

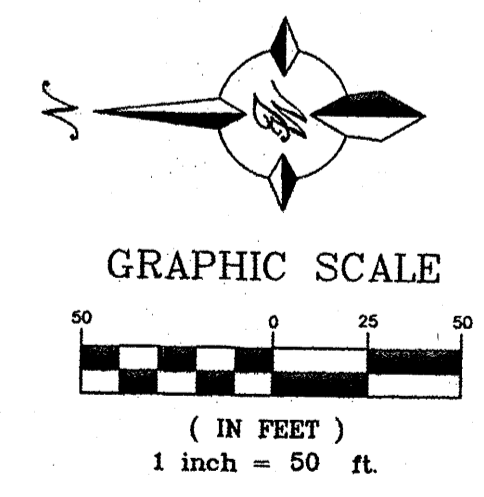
- LEGEND**
- BOUNDARY LINE
 - EXISTING LOT LINE
 - EASEMENT
 - EXISTING CURB & GUTTER
 - ↔ VEHICLE INGRESS/EGRESS POINT
 - ↔ PEDESTRIAN INGRESS/EGRESS POINT

NOTE:
NO ACCESS PROPOSED TO SUNSET GARDEN ROAD.

SITE DATA

ZONING	SU-2 FOR M-1 (W 66)
SITE AREA	366158 SF (8.41 AC)
PROPOSED USAGE	TRUCK TERMINAL
SETBACKS	FRONT 25' SIDE 10' BACK 10'

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE PLAN FOR BUILDING PERMIT
 - C3. PRELIMINARY GRADING PLAN
 - C4. MASTER UTILITY PLAN
 - C5. DETAIL SHEET
 - A2.4 FUEL ISLAND CANOPY ELEVATIONS
 - A3.1 BUILDING ELEVATIONS
 - LS-2. LANDSCAPING PLAN



PROJECT NUMBER: 1009463
APPLICATION NUMBER: DRB 70390

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	<i>[Signature]</i>	01/16/13
Water Utility Development	<i>[Signature]</i>	01/16/13
Parks & Recreation Department	<i>[Signature]</i>	1-16-13
City Engineer	<i>[Signature]</i>	1-16-13
* Environmental Health Department (conditional)		Date
Solid Waste Management	<i>[Signature]</i>	Date
DRB Chairperson, Planning Department	<i>[Signature]</i>	1-16-13
* Environmental Health, if necessary		Date

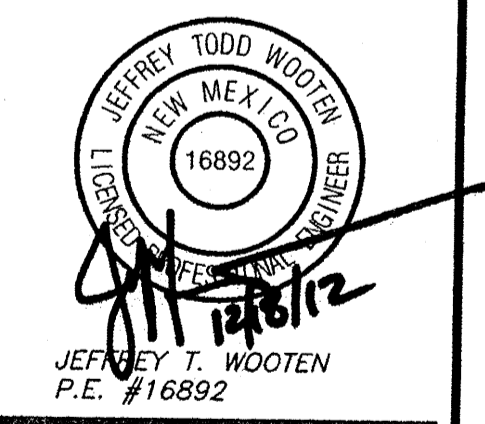
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A NEW TERMINAL FOR:
OLD DOMINION FREIGHT LINE
10210 Central Ave SW
Albuquerque, NM 87121

Issue for Permit: XX-XX-XX



ODFL Albuquerque, NM - ALB
Project No. 12071.00

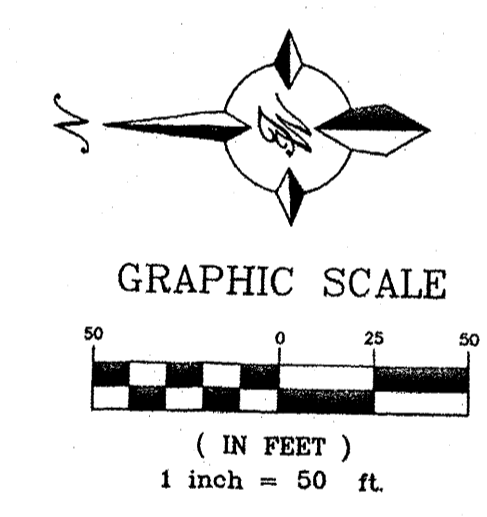
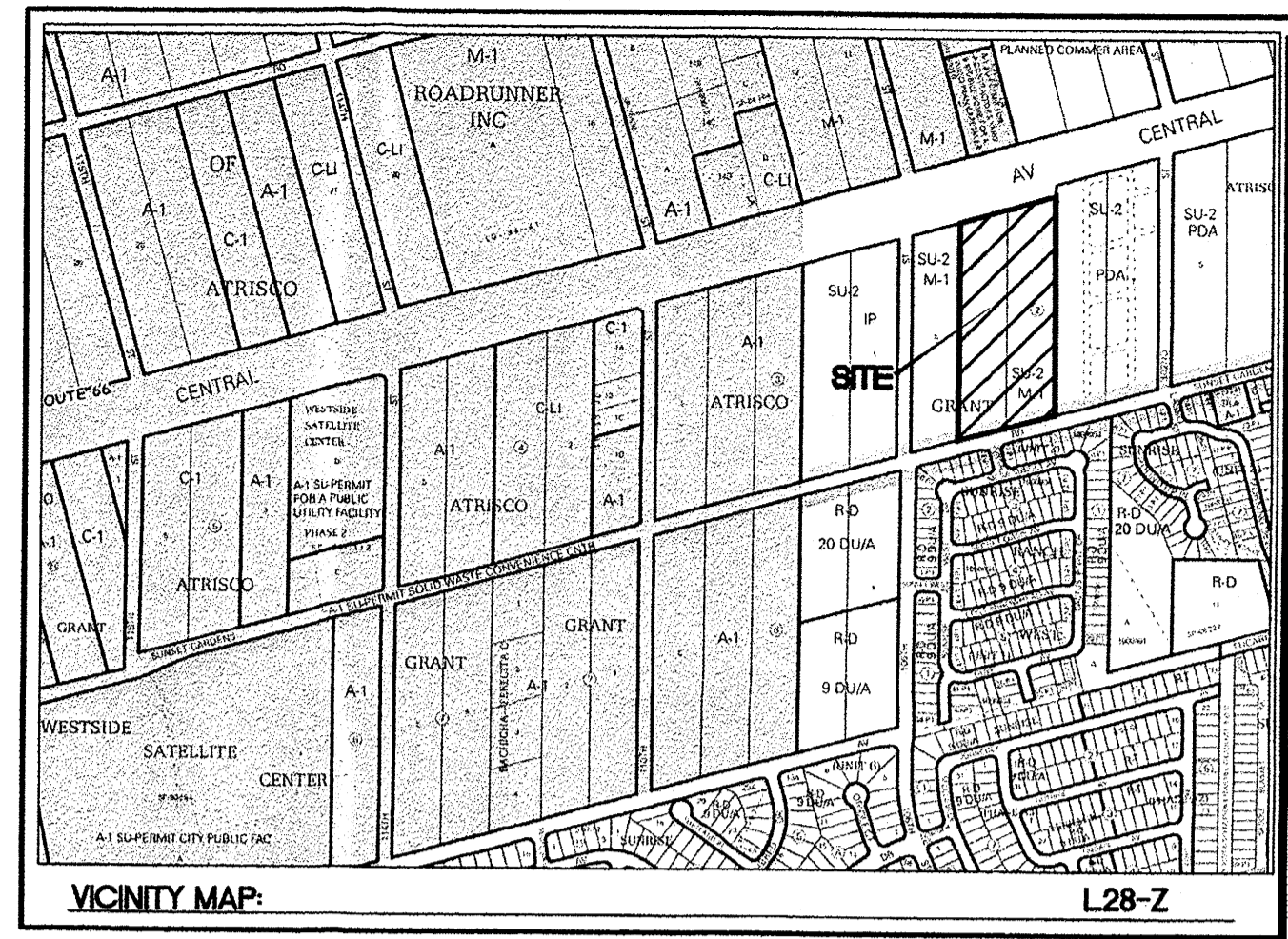
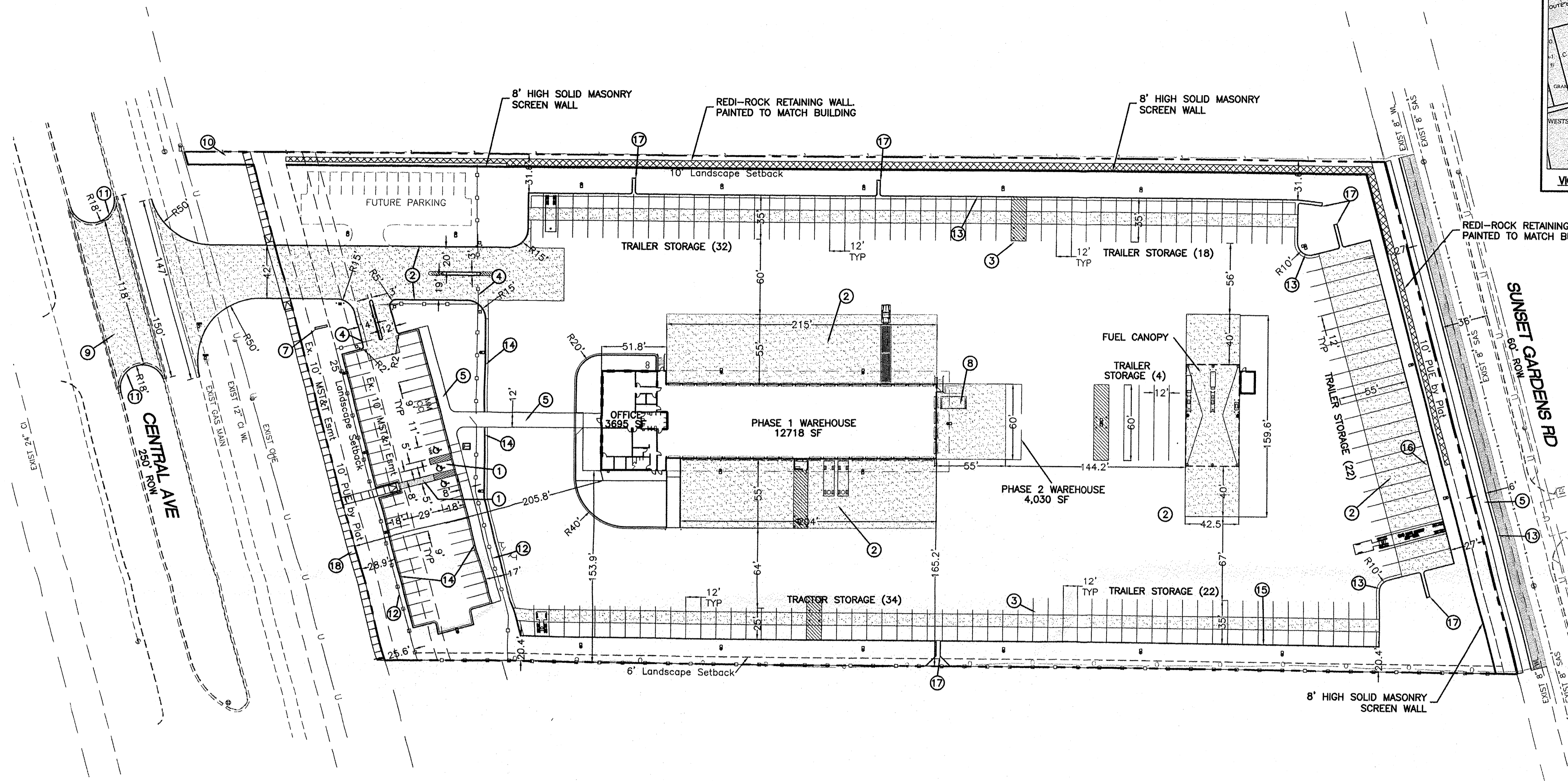
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Sheet Name:
SITE PLAN FOR SUBDIVISION

Sheet Number:

C1

1009463



LEGEND

- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▤ PROPOSED SIDEWALK
- - - EXISTING CURB & GUTTER
- SITE LIGHTING
- - - SAWCUT LINE
- ▨ NEW ASPHALT PAVING
- ▩ HEAVY DUTY CONCRETE PAVEMENT
- ▧ REDI-ROCK RETAINING WALL

- NOTES**
- LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

SITE DATA

ZONING	SU-2 FOR M-1 (W 66)
SITE AREA	366158 SF (8.41 AC)
PROPOSED USAGE	TRUCK TERMINAL
BUILDING AREA	
OFFICE	3,695 SF
PHASE 1 WAREHOUSE	12,718 SF
PHASE 2 WAREHOUSE	4,030 SF
TOTAL	20,028 SF
FUEL CANOPY	3,615 SF
PARKING REQUIRED	
OFFICE	19 SPACES (1 SPACE PER 200 SF)
WAREHOUSE	9 SPACES (1 SPACE PER 2000 SF)
HC PARKING REQUIRED	18 SPACES
HC PARKING PROVIDED	3 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED	48 SPACES
MC PARKING REQUIRED	2 SPACES
MC PARKING PROVIDED	2 SPACES
BICYCLE PARKING PROVIDED	5 SPACES
SETBACKS	
FRONT	25'
SIDE	10' (E SIDE), 6' (W SIDE)
REAR	10'

- KEYED NOTES**
- ACCESSIBLE PARKING PER ADA STANDARDS
 - CONCRETE PAVEMENT
 - BOLLARDS (TYP)
 - CHAIN LINK FENCE W/SLIDING GATE, SEE ARCHITECTURAL PLANS
 - CONCRETE SIDEWALK
 - TRANSFORMER
 - MONUMENT SIGN
 - TRASH COMPACTOR/CONTAINER (SCREENED FROM PUBLIC VIEW)
 - MEDIAN OPENING BY SEPARATE CONTRACT.
 - TO BE DEDICATED TO CITY BY PLAT
 - MEDIAN CURB PER COA STD DWG 2415B
 - CHAIN LINK FENCE
 - 8" STANDARD CURB AND GUTTER PER COA STD DWG 2415A
 - 6" MEDIAN CURB AND GUTTER PER COA STD DWG 2415B
 - 8" HEADER CURB PER COA STD DWG 2415B
 - 8" INTEGRAL CURB
 - 2' CONCRETE RUNDOWN
 - 6' CONCRETE SIDEWALK BY SEPARATE CONTRACT
 - PEDESTRIAN CROSSWALK

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

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Schwob BUILDING COMPANY, LTD

A NEW TERMINAL FOR:
OLD DOMINION FREIGHT LINE
 10210 Central Ave SW
 Albuquerque, NM 87121

