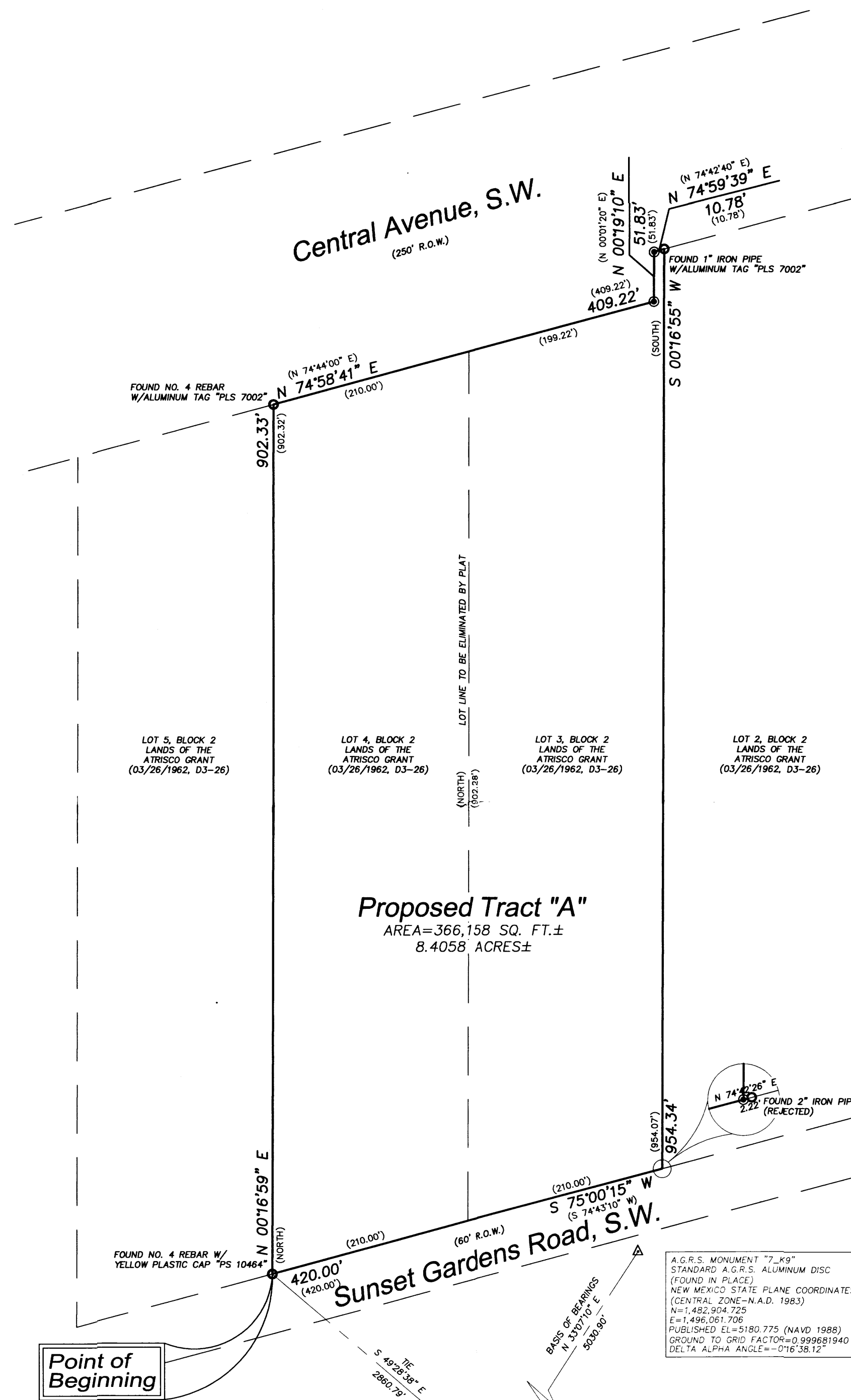
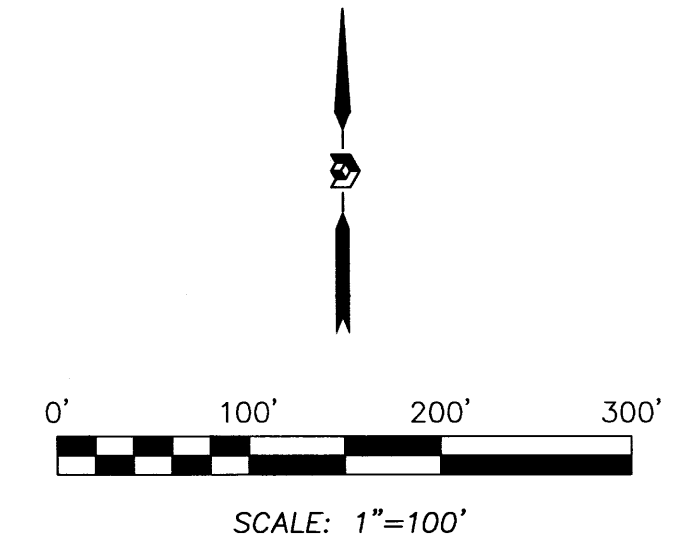


Sketch Plat of
Proposed Tract "A"
Old Dominion
Albuquerque, Bernalillo County, New Mexico
September 2012



Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" TO BE SET
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Point of Beginning

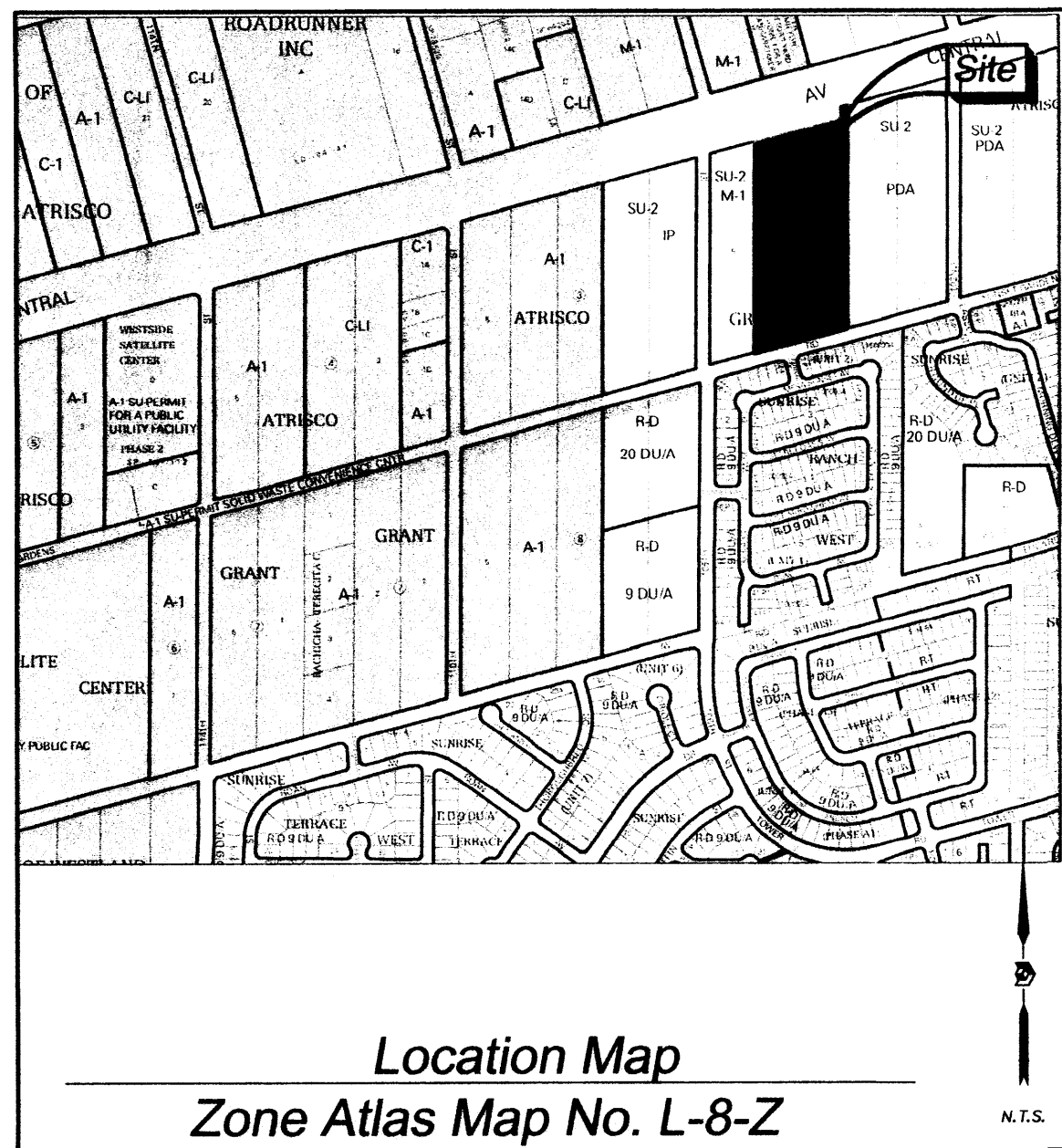
A.G.R.S. MONUMENT "19_L9"
STANDARD A.G.R.S. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,478,692.531
E=1,493,313.739
PUBLISHED EL=5180.775 (NAVD 1988)
GROUND TO GRID FACTOR=0.999680917
DELTA ALPHA ANGLE=-0°16'56.68"

A.G.R.S. MONUMENT "7_K9"
STANDARD A.G.R.S. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,482,904.725
E=1,496,061.706
PUBLISHED EL=5180.775 (NAVD 1988)
GROUND TO GRID FACTOR=0.999681940
DELTA ALPHA ANGLE=-0°16'56.12"

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX



Location Map
Zone Atlas Map No. L-8-Z

Subdivision Data:

ZONING: SU-2 M-1
GROSS SUBDIVISION ACREAGE: 8.4058 ACRES±
ZONE ATLAS INDEX NO: L-8-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 1
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: SEPTEMBER 2012

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO ONE NEW TRACT, DEDICATE ADDITIONAL RIGHT OF WAY FOR CENTRAL AVENUE, AND TO GRANT EASEMENTS.

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDED ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDED NATURAL GAS SERVICES.
- QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

RECORDING STAMP

Plat of
Tract A
**Old Dominion
Freight Line Inc.**
Albuquerque, Bernalillo County, New Mexico
October 2012

Project No. _____

Application No. **12DRB-**_____

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE

City Approvals

<i>[Signature]</i> CITY SURVEYOR	11-8-12 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE

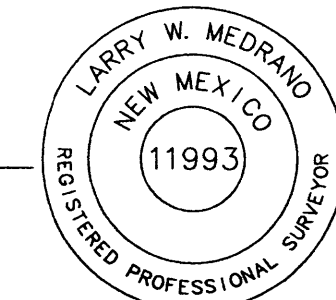
DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 10/29/12
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE



PRECISION SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED THREE (3) AND FOUR (4), IN BLOCK NUMBERED TWO (2), LANDS OF THE ATRISCO GRANT, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 26, 1962, IN BOOK D3, PAGE 26, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF SUNSET GARDENS ROAD, S.W. MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 10464"; FROM WHENCE A TIE TO ALBUQUERQUE GEODETIC REFERENCE SYSTEM MONUMENT "19_L9" BEARS S 49°28'38" E, A DISTANCE OF 2,860.79 FEET;

THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°16'59" E, A DISTANCE OF 902.33 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, S.W. MARKED BY A FOUND NO. 4 REBAR WITH TAG "PLS 7002";

THENCE, ALONG SAID SOUTH RIGHT OF WAY LINE FOR THE NEXT 3 COURSES N 74°58'41" E, A DISTANCE OF 409.22 FEET TO AN ANGLE POINT OF DESCRIBED TRACT;

THENCE, N 00°19'10" E, A DISTANCE OF 51.83 FEET TO AN ANGLE POINT OF DESCRIBED TRACT;

THENCE, N 74°59'39" E, A DISTANCE OF 10.78 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND 1" IRON PIPE WITH TAG "PS 7002";

THENCE, LEAVING SAID SOUTH RIGHT OF WAY LINE S 00°16'55" W, A DISTANCE OF 954.34 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE, S 75°00'15" W, A DISTANCE OF 420.00 FEET TO THE POINT OF BEGINNING CONTAINING 8.4058 ACRES (366,158 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT A, OLD DOMINION FREIGHT LINE INC.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

[Signature] 11-5-12
TERRY HUTCHINS
VICE PRESIDENT, REAL ESTATE
OLD DOMINION FREIGHT LINE INC.
DATE

Acknowledgment

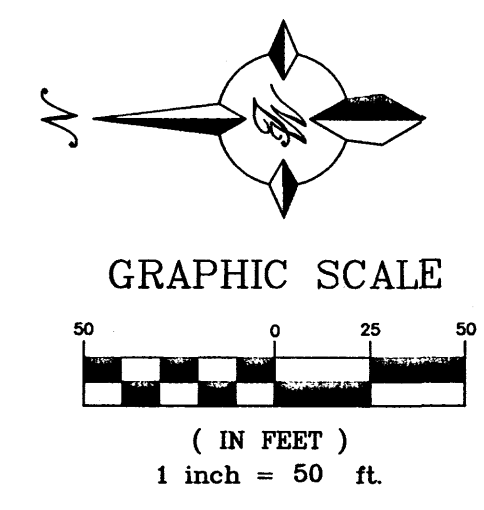
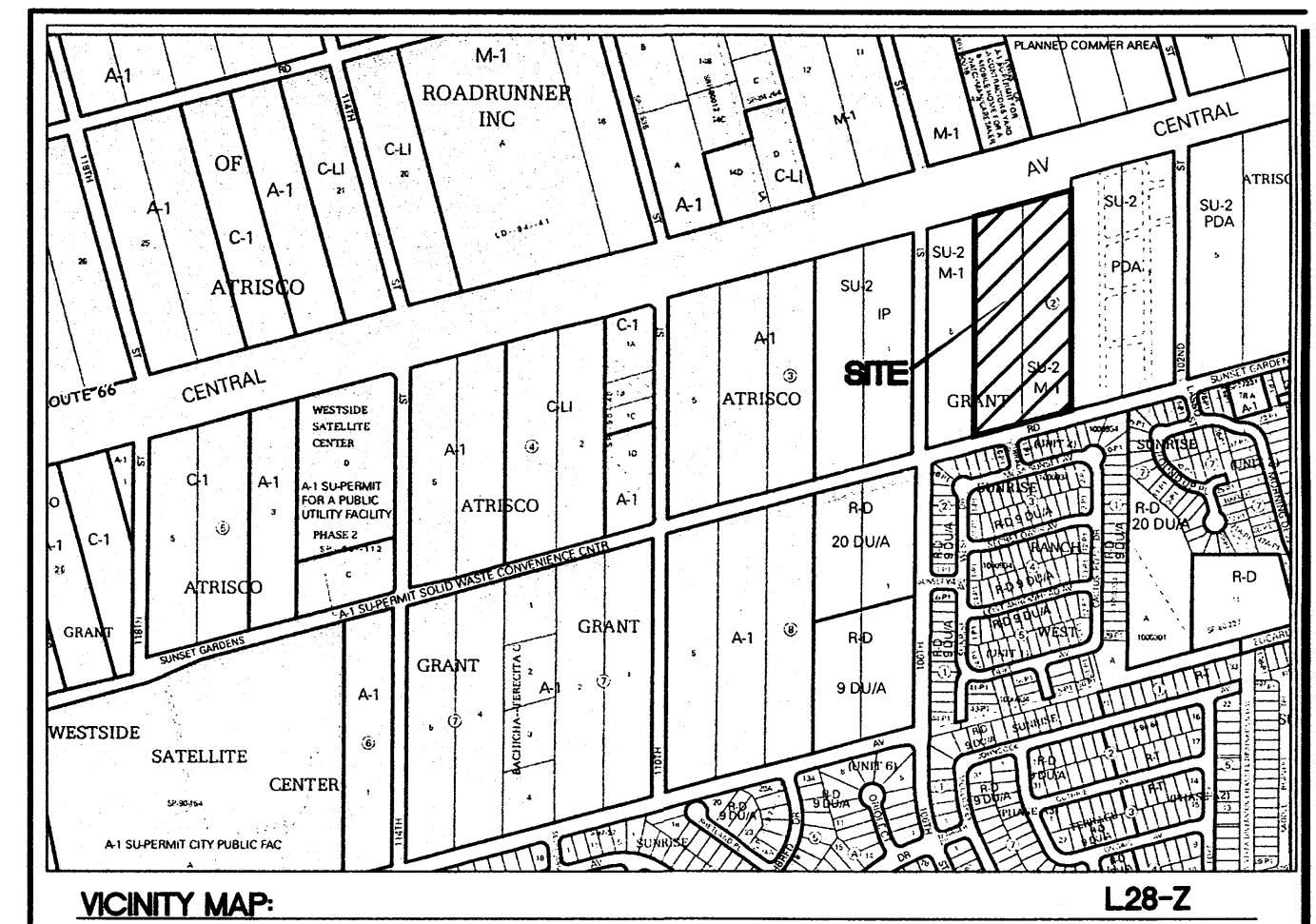
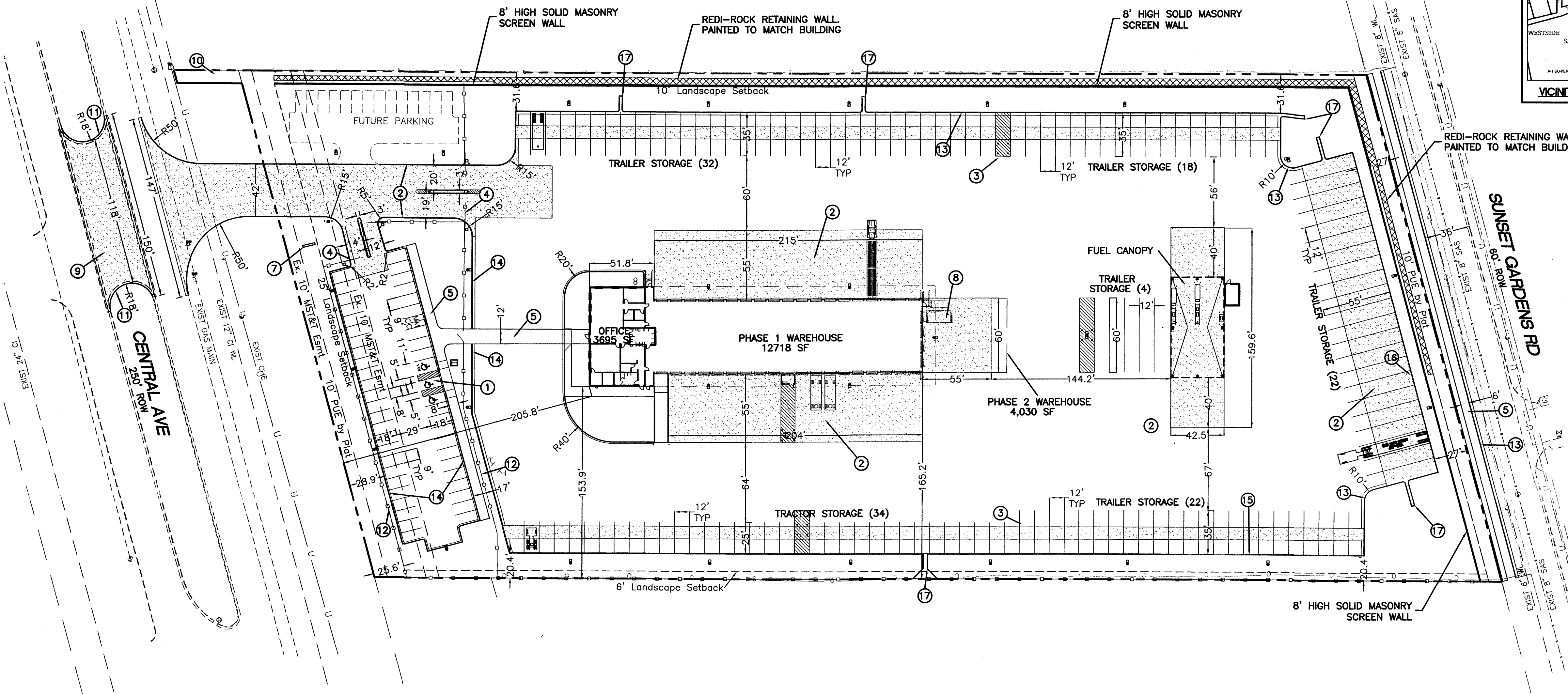
STATE OF NORTH CAROLINA) SS
COUNTY OF DAVIDSON)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF November, 2012 BY TERRY HUTCHINS, VICE PRESIDENT, REAL ESTAE, OLD DOMINION FREIGHT LINE INC.

Wendy U. English
Notary Public
Davidson County, NC
My Commission Expires: 6/13/2016

BY *[Signature]* MY COMMISSION EXPIRES: 6/13/2016
NOTARY PUBLIC

INDEXING INFORMATION FOR COUNTY CLERK
OWNER OLD DOMINION FREIGHT LINE INC.
SECTION 29, TOWNSHIP 10 N, RANGE 2 E,
SUBDIVISION OLD DOMINION FREIGHT LINE INC.



