


3. **Project# 1009375**  
12DRB-70252 MAJOR – SITE  
DEVELOPMENT PLAN FOR  
BUILDING PERMIT 

H & W ARCHITECTURE agent(s) for MATTRESS FIRM request(s) the referenced/above action(s) for all or a portion of Lot(s) 13-21, Block 8, **NORTH ALBUQUERQUE ACRES Tract A, Unit B**, zoned IP or SU-2/ C and IP or SU-2/ NC, located on the east side of PAN AMERICAN FREEWAY NE between GLENDALE AVE NE and ALAMEDA PL NE containing approximately 6.7438 acre(s). (B-18)[*Deferred from 9/12/12*]**INDEFINITELY DEFERRED.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

4. **Project# 1009359**  
12DRB-70305 EPC APPROVED SDP  
FOR BUILD PERMIT 

ARIA ARCHITECTURE LLC agent(s) for PEAK MOTION PHYSICAL THERAPY request(s) the above action(s) for all or a portion of Lot(s) 20A, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2 MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA AND WYOMING containing approximately .5907 acre(s). (C-19) [*Deferred from 10/3/12*]**THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR THE FILING OF THE PLAT AND FOR APPROVAL OF THE ADMINISTRATIVE AMENDMENT FOR SITE PLAN FOR SUBDIVISION.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

5. **Project# 1008069/1009359**  
12DRB-70313 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

GORDON SKARSGARD agent(s) for RESOLUTINO EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 20-A, Block(s) 10, **NORTH ALBUQUERQUE ACRES** zoned SU-2, located on HOLLY BETWEEN WYOMING AND LOUISIANA containing approximately .568 acre(s). (C-19) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR REVISION TO DRAINAGE EASEMENT LANGUAGE, AGIS DXF, AND UTILITY COMPANY SIGNATURE.**

6. **Project# 1008699**  
12DRB-70314 MINOR - PRELIMINARY/  
FINAL PLAT APPROVAL

JAMES LAWRENCE request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 5-8, 20 +21 -24, Block(s) E, **ATLANTIC PACIFIC ADD** zoned SU-2/NCR, located on COAL BETWEEN 2ND ST AND 3RD ST containing approximately 1.5702 acre(s). (K-19)**INDEFINITELY DEFERRED.**



CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT  
 DEVELOPMENT REVIEW BOARD

September 12, 2012

**Project# 1009375**

*- 10K in El Paso*

12DRB-70252 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

H & W ARCHITECTURE agent(s) for MATTRESS FIRM request(s) the referenced/above action(s) for all or a portion of Lot(s) 13-21, Block 8, **NORTH ALBUQUERQUE ACRES Tract A, Unit B**, zoned IP or SU-2/ C and IP or SU-2/ NC, located on the east side of PAN AMERICAN FREEWAY NE between GLENDALE AVE NE and ALAMEDA PL NE containing approximately 6.7438 acre(s). (B-18)

|  |
|--|
| <b>AMAFCA</b><br>No comments.  |
| <b>COG</b><br>No comments provided.  |
| <b>TRANSIT</b><br>No comments provided.  |
| <b>ZONING ENFORCEMENT</b><br>No comments provided.   |
| <b>NEIGHBORHOOD COORDINATION</b>   |
| <b>APS</b><br>This will have no adverse impacts to the APS district.   |
| <b>POLICE DEPARTMENT</b><br>DRB 1009375 - This project is in the Northeast Area Command.<br><br>- It appears the proposed landscaping (trees) and exterior lighting are in conflict with each other. Recommend removing from all trees that could eventually conflict with lighting. Mature canopy growth with reduce the illumination.<br><br>- Suggest including exterior video surveillance cameras in the plan. Cameras should be positioned to cover all parking stalls, walkways, vehicle access points and building entrances. Each camera should be monitored and recorded for real-time and historical use. |
| <b>FIRE DEPARTMENT</b><br>Project 1009375: All site development plans for subdivisions and site development plans for building permit shall be submitted to the Fire Marshal's Office Plans Checking Division for review and approval.   |
| <b>PNM ELECTRIC &amp; NMGAS</b><br>No comments provided.   |
| <b>COMCAST</b><br>No comments provided.  |

|   |
|---|
| <p><b>CENTURYLINK</b><br/>No comments provided.</p>   |
| <p><b>ENVIRONMENTAL HEALTH</b><br/>No comments provided.</p>  |
| <p><b>M.R.G.C.D</b><br/>No Adverse Comments.</p>  |
| <p><b>OPEN SPACE DIVISION</b><br/>No comments provided.</p>   |
| <p><b>CITY ENGINEER</b><br/>Comments, if any, will be provided at the meeting</p>   |
| <p><b>TRANSPORTATION DEVELOPMENT</b><br/>Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line.<br/>Right of way dedication may be required.<br/>All public sidewalk located outside City right of way must be located within a public sidewalk easement.<br/>A 50-foot wide drivepad is the maximum permitted (see <i>Development Process Manual</i>, Chapter 23, Section 6, Part B).<br/>San Pedro Drive is classified as a collector roadway. Per the <i>Future Albuquerque Area Bikeways and Streets Plan</i>, 80 feet of right of way is required in this area.<br/>Is there a replat associated with this site? If lot consolidation is not proposed, cross access easements are required.<br/>A 6-foot wide, ADA accessible pathway is required from the roadway to the building.<br/>All ramps located within City right of way must have truncated domes.<br/>Provide as-built information for all roadways adjacent to this site.<br/>For passenger vehicles, the minimum end island radius is 15 feet.<br/>Define the width of all ADA accessible parking stalls and aisles.<br/>Sidewalk (6-foot wide) is required along the frontage road.<br/>Define the width of all right of way adjacent to this site.<br/>Concrete bumpers may not be shared across lots.<br/>Define the width and length of all parking stalls.<br/>Show all ramps and provide details.<br/>Label Glendale Avenue.<br/>Show all lot lines.<br/>Define all aisle widths.</p> |
| <p><b>PARKS AND RECREATION</b></p>  |
| <p><b>ABCWUA</b></p>  |
| <p><b>PLANNING DEPARTMENT</b><br/>Refer to comments from Zoning Enforcement for compliance with Zoning Code. plus any public hearing comments.<br/>Colors need to be called out on building elevation sheets. Buildings A and B do not conform to site plan for subdivision Design Requirements. The use of metal wall panels exceeds the "accent" as described in the Design Requirements, and CMU blocks are not included as an acceptable material.</p>  |

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION  
DEVELOPMENT REVIEW BOARD MEMO**

**DRB PROJECT NO: 1009375**

**AGENDA ITEM NO: 3**

**SUBJECT:**

Site Plan for Building Permit

**ENGINEERING COMMENTS:**

Since new information was not submitted,  
Hydrology's comments are the same.

An approved Grading and Drainage Plan is required.  
NM DOT approval will be required.

Will this property be re-platted? There are existing  
Lot lines in the middle of the building.

Public sidewalk easement will be required along  
Alameda Place.

Where are the proposed road improvements along  
Glendale and San Pedro.

Any work within State right-of-way will require  
approval from NM DOT.

An infrastructure list is required.

What is north portion of the site being used for.

**RESOLUTION/COMMENTS:**

**SIGNED:**

Curtis Cherne  
Hydrology Section  
City Engineer Designee  
AMAFCA Designee  
924-3986

**DATE: 10-10-12**



PLANNING DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1009375

AGENDA ITEM NO: 3

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

Provide an exhibit showing the location of sidewalk and defining the distance from face of curb to the property line. Right of way dedication may be required.

All public sidewalk located outside City right of way must be located within a public sidewalk easement. A 50-foot wide drivepad is the maximum permitted (see *Development Process Manual*, Chapter 23, Section 6, Part B).

San Pedro Drive is classified as a collector roadway. Per the *Future Albuquerque Area Bikeways and Streets Plan*, 80 feet of right of way is required in this area.

Is there a replat associated with this site? If lot consolidation is not proposed, cross access easements are required.

A 6-foot wide, ADA accessible pathway is required from the roadway to the building.