Issue for Permit: xx-xx-xx

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

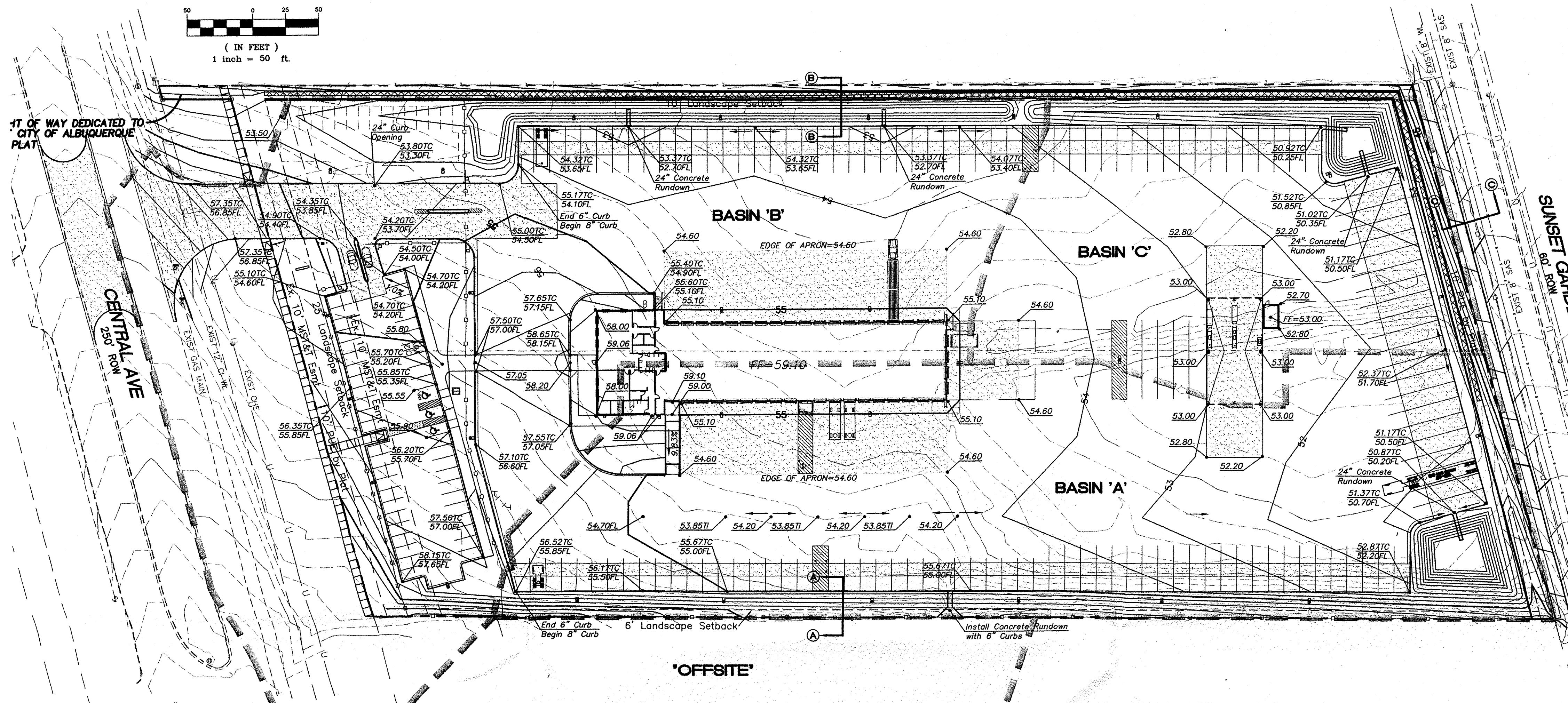
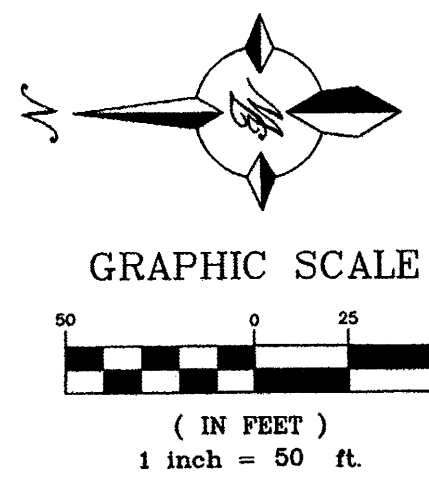
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

Sheet Name:
SITE PLAN FOR BUILDING PERMIT

Sheet Number:
C2



Existing Old Dominion Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone:1

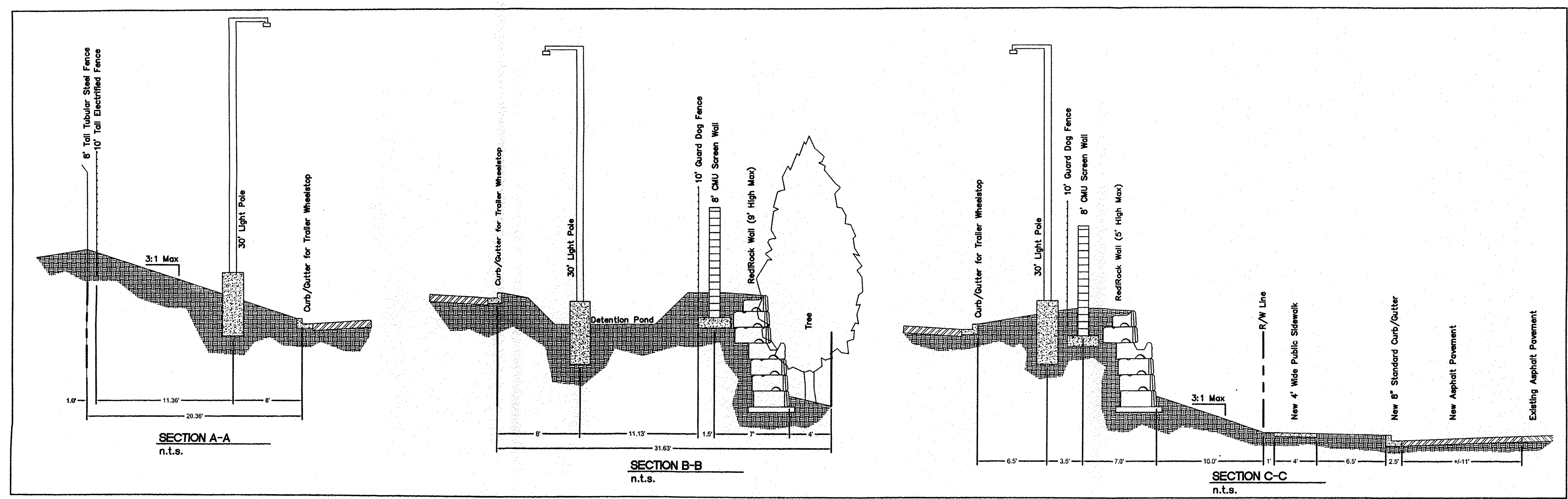
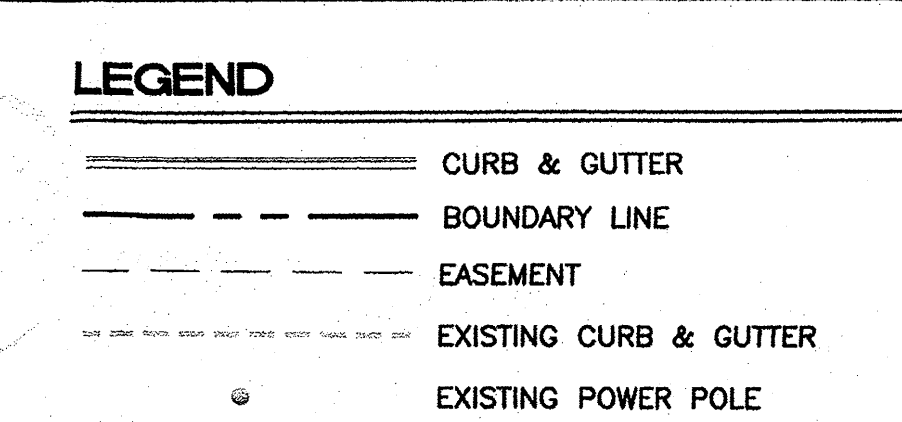
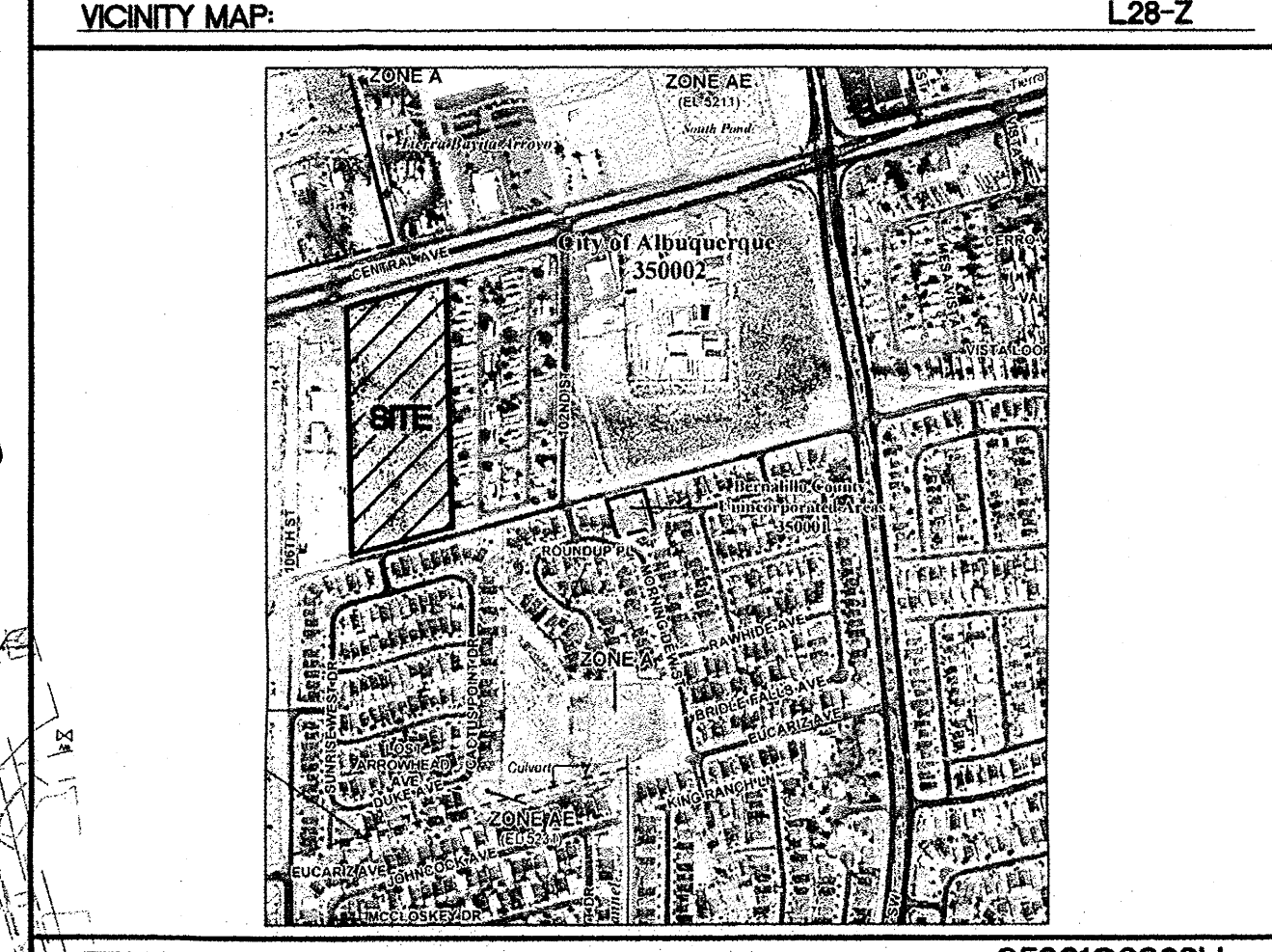
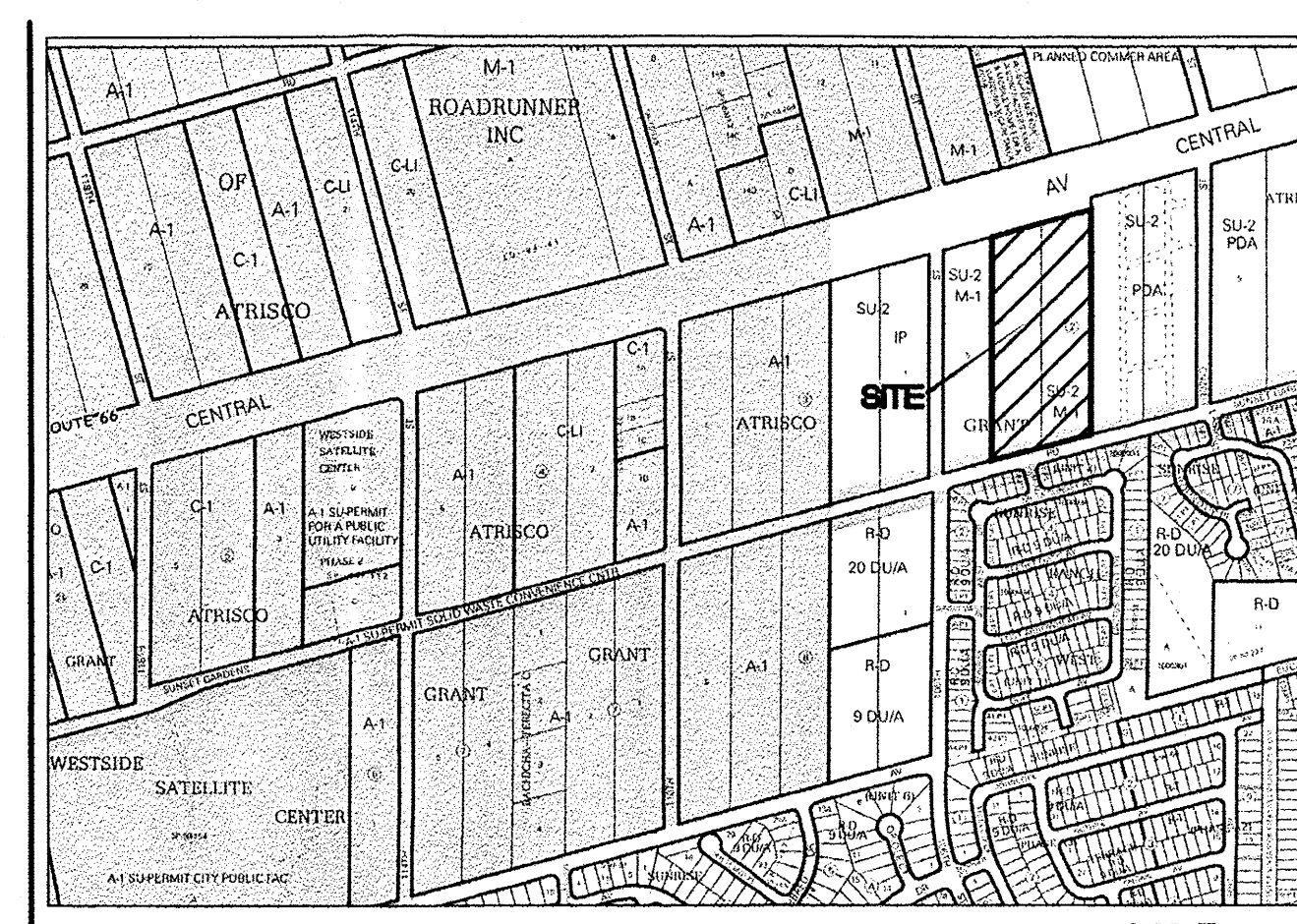
BASIN	Area (SQ FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) ₃₆₀ (CF)	V(100) ₁₄₄₀ (CF)	V(100) ₁₀₈₀ (CF)
			A	B	C	D						
Offsite	88538	2.03	0.0%	0.0%	36.8%	63.2%	3.82	7.76	1.61	11874	15791	23679
Basin A'	140714	3.23	0.0%	100.0%	0.0%	0.0%	2.03	6.56	0.67	7857	7857	26618
Basin B'	70615	1.62	0.0%	100.0%	0.0%	0.0%	2.03	3.29	0.67	3943	3943	13358
Basin C'	197823	4.54	0.0%	100.0%	0.0%	0.0%	2.03	9.22	0.67	11045	11045	37422
TOTAL	497690	11.43					26.83			34718	38635	101077

