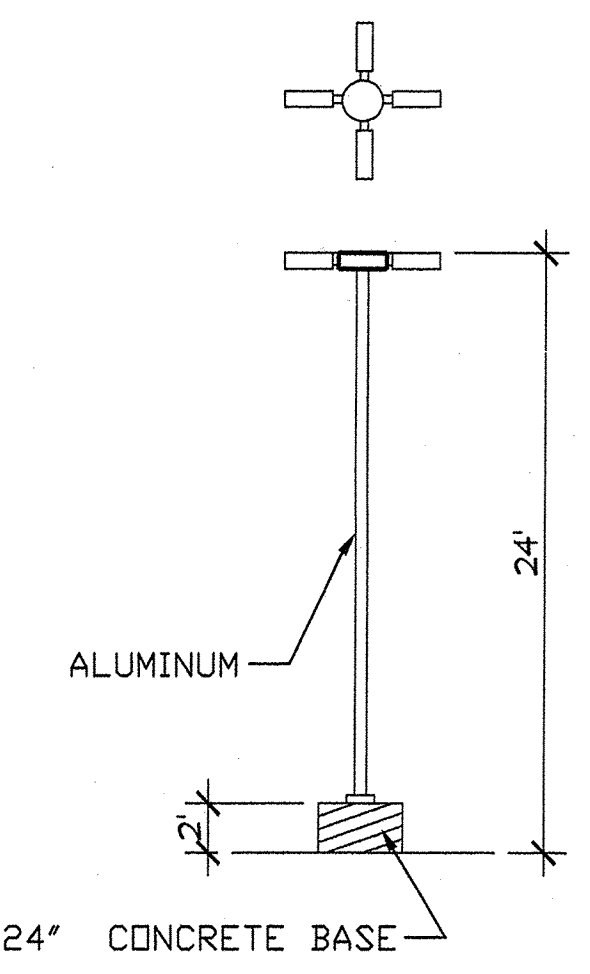


PHASE TWO  
FUTURE DRB  
150,069.65 SF  
3.445 ACRES

PHASE ONE  
NEW BLDG.  
143,439.02 S.F.  
3.292 AC.



2 LIGHT POLE 1/4" = 1'-0"

**SIGNATURE BLOCK**

PROJECT NUMBER:  
CASE NUMBER:  
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SIDE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:  
IS A INFRASTRUCTURE LIST REQUIRED ( ) YES ( ) NO, IF YES, THEN A SET OF APPROVED DRG WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH-IN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.  
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
PARKS & RECREATION DEPARTMENT	DATE
CITY ENGINEER, ENGINEERING DIVISION/ AMAFCA	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE DEPARTMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT, ALBUQUERQUE	DATE

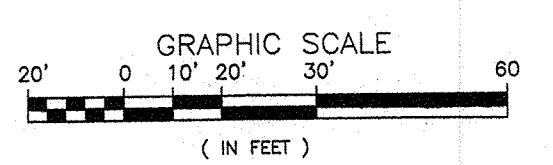
SAN PEDRO DRIVE, N. E.

**RADIUS LEGEND**

① 2' RADIUS	④ 5' RADIUS	⑦ 20' RADIUS	⑩ 50' RADIUS
② 3' RADIUS	⑤ 10' RADIUS	⑧ 25' RADIUS	⑪ 100' RADIUS
③ 4' RADIUS	⑥ 15' RADIUS	⑨ 35' RADIUS	⑫ 150' RADIUS

**SITE DEVELOPMENT PLAN**

1"=30' (FOR BUILDING PERMIT PHASE III)



**LEGAL DESCRIPTION**  
All of Lots numbered Fourteen (14), Fifteen (15), Sixteen (16), Seventeen (17), Eighteen (18) and Nineteen (19) together with portions of Lots Numbered Thirteen (13), Twenty (20) and Twenty-one (21), in Block numbered Eight (8), Tract A, Unit B, NORTH ALBUQUERQUE, ACRES, Albuquerque, New Mexico, as the same are shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, folio 130.

**GENERAL NOTES:**  
LIGHTING: LIGHTING SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1,000 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

**DESIGN CRITERIA - BLDG. E**

**IBC CODE DESIGN DATA**

OCCUPANCY GROUP = B, M AND S-OFFICE, RETAIL & STORAGE  
TYPE OF CONSTRUCTION = VB (SPRINKLERED)

**AREA OF BUILDING**  
OFFICE/RETAIL = 11,323 S.F.  
WAREHOUSE = 28,375 S.F.

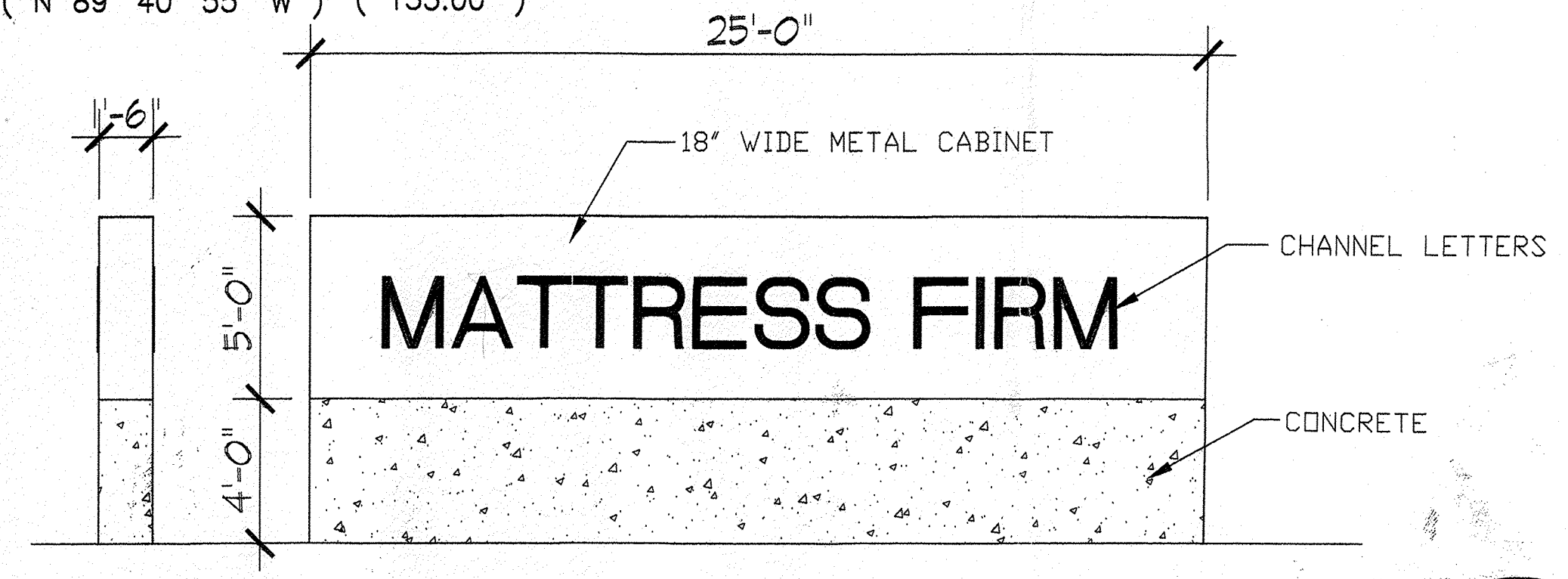
**OCCUPANT LOAD**  
OFFICE/RETAIL 11,323 SF/ 200 = 56 OCC.  
WAREHOUSE 28,375 SF/500 = 56.75 OCC.  
TOTAL OCCUPANT LOAD = 113

