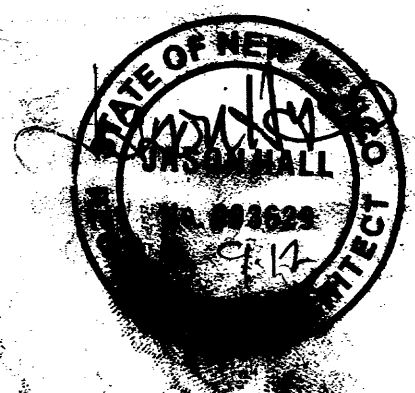
Date: AUGUST 9, 2012

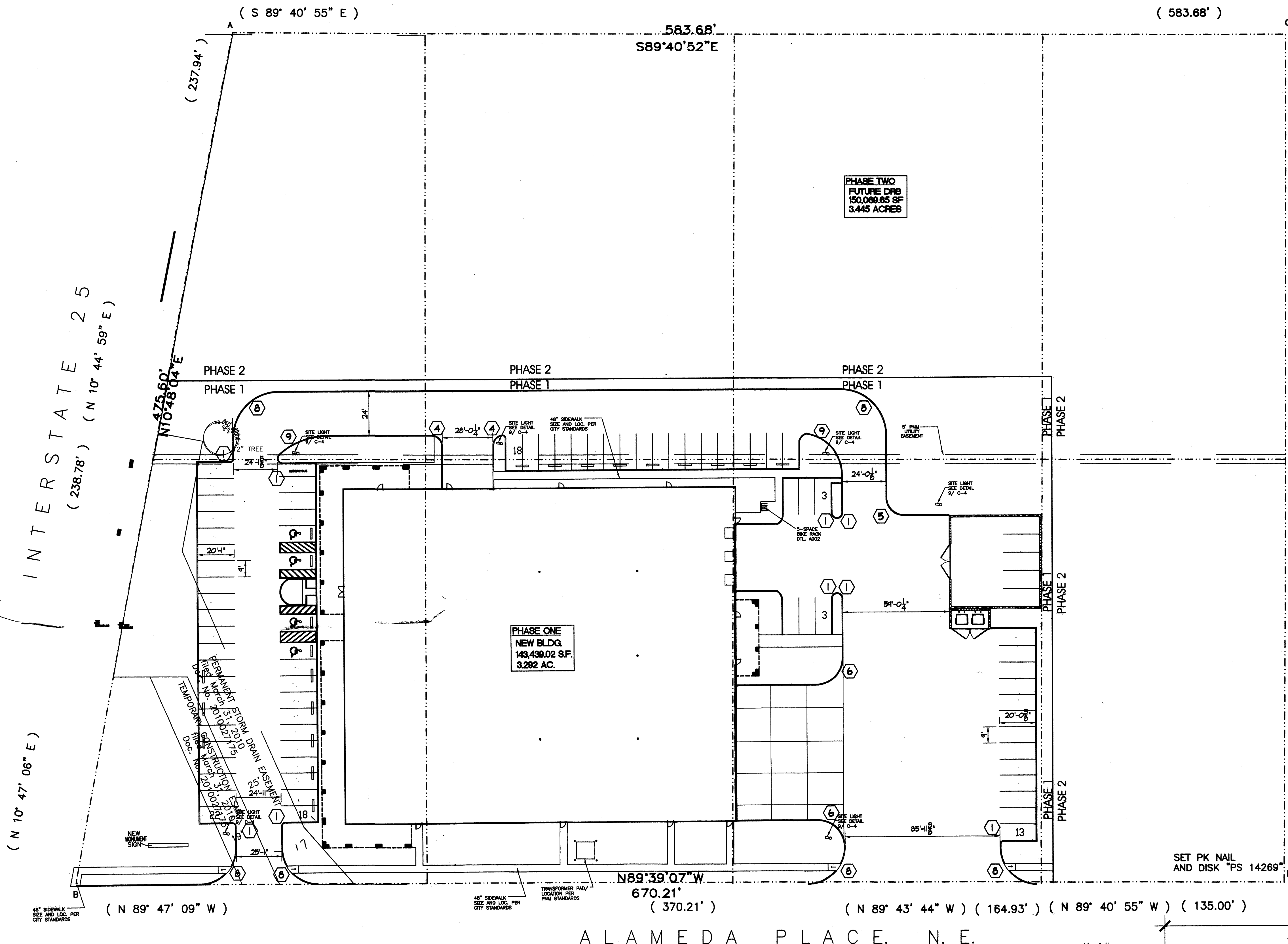
Drawn: S.T.WILDER

Checked: S.T.WILDER

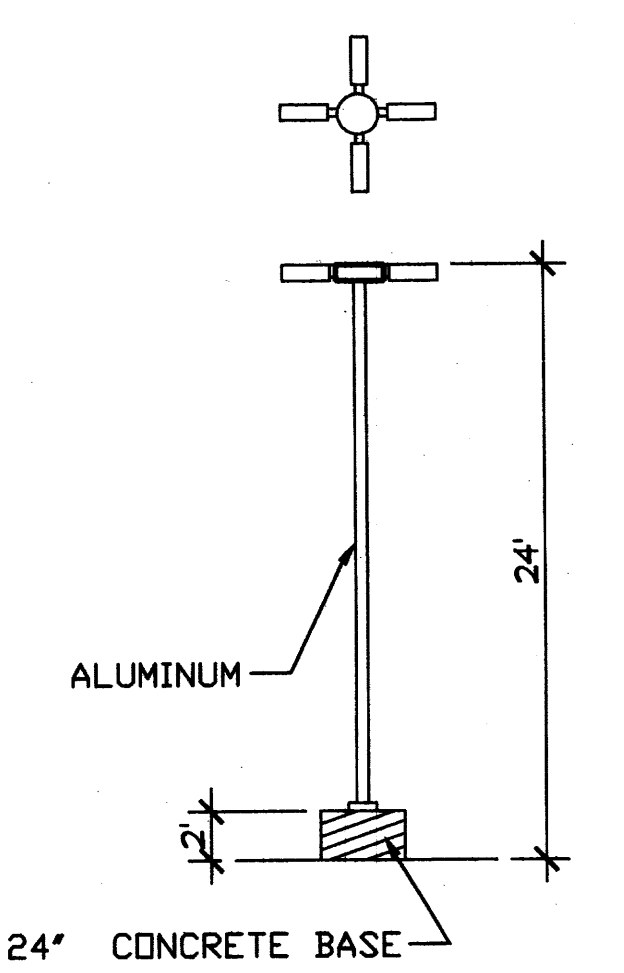
JOB NUMBER: H12003

C001





2 LIGHT POLE
1/4" = 1'-0"



SIGNATURE BLOCK

PROJECT NUMBER:
CASE NUMBER:
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.
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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

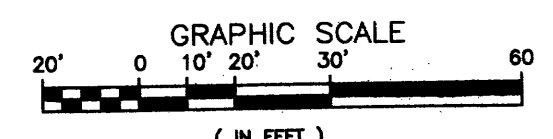
| | |
|---|------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | DATE |
| PUBLIC WORKS, WATER UTILITIES DIVISION | DATE |
| PARKS & RECREATION DEPARTMENT | DATE |
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| ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | DATE |
| SOLID WASTE DEPARTMENT | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT, ALBUQUERQUE | DATE |

RADIUS LEGEND

| | | | |
|-------------|--------------|--------------|---------------|
| ① 2' RADIUS | ④ 5' RADIUS | ⑦ 20' RADIUS | ⑩ 50' RADIUS |
| ② 3' RADIUS | ⑤ 10' RADIUS | ⑧ 25' RADIUS | ⑪ 100' RADIUS |
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SITE DEVELOPMENT PLAN

1"=30' (FOR BUILDING PERMIT PHASE III)



LEGAL DESCRIPTION
All of Lots numbered Fourteen (14), Fifteen (15), Sixteen (16), Seventeen (17), Eighteen (18) and Nineteen (19) together with portions of Lots Numbered Thirteen (13), Twenty (20) and Twenty-one (21), in Block numbered Eight (8), Tract A, Unit B, NORTH ALBUQUERQUE, ACRES, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130.