Proposed Old Dominion Drainage Calculations

Ultimate Development Conditions Basin Data Table

This table is based on the COA DPM Section 22.2, Zone:1

BASIN	Area (SQ FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) ₃₆₀ (CF)	V(100) ₁₄₄₀ (CF)	V(100) ₁₀₈₀ (CF)
			A	B	C	D						
Offsite	88538	2.03	0.0%	0.0%	36.8%	63.2%	3.82	7.76	1.61	11874	15791	23679
Basin A'	140714	3.23	0.0%	0.0%	10.0%	90.0%	4.22	13.63	1.87	21951	30816	40713
Basin B'	70615	1.62	0.0%	0.0%	10.0%	90.0%	4.22	6.84	1.87	11016	15465	20431
Basin C'	197823	4.54	0.0%	0.0%	10.0%	90.0%	4.22	19.16	1.87	30860	43323	57237
TOTAL	497690	11.43					47.40			75702	105395	142067



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

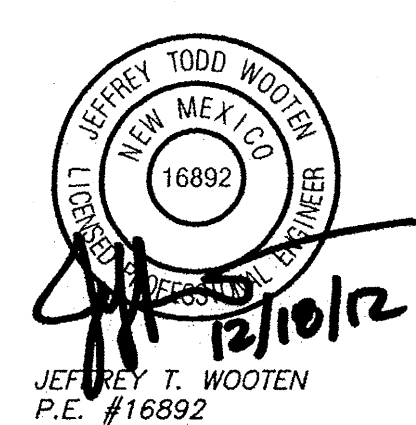
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A NEW TERMINAL FOR:
OLD DOMINION FREIGHT LINE
 10210 Central Ave SW
 Albuquerque, NM 87121

Issue for Permit: xx-xx-xx

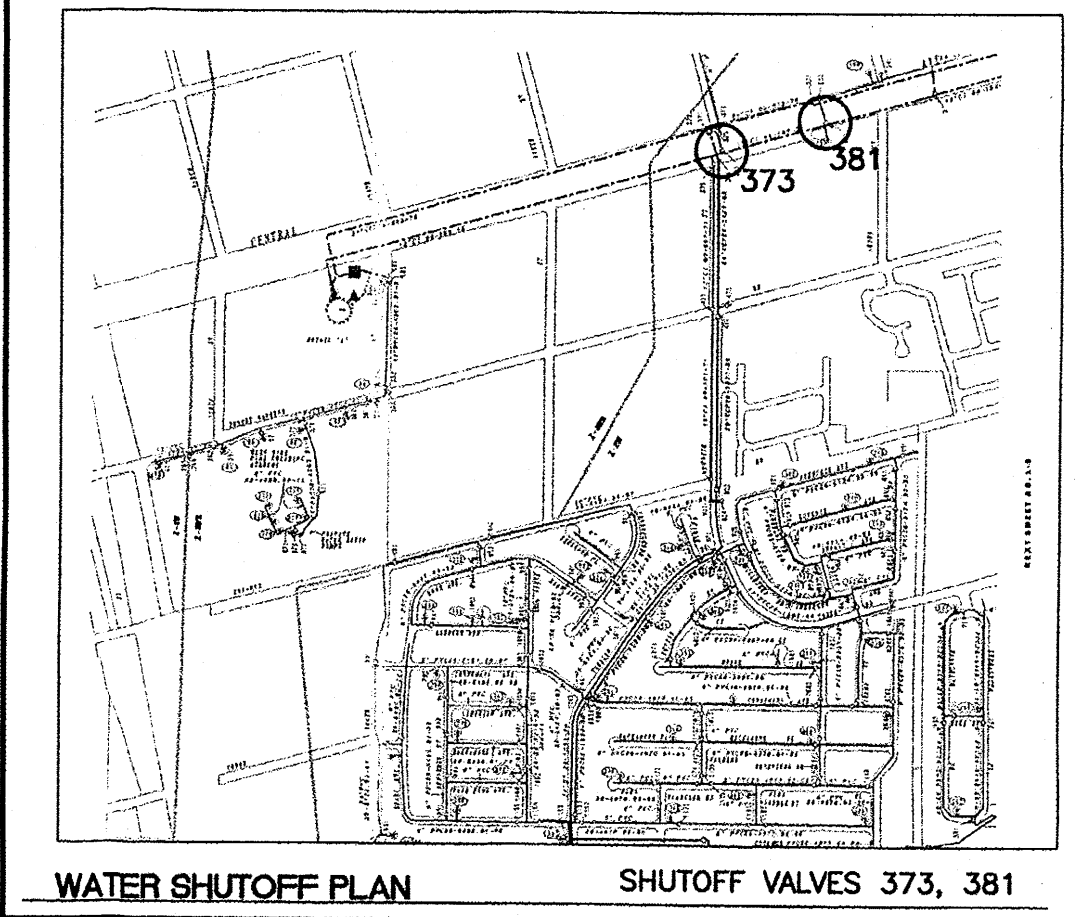
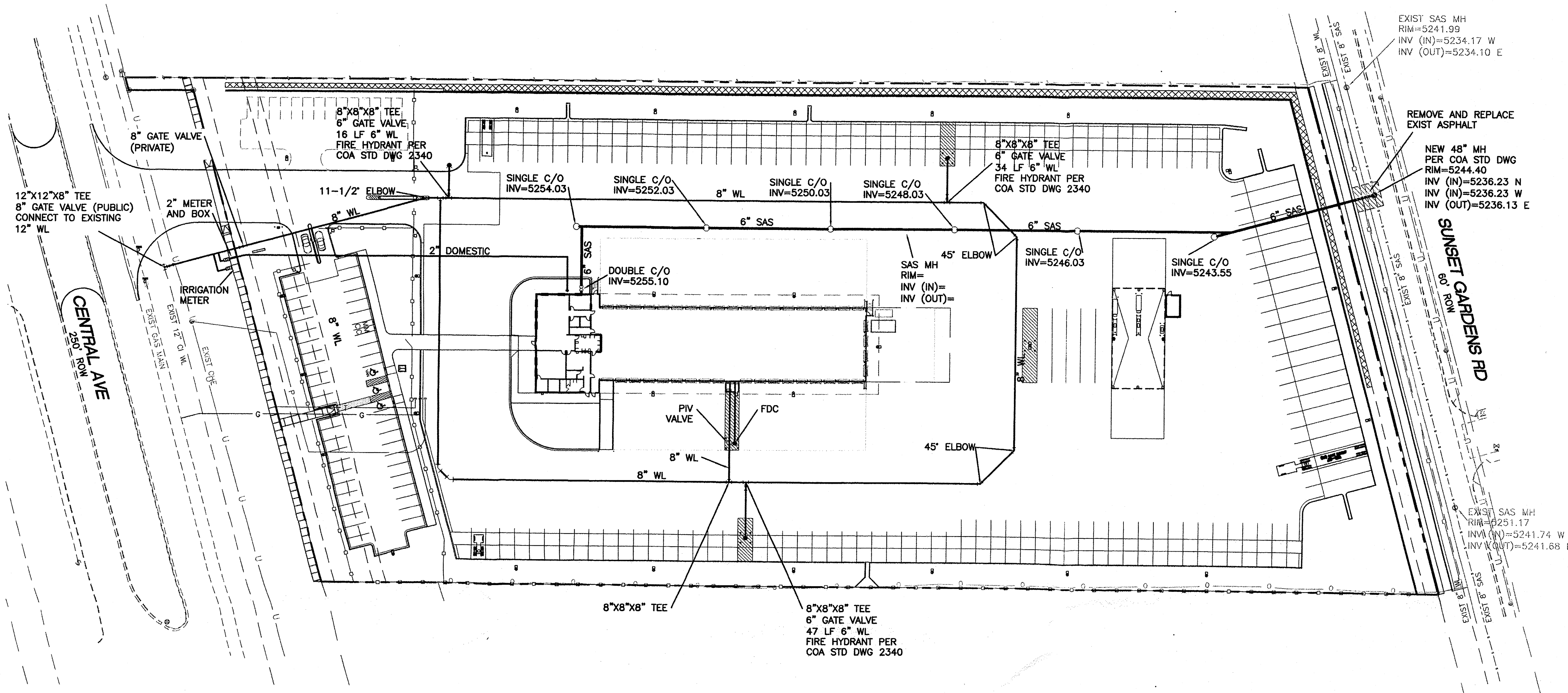


ODFL Albuquerque, NM - ALB
 Project No. 12071.00

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Sheet Name:
PRELIMINARY GRADING PLAN

Sheet Number:

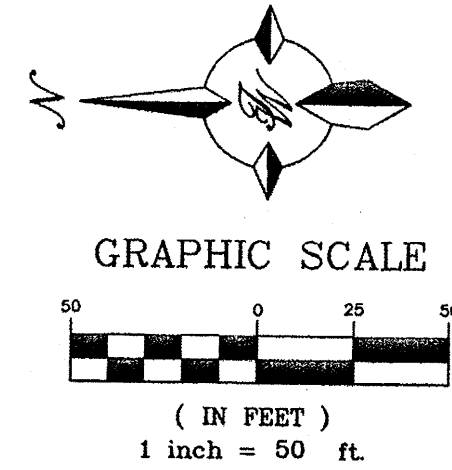


THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED TELEPHONE LINE
	PROPOSED POWER
	PROPOSED GAS
	SAWCUT LINE

- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 - ALL MANHOLES AND CLEANOUTS SHALL HAVE 8" THICK CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 - PNM HAS NUMEROUS ELECTRIC FACILITIES NEAR THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
 - PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 - SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



CAUTION:
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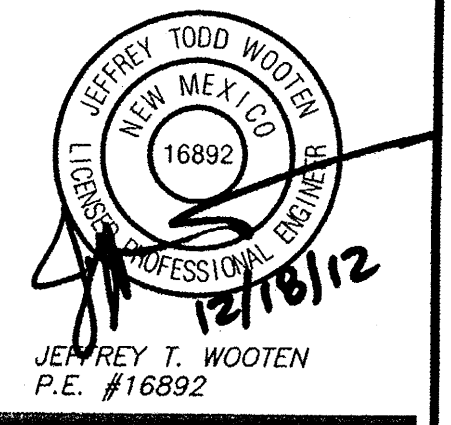
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Issue for Permit: xx-xx-xx

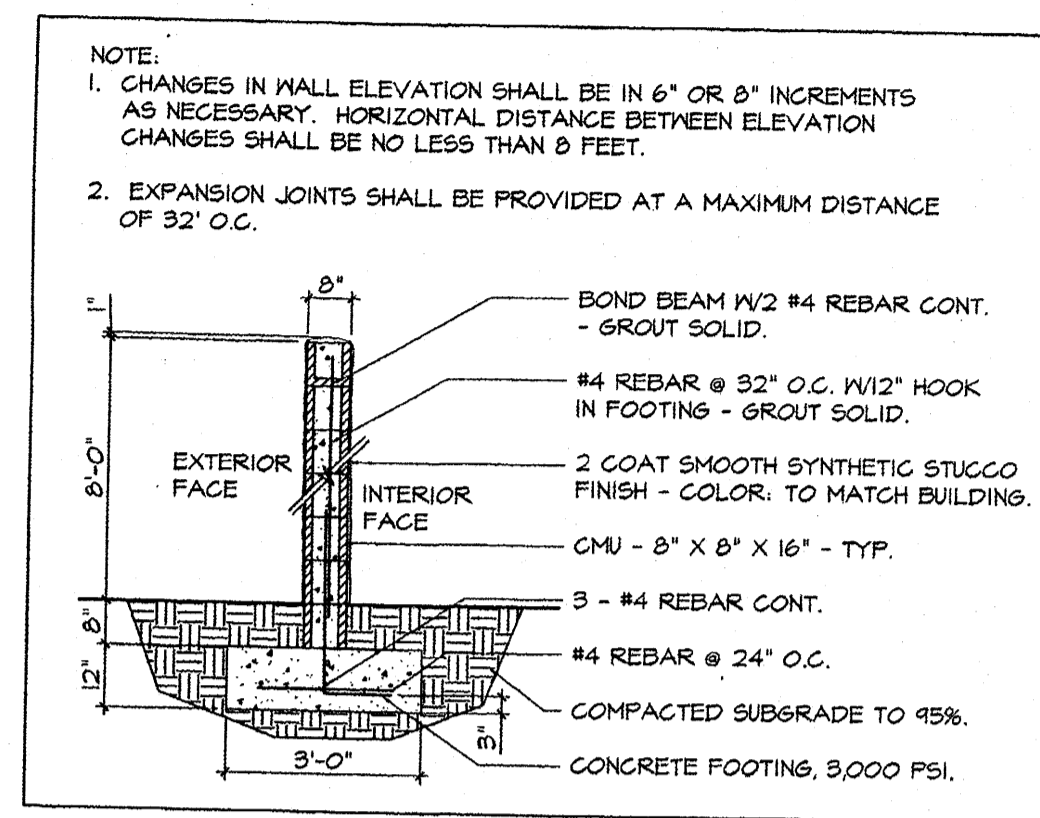
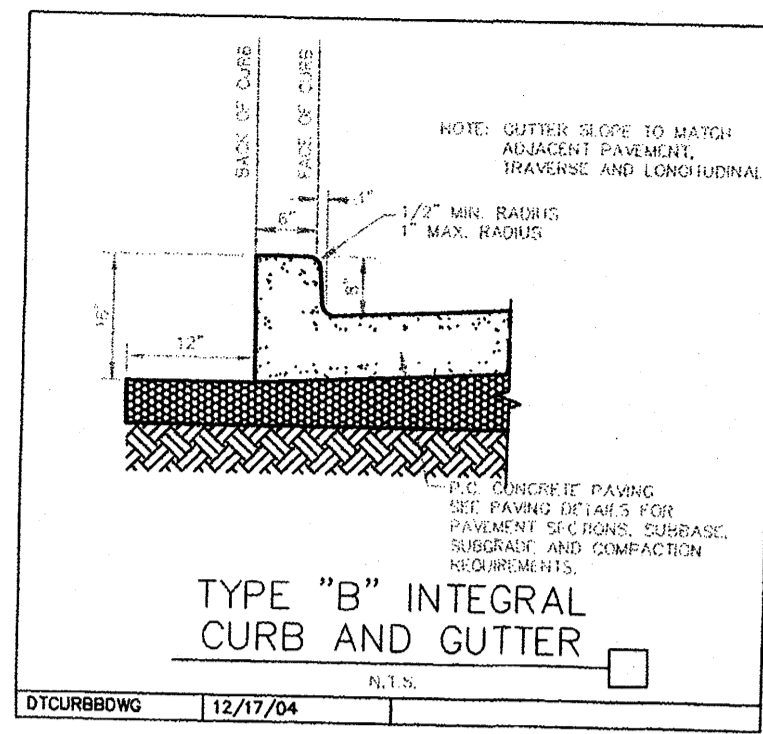


