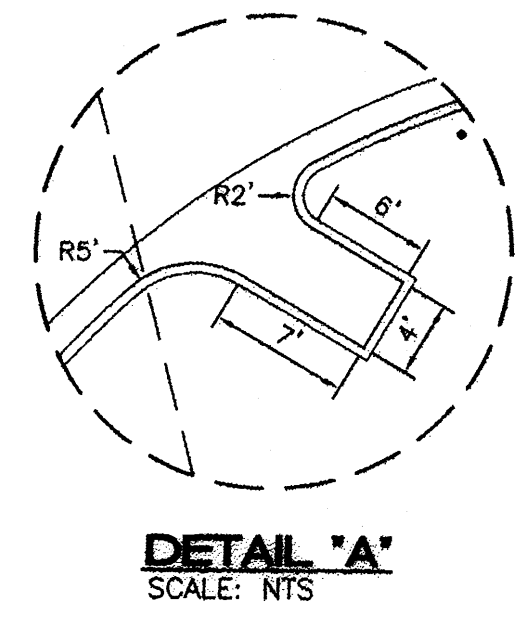


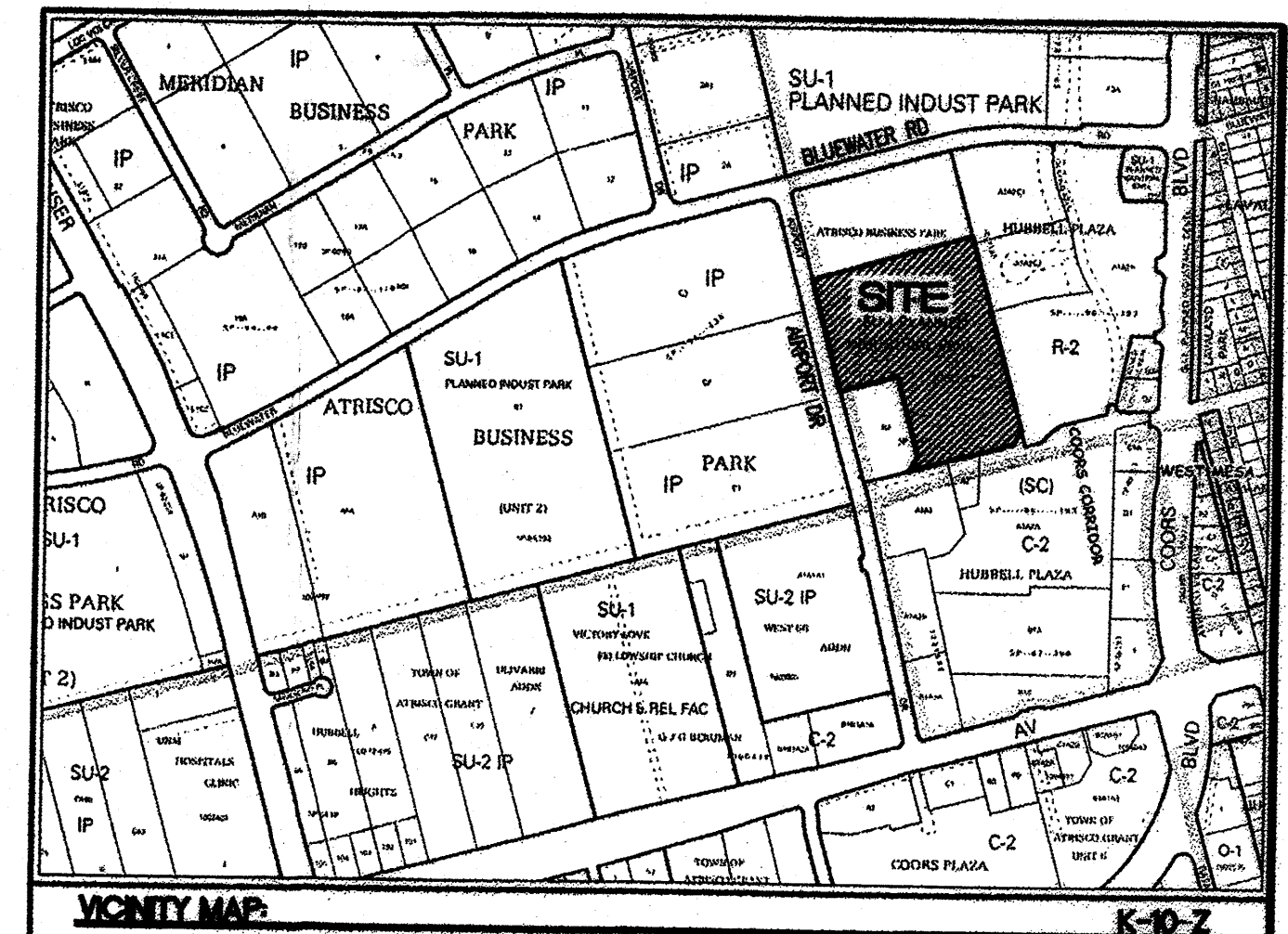
PAINT "DO NOT ENTER" 36" MIN HEIGHT LETTERS (WHITE LETTERING W/ 2" MIN BLACK BORDER).  
JAW 3/20/13

LANDSCAPING & SIGNING SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3' & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



**SITE DATA**

ZONING	SU-1 FOR PLANNED INDUSTRIAL PARK
SITE AREA	516,188 SF (11.85 AC)
PROPOSED USAGE	TRUCK TERMINAL
BUILDING AREA	3,818 SF
OFFICE	15,995 SF
DOCK	19,813 SF
TOTAL	3,410 SF
FUEL ISLAND	
OCCUPANCY:	DOCK-S1 OFFICE-B
CONSTRUCTION TYPE:	11-B, UNPROTECTED
PARKING REQUIRED	20 SPACES (1 SPACE PER 200 SF)
OFFICE	8 SPACES (1 SPACE PER 2000 SF)
WAREHOUSE	
HC PARKING REQUIRED	3 SPACES
HC PARKING PROVIDED	3 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED	70 SPACES
MC PARKING REQUIRED	2 SPACES
MC PARKING PROVIDED	2 SPACES
BICYCLE PARKING PROVIDED	5 SPACES
SETBACKS	
FRONT	30'
SIDE	10'
REAR	10'
<b>TRAILER STORAGE BREAKDOWN</b>	
TRACTORS	25
PUPS	95
VANS	16
BREAK DOWN	13



**LEGAL DESCRIPTION:**  
TRACT "B-1-B" OF ATRISCO BUSINESS PARK, UNIT ONE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON 02/04/13, AS DOCUMENT NO. 2013012914.

**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL (EAST PROPERTY LINE)
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	TUBULAR STEEL FENCE
	CHAIN LINK FENCE WITH 3 STRAND BARBED WIRE
	HEAVY DUTY CONCRETE
	SITE VISIBILITY AREA

- KEYED NOTE:**
- (A) 6" MEDIAN CURB & GUTTER PER COA STD DWG #24158
  - (B) 4" THICK CONCRETE SIDEWALK PER COA STD DWG #2430
  - (C) DRIVEWAY PER COA STD DWG #2426 (HEAVY DUTY CONCRETE PAVT)
  - (D) HC RAMP PER DETAIL ON SHEET C5
  - (E) ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
  - (F) ACCESSIBLE PARKING PER ADA STANDARDS, DETAILS ON C4 & C5
  - (G) CHAIN LINK FENCE W/SLIDING VEHICLE GATE, SEE ARCHITECTURAL & MEP PLANS
  - (H) TUBULAR STEEL FENCE PER DETAIL ON C4.
  - (I) TUBULAR STEEL FENCE VEHICULAR GATE. FENCE PER DETAIL ON C4, HARDWARE PER ARCH DETAILS.
  - (J) TRANSFORMER, REF MEP PLANS. COORDINATE W/ PNM.
  - (K) MONUMENT SIGN PER ARCH DETAILS
  - (L) BIKERACK PER DETAIL C4.
  - (M) 8" BOLLARDS (4 IN EACH LOCATION TYP.) PER ARCH DETAILS.
  - (N) 8' CHAIN LINK FENCE WITH 3 STRAND BARBED WIRE PER ARCH DETAILS.
  - (O) FIRE HYDRANT, SEE SHEET C3.
  - (P) 30 CY TRASH CONTAINER (SCREENED FROM PUBLIC VIEW BEHIND BLDG)
  - (Q) TUBULAR STEEL MAN GATE. FENCE PER DETAIL ON C4, HARDWARE PER ARCH DETAILS.
  - (R) CHAIN LINK/BARBED WIRE MAN GATE PER ARCH DETAILS.
  - (S) HEAVY DUTY CONCRETE PAVEMENT PER DETAIL SHEET C4.
  - (T) HEAVY DUTY ASPHALT PAVEMENT PER DETAIL SHEET C4.
  - (U) STANDARD DUTY ASPHALT PAVEMENT PER DETAIL SHEET C4.
  - (V) LIGHT POLE, SEE MEP PLANS.
  - (W) CANOPY MOUNTED LIGHTS, SEE ARCH/MEP PLANS.
  - (X) APPROXIMATE LOCATION UNDERGROUND FUEL TANKS.
  - (Y) FUEL CANOPY PER ARCHITECTURAL PLANS.
  - (Z) 4" WIDE PAINTED STRIPING (2 COATS)
  - (AA) 8' HIGH CMU SCREEN WALL PER DETAIL SHEET C4.
  - (BB) SINGLE 10' WIDE SWING GATE W/ CHAIN LINK/BARBED WIRE TO MATCH ARCHITECTURAL DETAILS.
  - (CC) EXISTING CHAIN LINK/BARBED WIRE FENCE TO REMAIN.
  - (DD) 10'X12' CONCRETE PAD FOR FLUIDS BUILDING PER HEAVY DUTY CONCRETE DETAIL SHEET C4.
  - (EE) TYPE "B" INTEGRAL CURB PER DETAIL SHEET C4.
  - (FF) "TRUCKS ONLY" SIGN
  - (GG) "NO EXIT" SIGN
  - (HH) "DO NOT ENTER" SIGN
  - (II) "ONE WAY" SIGN
  - (JJ) PAINTED DIRECTIONAL ARROWS PER DETAIL SHEET C5.

**PROJECT NUMBER:** 1009544  
**APPLICATION NUMBER:** 13 DRB-70458

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>Miguel Aguado-Lorenzo</i> Traffic Engineer, Transportation Division	03/20/13 Date
<i>Allen Patten</i> Water Utility Development	03/20/13 Date
<i>Carol S. Dumont</i> Parks & Recreation Department	3-20-13 Date
<i>Justin S. Chan</i> City Engineer	3-20-13 Date
Environmental Health Department (conditional)	Date
<i>Do. Wastle</i> Solid Waste Management	3-21-13 Date
<i>John J. Wood</i> DRB Chairperson, Planning Department	3-21-13 Date

\* Environmental Health, if necessary

**INDEX TO DRAWINGS**

C1.	SITE PLAN FOR BUILDING PERMIT
C2.	GRADING AND DRAINAGE PLAN
C3.	MASTER UTILITY PLAN
C4.	DETAIL SHEET
C5.	DETAIL SHEET
C6.	DEMOLITION PLAN
A2.4	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
LS-3.	LANDSCAPING PLAN

- Easement Notes**
- 2 EXISTING 7' P.U.E. (B16-153, 07/06/79)
  - 3 EXISTING 30' ACCESS, UTILITY & PUBLIC DRAINAGE EASEMENT (C34-166, 09/29/87)
  - 5 EXISTING 5' TELEPHONE EASEMENT (MISC. 741A, PG. 615, 04/24/89)

- NOTES**
1. LIGHT FIXTURES SHALL BE A MAXIMUM OF 30' (20' MAXIMUM HEIGHT WITHIN 100' OF EAST PROPERTY LINE) WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
  2. 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

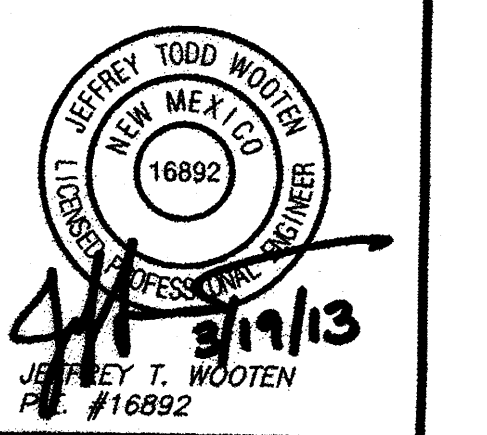
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 ALBUQUERQUE, NEW MEXICO 87109  
 (505) 886-3100  
 www.tierwestllc.com

**Schwob Building Co.**  
 2349 Glenda Lane  
 Dallas, TX 75229



**OLD DOMINION FREIGHT LINE**  
 330 Airport Rd NW  
 Albuquerque, NM 87121

Final Permit Set: 03-01-13

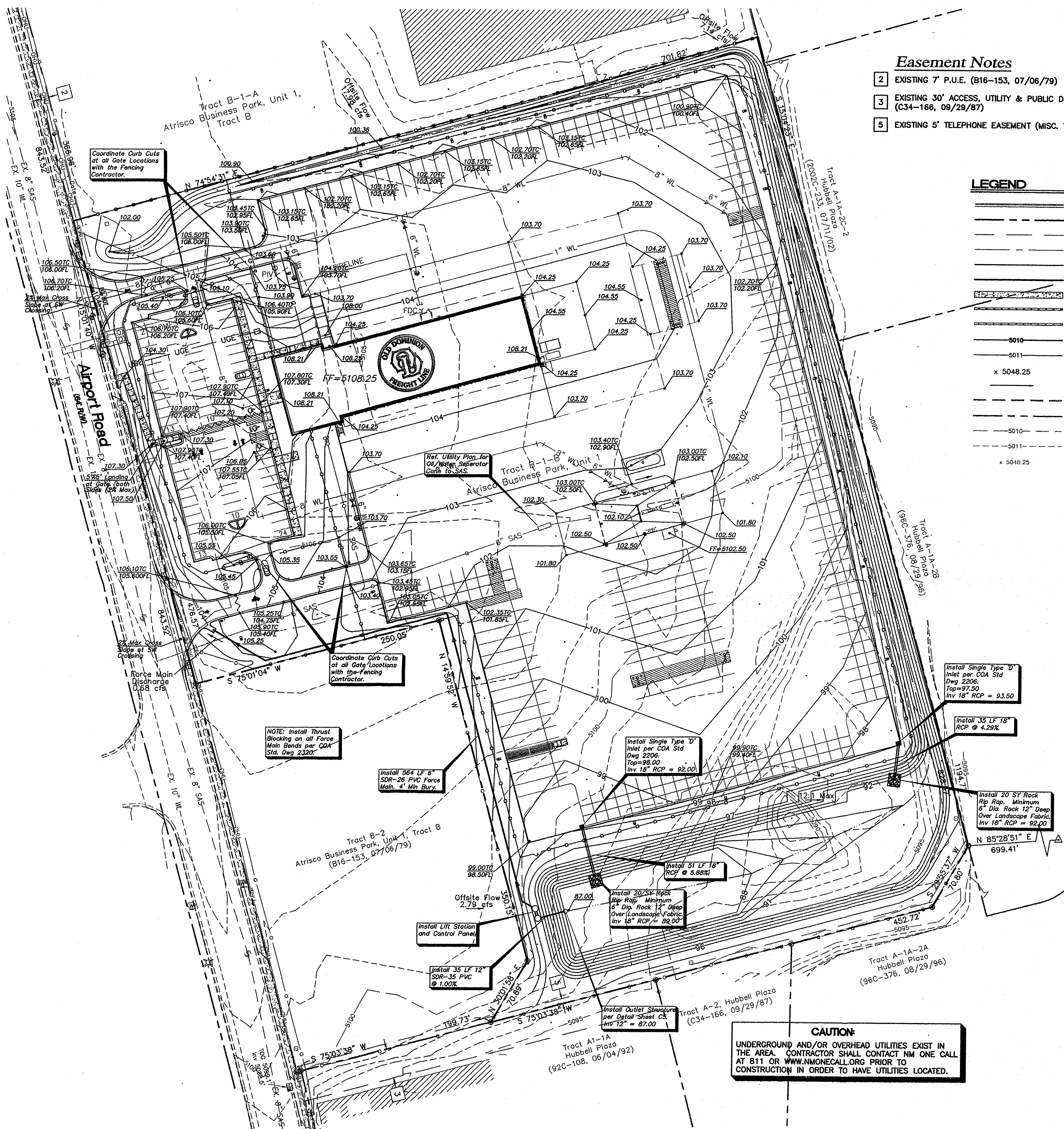


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 Project No. 12071.00

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Sheet Name:  
**SITE PLAN FOR BUILDING PERMIT**  
 Sheet Number:

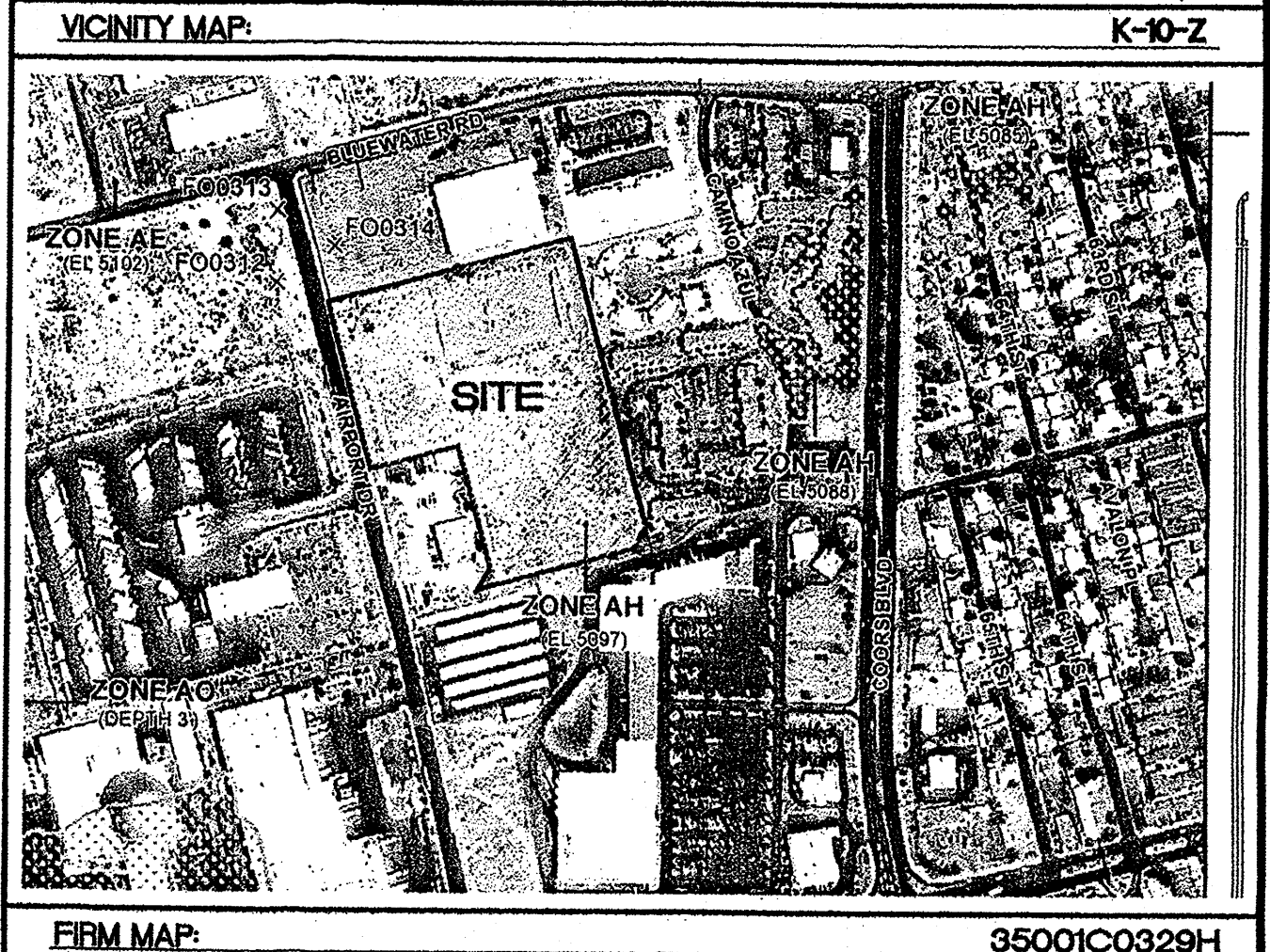
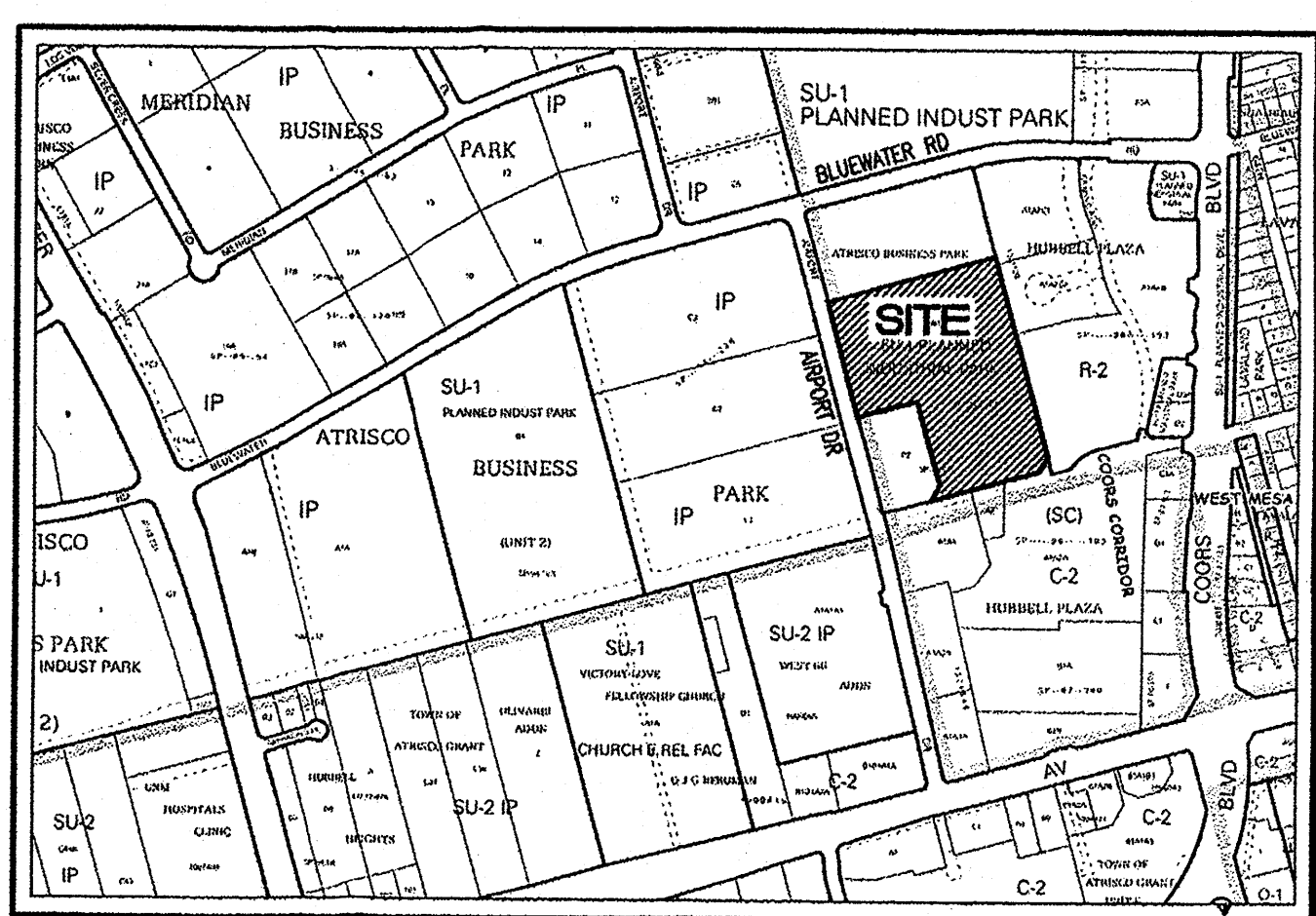
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- Easement Notes**
- 2 EXISTING 7' P.U.E. (816-153, 07/06/79)
  - 3 EXISTING 30' ACCESS, UTILITY & PUBLIC DRAINAGE EASEMENT (C34-166, 09/29/87)
  - 5 EXISTING 5' TELEPHONE EASEMENT (MISC. 741A, PG. 615, 04/24/89)

**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION



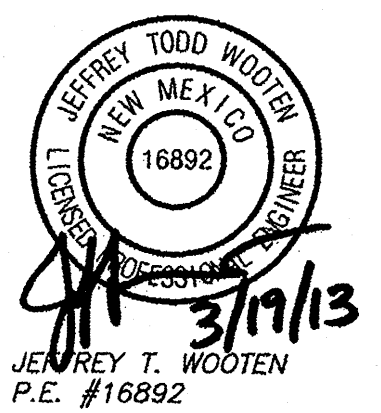
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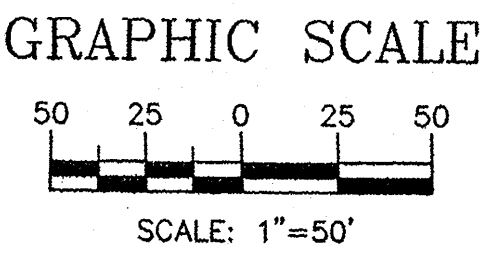
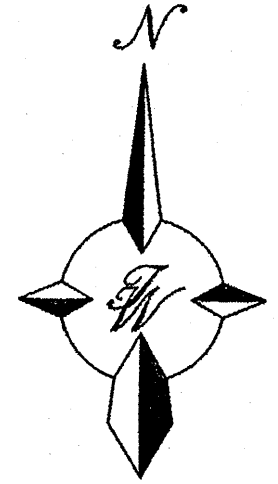
Project No. 12071.00

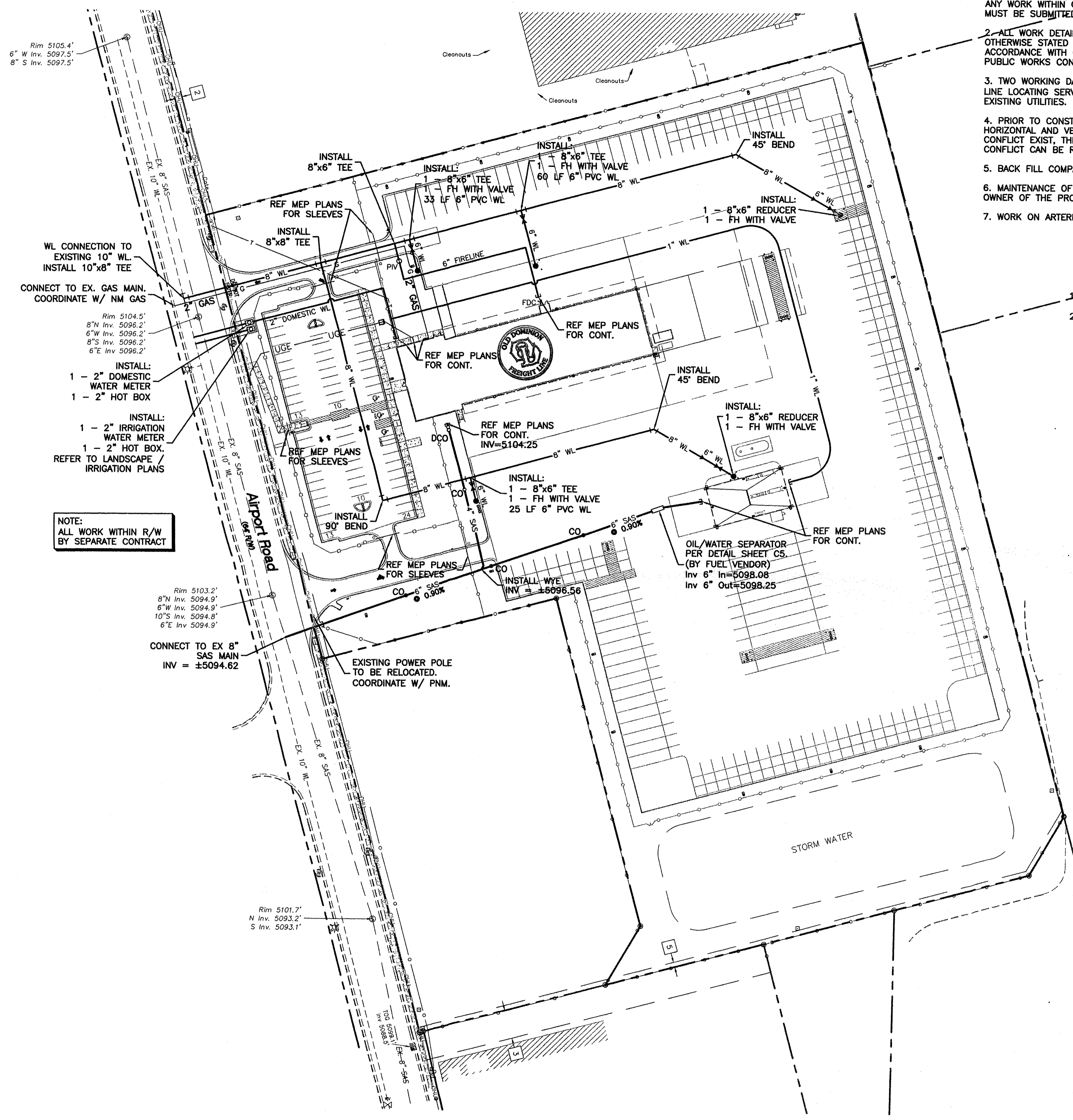
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Sheet Name:  
**GRADING AND  
 DRAINAGE PLAN**  
 Sheet Number:  
**C2**

**CAUTION:**  
 UNDERGROUND AND/OR OVERHEAD UTILITIES EXIST IN THE AREA. CONTRACTOR SHALL CONTACT NM ONE CALL AT 811 OR WWW.NMONECALL.ORG PRIOR TO CONSTRUCTION IN ORDER TO HAVE UTILITIES LOCATED.

**CAUTION:**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.





**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**GENERAL NOTES:**

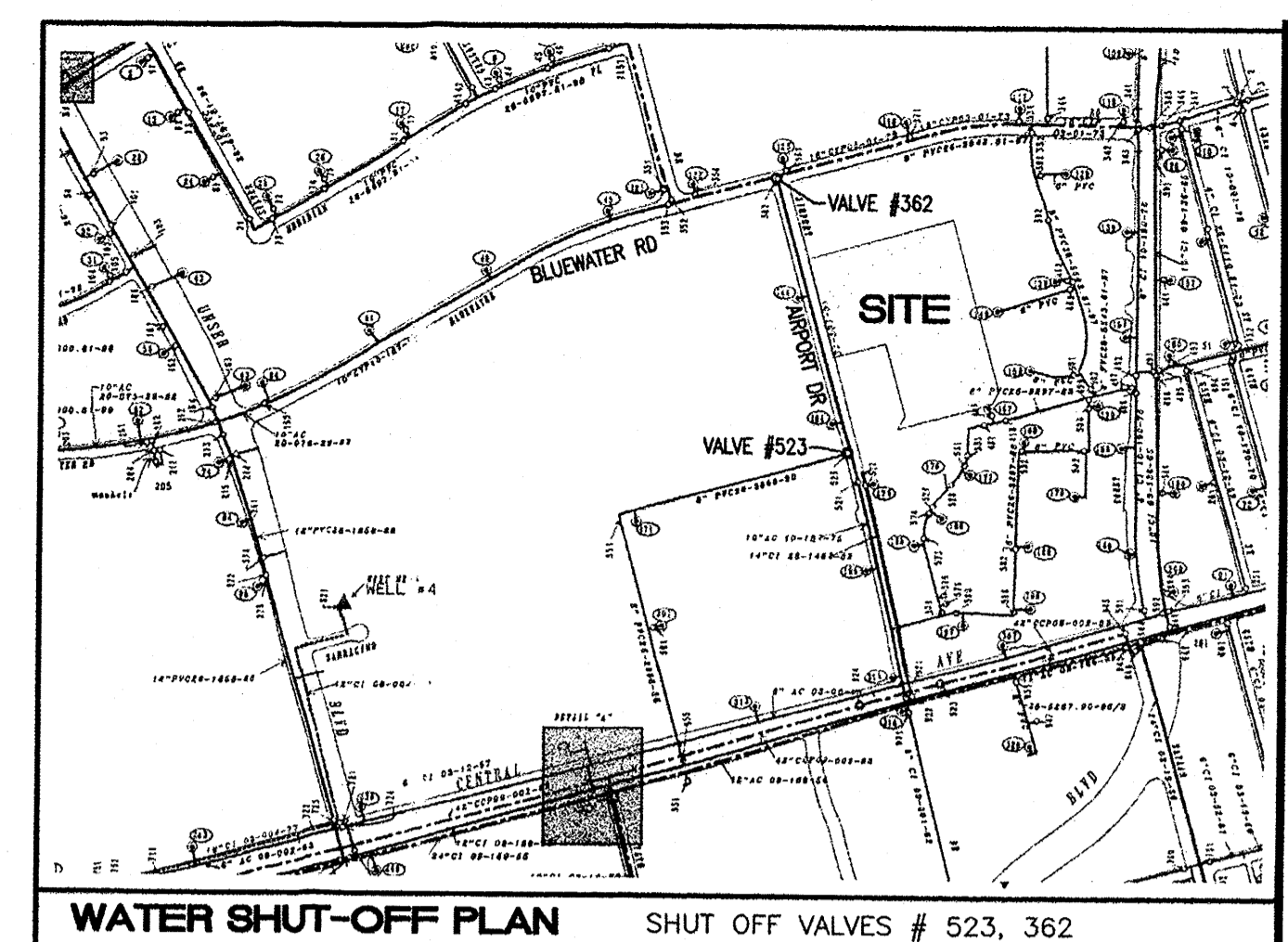
1. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. SEE ARCHITECTURAL/MEP PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

**GENERAL UTILITY NOTES:**

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE MEP PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL MANHOLES AND CLEANOUTS SHALL HAVE 8" THICK CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES NEAR THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

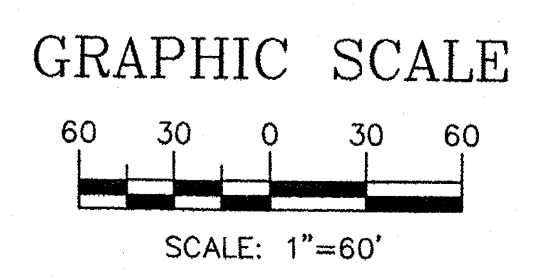
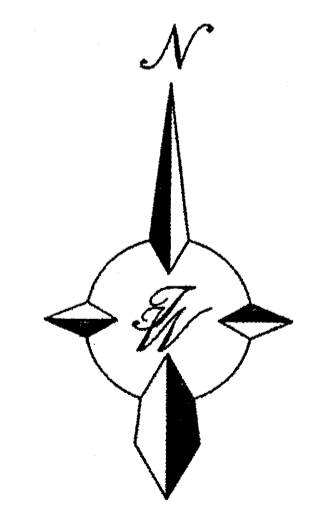


**NOTES:**

1. ONLY ABCWUA WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.
5. IF REQUIRED, CONTRACTOR SHALL PREPARE AND SUBMIT A DETOUR PLAN FOR APPROVAL PRIOR TO BEGINNING WORK.