LEGEND

- PROPOSED CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▤ PROPOSED SIDEWALK
- - - EXISTING CURB & GUTTER
- SITE LIGHTING
- - - SAWCUT LINE
- - - NEW ASPHALT PAVING
- ▨ HEAVY DUTY CONCRETE PAVEMENT
- ▩ REDI-ROCK RETAINING WALL

- NOTES**
- LIGHT POLES SHALL BE A MAXIMUM OF 30' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

SITE DATA

ZONING	SU-2 FOR M-1 (W 66)
--------	---------------------

SITE AREA	366158 SF (8.41 AC)
PROPOSED USAGE	TRUCK TERMINAL
BUILDING AREA	
OFFICE	3,695 SF
PHASE 1 WAREHOUSE	12,718 SF
PHASE 2 WAREHOUSE	4,030 SF
TOTAL	20,028 SF
FUEL CANOPY	3,615 SF

PARKING REQUIRED	
OFFICE	19 SPACES (1 SPACE PER 200 SF)
WAREHOUSE	9 SPACES (1 SPACE PER 2000 SF)

HC PARKING REQUIRED	18 SPACES
HC PARKING PROVIDED	3 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED	48 SPACES

MC PARKING REQUIRED	2 SPACES
MC PARKING PROVIDED	2 SPACES

BICYCLE PARKING PROVIDED	5 SPACES
--------------------------	----------

SETBACKS

FRONT	25'
SIDE	10' (E SIDE), 6' (W SIDE)
REAR	10'

- KEYED NOTES**
- ACCESSIBLE PARKING PER ADA STANDARDS
 - CONCRETE PAVEMENT
 - BOLLARDS (TYP)
 - CHAIN LINK FENCE W/SLIDING GATE, SEE ARCHITECTURAL PLANS
 - CONCRETE SIDEWALK
 - TRANSFORMER
 - MONUMENT SIGN
 - TRASH COMPACTOR/CONTAINER (SCREENED FROM PUBLIC VIEW)
 - MEDIAN OPENING BY SEPARATE CONTRACT.
 - TO BE DEDICATED TO CITY BY PLAT
 - MEDIAN CURB PER COA STD DWG 2415B
 - CHAIN LINK FENCE
 - 8" STANDARD CURB AND GUTTER PER COA STD DWG 2415A
 - 6" MEDIAN CURB AND GUTTER PER COA STD DWG 2415B
 - 8" HEADER CURB PER COA STD DWG 2415B
 - 8" INTEGRAL CURB
 - 2' CONCRETE RUNDOWN

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	12-18-2012 Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

TERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierawestllc.com

Schwob Building Co.
 2349 Glenda Lane
 Dallas, TX 75229

Schwob
 BUILDING COMPANY, LTD

A NEW TERMINAL FOR:
OLD DOMINION FREIGHT LINE
 10210 Central Ave SW
 Albuquerque, NM 87121

Issue for Permit: xx-xx-xx

RONALD R. BOHANNAN
 P.E. #7868

ODFL Albuquerque, NM - ALB

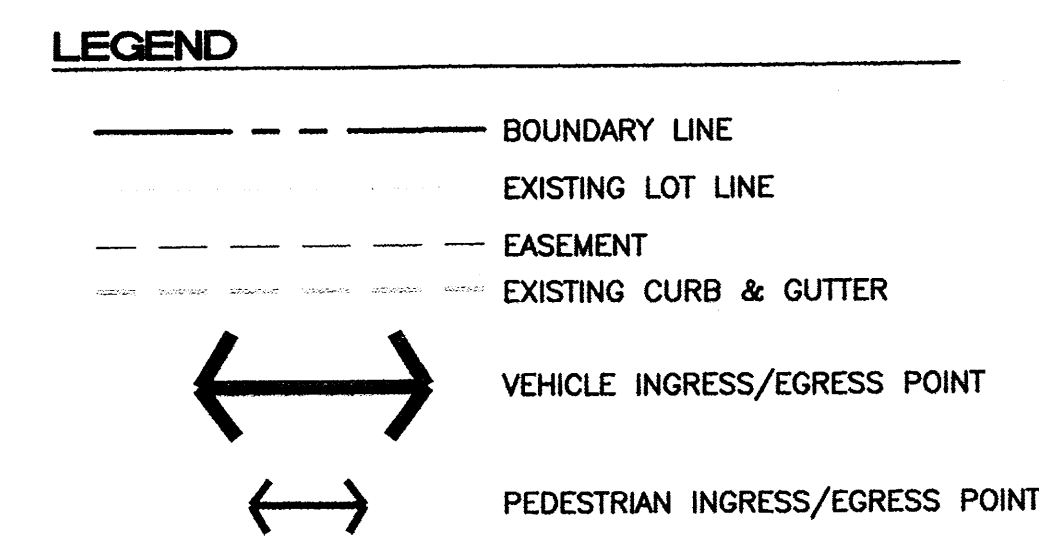
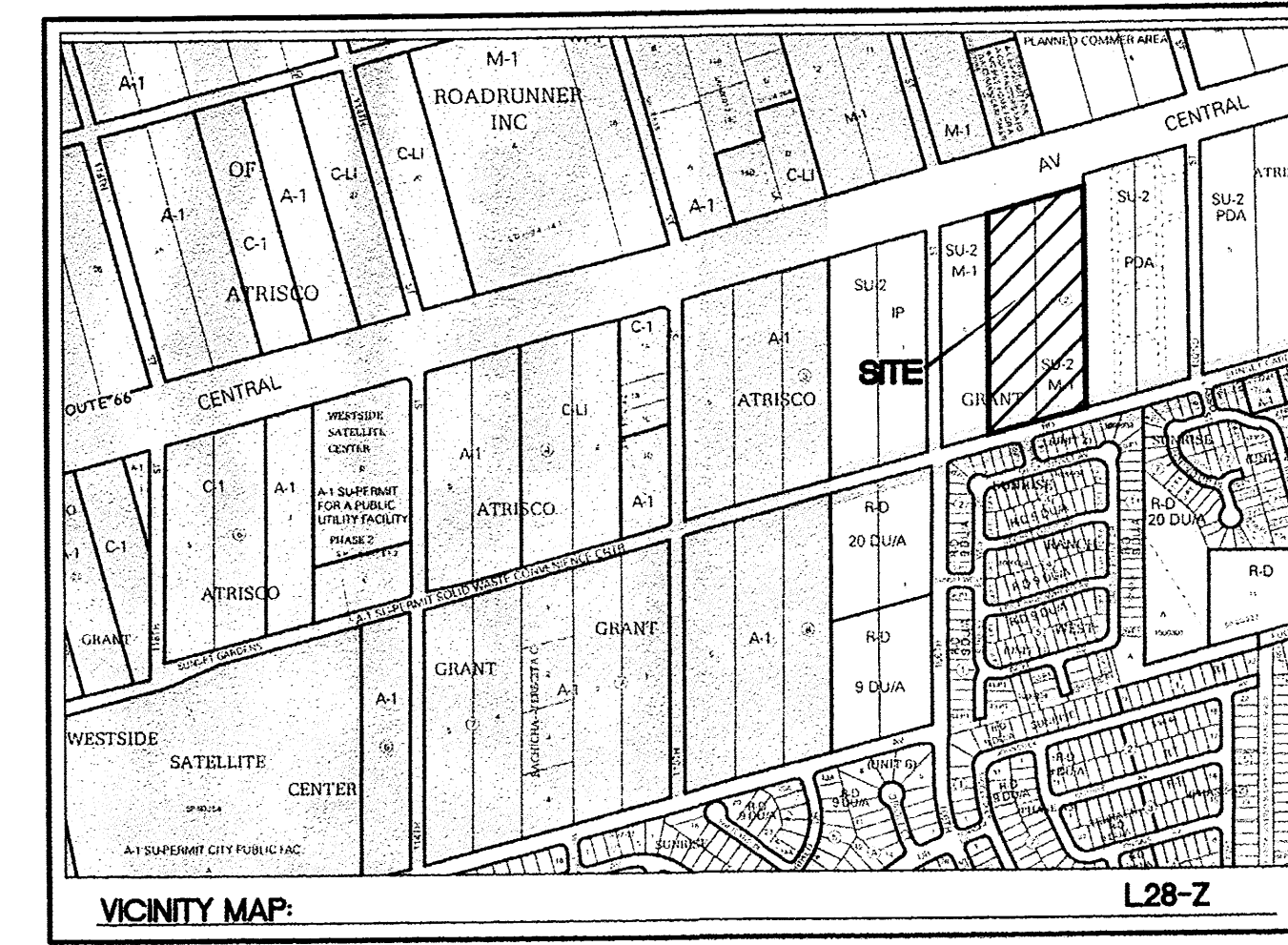
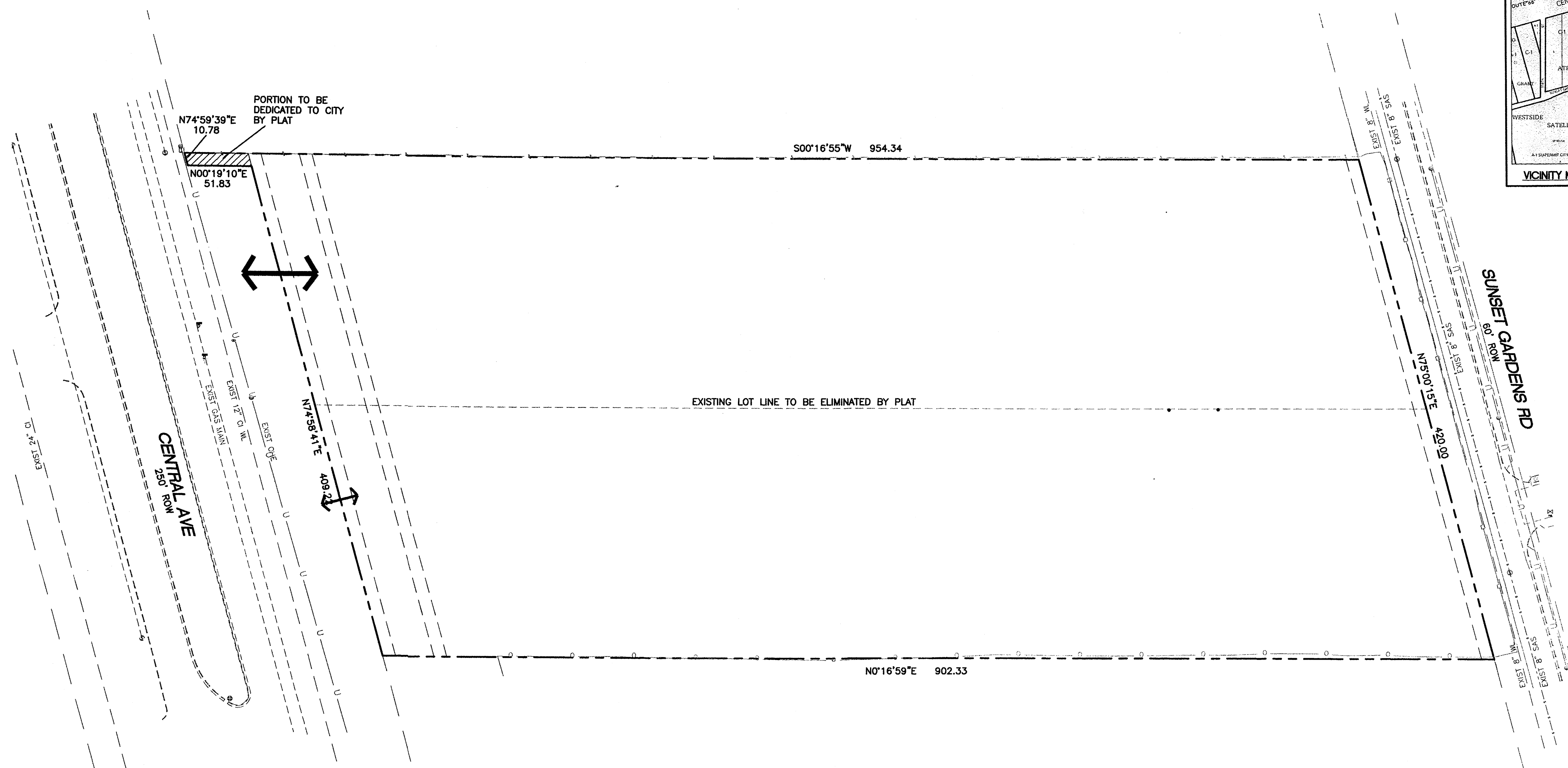
Project No. 12071.00

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Sheet Name:
SITE PLAN FOR BUILDING PERMIT

Sheet Number:
C2

Solid Waste Management Approval

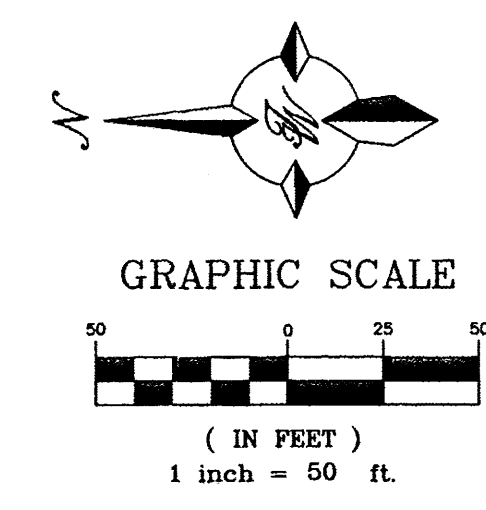


NOTE:
NO ACCESS PROPOSED TO SUNSET GARDEN ROAD.

SITE DATA

ZONING	SU-2 FOR M-1 (W 66)
SITE AREA	366158 SF (8.41 AC)
PROPOSED USAGE	TRUCK TERMINAL
SETBACKS	FRONT 25' SIDE 10' BACK 10'

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. SITE PLAN FOR BUILDING PERMIT
 - C3. PRELIMINARY GRADING PLAN
 - C4. MASTER UTILITY PLAN
 - C5. DETAIL SHEET
 - A2.4 FUEL ISLAND CANOPY ELEVATIONS
 - A3.1 BUILDING ELEVATIONS
 - LS-2. LANDSCAPING PLAN



PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

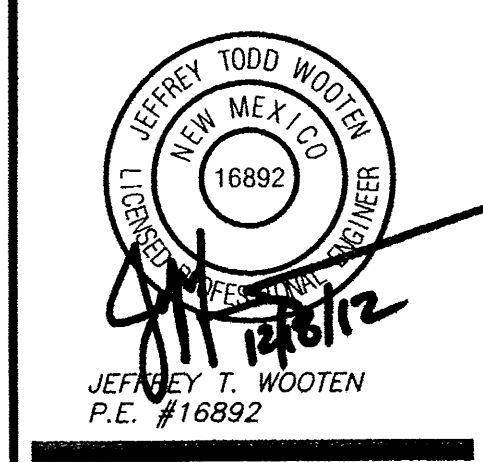
TERRA WEST, LLC
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Schwob Building Co.
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A NEW TERMINAL FOR:
OLD DOMINION FREIGHT LINE
 10210 Central Ave SW
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Issue for Permit: xx-xx-xx

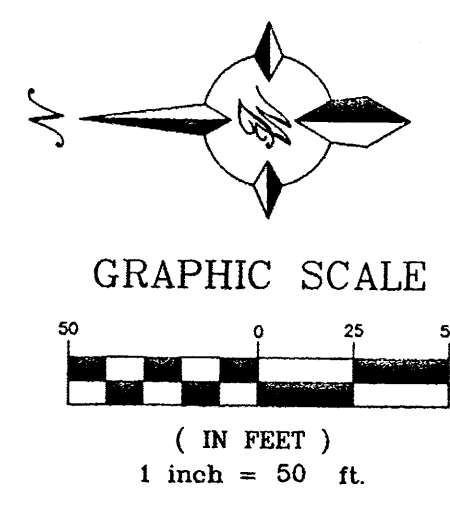
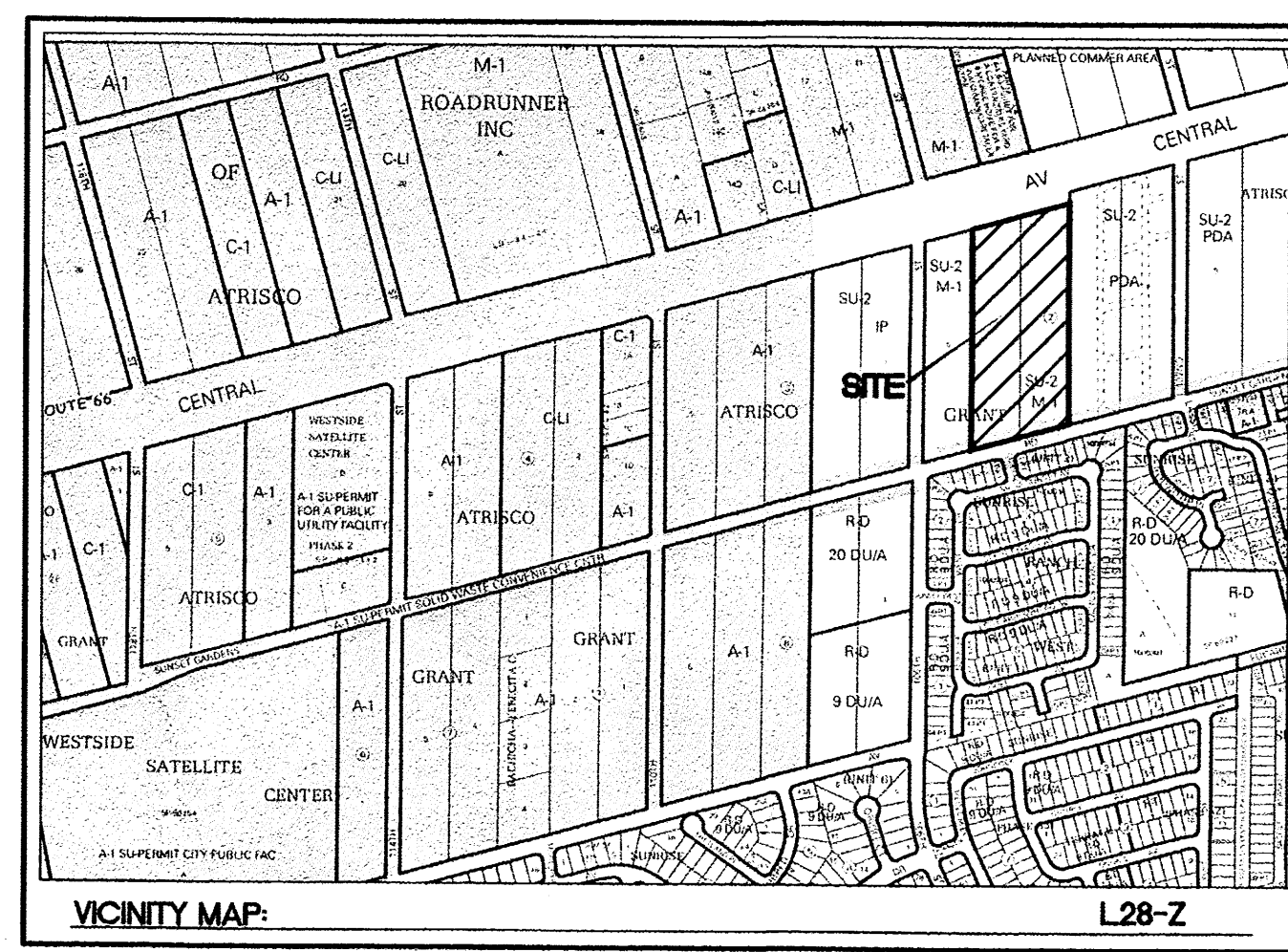
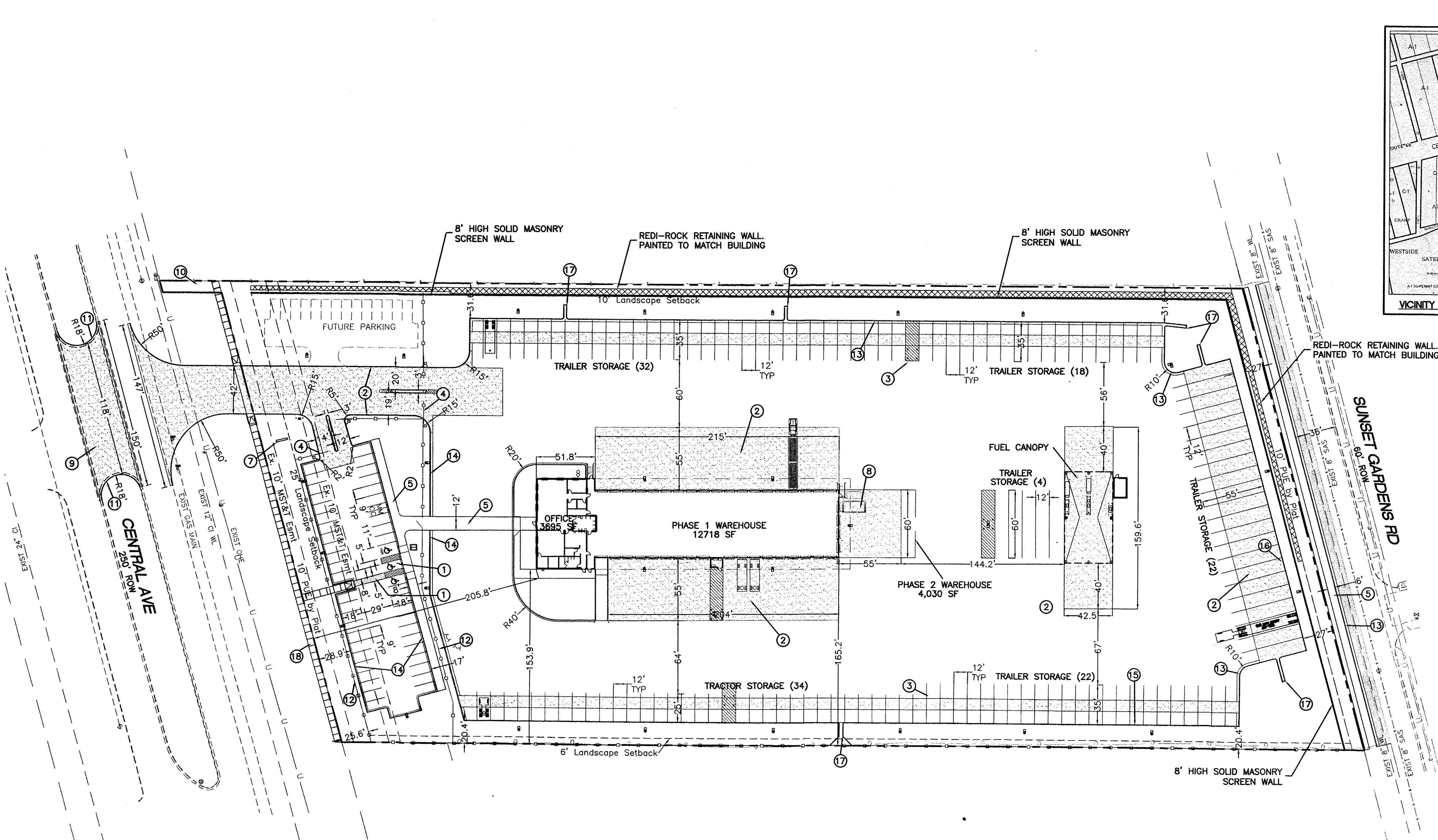