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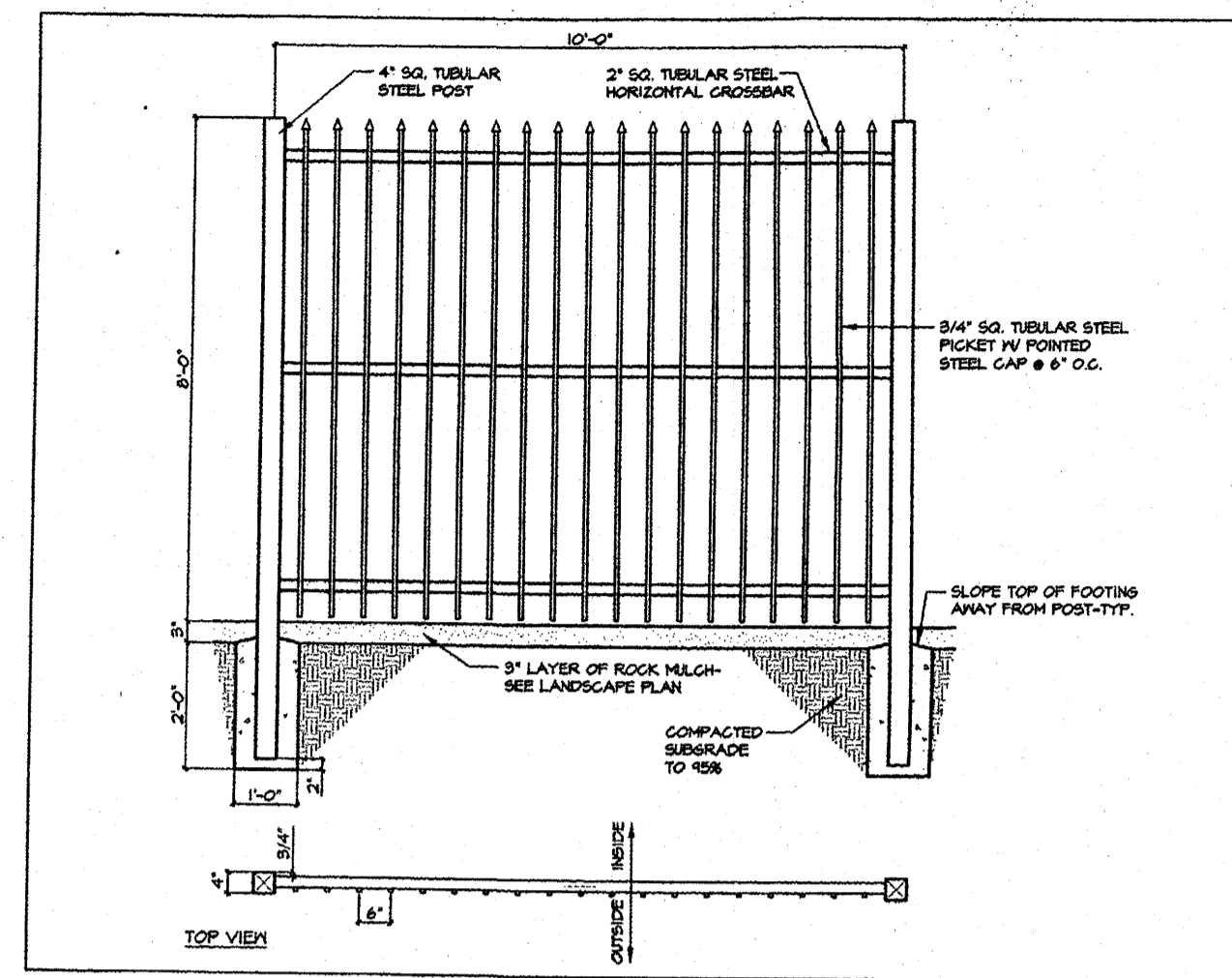
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Sheet Name:
MASTER UTILITY PLAN

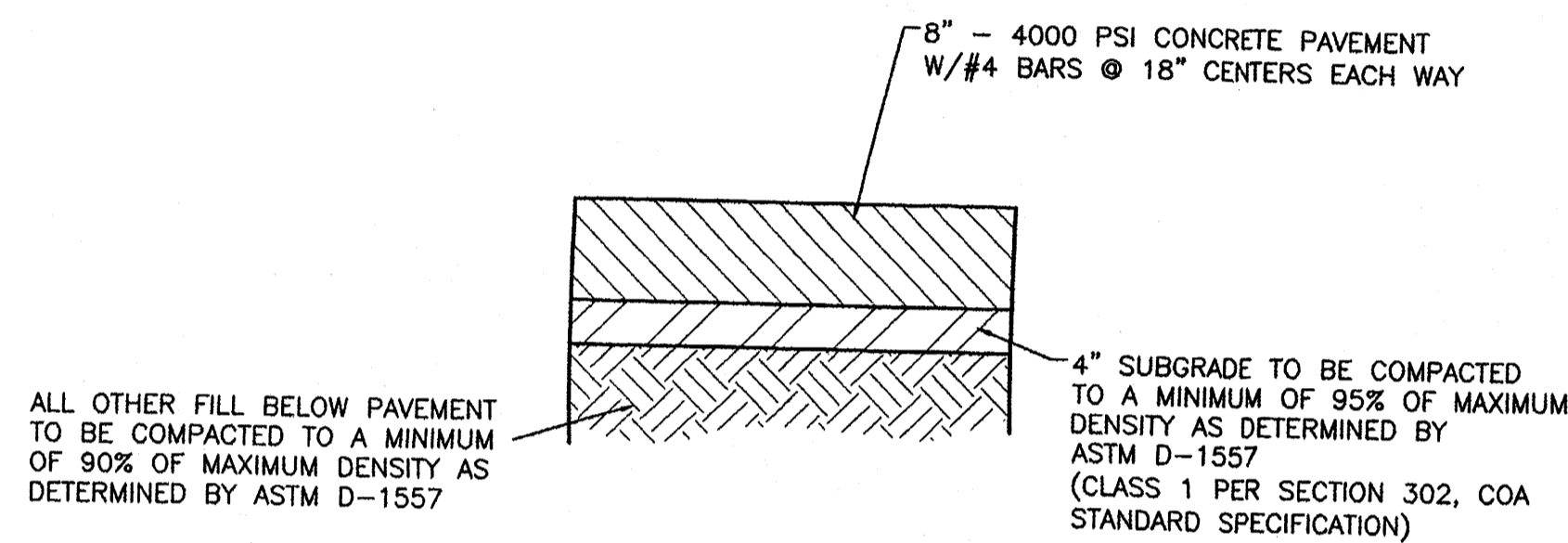
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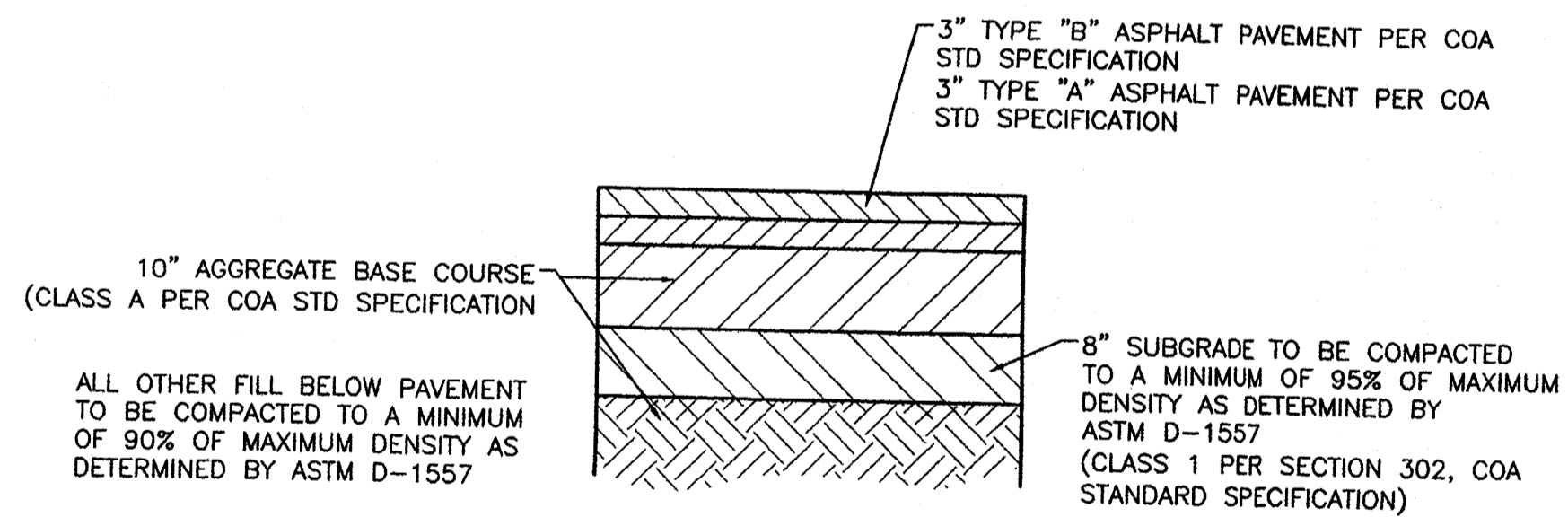
SCREENWALL DETAIL



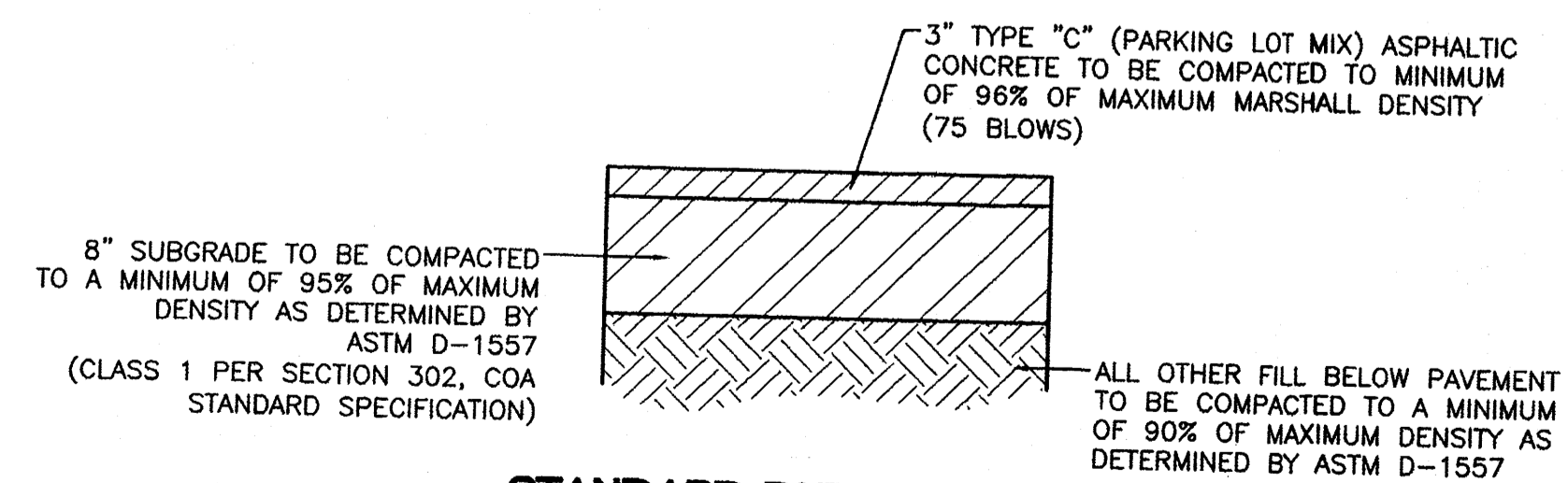
TUBULAR FENCE DETAIL



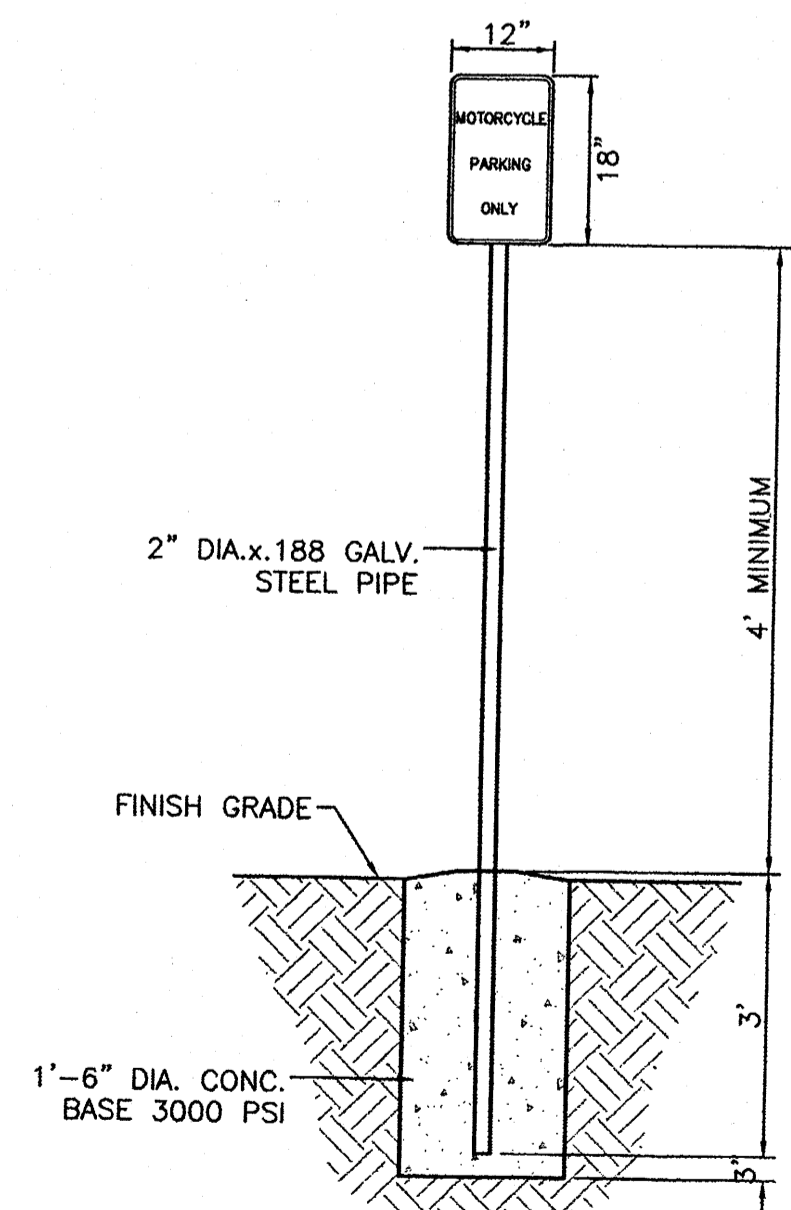
HEAVY DUTY CONCRETE TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY XBE VINYARD.