**SEISMIC ZONE** = 2B  
**SOIL BEARING CAPACITY** = 1,500 PSI  
**CONCRETE STRENGTH** = 3,000 PSI  
**STRESS VALUES** = LUMBER: Fb = 970 MIN.  
= STEEL: 50,000 PSI  
= SPEED = 75 MPH  
= 20 PSF LL, 15 PSF DL  
= SLAB ON GRADE  
CORRIDOR DESIGN LOAD = N/A

**WIND DESIGN LOAD**  
ROOF DESIGN LOAD  
FLOOR DESIGN LOAD  
CORRIDOR DESIGN LOAD

**ZONING DESIGN DATA**

- ZONING = SU-2 FOR IP
- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
  - LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
  - IRRIGATION: A. THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED ON AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.  
B. SHRUB PLANTING: DRIP IRRIGATION W/ 6- 1 GPM EMITTER PER TREE AND 2 EMITTERS PER SHRUB W/ AVB, PRESSURE REGULATOR, AND FILTER.
  - PREMISE ID ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.
  - NEW HYDRANTS (IF REQUIRED) TO BE INSTALLED SHALL BE MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION



18" WIDE METAL CABINET WITH CHANNEL LETTERS MOUNTED ON EACH SIDE  
CHANNEL LETTER DISPLAY: 293 RED PLEX FACES WITH BLACK TRIMCAP AND 5" METAL RETURNS PAINTED BLACK, RED L.E.D. FOR ILLUMINATION  
ON SMOOTH FINISHED CONCRETE BASE.

1 MONUMENT SIGN 1/4" = 1'-0"

**H+W**  
architecture llc  
2200 Wilder Lane NW,  
Albuquerque, NM 87104  
tel. 505.761.8238  
fax 505.508.4478  
email: hpluw@comcast.net

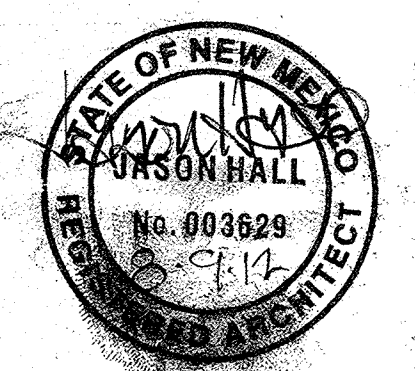
**MATTRESS FIRM**  
DISTRIBUTION CENTER  
SHOWROOM  
CORPORATE OFFICES  
ALBUQUERQUE, NM