All ramps located within City right of way must have truncated domes.

Provide as-built information for all roadways adjacent to this site.

For passenger vehicles, the minimum end island radius is 15 feet.

Define the width of all ADA accessible parking stalls and aisles.

Sidewalk (6-foot wide) is required along the frontage road.

Define the width of all right of way adjacent to this site.

Concrete bumpers may not be shared across lots.

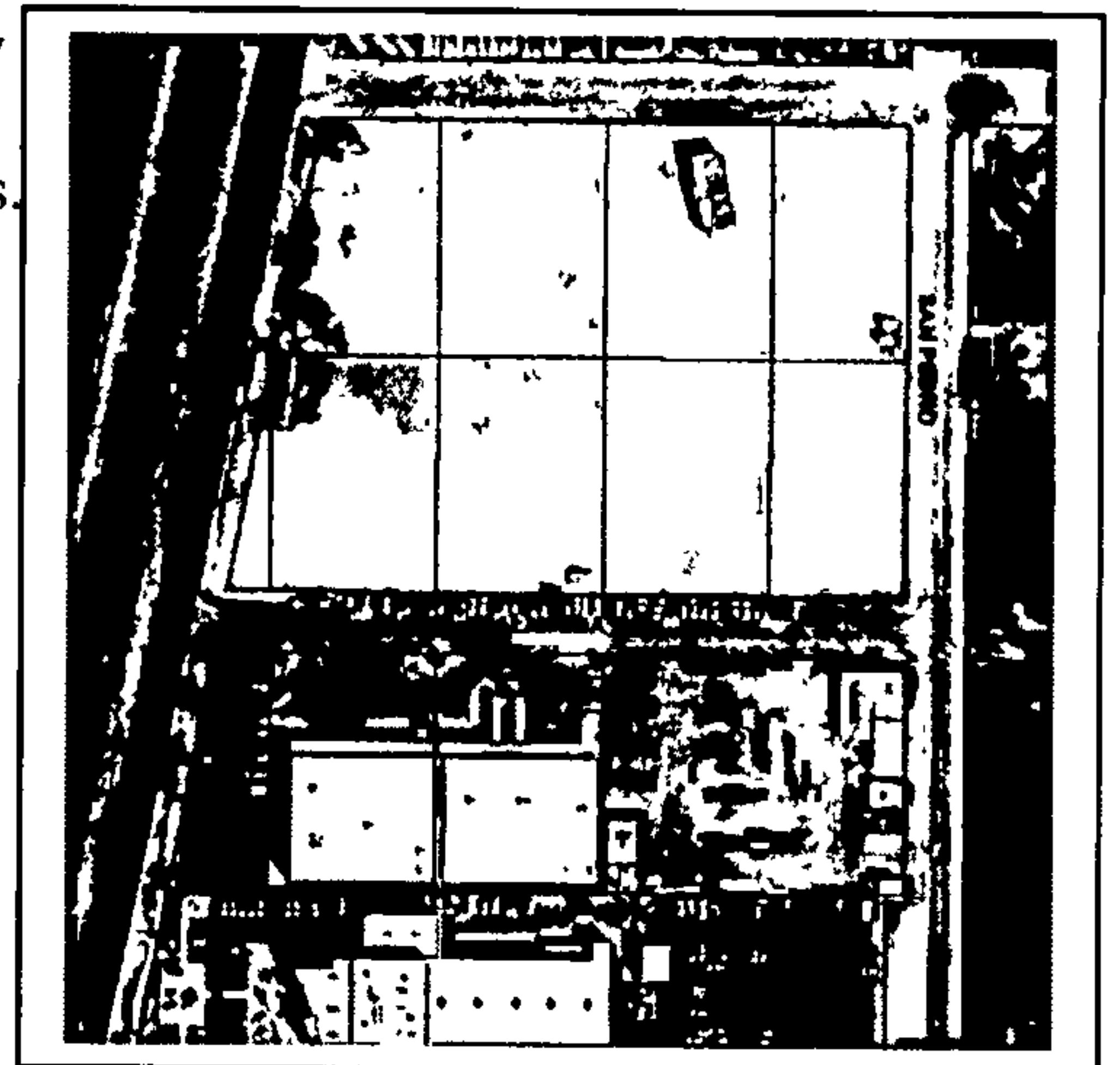
Define the width and length of all parking stalls.

Show all ramps and provide details.

Label Glendale Avenue.

Show all lot lines.

Define all aisle widths.



*Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.*

RESOLUTION:

APPROVED \_\_\_; DENIED \_\_\_; DEFERRED \_\_\_; COMMENTS PROVIDED \_\_\_; WITHDRAWN \_\_\_

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro  
Transportation Development

505-924-3991

DATE: OCTOBER 10, 2012



## INTER-OFFICE MEMORANDUM

### COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development  
SHABIH RIZVI, Transit & Parking Department  
STEVE MONTIEL, Council of Governments  
LYNN MAZUR, AMAFCA  
STEVE SINK, APD Crime Prevention  
JAY LEE EVANS, Open Space Division  
RAY SANCHEZ, Fire Department  
DAVID KILPATRICK, Zoning Enforcement Inspector  
STEPHANI WINKLEPLECK, Neighborhood Coordination  
DANIEL ARAGON, Public Service Company of New Mexico  
PATRICK SANCHEZ, New Mexico Gas Company  
APRIL WINTERS, Albuquerque Public Schools  
MICHELE RAMIREZ, CenturyLink  
MIKE MORTUS, Comcast Cable  
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)  
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1009375

**Wednesday, September 12, 2012**

Comments must be received by:

**Friday, September 7, 2012**

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

**If you have any questions, please contact me at 924-3946 or [agomez@cabq.gov](mailto:agomez@cabq.gov)**



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

**D** Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): H+W ARCHITECTURE PHONE: 306-8238  
 ADDRESS: 2200 WILDER LN NW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: hallpluswilder@gmail.com

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

Proprietary interest in site: \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: DRB submittal for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOTS 13-20 Block: 8 Unit: B  
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES  
 Existing Zoning: SV-2 FOR IP Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B-18 UPC Code: 101806520803930209

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 8 No. of proposed lots: \_\_\_\_\_ Total site area (acres): 6.3  
 LOCATION OF PROPERTY BY STREETS: On or Near: PAN AMERICAN  
 Between: ALAMEDA and GLENDALE

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 8.9.12  
 (Print Name) SCHARLES WILDER Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

| INTERNAL ROUTING   | Application case numbers | Action     | S.F.  | Fees             |
|--|--------------------------|------------|-------|------------------|
| <input checked="" type="checkbox"/> All checklists are complete  | <u>12 DRB - 70252</u>    | <u>SBP</u> | _____ | <u>\$ 385.00</u> |
| <input checked="" type="checkbox"/> All fees have been collected | _____                    | <u>CMF</u> | _____ | <u>\$ 20.00</u>  |
| <input checked="" type="checkbox"/> All case #s are assigned     | _____                    | <u>ADV</u> | _____ | <u>\$ 75.00</u>  |
| <input checked="" type="checkbox"/> AGIS copy has been sent      | _____                    | _____      | _____ | _____            |
| <input type="checkbox"/> Case history #s are listed              | _____                    | _____      | _____ | _____            |
| <input type="checkbox"/> Site is within 1000ft of a landfill     | _____                    | _____      | _____ | _____            |
| <input type="checkbox"/> F.H.D.P. density bonus                  | _____                    | _____      | _____ | _____            |
| <input type="checkbox"/> F.H.D.P. fee rebate                     | _____                    | _____      | _____ | _____            |
|  |                          |            |       | Total            |
|  |                          |            |       | <u>\$ 480.00</u> |

Hearing date Sept. 12, 2012

8-9-12  
 Staff signature & Date

Project # 1009375



**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
  - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCHARLES WILDER  
 Applicant name (print)  
[Signature] 8.9.12  
 Applicant signature / date