ODFL Albuquerque, NM - ALB
 Project No. 12071.00

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Sheet Name:
SITE PLAN FOR SUBDIVISION

Sheet Number:
C1



LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- SITE LIGHTING
- SAWCUT LINE
- NEW ASPHALT PAVING
- HEAVY DUTY CONCRETE PAVEMENT
- REDI-ROCK RETAINING WALL

NOTES

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MC PARKING PROVIDED	2 SPACES
BICYCLE PARKING PROVIDED	5 SPACES
SETBACKS	
FRONT	25'
SIDE	10' (E SIDE), 6' (W SIDE)
REAR	10'

- KEYED NOTES**
- ACCESSIBLE PARKING PER ADA STANDARDS
 - CONCRETE PAVEMENT
 - BOLLARDS (TYP)
 - CHAIN LINK FENCE W/SLIDING GATE, SEE ARCHITECTURAL PLANS
 - CONCRETE SIDEWALK
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 - 6" MEDIAN CURB AND GUTTER PER COA STD DWG 2415B
 - 8" HEADER CURB PER COA STD DWG 2415B
 - 8" INTEGRAL CURB
 - 2' CONCRETE RUNDOWN
 - 6' CONCRETE SIDEWALK BY SEPARATE CONTRACT
 - PEDESTRIAN CROSSWALK

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

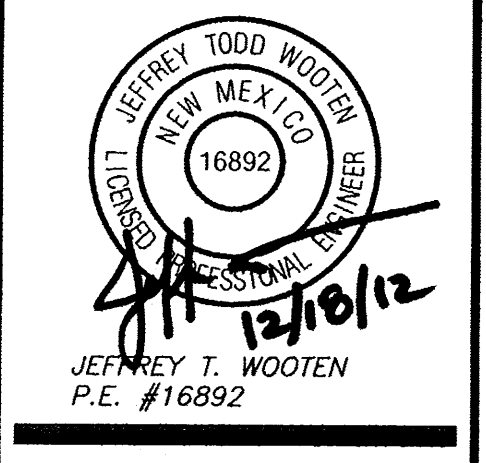
TIERRA WEST, LLC
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A NEW TERMINAL FOR:
OLD DOMINION FREIGHT LINE
 10210 Central Ave SW
 Albuquerque, NM 87121

Issue for Permit: xx-xx-xx

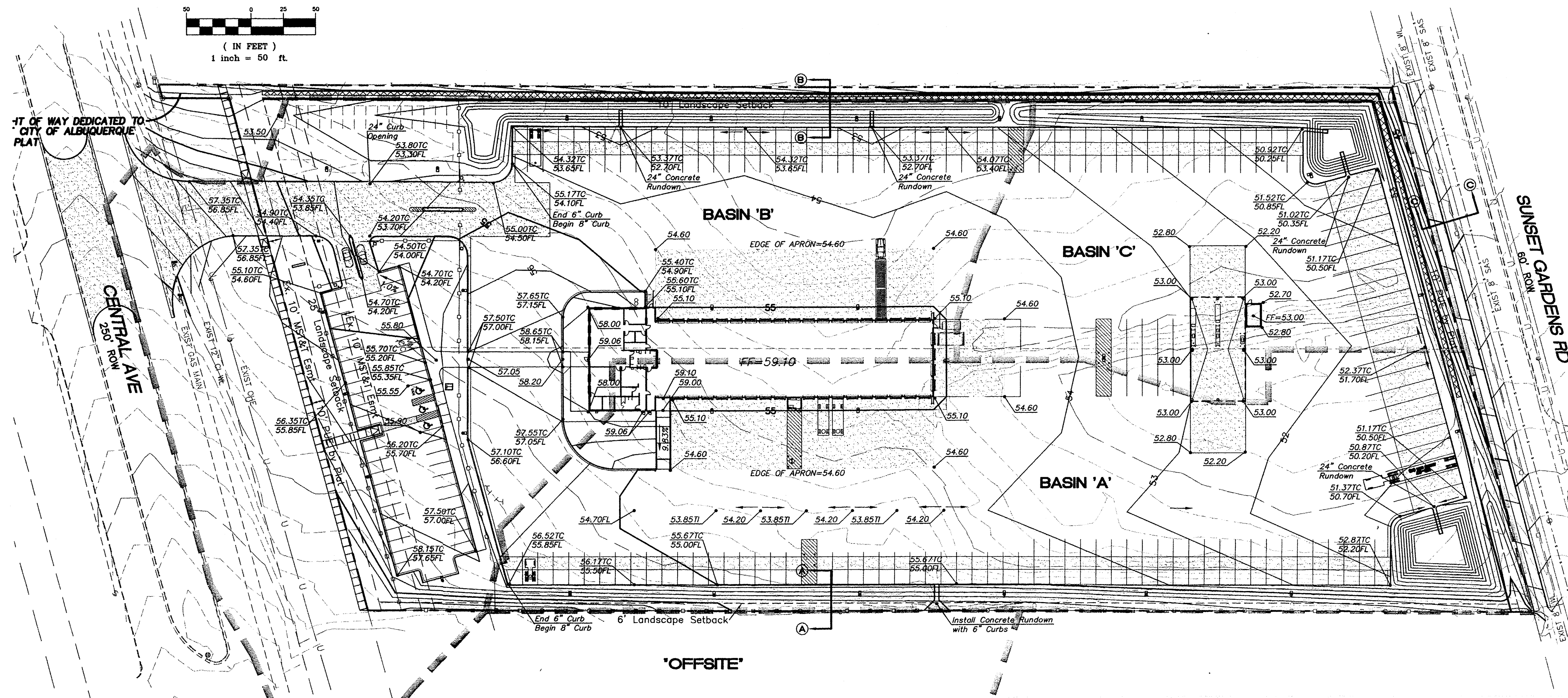
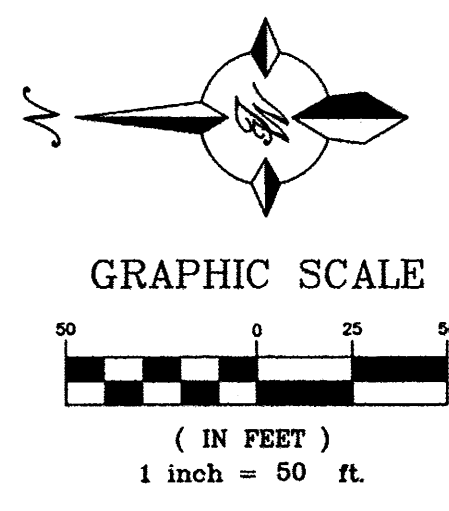


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Sheet Name:
SITE PLAN FOR BUILDING PERMIT

Sheet Number:
C2



Existing Old Dominion Drainage Calculations

This table is based on the COA DPM Section 22.2, Zone:1

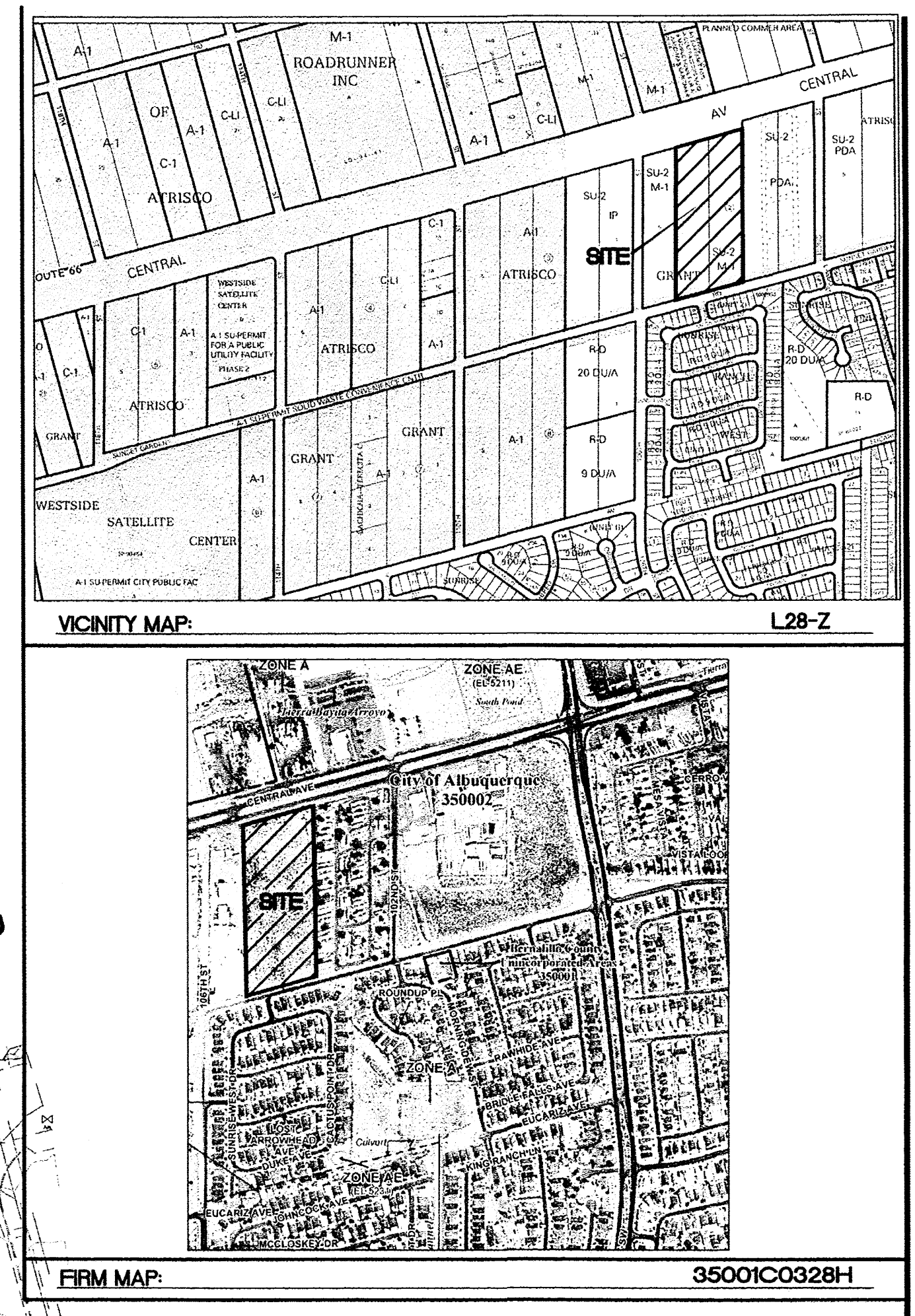
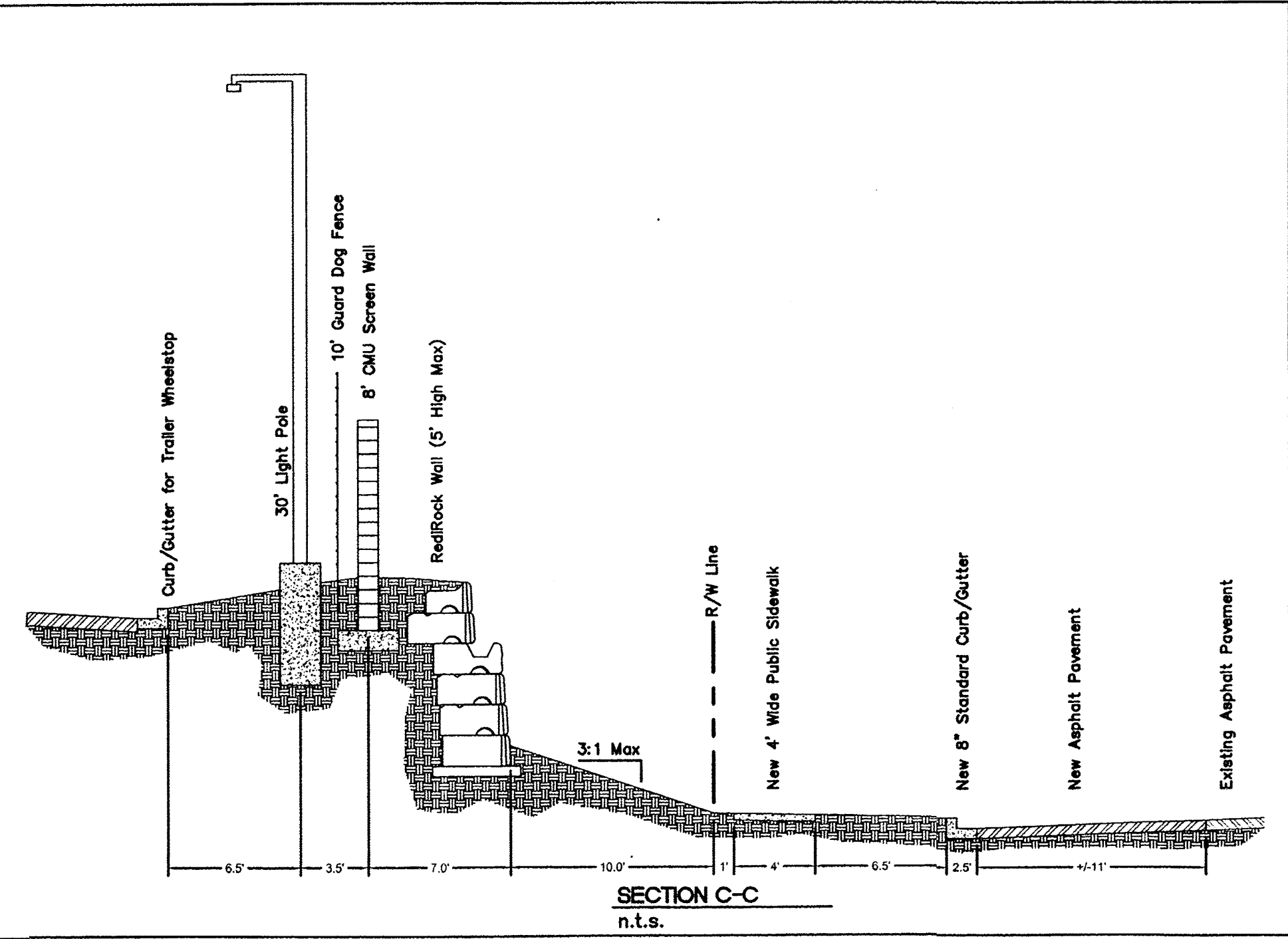
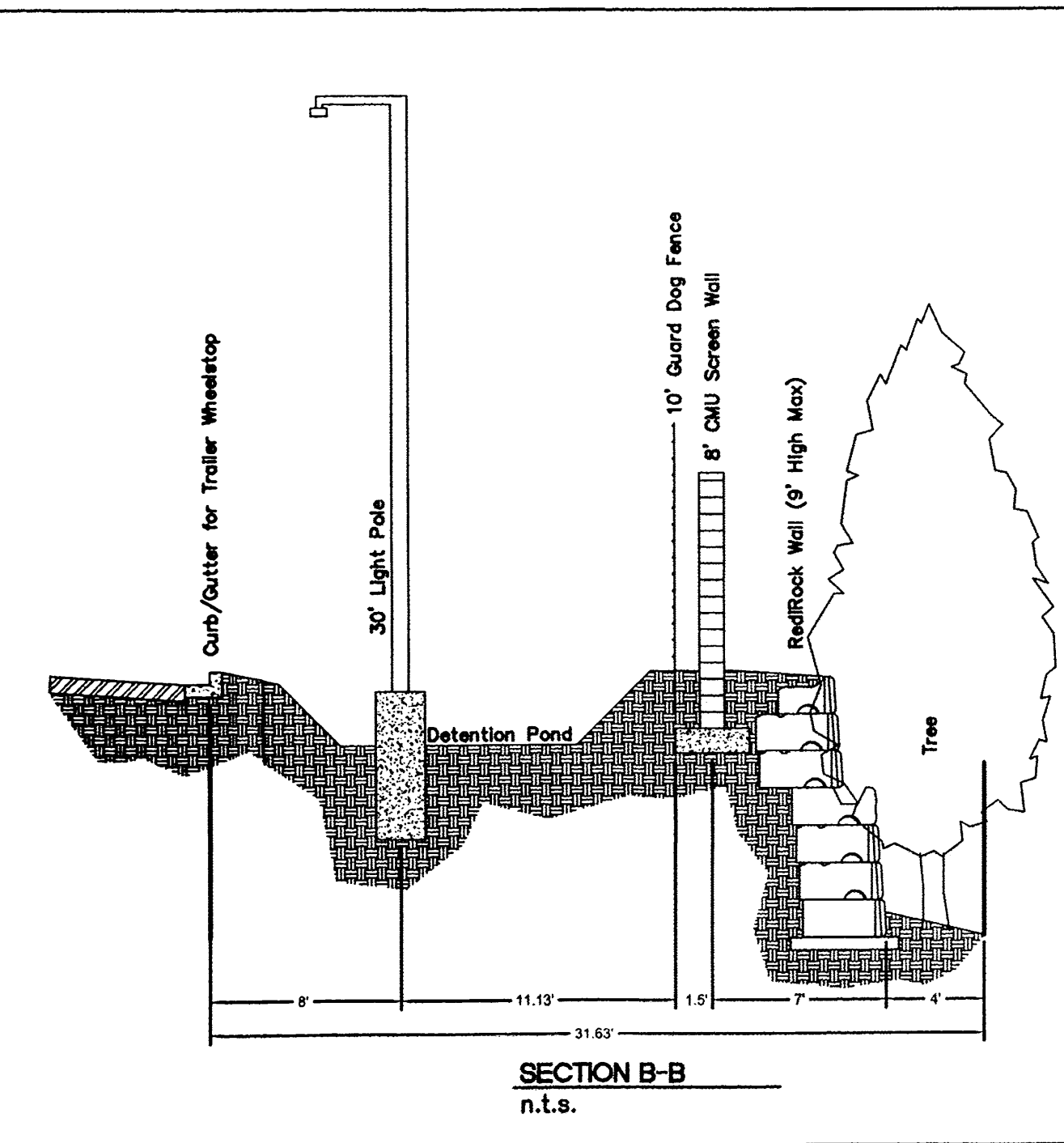
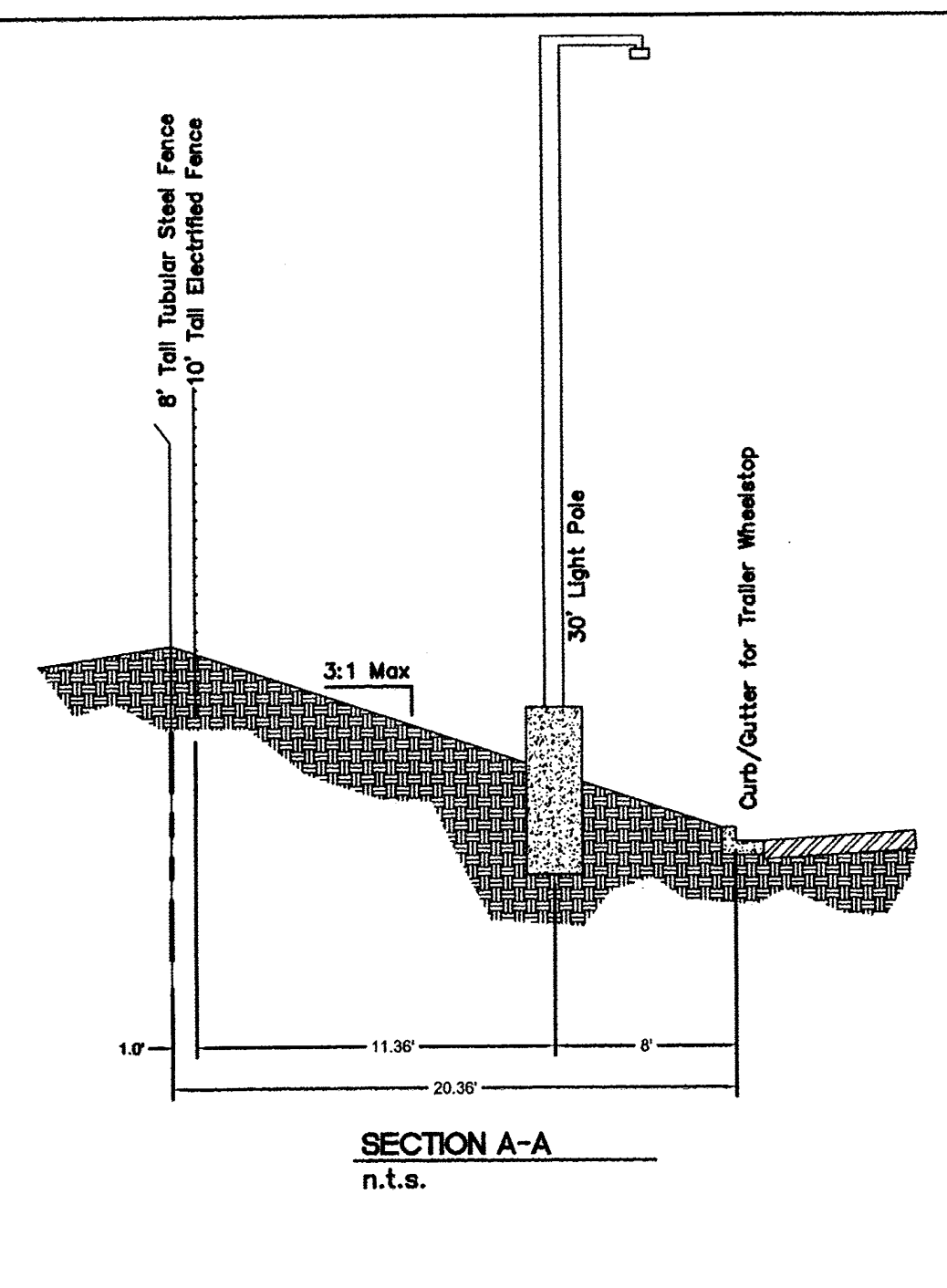
BASIN	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100) ₂₀₀ (CF)	V(100) ₄₄₀ (CF)	V(100) ₁₀₀₀ (CF)
			A	B	C	D						
Offsite	88538	2.03	0.0%	0.0%	36.8%	63.2%	3.82	7.76	1.61	11874	15791	23679
Basin 'A'	140714	3.23	0.0%	0.0%	100.0%	0.0%	2.03	6.56	0.67	7857	7857	26618
Basin 'B'	70615	1.62	0.0%	0.0%	100.0%	0.0%	2.03	3.29	0.67	3943	3943	13358
Basin 'C'	197823	4.54	0.0%	0.0%	100.0%	0.0%	2.03	9.22	0.67	11045	11045	37422
TOTAL	497690	11.43					26.83			34718	38635	101077