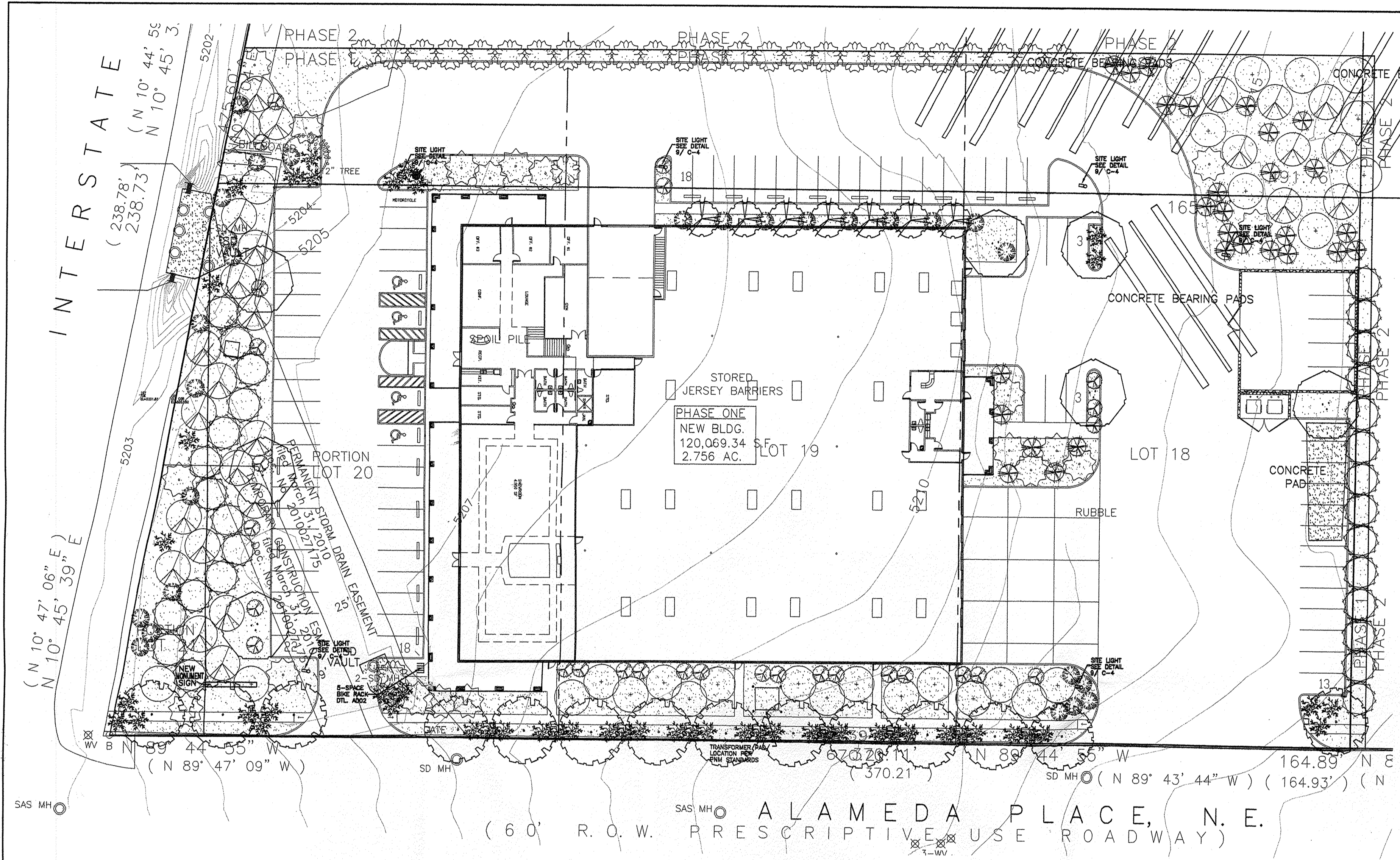
Sheet Title:  
**SITE PLAN**

Date: AUGUST 9, 2012  
Drawn: S.T.WILDER  
Checked: S.T.WILDER

JOB NUMBER: H12003

**C001**





**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES**
  - CHITALPA 14  
Chilopsis x catalpa  
2' Cal., 12-14' Inst./30' x 30' maturity  
Water (M) Allergy (L) Osf
  - COMMON HACKBERRY 7  
Celtis occidentalis  
2' Cal., 12-14' Inst./40' x 40' maturity  
Water (M) Allergy (L) Osf
- ORNAMENTAL TREES**
  - PURPLE-LEAF PLUM 7  
Prunus cerasifera  
1 1/2' Cal., 10-12' Inst./20' x 20x maturity  
Water (M) Allergy (L) Osf
- LARGE SHRUBS**
  - FIFTEEN GAL.
    - DESERT WILLOW 28  
Chilopsis linearis  
15 Gal., 4-10' Inst./20' x 25' maturity  
Water (L+) Allergy (L) 225sf
    - VITEX 27  
Vitex agnus-castus  
15 Gal., 4-10' Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf
    - \* WESTERN RED CEDAR 28  
Thuja plicata 'Green Giant'  
15 Gal., 4-10' Inst./40' x 15' maturity  
Water (M) Allergy (L) 225sf
    - NEW MEXICO OLIVE 27  
Forsythia neomexicana  
15 Gal., 4-10' Inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf
    - WASHINGTON HAWTHORN 21  
Crataegus phaenopynum  
15 Gal., 4-10' Inst./25' x 25' maturity  
Water (M+) Allergy (L) 300sf
- GROUNDCOVERS**
  - \* BUFFALO JUNIPER 51  
Juniperus sabinna 'Buffalo'  
5 Gal., 24"-4' Inst./2' x 8' maturity  
Water (L+) Allergy (L) 225sf
  - \* TAM JUNIPER 27  
Juniperus sabinna 'Tamariscifolia'  
1 Gal., 6"-15" Inst./4' x 15' maturity  
Water (L+) Allergy (L) 225sf
  - WINTER JASMINE 28  
Jasminum nudiflorum  
1 Gal., 6"-15" Inst./4' x 12' maturity  
Water (L+) Allergy (L) 144sf
  - \* HONEYBUCKLE 28  
Lonicera japonica 'Halliana'  
1 Gal., 6"-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover

- HARDSCAPES**
  - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

\* DENOTES EVERGREEN PLANT MATERIAL

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Follen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.  
Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: ALAMEDA PLACE  
Required 14 Provided 14

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

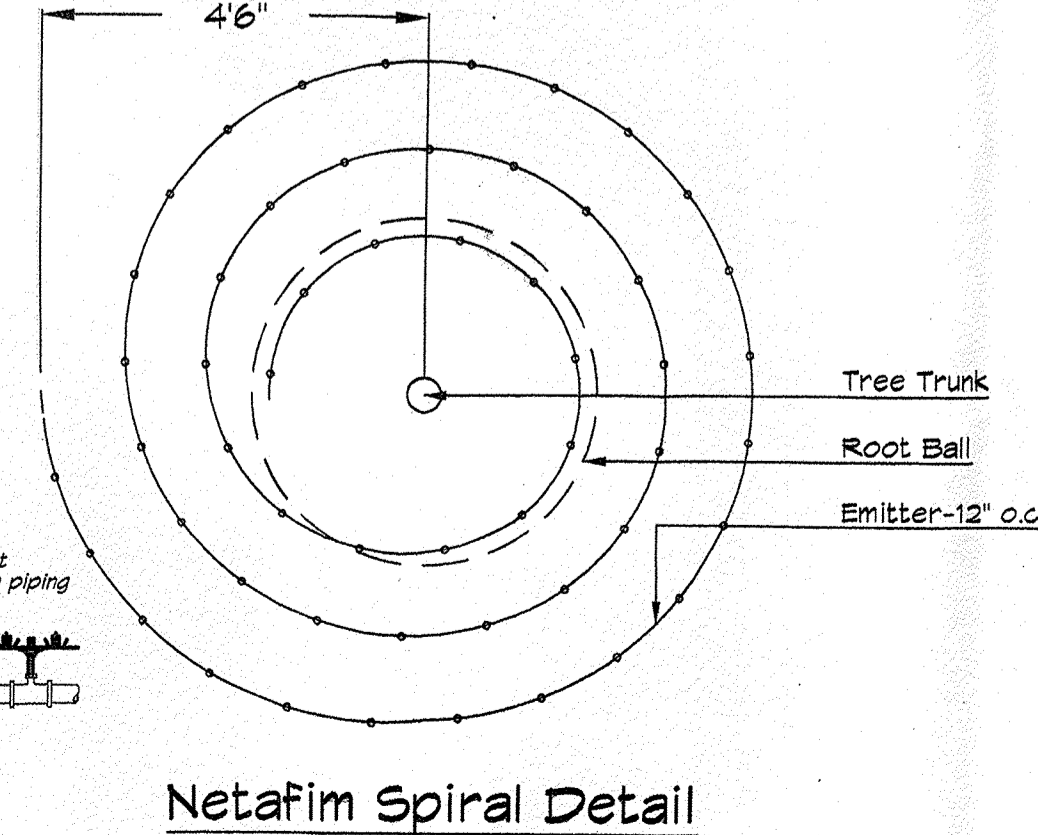
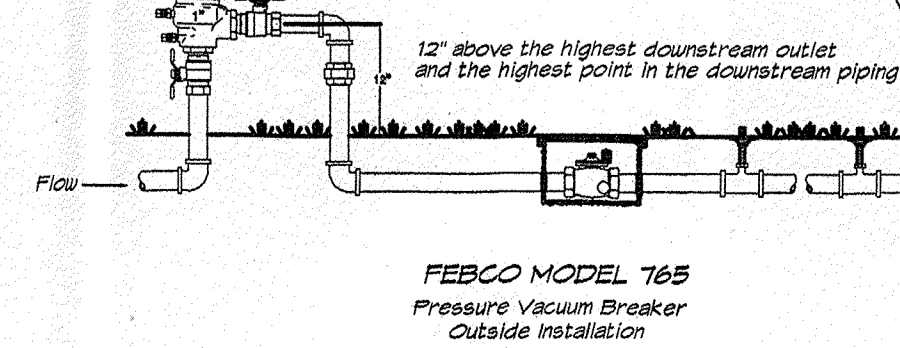
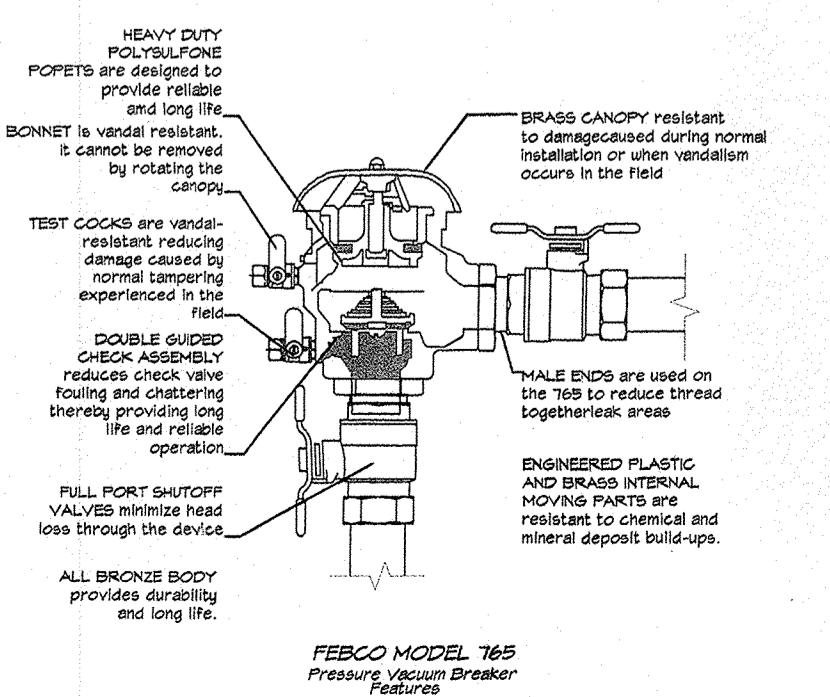
1 Shade tree per 10 spaces  
Required 7 Provided 8 (1 EXISTING)

**NOTE TO CLIENT:**

Should the Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

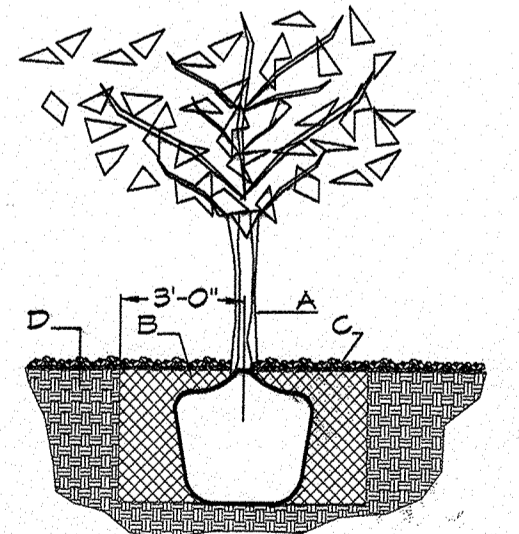
**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	272424	square feet
TOTAL BUILDINGS AREA	56152	square feet
NET LOT AREA	216272	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	32440	square feet
TOTAL BED PROVIDED	31150	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	27862	square feet
TOTAL GROUNDCOVER PROVIDED	30648	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	31150	square feet



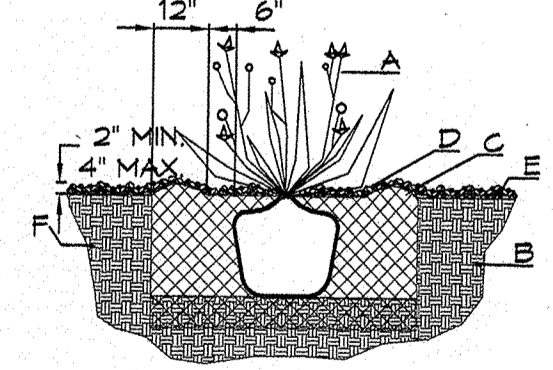
**TREE PLANTING DETAIL**

- NTS
- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE HAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF GRAVEL MULCH.
  - UNDISTURBED SOIL.

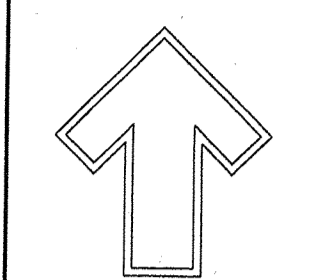
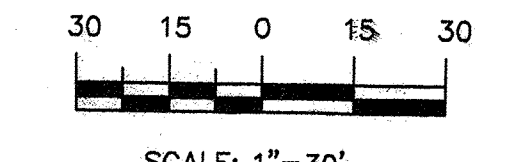


**SHRUB PLANTING DETAIL**

- NTS
- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE.
  - UNDISTURBED SOIL.



**GRAPHIC SCALE**



Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
emj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

MATTRESS FIRM  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

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**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CAM  
REVISION # 1/8-2-12  
DATE 7-25-12  
SHEET # 1 of 1

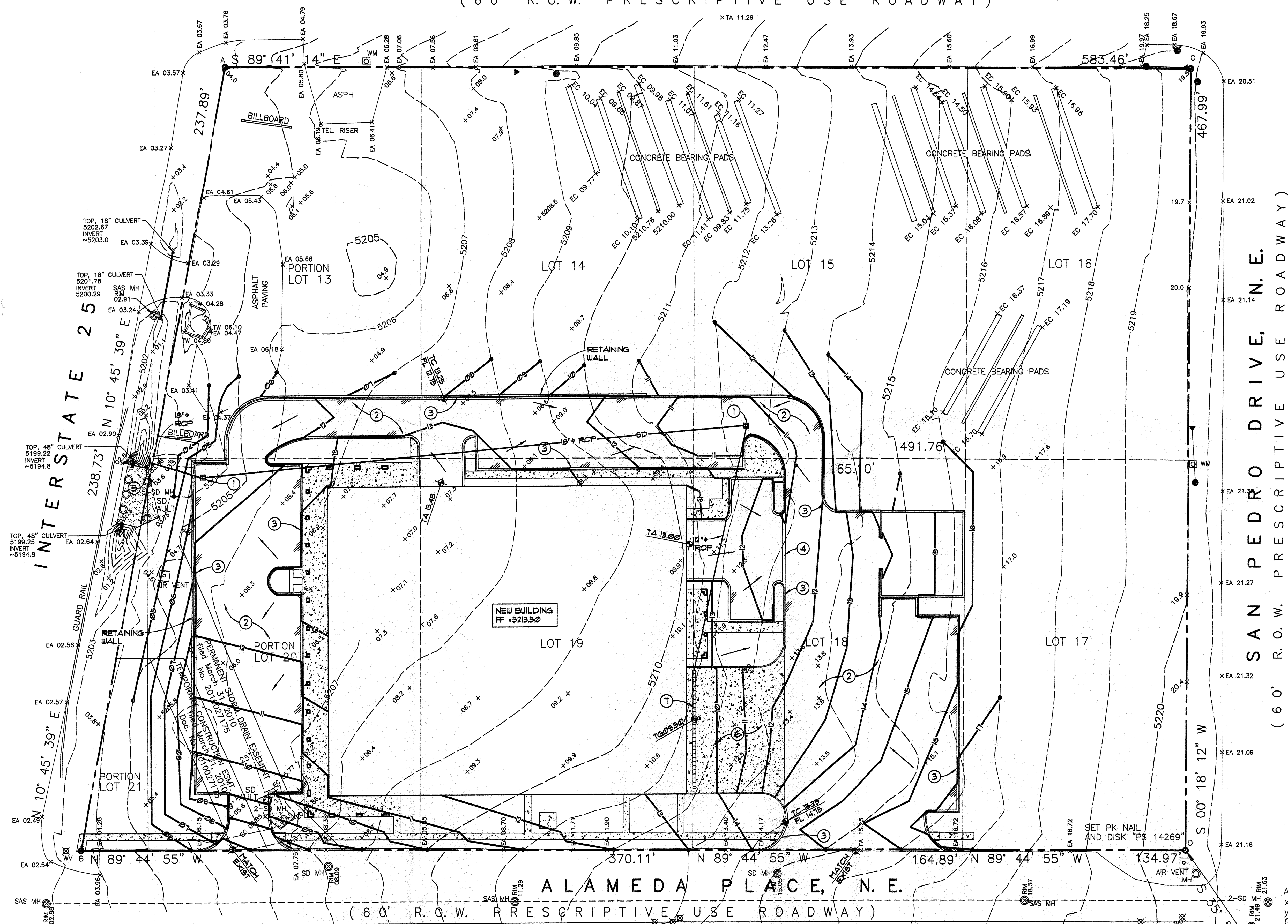
**GLENDALE AVENUE, N.E.**  
( 60' R.O.W. PRESCRIPTIVE USE ROADWAY )

**LEGAL DESCRIPTION**

ALL OF LOTS NUMBERED FOURTEEN (14), FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17), EIGHTEEN (18) AND NINETEEN (19) TOGETHER WITH PORTIONS OF LOTS NUMBERED THIRTEEN (13), TWENTY (20) AND TWENTY-ONE (21), IN BLOCK NUMBERED EIGHT (8), TRACT A, UNIT B, NORTH ALBUQUERQUE, ACRES, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936 IN VOLUME D, FOLIO 130.

**HYDROLOGY CALCULATIONS**

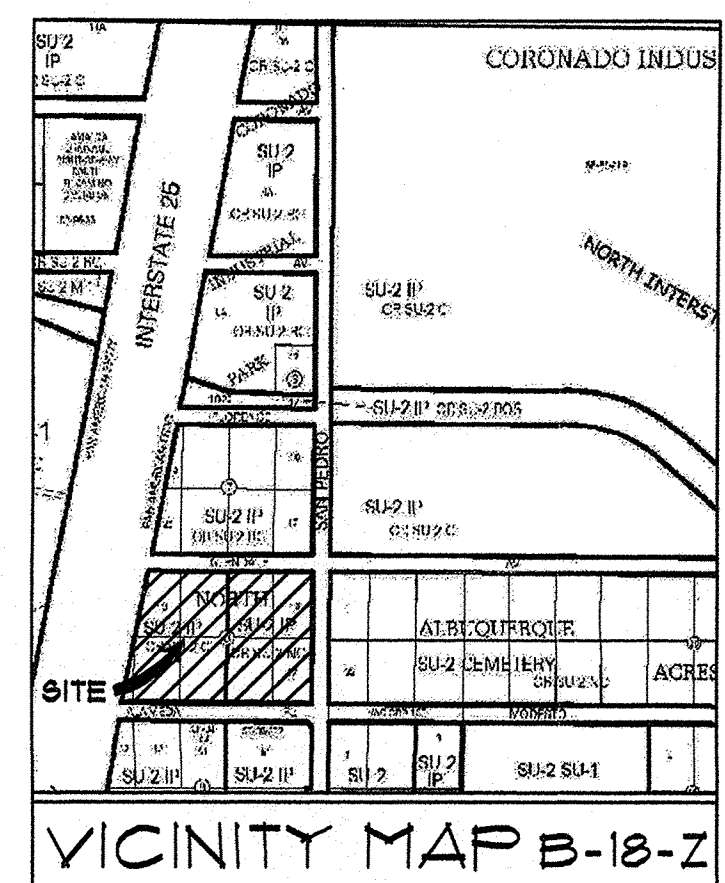
PRECIPITATION ZONE 3 DESIGN STORM: (IN)		1hr	6hr	24hr	4day	10day
		2.14	2.60	3.10	3.95	4.90
EXISTING CONDITIONS		Q	V6	V24	V4DAY	V10DAY
LAND AREA	AREA	(CF8)	(CF)	(CF)	(CF)	(CF)
TRTMT (ACRE)	%					
A	0.000	0%	0.66	1.87	0.00	0
B	0.300	1%	0.37	2.60	1.30	1.670
C	6.285	93%	1.23	3.45	21.68	29.431
D	0.010	0%	2.36	5.02	0.05	86
TOTALS	6.795	100%	23.03	31.06	31.204	31.235
PROPOSED CONDITIONS		Q	V6	V24	V4DAY	V10DAY
LAND AREA	AREA	(CF8)	(CF)	(CF)	(CF)	(CF)
TRTMT (ACRE)	%					
A	0.000	0%	0.66	1.87	0.00	0
B	0.300	4%	0.37	2.60	1.002	1.002
C	4.066	60%	1.23	3.45	14.03	19.040
D	2.429	36%	2.36	5.02	12.19	20.803
TOTALS	6.795	100%	21.00	40.850	45.259	48.345



- LEGEND**
- PROPERTY LINE
  - NEW BUILDING LINE
  - - - 5210 - - - EXISTING CONTOUR
  - NEW CONTOUR
  - 12.00' NEW SPOT ELEVATION
  - x 07.2 EXISTING SPOT ELEVATION
  - NEW FLOW DIRECTION ARROW
  - TA TOP OF ASPHALT
  - TC TOP OF CONCRETE
  - TG TOP OF GRATE
  - FG FINISHED GRADE
  - FF FINISH FLOOR
  - INV INVERT ELEVATION
  - SS STORM SEWER
  - FL FLOW LINE
  - [Pattern] NEW CONCRETE PAVING
  - [Pattern] NEW AC PAVING
  - ▲ ROOF DRAIN LOCATION

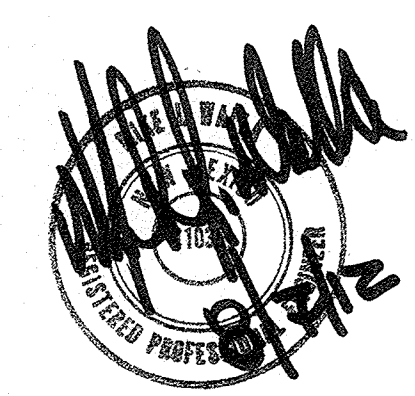
**KEYED NOTES**

- 1 DROP INLET
- 2 ASPHALT PAVEMENT
- 3 CONCRETE CURB AND GUTTER
- 4 CONCRETE VALLEY GUTTER
- 5 CONCRETE OUTFALL STRUCTURE
- 6 CONCRETE PAVING
- 7 LINEAR CATCH BASIN AT DOCK



**1 CONCEPTUAL GRADING AND DRAINAGE PLAN**  
1" = 30'-0"

ACS MONUMENT "10\_C18"  
x=1,542,565.263  
y=1,524,123.885  
Ground-to-grid:  
0.999665042  
Mapping Angle:  
-00°11'19.43"  
NMSP CENTRAL ZONE  
NAD 83



**Walla** Structural Engineering, Civil Engineering  
6100 Indian School Road NE, Suite 217  
Albuquerque, New Mexico 87110  
881-3008 • Facsimile 881-4025

**H+W**  
architecture llc  
2200 Wilder Lane NW,  
Albuquerque, NM 87104  
tel. 505.761.8238  
fax 505.508.4478  
email: hplusw@comcast.net

**MATTRESS FIRM**  
DISTRIBUTION CENTER  
SHOWROOM  
CORPORATE OFFICES  
ALBUQUERQUE, NM  
Sheet Title:  
**CONCEPTUAL GRADING AND DRAINAGE PLAN**

Date: AUGUST 7, 2012  
Drawn: LK  
Checked: MW

JOB NUMBER: H12003

**C101**

GLENDALE AVENUE, N. E.  
( 6 0' R. O. W. PRESCRIPTIVE USE ROADWAY )

KEYED NOTES

- 1 6" PVC SANITARY SEWER SERVICE CONNECTION
- 2 1" DOMESTIC WATER SERVICE CONNECTION
- 3 4" FIRE PROTECTION SERVICE LINE WITH GATE VALVE
- 4 6" C-900 PVC WATER LINE WITH GATE VALVE

LEGEND

- SAS— SANITARY SEWER LINE
- W— WATER LINE
- FM— WATER METER
- — — PROPERTY LINE
- S S S SEWER CLEAN OUT
- SAS MH MANHOLE
- FH FIRE HYDRANT
- ⊗ VALVE

**Walla** Structural Engineering  
Civil Engineering  
1100 Indian School Road NE, Suite 210  
Albuquerque, New Mexico 87110  
881-3008 • Facsimile 881-4025

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2200 Wilder Lane NW,  
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**MATTRESS FIRM**  
DISTRIBUTION CENTER  
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CORPORATE OFFICES  
ALBUQUERQUE, NM

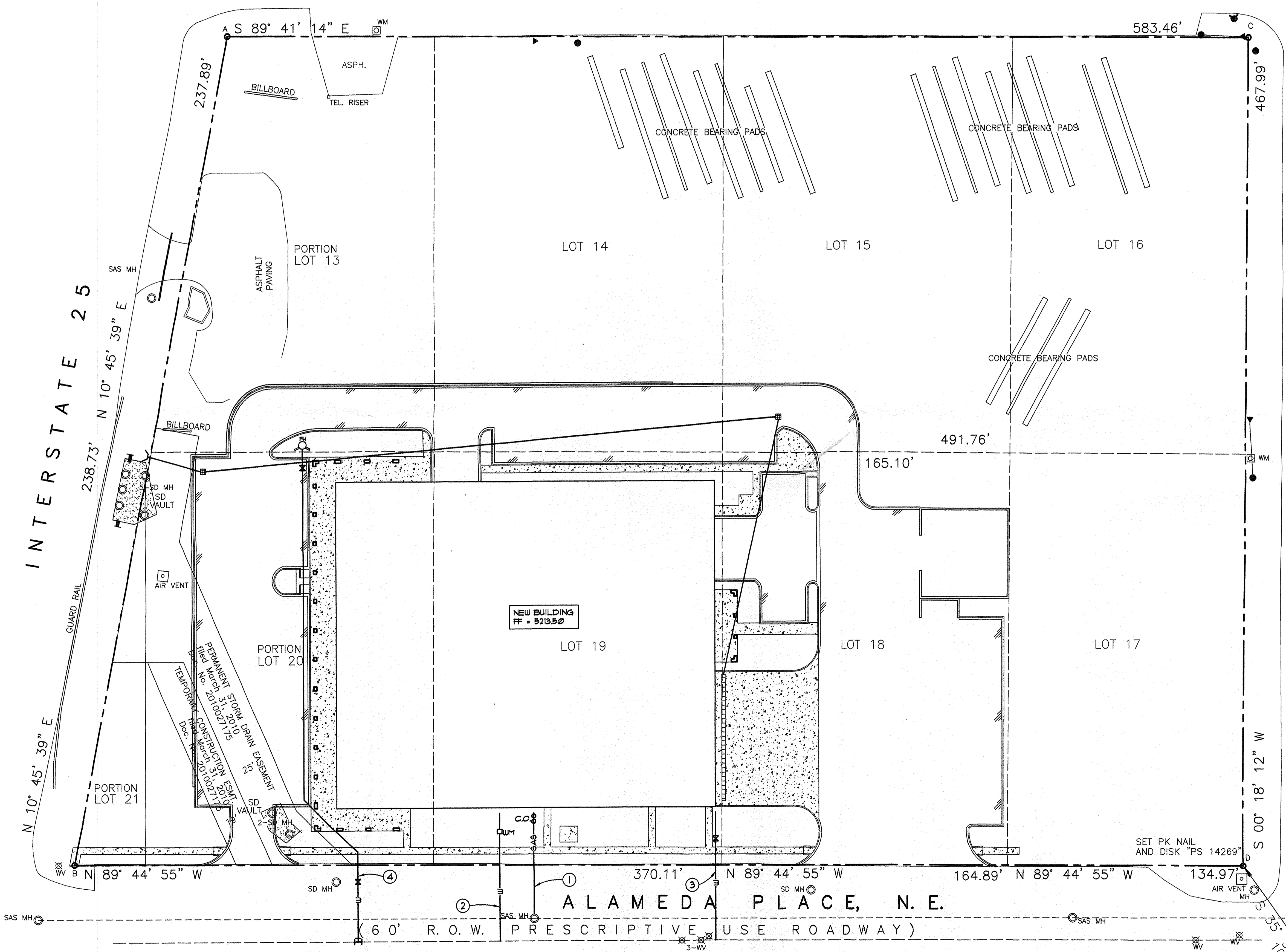
Sheet Title:

**CONCEPTUAL SITE UTILITIES**

Date: AUGUST 7, 2012  
Drawn: LK  
Checked: MW

JOB NUMBER: H12003

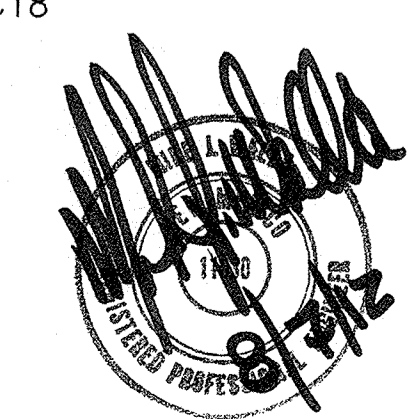
⊕ C102



1 CONCEPTUAL SITE UTILITIES PLAN

1" = 30'-0"

ACS MONUMENT "10\_C18"  
x=1,542,565.263  
y=1,524,123.885  
Ground-to-grid:  
0.999665042  
Mapping Angle:  
-00°11'19.43"  
NMSP CENTRAL ZONE  
NAD 83



**GENERAL NOTES**

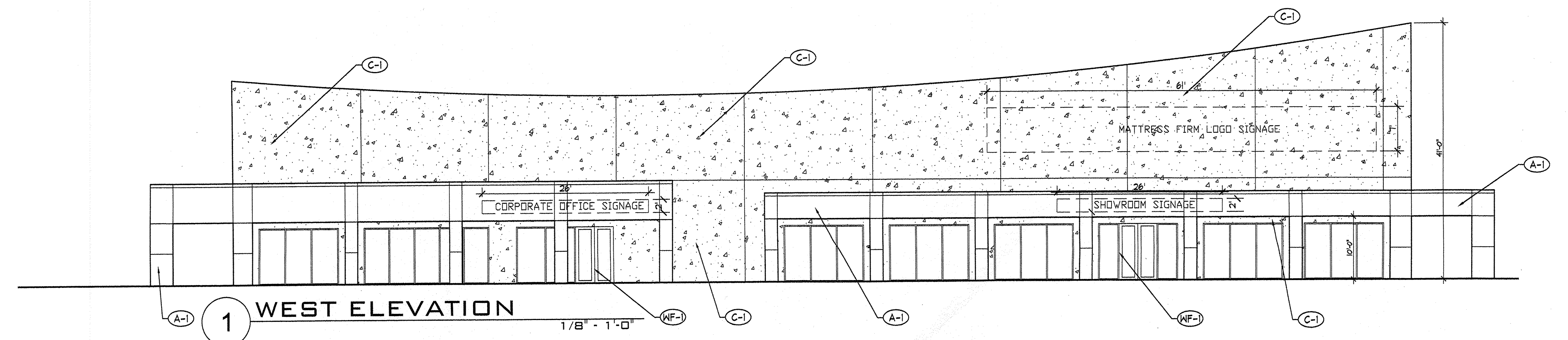
1. THERE SHALL BE NO EXPOSED CONDUITS OR RACEWAYS.
  2. CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION SO THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ACCESS.
  3. GENERAL CONTRACTOR TO SUBMIT SAMPLES OF ALL MATERIALS PRIOR TO CONSTRUCTION FOR APPROVAL.
- 
1. ROOF DRAIN.
  2. WALL MOUNTED SCONCE FIXTURE WITH DOWNWARD LIGHT. SUBMIT FIXTURE DESIGN TO ARCHITECT FOR SELECTION.
  3. OVERHEAD DOOR.

**EXTERIOR FINISH SCHEDULE**

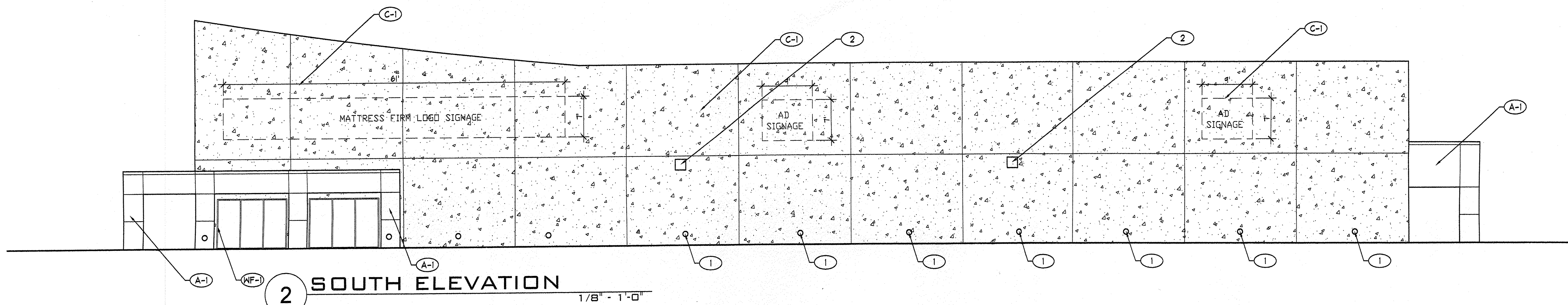
CONCRETE SYSTEM			
NO.	MATERIAL	SPECIFICATION	MANUFACTURER
(C-1)	CONCRETE	SMOOTH FINISH	N/A

ALUMINUM CLADDING			
NO.	MATERIAL	SPECIFICATION	MANUFACTURER
(A-1)	ALUMINUM CLADDING SYSTEM	CLEAR ANODIZED	ALCOA

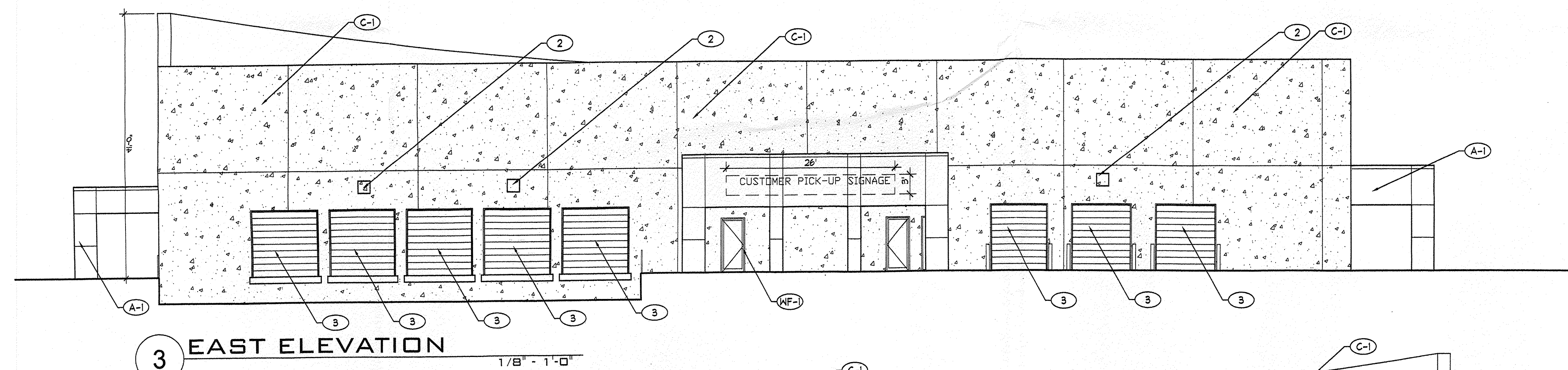
WINDOW FRAMING			
NO.	SPEC. / PRODUCT NO.	MANUFACTURER	REMARKS
(WF-1)	BLACK ANODIZED	KAWNEER	INSTALL PER MANUFACTURERS REQ.



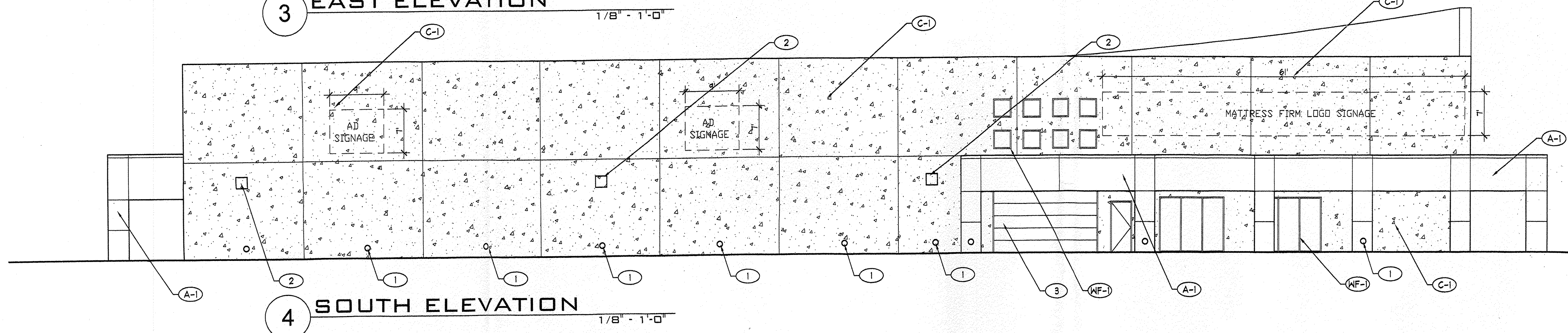
**1 WEST ELEVATION**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"



**3 EAST ELEVATION**  
1/8" = 1'-0"



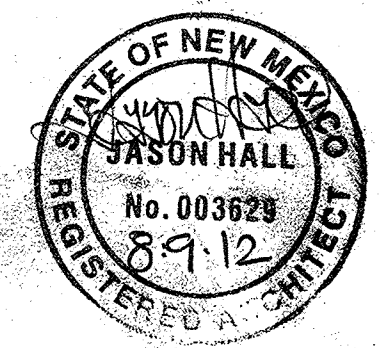
**4 SOUTH ELEVATION**  
1/8" = 1'-0"

*Rev'd J.S.E.  
Tercy*

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Checked: S.T.WILDER



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