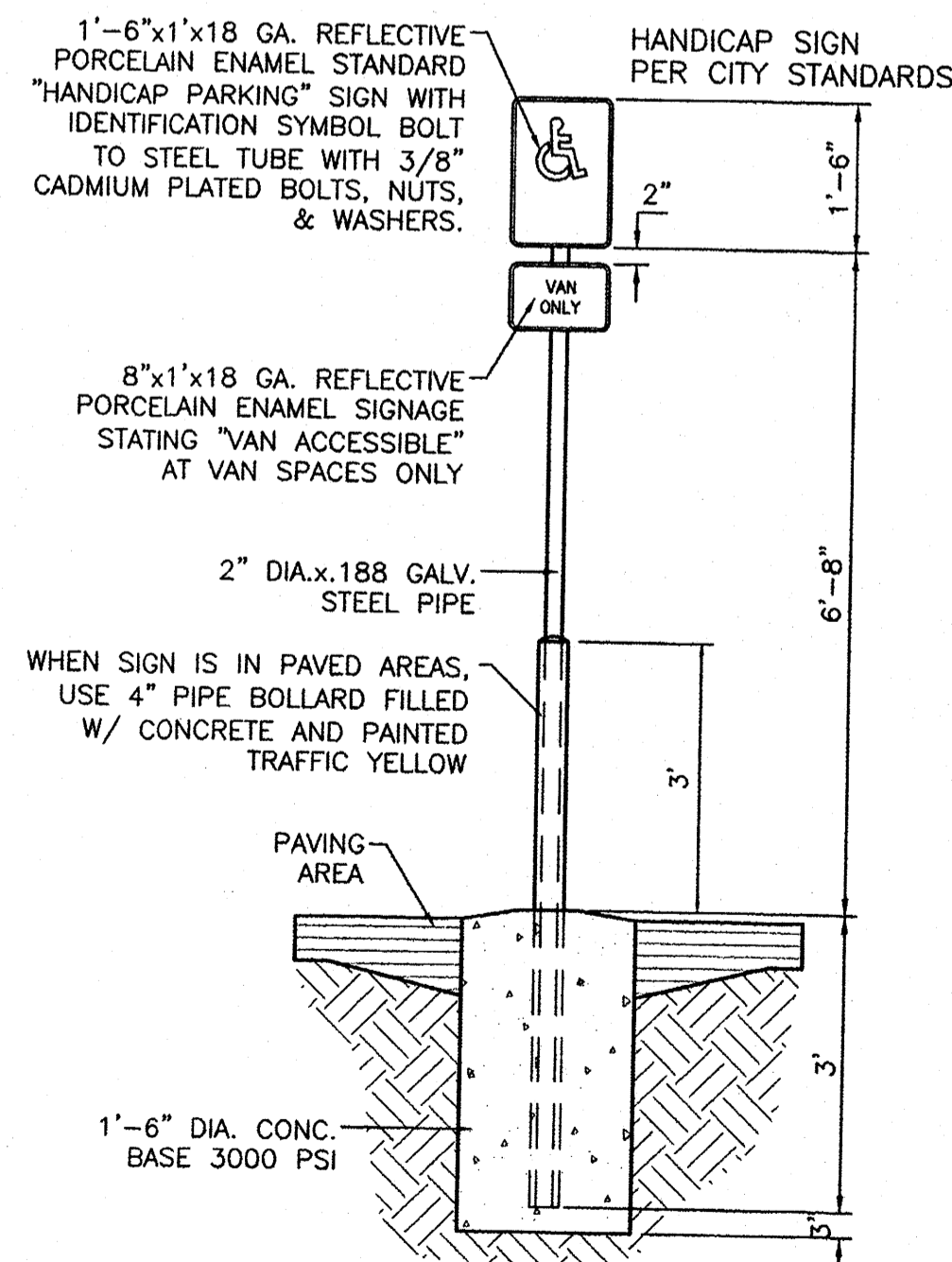
HEAVY DUTY ASPHALT TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY XBE VINYARD



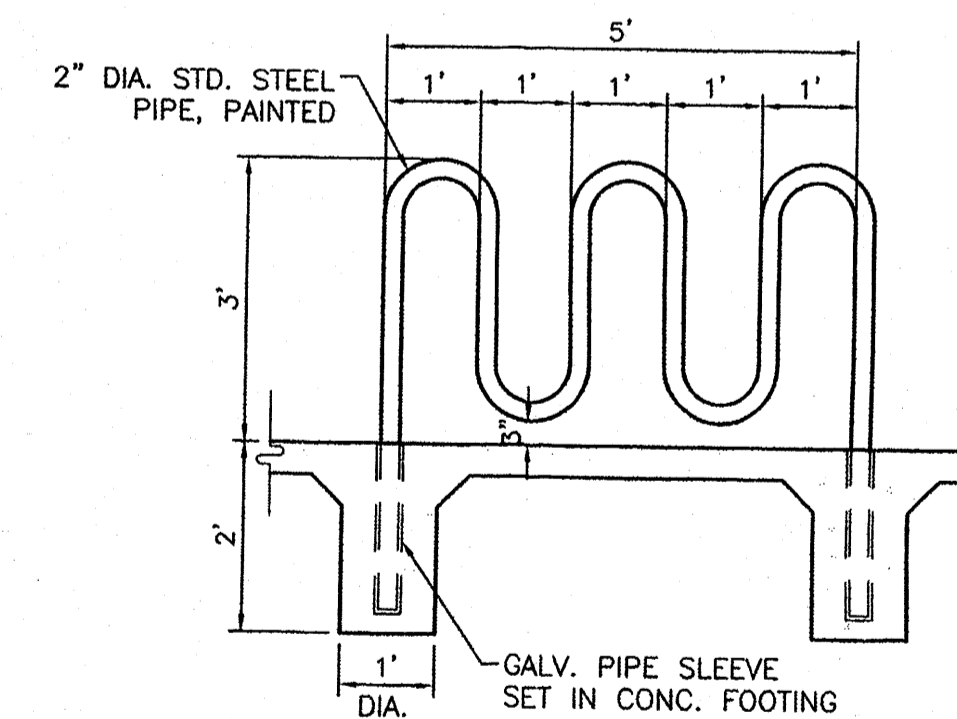
STANDARD DUTY ASPHALT TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY XBE VINYARD



MOTORCYCLE PARKING SIGN
NTS



HANDICAP SIGN
NTS



BIKE RACK DETAIL
SCALE: 1/2" = 1'

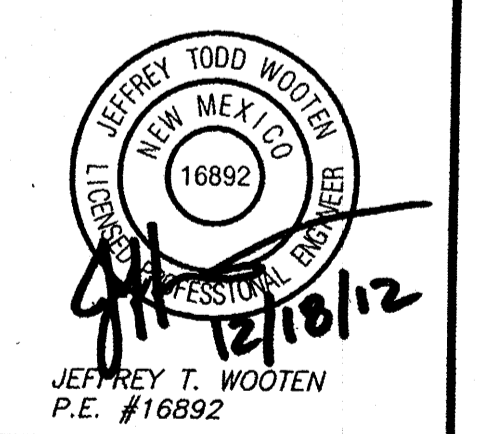
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Issue for Permit: xx-xx-xx



ODFL Albuquerque, NM - ALB

Project No. 12071.00

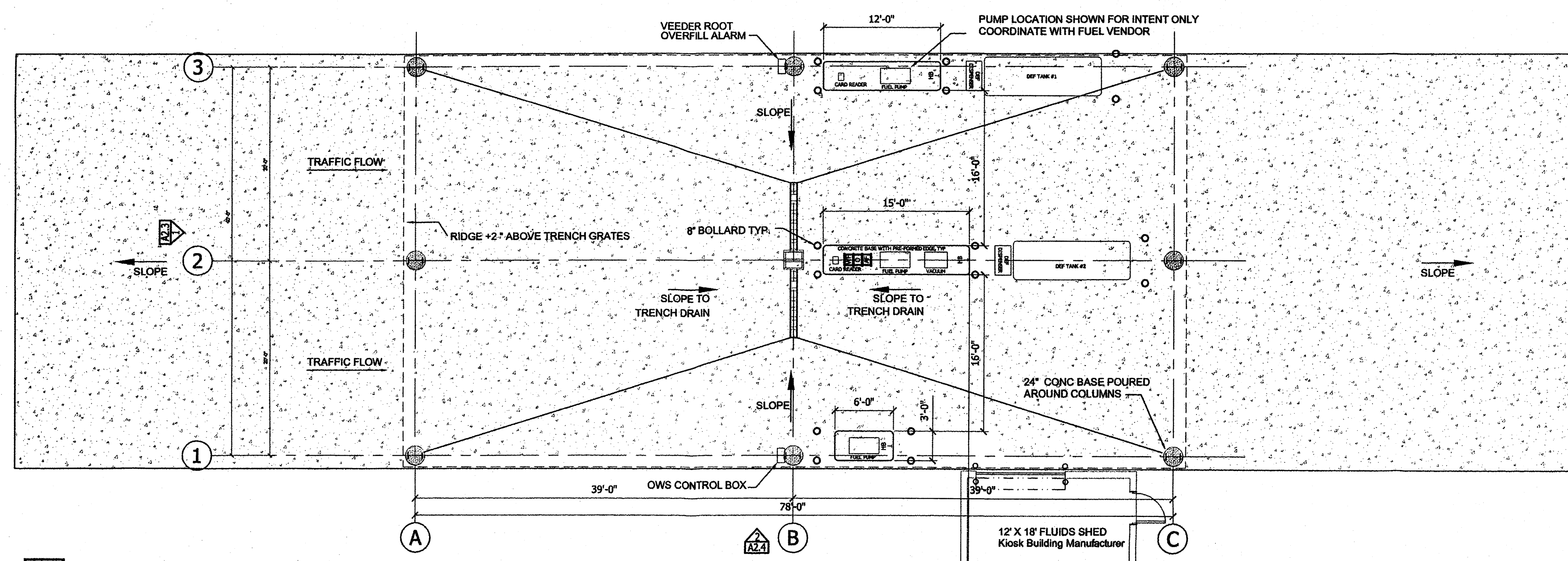
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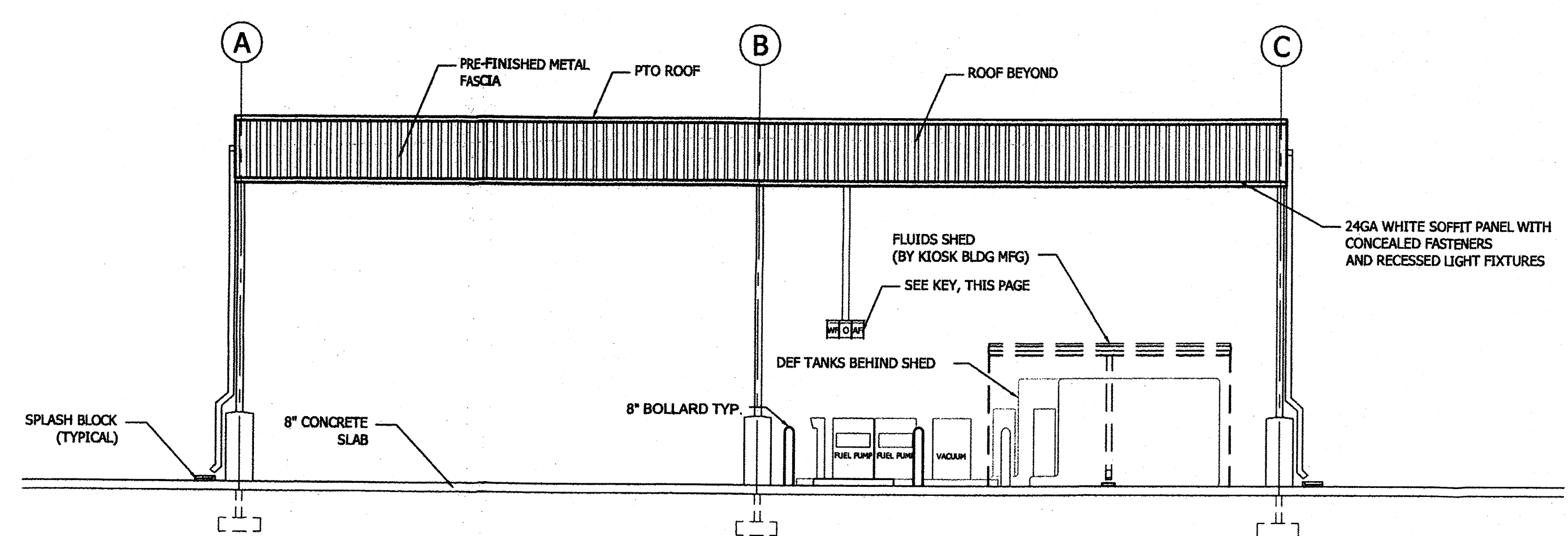
Sheet Number:

C5

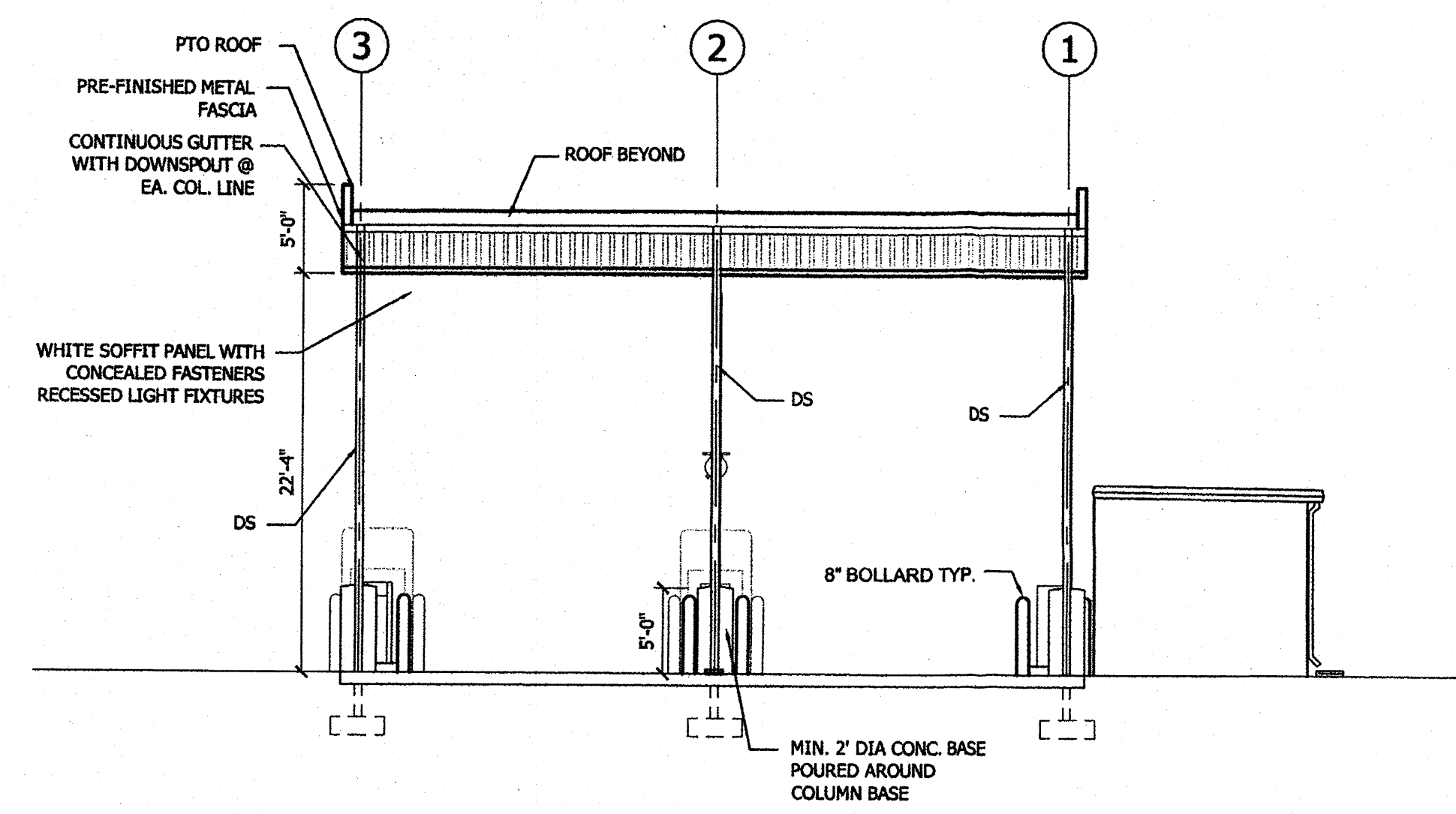
KEY	
HB	- HOSE BIB
WF	- WASHER FLUID
O	- OIL
AF	- ANTI-FREEZE