**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36" SD - STORM SEWER LINE
	8" SAS - SANITARY SEWER LINE
	8" WL - WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING 8" SAS - EXISTING SANITARY SEWER LINE
	EXISTING 10" WL - EXISTING WATER LINE
	EXISTING 18" RCP - EXISTING STORM SEWER LINE



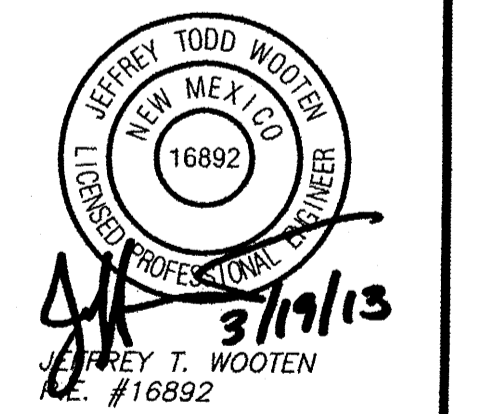
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Final Permit Set: 03-01-13



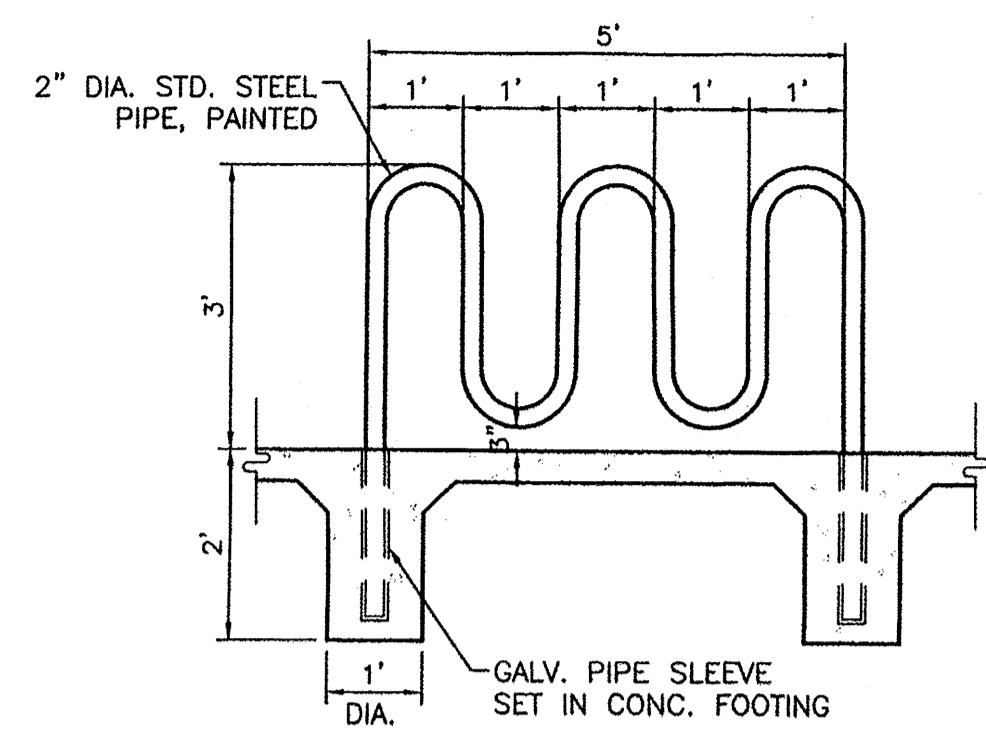
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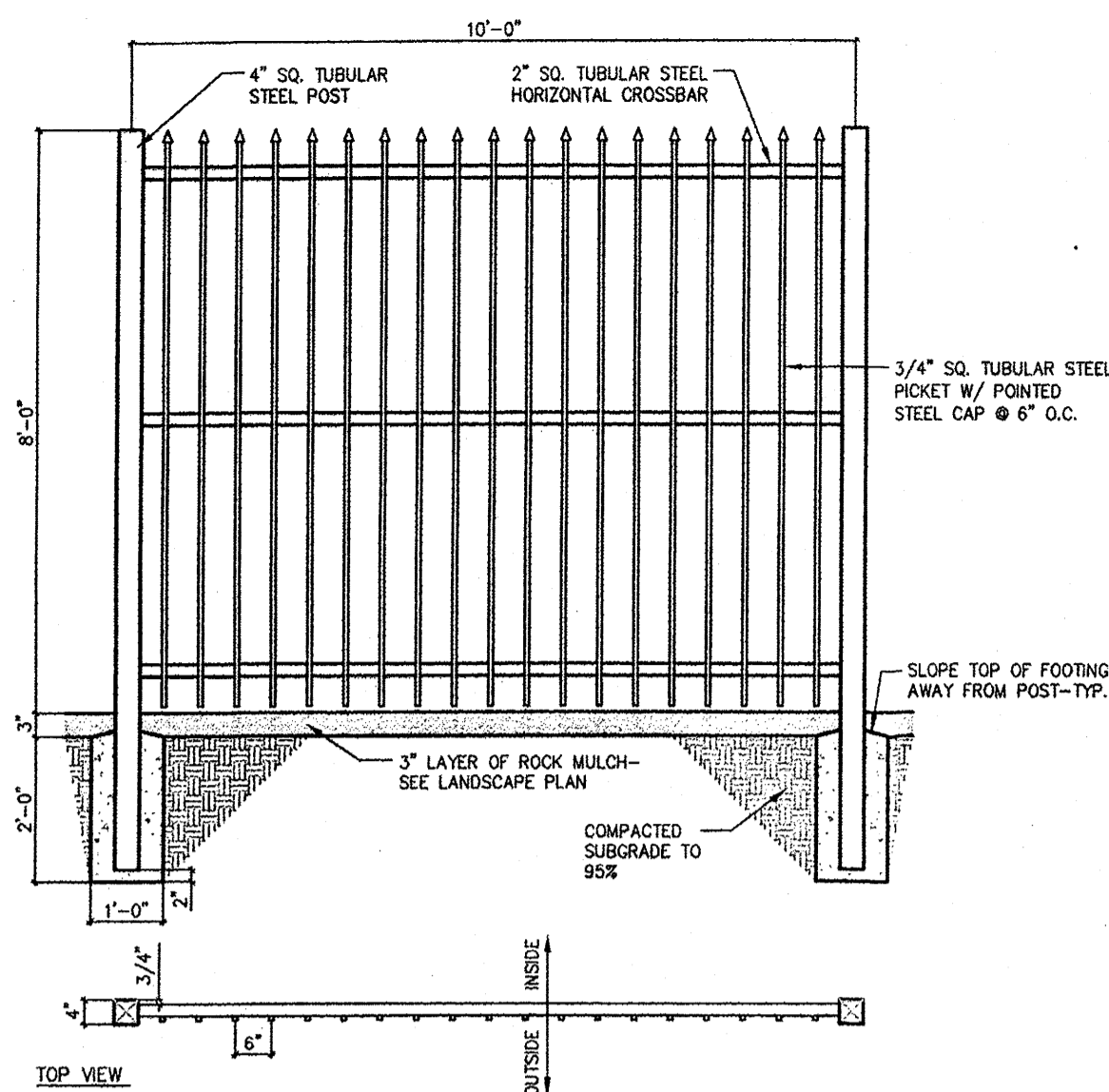
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Sheet Name:  
**MASTER UTILITY  
 PLAN**

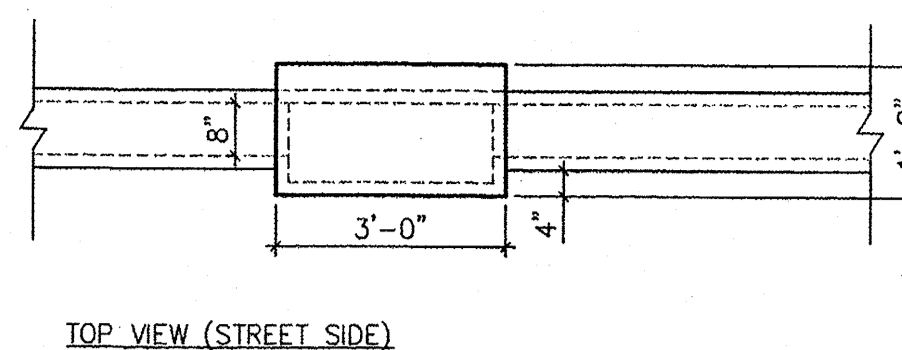
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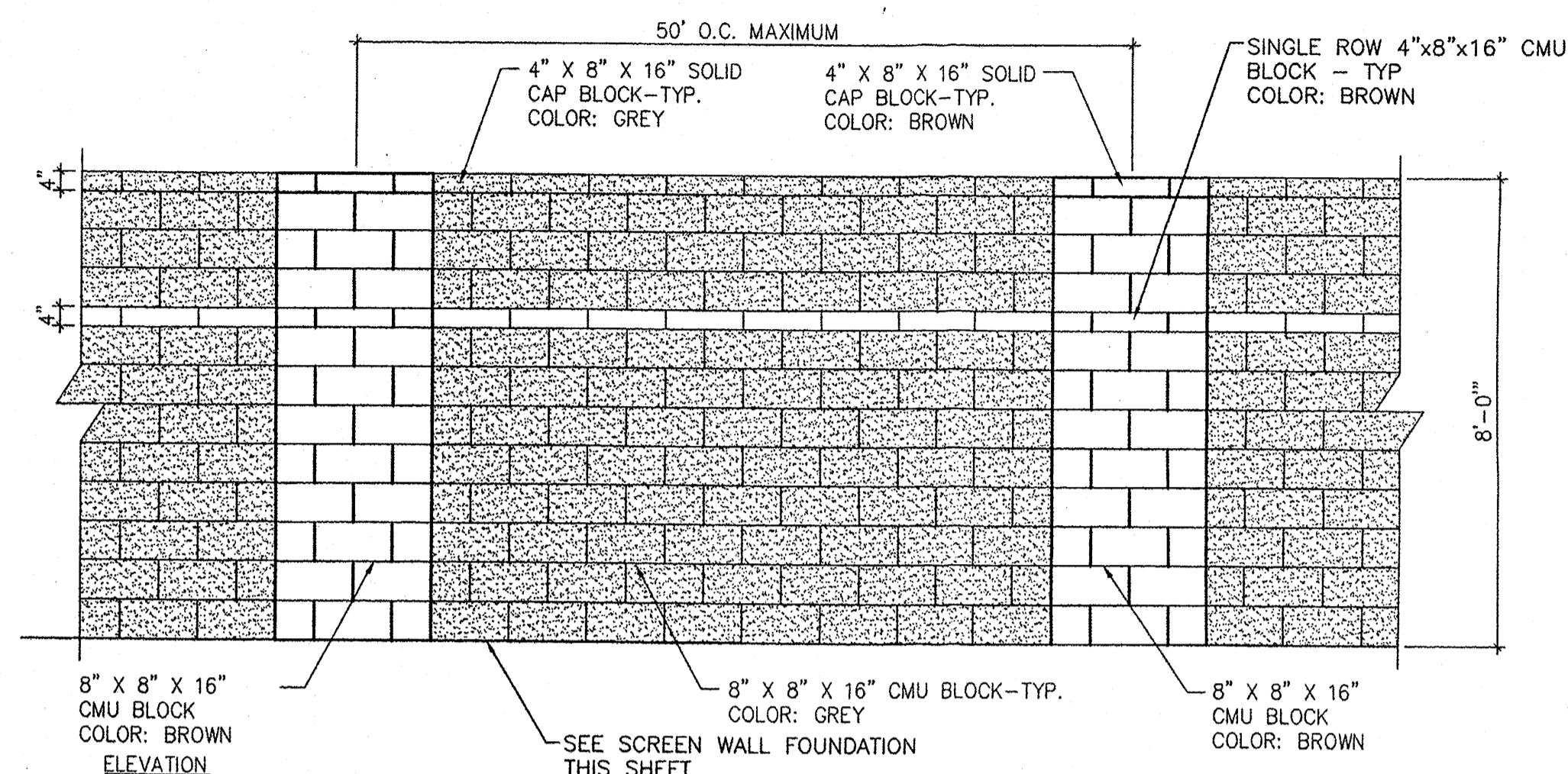
**BIKE RACK DETAIL**  
SCALE: 1/2"=1'



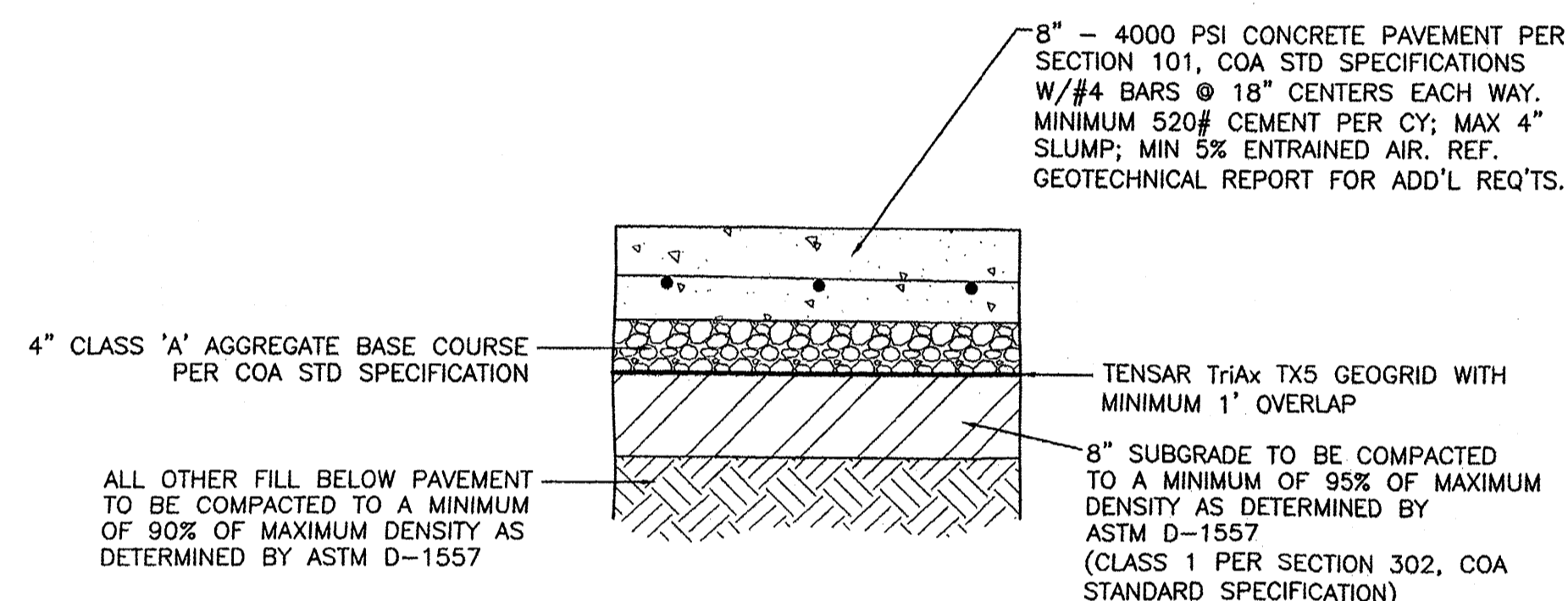
**TUBULAR FENCE DETAIL**



TOP VIEW (STREET SIDE)

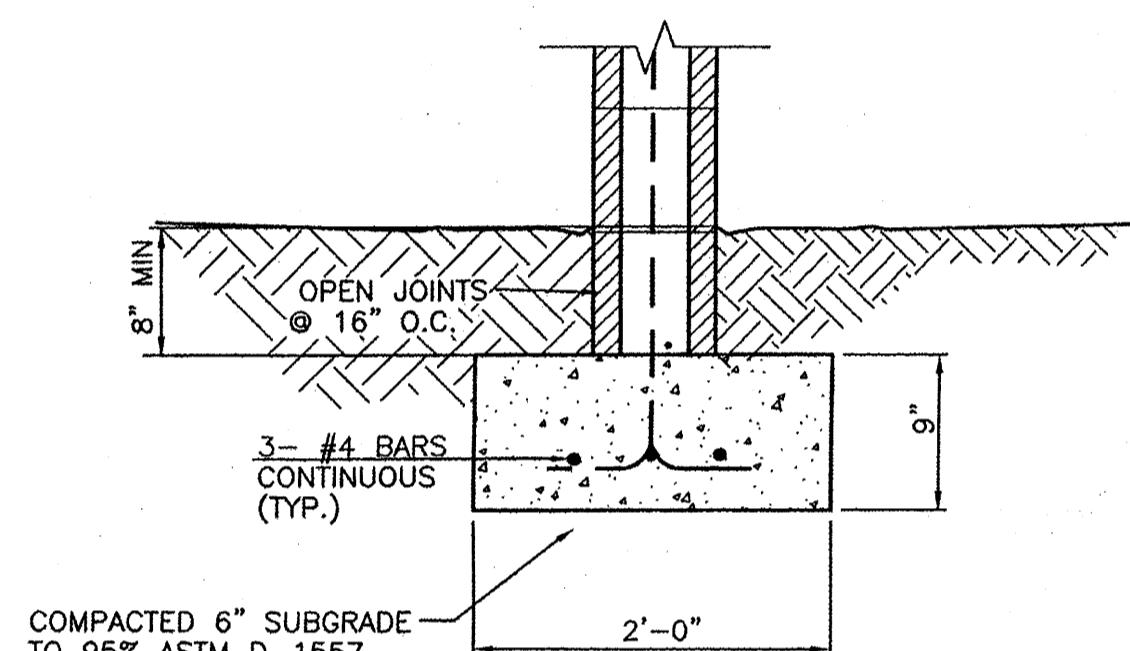


**CMU SCREEN WALL DETAIL**



**HEAVY DUTY CONCRETE TYPICAL PAVING SECTION**

nts DESIGNATED BY X8E VINYARD.

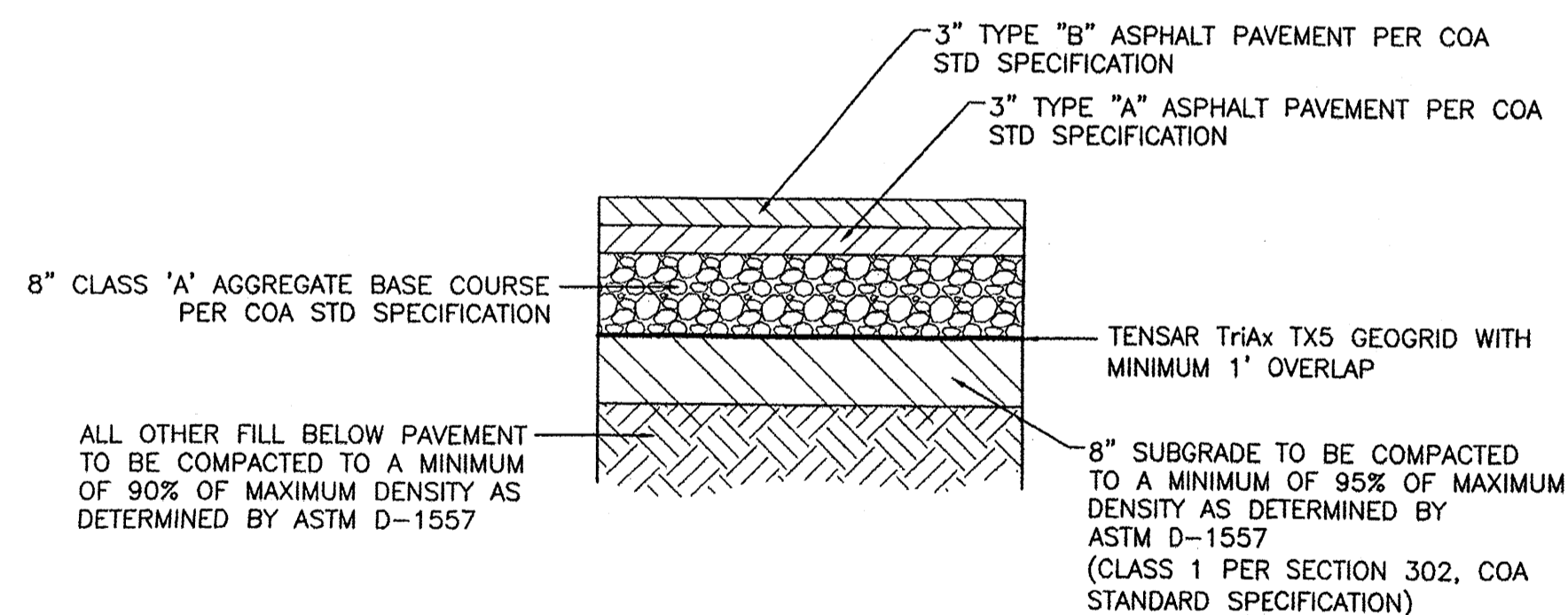


**SCREEN WALL FOUNDATION**

nts

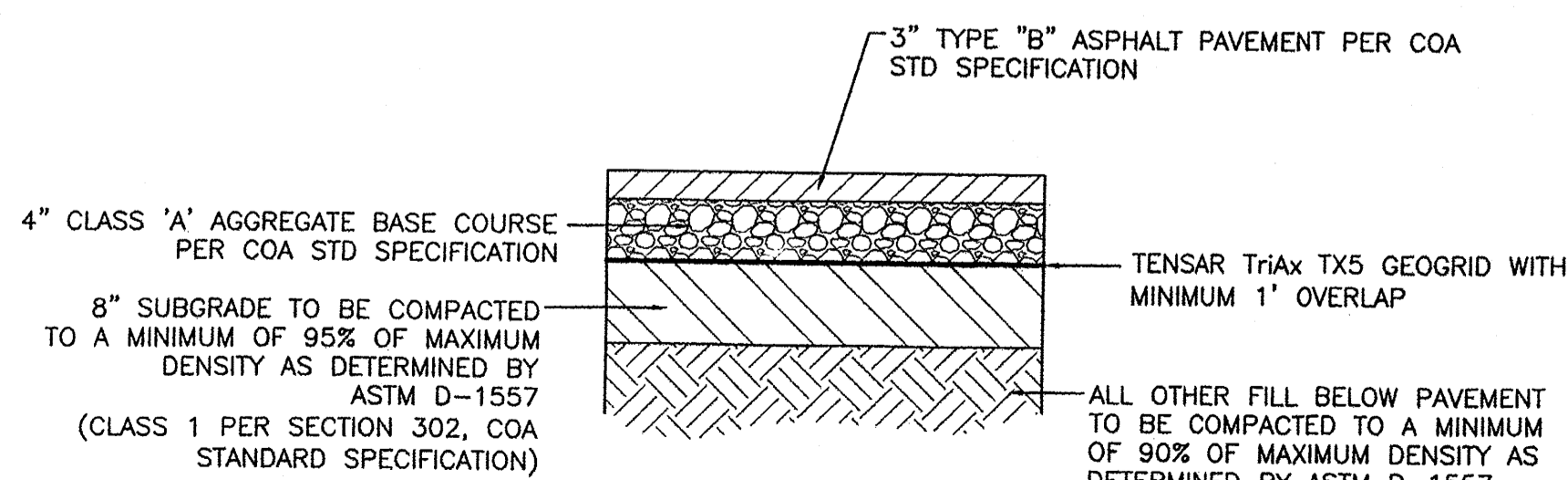
**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE  $\pm$  2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. INSTALL EXPANSION JOINTS ON 20' CENTERS.