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LIGHTING: LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1,000 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

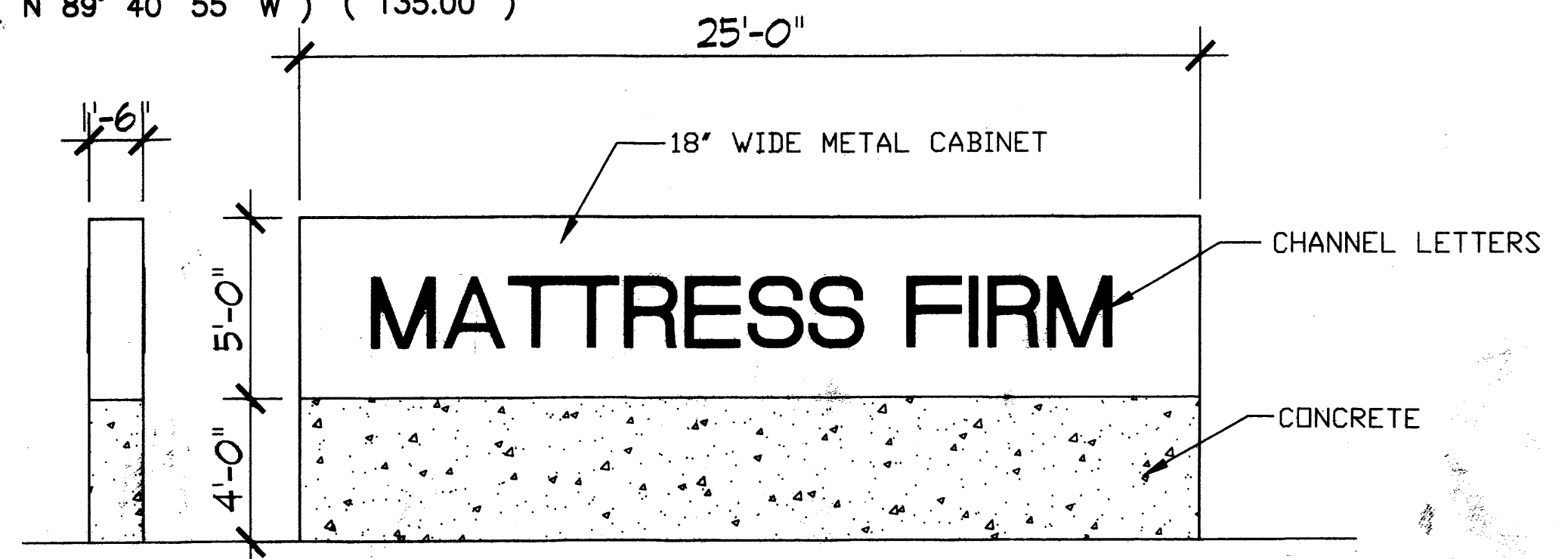
DESIGN CRITERIA - BLDG. E

IBC CODE DESIGN DATA

| | |
|--|--------------------------------------|
| OCCUPANCY GROUP | = B,M AND S-OFFICE, RETAIL & STORAGE |
| TYPE OF CONSTRUCTION | = VB (SPRINKLERED) |
| AREA OF BUILDING | = 11,323 S.F. |
| OFFICE/RETAIL | = 28,375 S.F. |
| WAREHOUSE | = 28,375 S.F. |
| OCCUPANT LOAD | |
| OFFICE/RETAIL 11,323 SF/ 200 = 56 OCC. | |
| WAREHOUSE 28,375 SF/500 = 56.75 OCC. | |
| TOTAL OCCUPANT LOAD = 113 | |
| SEISMIC ZONE | = 2B |
| SOIL BEARING CAPACITY | = 1,500 PSI |
| CONCRETE STRENGTH | = 3,000 PSI |
| STRESS VALUES | |
| LUMBER: Fb = 970 MIN. | |
| STEEL: 50,000 PSI. | |
| SPEED = 75 MPH | |
| WIND DESIGN LOAD | = 20 PSF LL, 15 PSF DL |
| FLOOR DESIGN LOAD | = SLAB ON GRADE |
| CORRIDOR DESIGN LOAD | = N/A |

ZONING DESIGN DATA

- ZONING = SU-2 FOR IP
- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
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1 MONUMENT SIGN
1/4" = 1'-0"

H+W
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2200 Wilder Lane NW,
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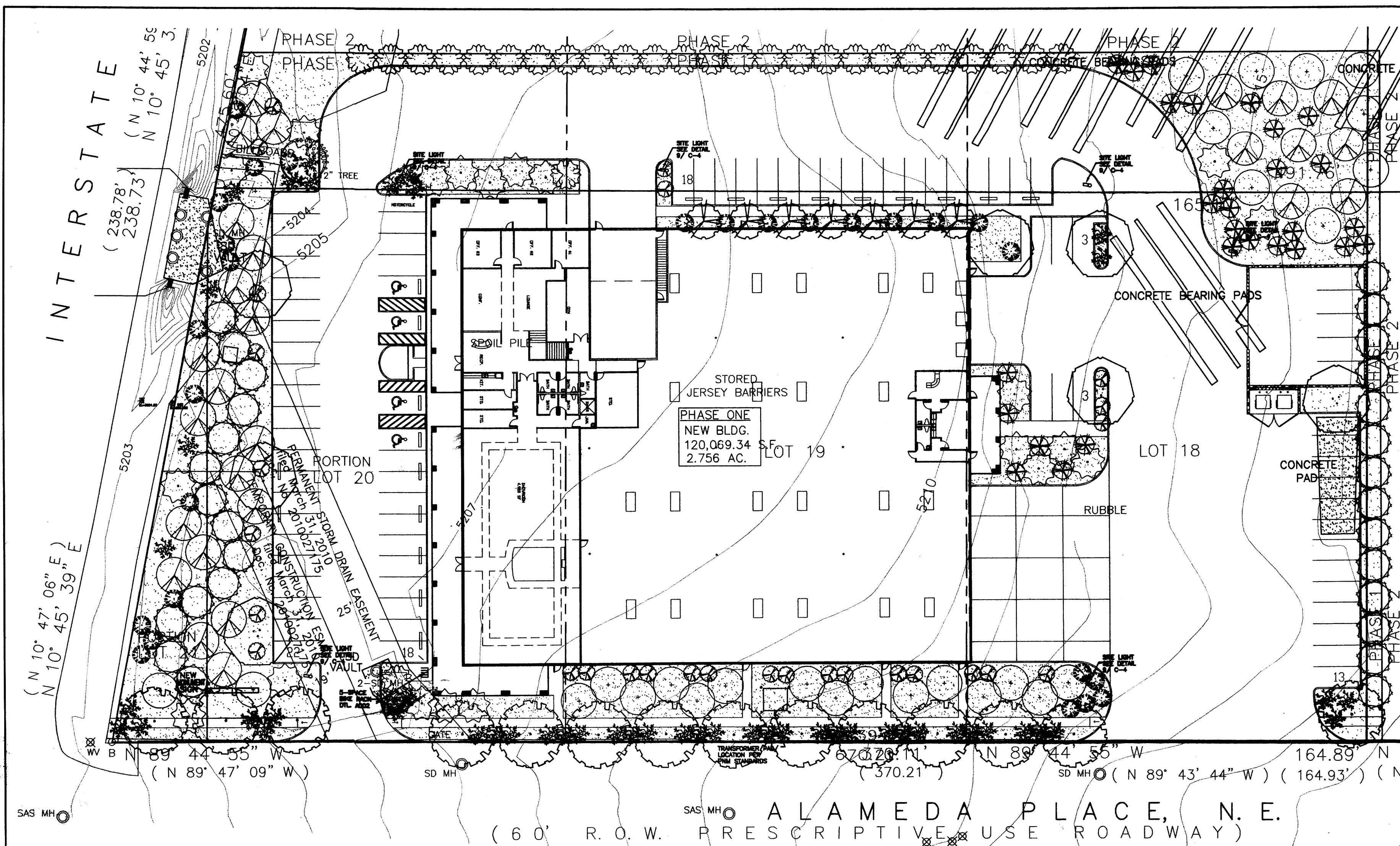
MATTRESS FIRM
DISTRIBUTION CENTER
SHOWROOM
CORPORATE OFFICES
ALBUQUERQUE, NM