Proposed Old Dominion Drainage Calculations

Ultimate Development Conditions Basin Data Table

This table is based on the COA DPM Section 22.2, Zone:1

BASIN	Area (SQ. FT)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100) ₂₀₀ (CF)	V(100) ₄₄₀ (CF)	V(100) ₁₀₀₀ (CF)
			A	B	C	D						
Offsite	88538	2.03	0.0%	0.0%	36.8%	63.2%	3.82	7.76	1.61	11874	15791	23679
Basin 'A'	140714	3.23	0.0%	0.0%	10.0%	90.0%	4.22	13.63	1.87	21951	30816	40713
Basin 'B'	70615	1.62	0.0%	0.0%	10.0%	90.0%	4.22	6.84	1.87	11016	15465	20431
Basin 'C'	197823	4.54	0.0%	0.0%	10.0%	90.0%	4.22	19.16	1.87	30860	43323	57237
TOTAL	497690	11.43					47.40			75702	105395	142061



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - - - EXISTING CURB & GUTTER
 - EXISTING POWER POLE

CAUTION:
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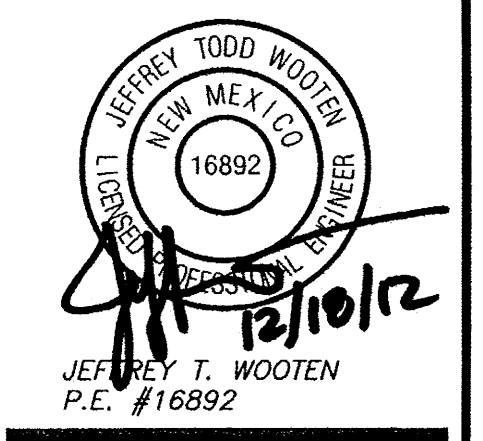
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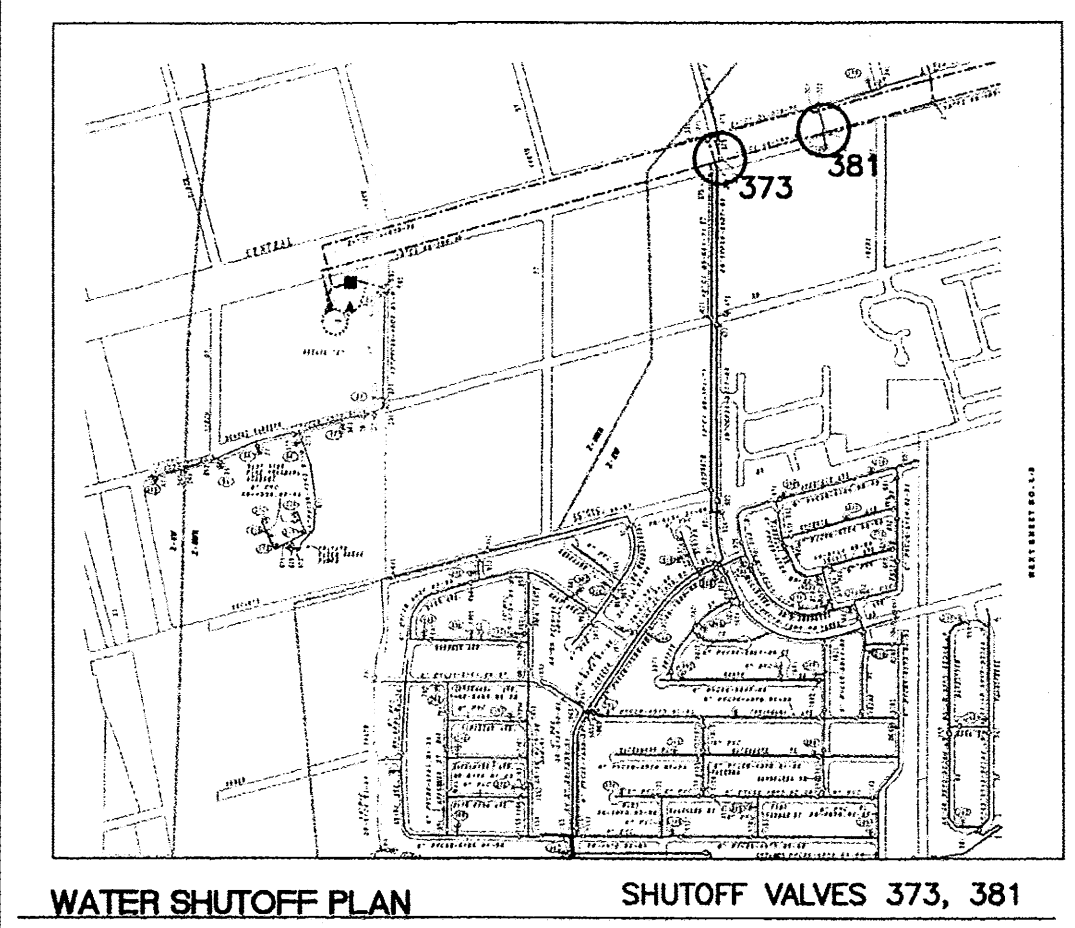
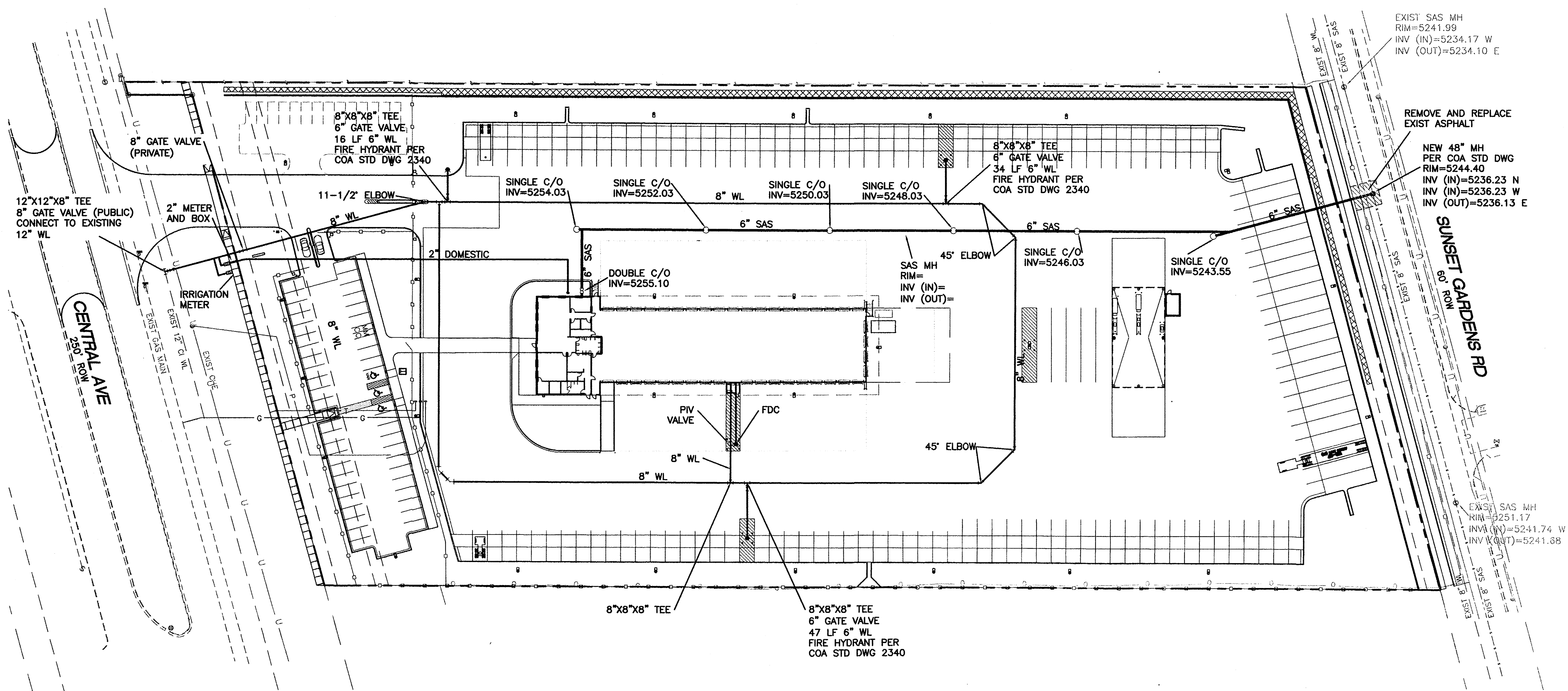
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Sheet Name:
PRELIMINARY GRADING PLAN

Sheet Number:



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463729/](http://abcwua.org/content/view/full/463729/).

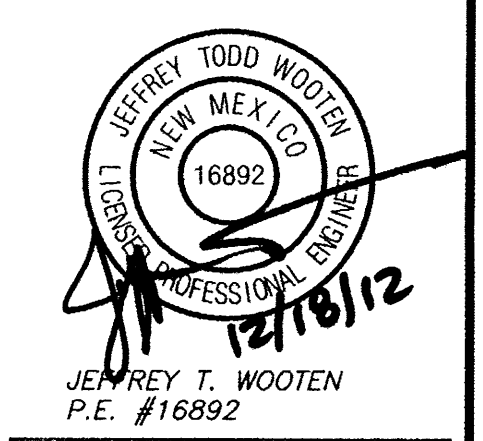
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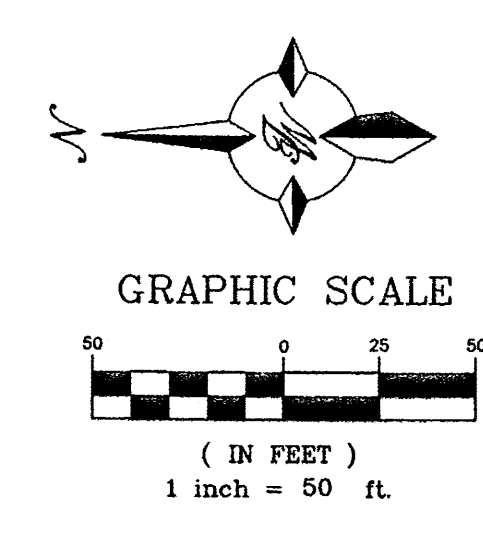
Sheet Name:
**MASTER UTILITY
 PLAN**

Sheet Number:

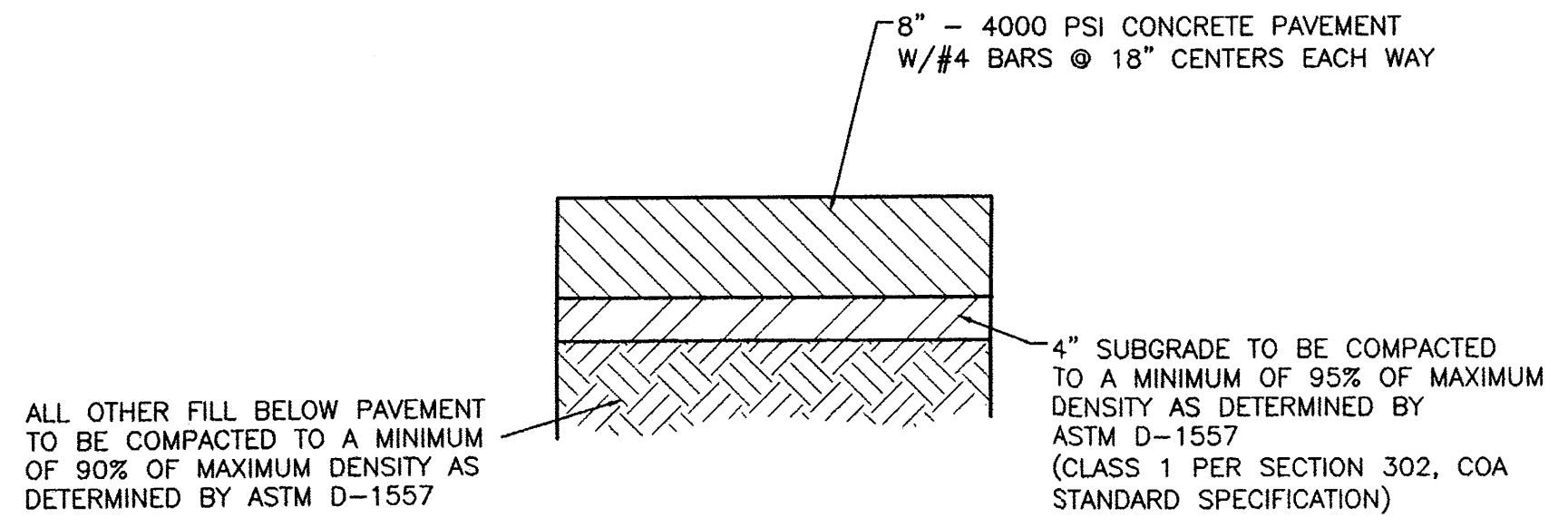
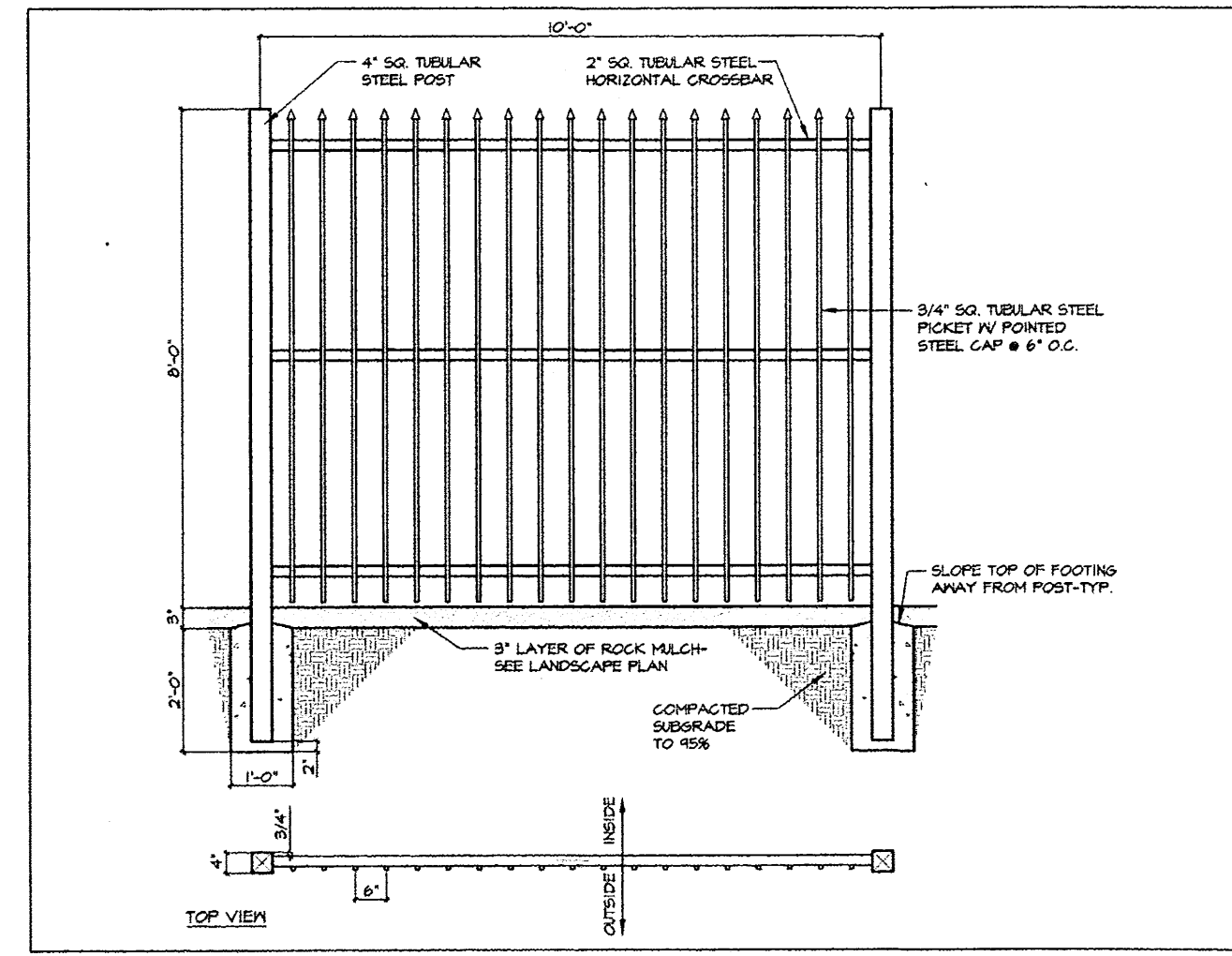
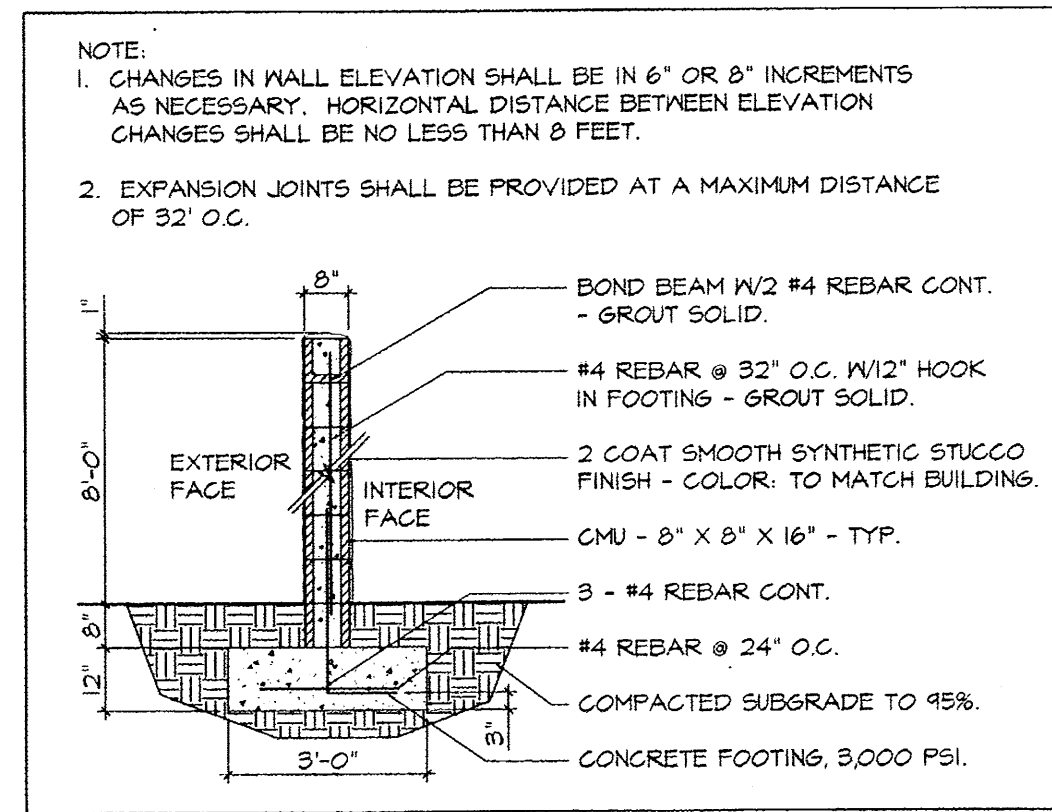
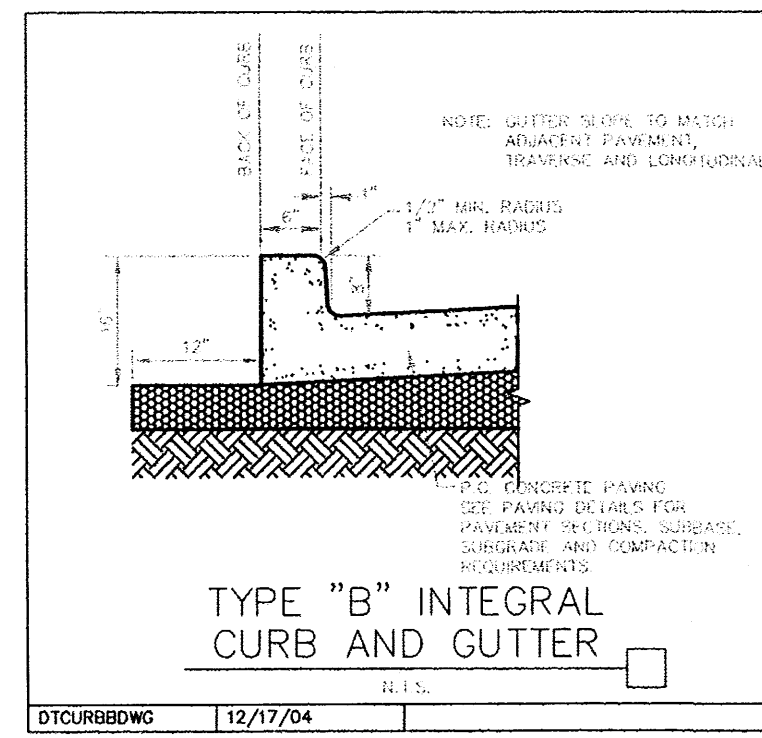
LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	SIDEWALK
	EXISTING CURB & GUTTER
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED TELEPHONE LINE
	PROPOSED POWER
	PROPOSED GAS
	SAWCUT LINE