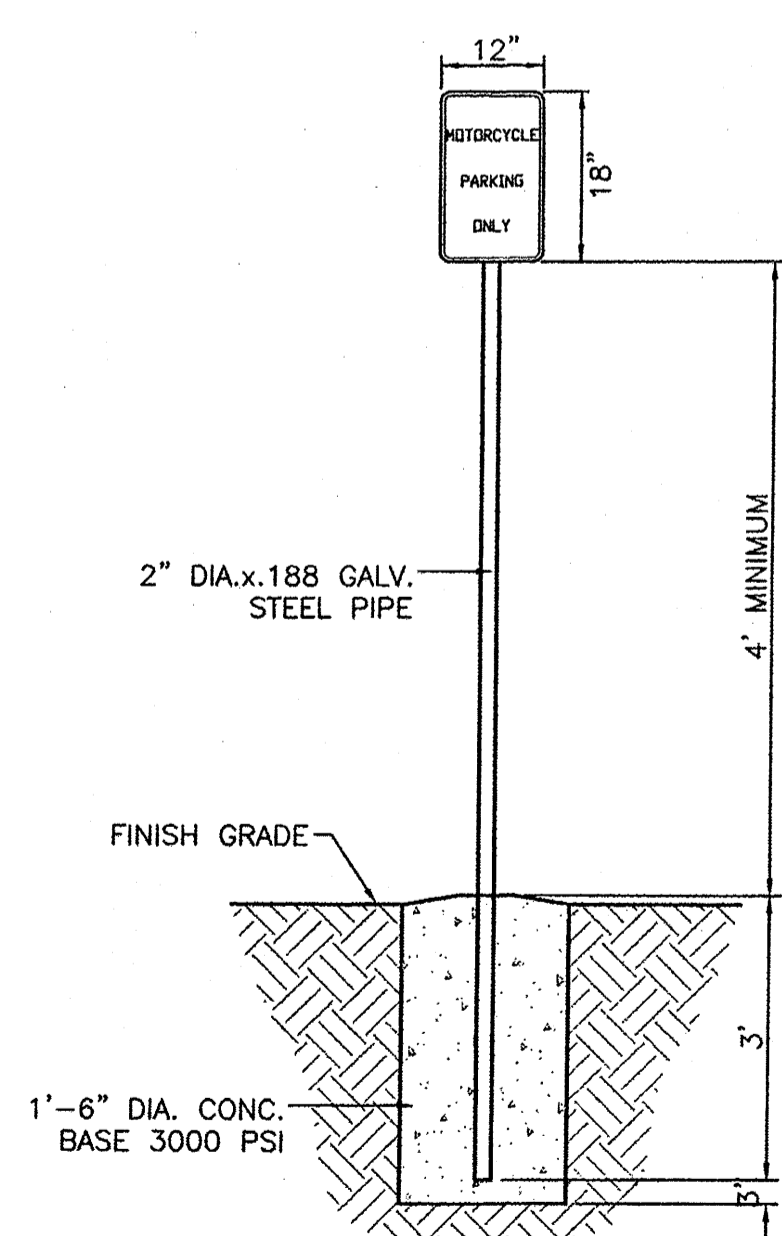
**HEAVY DUTY ASPHALT TYPICAL PAVING SECTION**

nts DESIGNATED BY X8E VINYARD



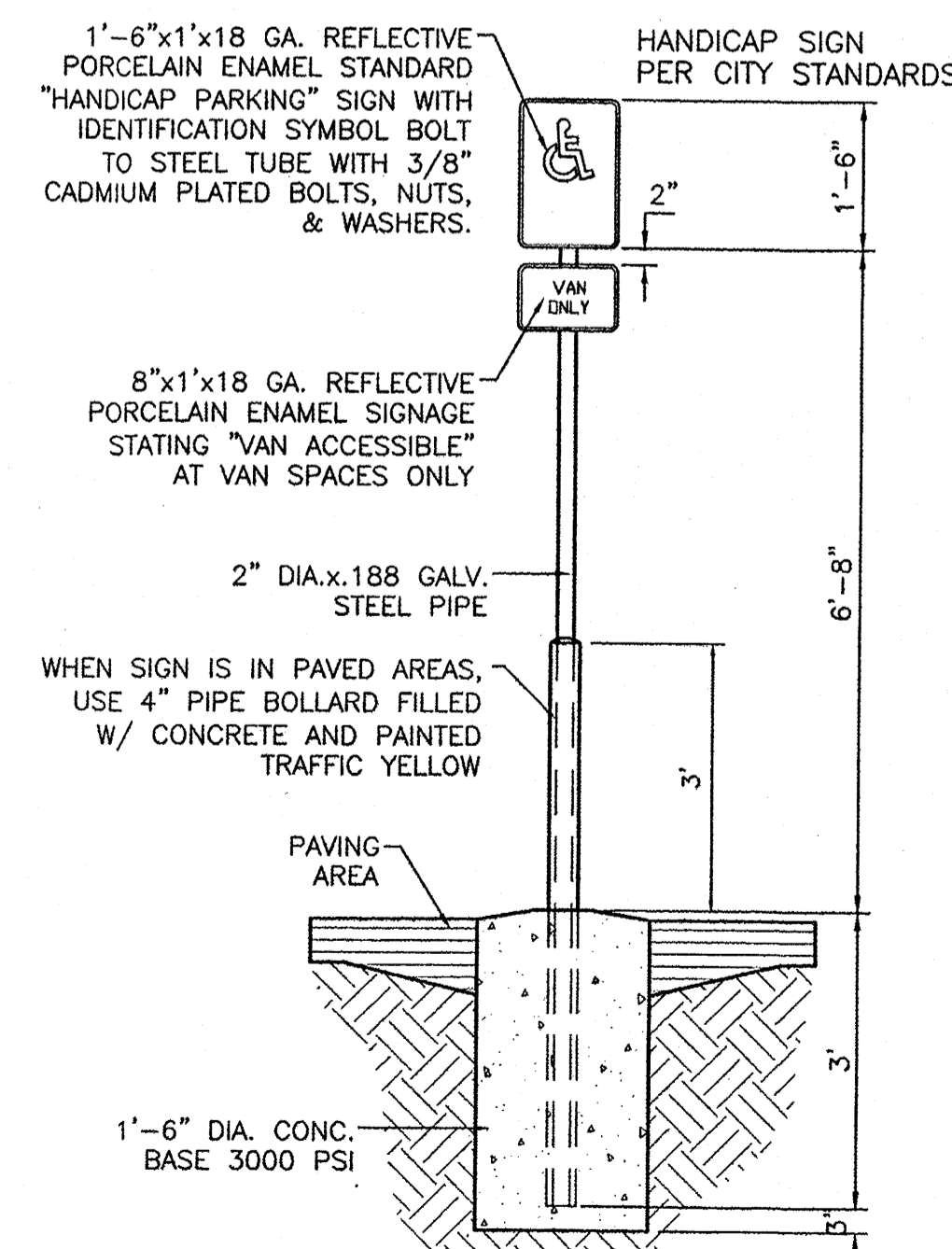
**STANDARD DUTY ASPHALT TYPICAL PAVING SECTION**

nts DESIGNATED BY X8E VINYARD



**MOTORCYCLE PARKING SIGN**

nts



**HANDICAP SIGN**

nts

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**Schwob**  
BUILDING COMPANY, LTD.

A NEW TERMINAL FOR:  
**OLD DOMINION FREIGHT LINE**  
330 Airport Rd NW  
Albuquerque, NM 87121

Issue for Permit: xx-xx-xx

JEFFREY T. WOOTEN  
P.E. 16892  
2/25/13

ODFL Albuquerque, NM - ALB

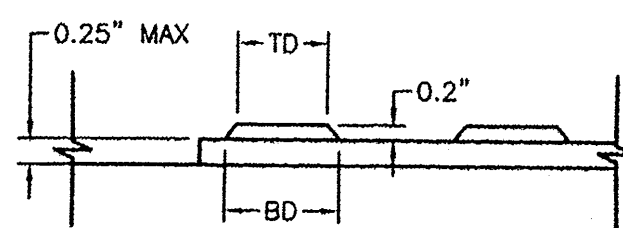
Project No. 12071.00

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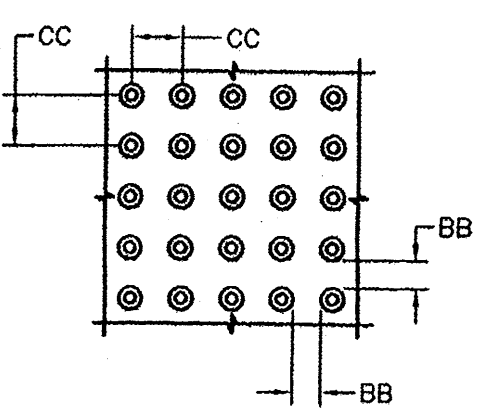
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**DETAILS**

Sheet Number:

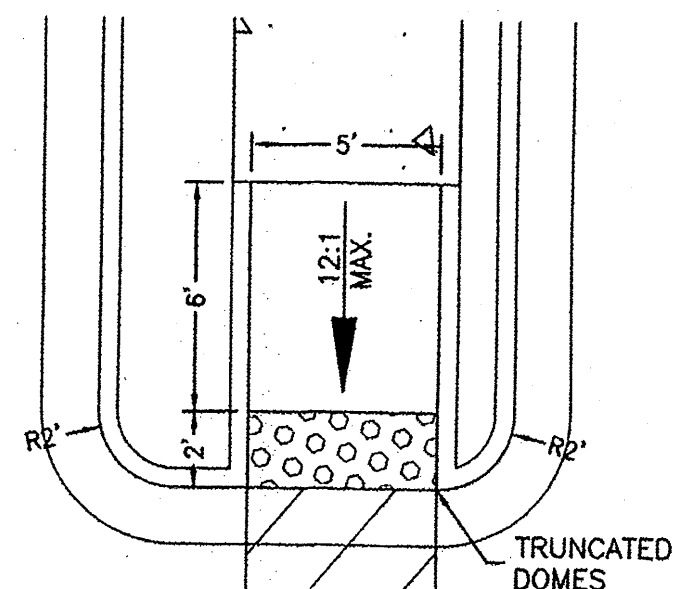
C4



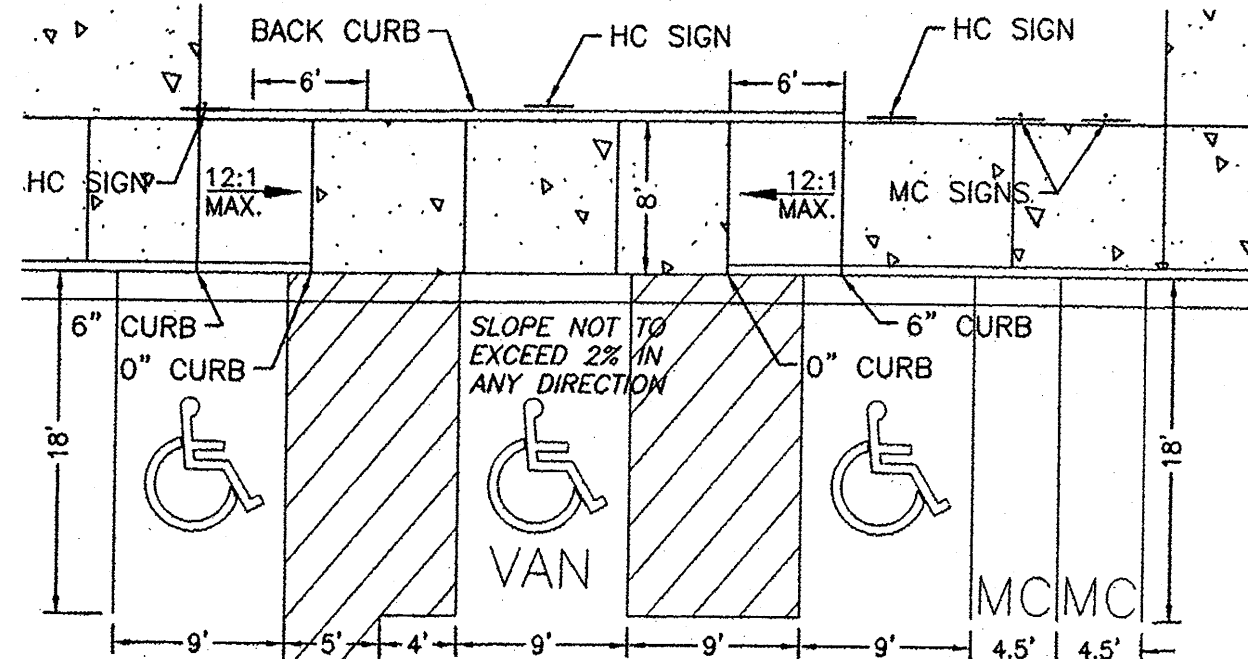
**DOME SECTION**  
 BD - BASE DIAMETER 0.9" MIN  
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



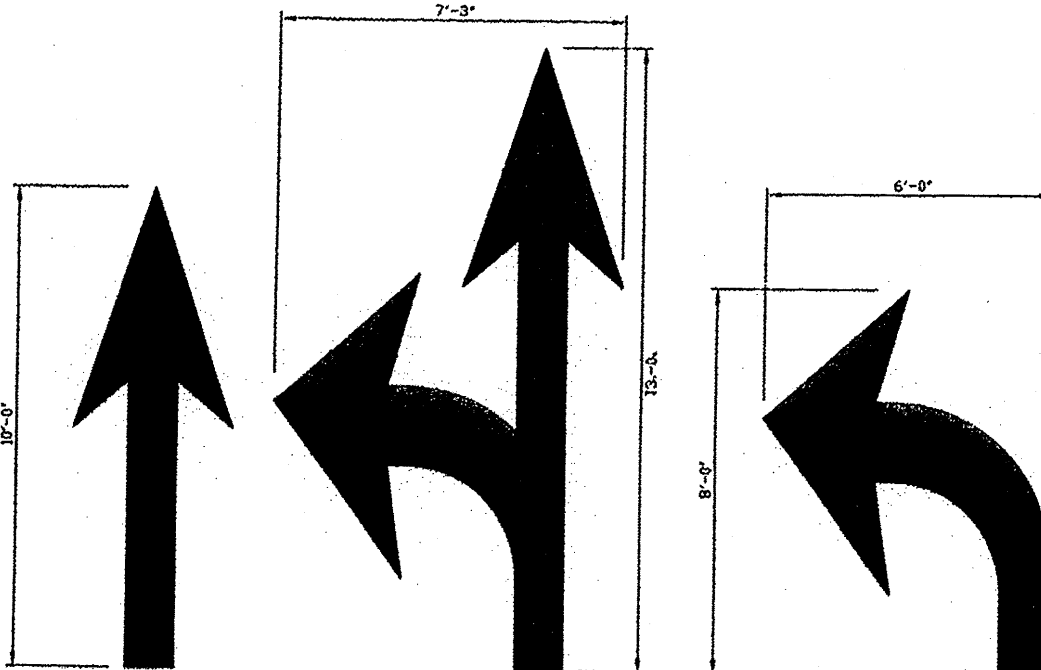
**DOME SPACING**  
 CC - CENTER TO CENTER SPACING 2.35"  
 BB - BASE TO BASE SPACING 1.48" MIN



**ADA RAMP 'A'**  
 SCALE: NTS



**HC PARKING • MAIN BLDG. ENTRANCE**  
 SCALE: NTS



**SOLID ARROW MARKINGS**  
 USED AT EXITS FROM THE PARKING LOT TO PUBLIC STREETS

**PAVEMENT MARKINGS**  
 N.T.S.

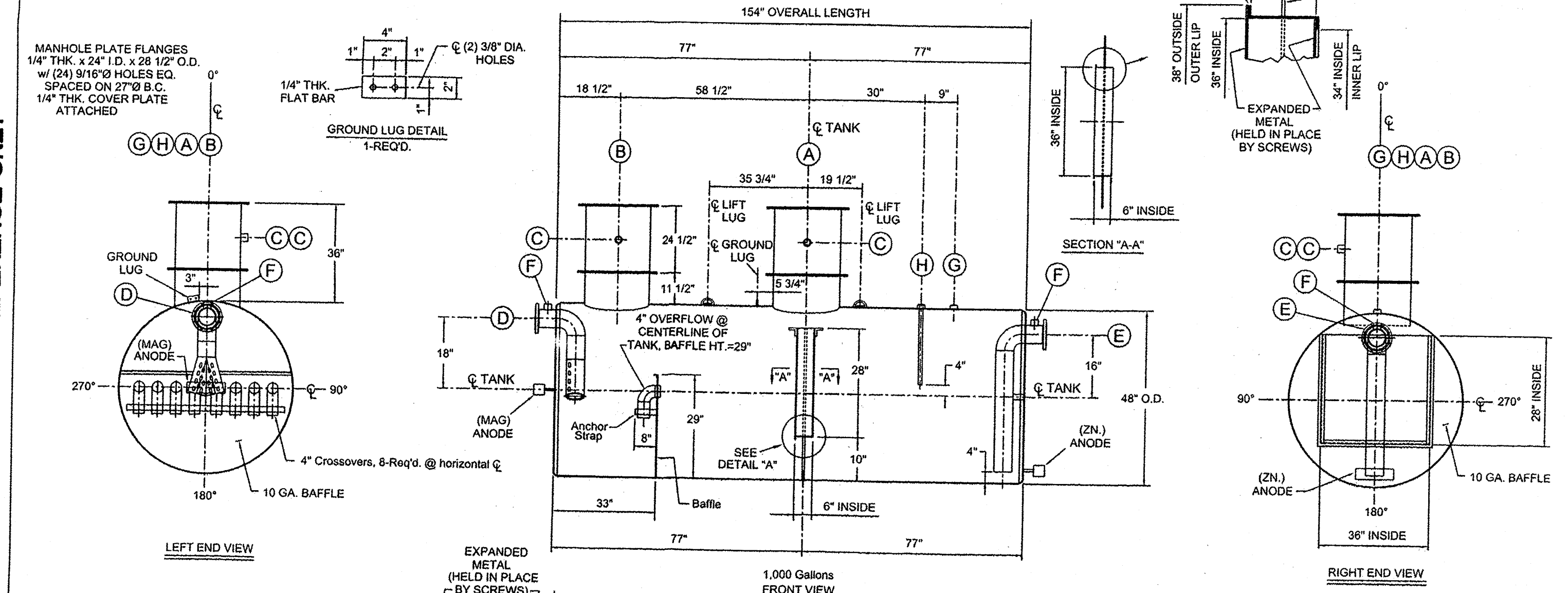
- NOTES:
- WORDS AND ARROWS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 38.20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
  - THESE WORDS AND ARROWS ARE TO BE PAINTED RETROREFLECTIVE WHITE.

**FOR REFERENCE ONLY**

**GENERAL NOTE:**  
 1. INTERIOR COATED TNEMC #61 EPOXY.

THE CORROSION CONTROL SYSTEM SHALL BE IN ACCORDANCE WITH STI-P3 SPECIFICATIONS AND SHALL HAVE THE 30 YEAR WARRANTY AGAINST CORROSION AND STRUCTURAL FAILURE. THE ATTACHED INSTALLATION INSTRUCTIONS/SPECIFIED WARRANTY ARE A PART OF THIS DRAWING.

NOZZLE SCHEDULE												
ITEM	QTY.	SIZE	RATING	TYPE	MATL.	PROJ. IN	PROJ. OUT	NOZZLE DESCRIPTION		WELD LEG DIM. (NOZ. TO SHELL)	REMARKS	NOTES
								WEIGHT	WALL SZ.			
A	1	24"	PRESSED	MANWAY	C.S.	0"	AS SHWN			FILLET/GRV.		VENT
B	1	24"	PRESSED	MANWAY	C.S.	1/4"	AS SHWN			FILLET		SLUDGE REMOVAL
C	2	3"	STD. NPT	TANK FLG.	C.S.	0"	AS SHWN			FILLET/GRV.	W/ 3/4" DIELECTRIC BUSHING	VENT
D	1	6"	150# FLG.	S.O.R.F.	C.S.	1/4"	AS SHWN			FILLET		INLET
E	1	6"	150# FLG.	S.O.R.F.	C.S.	1/4"	AS SHWN			FILLET		OUTLET
F	2	3"	STD. NPT	TANK FLG.	C.S.	0"	AS SHWN			FILLET/GRV.	W/ 3/4" DIELECTRIC BUSHING	VENT
G	1	5"	STD. NPT	TANK FLG.	C.S.	1/4"	AS SHWN			FILLET	W/ 5/4" DIELECTRIC BUSHING	OIL LEVEL CONTROL
H	1	6"	STD. NPT	TANK FLG.	C.S.	1/4"	AS SHWN			FILLET	W/ 5/4" DIELECTRIC BUSHING	OIL PUMP OUT



**SERVICE WELDING & MACHINE COMPANY**  
 INCORPORATED  
 Louisville, Ky.

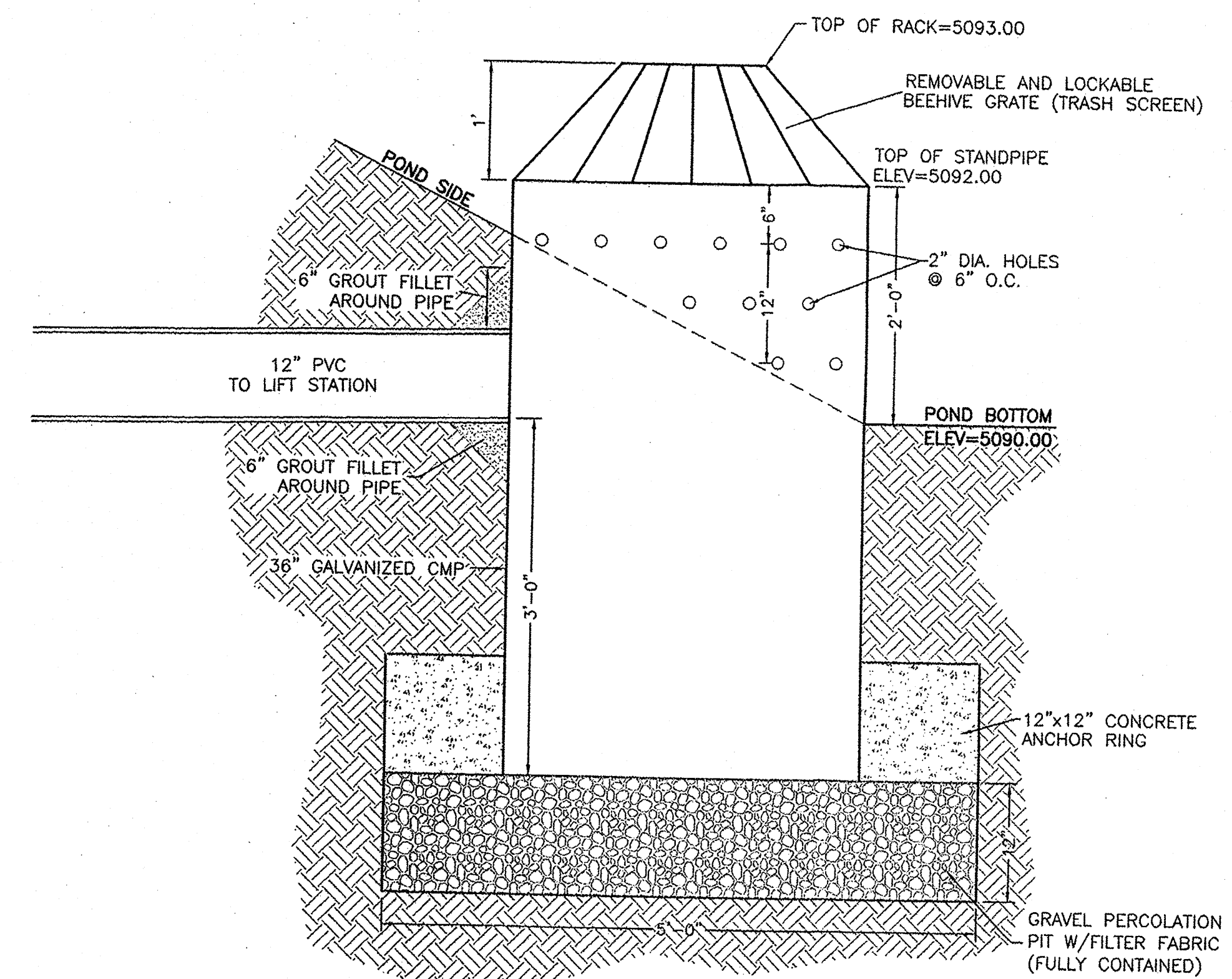
**1,000 Gallon KlearWater Oil Separator Tank**

CUSTOMER: **BENEFICIAL STSTEMS / JETERSVILLE, VA.**

DATE: 5-10-07

DRAWING No. **8608**

FOR REFERENCE ONLY



**OUTLET STRUCTURE DETAIL**  
 NTS

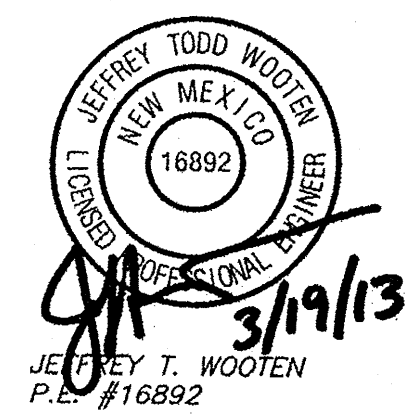
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 (505) 858-3100  
 www.tierrawestllc.com

**Schwob Building Co.**  
 2349 Glenda Lane  
 Dallas, TX 75229



**OLD DOMINION FREIGHT LINE**  
 A NEW TERMINAL FOR:  
 330 Airport Rd NW  
 Albuquerque, NM 87121

Final Permit Set: 03-01-13

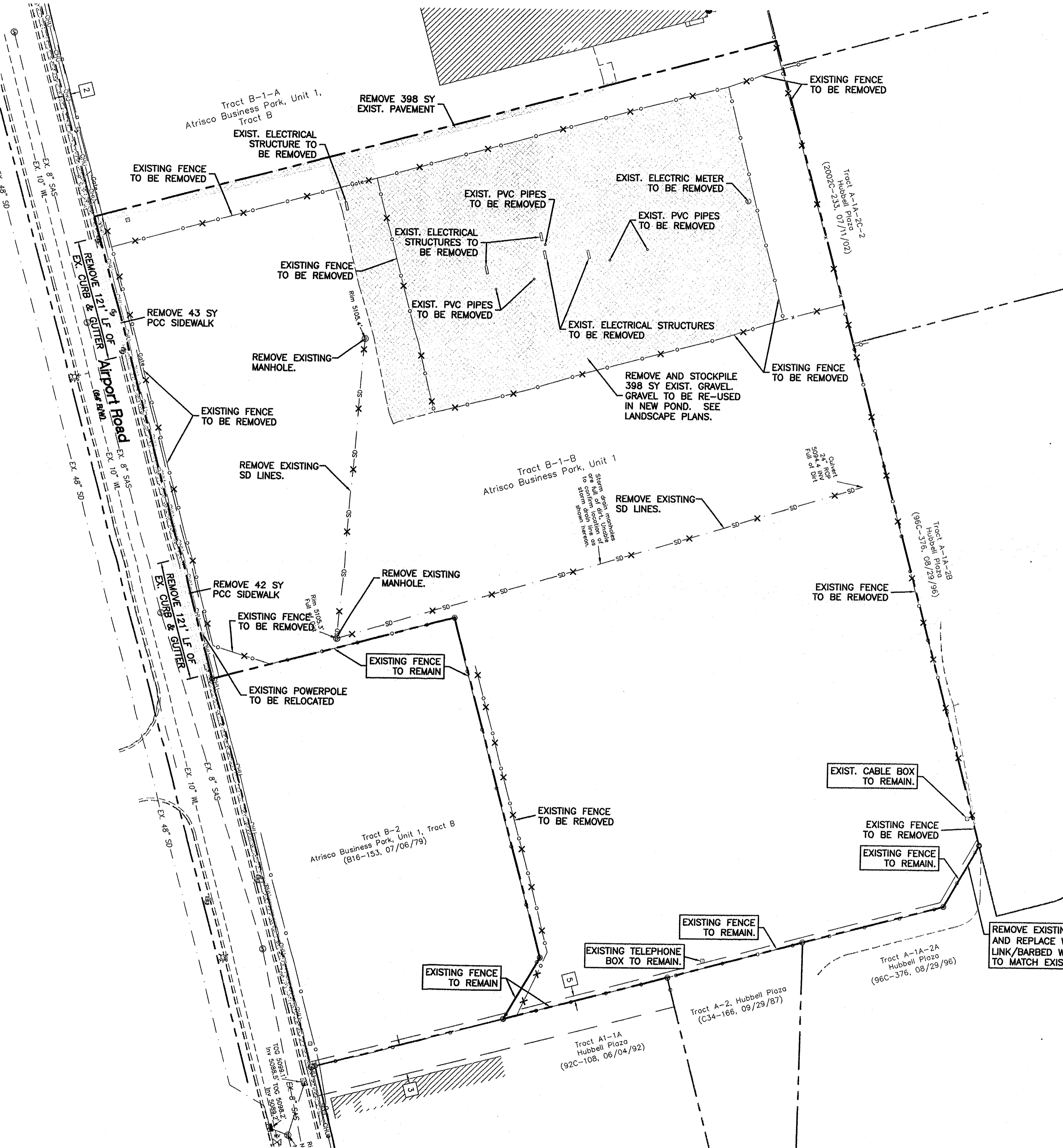


ODFL Albuquerque, NM - ALB  
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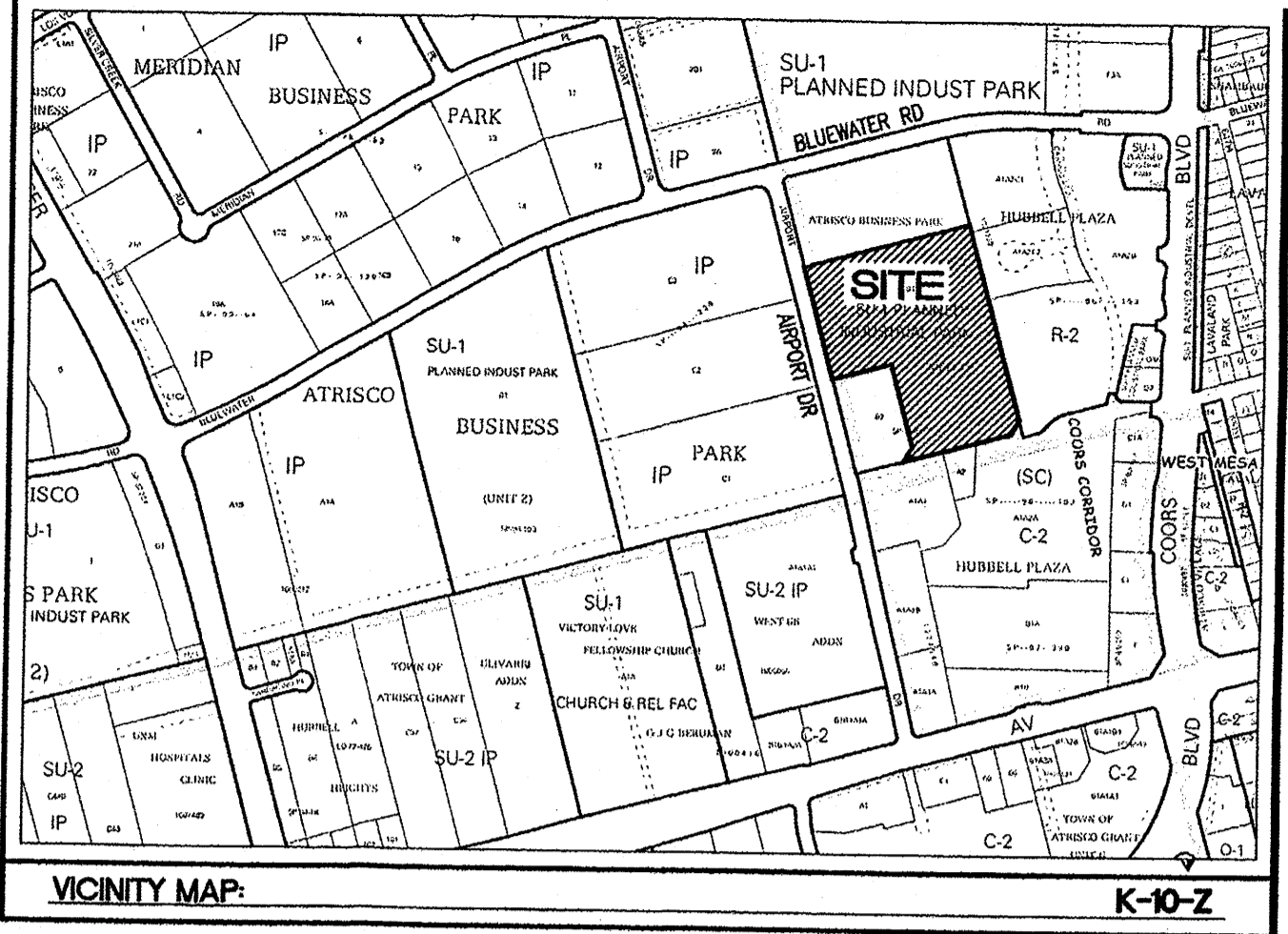
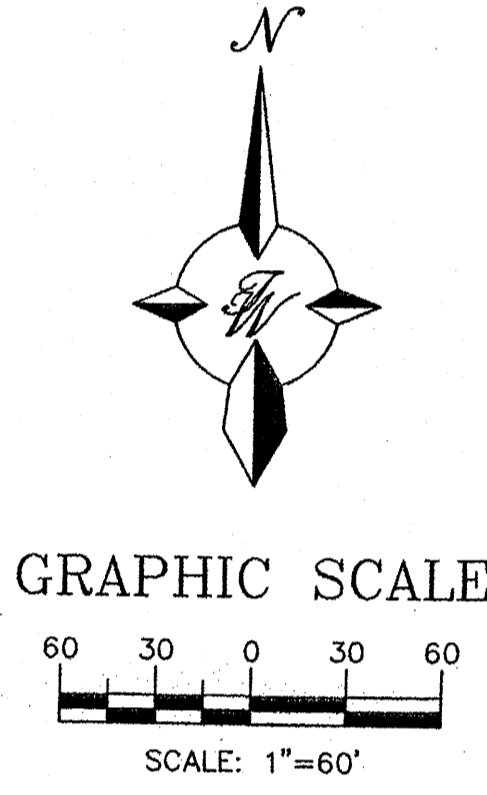
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Sheet Name:  
**DETAILS**

Sheet Number:



**CAUTION:**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



**Legend**

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD INFO PER PLAT OF RECORD (816-153, 07/06/79)
⊙	FOUND MONUMENT AS INDICATED
○	SET BATHEY MARKER WITH CAP "LS 14271"
⊕	FIRE HYDRANT
—○—	OVERHEAD UTILITY LINES
—○—	UTILITY POLE
—○—	CHAINLINK FENCE
—○—	UTILITY PEDESTAL
—○—	GUY WIRE
—○—	SIGN
—○—	WATER METER
—○—	GAS METER
—○—	ELECTRIC METER
—○—	TRANSFORMER
—○—	STORM DRAIN MANHOLE
—○—	STORM DRAIN INLET
—○—	TELEPHONE MANHOLE
—○—	EXISTING OVERHEAD UTILITIES
—○—	EXISTING UNDERGROUND UTILITIES
—○—	EXISTING GAS
—○—	EXISTING SANITARY SEWER LINE
—○—	EXISTING WATER LINE
—○—	EXISTING STORM SEWER LINE

**Notes**

- FIELD SURVEY PERFORMED IN DECEMBER 2012.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID).
- PVC PIPES AS SHOWN HEREON MAY HAVE BEEN USED PREVIOUSLY FOR WATERLINE OR ELECTRICAL CONDUIT.
- ALL EXISTING ONSITE IMPROVEMENTS (INCLUDING LANDSCAPING & PLANTINGS) WITHIN THE LIMITS OF ONSITE DEMOLITION SHALL BE REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- REFERENCE OFF-SITE IMPROVEMENT PLAN SHEETS FOR ADDITIONAL REMOVALS NOT COVERED BY THIS ON-SITE DEMOLITION PLAN.
- ALL WEATHER ACCESS TO EXISTING BUSINESSES WITHIN THE CENTER SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING BUSINESS OWNERS PRIOR TO REMOVALS THAT DIRECTLY AFFECT THEIR PROPERTY OR ACCESS TO THEIR BUSINESS.
- UNDER GROUND UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON AS-BUILT INFORMATION. EXACT LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR.
- IT IS RECOMMENDED THAT THE CONTRACTOR VISIT THE SITE PRIOR TO SUBMITTING A BID TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS.
- EXISTING SILT FENCE NOT SHOWN FOR CLARITY
- EXISTING ON-SITE POWER POLES & GUY WIRES TO REMAIN UNLESS OTHERWISE NOTED.

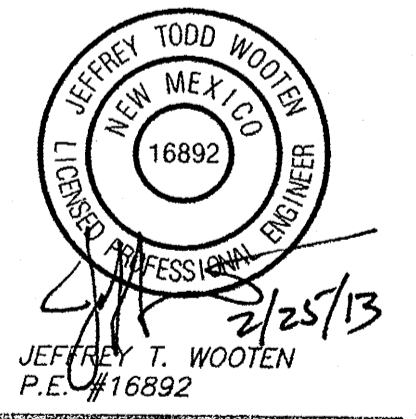
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A NEW TERMINAL FOR:  
**OLD DOMINION FREIGHT LINE**  
 330 Airport Rd NW  
 Albuquerque, NM 87121

Issue for Permit: xx-xx-xx



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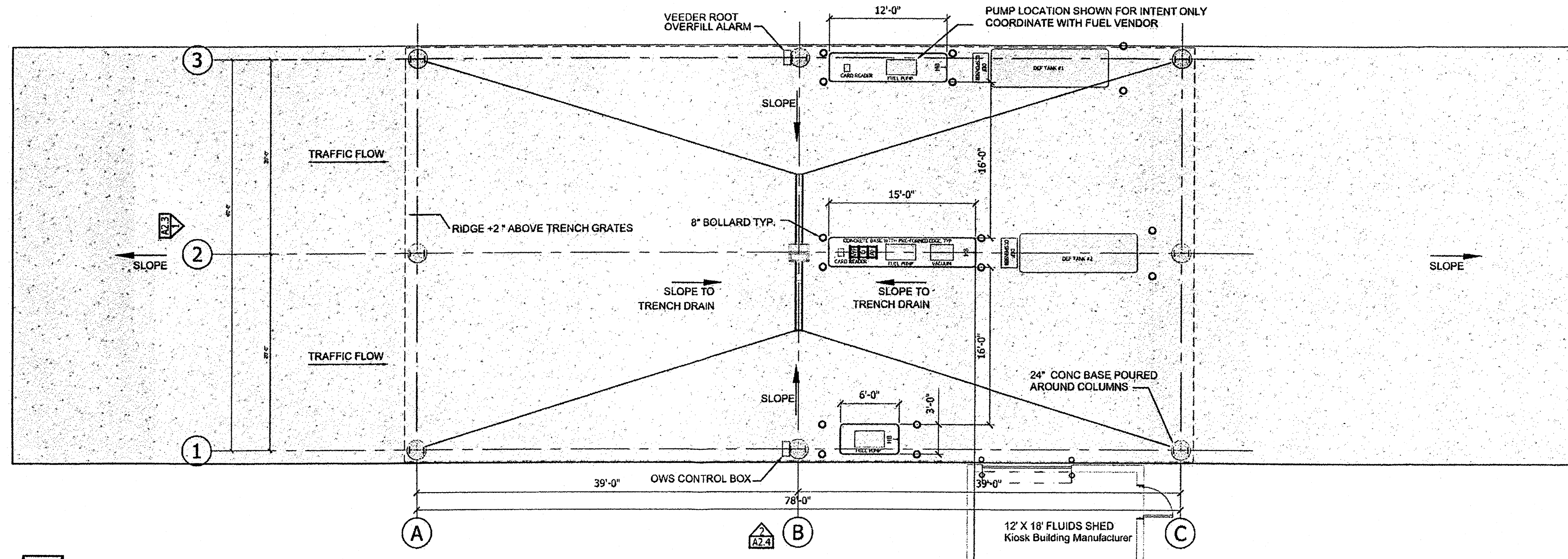
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Sheet Name:  
**DEMOLITION PLAN**

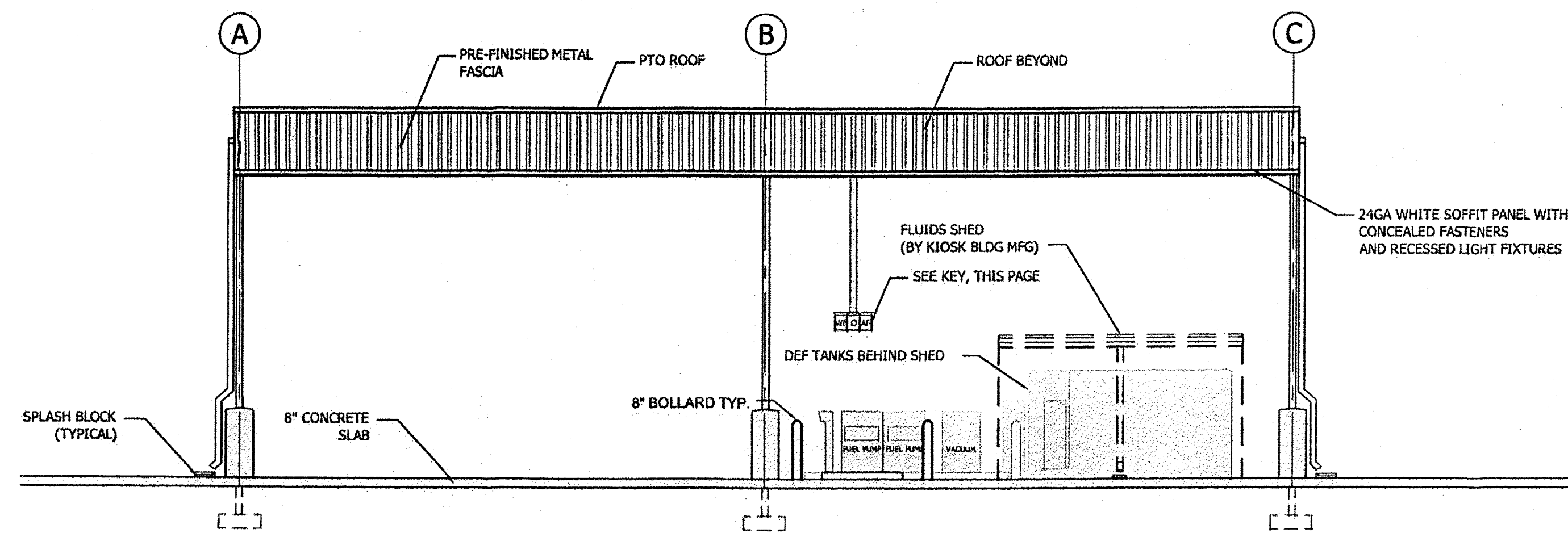
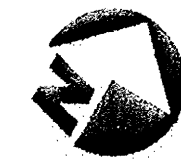
Sheet Number:  
**C6**

KEY	
HB	- HOSE BIB
WF	- WASHER FLUID
O	- OIL
AF	- ANTI-FREEZE



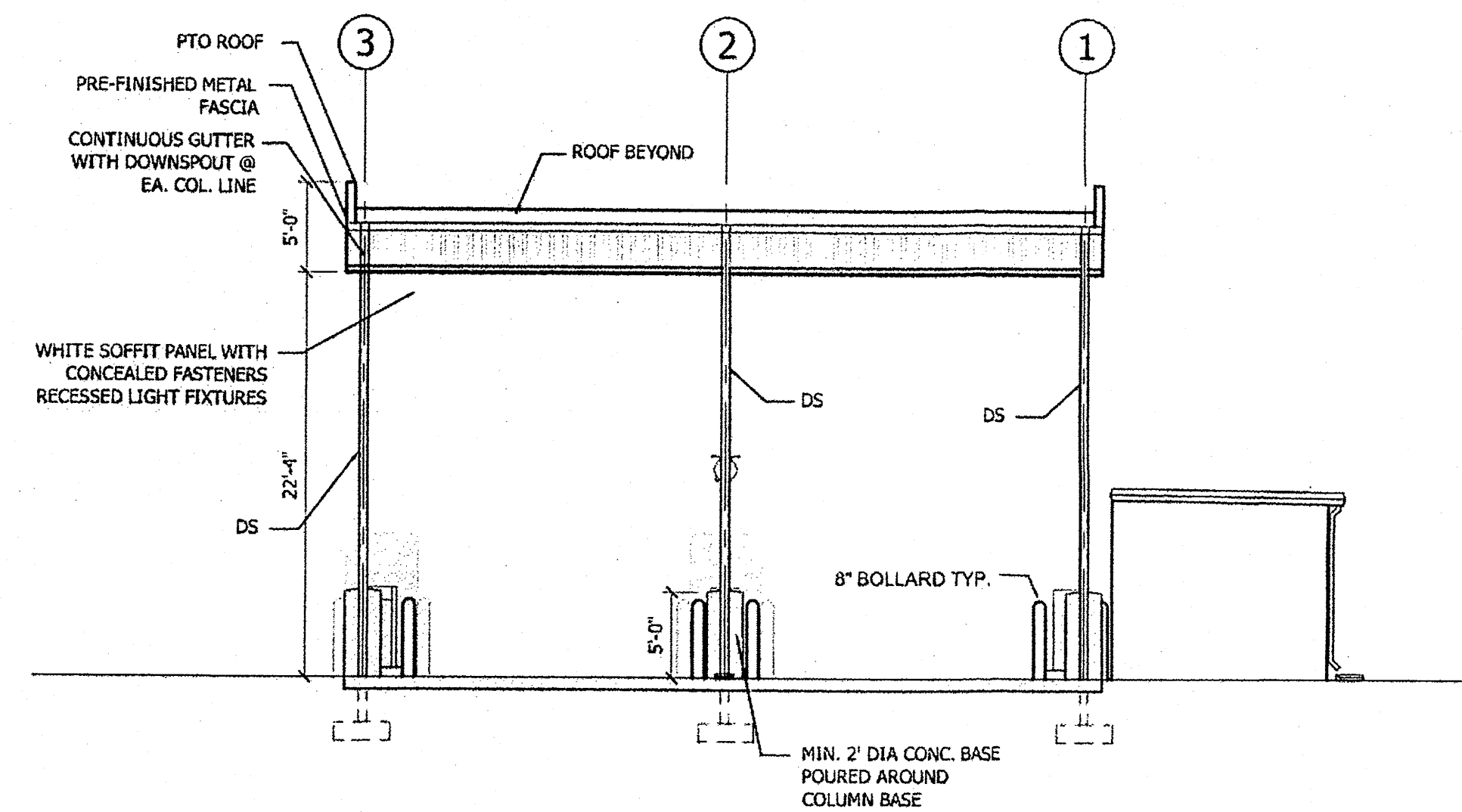
**3 FUEL ISLAND PLAN**

SCALE - 11X17 - NO SCALE  
24X36 - 1/8" = 1'-0"



**2 SIDE ELEVATION**

SCALE - 11X17 - NO SCALE  
24X36 - 1/8" = 1'-0"



**1 END ELEVATION**

SCALE - 11X17 - NO SCALE  
24X36 - 1/8" = 1'-0"



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NM LICENSE #005181 EXP 12-31-2013  
Architect: David J. Mollenkopf

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A NEW TERMINAL FOR:  
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FREIGHT LINE**  
330 Airport Road NW  
Albuquerque, NM 87121



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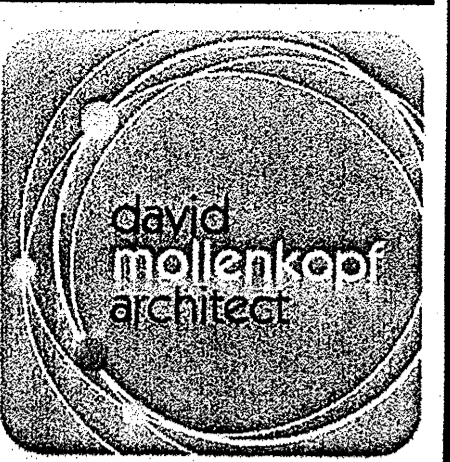
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Sheet Name:  
Fuel Island

Sheet Number:

**A2.4**



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**OLD DOMINION  
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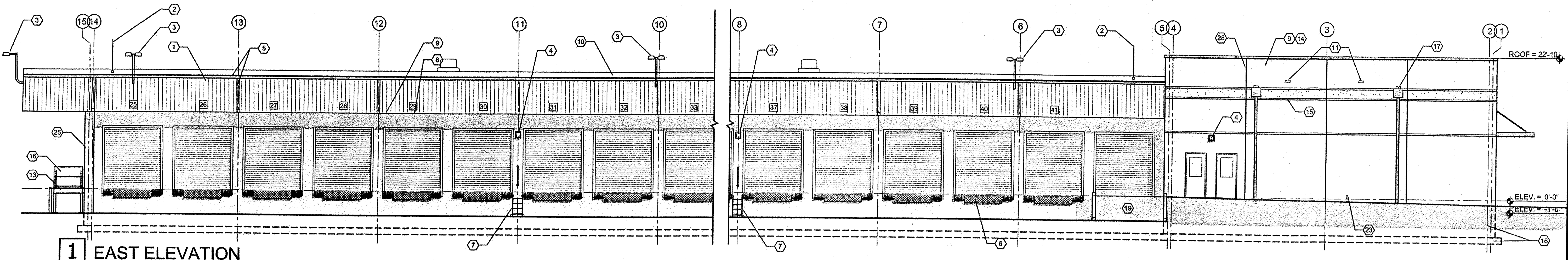
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Sheet Name:  
Building Elevations

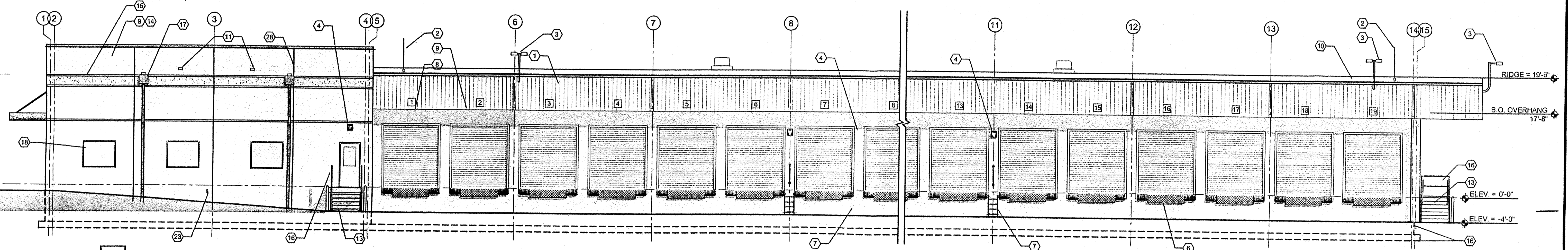
Sheet Number:

**A3.1**



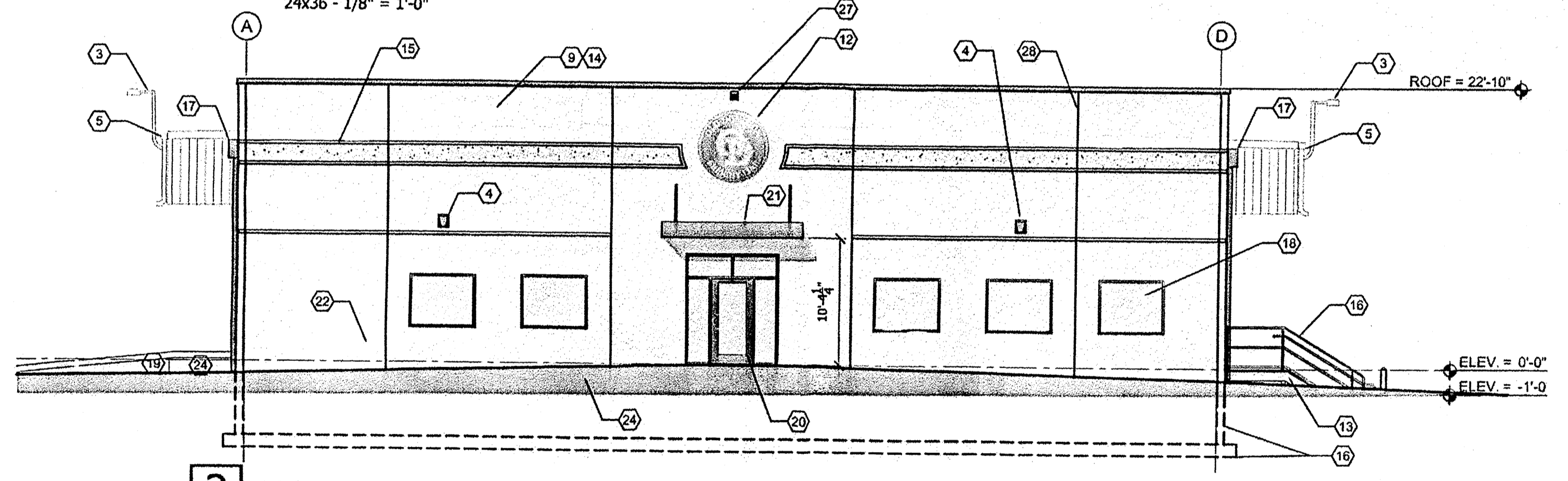
**1 EAST ELEVATION**

SCALE - 11X17 - NO SCALE  
24x36 - 1/8" = 1'-0"



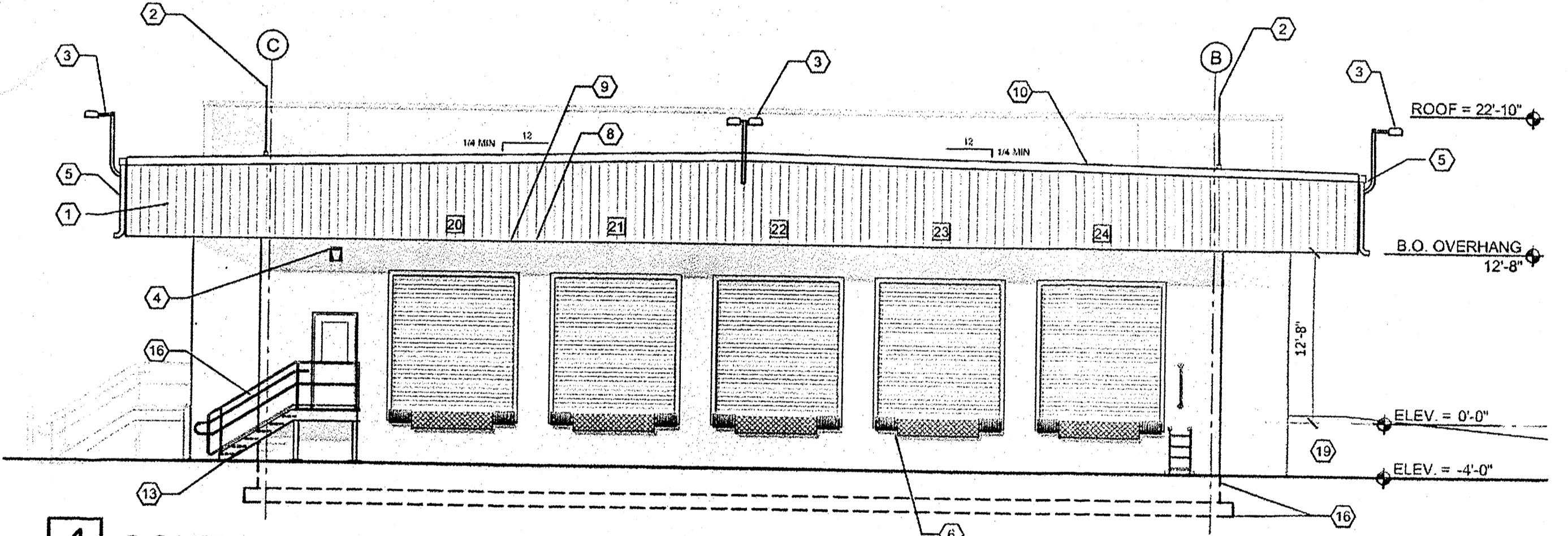
**2 WEST ELEVATION**

SCALE - 11X17 - NO SCALE  
24x36 - 1/8" = 1'-0"



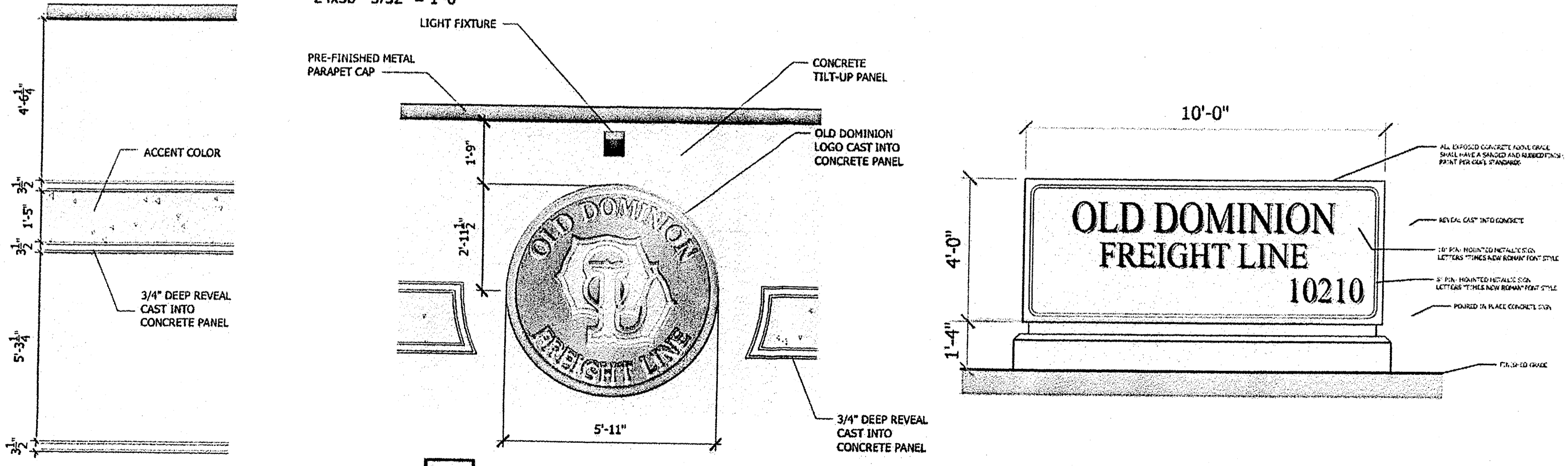
**3 NORTH ELEVATION**

SCALE - 11X17 - NO SCALE  
24x36 - 3/32" = 1'-0"



**4 SOUTH ELEVATION**

SCALE - 11X17 - NO SCALE  
24x36 - 3/32" = 1'-0"

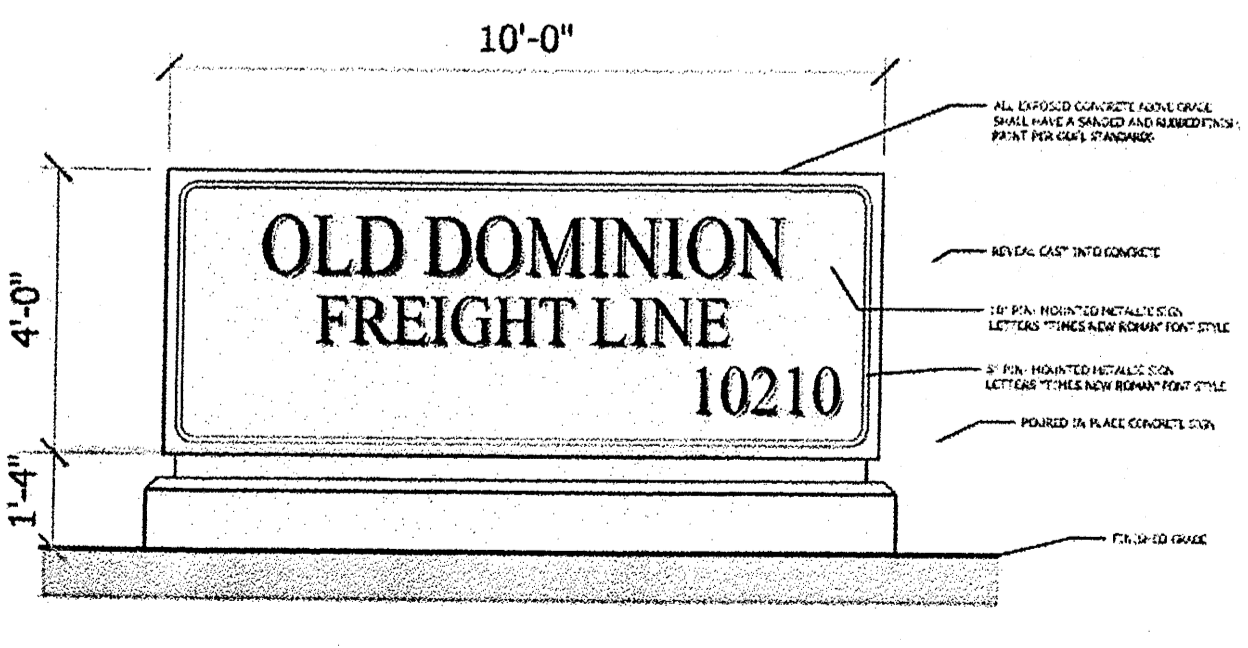


**5 REVEAL DETAIL**

SCALE - 11X17 - NO SCALE  
24x36 - 3/8" = 1'-0"

**6 LOGO**

SCALE - 11X17 - NO SCALE  
24x36 - 3/8" = 1'-0"



**7 MONUMENT SIGN**

SCALE - 11X17 - NO SCALE  
24x36 - 3/8" = 1'-0"

**GENERAL NOTES**

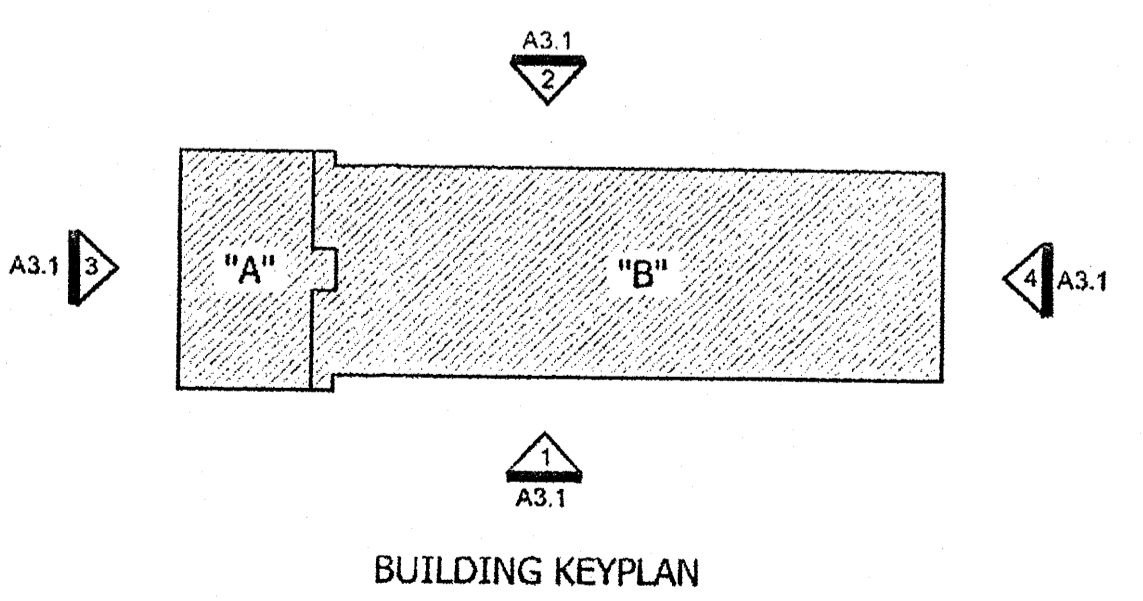
PANEL JOINTS MAY VARY FROM SHOWN

**KEY NOTES**

- 1 PRE-FINISHED METAL FASCIA
- 2 DISPATCH ANTENNA. SEE ROOF PLAN. SEE DETAIL 7/A8.1
- 3 POLE MOUNTED LIGHT FIXTURE. SEE DETAIL 6/A8.1
- 4 EXTERIOR WALL-PACK LIGHT FIXTURE (SEE ELECT. DWGS. FOR TYPE). MOUNT BOTTOM OF FIXTURE 11'-0" A.F.F.
- 5 CONTINUOUS GUTTER AND DOWNSPOUTS
- 6 EDGE OF DOCK LEVELERS WITH BUMPERS - DLM EDD 3811WB 72" NEVER LIFT
- 7 DOCK LADDER AND GRAB BAR (GALVANIZED STEEL) FOR ADDITIONAL FRAMING REQUIREMENTS. SEE DETAILS 3/A8.2
- 8 DOCK NUMBER SIGN SEE DETAIL 6/A8.1
- 9 CONCRETE TILT-WALL PANEL WITH ARCHITECTURAL FINISH AT EXTERIOR. SEE FINISH SCHEDULE FOR PAINT COLOR. CALC. INTERIOR AND EXTERIOR OF PANEL JOINTS. TYP.
- 10 TPO MEMBRANE ROOF. SLOPE 1/4" PER FOOT, MINIMUM
- 11 ROOF OVERFLOW DRAIN - INLET HEIGHT NOT TO EXCEED 2" ABOVE LOW POINT OF ROOF
- 12 BUILDING SIGNAGE CAST INTO CONCRETE TILT-WALL PANEL. SEE DETAIL THIS PAGE
- 13 GALVANIZED STEEL STAIR. SEE DETAILS ON SHEET AS.2
- 14 CONCRETE TILT-WALL. EXTEND PANEL 4'-0" ABOVE FINISHED ROOF RIDGE TO CREATE PARAPET WALL
- 15 REVEAL IN TILT-WALL PANEL. PAINT INSIDE OF REVEAL. SEE FINISH SCHEDULE FOR TILT WALL ACCENT COLOR.
- 16 GALVANIZED HANDRAILS. SEE DETAIL SHEET AS.2
- 17 SCUPPER BOX AND DOWNSPOUT
- 18 ALUMINUM STOREFRONT WINDOW. SEE WINDOW SCHEDULE.
- 19 CONCRETE LOADING RAMP. SEE DETAIL SHEET AS.2
- 20 ALUMINUM STOREFRONT ENTRANCE. SEE WINDOW SCHEDULE.
- 21 2 RECESSED ENTRY LIGHT FIXTURES IN CANOPY. SEE ELECTRICAL DRAWINGS.
- 22 PAINTED METAL RAILING
- 23 HOSE BIB, SEE PLUMBING
- 24 CONCRETE WALKWAY
- 25 BUTTRESS PANEL. SEE CIVIL
- 26 BELOW GRADE PANEL & FOUNDATION. SEE STRUCTURAL.
- 27 XTOR GROSSOUR LED 30W WALL PACK
- 28 SEE STRUCTURAL FOR PANEL JUNCTION LOCATIONS

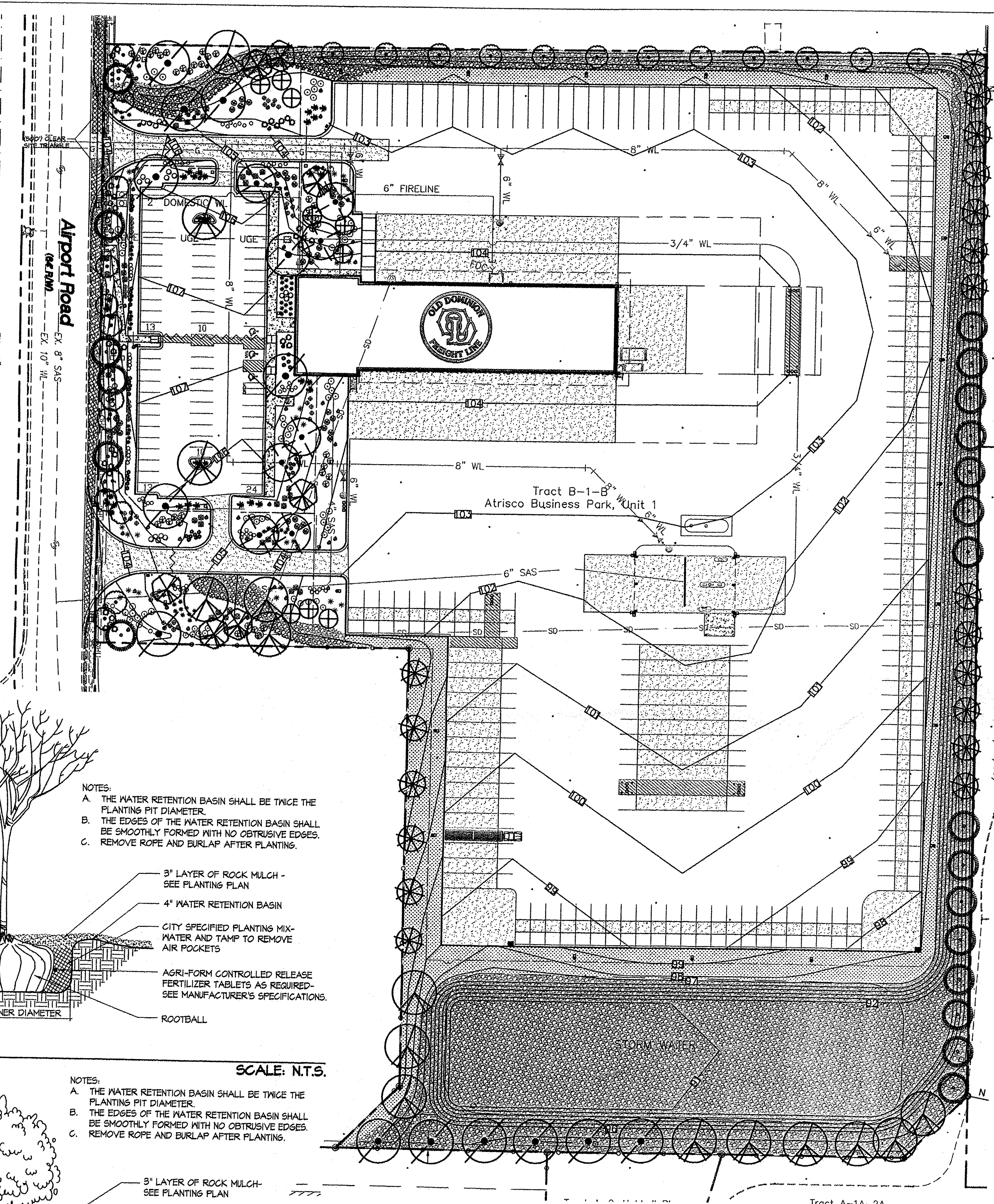
EXTERIOR WALLS  
CONCRETE TILT OR PRECAST-WALL PANELS - TEX-COTE XL70. COLOR TO BE ICI "CANVAS CLOTH 40YY 6306"  
ACCENT COLOR TO BE ICI "BURNESE BEIGE 40YY 5148K"

EXTERIOR METAL  
OFFICE PARAPET COPING - DARK BRONZE TO MATCH STOREFRONT  
OFFICE SCUPPERS AND DOWNSPOUTS - DARK BRONZE TO MATCH STOREFRONT  
TERMINAL COPING AND FASCIA - WHITE  
TERMINAL SCUPPERS AND DOWNSPOUT - WHITE



**BUILDING KEYPLAN**





**GENERAL LANDSCAPE NOTES**

**IRRIGATION SYSTEM**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB, AND GROUND-COVER PLANTING AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**MAINTENANCE RESPONSIBILITY**  
 MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM, INCLUDING THOSE AREAS WITHIN THE PUBLIC R.O.M., SHALL BE THE RESPONSIBILITY OF THE OWNER.

**WATER CONSERVATION ORDINANCE COMPLIANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

**PNM COORDINATION**  
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**LANDSCAPE COVERAGE**

<b>LANDSCAPE CALCULATIONS</b>	
SITE AREA: (1185 AC.)	516,176 SF
BUILDING FOOTPRINT	-14,815 SF
STORAGE/SCREENED AREA	-419,681 SF
<b>NET LOT AREA:</b>	<b>76,702 SF</b>
*REQUIRED LANDSCAPE (20%):	15,340 SF
<b>PROVIDED LANDSCAPE:</b>	
ON-SITE LANDSCAPE	(35%) 173,716 SF
OFF-SITE LANDSCAPE	1,034 SF
TOTAL LANDSCAPE PROVIDED:	174,750 SF
<b>PROVIDED ON-SITE LANDSCAPE:</b>	
(MINUS STORAGE/SCREENED AREA)	173,716 SF
TOTAL PROVIDED LANDSCAPE BEDS	-136,222 SF
	37,554 SF
<b>REQUIRED LIVE VEGETATIVE COVER (15%)</b>	<b>28,166 SF</b>
*PROVIDED LIVE VEGETATIVE COVER	50,299 SF
*(THE PERCENTAGE IS CALCULATED ON THE MATURE CANOPY SIZE OF ALL PLANT MATERIALS)	

**PARKING LOT TREES\***  
 OLD DOMINION IS PROVIDING TO PARKING SPACES IN INITIAL DEVELOPMENT. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

**PARKING LOT TREES REQUIRED:** 7  
**PARKING LOT TREES PROVIDED:** 7

**STREET TREES\***  
 AIRPORT ROAD IS 415'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. THE REQUIRED TREES ARE INFORMALLY CLUSTERED WITH NO MORE THAN A 50' GAP BETWEEN GROUPINGS.

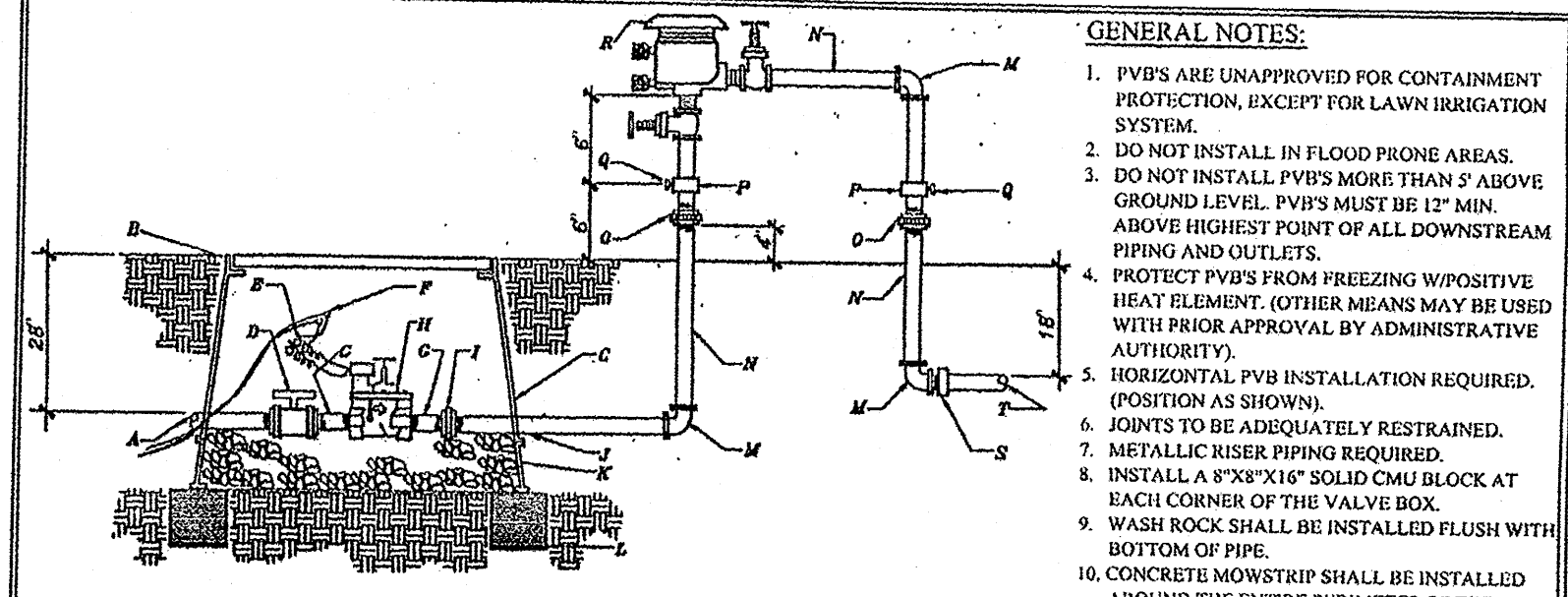
**REQUIRED:** 14 (25' CANOPY TREES) = 415' LF OF TREE CANOPY PROVIDED. 715 (VARYING CANOPY TREES) = 440' LF OF TREE CANOPY (150' LINEAR FEET OF CANOPY IS PROVIDED BY EVERGREEN TREES, MEETING THE 10/30 MIX OF DECIDUOUS TO EVERGREEN TREE REQUIREMENT.)

**BUFFER LANDSCAPING\***  
 THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSISTS OF EVERGREEN TREES WHICH ARE SPACED AT A MAXIMUM OF 30' O.C. SIDE YARD BUFFERS ADJACENT TO INDUSTRIAL PROPERTIES CONSIST OF DECIDUOUS TREES SPACED AT A MAXIMUM OF 40' O.C.

\*PER THE ATRISCO BUSINESS PARK DEVELOPMENT LANDSCAPE STANDARDS

**NOTE:**  
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
<b>TREES</b>					
7	⊗	CHILOPSIS LINEARIS DESERT WILLOW	24" BOX	10' HT. X 6' SFR. 20' HT. X 25' SFR.	LOW +
4	⊕	FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL.	8' HT. X 5' SFR. 15' HT. X 15' SFR.	MEDIUM
15	⊖	PISTACHIA CHINENSIS CHINESE PISTACHE	3" B4B	14' HT. X 6' SFR. 50' HT. X 50' SFR.	MEDIUM
14	⊖	FRAXINUS VELUTINA MODESTO' MODESTO ASH	2.5" B4B	14' HT. X 6' SFR. 40' HT. X 40' SFR.	MEDIUM +
7	⊕	ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B4B	16' HT. X 6' SFR. 40' HT. X 30' SFR.	MEDIUM
21	⊖	PINUS NIGRA AUSTRIAN PINE	2" B4B	10' HT. X 6' SFR. 35' HT. X 25' SFR.	MEDIUM
14	⊗	PINUS FLEXILIS LIMBER PINE	2" B4B	10' HT. X 6' SFR. 30' HT. X 20' SFR.	MEDIUM
25	⊖	PYRUS CALLERYANA FLOWERING PEAR	2" B4B	10' HT. X 6' SFR. 25' HT. X 10' SFR.	MEDIUM
<b>SHRUBS/GROUNDCOVERS</b>					
44	⊖	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	1-GAL.	5' O.C. 4' HT. X 5' SFR.	LOW
34	⊕	CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW
40	⊕	FALLUGIA PARADOXA APACHE PLUME	5-GAL.	5' O.C. 4' HT. X 5' SFR.	LOW
27	*	HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	4' O.C. 3' HT. X 4' SFR.	MEDIUM
34	*	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIFER (FEMALE)	5-GAL.	5' O.C. 2' HT. X 5' SFR.	LOW +
30	⊖	LAVENDULA ANGSTIFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3' SFR.	MEDIUM
30	⊗	PEROVSKIA A. 'LITTLE SPIRE' DWARF RUSSIAN SAGE	5-GAL.	4' O.C. 3' HT. X 4' SFR.	MEDIUM
67	⊖	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 2' HT. X 3' SFR.	LOW +
16	⊖	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	4' O.C. 4' HT. X 4' SFR.	LOW +
30	*	ROSMARINUS OFFICINALIS ROSEMARY	5-GAL.	5' O.C. 5' HT. X 5' SFR.	LOW +
45	⊕	SALVIA GREGGII CHERRY SAGE	5-GAL.	3' O.C. 3' HT. X 3' SFR.	MEDIUM
<b>ORNAMENTAL GRASSES</b>					
53	*	CALAMAGROSTIS KARL FOERSTER'S FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SFR.	LOW +
52	*	MULHENBERGIA CAP. 'REGAL MIST' MUHLY GRASS	5-GAL.	3' O.C. 3' HT. X 3' SFR.	MEDIUM
<b>SEED, MULCHES, &amp; BOULDERS</b>					
35,071 SF	⊖	NATIVE RE-VEGETATIVE SEED MIX			
43,754 SF	⊖	2"-4" BUILDOLGY BROWN COBBLE MULCH (6" DEPTH OVER DEWITT PRO-5 NEED CONTROL FABRIC)			
46,045 SF	⊖	1" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DEWITT PRO-5 NEED CONTROL FABRIC)			
52	⊖	MOSS ROCK BOULDERS (3'X3' MINIMUM)			



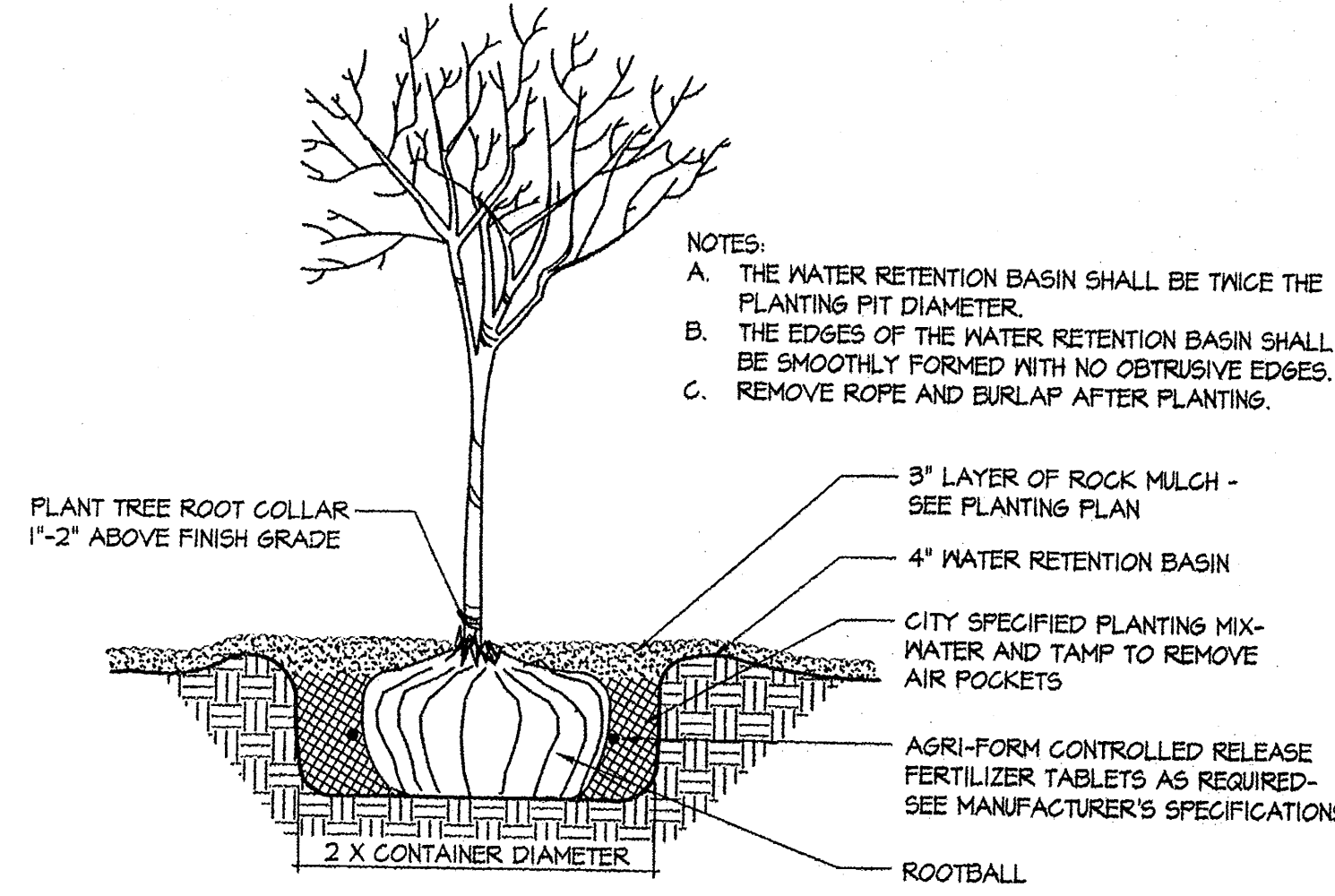
**GENERAL NOTES:**

- PVB'S ARE UNAPPROVED FOR CONTAMINATION PROTECTION, EXCEPT FOR LAWN IRRIGATION SYSTEMS.
- DO NOT INSTALL PVB'S IN FLOOD PRONE AREAS.
- DO NOT INSTALL PVB'S MORE THAN 5' ABOVE GROUND LEVEL. PVB'S MUST BE 12" MIN. ABOVE HIGHEST POINT OF ALL DOWNSTREAM PIPING AND OUTLETS.
- PROTECT PVB'S FROM FREEZING W/ POSITIVE HEAT ELEMENT. (OTHER MEANS MAY BE USED WITH PRIOR APPROVAL BY ADMINISTRATIVE AUTHORITY.)
- HORIZONTAL PVB INSTALLATION REQUIRED. (POSITION AS SHOWN).
- JOINTS TO BE ADEQUATELY RESTRAINED.
- METALLIC RISER PIPING REQUIRED.
- INSTALL A 3/8"X1/2" SOLID CMU BLOCK AT EACH CORNER OF THE VALVE BOX.
- WASH ROCK SHALL BE INSTALLED FLUSH WITH BOTTOM OF PIPE.
- CONCRETE MONORAIL SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE MASTER VALVE AND PVB ASSEMBLY. MONORAIL SHALL BE A MIN. OF 12" FROM PIPING AND VALVE BOX (OPTIONAL, DEPENDING ON APPLICATION).

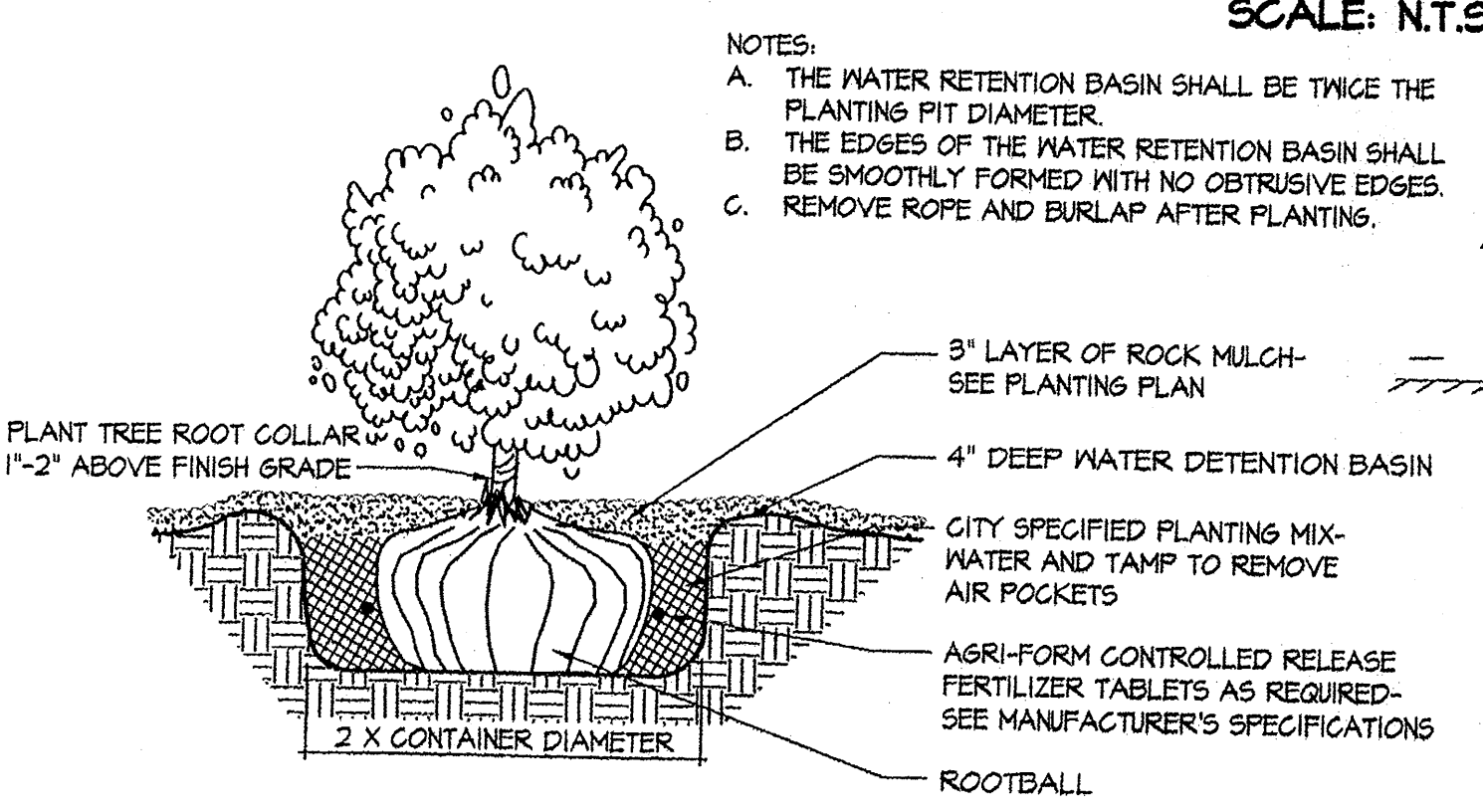
**CONSTRUCTION NOTES:**

- SERVICE LINE TO WATER METER, NO OUTLETS ALLOWED
- FINISH GRADE, MATERIAL VARIES REFERENCE PLANS
- BRUKER PRODUCTS INC., 1730 PB-18 BODY (ABS) VALVE BOX W/ BOLT DOWN COVER (ABS) AND ONE 8" EXTENSION
- SPEARS TRUE UNION SCHEDULE 80 PVC BALL VALVE
- 3/4" WIRE EXPANSION COIL
- 3M SNOTCH LOCK
- SCHEDULE 80 PVC 4" NIPPLE
- ELECTRIC VALVE (REFERENCE DRAWINGS FOR SIZE)
- SPEARS SCHEDULE 80 PVC UNION
- SCHEDULE 80 PVC NIPPLE 3' MIN.
- 1" DIAMETER WASHED ROCK
- 3/8"X1/2" SOLID CMU BLOCK
- GALVANIZED BOLL
- GALVANIZED NIPPLE
- GALVANIZED UNION (MIN. 4" ABOVE GRADE)
- GALVANIZED TEE
- BALL BEARING CHAMFER D1055 1/2"
- PVB BACKFLOW PREVENTER (REFERENCE DRAWINGS)
- PVC MIF ADAPTER
- NON-CONSTANT PRESSURE IRRIGATION MAINLINE

CITY OF ALBUQUERQUE  
 12911  
 3992  
 12992  
 LANDSCAPE  
 MASTER VALVE W/ PVB  
 DWG. 2702  
 JAN. 1991



**TREE PLANTING**  
 SCALE: N.T.S.



**SHRUB PLANTING**  
 SCALE: N.T.S.

Scale: 1" = 50'

25 0 50 100

**CONSENSUS PLANNING, INC.**  
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 e-mail: cp@consensusplanning.com

ENGINEER'S SEAL	<b>OLD DOMINION ALBUQUERQUE, NM</b>	DRAWN BY	GS
		DATE	2-26-13
	<b>PLANTING PLAN</b>	DRAWING NO	2013002-SPB
		SHEET #	LS-3
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB #	2012006
RONALD R. BOHANNAN P.E. #7868			