Sheet Title:
SITE PLAN

Date: AUGUST 9, 2012
Drawn: S.T.WILDER
Checked: S.T.WILDER

JOB NUMBER: H12003

C001



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES**
 - CHITALPA 14
Chilopsis x Catalpa
2" Cal., 12'-14" inst./30' x 30' maturity
Water (M) Allergy (L) Osf
 - COMMON HACKBERRY 7
Celtis occidentalis
2" Cal., 12'-14" inst./40' x 40' maturity
Water (M) Allergy (L) Osf
- ORNAMENTAL TREES**
 - PURPLE-LEAF PLUM 7
Prunus cerasifera
1 1/2" Cal., 12'-12" inst./20' x 20x maturity
Water (M) Allergy (L) Osf
- LARGE SHRUBS**
FIFTEEN GAL.
 - DESERT WILLOW 28
Chilopsis linearis
15 Gal., 4'-10" inst./20' x 25' maturity
Water (L-) Allergy (L) 225sf
 - VITEX 27
Vitex agnus-castus
15 Gal., 4'-10" inst./20' x 20' maturity
Water (M) Allergy (L) 225sf
 - * WESTERN RED CEDAR 28
Thuja plicata Green Giant
15 Gal., 4'-10" inst./40' x 15' maturity
Water (M) Allergy (L) 225sf
 - NEW MEXICO OLIVE 27
Forestiera neomexicana
15 Gal., 4'-10" inst./15' x 15' maturity
Water (M) Allergy (L) 225sf
 - WASHINGTON HAWTHORN 21
Crataegus phaeopyrum
15 Gal., 4'-10" inst./25' x 25' maturity
Water (M+) Allergy (L) 500sf
- GROUNDCOVERS**
 - BUFFALO JUNIPER 51
Juniperus sibirica 'Buffalo'
5 Gal., 24"-4" inst./2' x 8' maturity
Water (L-) Allergy (L) 225sf
 - * TAM JUNIPER 27
Juniperus sibirica 'Tamariscifolia'
1 Gal., 6"-15" inst./4' x 15' maturity
Water (L-) Allergy (L) 225sf
 - WINTER JASMINE 28
Jasminum nudiflorum
1 Gal., 6"-15" inst./4' x 12' maturity
Water (L-) Allergy (L) 144sf
 - * HONEYSUCKLE 28
Lonicera japonica 'Halliana'
1 Gal., 6"-15" inst./4' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
- HARDSCAPES**
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.
Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

| | | |
|-------------------------------|-------------|-------------|
| Name of Street: ALAMEDA PLACE | Required 14 | Provided 14 |
|-------------------------------|-------------|-------------|

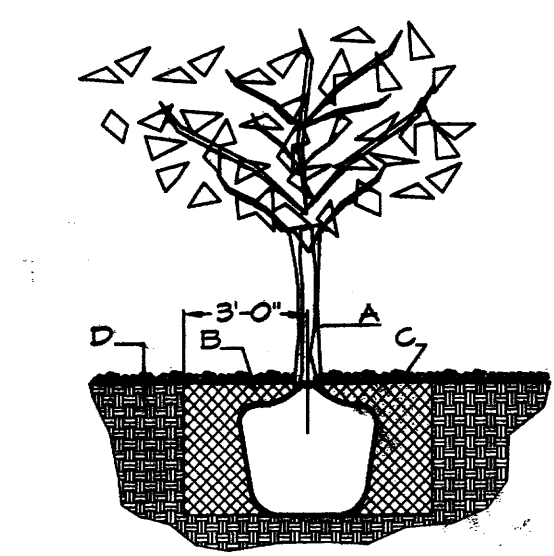
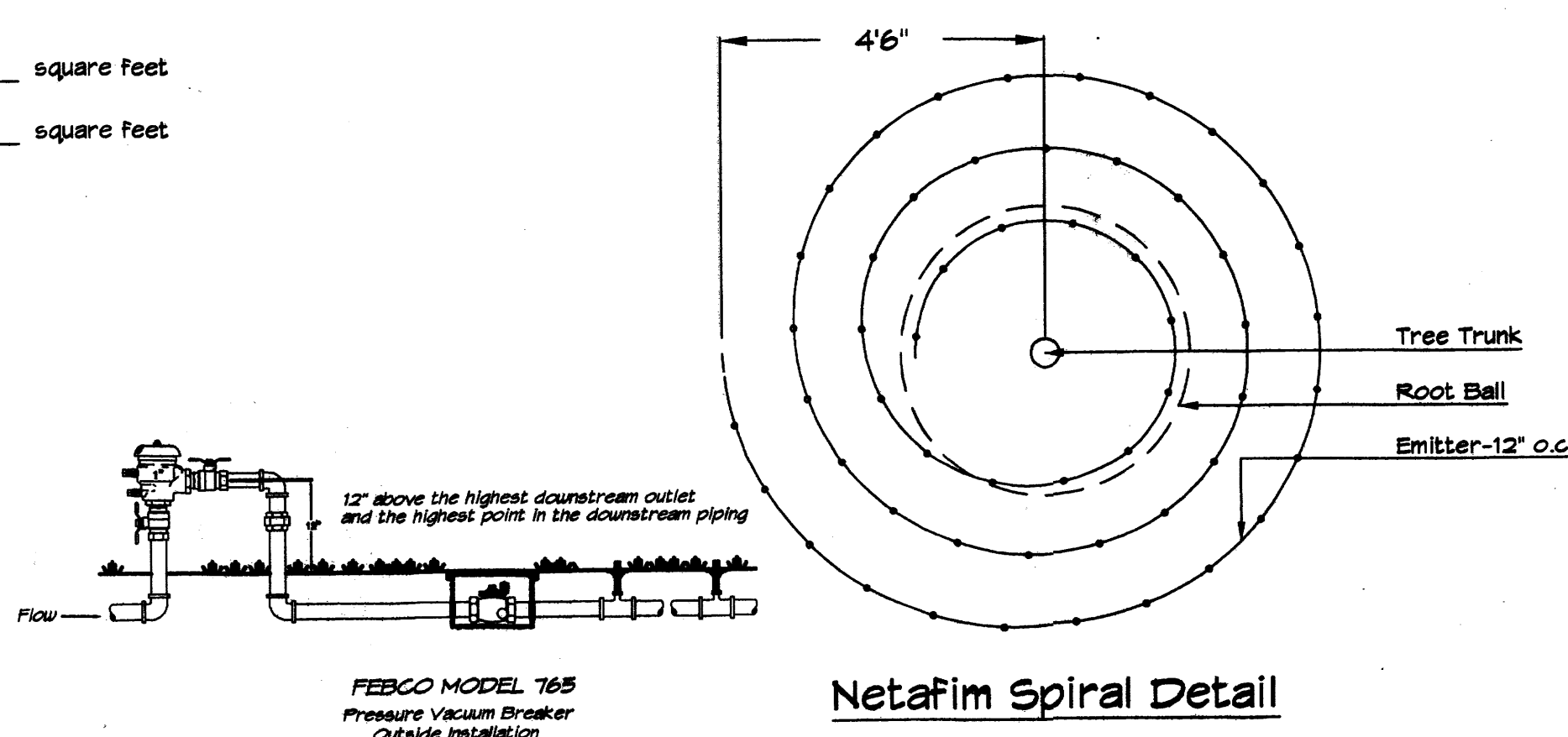
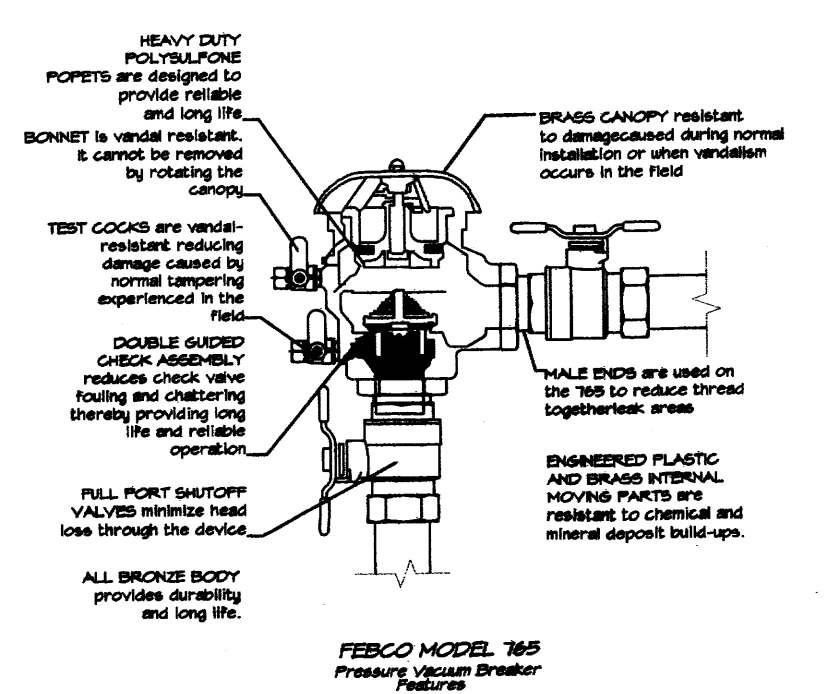
PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

| | | |
|----------------------------|------------|-------------------------|
| 1 Shade tree per 10 spaces | Required 7 | Provided 8 (1 EXISTING) |
|----------------------------|------------|-------------------------|

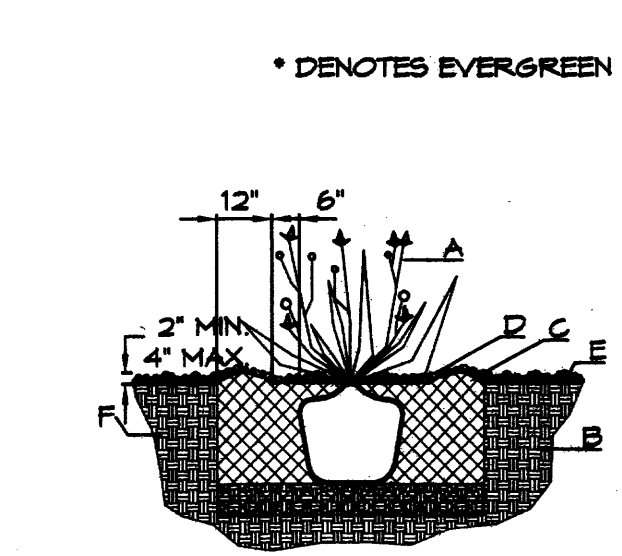
NOTE TO CLIENT:
Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, the Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE CALCULATIONS

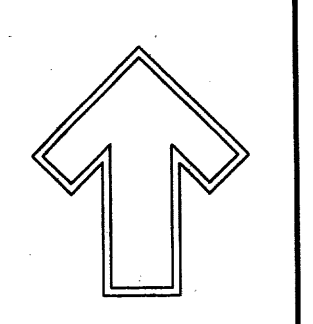
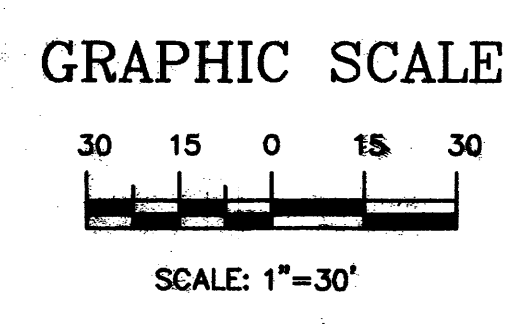
| | | |
|---|--------|-------------|
| TOTAL LOT AREA | 272424 | square feet |
| TOTAL BUILDINGS AREA | 56192 | square feet |
| NET LOT AREA | 216272 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 32440 | square feet |
| TOTAL BED PROVIDED | 37150 | square feet |
| GROUNDCOVER REQ. | 75% | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 27862 | square feet |
| TOTAL GROUNDCOVER PROVIDED | 30648 | square feet |
| TOTAL PONDING AREA | 0 | square feet |
| TOTAL SOD AREA (max. 20% of landscape required) | 0 | square feet |
| TOTAL NATIVE SEED AREA | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 37150 | square feet |



TREE PLANTING DETAIL
NTS
GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE HAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.



SHRUB PLANTING DETAIL
NTS
GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 888-9690
Fax (505) 888-7737
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

MATTESS FIRM
ALBUQUERQUE, NM
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. No part of this drawing may be reproduced or copied unless applicable fees have been paid or fee order placed.



DRAWN BY: CMJ
REVISION: 1/18-2-12
DATE: 7-28-12
SHEET #
L1 OF L1

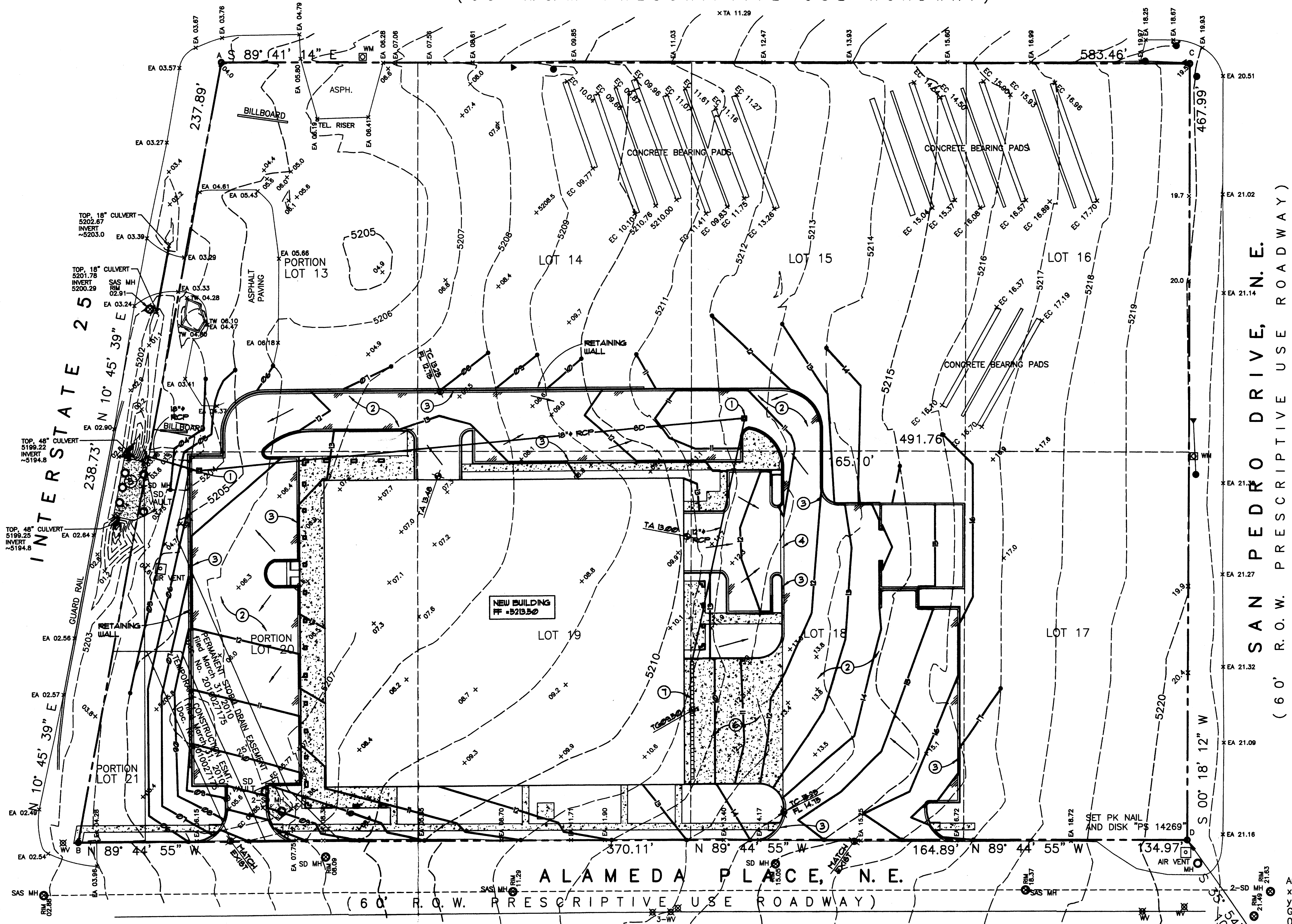
GLENDALE AVENUE, N.E.
(60' R.O.W. PRESCRIPTIVE USE ROADWAY)

LEGAL DESCRIPTION

ALL OF LOTS NUMBERED FOURTEEN (14), FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18) AND NINETEEN (19) TOGETHER WITH PORTIONS OF LOTS NUMBERED THIRTEEN (13), TWENTY (20) AND TWENTY-ONE (21), IN BLOCK NUMBERED EIGHT (8), TRACT A, UNIT B, NORTH ALBUQUERQUE, ACRES, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN VOLUME D, FOLIO 130.