Form revised October 2007

|   |                          |  |  |
|---|--------------------------|--|--|
| <input checked="" type="checkbox"/> Checklists complete | Application case numbers |  |  |
| <input checked="" type="checkbox"/> Fees collected      | 12 - DRB - 70252         |  |  |
| <input checked="" type="checkbox"/> Case #s assigned    | _____                    |  |  |
| <input checked="" type="checkbox"/> Related #s listed   | _____                    |  |  |

[Signature] 8-9-12  
 Planner signature / date  
 Project # 1009375



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from August 28, 2012 To September 12, 2012

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

August 9, 12  
(Date)

I issued 2 signs for this application, 8-9-12  
(Date)

  
\_\_\_\_\_  
(Staff Member)

DRB PROJECT NUMBER: 1009375



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- V**  Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P**  Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- D**  Street Name Change (Local & Collector)
- L A** **APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): H+W ARCHITECTURE PHONE: 306-8238  
 ADDRESS: 2200 WILDER LN NW FAX: \_\_\_\_\_  
 CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: hallpluswilder@gmail.com

APPLICANT: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
 CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL \_\_\_\_\_

Proprietary interest in site \_\_\_\_\_ List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: DRB submittal for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOTS 13-20 Block: 8 Unit: B  
 Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES  
 Existing Zoning: SV-2 FOR IP Proposed zoning: \_\_\_\_\_ MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B-18 UPC Code: 101806520803930209

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc ). \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No of existing lots: 8 No of proposed lots: \_\_\_\_\_ Total site area (acres): 6.3  
 LOCATION OF PROPERTY BY STREETS: On or Near: PAN AMERICAN  
 Between: ALAMEDA and GLENDALE

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 8.9.12  
 (Print Name) SCHARLES WILDER Applicant  Agent

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

|  |                                   |                          |       |                        |
|--|-----------------------------------|--------------------------|-------|------------------------|
| <input checked="" type="checkbox"/> INTERNAL ROUTING             | Application case numbers          | Action                   | S.F.  | Fees                   |
| <input checked="" type="checkbox"/> All checklists are complete  | <u>12 DRB - 70252</u>             | <u>SBP</u>               | _____ | \$ <u>385.00</u>       |
| <input checked="" type="checkbox"/> All fees have been collected | _____                             | <u>CMF</u>               | _____ | \$ <u>20.00</u>        |
| <input checked="" type="checkbox"/> All case #s are assigned     | _____                             | <u>ADV</u>               | _____ | \$ <u>75.00</u>        |
| <input checked="" type="checkbox"/> AGIS copy has been sent      | _____                             | _____                    | _____ | \$ _____               |
| <input type="checkbox"/> Case history #s are listed              | _____                             | _____                    | _____ | \$ _____               |
| <input type="checkbox"/> Site is within 1000ft of a landfill     | _____                             | _____                    | _____ | \$ _____               |
| <input type="checkbox"/> F.H.D.P. density bonus                  | _____                             | _____                    | _____ | \$ _____               |
| <input type="checkbox"/> F.H.D.P. fee rebate                     | _____                             | _____                    | _____ | \$ _____               |
|  | Hearing date <u>Sept 12, 2012</u> |                          |       | Total \$ <u>480.00</u> |
|  | <u>8-9-12</u>                     | Project # <u>1009375</u> |       |                        |
|  | Staff signature & Date            |                          |       |                        |



**FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SCHARLES WILDER  
 Applicant name (print)  
[Signature] 8-9-12  
 Applicant signature / date



Form revised October 2007

- Checklists complete
  - Fees collected
  - Case #s assigned
  - Related #s listed
- Application case numbers  
12 - DRB - 70052

[Signature] 8-9-12  
 Planner signature / date  
 Project # 1009375



# City of Albuquerque Planning Department

## DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

### DEVELOPMENT REVIEW BOARD

08/09/2012 Issued By: BLDAVM 158098

Category Code **910**  
**2012 070 252**

**Application Number:** 12DRB-70252, Major - Sdp For Building Permit

**Address:**

**Location Description:** PAN AMERICAN BETWEEN ALAMEDA AND GLENDALE

**Project Number:** 1009375

#### Applicant

#### Agent / Contact

H & W ARCHITECTURE  
SCHARLES WILDER  
2200 WILDER LN NW  
ALBUQUERQUE NM 87104

| Application Fees  |                 |
|-------------------|-----------------|
| APN Fee           | \$75.00         |
| Conflict Mgmt Fee | \$20.00         |
| DRB Actions       | \$385.00        |
| <b>TOTAL:</b>     | <b>\$480.00</b> |

City of Albuquerque Treasury  
Date: 8/9/2012 Office: ANNEX  
Stat ID: W50000006 Cashier: TRSSVG  
Batch: 595 Trans #: 28  
Permit: 2012070252  
Receipt Num 00042398  
Payment Total: \$480.00  
0900 APN Fee \$75.00  
0901 Conflict Manag. Fee \$20.00  
0903 DRB Actions \$385.00  
Check Tendered : \$480.00



August 9, 2012

**Re: Description letter for Site Development Plan for 9100 Pan American Freeway/Lots 13-20, Block 8, North Albuquerque Acres, Tract A, Unit B – Located on I-25 Service Road between Alameda Boulevard NE and Glendale NE – Zone Map C-18.**

To Whom It May Concern:,

This letter is to serve as notification of proposed development to go through EPC city review for The Mattress Firm Distribution Center. The building will contain The corporate offices, a retail showroom and Warehouse. The site is zoned for this use.

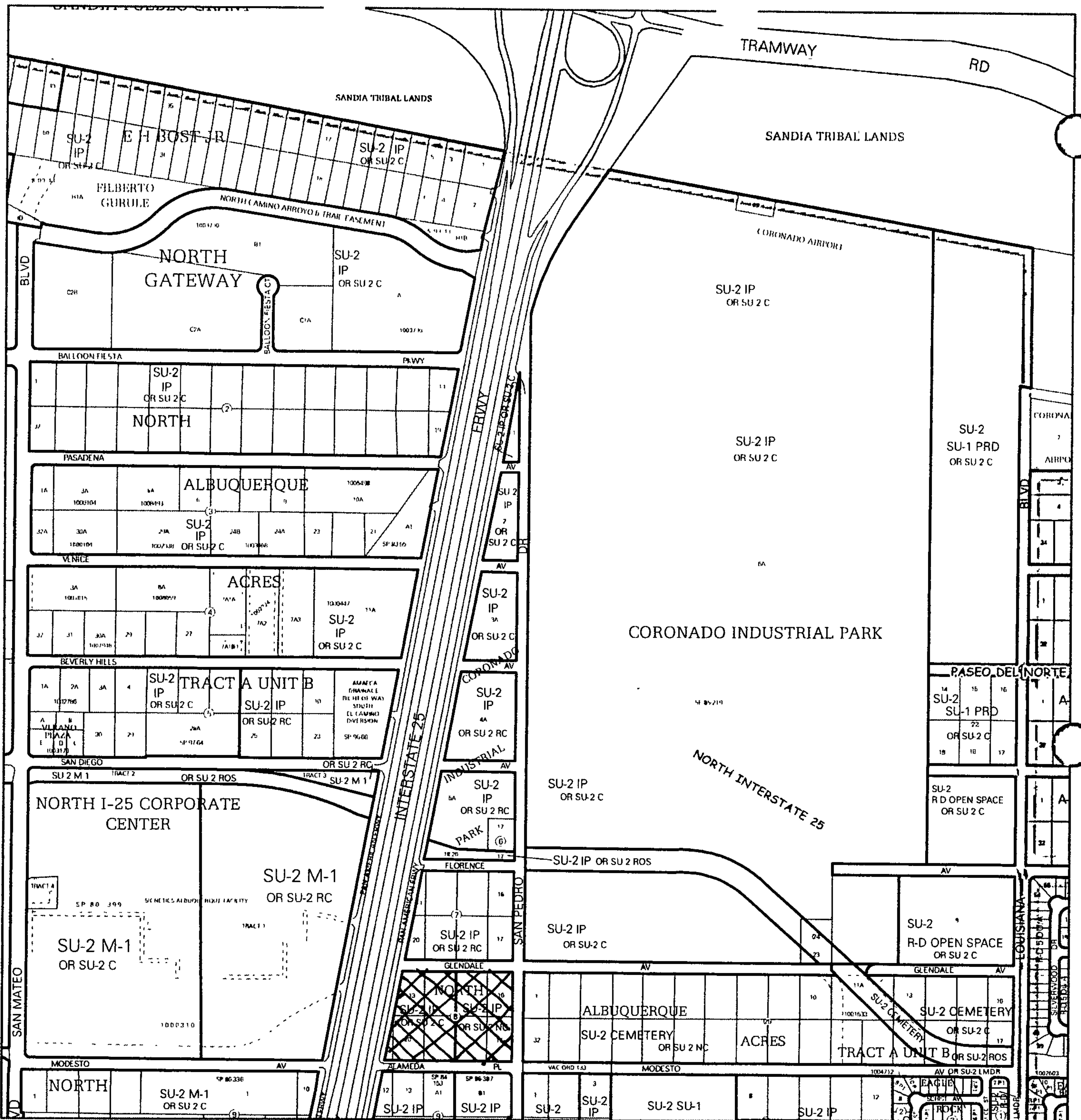
Currently this site has multiple uses and is being rented for different storage capacities. Upon the development of the site all rubble and landscaping will be cleaned up. We propose to have a clean site that will be beneficial to all neighbors and provide a designed structure that will be aesthetically pleasing to all highway traffic. The building has been designed to meet the requirements of the I-25 Corridor plan. The aesthetic is similar in look to several buildings in the area, thus giving continuity to the area.