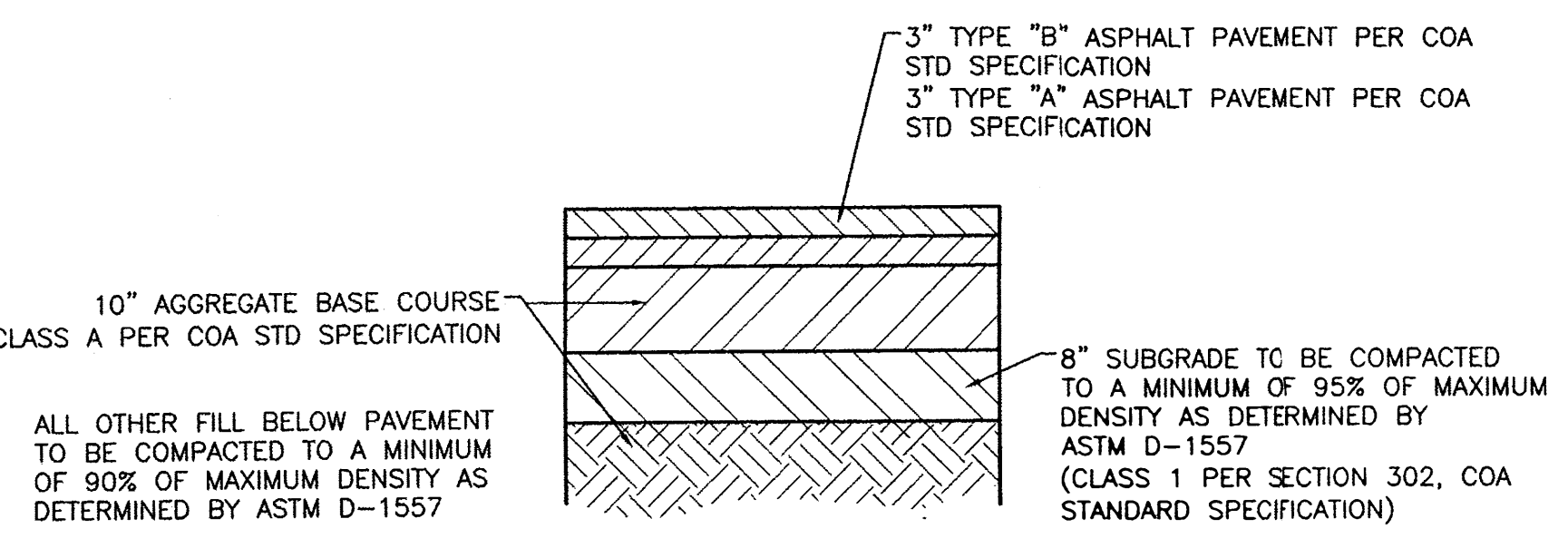
- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 - ALL MANHOLES AND CLEANOUTS SHALL HAVE 8" THICK CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 - PNM HAS NUMEROUS ELECTRIC FACILITIES NEAR THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
 - PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 - SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.



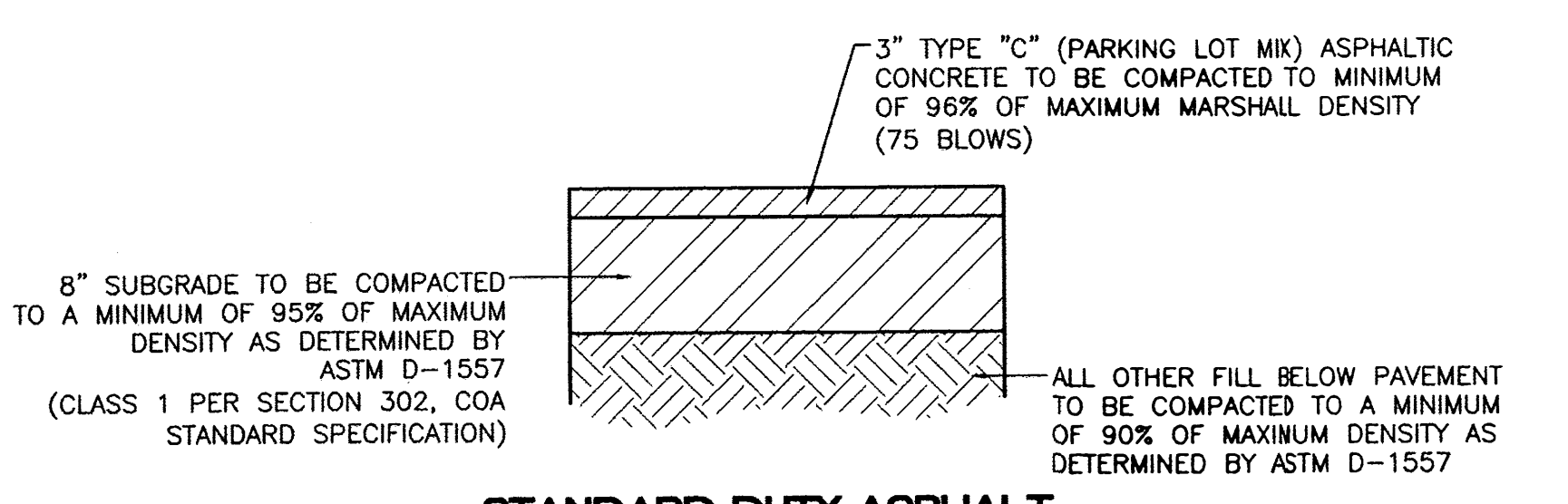
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HEAVY DUTY CONCRETE TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY X8E VINYARD.



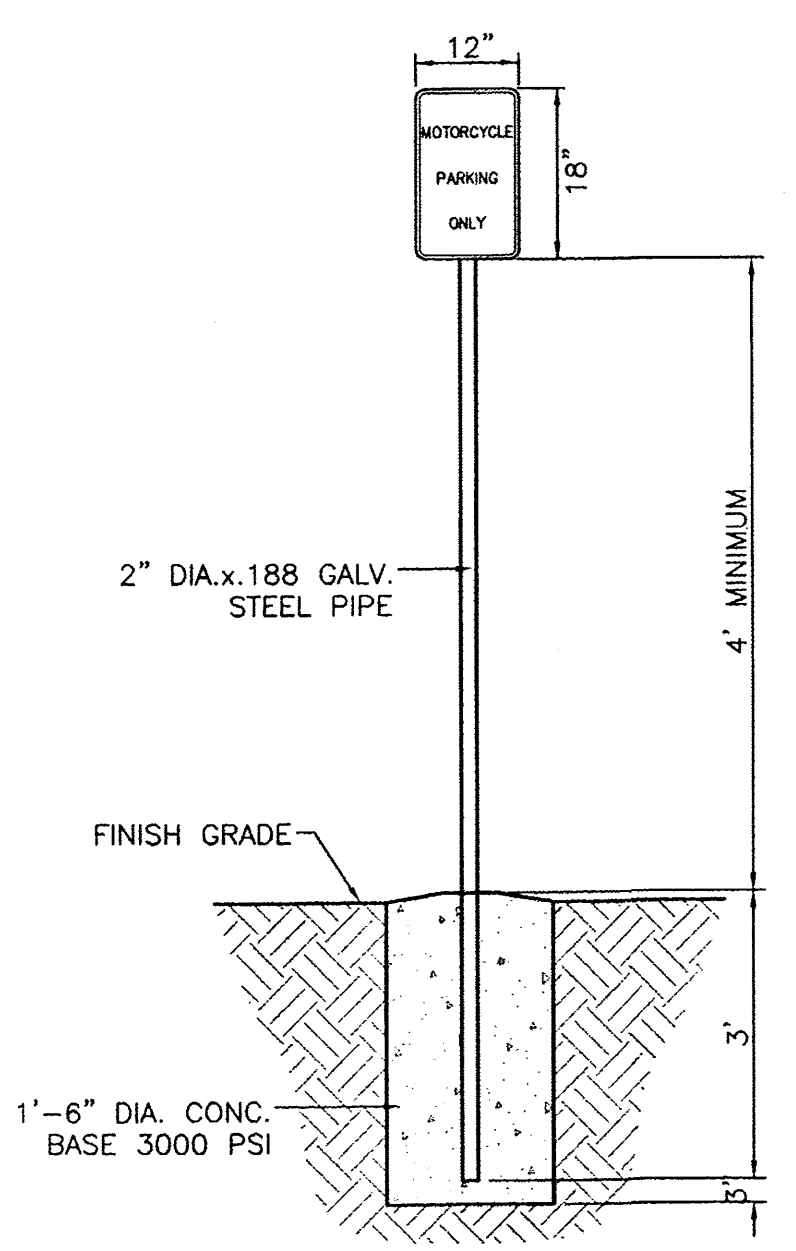
HEAVY DUTY ASPHALT TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY X8E VINYARD



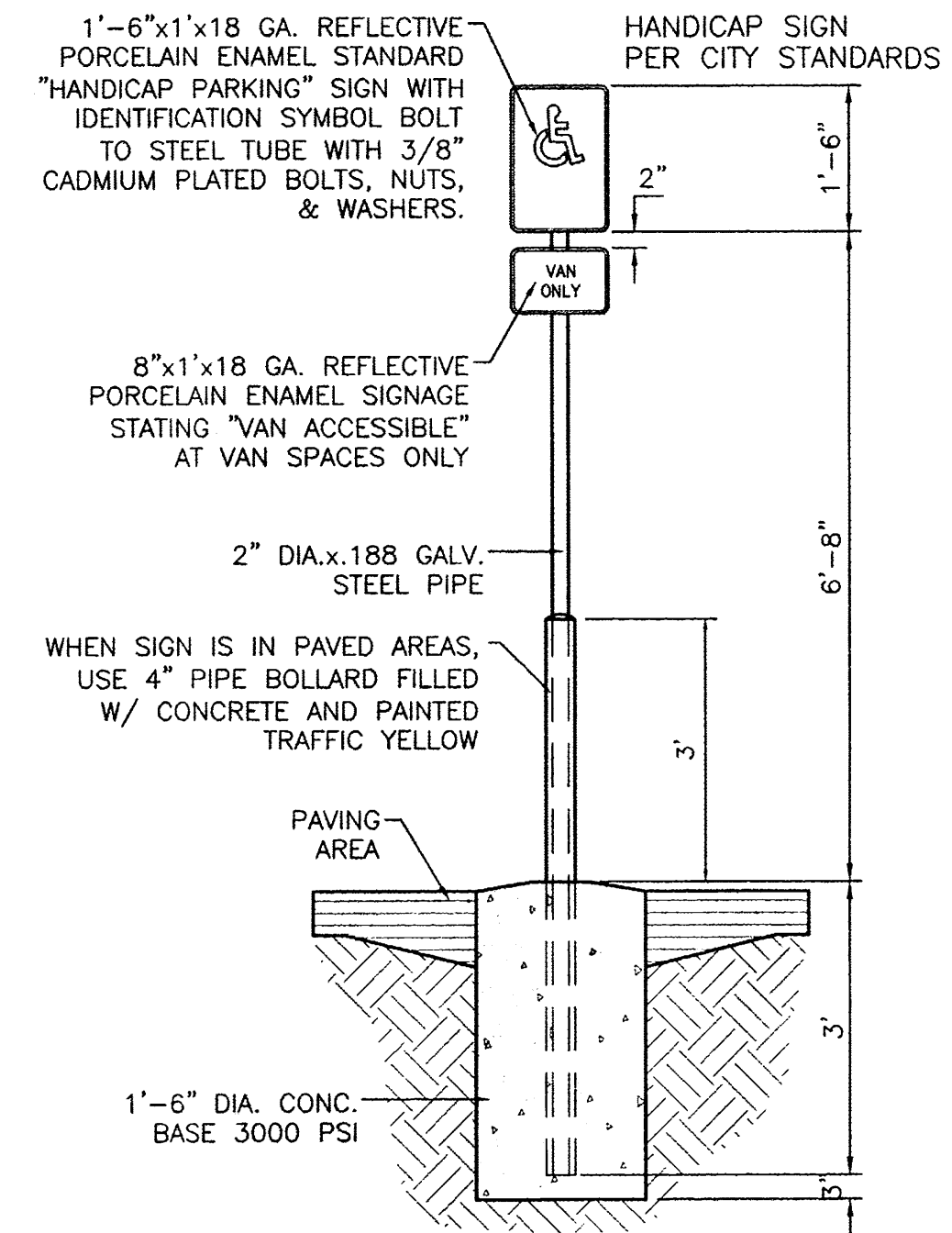
STANDARD DUTY ASPHALT TYPICAL PAVING SECTION
1" = 1' DESIGNATED BY X8E VINYARD

SCREENWALL DETAIL

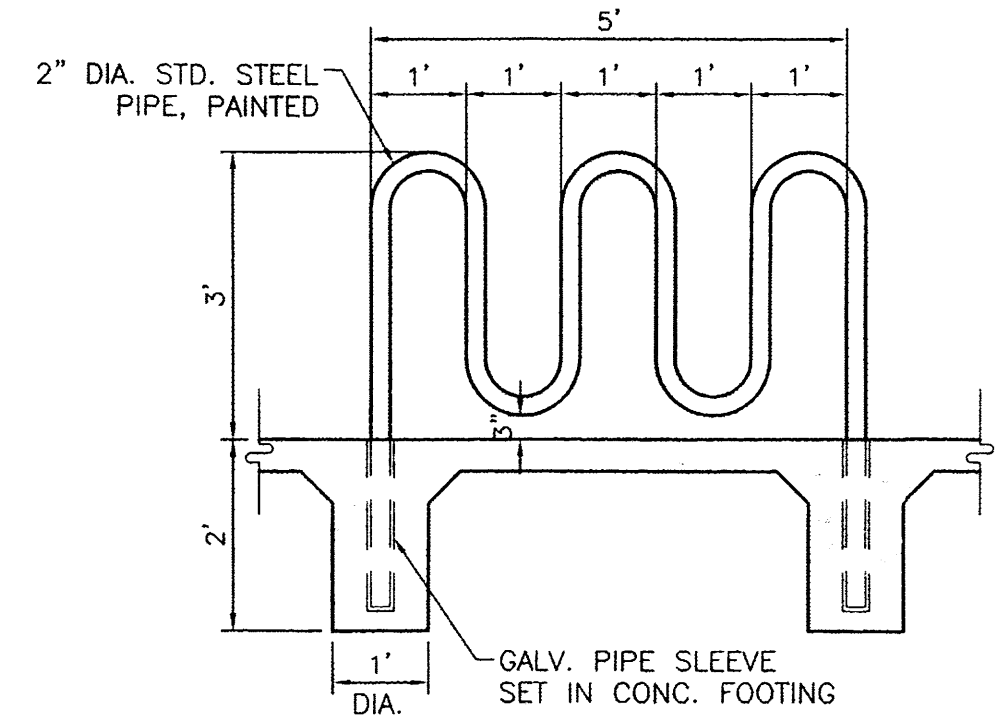
TUBULAR FENCE DETAIL



MOTORCYCLE PARKING SIGN
NTS



HANDICAP SIGN
NTS



BIKE RACK DETAIL
SCALE: 1/2" = 1'

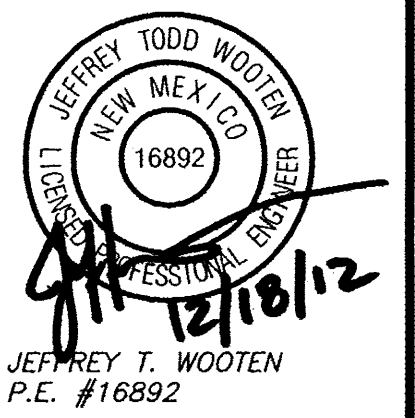
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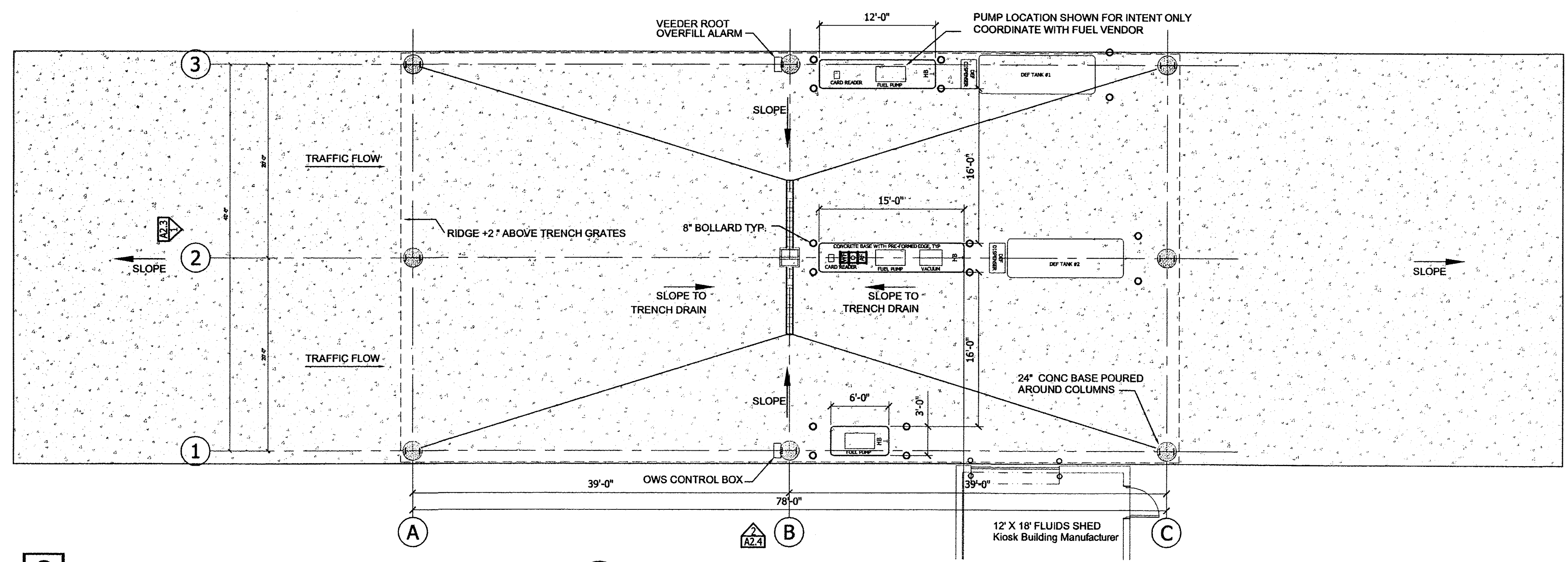
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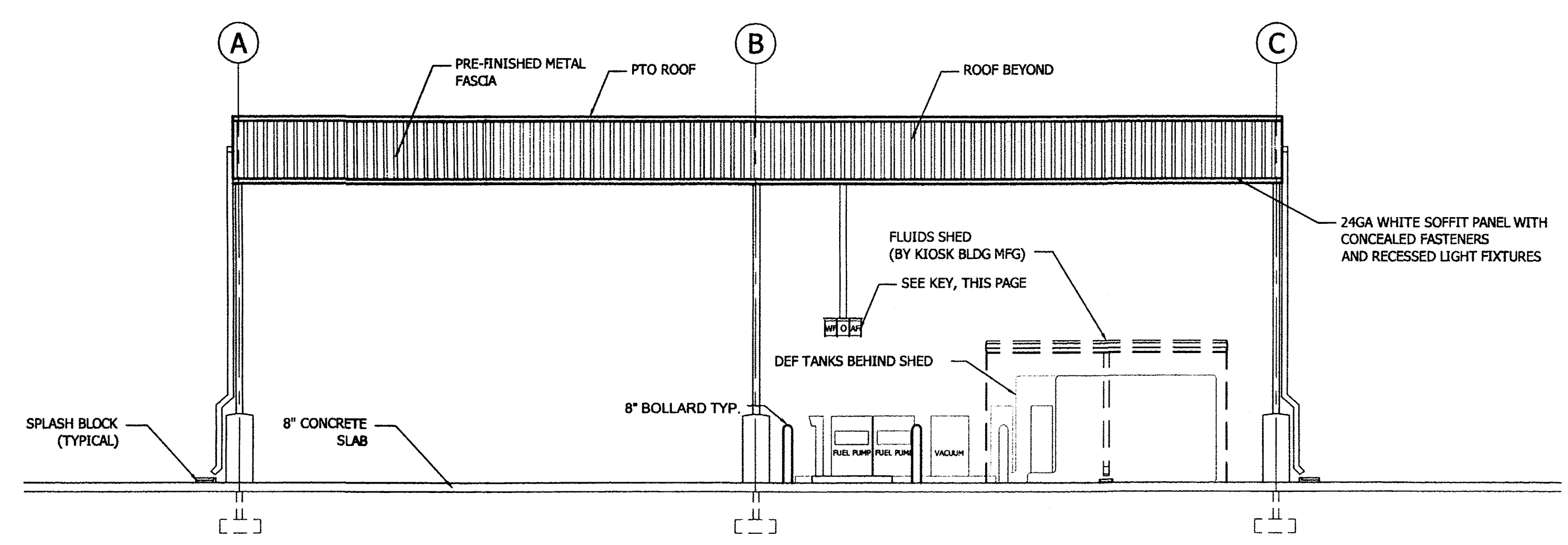
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Sheet Number:

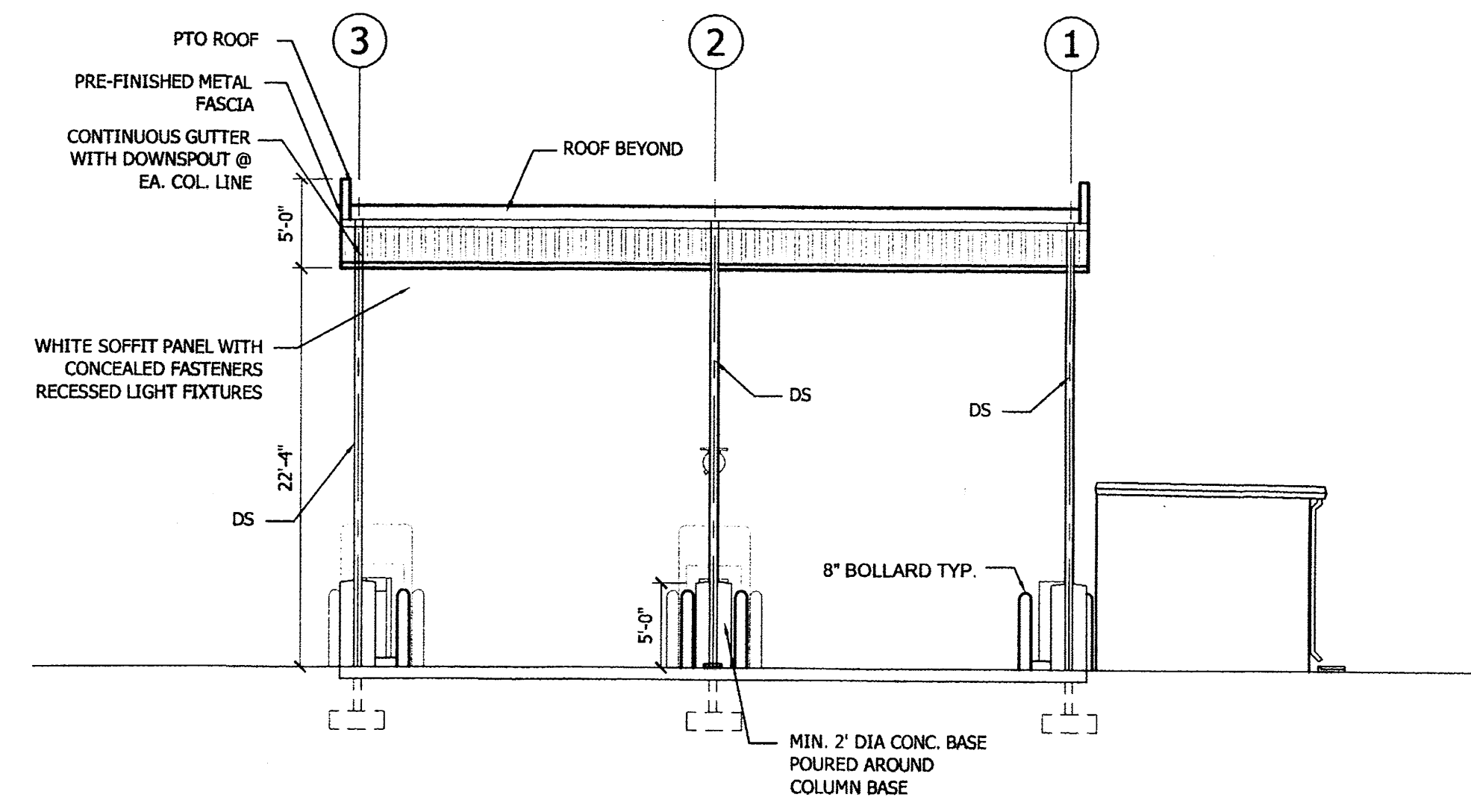
KEY	
HB	- HOSE BIB
WF	- WASHER FLUID
O	- OIL
AF	- ANTI-FREEZE



3 FUEL ISLAND PLAN
 SCALE - 11X17 - NO SCALE
 24X36 - 1/8" = 1'-0"



2 SIDE ELEVATION
 SCALE - 11X17 - NO SCALE
 24X36 - 1/8" = 1'-0"



1 END ELEVATION
 SCALE - 11X17 - NO SCALE
 24X36 - 1/8" = 1'-0"



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90% Completion: 12-17-12

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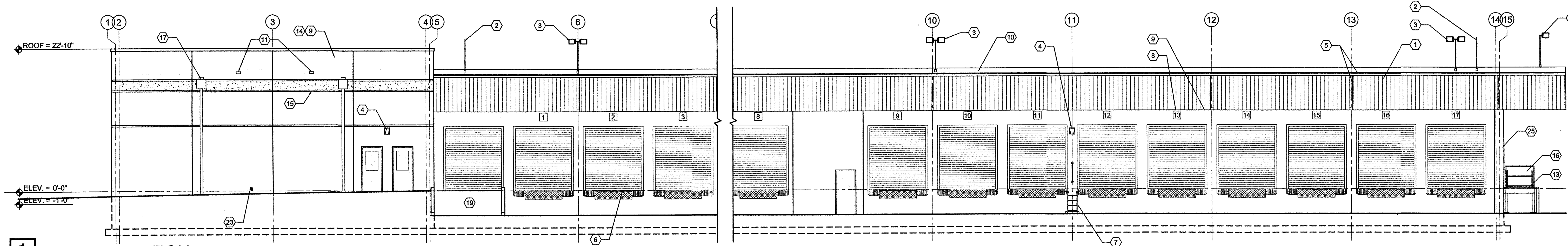
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Sheet Name:
 Fuel Island

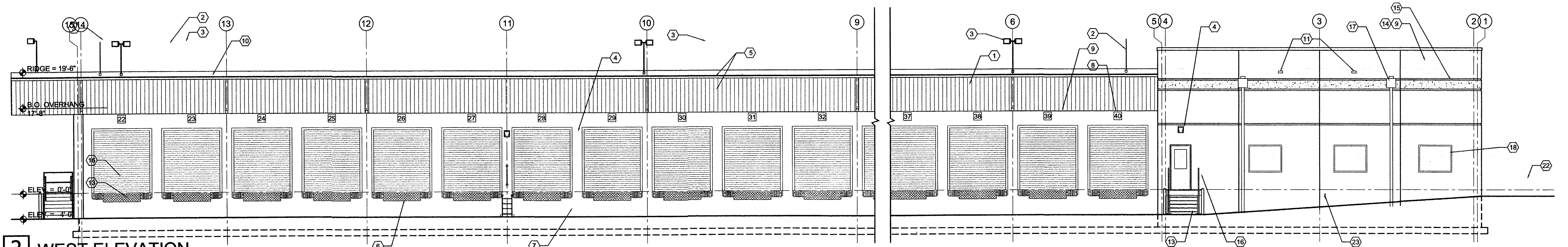
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A2.4



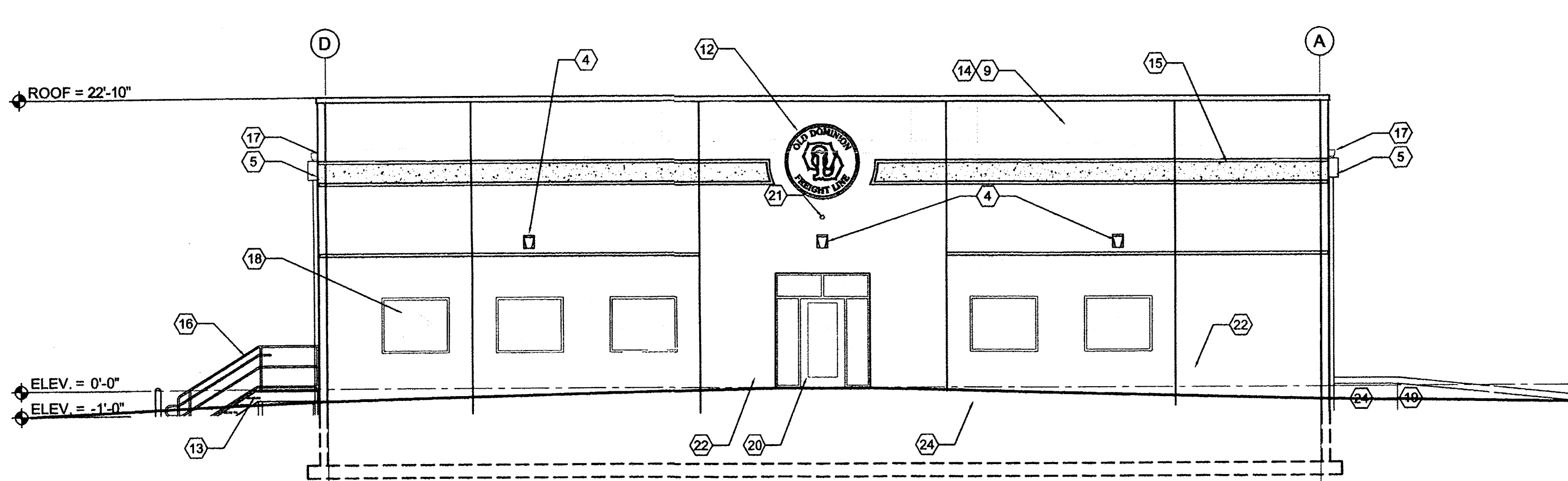
1 EAST ELEVATION

SCALE - 1/16" = 1'-0"
24x36 - 1/8" = 1'-0"



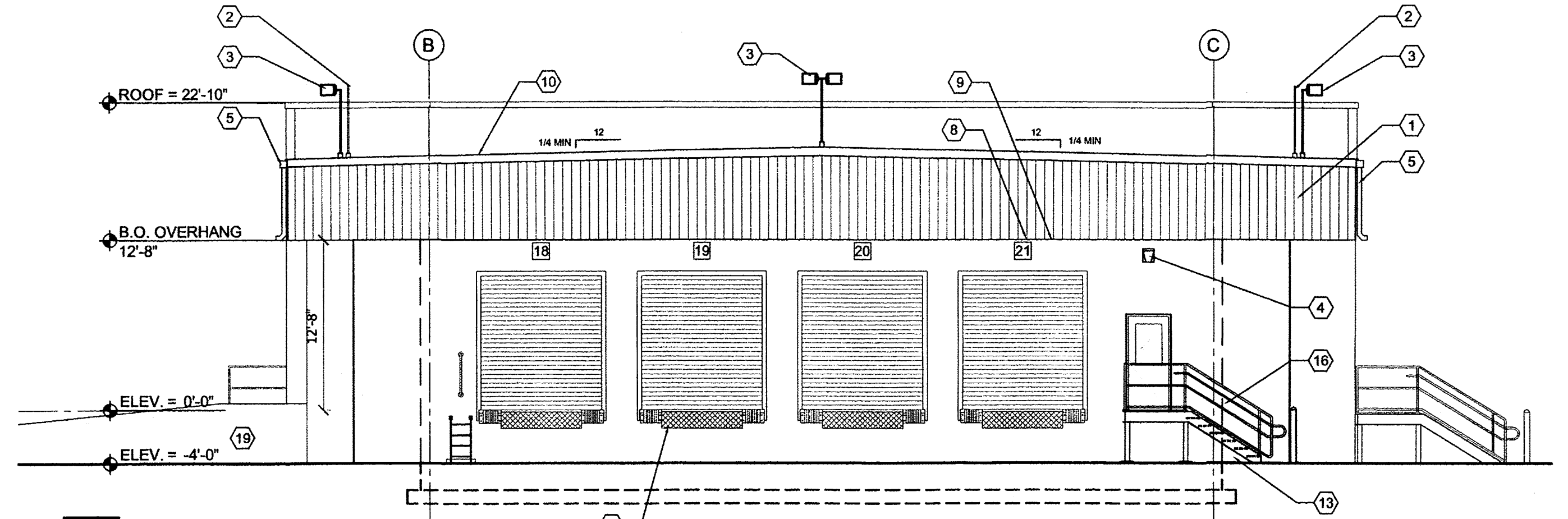
2 WEST ELEVATION

SCALE - 1/16" = 1'-0"
24x36 - 1/8" = 1'-0"



3 NORTH ELEVATION

SCALE - 1/16" = 1'-0"
24x36 - 3/32" = 1'-0"

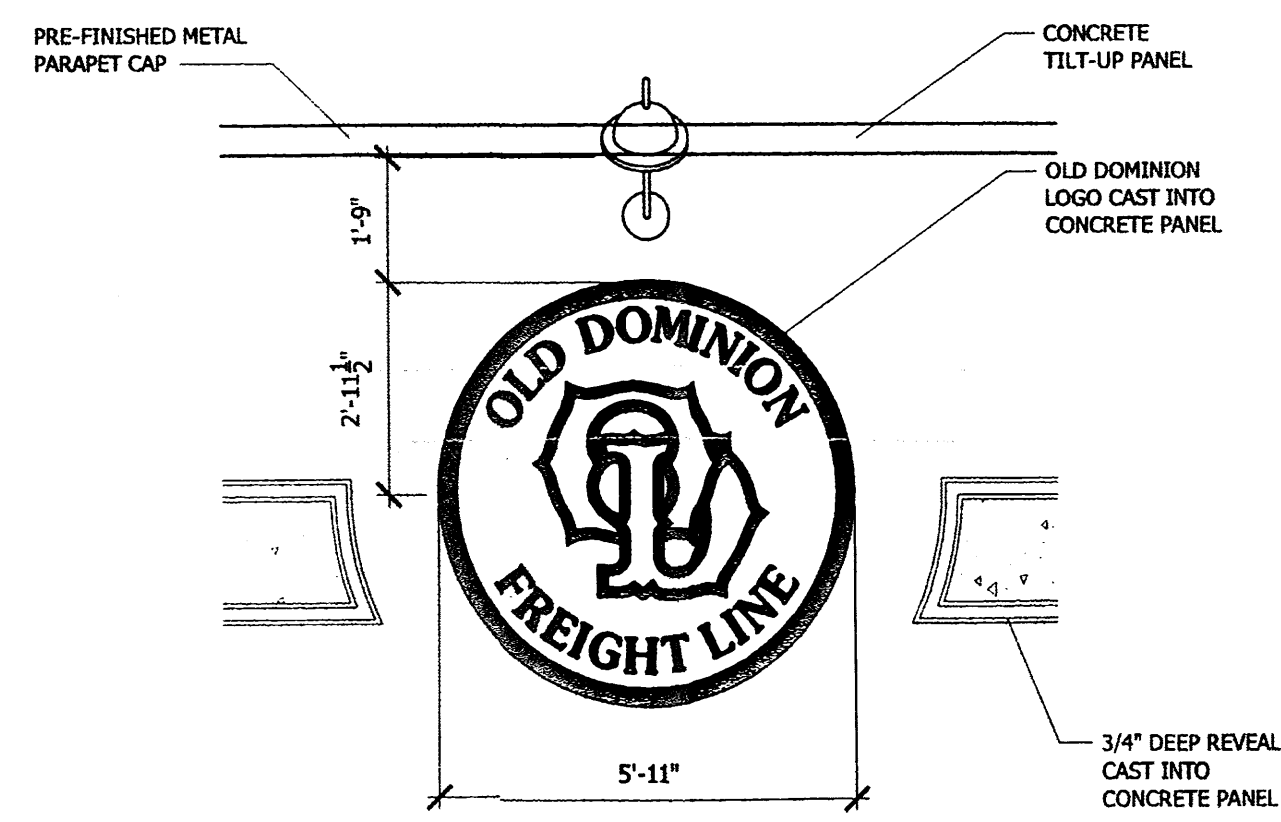
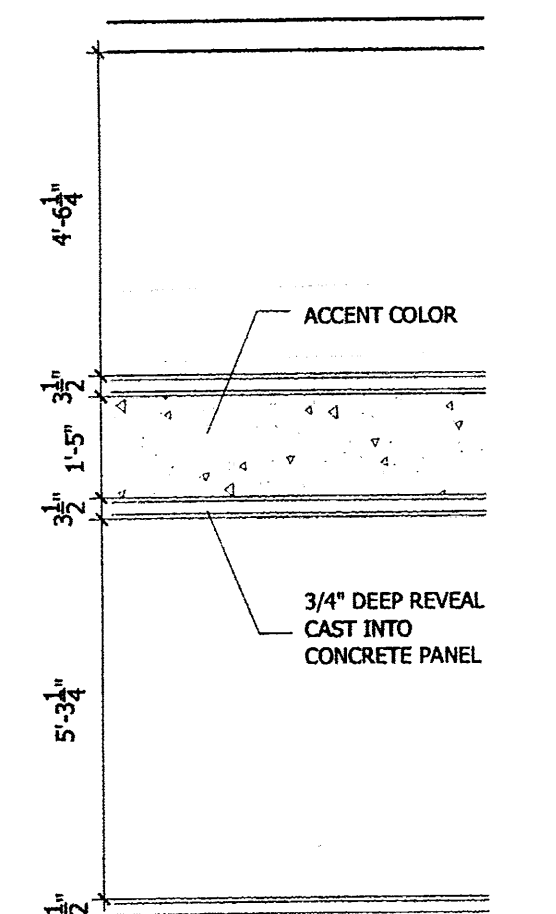


4 SOUTH ELEVATION

SCALE - 1/16" = 1'-0"
24x36 - 3/32" = 1'-0"

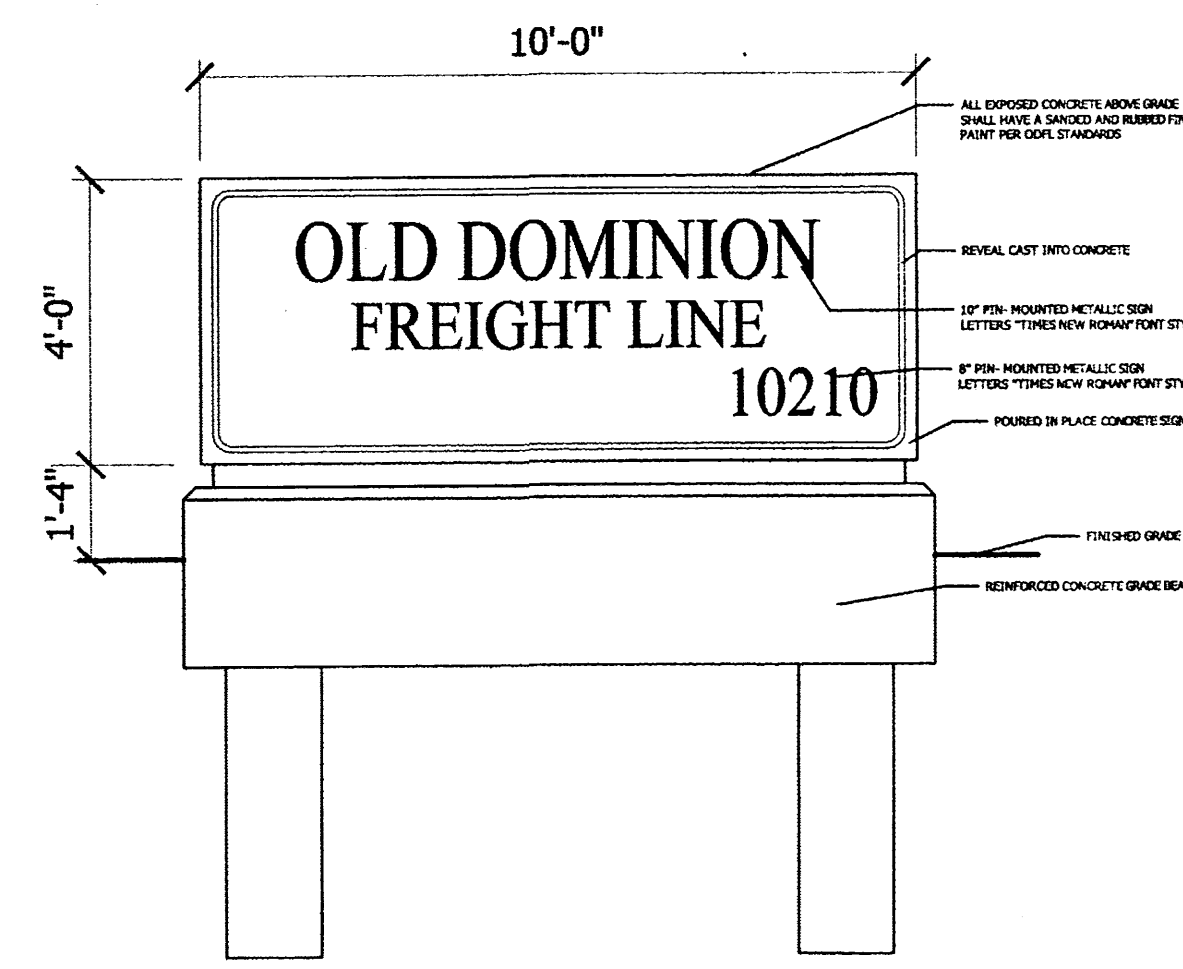
5 REVEAL DETAIL

SCALE - 1/16" = 1'-0"
24x36 - 3/8" = 1'-0"