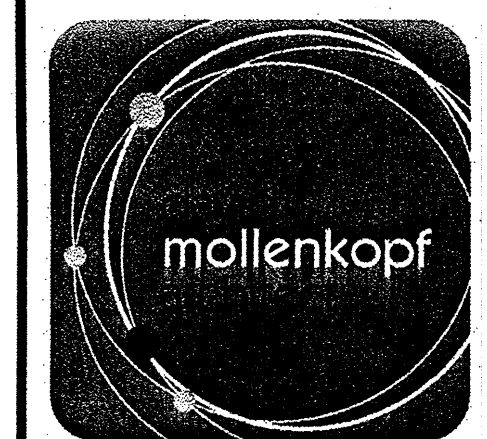
3 FUEL ISLAND PLAN
 SCALE - 1/16" = 1'-0"
 24X36 - 1/8" = 1'-0"



2 SIDE ELEVATION
 SCALE - 1/16" = 1'-0"
 24X36 - 1/8" = 1'-0"



1 END ELEVATION
 SCALE - 1/16" = 1'-0"
 24X36 - 1/8" = 1'-0"



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 v: 615.996.9146 • f: 615.733.0052
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**PRELIMINARY
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 APPROVAL, PERMITTING,
 OR CONSTRUCTION**

NM LICENSE #005181 EXP 12-31-2019
 Architect: David J. Mollenkopf

Schwob Building Co.
 2349 Glenda Lane
 Dallas, TX 75229



A NEW TERMINAL FOR:
**OLD DOMINION
 FREIGHT LINE**
 10210 Central Ave SW
 Albuquerque, NM 87121

90% Completion: 12-17-12

ODFL Albuquerque, NM - ABQ

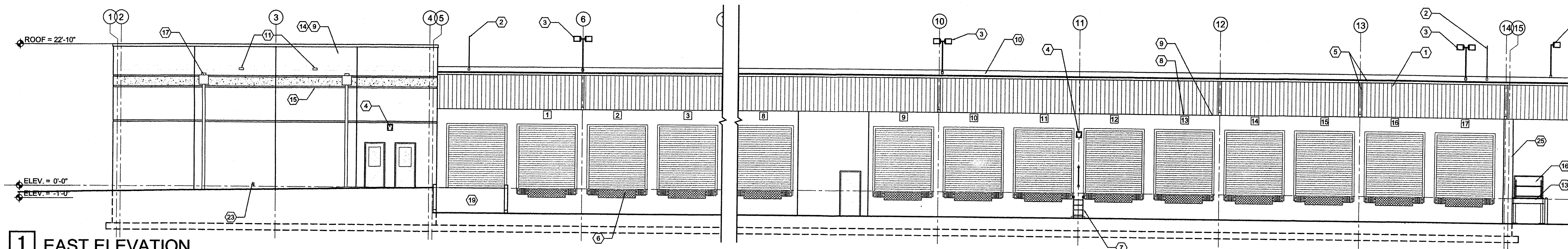
Project No. 12071.00

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Sheet Name:
 Fuel Island

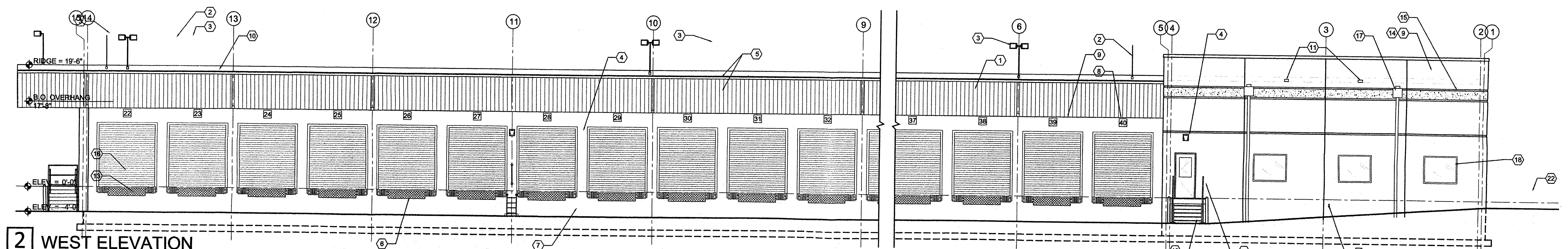
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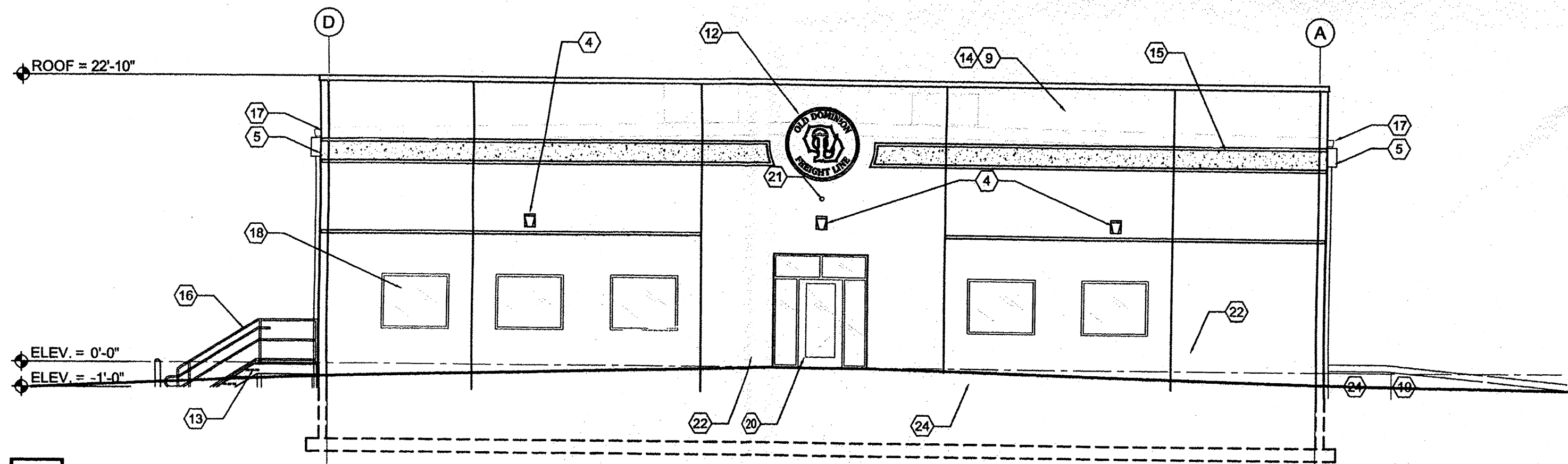
1 EAST ELEVATION

SCALE - 11X17 - NO SCALE
24x36 - 1/8" = 1'-0"



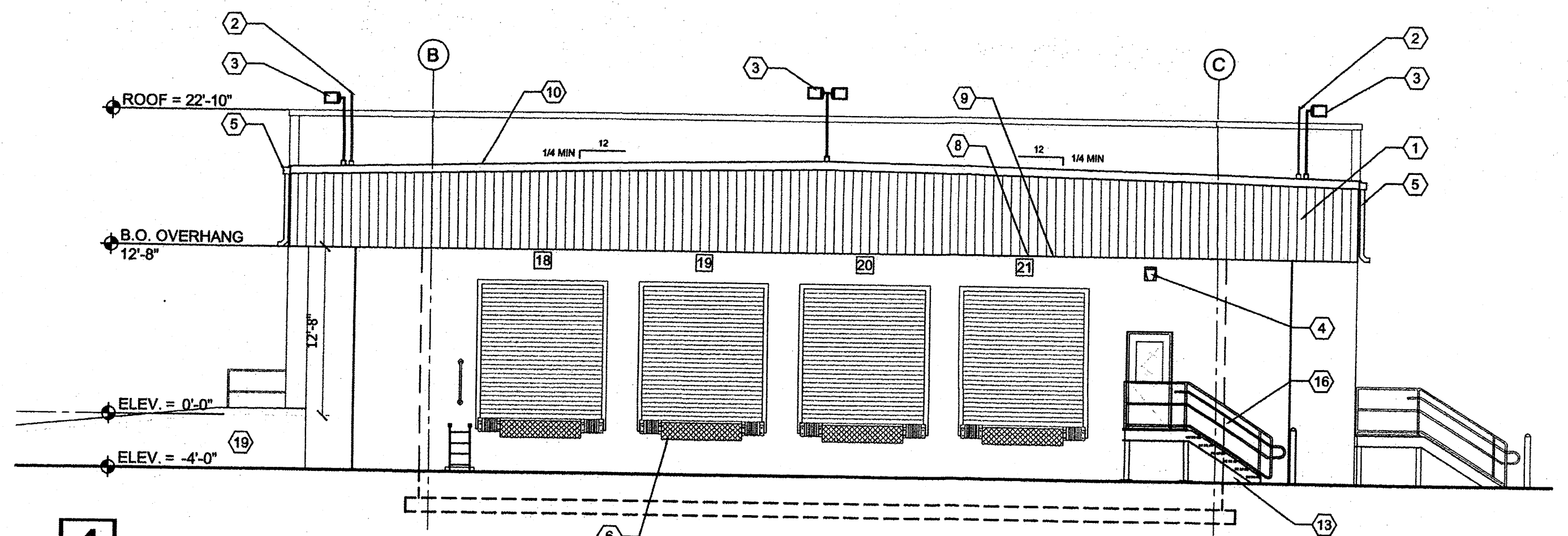
2 WEST ELEVATION

SCALE - 11X17 - NO SCALE
24x36 - 1/8" = 1'-0"



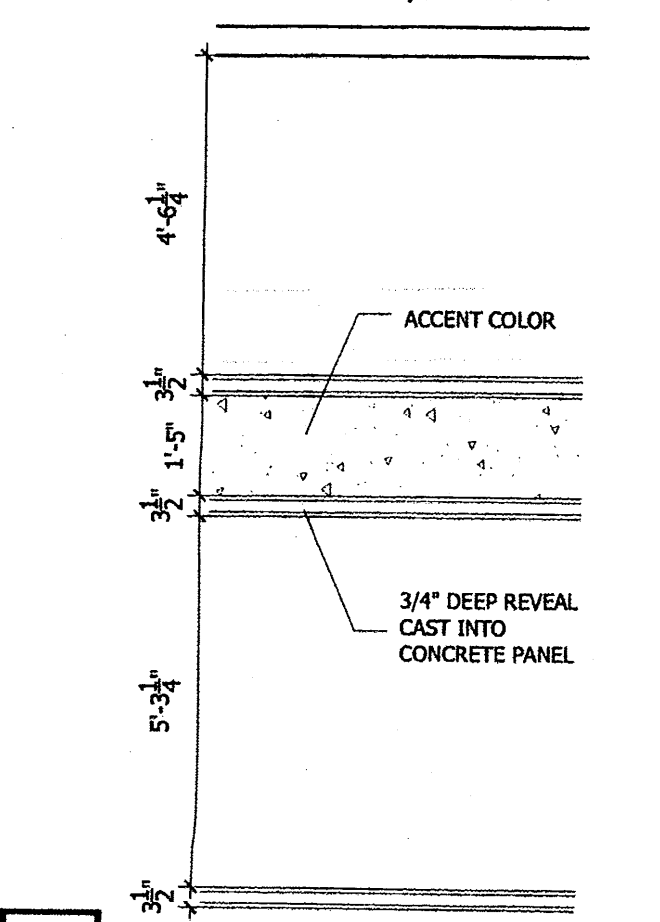
3 NORTH ELEVATION

SCALE - 11X17 - NO SCALE
24x36 - 3/32" = 1'-0"



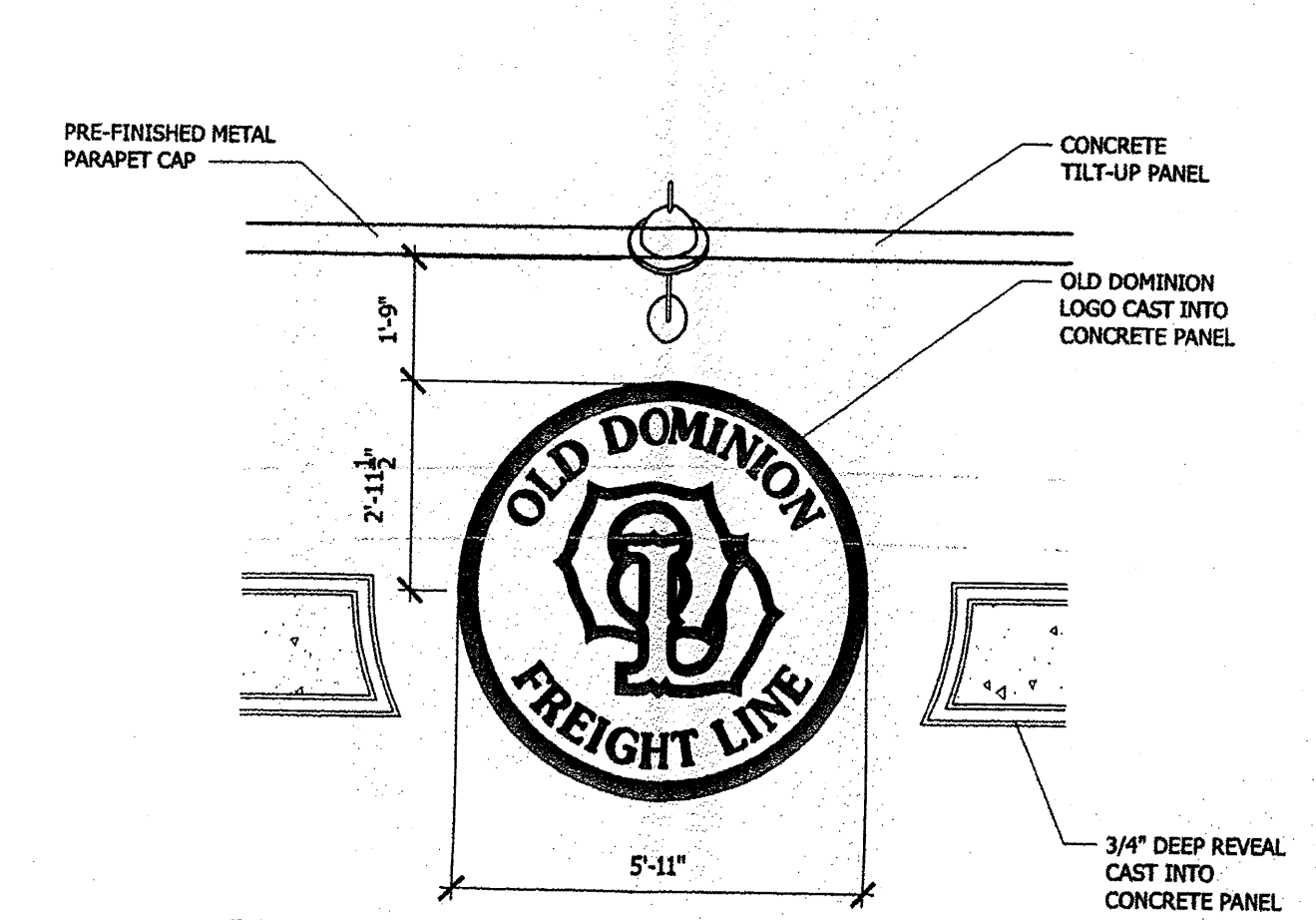
4 SOUTH ELEVATION

SCALE - 11X17 - NO SCALE
24x36 - 3/32" = 1'-0"