Regards,

A handwritten signature in black ink, appearing to read 'Scharles Wilder', with a long horizontal line extending to the right.

Scharles Wilder  
Partner  
[hallpluswilder@gmail.com](mailto:hallpluswilder@gmail.com)  
505-306-8238

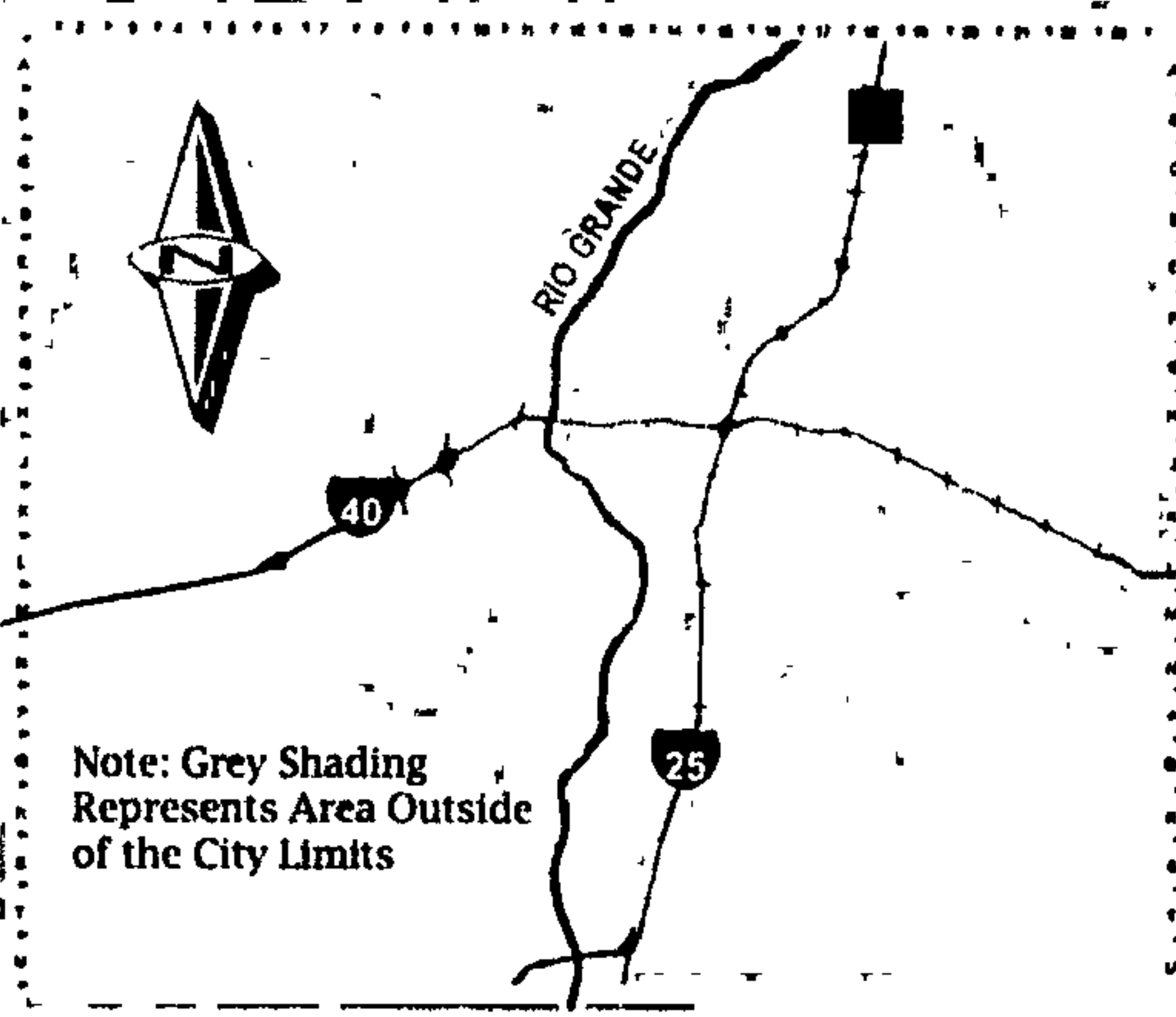




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/24/2011



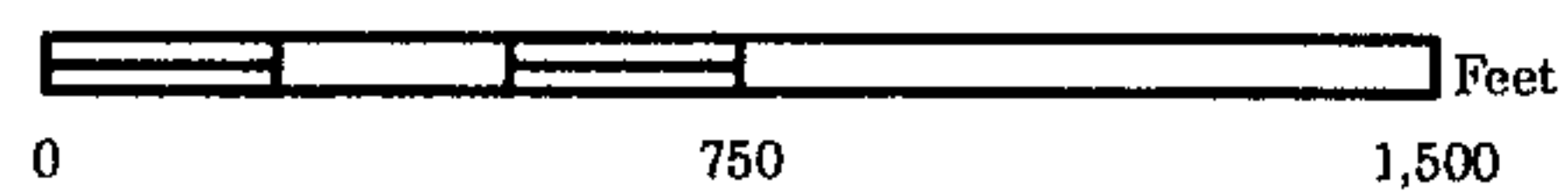
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

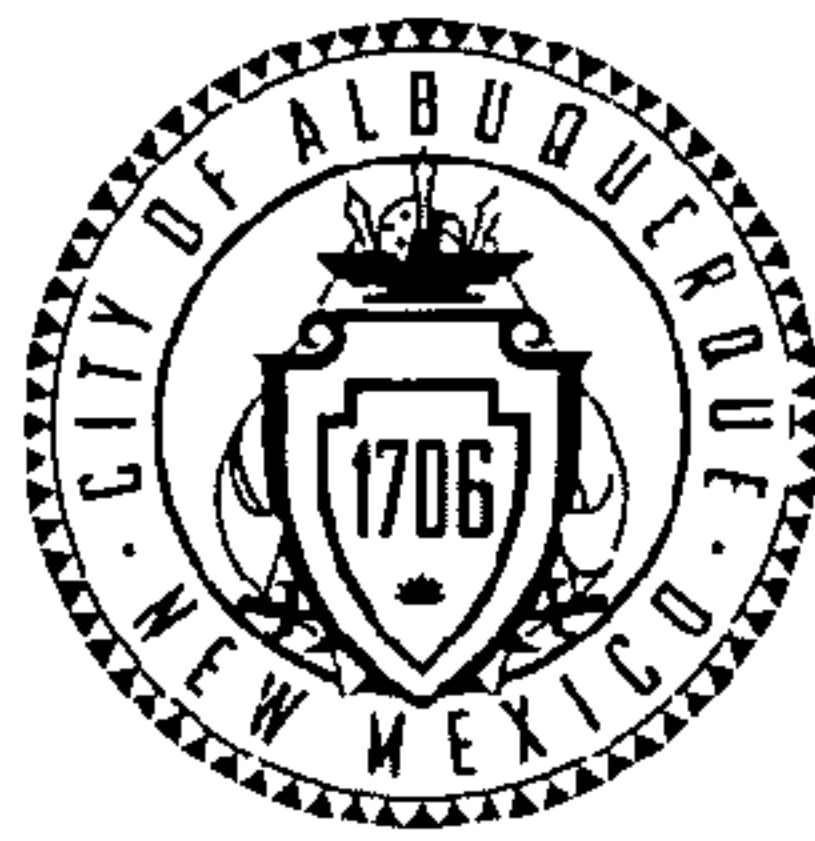
# B-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone







**City of Albuquerque**  
P.O. Box 1293, Albuquerque, NM 87103

July 23, 2012

S. Charles Wilder  
H & W Architecture  
2200 Wilder Ln. NW  
Phone: 306-8238

Dear S. Charles:

Thank you for your inquiry of **July 23, 2012** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) – LOTS 13-20, BLOCK 8, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, LOCATED ON I-25 FREEWAY BETWEEN ALAMEDA BOULEVARD NE AND GLENDALE NE** zone map **C-18**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

**NOR ESTE N.A. "R"**

\***Jeff Peterson**, 7800 Eagle Rock Ave. NE/87122-2723 797-3477 (h)  
Joe Yardumian, 7801 R.C. Gorman Ave. NE/87122-2748 797-1851 (h)

**WILDFLOWER AREA N.A. "R"**

\***Larry T. Caudill**, 4915 Watercress NE/87113 857-0596 (h)  
Tony Perry, 4909 Watercress NE/87113 797-7098 (h)

**\* DENOTES PRESIDENT OF ASSOCIATION**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**PLEASE NOTE:** The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

**LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NA/HOA FOR THIS LUCC SUBMITTAL.**

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*

(below this line for ONC use only)


Date of Inquiry: **07/23/12** Time Entered: **1:20 p.m.** ONC Rep. Initials: **siw**



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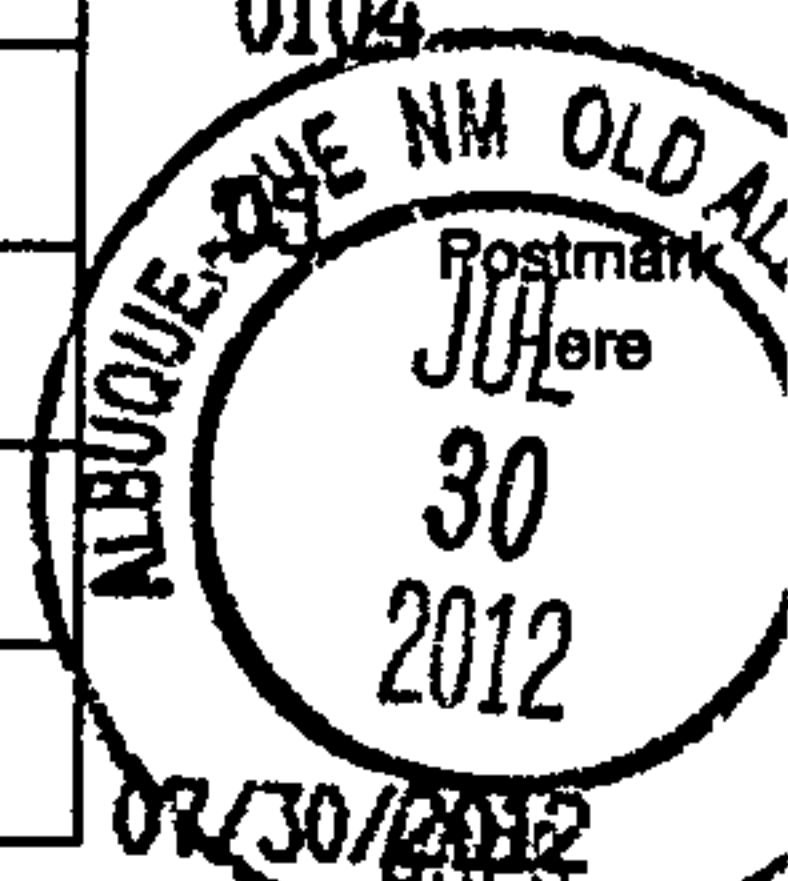
Sent To H+W ARCHITECTURE  
 Street, Apt. No., or PO Box No. 2200 WILDER LN NW  
 City, State, ZIP+4 ALBUQUERQUE, NM 87104  
 PS Form 3800, August 2006 See Reverse for Instructions

DATE 1150 0001 7773 3141

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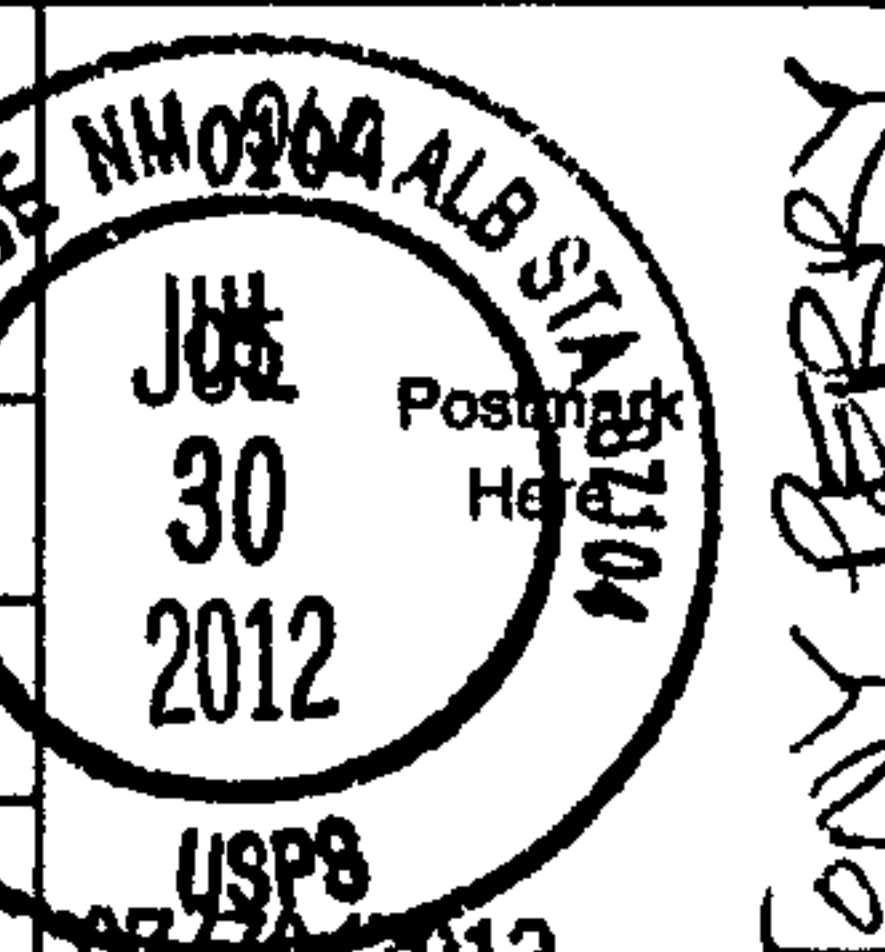
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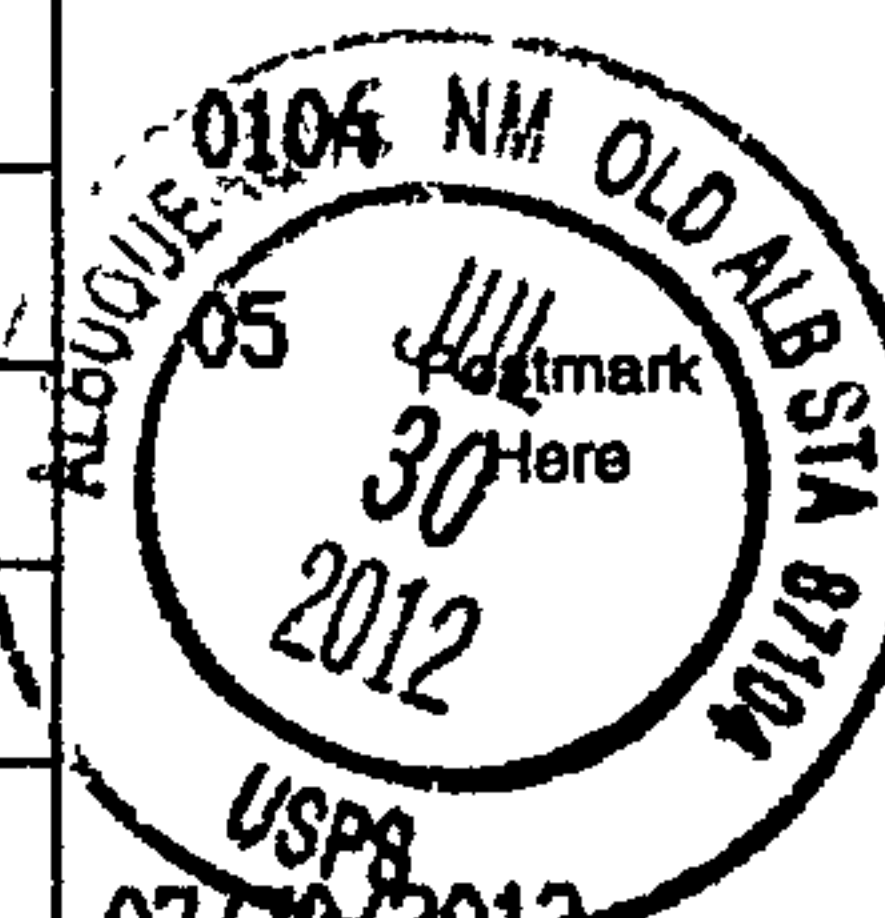
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| Total Postage & Fees                           | \$ 5.95 |  |

Sent To **JOE YARDUMIAN**  
 Street, Apt. No.; or PO Box No. **7801 R.C. GORMAN AVE NE**  
 City, State, ZIP+4 **ALBUQUERQUE, NM 87122**

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| Restricted Delivery Fee (Endorsement Required) | \$0.00  |  |
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| Restricted Delivery Fee (Endorsement Required) | \$0.00  |  |
| Total Postage & Fees                           | \$ 5.95 |  |

Sent To **JEFF PETERSON**  
 Street, Apt. No.; or PO Box No. **7800 EAGLE ROCK AVE NE**  
 City, State, ZIP+4 **ALBUQUERQUE, NM 87122**

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| Certified Fee                                  | \$2.95  |  |
| Return Receipt Fee (Endorsement Required)      | \$2.35  |  |
| Restricted Delivery Fee (Endorsement Required) | \$0.00  |  |
| Total Postage & Fees                           | \$ 5.95 |  |

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 Street, Apt. No.; or PO Box No. **4909 WATERCRESS NE**  
 City, State, ZIP+4 **ALBUQUERQUE, NM 87113**

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# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 8.9.12  
Applicant or Agent Signature / Date

## NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

### Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 - SITE PLAN

### A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less      1" = 10'  
1.0 - 5.0 acres                1" = 20'  
Over 5 acres                    1" = 50'  
Over 20 acres                   1" = 100'                    *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping



# SITE DEVELOPMENT PLAN FOR BUILDING PROJECT MIT CHECKLIST

## B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

### 1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required:  provided:   
Handicapped spaces (included in required total) required:  provided:   
Motorcycle spaces (in addition to required total) required:  provided:
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required:  provided:
  - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
  - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
  - 6. Existing and proposed street widths, right-of-way widths and curve radii
  - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 8. Location of traffic signs and signals related to the functioning of the proposal
  - 9. Identify existing and proposed medians and median cuts



# SITE DEVELOPMENT PLAN FOR BUILDING P MIT CHECKLIST

## 3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

## SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

## B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

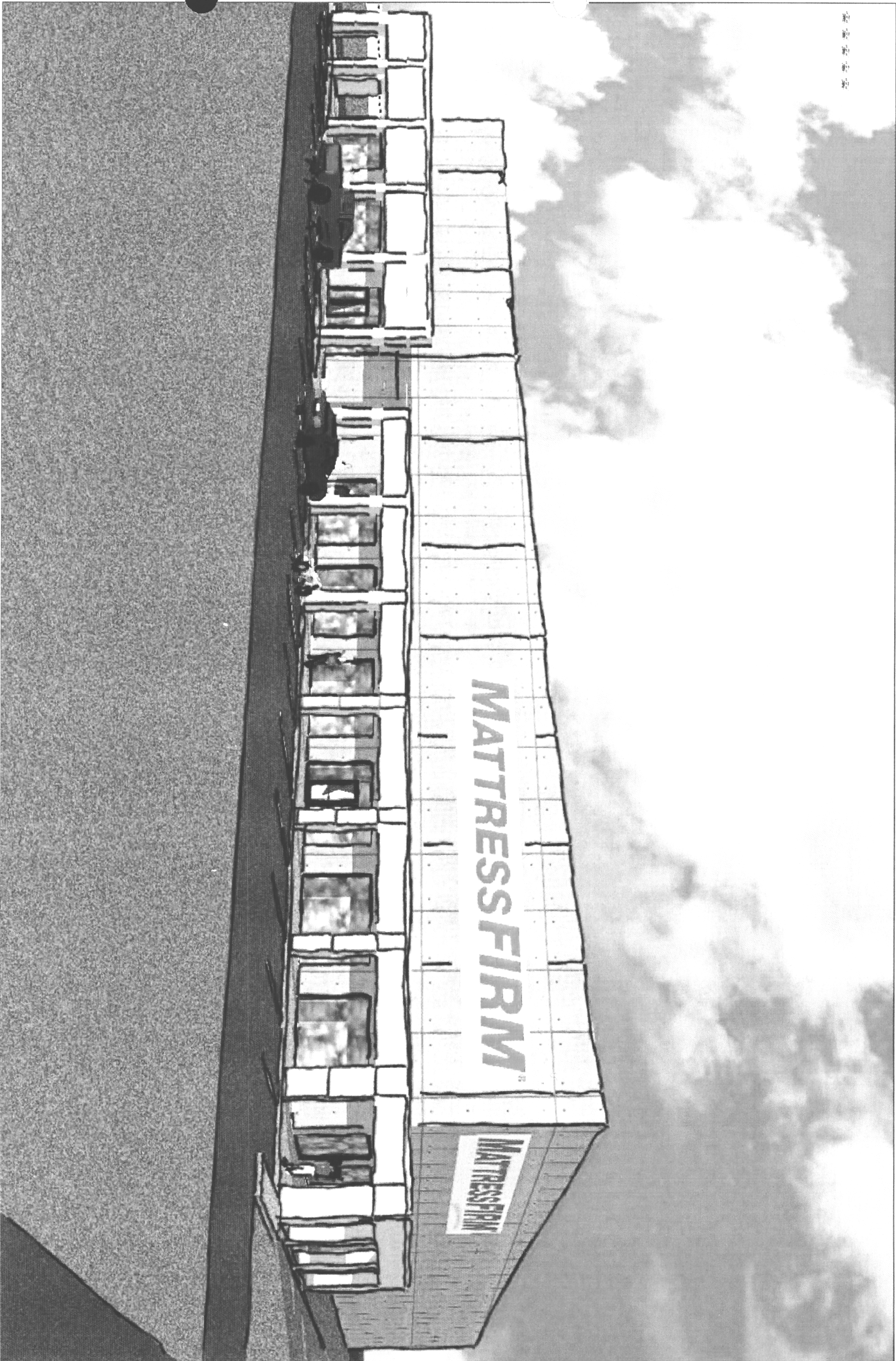
### A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation (north, south, east, & west).
  - 2. Facade dimensions including overall height and width
  - 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
  - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.





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## **Mattress Firm**

Distribution Center, Showroom and Corporate Offices

Albuquerque, New Mexico

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James W. Brown and Kathleen A. Brown  
11471 Sky Valley Way, NE  
Albuquerque, NM 87111  
505-332-3814

August 9, 2012

City of Albuquerque

**RE: Authorization Letter**

To Whom It May Concern:

This letter authorizes **H+ W Architecture** to Represent **James W. Brown and Kathleen A. Brown, Co- Trustees of the James Wesley Brown and Kathleen Ann Brown Trust**, regarding the Site Plan for Building Permit to be submitted to Development Review Board for 9100 Pan American Freeway/Lots 13-20, Block 8, North Albuquerque Acres, Tract A, Unit B – Located on I-25 Service Road between Alameda Boulevard NE and Glendale NE – Zone Map B-18.

Signed:

  
James W. Brown

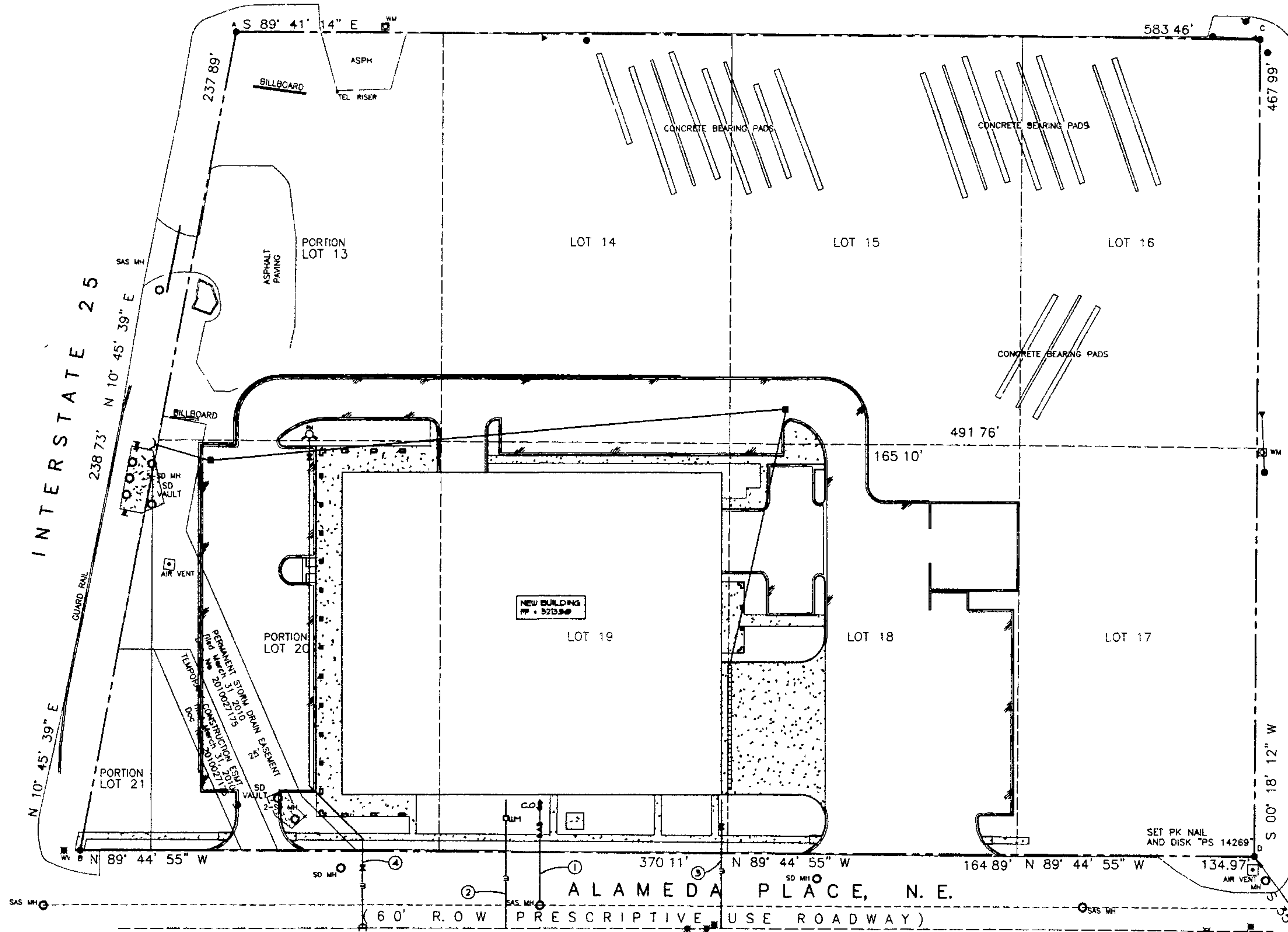
Date: August 9, 2012

Signed:

  
Kathleen A. Brown

Date: August 9, 2012

GLENDALE AVENUE, N. E.  
(60' ROW PRESCRIPTIVE USE ROADWAY)



KEYED NOTES

- 1 6" PVC SANITARY SEWER SERVICE CONNECTION
- 2 1" DOMESTIC WATER SERVICE CONNECTION
- 3 4" FIRE PROTECTION SERVICE LINE WITH GATE VALVE
- 4 6" C-900 PVC WATER LINE WITH GATE VALVE

LEGEND

- SAS— SANITARY SEWER LINE
- W— WATER LINE
- F— WATER METER
- P— PROPERTY LINE
- C— SEWER CLEAN OUT
- M— MANHOLE
- SAS MH
- F— FIRE HYDRANT
- V— VALVE

1 CONCEPTUAL SITE UTILITIES PLAN

1" = 30'-0"

SAN PEDRO DRIVE, N. E.  
(60' ROW PRESCRIPTIVE USE ROADWAY)

ACS MONUMENT "10-C18"  
x=1,542,565.263  
y=1,524,123.885  
Ground-to-grnd  
0.999665042  
Mapping Angle  
-00°11'19.43"  
NAD 83



**Walla** Structural Engineering, Inc.  
2158 Indian School Road NE, Albuquerque, NM 87110  
405-261-3000 • Fax 405-261-4023

**H+W**  
architecture llc  
2200 Wilder Lane NW,  
Albuquerque, NM 87104  
tel 505 761 8238  
fax 505 508 4478  
email hplusw@t.net

**MATR... FIRM**  
DISTRIBUTION CENTER  
SHOWROOM  
CORPORATE OFFICES  
ALBUQUERQUE, NM

Sheet Title  
**CONCEPTUAL SITE UTILITIES**  
Date AUGUST 7, 2012  
Drawn LK  
Checked MW

JOB NUMBER H12003  
C102

**GENERAL NOTES**

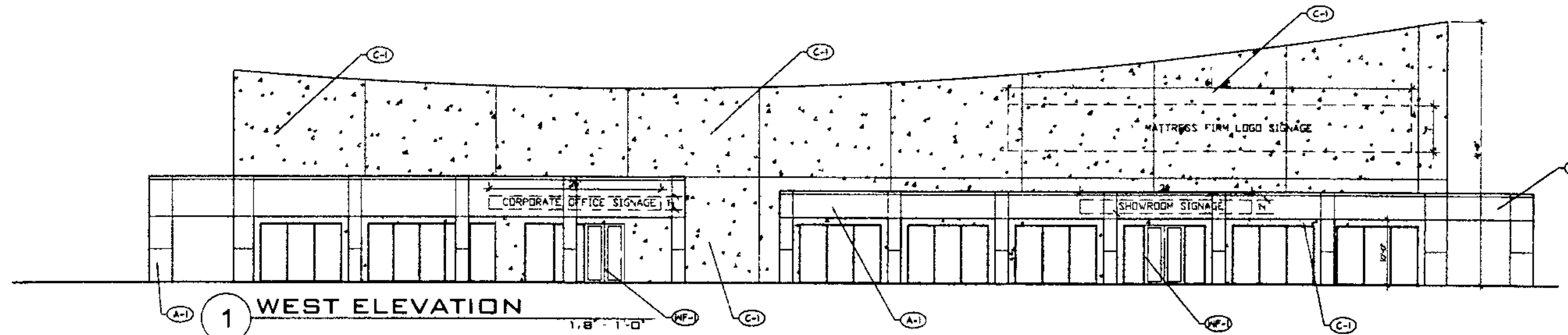
1. THERE SHALL BE NO EXPOSED CONDUITS OR RACEWAYS
  2. CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION SO THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ACCESS
  3. GENERAL CONTRACTOR TO SUBMIT SAMPLES OF ALL MATERIALS PRIOR TO CONSTRUCTION FOR APPROVAL
- 
1. ROOF DRAIN
  2. WALL MOUNTED SCENCE FIXTURE WITH DOWNWARD LIGHT SUBMIT FIXTURE DESIGN TO ARCHITECT FOR SELECTION
  3. OVERHEAD DOOR

**EXTERIOR FINISH SCHEDULE**

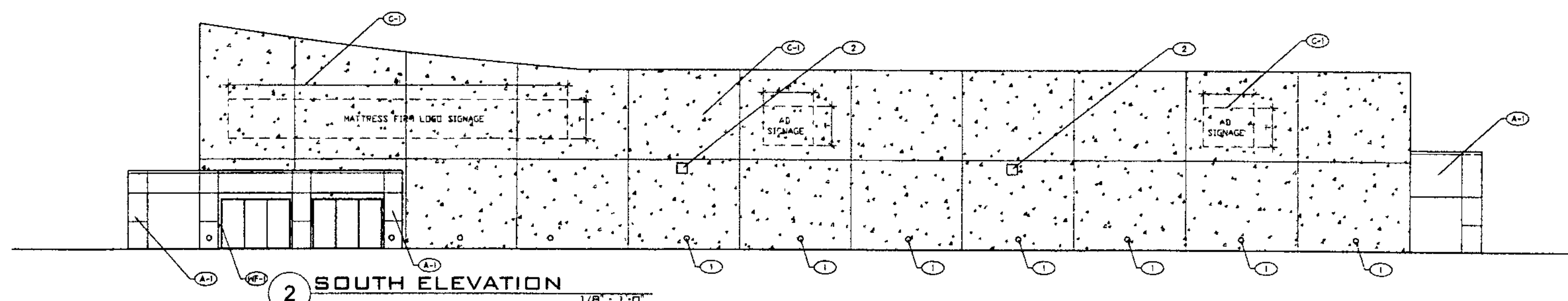
| CONCRETE SYSTEM |          |               |              |
|-----------------|----------|---------------|--------------|
| NO.             | MATERIAL | SPECIFICATION | MANUFACTURER |
| (C-1)           | CONCRETE | SMOOTH FINISH | N/A          |

| ALUMINUM CLADDING |                          |                |         |
|-------------------|--------------------------|----------------|---------|
| NO.               | MATERIAL                 | SPECIFICATION  | MANUFAC |
| (A-1)             | ALUMINUM CLADDING SYSTEM | CLEAR ANODIZED | ALCOA   |

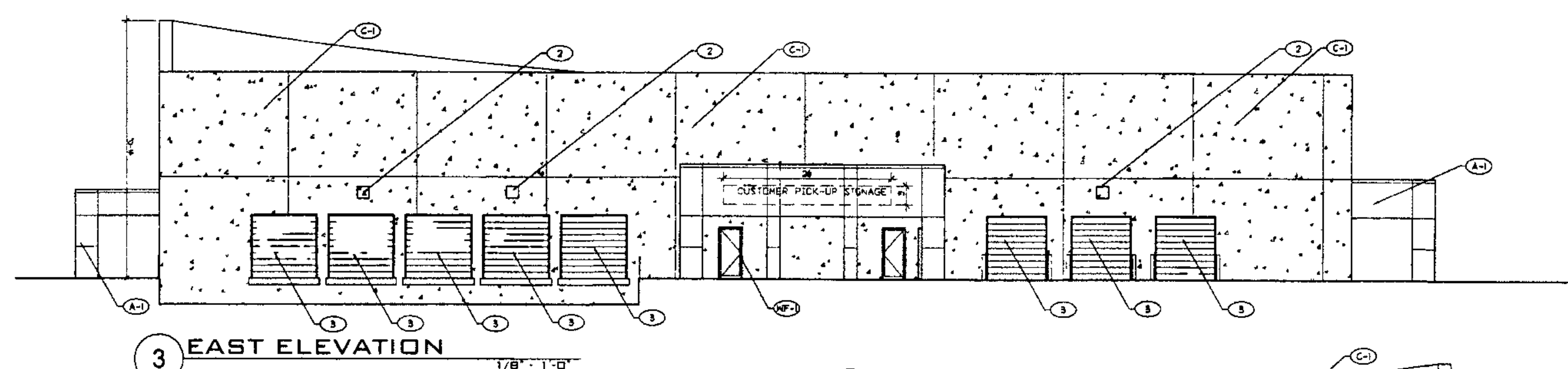
| WINDOW FRAMING |                     |              |                                |
|----------------|---------------------|--------------|--------------------------------|
| NO.            | SPEC. / PRODUCT NO. | MANUFACTURER | REMARKS                        |
| (WF-1)         | BLACK ANODIZED      | KAWNEER      | INSTALL PER MANUFACTURERS REQ. |



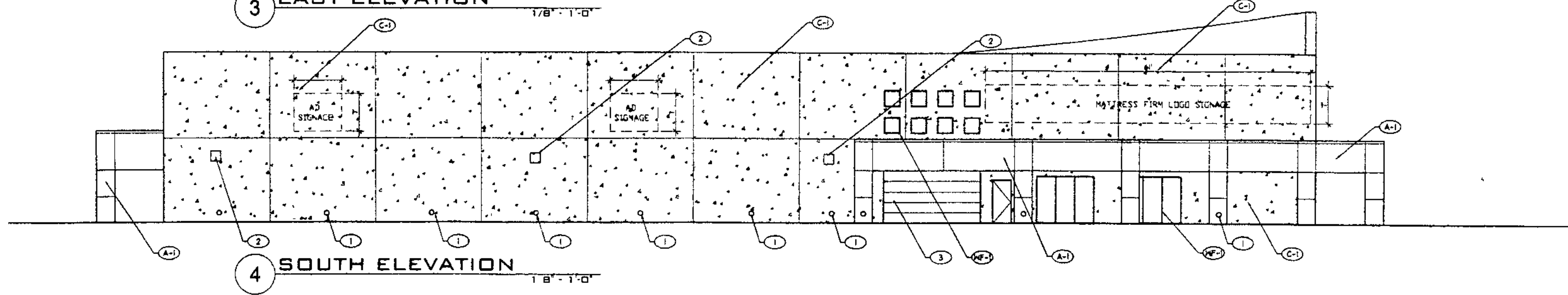
1 WEST ELEVATION 1/8" = 1'-0"



2 SOUTH ELEVATION 1/8" = 1'-0"



3 EAST ELEVATION 1/8" = 1'-0"



4 SOUTH ELEVATION 1/8" = 1'-0"

**H+W**  
**architecture llc**  
 2200 Wilder Lane NW,  
 Albuquerque, NM 87104  
 tel 505 761 8238  
 fax 505 508 4478  
 email, hpluw@comcast.net

**MATR FIRM**  
 DISTRIBUTION CENTER  
 SHOWROOM  
 CORPORATE OFFICES  
 ALBUQUERQUE, NM

Sheet Title  
**ELEVATIONS**

Date August 9, 12  
 Drawn S T WILDER  
 Checked S T WILDER



JOB NUMBER H12003

**A002**