6 LOGO

SCALE - 1/16" = 1'-0"
24x36 - 3/8" = 1'-0"



7 MONUMENT SIGN

SCALE - 1/16" = 1'-0"
24x36 - 3/8" = 1'-0"

GENERAL NOTES

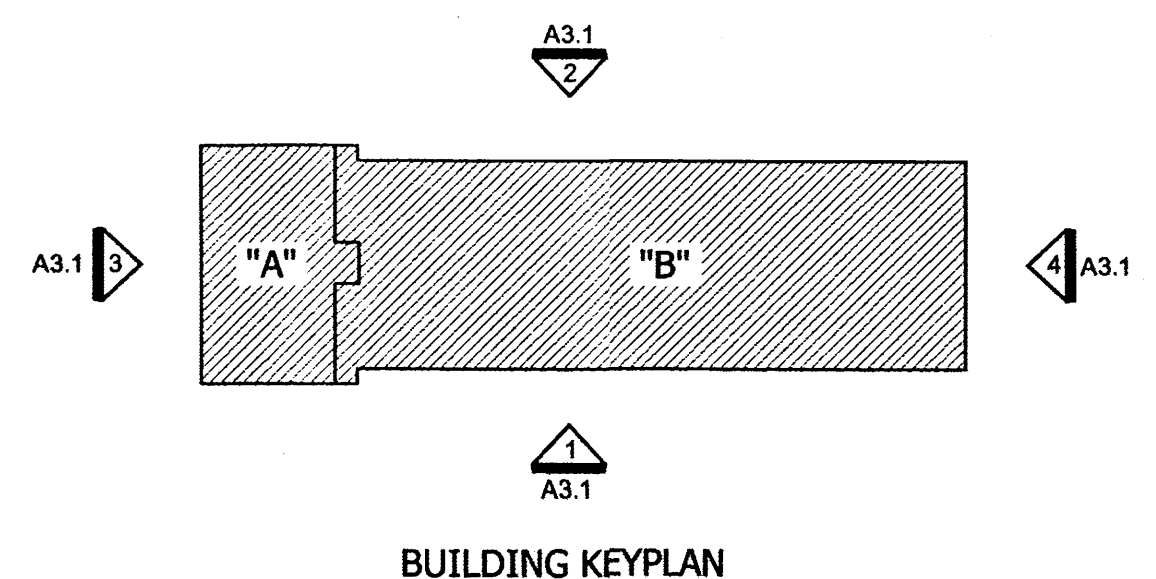
PANEL JOINTS MAY VARY FROM SHOWN

KEY NOTES

- 1 PRE-FINISHED METAL FASCIA
- 2 DISPATCH ANTENNA. SEE ROOF PLAN.
- 3 POLE MOUNTED LIGHT FIXTURE. SEE DETAIL 7/18.2
- 4 EXTERIOR WALL-PACK LIGHT FIXTURE (SEE ELECT. DWGS. FOR TYPE). MOUNT BOTTOM OF FIXTURE 11'-0" A.F.F.
- 5 CONTINUOUS GUTTER AND DOWNSPOUTS
- 6 EDGE OF DOCK LEVELERS WITH BUMPERS - DLM EDD 3011WB 72" NEVER LIFT
- 7 DOCK LADDER AND GRAB BAR (GALVANIZED STEEL) FOR ADDITIONAL FRAMING REQUIREMENTS. SEE DETAILS 9 & 10/18.2
- 8 DOCK NUMBER SIGN SEE DETAIL 7/18.1
- 9 CONCRETE TILT-WALL PANEL WITH ARCHITECTURAL FINISH AT EXTERIOR. SEE FINISH SCHEDULE FOR PAINT COLOR. CAULK INTERIOR AND EXTERIOR OF PANEL JOINTS. TYP.
- 10 TPO MEMBRANE ROOF. SLOPE 1/4" PER FOOT, MINIMUM.
- 11 ROOF OVERFLOW DRAIN - 1/2" DIA HEIGHT NOT TO EXCEED 2" ABOVE LOW POINT OF ROOF
- 12 BUILDING SIGNAGE CAST INTO CONCRETE TILT-WALL PANEL. SEE DETAIL THIS PAGE
- 13 GALVANIZED STEEL STAIR. SEE DETAILS ON SHEET AS.2
- 14 CONCRETE TILT-WALL. EXTEND PANEL 4'-0" ABOVE FINISHED ROOF RIDGE TO CREATE PARAPET WALL
- 15 REVEAL IN TILT-WALL PANEL. PAINT INSIDE OF REVEAL. SEE FINISH SCHEDULE FOR TILT WALL ACCENT COLOR.
- 16 GALVANIZED HANDRAILS. SEE DETAIL SHEET AS.2
- 17 SCUPPER BOX AND DOWNSPOUT
- 18 ALUMINUM STOREFRONT WINDOW. SEE WINDOW SCHEDULE.
- 19 CONCRETE LOADING RAMP. SEE DETAIL SHEET AS.2
- 20 ALUMINUM STOREFRONT ENTRANCE. SEE WINDOW SCHEDULE.
- 21 ENTRY LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 22 PAINTED METAL RAILING
- 23 HOSE BIB. SEE PLUMBING
- 24 CONCRETE WALKWAY
- 25 BUTTRISS PANEL. SEE CIVIL

EXTERIOR WALLS
CONCRETE TILT OR PRECAST-WALL PANELS - TEX-COTE XL70, COLOR TO BE ICI "CANVAS CLOTH 40YY 65/061"
ACCENT COLOR TO BE ICI "BURMESE BEIGE 40YY 51/084"

EXTERIOR METAL
OFFICE PARAPET COPING - DARK BRONZE TO MATCH STOREFRONT
OFFICE SCUPPERS AND DOWNSPOUTS - DARK BRONZE TO MATCH STOREFRONT
TERMINAL COPING AND FASCIA - WHITE
TERMINAL SCUPPERS AND DOWNSPOUT - WHITE



BUILDING KEYPLAN



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90% Completion: 12-17-12

ODFL Albuquerque, NM - ABQ

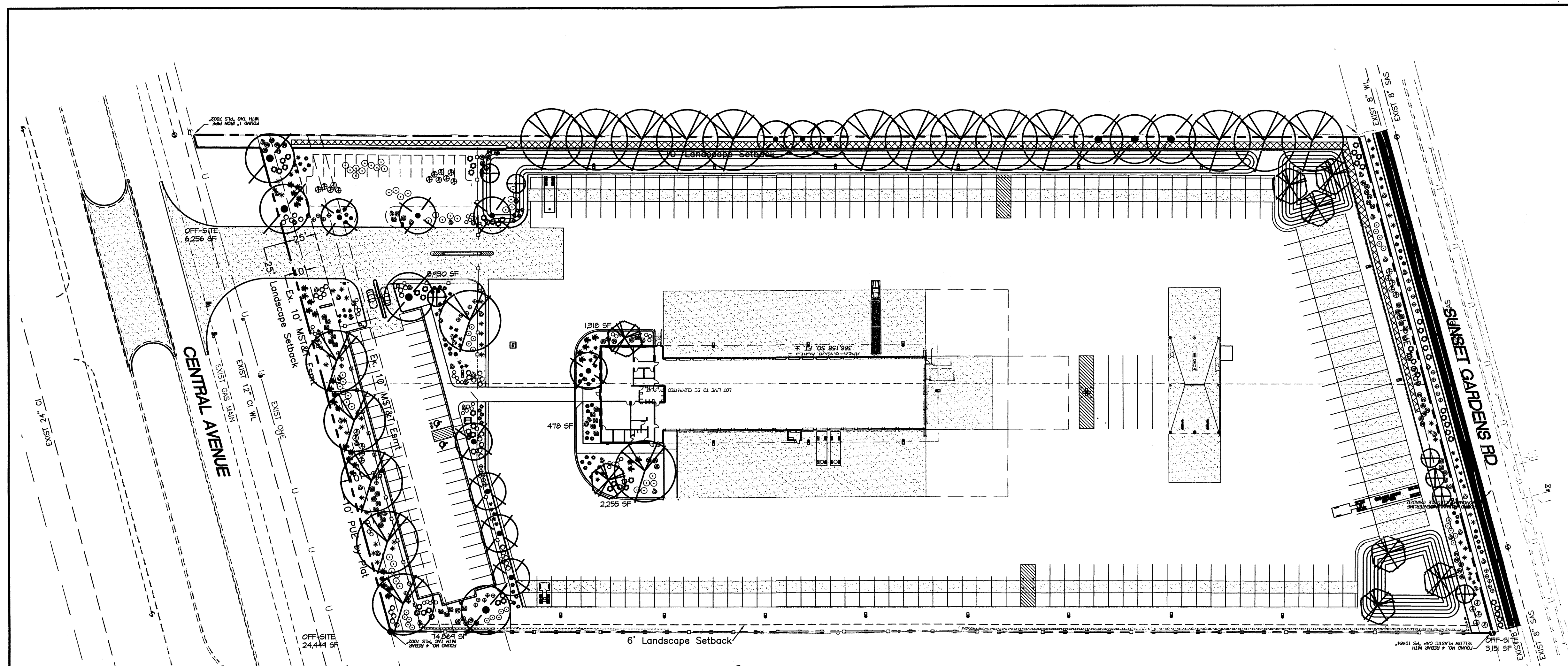
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Sheet Name:
Building Elevations

Sheet Number:

A3.1



PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
8	⊗	CHILOPSIS LINEARIS DESERT WILLOW	24" BOX	10' HT. X 6' SPR. 20' HT. X 25' SPR.	LOW +
7	⊕	FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL.	8' HT. X 5' SPR. 15' HT. X 15' SPR.	MEDIUM
20	⊗	PISTACHIA CHINENSIS CHINESE PISTACHE	3" B4B	14' HT. X 6' SPR. 50' HT. X 50' SPR.	MEDIUM
7	⊗	FRAXINUS VELLUTINA 'MODESTO' MODESTO ASH	25" B4B	14' HT. X 6' SPR. 40' HT. X 40' SPR.	MEDIUM +
11	⊗	ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B4B	16' HT. X 6' SPR. 40' HT. X 30' SPR.	MEDIUM

SHRUBS/GROUNDCOVERS

42	⊙	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	1-GAL.	5" O.C. 4' HT. X 5' SPR.	LOW
34	⊗	CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4" O.C. 4' HT. X 4' SPR.	LOW
27	⊕	FALLUGIA PARADOXA AFACHE FLUME	5-GAL.	5" O.C. 4' HT. X 5' SPR.	LOW
41	*	HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	4" O.C. 3' HT. X 4' SPR.	MEDIUM
33	⊗	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER (FEMALE)	5-GAL.	5" O.C. 2' HT. X 5' SPR.	LOW +
34	⊙	LAVENDULA ANGSTIFOLIA ENGLISH LAVENDER	1-GAL.	3" O.C. 3' HT. X 3' SPR.	MEDIUM
41	⊗	PEROVSKIA A. 'LITTLE SPIRE' DWARF RUSSIAN SAGE	5-GAL.	4" O.C. 3' HT. X 4' SPR.	MEDIUM
47	⊙	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3" O.C. 2' HT. X 3' SPR.	LOW +
25	⊙	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	4" O.C. 4' HT. X 4' SPR.	LOW +
60	⊙	ROSMARINUS OFFICINALIS ROSEMARY	5-GAL.	5" O.C. 5' HT. X 5' SPR.	LOW +
44	⊕	SALVIA GREGGII CHERRY SAGE	5-GAL.	3" O.C. 3' HT. X 3' SPR.	MEDIUM

ORNAMENTAL GRASSES

57	*	CALAMAGROSTIS 'KARL FOERSTER' FEATHER REED GRASS	5-GAL.	3" O.C. 3' HT. X 3' SPR.	LOW +
65	*	MULHBERGIA CAP. 'REGAL MIST' MUHLY GRASS	5-GAL.	3" O.C. 3' HT. X 3' SPR.	MEDIUM

SEED, MULCHES, & BOULDERS

30,705 SF	⊞	NATIVE RE-VEGETATIVE SEED MIX
40,925 SF	⊞	2"-4" BUILDOLGY BROWN COBBLE MULCH (6" DEPTH OVER DEWITT PRO-5 NEED CONTROL FABRIC)
45,076 SF	⊞	3" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DEWITT PRO-5 NEED CONTROL FABRIC)
52	⊞	MOSS ROCK BOULDERS (3'X3' MINIMUM)

GENERAL LANDSCAPE NOTES

IRRIGATION SYSTEM
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2.6PH EMITTERS WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1.6PH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

MAINTENANCE RESPONSIBILITY
MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

WATER CONSERVATION ORDINANCE COMPLIANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE COVERAGE

PLANTING BEDS SHALL HAVE 75% LIVING GROUNDCOVER AT FULL MATURITY.

LANDSCAPE CALCULATIONS

SITE AREA: (8.41 AC)	366,550 SF
BUILDING FOOTPRINT:	- 16,413 SF
NET LOT AREA:	349,745 SF
IMPERVIOUS AREA:	264,724 SF
REQUIRED LANDSCAPE (15%):	52,461 SF
PROVIDED LANDSCAPE:	
ON-SITE LANDSCAPE	(24%) 82,850 SF
OFF-SITE LANDSCAPE	33,856 SF
TOTAL LANDSCAPE PROVIDED:	116,706 SF
PROVIDED ON-SITE LANDSCAPE:	82,850 SF
(LESS UNPLANTED FUTURE PARKING LOT, DRAINAGE, & COBBLE WATER HARVEST AREAS)	- 56,143 SF
TOTAL PROVIDED LANDSCAPE BEDS	26,657 SF
REQUIRED LIVE VEGETATIVE COVER (75%)	14,942 SF
PROVIDED LIVE VEGETATIVE COVER (57%)	15,184 SF

PARKING LOT TREES
OLD DOMINION IS PROVIDING 52 PARKING SPACES IN INITIAL DEVELOPMENT. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED:	5
PARKING LOT TREES PROVIDED:	6

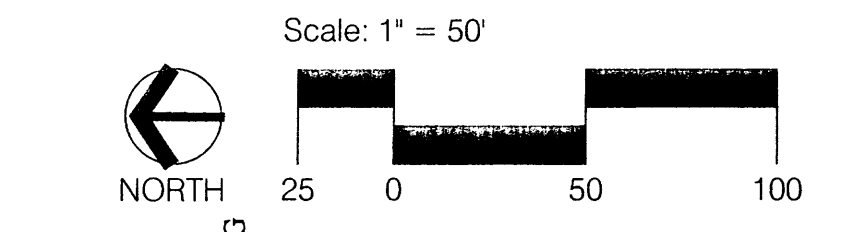
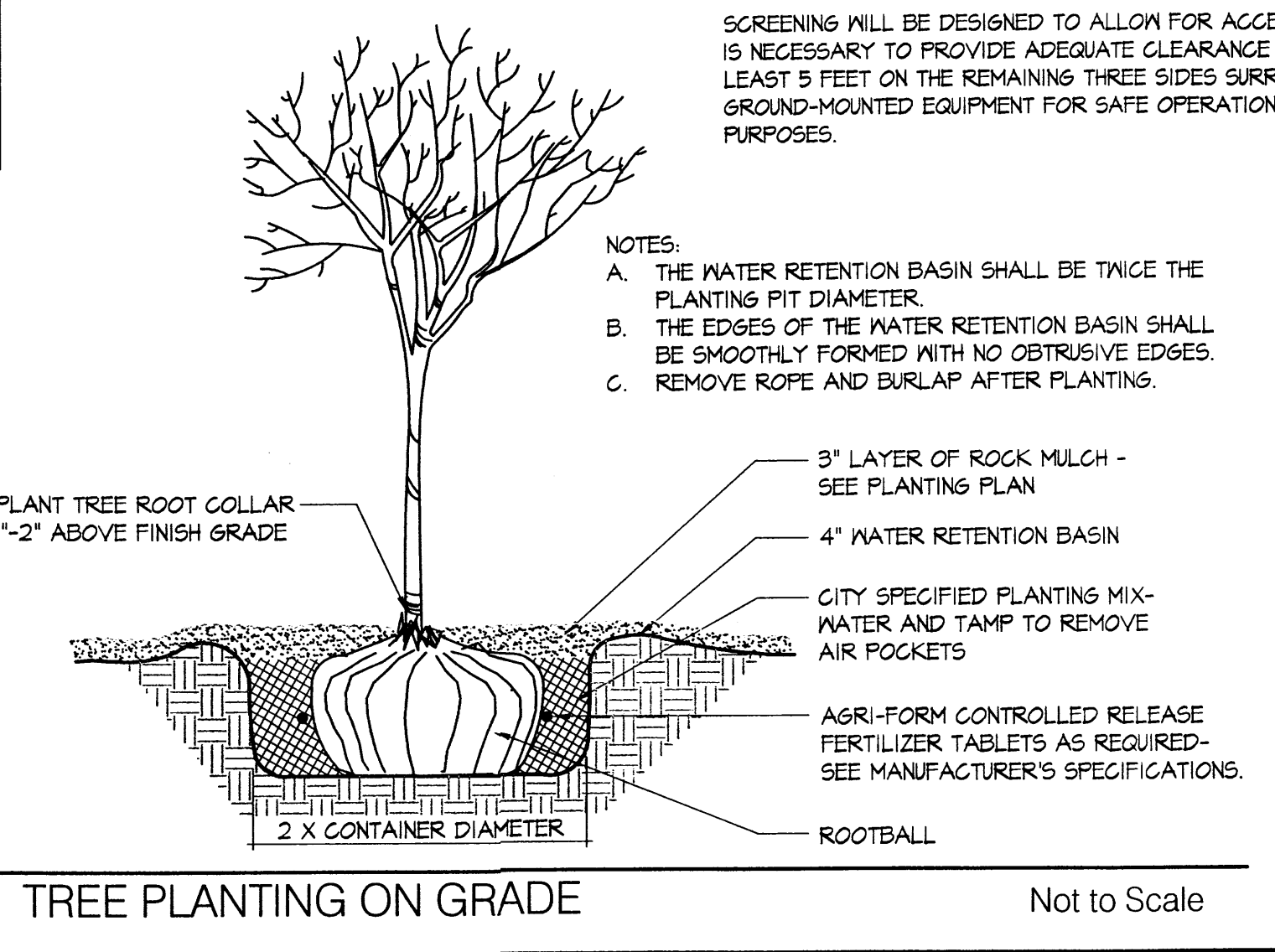
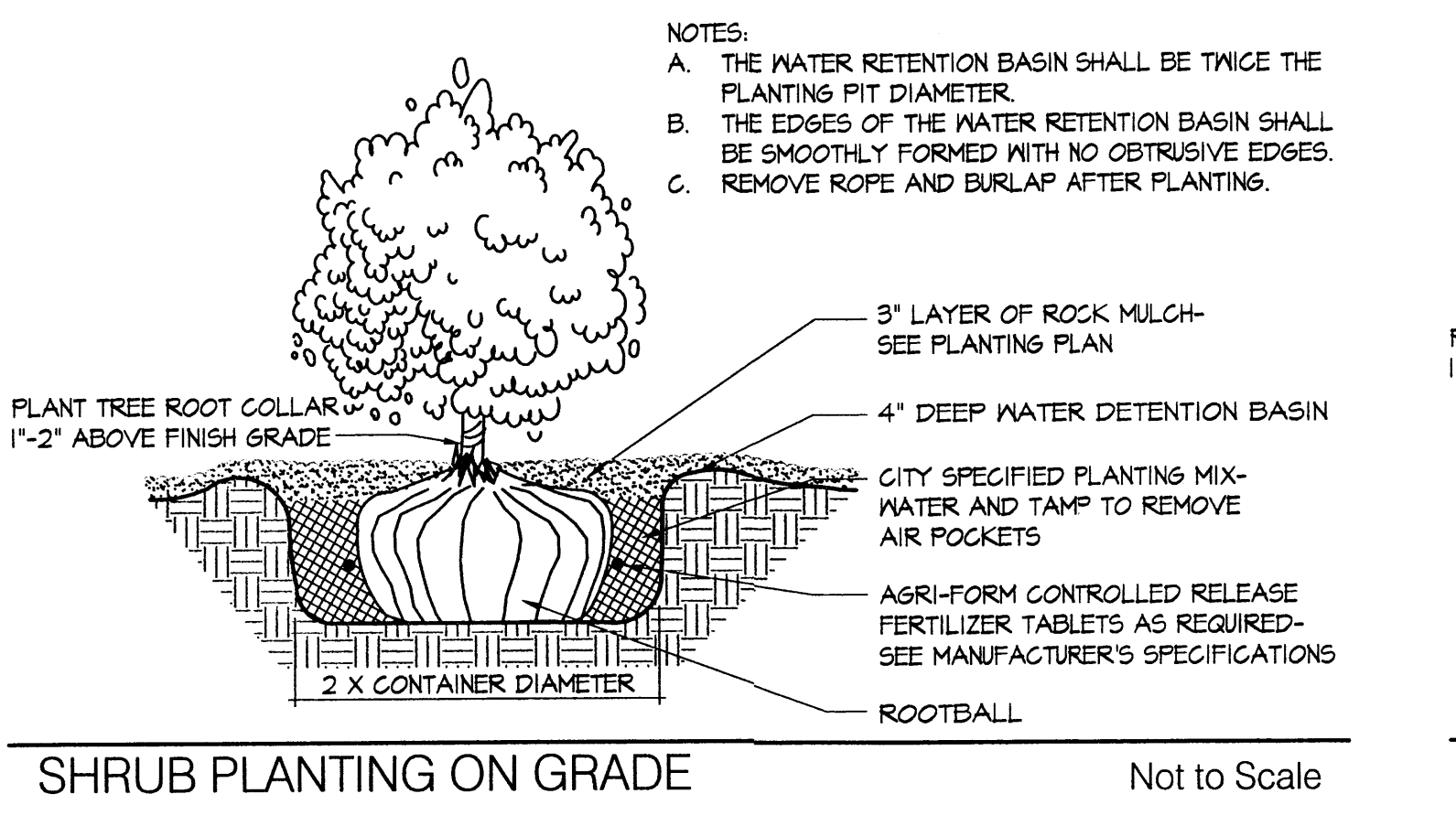
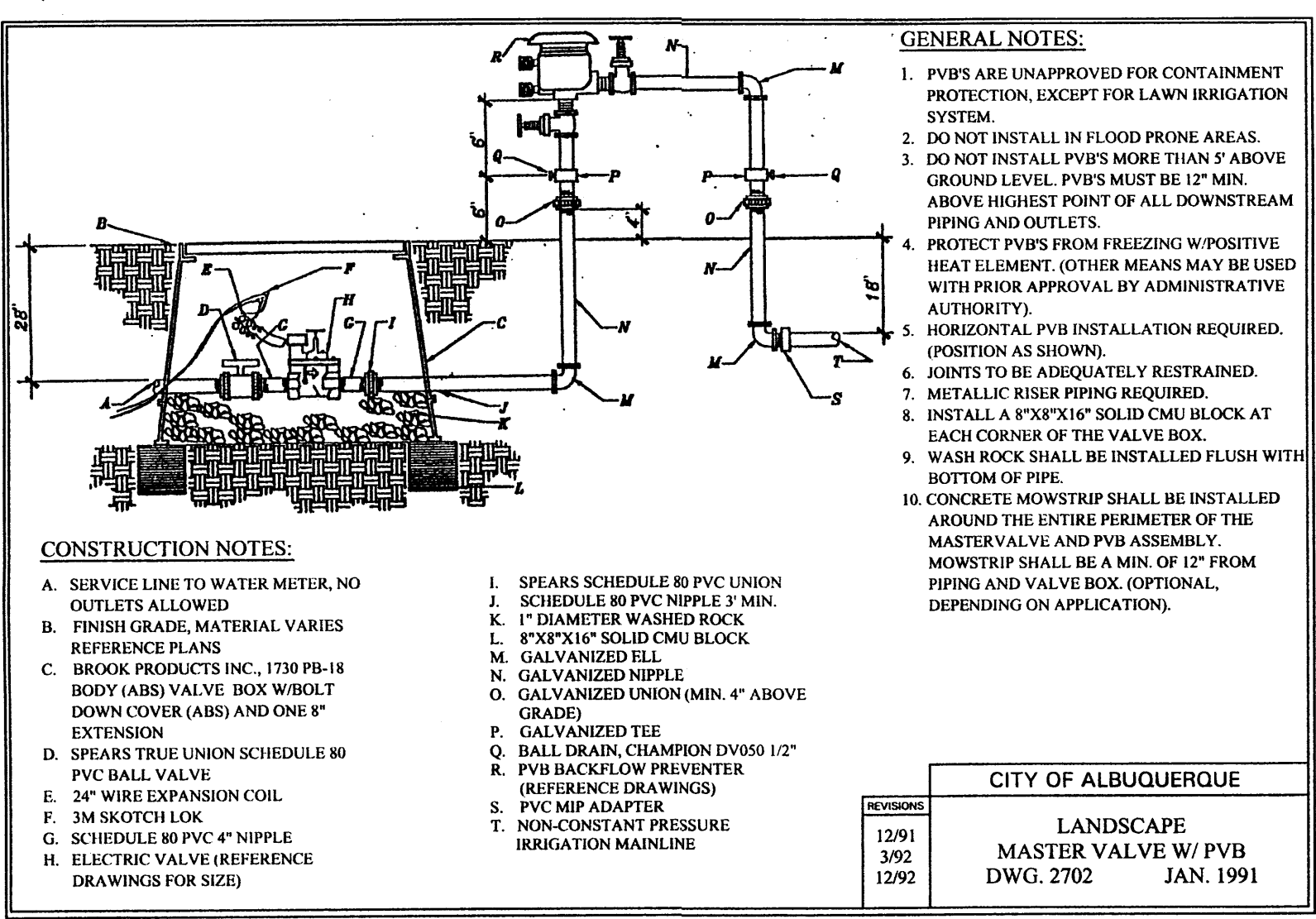
OLD DOMINION IS PROVIDING 66 PARKING SPACES AT FULL DEVELOPMENT. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING LOT TREES REQUIRED:	7
PARKING LOT TREES PROVIDED:	4

