

GENERAL NOTES

A. APPLICABLE PLANS: REFER TO DESIGN STANDARDS, SHEET 3 OF 3 PROJECT DESIGN STANDARDS, THIS PACKAGE.

KEYED NOTES

1. EXISTING PROPERTY LINE
2. PRIMARY DEVELOPMENT SIGN FOR CASA GRANDE, EXISTING SIGN TO REMAIN AT EL VADO
3. RIGHT-IN / RIGHT-OUT / LEFT-IN / LEFT-OUT ACCESS
4. RIGHT-IN / LEFT-IN ACCESS
5. EXISTING BICYCLE / PEDESTRIAN ACCESS ONLY
6. EXISTING EL VADO MOTEL
7. PROPOSED NEW BUILDING APPROXIMATE LOCATION

SITE DATA

LEGAL DESCRIPTION:
TRACT A-1 1.321 ACRES, TRACT A2 .893 ACRES, TRACT A3 .584 ACRES. TOTAL SITE 1.437 CASA GRANDE, 1.321 ACRES EL VADO

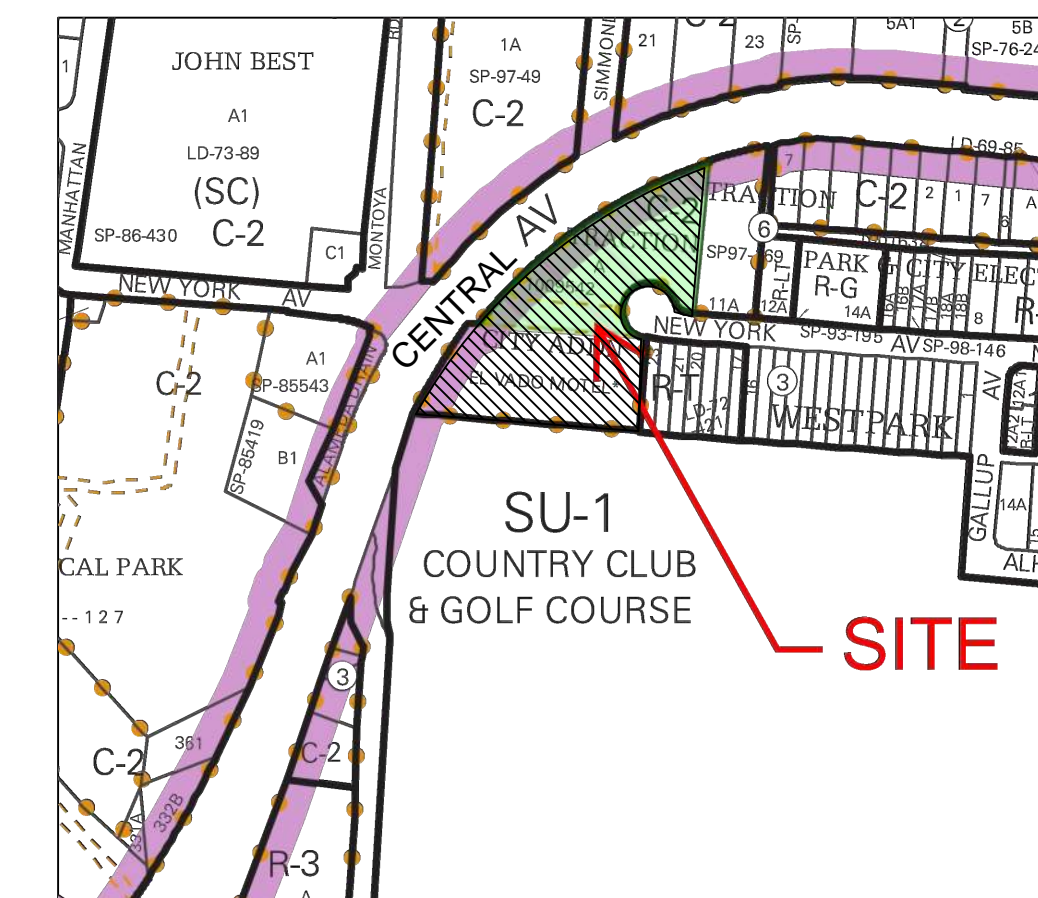
ZONE:
REQUESTING ZONE CHANGE FROM C-2 TO SU-1 FOR C-2 USES

MAXIMUM BUILDING HEIGHT: SEE DESIGN STANDARDS
BUILDING SETBACKS: SEE DESIGN STANDARDS
PROPOSED USES: COMMERCIAL, RETAIL, LOCAL TAP ROOM AND APARTMENTS
MINIMUM FAR: 0.3
DWELLING UNITS PROPOSED FOR TRACTS A-1 AND A-2 = 30 DU TOTAL

SITE PLAN LEGEND

- PEDESTRIAN INGRESS / EGRESS
- BICYCLE INGRESS / EGRESS
- VEHICULAR INGRESS / EGRESS
- PROPERTY LINE EXISTING AS NOTED
- EXISTING EASEMENTS AS NOTED

LEGEND



VICINITY MAP
Zone Atlas Map J-12-Z nts

FORMER PROJECT NUMBER: _____

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION _____ DATE _____

ABCWUA _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

CITY ENGINEER _____ DATE _____

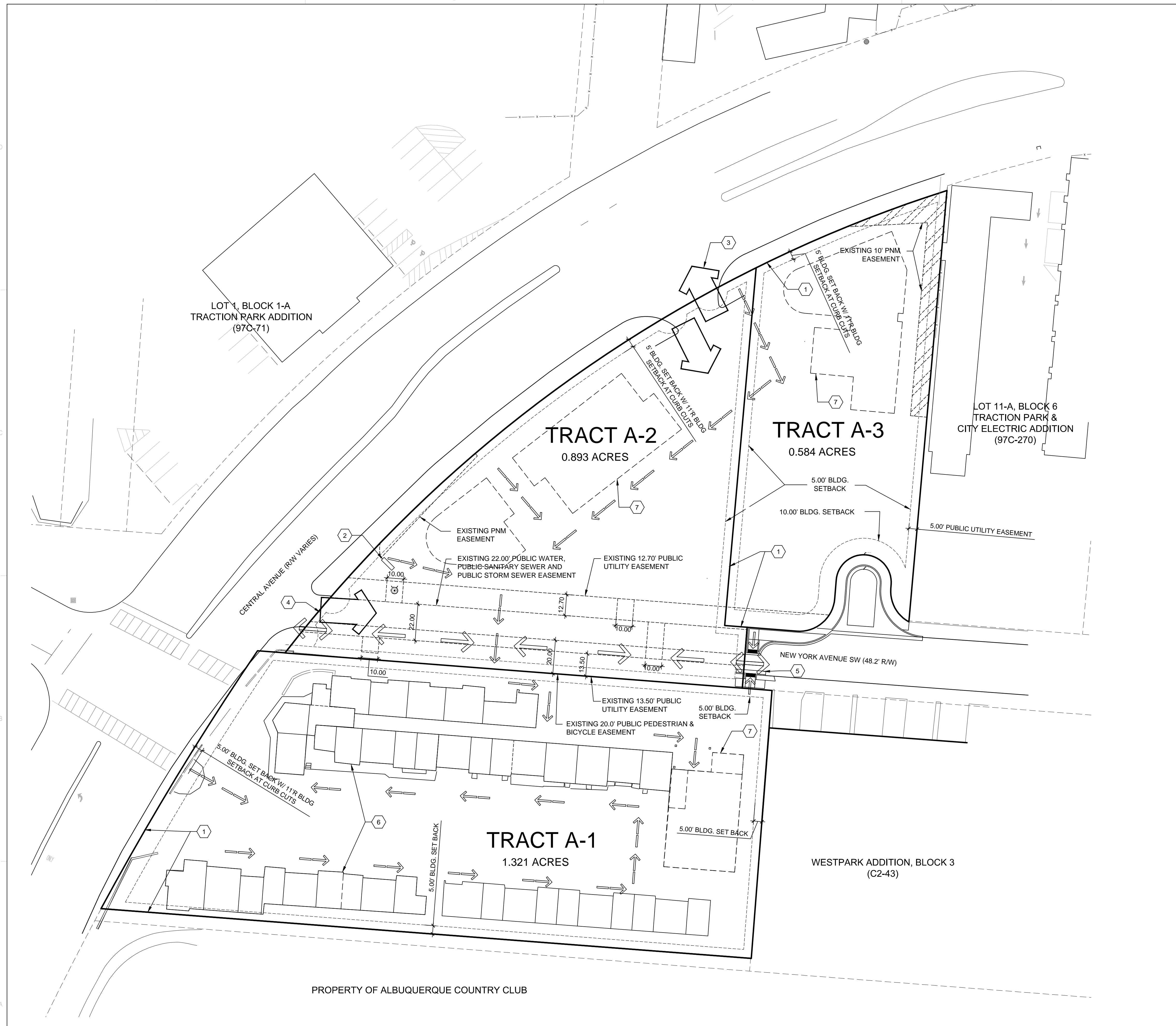
SOLID WASTE MANAGEMENT _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

REVISIONS

DRAWN BY	MJH
REVIEWED BY	RAW
DATE	12/30/2015
PROJECT NO.	15-0147
DRAWING NAME	

**SITE DEVELOPMENT
PLAN FOR
SUBDIVISION**



A1 SITE DEVELOPMENT PLAN
1" = 30'-0" 0 30 60' NORTH

NOTE:
FUTURE DEVELOPMENT ON THE SITE
WILL BE REVIEWED AND APPROVED
ADMINISTRATIVELY.

**DEKKER
PERICH
SABATINI**

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ALBUQUERQUE, NM 87109

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ARCHITECT

ENGINEER

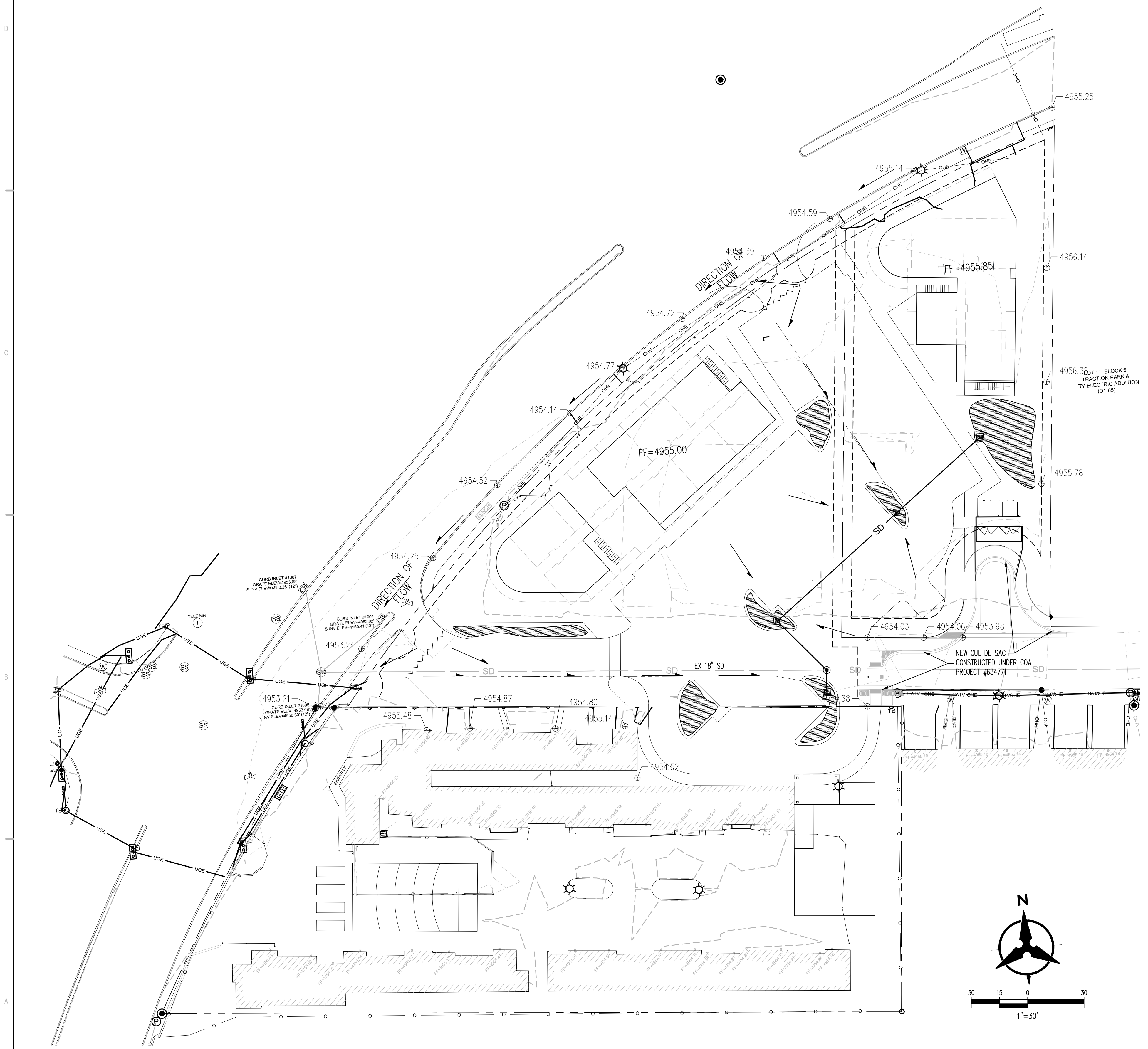
**DRB
SUBMITTAL
2/22/2016**

PROJECT

**2400 CENTRAL AVE. SW
CASA GRANDE AND EL VADO MOTEL
ALBUQUERQUE, NM**

EXISTING CONDITIONS:
THE APPROXIMATELY 2.8 ACRES OF THE ENTIRE DEVELOPMENT IS CURRENTLY FULLY DEVELOPED IT CONSISTS OF TWO COMPONENTS: THE EXISTING EL VADO SITE (SOUTHERN 1.32 ACRES) AND THE NEW CASA GRANDE TRACTS (NORTHERN 1.47 ACRES). THE CURRENT CONDITIONS OF THE SITE ARE EXTREMELY FLAT. BASED ON THE EXISTING SURVEY THERE ARE A NUMBER OF EXISTING INLETS LOCATED AT THE INTERSECTION OF CENTRAL AND NEW YORK AVE AS WELL AS TWO ADDITIONAL CURB INLETS LOCATED WITHIN NEW YORK AVE EAST OF THE SITE. THESE INLETS TIE TO AN EXISTING 18" RCP STORM DRAIN THAT RUNS DOWN NEW YORK AVE AND DRAINS TO THE EAST. BASED ON ASBLUT INFORMATION, CITY OF ALBUQUERQUE SYSTEM MAPS AND THE SITE'S DESIGN SURVEY, THE SITE APPEARS TO DRAIN ENTIRELY INTO THIS EXISTING PIPE BY EITHER THE EXISTING INLETS AT CENTRAL OR THE INLETS FURTHER DOWN STREAM WITHIN NEW YORK AVE. DURING LARGER STORM EVENTS, DRAINAGE APPEARS TO BE CONVEYED IN NEW YORK AVE. VIA SURFACE FLOW UNTIL IT HAS AN OPPORTUNITY TO DRAIN INTO FURTHER DOWN STREAM INLETS.

PROPOSED CONDITIONS:
THE DEVELOPED FLOWS FOR BOTH THE EL VADO SITE AND THE CASA GRANDE SITE WILL CONTINUE TO DRAIN TO THE EXISTING 18" STORM DRAIN. WATER HARVESTING AREAS WILL BE PLACED THROUGHOUT THE LANDSCAPING AREAS AND MEDIAN ISLANDS IN AN ATTEMPT TO MEET THE "FIRST FLUSH" REQUIREMENTS BY THE CITY. THE FLAT SLOPES AROUND THE SITE WILL REQUIRE ADDITIONAL INLETS AS NECESSARY. DUE TO THE EXISTING EL VADO SITE IS A REMODEL, SITE CONSTRAINTS WILL MAKE THE "FIRST FLUSH" REQUIREMENTS A CHALLENGE. CLOSE COORDINATION WITH THE ARCHITECT AND CITY WILL BE NECESSARY. THE DEVELOPED FLOWS FROM THE SITE WILL NOT ADVERSELY EFFECT THE DOWNSTREAM INFRASTRUCTURE AND WILL SAFELY PASS THE 100YR STORM EVENT.



LEGEND

	PROPERTY LINE (BASED ON LATEST PLATING EFFORT)		PROPOSED WATER HARVESTING AREAS (FIRST FLUSH REQUIREMENT)
	EXISTING CONTOURS		PROPOSED CURB & GUTTER
	PROPOSED SPOT ELEVATION TC=TOP OF CURB, FL=FLOW LINE TW=TOP OF WALL, BW=BOTTOM OF WALL EX=EXISTING, TG=TOP OF GRADE		EASEMENT/SETBACK
	PROPOSED DIRECTION OF FLOW		PROPOSED LIGHTING
	WATER BLOCK		PROPOSED STORM DRAIN LINE

REVISIONS

△	
△	
△	
△	

DRAWN BY

REVIEWED BY

DATE 12/30/2015

PROJECT NO. 15-0147

DRAWING NAME

**OVERALL
GRADING
PLAN**

SHEET NO.

SDPS-2.1

2 OF 3

El Vado Motel and Casa Grande Design Standards



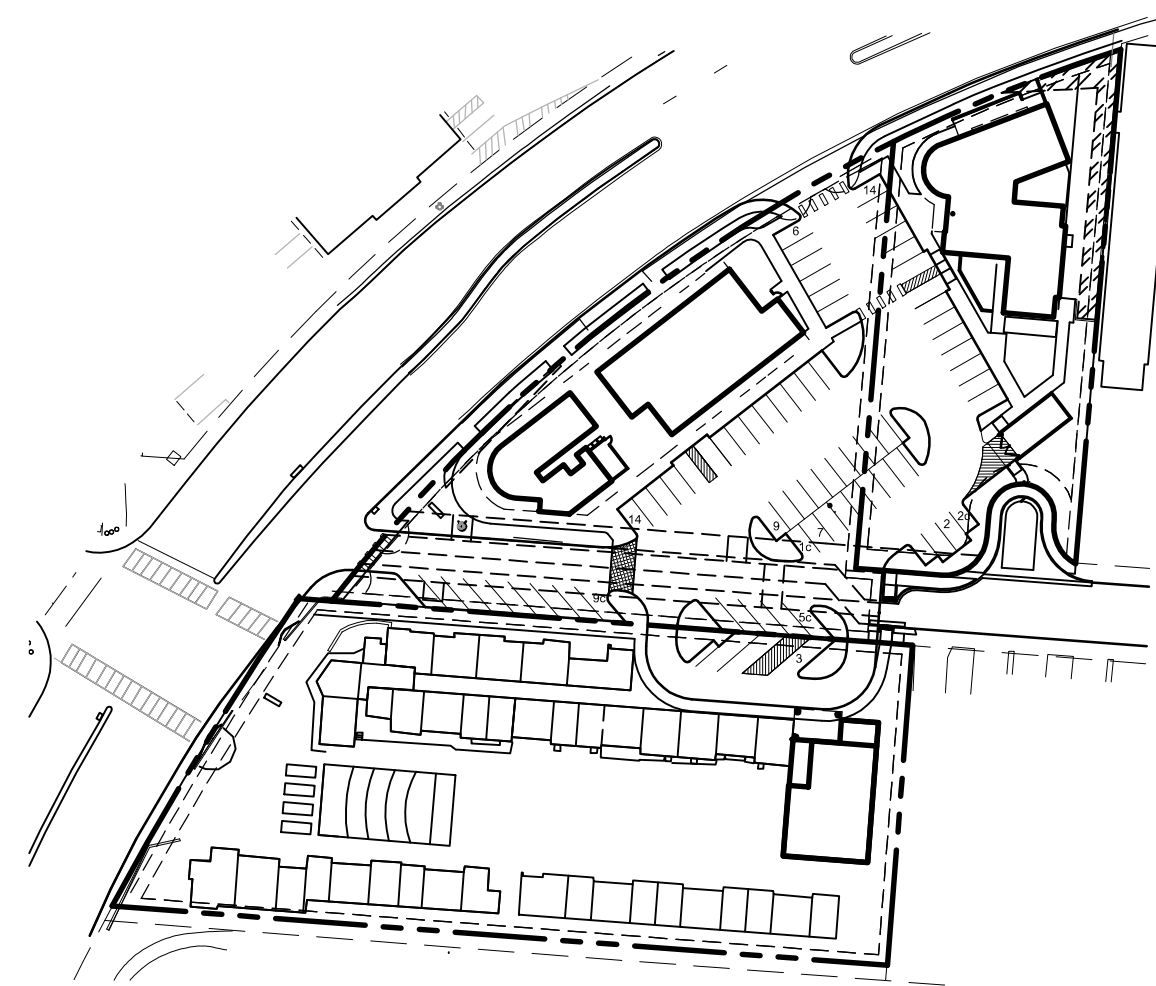
Overall Design Theme and Land use Concept:

The purpose of these design standards is to establish a development guideline for a mixed-use retail and multi-family community known as Casa Grande as shown on the site development plan for subdivision. These design standards are intended to provide guidance toward a unified and respectful relationship between the existing Historical El Vado Motel and the new Casa Grande mixed use development.

The overall theme of the project is to provide a "Spanish Pueblo Revival or Pueblo Revival" architectural style that complements the historic El Vado Motel, a pedestrian and bicycle friendly area to live/work/play and provide an enriching social and community hub. The development consists of affordable rental apartments, small retail and entrepreneurial shops, local taproom, event center, performance area and boutique lodge. It is intended to become a destination live, work, play area near bike trails, prime city amenities and historically significant areas.

Off-Street Parking:

- Commercial:** One space per 400 net leasable square feet of commercial space, motorcycle parking per off-street zoning regulation (14-16-3-1), bicycle parking as determined by the off-street regulation (14-16-3-1).
- Boutique Motel:** one vehicular parking space per two lodging units.
- Residential:** one vehicular parking space per dwelling unit, one bicycle parking space per two dwelling units.
- Required parking may be reduced 10% for proximity to public transportation and an additional 5% for a covered bus shelter, and may be further reduced 10% for mixed use shared parking per off-street zoning regulation (14-16-3-1). **Maximum reduction is 25% total.**



Landscape:

The landscape design will strive to engage the users by providing a welcoming environment for the residents and public. Through the use of xeric plants outdoor spaces shall have seasonal color, texture and scale, and compliment the architecture. Trees will be used to provide shade in pedestrian areas, highlight intersections and establish hierarchy of vehicular drives. Accent plants will be used to emphasize entries and provide sculptural interest. The remainder of the plant palette will be a mixture of shrubs, ornamental grasses and groundcovers. The landscape design will comply with the intent of the city of Albuquerque Water Conservation, Landscaping and Water Waste ordinance and 14-16-3-10 of the city of Albuquerque General Regulations.

Site Lighting:

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to both the daytime and nighttime appearance of the lighting design and fixtures. The primary design objective of the site lighting system shall be to maximize public safety while not affecting adjacent properties, buildings, or roadways with unnecessary glare or reflection. In order to accomplish the lighting goals, the following guidelines shall be required for the design of the lighting system:

- Placement of fixtures and standards shall conform to state and local safety and illumination standards.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".
- Fixtures shall comply with the City of Albuquerque's Dark Skies requirements.
- The height of street lights and parking area lights shall be kept to the minimum necessary to meet safety requirements.
- Individual site lighting standards shall blend with the architectural character of the buildings and other site fixtures.
- Perimeter parking: 25' high maximum pole with cutoff features provided that the lighting fixture does not directly shine on any residential premises.
- Site lighting poles shall be 16' high maximum pole height when within 100' of properties zoned residential
- Buildings and adjacent pedestrian areas: Building mounted fixtures, bollards.
- Site wall to comply with the Area Lighting Regulations, 14-16-3-9 of the Zoning Code

Placement of Mechanical Units

Care shall be made to hide the view of exposed mechanical units, riders, and other equipment from the ground directly adjacent to the building whenever possible, whether roof or pad mounted units are used.

- Ground level units shall be screened from public view through free-standing dense evergreen foliage or on "green walls".
- Roof mounted units shall be screened from public view through the use of parapet walls or roof screens that are architecturally coordinated with the building they serve.

Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and complements the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Zoning Code.
- Signs identifying the principal use of a building may be free-standing or wall-mounted.
- The design of the interior directional signs shall be coordinated with the design of the site signage.
- No illuminated plastic panel signs are allowed.
- All signs facing Central are to comply with CANDOZ. Neon or neon-like LED is required for all signs to be CANDOZ compliant

Permissive and Conditional Uses

Permissive and Conditional Uses shall be per the underlying C-2 zoning with the following exceptions:

- Drive-in Restaurants are not permitted



Screen Walls and Fences

- Site fencing will be limited to screening locations and low seat walls 30" maximum height where screening is not required. Site wall shall be stucco with rounded edges no less than 1" radius. Screen walls shall be designed to comply with section 14-16-3-19 in the Zoning Code to be harmonious with the development & adjacent properties.
- Patio walls shall reflect the same use of stucco finish to complement that of the buildings. Use of small openings or wood detailing may be used to articulate semi-private patios and balconies. Patio walls shall not exceed 5' unless provided with portal style gates or openings. Color shall be harmonious with the adjacent building.
- Refuse container walls will be stucco over CMU wall with rounded edges consistent in color and finish with the buildings. Enclosure gates will be perforated metal or woven metal mesh in a metal frame, painted with colors used on the buildings.

Trails and Sidewalks

Public and private walks provide important connectivity within the project as well as in and out of the site.

- All private trails and sidewalk shall be concrete, with a minimum of 6'-0" width and link all buildings on site. Sidewalks will be no less than 8'-0" width where adjacent to parking stalls.
- The use of asphalt walkways is prohibited. Concrete or compacted crusher fines with stabilizer are acceptable materials.
- All hard surface pedestrian paths shall be designed to be handicapped accessible, except where topography makes this unfeasible. Pedestrian crossings shall be clearly demarcated with contrasting paving treatment.
- A two-way bicycle lane will be clearly demarcated through the site connecting New York Ave. to Central Ave. within the existing bicycle and pedestrian easement. The bicycle lane will comply with the 2015 Bicycles and Trails Facilities Plan and chapter 7 of the CABQ Design Manual.

Public Open Space

An important design of this community is the inclusion of open spaces for resident recreation: opportunities for residents to meet their neighbors and visitors to the site. Common area amenities will be located on the street level. Residents and visitors will also access a shared bike and pedestrian trail connection to the greater Albuquerque trail system.

- Open space shall be provided for residential uses per the underlying C-2 zoning requirements.

Exterior Wall Materials and Colors

- Exterior design requirements specifically for the El Vado Motel will be in compliance with requirements as mandated by SHPO and LUCC.
- The exterior building style for new construction on the El Vado site as well as for Casa Grande, will reflect a "Spanish Pueblo Revival or Pueblo Revival" vernacular, and be respectful and complementary to the existing El Vado motel style and scale.
- Articulation of massing shall be composed of multiple volumetric forms that step back in plane, flat roofs with irregular parapet heights, thick walls with rounded corners no less than 1", and portal entries that frame and define the doorway or entry way.
- Other characteristics may include exposed beam ends (vigas), recessed window and door openings, and exposed timber lintels with carved corbels at posts.
- Entry portals provide shade and cover to the occupant and pedestrian, and enrich the building planes with changes in light and shadows at entry locations.
- Stucco wall finish system (or synthetic version) reinforces the vernacular architectural expression through rounded corners, irregular massing primarily through defined square or rectangular masses, parapets that are straight with curvilinear ends or steps, buttressed or battered walls, rectangular windows with square corners that align with door headers or lintels, and roof canales and downspouts consistent with the style.
- Retail spaces within the new construction may incorporate storefront glazing along the ground floor level. (Storefront glazing shall not be less than 20% and shall not exceed 50% of the overall ground floor walls.)
- Exterior wall color shall reflect a consistent overall palette of medium to dark browns, with some light gold or creams and gray earth tones to complement the existing "white" stucco of the El Vado.
- Color shall be used in conjunction with the grouping of the building's different masses and color changes shall occur only at inside corners or pilasters. Horizontal color changes shall occur only at massing articulations or change in material. Highly saturated color or highly contrasting hues should be used sparingly, as accents only.
- Balcony, patio and stair enclosures shall have solid stucco walls with small openings, and may have wood details consistent with the style.
- Reflective glass shall not be permitted.

Building Height

Mixed Use and Residential buildings shall be per R2 zoning requirements. Structure heights up to 26 feet permitted. Structure heights above 26 feet shall fall within 45 degree angle planes on all sides except the northern boundary which shall be a 60 degree angle plane.

Commercial building height shall not exceed heights permitted by the underlying C-2 zoning.

Building Setbacks

Building setbacks shall be as shown on the site plan for subdivision.

Roof materials

Roof materials and colors shall be reminiscent of the Spanish Pueblo Revival style with the dominant design being low pitch roofs (heat reflective and light colored) concealed from view with building parapets.

The following images show examples of buildings with elements of Spanish Pueblo Revival and Pueblo Revival Architecture