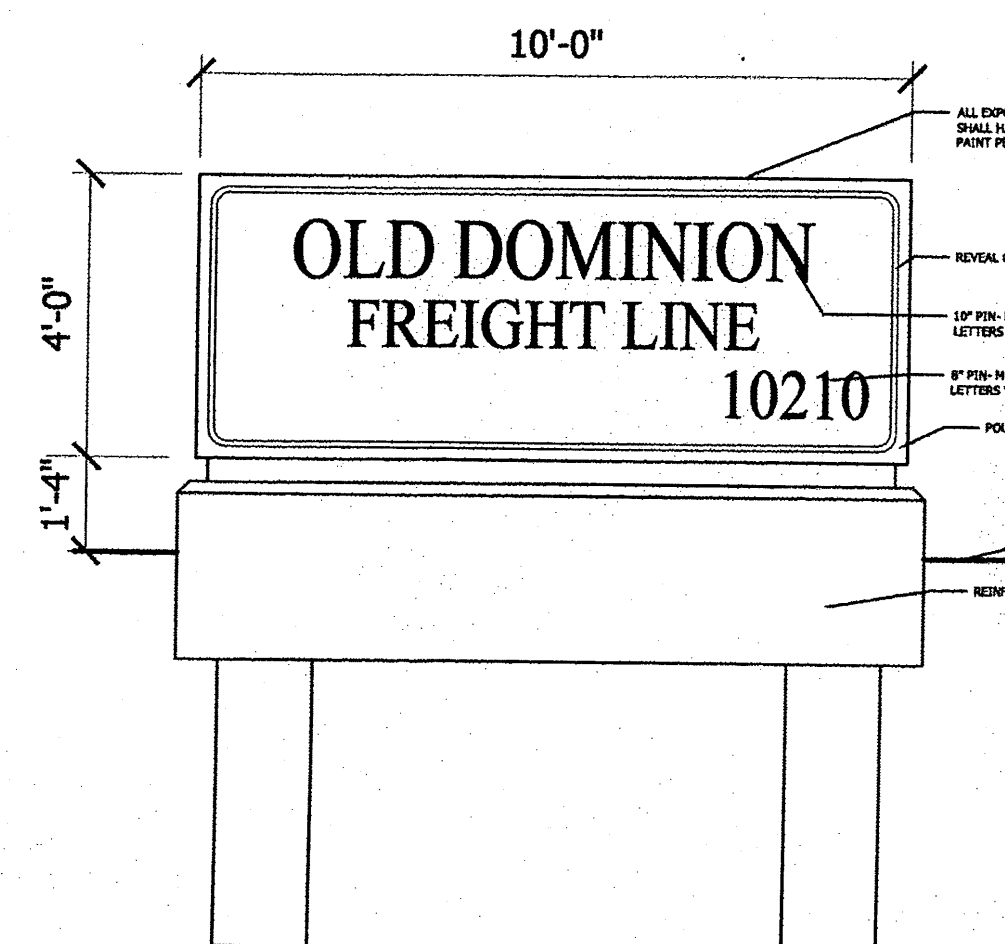
5 REVEAL DETAIL

SCALE - 11X17 - NO SCALE
24x36 - 3/8" = 1'-0"



6 LOGO

SCALE - 11X17 - NO SCALE
24x36 - 3/8" = 1'-0"



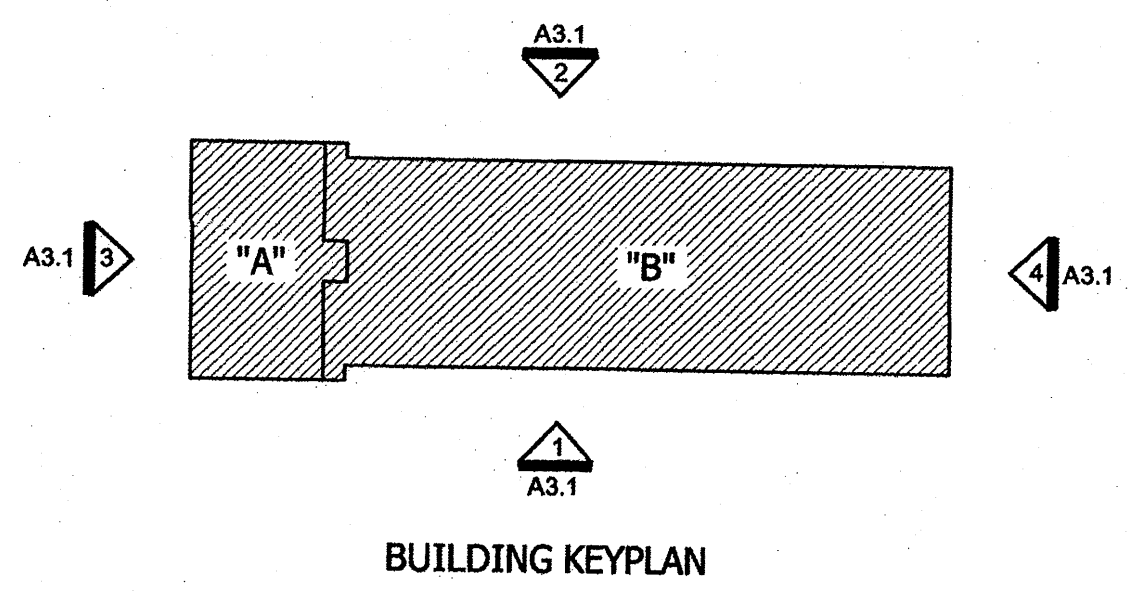
7 MONUMENT SIGN

SCALE - 11X17 - NO SCALE
24x36 - 3/8" = 1'-0"

- GENERAL NOTES**
- PANEL JOINTS MAY VARY FROM SHOWN
- KEY NOTES**
- 1 PRE-FINISHED METAL FASCIA
 - 2 DISPATCH ANTENNA. SEE ROOF PLAN.
 - 3 POLE MOUNTED LIGHT FIXTURE. SEE DETAIL 7/A.2
 - 4 EXTERIOR WALL PACK LIGHT FIXTURE (SEE ELECT. DWGS. FOR TYPE). MOUNT BOTTOM OF FIXTURE 11'-0" A.F.F.
 - 5 CONTINUOUS GUTTER AND DOWNSPOUTS
 - 6 EDGE OF DOCK LEVELERS WITH BUMPERS - DLM EOD 3011WB 72" NEVER LIFT
 - 7 DOCK LADDER AND GRAB BAR (GALVANIZED STEEL) FOR ADDITIONAL FRAMING REQUIREMENTS. SEE DETAILS 9 & 10/A.2
 - 8 DOCK NUMBER SIGN SEE DETAIL 7/A.1
 - 9 CONCRETE TILT-WALL PANEL WITH ARCHITECTURAL FINISH AT EXTERIOR. SEE FINISH SCHEDULE FOR PAINT COLOR. GAULK INTERIOR AND EXTERIOR OF PANEL JOINTS, TYP.
 - 10 TPO MEMBRANE ROOF. SLOPE 1/4" PER FOOT, MINIMUM.
 - 11 ROOF OVERFLOW DRAIN - INLET HEIGHT NOT TO EXCEED 2" ABOVE LOW POINT OF ROOF
 - 12 BUILDING SIGNAGE CAST INTO CONCRETE TILT-WALL PANEL. SEE DETAIL THIS PAGE
 - 13 GALVANIZED STEEL STAIR. SEE DETAILS ON SHEET AS.2
 - 14 CONCRETE TILT-WALL, EXTEND PANEL 4'-0" ABOVE FINISHED ROOF RIDGE TO CREATE PARAPET WALL.
 - 15 REVEAL IN TILT-WALL PANEL. PAINT INSIDE OF REVEAL. SEE FINISH SCHEDULE FOR TILT WALL ACCENT COLOR.
 - 16 GALVANIZED HANDRAILS. SEE DETAIL SHEET AS.2
 - 17 SCUPPER BOX AND DOWNSPOUT
 - 18 ALUMINUM STOREFRONT WINDOW. SEE WINDOW SCHEDULE.
 - 19 CONCRETE LOADING RAMP. SEE DETAIL SHEET AS.2
 - 20 ALUMINUM STOREFRONT ENTRANCE. SEE WINDOW SCHEDULE.
 - 21 ENTRY LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
 - 22 PAINTED METAL RAILING
 - 23 HOSE BIB, SEE PLUMBING
 - 24 CONCRETE WALKWAY
 - 25 BUTTRESS PANEL, SEE CIVIL

EXTERIOR WALLS
CONCRETE TILT OR PRECAST- WALL PANELS - TEX-COTE XL70, COLOR TO BE IC1 "CANVAS CLOTH 40YY 65081"
ACCENT COLOR TO BE IC1 "BURMESE BEIGE 40YY 51084"

EXTERIOR METAL
OFFICE PARAPET COPING - DARK BRONZE TO MATCH STOREFRONT
OFFICE SCUPPERS AND DOWNSPOUTS - DARK BRONZE TO MATCH STOREFRONT
TERMINAL COPING AND FASCIA - WHITE
TERMINAL SCUPPERS AND DOWNSPOUT - WHITE



BUILDING KEYPLAN



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NM LICENSE #005181 EXP 12-31-2013
Architect: David J. Mollenkopf

Schwob Building Co.
2349 Glenda Lane
Dallas, TX 75229



**OLD DOMINION
FREIGHT LINE**
10210 Central Ave SW
Albuquerque, NM 87121

90% Completion: 12-17-12

ODFL Albuquerque, NM - ABO

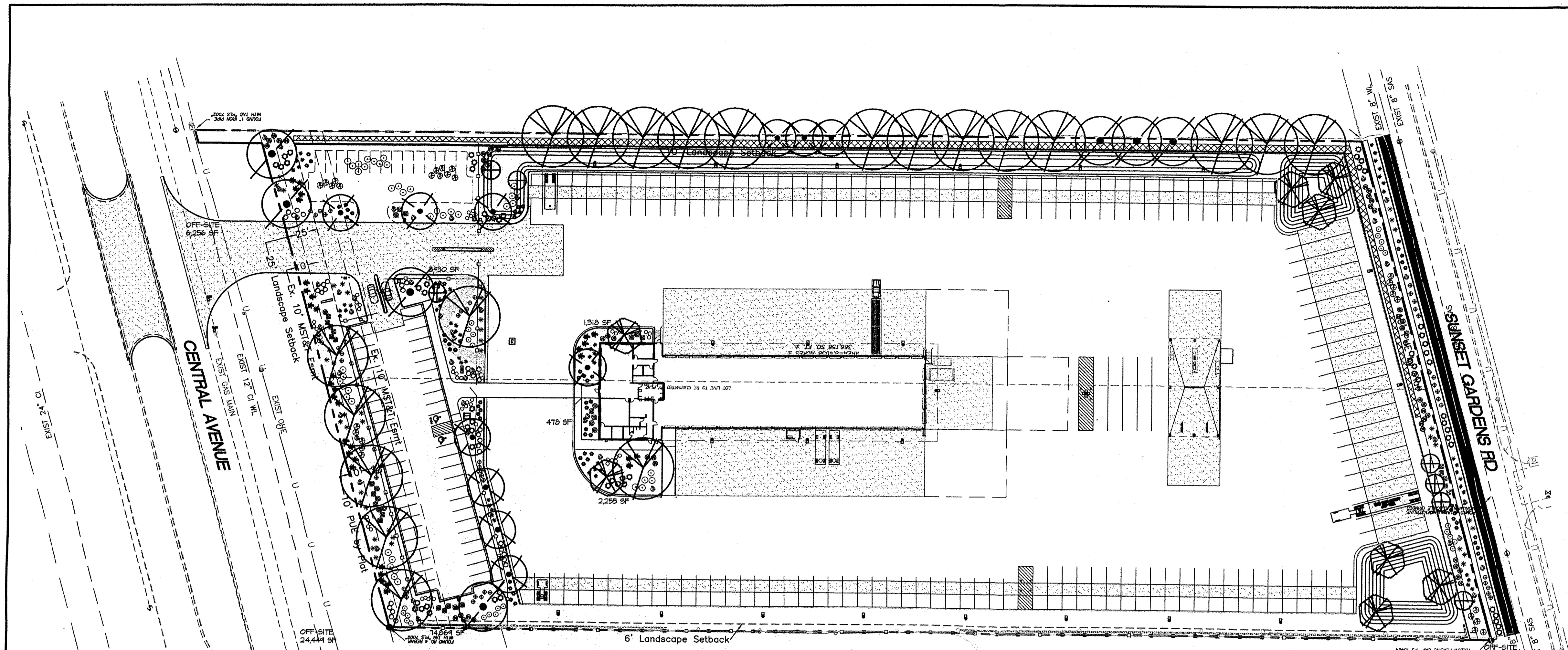
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Sheet Name:
Building Elevations

Sheet Number:

A3.1



PLANT LEGEND					
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
8	⊗	CHILOPSIS LINEARIS DESERT WILLOW	24" BOX	10' HT. X 6' SFR. 20' HT. X 25' SFR.	LOW +
7	⊕	FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL.	8' HT. X 5' SFR. 15' HT. X 15' SFR.	MEDIUM
20	⊗	PISTACHIA CHINENSIS CHINESE PISTACHE	3" B4B	14' HT. X 6' SFR. 50' HT. X 50' SFR.	MEDIUM
7	⊗	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	2.5" B4B	14' HT. X 6' SFR. 40' HT. X 40' SFR.	MEDIUM +
11	⊗	ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B4B	16' HT. X 6' SFR. 40' HT. X 30' SFR.	MEDIUM
SHRUBS/GROUNDCOVERS					
42	⊙	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	1-GAL.	5' O.C. 4' HT. X 5' SFR.	LOW
39	⊗	CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW
27	⊕	FALLUGIA PARADOXA APACHE PLUME	5-GAL.	5' O.C. 4' HT. X 5' SFR.	LOW
41	*	HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	4' O.C. 3' HT. X 4' SFR.	MEDIUM
33	⊗	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER (FEMALE)	5-GAL.	5' O.C. 2' HT. X 5' SFR.	LOW +
34	⊙	LAVENDULA ANGSTUFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3' SFR.	MEDIUM
41	⊗	PEROVSKIA A. 'LITTLE SPIRE' DWARF RUSSIAN SAGE	5-GAL.	4' O.C. 3' HT. X 4' SFR.	MEDIUM
47	⊙	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 2' HT. X 3' SFR.	LOW +
25	⊙	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW +
60	⊙	ROSMARINUS OFFICINALIS ROSEMARY	5-GAL.	5' O.C. 5' HT. X 5' SFR.	LOW +
44	⊕	SALVIA GREGGII CHERRY SAGE	5-GAL.	3' O.C. 3' HT. X 3' SFR.	MEDIUM
ORNAMENTAL GRASSES					
57	*	CALAMAGROSTIS KARL FOERSTER FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SFR.	LOW +
65	*	MILHBERGIA CAP. 'REGAL MIST' MÜHLY GRASS	5-GAL.	3' O.C. 3' HT. X 3' SFR.	MEDIUM

SEED, MULCHES, & BOULDERS	
30,705 SF	NATIVE RE-VEGETATIVE SEED MIX
40,925 SF	2"-4" BUILDOLGY BROWN COBBLE MULCH (6" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)
45,076 SF	3" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)
52	MOSS ROCK BOULDERS (3'X3' MINIMUM)

GENERAL LANDSCAPE NOTES

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (8) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE COVERAGE

PLANTING BEDS SHALL HAVE 75% LIVING GROUNDCOVER AT FULL MATURITY.

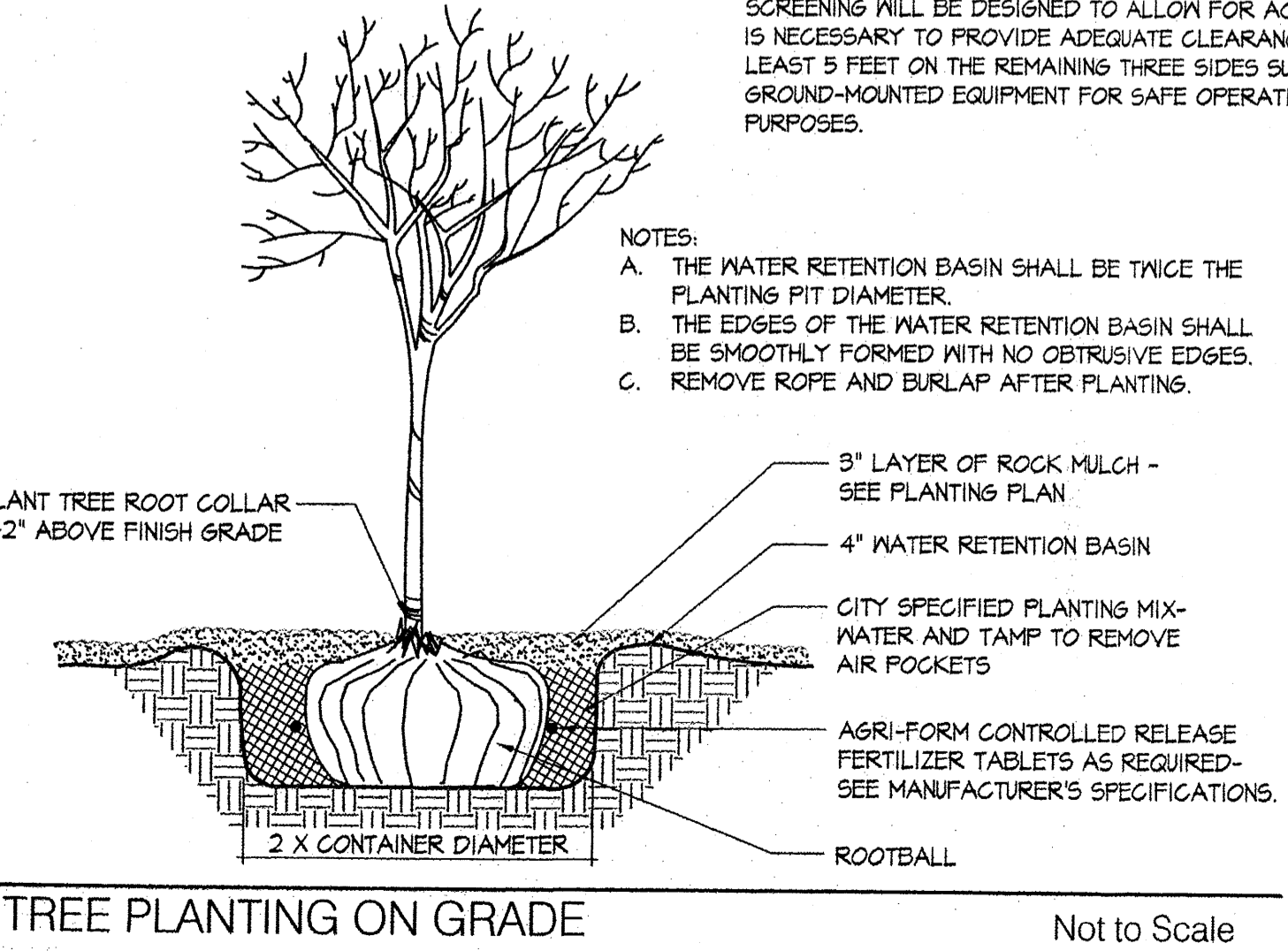
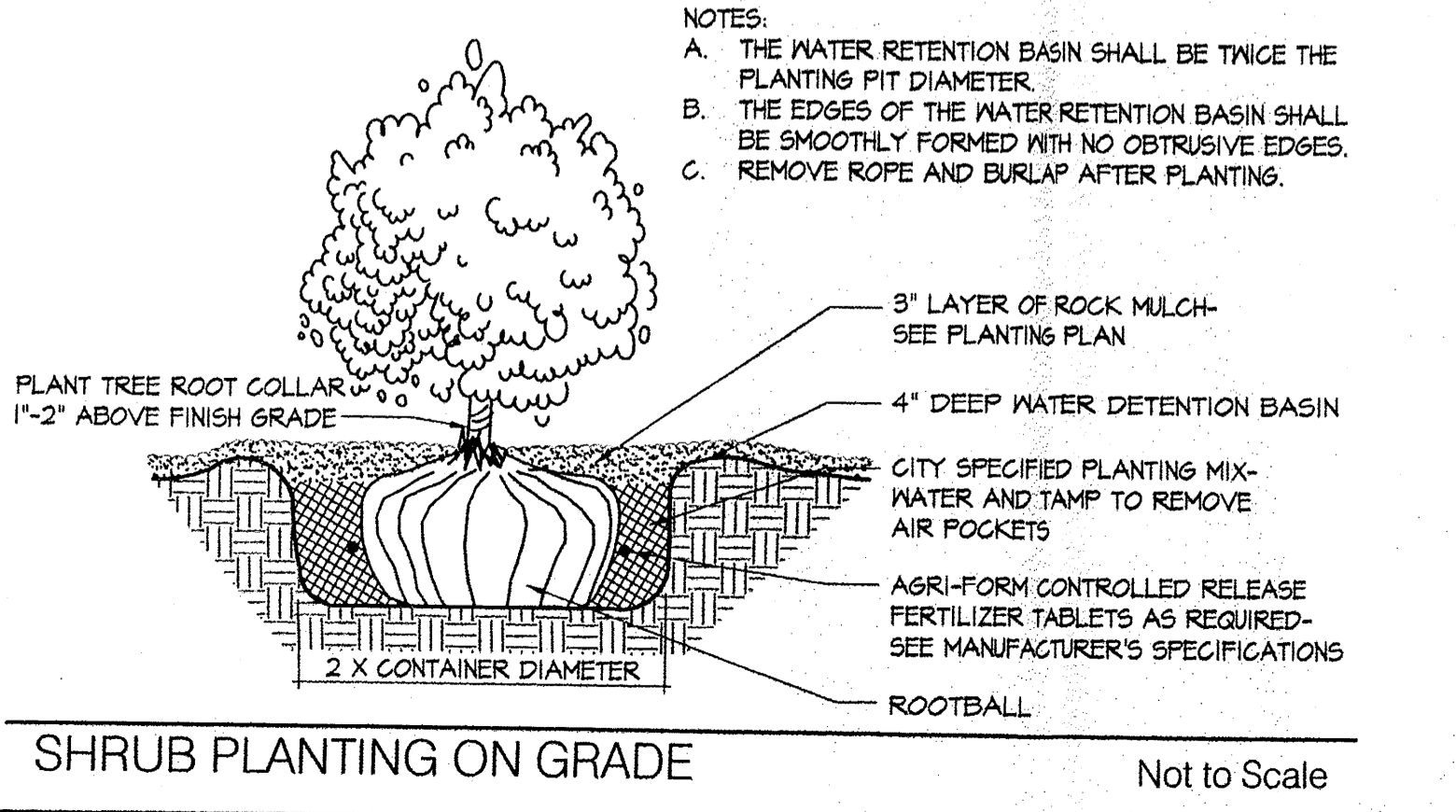
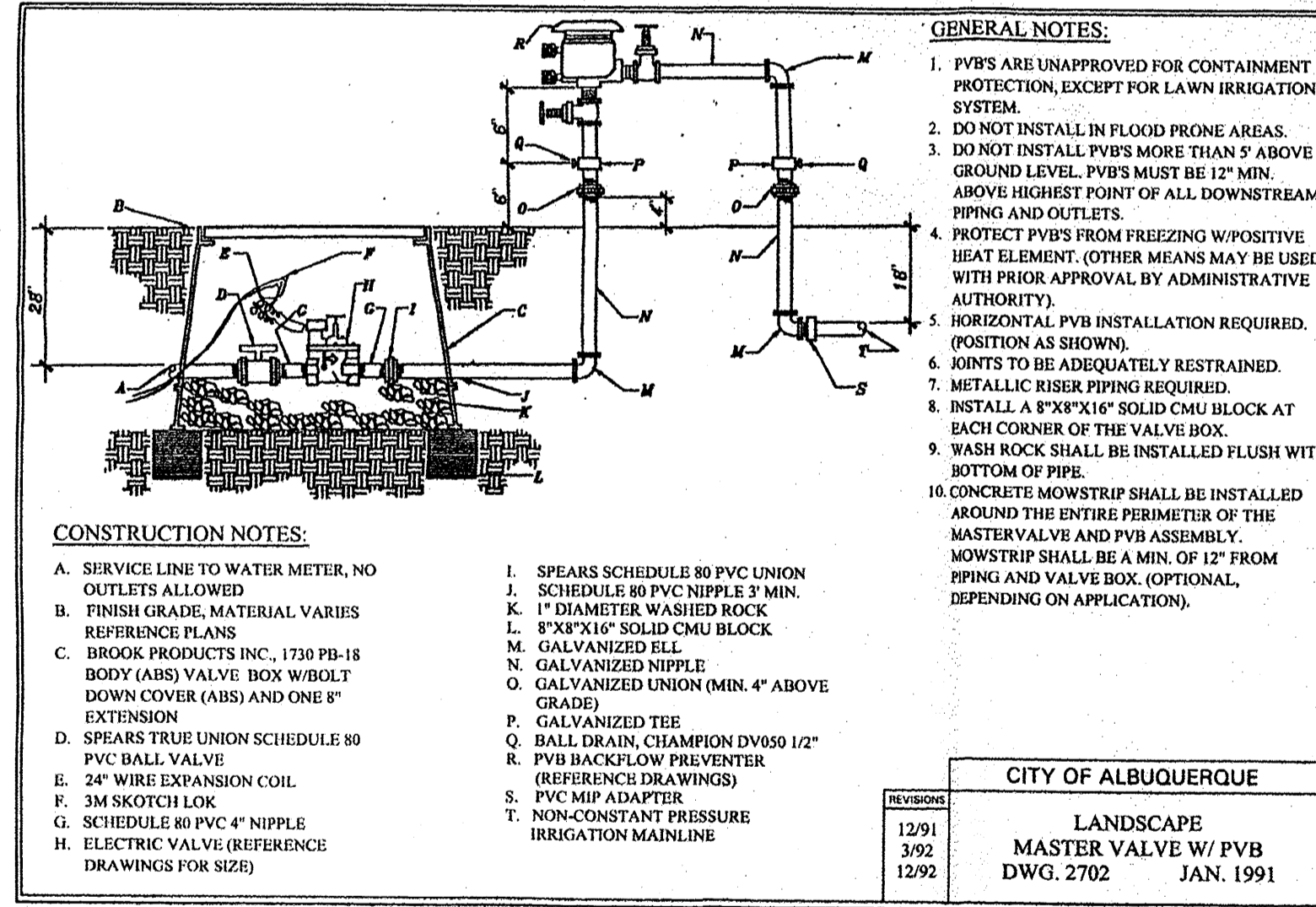
LANDSCAPE CALCULATIONS	
SITE AREA (0.41 AC.)	366,150 SF
BUILDING FOOTPRINT:	-16,410 SF
NET LOT AREA:	349,740 SF
IMPERVIOUS AREA:	264,124 SF
REQUIRED LANDSCAPE (15%):	52,461 SF
PROVIDED LANDSCAPE:	(24%) 82,850 SF
ON-SITE LANDSCAPE	33,256 SF
OFF-SITE LANDSCAPE PROVIDED:	116,706 SF
PROVIDED ON-SITE LANDSCAPE:	82,850 SF
(LESS UNPLANTED FUTURE PARKING LOT, DRAINAGE, & COBBLE WATER HARVEST AREAS)	-56,193 SF
TOTAL PROVIDED LANDSCAPE BEDS	26,657 SF
REQUIRED LIVE VEGETATIVE COVER (75%):	19,992 SF
PROVIDED LIVE VEGETATIVE COVER (57%):	15,184 SF

PARKING LOT TREES	
OLD DOMINION IS PROVIDING 52 PARKING SPACES IN INITIAL DEVELOPMENT. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.	
PARKING LOT TREES REQUIRED:	5
PARKING LOT TREES PROVIDED:	6
OLD DOMINION IS PROVIDING 66 PARKING SPACES AT FULL DEVELOPMENT. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.	
PARKING LOT TREES REQUIRED:	7
PARKING LOT TREES PROVIDED:	9

STREET TREES
CENTRAL AVENUE IS 346'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

REQUIRED: 12 (30' CANOPY TREES) = 360' LF OF TREE CANOPY
PROVIDED: 7 (VARYING CANOPY TREES) = 360' LF OF TREE CANOPY (EXCLUDING A 30' ENTRY SIGNAGE SIGHT CORRIDOR)

SPECIAL BUFFER LANDSCAPING
THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSIST PRIMARILY OF TREES AND THE PLANTING QUANTITY IS EQUAL TO 75% OF THE MATURE CANOPY DIAMETER OF THE TREES.



Scale: 1" = 50'

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ENGINEER'S SEAL	OLD DOMINION ALBUQUERQUE, NM	DRAWN BY GS
	LANDSCAPE PLAN	DATE 12-18-12 DRAWING NO 2012066-SPB
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # LS-2
		JOB # 2012006