STREET TREES
CENTRAL AVENUE IS 346'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

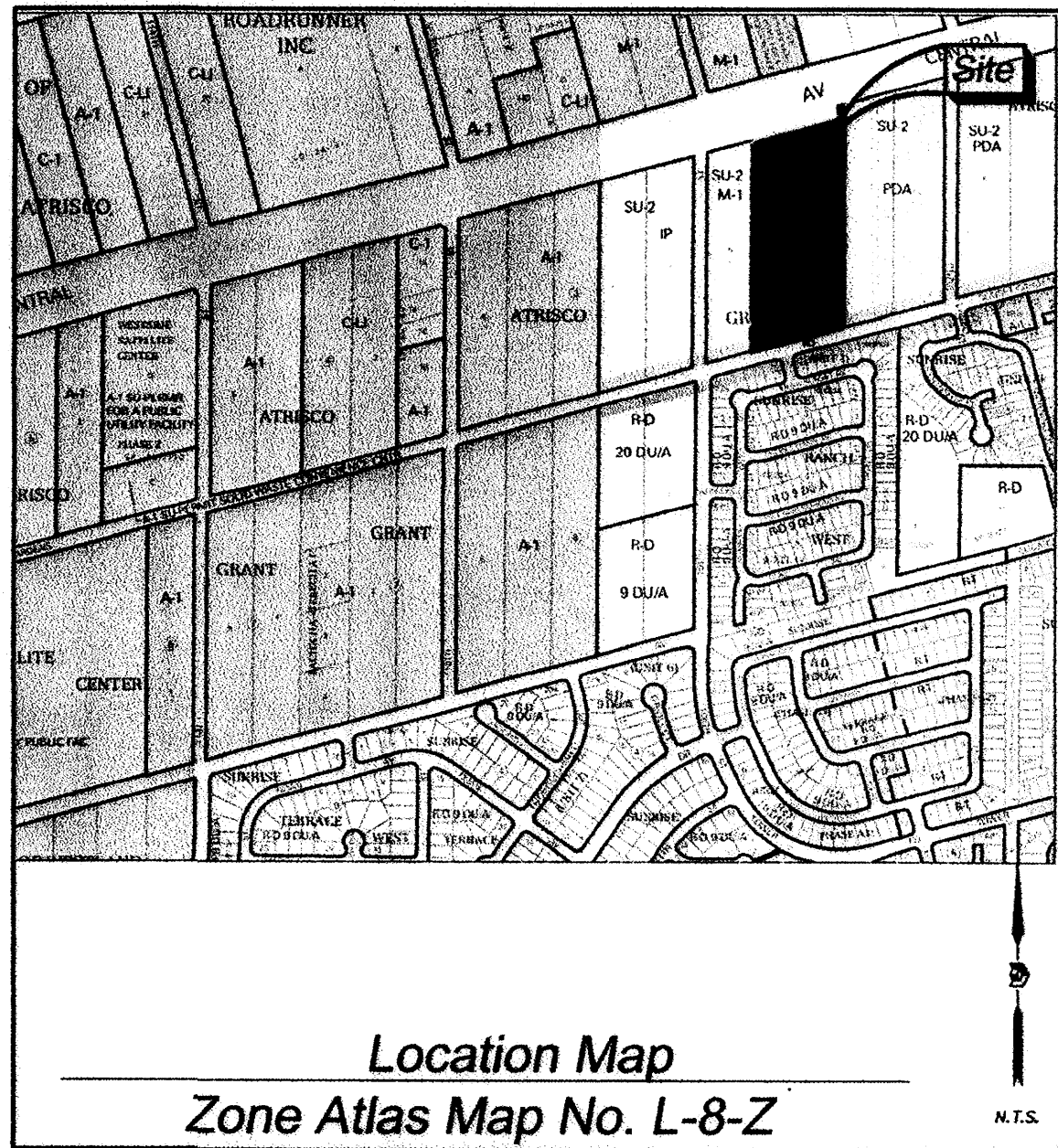
REQUIRED: 12 (30' CANOPY TREES) = 360' LF OF TREE CANOPY
PROVIDED: 7 (VARYING CANOPY TREES) = 360' LF OF TREE CANOPY (EXCLUDING A 30' ENTRY SIGNAGE SIGHT CORRIDOR)

SPECIAL BUFFER LANDSCAPING
THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSIST PRIMARILY OF TREES AND THE PLANTING QUANTITY IS EQUAL TO 75% OF THE MATURE CANOPY DIAMETER OF THE TREES.



CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

ENGINEER'S SEAL	OLD DOMINION ALBUQUERQUE, NM	DRAWN BY GS
	LANDSCAPE PLAN	DATE 12-18-12
		DRAWING NO 2012066-SPB
		SHEET # LS-2
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2012006
RONALD R. BOHANNAN P.E. #7868		



Location Map
Zone Atlas Map No. L-8-Z

Subdivision Data:

ZONING: SU-2 M-1
GROSS SUBDIVISION ACREAGE: 8.4058 ACRES±
ZONE ATLAS INDEX NO: L-8-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 1
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: SEPTEMBER 2012

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO ONE NEW TRACT, DEDICATE ADDITIONAL RIGHT OF WAY FOR CENTRAL AVENUE, AND TO GRANT EASEMENTS.

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

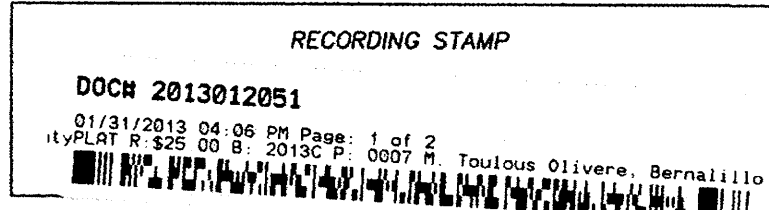
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDED ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDED NATURAL GAS SERVICES.
- C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.



Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 29, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED THREE (3) AND FOUR (4), IN BLOCK NUMBERED TWO (2), LANDS OF THE ATRISCO GRANT, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 26, 1962, IN BOOK D3, PAGE 26, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1983) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE NORTH RIGHT OF WAY LINE OF SUNSET GARDENS ROAD, S.W. MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 10464", FROM WHENCE A TIE TO ALBUQUERQUE GEODETIC REFERENCE SYSTEM MONUMENT "19_L9" BEARS S 49°28'38" E, A DISTANCE OF 2,860.79 FEET;

THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°16'59" E, A DISTANCE OF 902.33 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, S.W. MARKED BY A FOUND NO. 4 REBAR WITH TAG "PS 7002";

THENCE, ALONG SAID SOUTH RIGHT OF WAY LINE FOR THE NEXT 3 COURSES N 74°58'41" E, A DISTANCE OF 409.22 FEET TO AN ANGLE POINT OF DESCRIBED TRACT;

THENCE, N 00°19'10" E, A DISTANCE OF 51.83 FEET TO AN ANGLE POINT OF DESCRIBED TRACT;

THENCE, N 74°59'39" E, A DISTANCE OF 10.78 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND 1" IRON PIPE WITH TAG "PS 7002";

THENCE, LEAVING SAID SOUTH RIGHT OF WAY LINE S 00°16'55" W, A DISTANCE OF 954.34 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE, S 75°00'15" W, A DISTANCE OF 420.00 FEET TO THE POINT OF BEGINNING CONTAINING 8.4058 ACRES (366,158 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT A, OLD DOMINION FREIGHT LINE INC.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

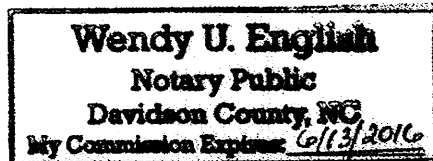
SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Terry Hutchins 11-5-12
TERRY HUTCHINS
VICE PRESIDENT, REAL ESTATE
OLD DOMINION FREIGHT LINE INC.

Acknowledgment

STATE OF NORTH CAROLINA) SS
COUNTY OF DAVIDSON)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF November 2012 BY TERRY HUTCHINS, VICE PRESIDENT, REAL ESTATE, OLD DOMINION FREIGHT LINE INC.



BY *Wendy U. English* MY COMMISSION EXPIRES: 6/13/2016
NOTARY PUBLIC

Plat of
Tract A
**Old Dominion
Freight Line Inc.**
Albuquerque, Bernalillo County, New Mexico
October 2012

Project No. 1009463

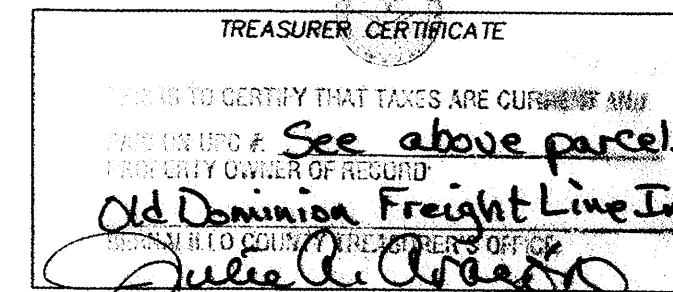
Application No. 12DRB- 70389/70390/70391

Utility Approvals

Lernardo Vigil 1-30-2013
DATE
DA 1-15-2013
DATE
NEW MEXICO GAS COMPANY
Michelle Ochs 1-15-13
DATE
QWEST CORPORATION D/B/A CENTURYLINK QC
Andrew White 1/16/13
DATE
COMCAST

City Approvals

W.B. Hart 11-8-12
DATE
CITY SURVEYOR
Jim 01/16/13
DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT
Alan Poston 01/16/13
DATE
A.B.C.W.U.A.
Carol S. Dumont 1-16-13
DATE
PARKS AND RECREATION DEPARTMENT
Curtis A. Chene 1-16-13
DATE
AMAFCA
Curtis A. Chene 1-16-13
DATE
CITY ENGINEER
Richard J. Duda 1-30-13
DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 10/29/12
LARRY W. MEDRANO
N.M.P.S. No. 11993



OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

INDEXING INFORMATION FOR COUNTY CLERK
OWNER OLD DOMINION FREIGHT LINE INC.
SECTION 29, TOWNSHIP 10 N., RANGE 2 E.
SUBDIVISION OLD DOMINION FREIGHT LINE INC.

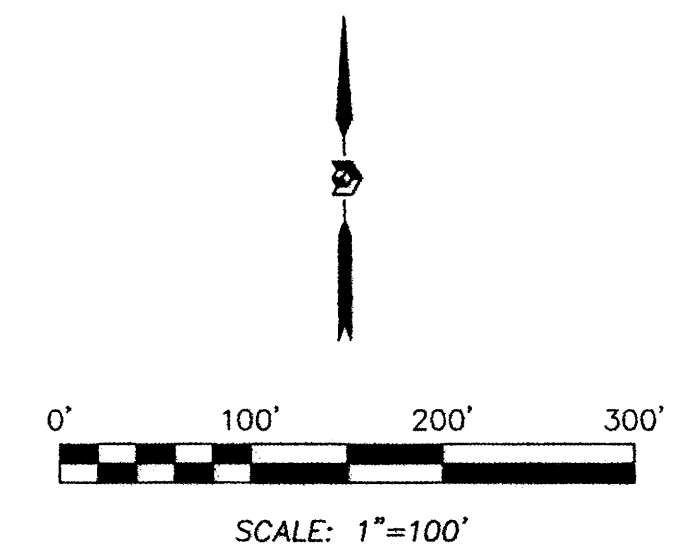
Legend

- N 90°00'00" E MEASURED BEARING AND DISTANCES**
 (N 90°00'00" E) RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
 - DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
 - △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
 - ▲ FOUND ALUMINUM CENTERLINE MONUMENT AS DESIGNATED

RECORDING STAMP

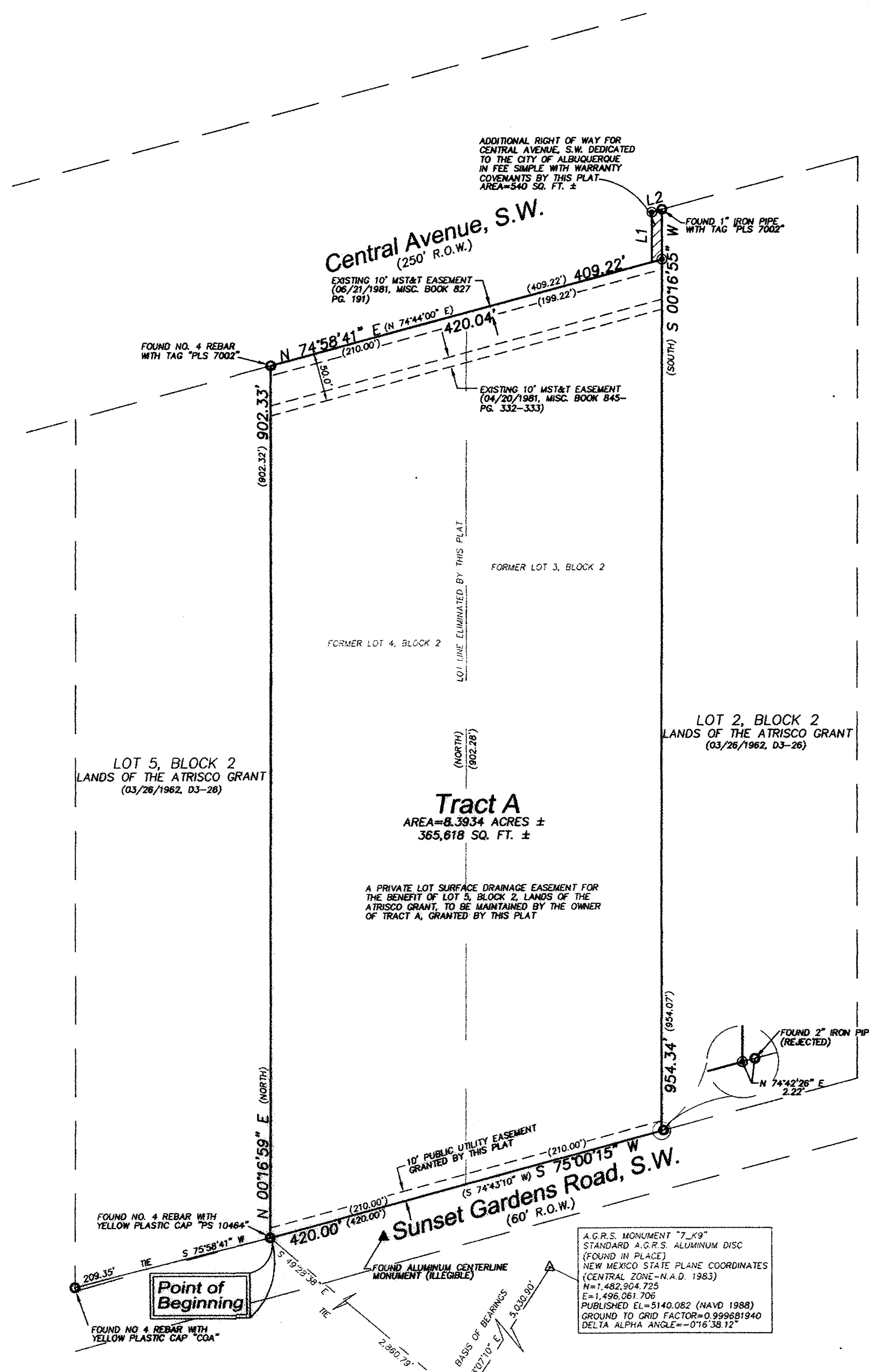
DOCN 2013012051
 01/31/2013 04:06 PM Page: 2 of 2
 CityPLAT R: \$25.00 B: 2013C P: 0097 A: Toulouse Olivera, Bernalillo Cou

Plat of
 Tract A
**Old Dominion
 Freight Line Inc.**
 Albuquerque, Bernalillo County, New Mexico
 October 2012



Line Table

LINE	BEARING	DISTANCE
L1	N 00°19'10" E (N 00°01'20" E)	51.83' (51.83')
L2	N 74°59'39" E (N 74°42'40" E)	10.78' (10.78')



A.G.R.S. MONUMENT "19_L9"
 STANDARD A.G.R.S. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,478,692.531
 E=1,493,313.739
 PUBLISHED EL=5180.775 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999680917
 DELTA ALPHA ANGLE=-0°16'56.68"

A.G.R.S. MONUMENT "7_K9"
 STANDARD A.G.R.S. ALUMINUM DISC
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,482,904.725
 E=1,496,061.706
 PUBLISHED EL=5140.082 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999681940
 DELTA ALPHA ANGLE=-0°16'38.12"

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER OLD DOMINION FREIGHT LINE INC.
 SECTION 29, TOWNSHIP 10 N, RANGE 2 E,
 SUBDIVISION OLD DOMINION FREIGHT LINE INC.

**PRECISION
 SURVEYS, INC.**

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX