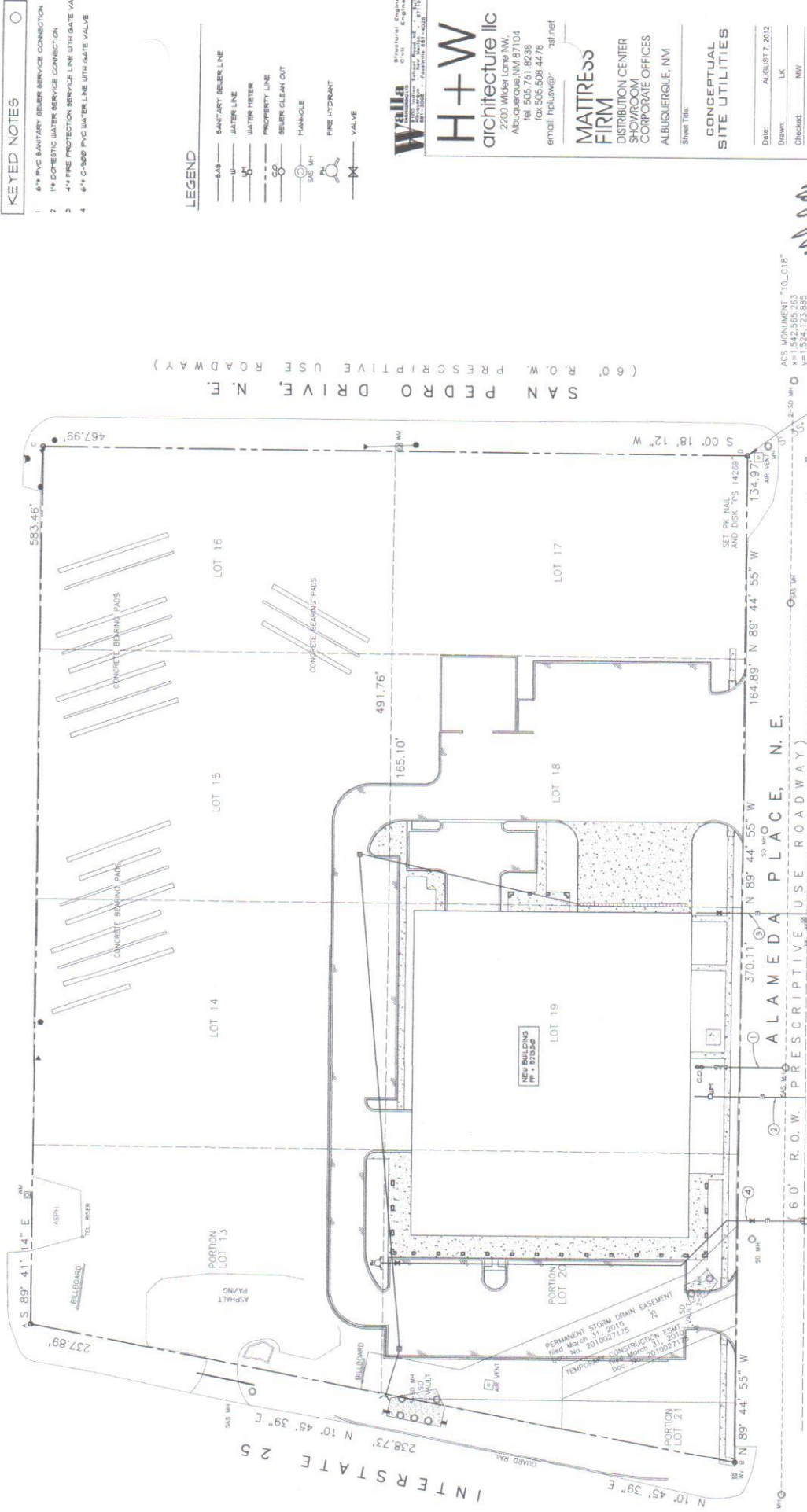
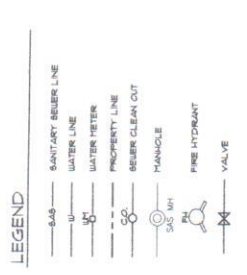


GLENDALE AVENUE, N.E.
(60' R.O.W. PRESCRIPTIVE USE ROADWAY)



1 CONCEPTUAL SITE UTILITIES PLAN

- KEYED NOTES**
- 6" PVC SANITARY SEWER SERVICE CONNECTION
 - 1" POLYETHYLENE WATER SERVICE CONNECTION
 - 4" FIRE PROTECTION SERVICE LINE WITH GATE VALVE
 - 6" C-900 PVC WATER LINE WITH GATE VALVE



Walla Professional Engineer
 10100 E. 15th Ave., Suite 100
 Denver, CO 80231
 Tel: 303.755.1100 Fax: 303.755.1101

H+W
architecture llc
 2200 Wilder Lane NW
 Albuquerque, NM 87104
 Tel: 505.761.8238
 Fax: 505.508.4478
 email: hplusw@h+w.net

MATTRESS FIRM
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 ALBUQUERQUE, NM

Sheet Title:
CONCEPTUAL SITE UTILITIES

Date: AUGUST 7, 2012
 Drawn: LK
 Checked: MW

JOB NUMBER: H1003
 SHEET NO.: C102



ACS MONUMENT "10, C18"
 x=1542,565,263
 y=1524,123,885
 UTM Zone 18Q
 Mapping Angle:
 100.1115, 4.3
 NAD 83
 NAD 83

SAN PEDRO DRIVE, N.E.
(60' R.O.W. PRESCRIPTIVE USE ROADWAY)

GENERAL NOTES

1. THESE SHALL BE THE GENERAL NOTES FOR THE EXTERIOR ELEVATIONS. CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION OF ACCESS. IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.
2. GENERAL CONTRACTOR TO SUBMIT SAMPLES OF ALL MATERIALS PRIOR TO CONSTRUCTION FOR APPROVAL.
3. ROOF BRICK.
4. WALL MOUNTED RECESSED FIXTURE WITH DOWNWARD LIGHT, SUBMIT OVERHEAD BRICK.

EXTERIOR FINISH SCHEDULE

NO.	MATERIAL	SPECIFICATION	MANUFACTURER
1	CONCRETE	SMOOTH FINISH	N/A

NO.	MATERIAL	SPECIFICATION	MANUFACTURER
1	ALUMINUM CLADDING SYSTEM	CLEAR ANODIZED	ALCOA

NO.	SPEC.	PRODUCT NO.	MANUFACTURER	REMARKS
1	BLACK ANODIZED		HANVEER	INSTALL PER MANUFACTURERS REQ.

NO.	MATERIAL	SPECIFICATION	MANUFACTURER
1	ALUMINUM CLADDING SYSTEM	CLEAR ANODIZED	ALCOA

NO.	SPEC.	PRODUCT NO.	MANUFACTURER	REMARKS
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H+W
architecture llc
 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 Tel: 505.761.8238
 Fax: 505.506.4478
 email: hpluw@comcast.net

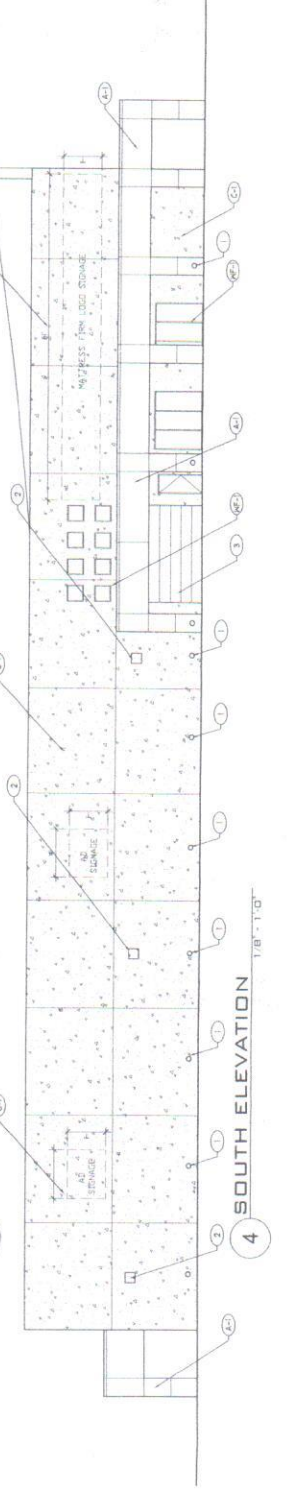
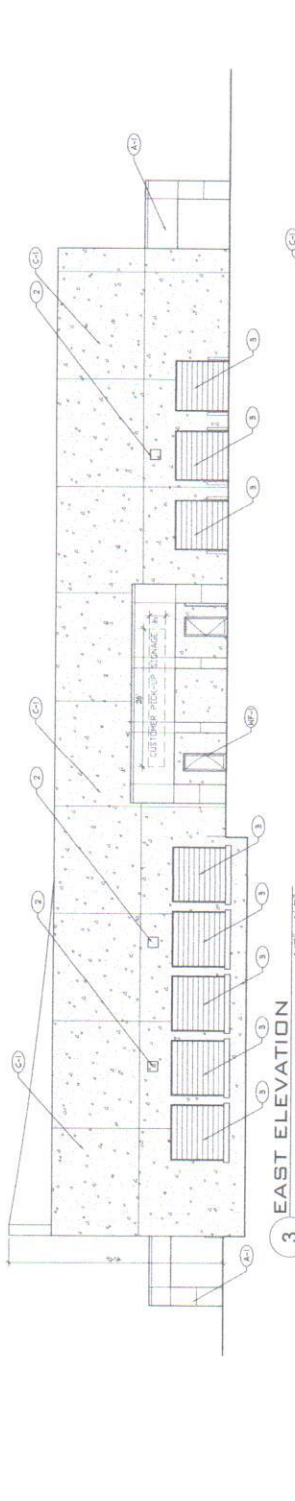
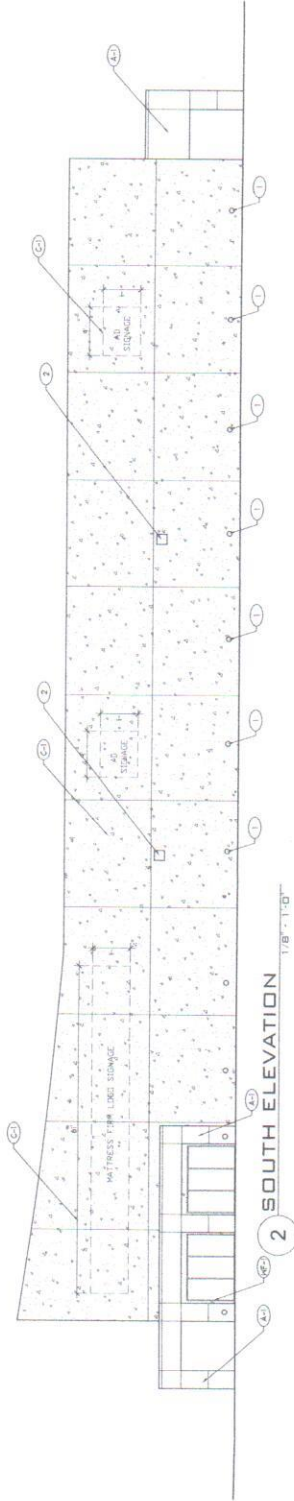
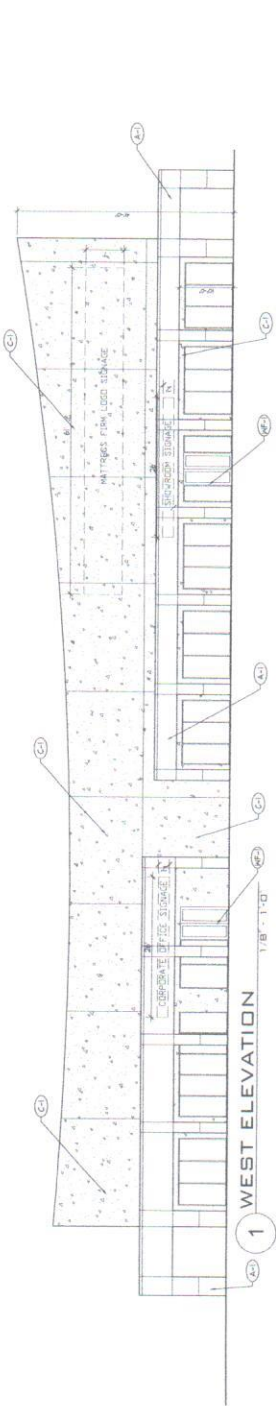
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Sheet Title:
ELEVATIONS

Date: August 8, 12
 Drawn: ST. WILDER
 Checked: ST. WILDER

JOB NUMBER: HY2003

A002



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE	DESIGN STORM (IN)	7.4	5.0	3.0	3.0	1.5	1.5
EXISTING CONDITIONS							
AREA (ACRES)		0.00	0.00	0.00	0.00	0.00	0.00
PERCENT IMPERVIOUS		0.00	0.00	0.00	0.00	0.00	0.00
COEFFICIENT OF DRAINAGE		0.00	0.00	0.00	0.00	0.00	0.00
TOTALS		0.00	0.00	0.00	0.00	0.00	0.00

PROPOSED CONDITIONS	DESIGN STORM (IN)	7.4	5.0	3.0	3.0	1.5	1.5
AREA (ACRES)		0.00	0.00	0.00	0.00	0.00	0.00
PERCENT IMPERVIOUS		0.00	0.00	0.00	0.00	0.00	0.00
COEFFICIENT OF DRAINAGE		0.00	0.00	0.00	0.00	0.00	0.00
TOTALS		0.00	0.00	0.00	0.00	0.00	0.00

KEYED NOTES

- DROP INLET
- ASPHALT PAVEMENT
- CONCRETE CURB AND GUTTER
- CONCRETE VALLEY GUTTER
- CONCRETE OUTFALL STRUCTURE
- CONCRETE PAVING
- LINEAR CATCH BASIN AT DOOR

- LEGEND**
- PROPERTY LINE
 - NEW BUILDING LINE
 - EXISTING CONTOUR
 - NEW CONTOUR
 - NEW SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - NEW FLOW DIRECTION ARROW
 - TOP OF ASPHALT
 - TOP OF CONCRETE
 - FINISHED GRADE
 - FINISH FLOOR
 - INVERT ELEVATION
 - STORM SEWER
 - FLOOR LINE
 - NEW CONCRETE PAVING
 - NEW AC PAVING
 - ROOF DRAIN LOCATION

Wells Structural Engineers
 CIVIL ENGINEERS
 10000 W. UNIVERSITY BLVD. SUITE 100
 ALBUQUERQUE, NM 87105
 TEL: 505.761.8238
 FAX: 505.508.4478
 EMAIL: hpw@wellseng.com

H+W
architecture llc
 2200 WILDET LANE NW,
 ALBUQUERQUE, NM 87104
 TEL: 505.761.8238
 FAX: 505.508.4478
 EMAIL: hpw@wellseng.com

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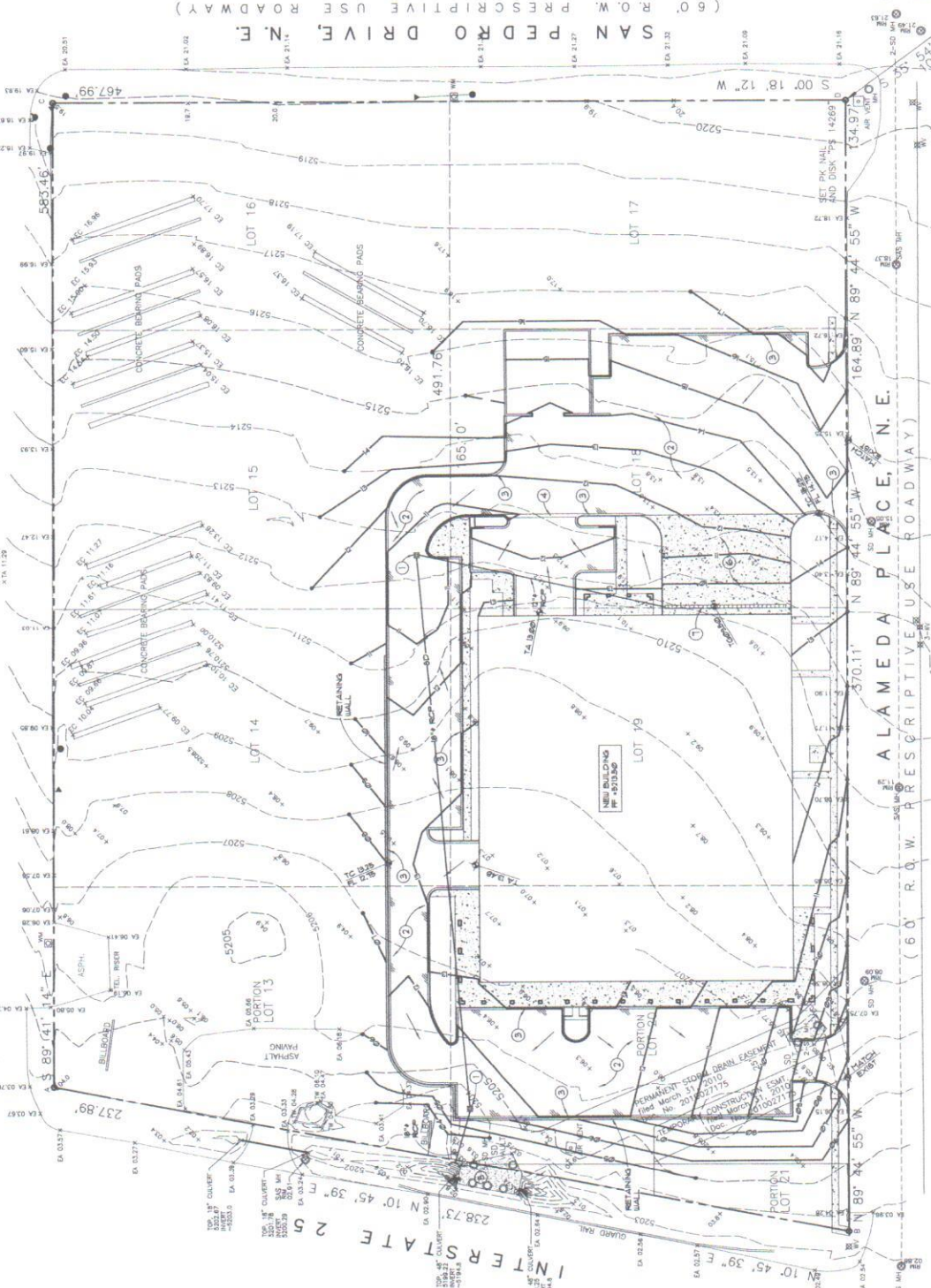
Sheet Title:
CONCEPTUAL GRADING AND DRAINAGE PLAN

Date: AUGUST 7, 2012
 Drawn: UK
 Checked: MW

JOB NUMBER: H1003
 C101

LEGAL DESCRIPTION

ALL OF LOTS NUMBERED FOURTEEN (14), FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18), NINETEEN (19), TWENTY (20), TWENTY-ONE (21), TWENTY-TWO (22), TWENTY-THREE (23), TWENTY-FOUR (24), TWENTY-FIVE (25), TWENTY-SIX (26), TWENTY-SEVEN (27), TWENTY-EIGHT (28), TWENTY-NINE (29), THIRTY (30), THIRTY-ONE (31), THIRTY-TWO (32), THIRTY-THREE (33), THIRTY-FOUR (34), THIRTY-FIVE (35), THIRTY-SIX (36), THIRTY-SEVEN (37), THIRTY-EIGHT (38), THIRTY-NINE (39), FORTY (40), FORTY-ONE (41), FORTY-TWO (42), FORTY-THREE (43), FORTY-FOUR (44), FORTY-FIVE (45), FORTY-SIX (46), FORTY-SEVEN (47), FORTY-EIGHT (48), FORTY-NINE (49), FIFTY (50), FIFTY-ONE (51), FIFTY-TWO (52), FIFTY-THREE (53), FIFTY-FOUR (54), FIFTY-FIVE (55), FIFTY-SIX (56), FIFTY-SEVEN (57), FIFTY-EIGHT (58), FIFTY-NINE (59), SIXTY (60), SIXTY-ONE (61), SIXTY-TWO (62), SIXTY-THREE (63), SIXTY-FOUR (64), SIXTY-FIVE (65), SIXTY-SIX (66), SIXTY-SEVEN (67), SIXTY-EIGHT (68), SIXTY-NINE (69), SEVENTY (70), SEVENTY-ONE (71), SEVENTY-TWO (72), SEVENTY-THREE (73), SEVENTY-FOUR (74), SEVENTY-FIVE (75), SEVENTY-SIX (76), SEVENTY-SEVEN (77), SEVENTY-EIGHT (78), SEVENTY-NINE (79), EIGHTY (80), EIGHTY-ONE (81), EIGHTY-TWO (82), EIGHTY-THREE (83), EIGHTY-FOUR (84), EIGHTY-FIVE (85), EIGHTY-SIX (86), EIGHTY-SEVEN (87), EIGHTY-EIGHT (88), EIGHTY-NINE (89), NINETY (90), NINETY-ONE (91), NINETY-TWO (92), NINETY-THREE (93), NINETY-FOUR (94), NINETY-FIVE (95), NINETY-SIX (96), NINETY-SEVEN (97), NINETY-EIGHT (98), NINETY-NINE (99), ONE HUNDRED (100).



GLENDALE AVENUE, N.E.
 (60' R.O.W. PRESCRIPTIVE USE ROADWAY)

ALAMEDA PLACE, N.E.
 (60' R.O.W. PRESCRIPTIVE USE ROADWAY)

SAN PEDRO DRIVE, N.E.
 (60' R.O.W. PRESCRIPTIVE USE ROADWAY)

CONCEPTUAL GRADING AND DRAINAGE PLAN

1" = 30'