HYDROLOGY CALCULATIONS

| PRECIPITATION ZONE 3 | | 1r | 6r | 24r | 4day | 10day |
|----------------------|--------------|----------------|-------|----------------|-----------------|--------------------|
| DESIGN STORM: (IN) | | 2.14 | 2.60 | 3.10 | 3.95 | 4.90 |
| EXISTING CONDITIONS | AREA | F ₆ | Q | V ₆ | V ₂₄ | V _{10DAY} |
| TRIBUT (ACRE) | % | (CF6/AC) | (CF6) | (CF) | (CF) | (CF) |
| A | 0.000 | 0% | 0.66 | 1.81 | 0.00 | 0 |
| B | 0.300 | 7% | 0.32 | 2.60 | 1.30 | 1.670 |
| C | 6.289 | 93% | 1.29 | 3.45 | 21.68 | 29,431 |
| D | 0.010 | 0% | 2.36 | 5.02 | 0.25 | 0.6 |
| TOTALS | 6.795 | 100% | | | 23.03 | 31,064 |
| TOTALS | 6.795 | 100% | | | 27.00 | 40,890 |

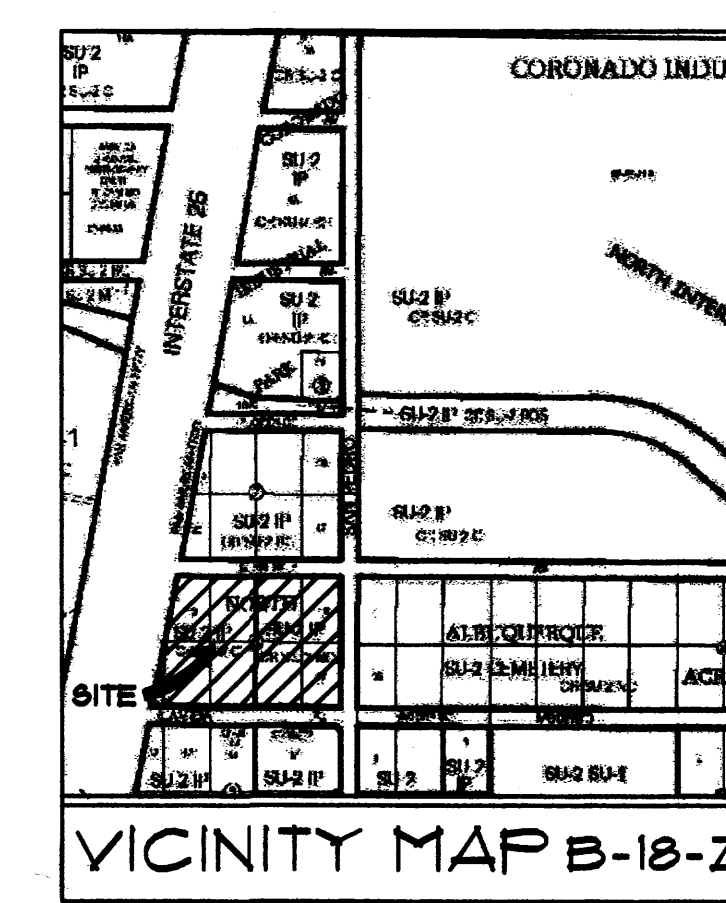


LEGEND

- PROPERTY LINE
- NEW BUILDING LINE
- - - 5210 --- EXISTING CONTOUR
- NEW CONTOUR
- ▲ NEW SPOT ELEVATION
- × 07.2 EXISTING SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE
- TG TOP OF GRATE
- FG FINISHED GRADE
- FF FINISH FLOOR
- INV INVERT ELEVATION
- SB STORM SEWER
- FL FLOW LINE
- [Pattern] NEW CONCRETE PAVING
- [Pattern] NEW AC PAVING
- ▲ ROOF DRAIN LOCATION

KEYED NOTES

- 1 DROP INLET
- 2 ASPHALT PAVEMENT
- 3 CONCRETE CURBS AND GUTTER
- 4 CONCRETE VALLEY GUTTER
- 5 CONCRETE OUTFALL STRUCTURE
- 6 CONCRETE PAVING
- 7 LINEAR CATCH BASIN AT DOCK



ACS MONUMENT "10_C18"
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 y=1,524,123.885
 Ground-to-grid:
 0.999665042
 Mapping Angle:
 -0°11'19.43"
 NMSZ CENTRAL ZONE
 NAD 83



1 CONCEPTUAL GRADING AND DRAINAGE PLAN

1" = 30'-0"

Walla Engineering, Inc.
 Structural Engineering
 Civil Engineering
 8100 Indian School Road NE, Suite 270
 Albuquerque, New Mexico 87110
 881-3008 • Facsimile 881-4025

H+W architecture llc
 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 tel. 505.761.8238
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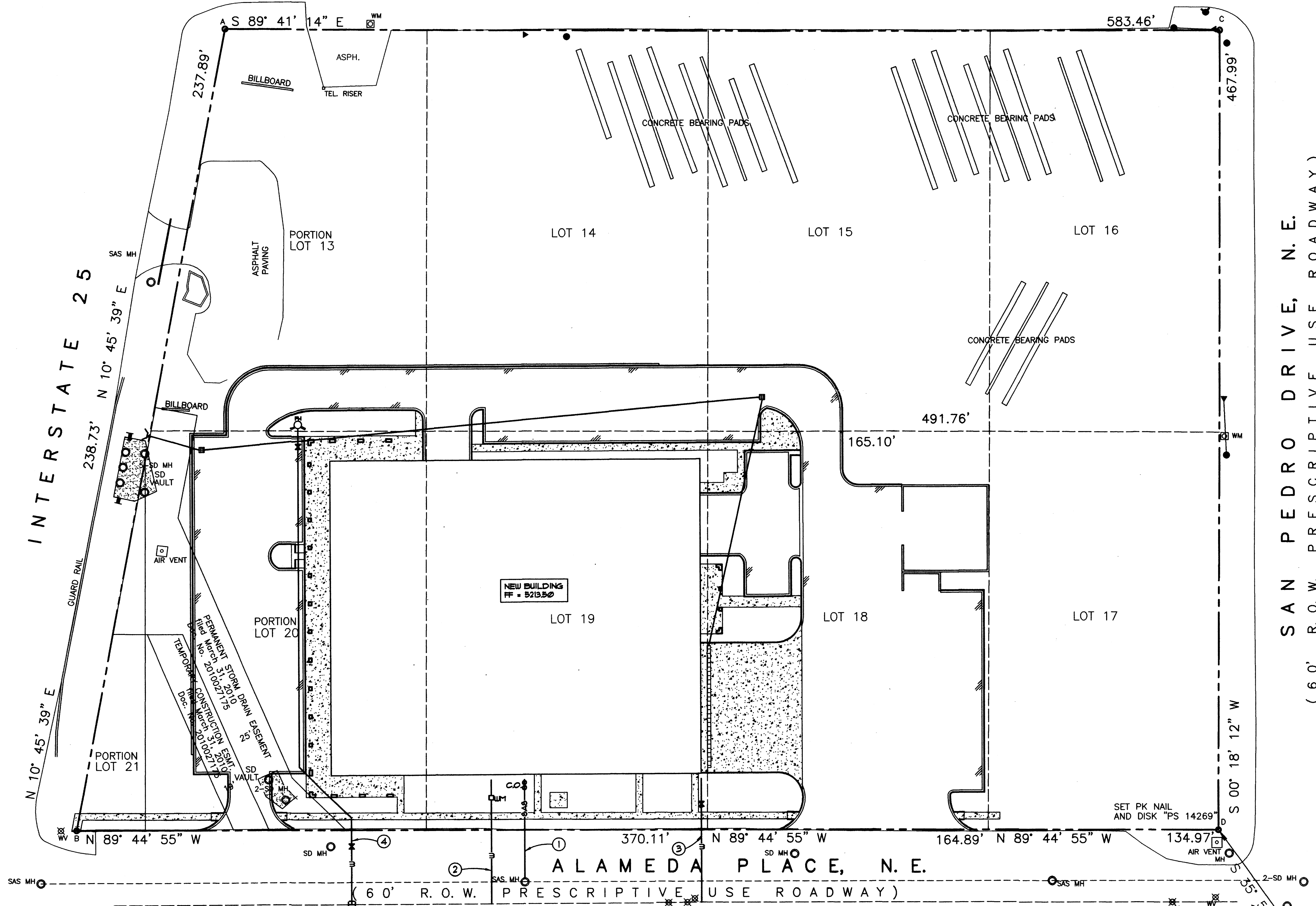
MATTRESS FIRM
 DISTRIBUTION CENTER
 SHOWROOM
 CORPORATE OFFICES
 ALBUQUERQUE, NM

Sheet Title:
CONCEPTUAL GRADING AND DRAINAGE PLAN

Date: AUGUST 7, 2012
 Drawn: LK
 Checked: MW

JOB NUMBER: H12003
C101

GLENDALE AVENUE, N.E.
(60' R.O.W. PRESCRIPTIVE USE ROADWAY)



KEYED NOTES

- 1 6" PVC SANITARY SEWER SERVICE CONNECTION
- 2 1" DOMESTIC WATER SERVICE CONNECTION
- 3 4" FIRE PROTECTION SERVICE LINE WITH GATE VALVE
- 4 6" C-900 PVC WATER LINE WITH GATE VALVE

LEGEND

- SANITARY SEWER LINE
- WATER LINE
- WATER METER
- PROPERTY LINE
- SEWER CLEAN OUT
- MANHOLE
- FIRE HYDRANT
- VALVE

Walla Structural Engineering
Civil Engineering
1100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
981-5008 - Facsimile 981-4025

H+W
architecture llc
2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.761.8238
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email: hplusw@comcast.net

MATTRESS FIRM
DISTRIBUTION CENTER
SHOWROOM
CORPORATE OFFICES
ALBUQUERQUE, NM

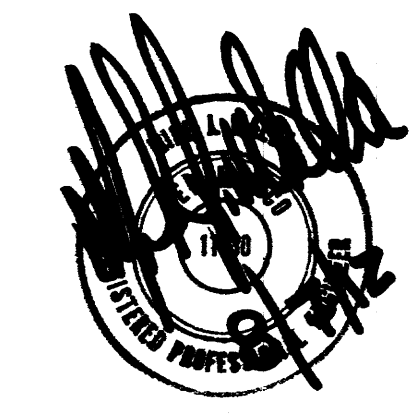
Sheet Title:
CONCEPTUAL SITE UTILITIES

Date: AUGUST 7, 2012
Drawn: LK
Checked: MW

JOB NUMBER: H12003

C102

ACS MONUMENT "10_C18"
x=1,542,565.263
y=1,524,123.885
Ground-to-grid:
0.999665042
Mapping Angle:
-00°11'19.43"
NMSP CENTRAL ZONE
NAD 83



1 CONCEPTUAL SITE UTILITIES PLAN
1" = 30'-0"

GENERAL NOTES

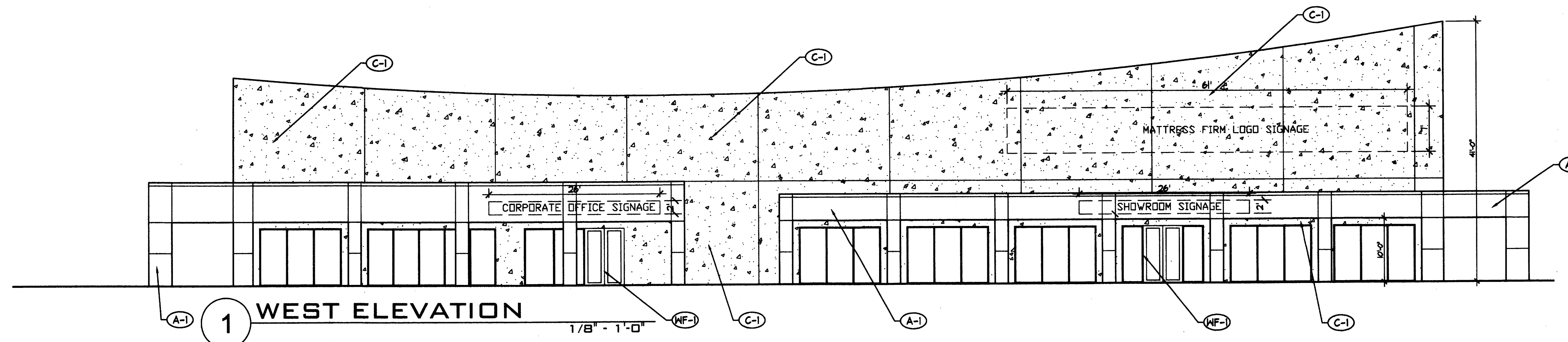
1. THERE SHALL BE NO EXPOSED CONDUITS OR RACEWAYS. CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION SO THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ACCESS.
2. GENERAL CONTRACTOR TO SUBMIT SAMPLES OF ALL MATERIALS PRIOR TO CONSTRUCTION FOR APPROVAL.
1. ROOF DRAIN.
2. WALL MOUNTED SCENE FIXTURE WITH DOWNWARD LIGHT. SUBMIT FIXTURE DESIGN TO ARCHITECT FOR SELECTION.
3. OVERHEAD DOOR.

EXTERIOR FINISH SCHEDULE

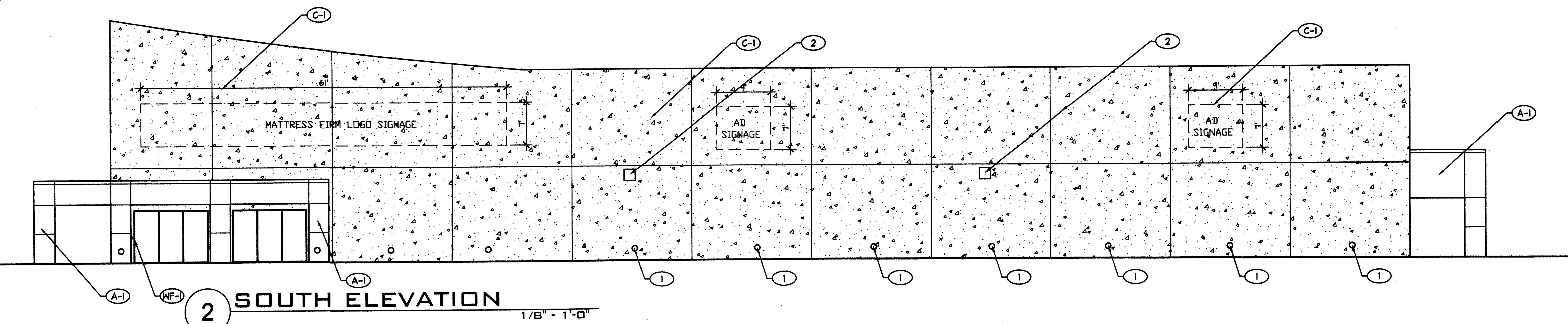
| CONCRETE SYSTEM | | | |
|-----------------|----------|---------------|--------------|
| NO. | MATERIAL | SPECIFICATION | MANUFACTURER |
| (C-1) | CONCRETE | SMOOTH FINISH | N/A |

| ALUMINUM CLADDING | | | |
|-------------------|--------------------------|----------------|--------------|
| NO. | MATERIAL | SPECIFICATION | MANUFACTURER |
| (A-1) | ALUMINUM CLADDING SYSTEM | CLEAR ANODIZED | ALCOA |

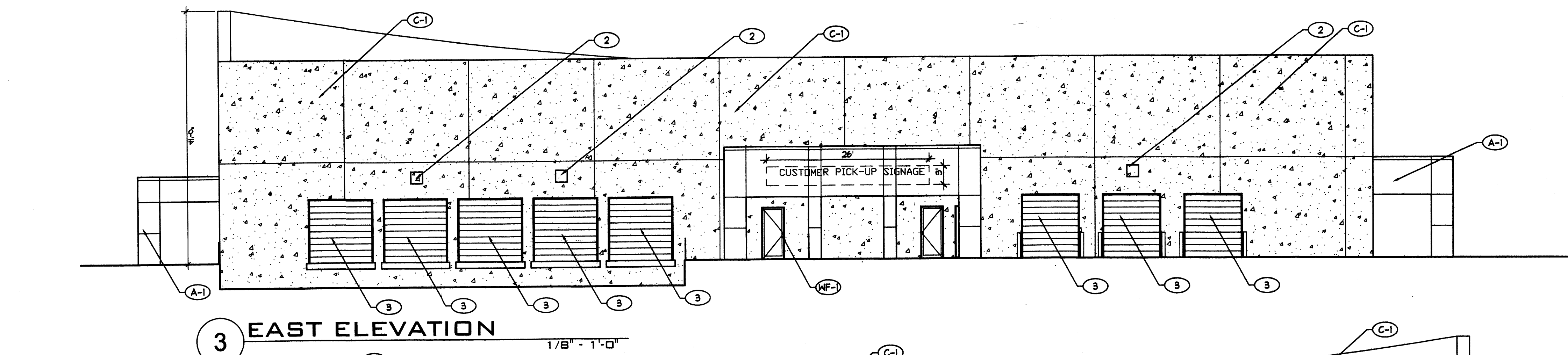
| WINDOW FRAMING | | | |
|----------------|---------------------|--------------|--------------------------------|
| NO. | SPEC. / PRODUCT NO. | MANUFACTURER | REMARKS |
| (WF-1) | BLACK ANODIZED | KAWNEER | INSTALL PER MANUFACTURERS REQ. |



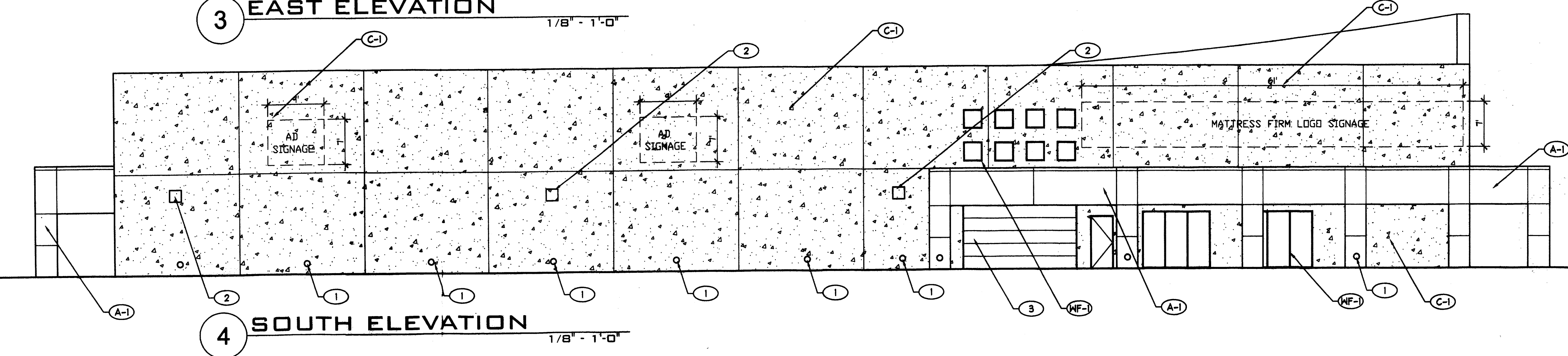
1 WEST ELEVATION



2 SOUTH ELEVATION



3 EAST ELEVATION



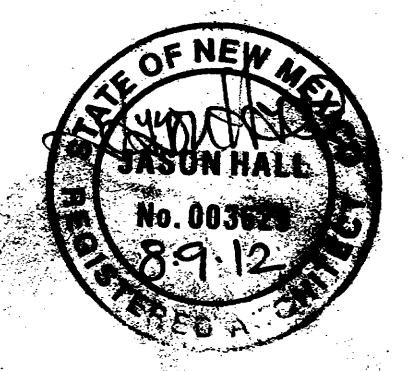
4 SOUTH ELEVATION

B.C. D.S.E. Terep

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 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 tel. 505.761.8238
 fax 505.508.4478
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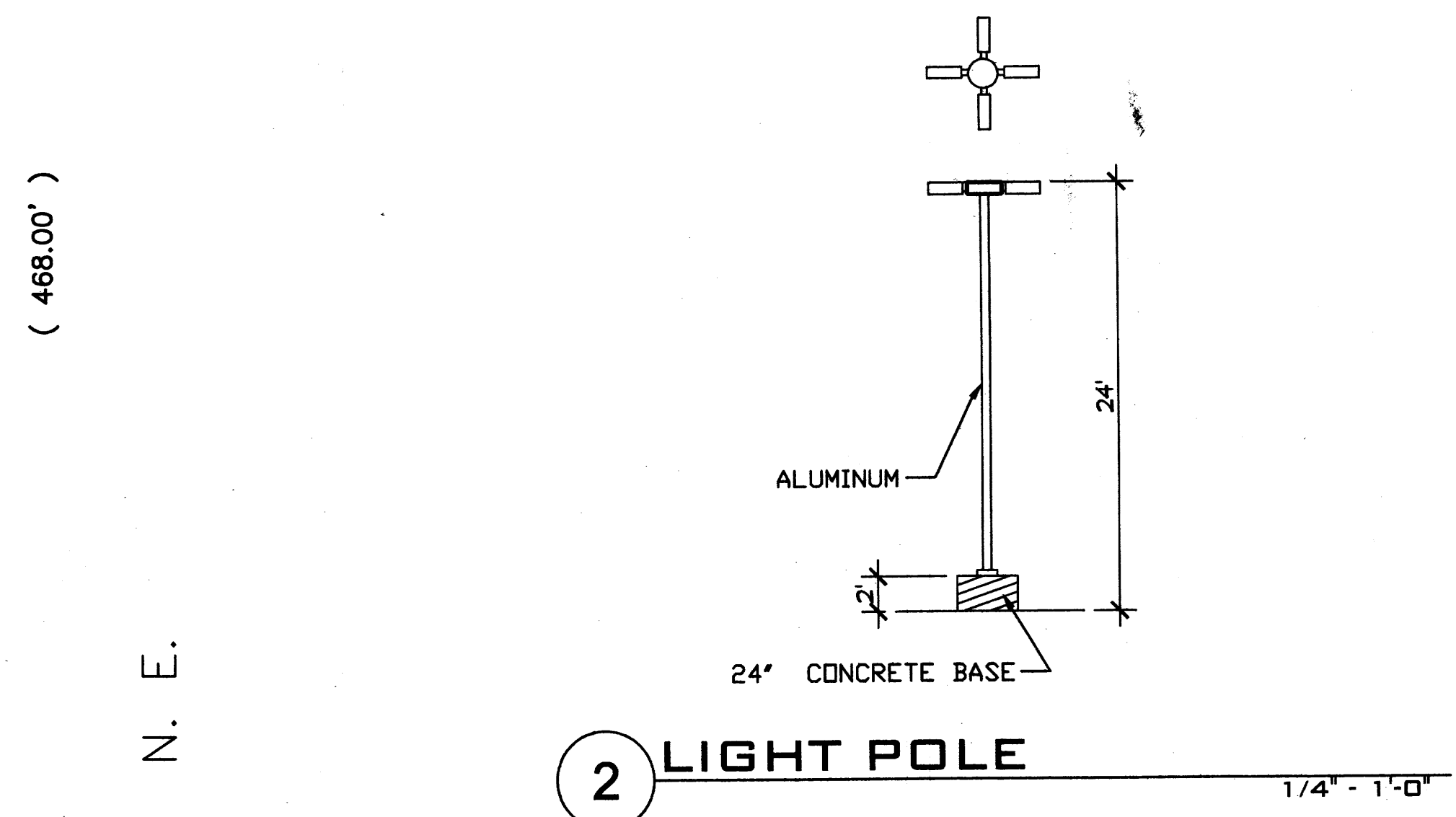
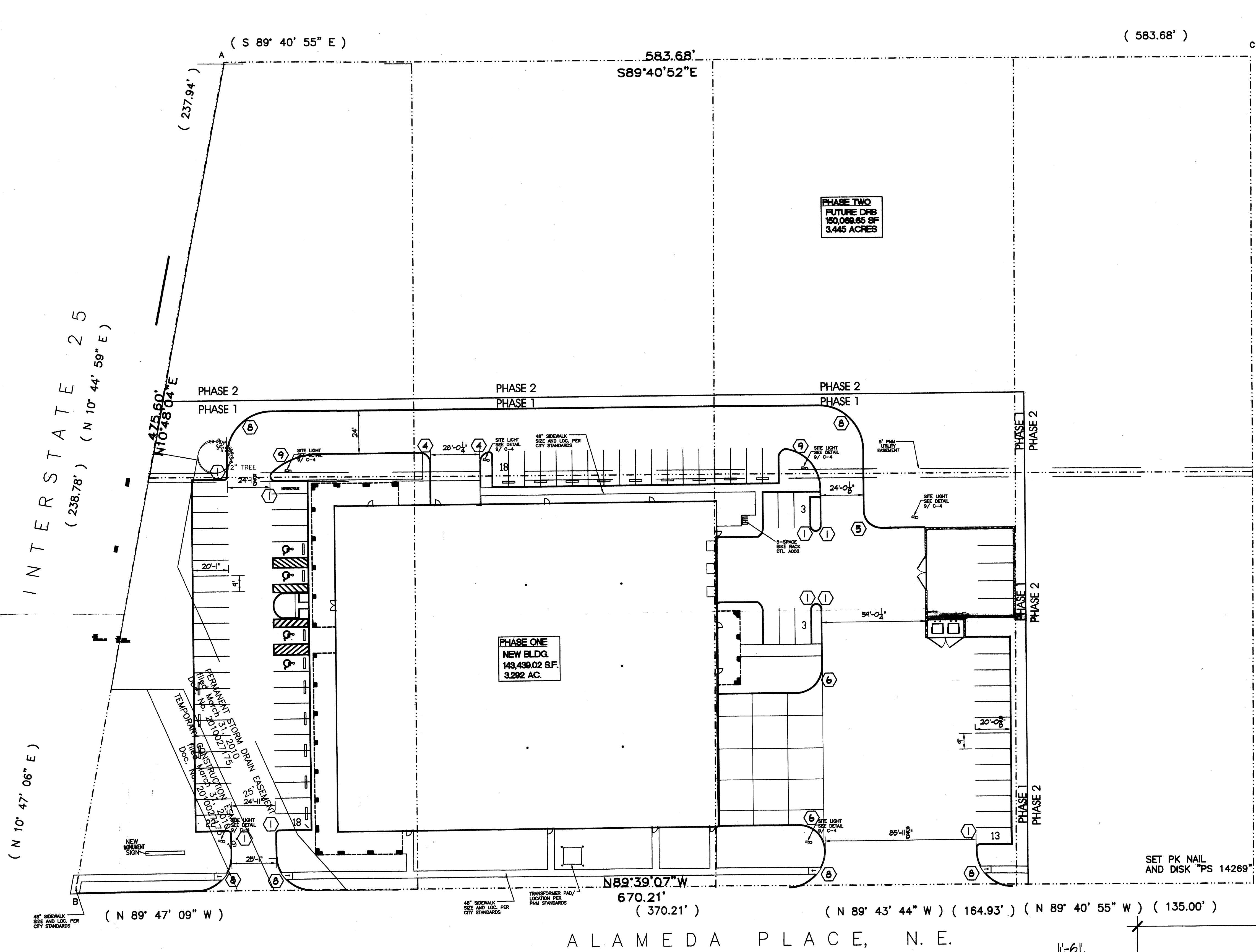
MATTRESS FIRM
 DISTRIBUTION CENTER
 SHOWROOM
 CORPORATE OFFICES
 ALBUQUERQUE, NM

Sheet Title:
ELEVATIONS
 Date: August 9, 12
 Drawn: S.T.WILDER
 Checked: S.T.WILDER



JOB NUMBER: H12003

A002



SIGNATURE BLOCK

PROJECT NUMBER:
CASE NUMBER:

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

IS AN INFRASTRUCTURE LIST REQUIRED () YES () NO. IF YES, THEN A SET OF APPROVED DRG WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

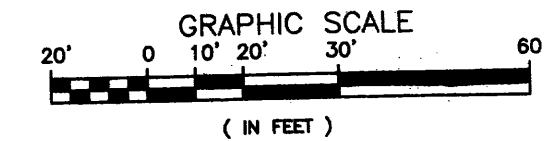
| | |
|---|---------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION | DATE |
| PUBLIC WORKS, WATER UTILITIES DIVISION | DATE |
| PARKS & RECREATION DEPARTMENT | DATE |
| CITY ENGINEER, ENGINEERING DIVISION/AMAFCA | DATE |
| ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | DATE |
| <i>Joe White 681-2766</i> | 8/20/12 |
| SOLID WASTE DEPARTMENT | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT, ALBUQUERQUE | DATE |

RADIUS LEGEND

| | | | |
|-------------|--------------|--------------|---------------|
| ① 2' RADIUS | ④ 5' RADIUS | ⑦ 20' RADIUS | ⑩ 50' RADIUS |
| ② 3' RADIUS | ⑤ 10' RADIUS | ⑧ 25' RADIUS | ⑪ 100' RADIUS |
| ③ 4' RADIUS | ⑥ 15' RADIUS | ⑨ 35' RADIUS | ⑫ 150' RADIUS |

SITE DEVELOPMENT PLAN

1"=30' (FOR BUILDING PERMIT PHASE III)



LEGAL DESCRIPTION
All of Lots numbered Fourteen (14), Fifteen (15), Sixteen (16), Seventeen (17), Eighteen (18) and Nineteen (19) together with portions of Lots Numbered Thirteen (13), Twenty (20) and Twenty-one (21), in Block numbered Eight (8), Tract A, Unit B, NORTH ALBUQUERQUE, ACRES, Albuquerque, New Mexico, as the same are shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130.

GENERAL NOTES:
LIGHTING: LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1,000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

DESIGN CRITERIA - BLDG. E

IBC CODE DESIGN DATA

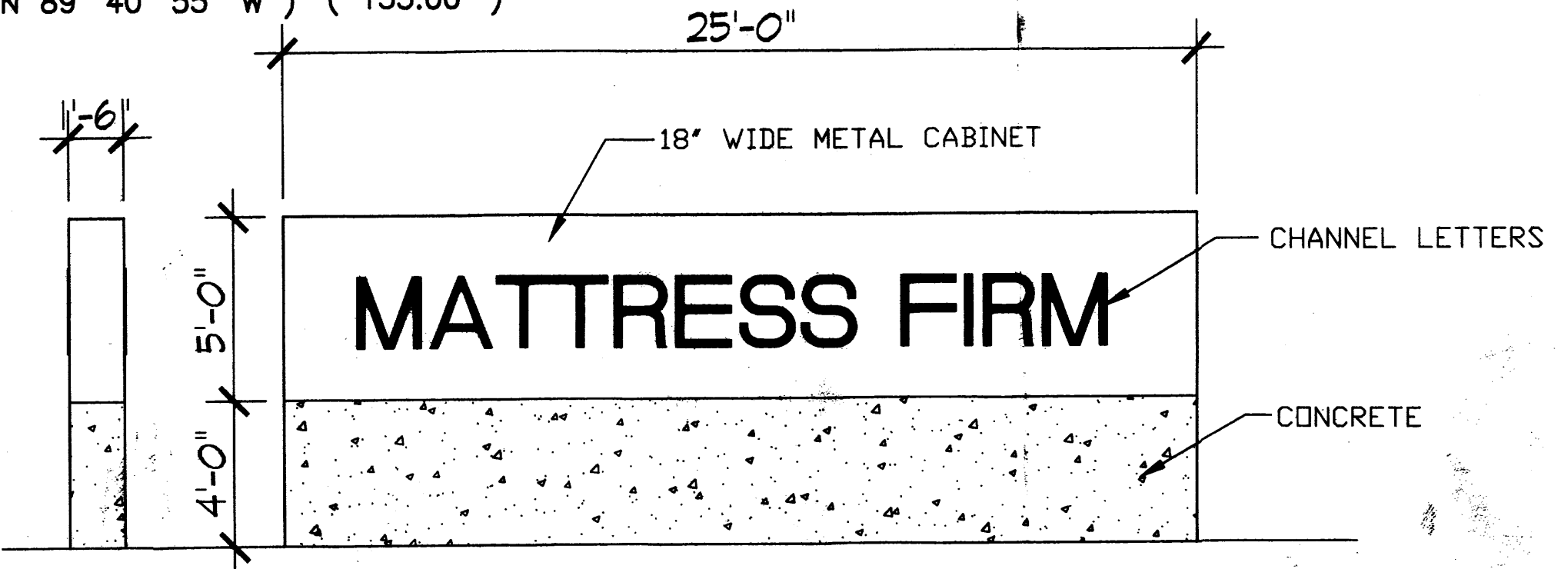
OCCUPANCY GROUP = B, M AND S--OFFICE, RETAIL & STORAGE
TYPE OF CONSTRUCTION = VB (SPRINKLERED)
AREA OF BUILDING OFFICE/RETAIL WAREHOUSE = 11,323 S.F. / 28,375 S.F.
OCCUPANT LOAD OFFICE/RETAIL 11,323 SF/ 200 = 56 OCC. WAREHOUSE 28,375 SF/500 = 56.75 OCC. TOTAL OCCUPANT LOAD = 113

SEISMIC ZONE = 2B
SOIL BEARING CAPACITY = 1,500 PSI
CONCRETE STRENGTH = 3,000 PSI
CONCRETE STRENGTH STRESS VALUES = LUMBER: Fb = 970 MIN. = STEEL: 50,000 PSI. = SPEED = 75 MPH = 20 PSF LL, 15 PSF DL = SLAB ON GRADE = N/A

WIND DESIGN LOAD
ROOF DESIGN LOAD = 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD = SLAB ON GRADE
CORRIDOR DESIGN LOAD = N/A

ZONING DESIGN DATA

- ZONING = SU-2 FOR IP
- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
 - LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
 - IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE. B. SHRUB PLANTING: DRIP IRRIGATION W/ 6-1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVB, PRESSURE REGULATOR, AND FITTER.
 - PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.
 - NEW HYDRANTS (IF REQUIRED) TO BE INSTALLED SHALL BE MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION



18" WIDE METAL CABINET WITH CHANNEL LETTERS MOUNTED ON EACH SIDE
CHANNEL LETTER DISPLAY: 293 RED PLEX FACES WITH BLACK TRIMCAP AND 5" METAL RETURNS PAINTED BLACK, RED L.E.D. FOR ILLUMINATION ON SMOOTH FINISHED CONCRETE BASE.

1 MONUMENT SIGN 1/4" = 1'-0"

H+W
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email: hplusw@comcast.net

MATTRESS FIRM
DISTRIBUTION CENTER
SHOWROOM
CORPORATE OFFICES
ALBUQUERQUE, NM

Sheet Title:
SITE PLAN
Date: AUGUST 9, 2012
Drawn: S.T. WILDER
Checked: S.T. WILDER

JOB NUMBER: H12003

C001