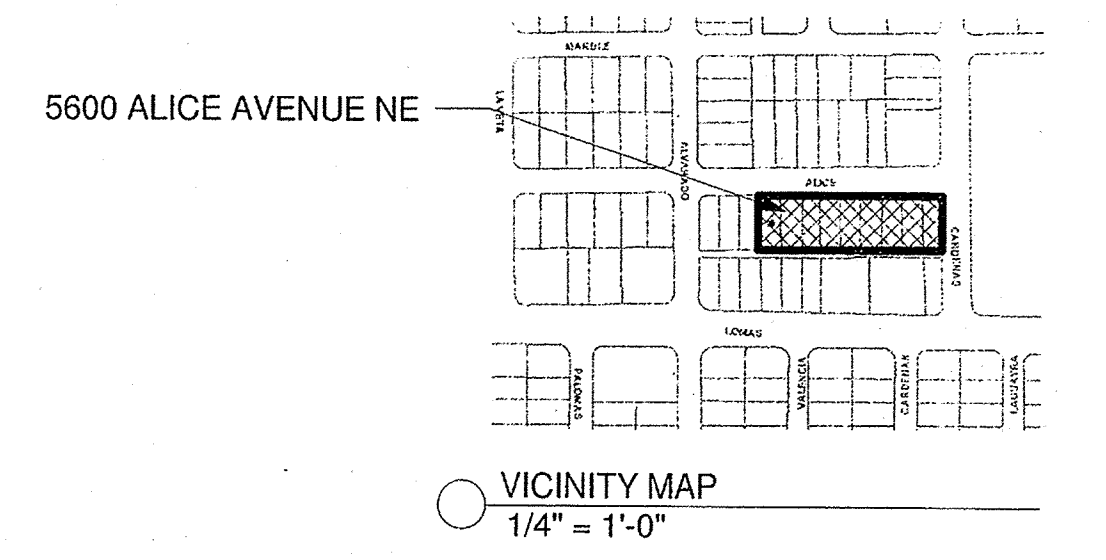
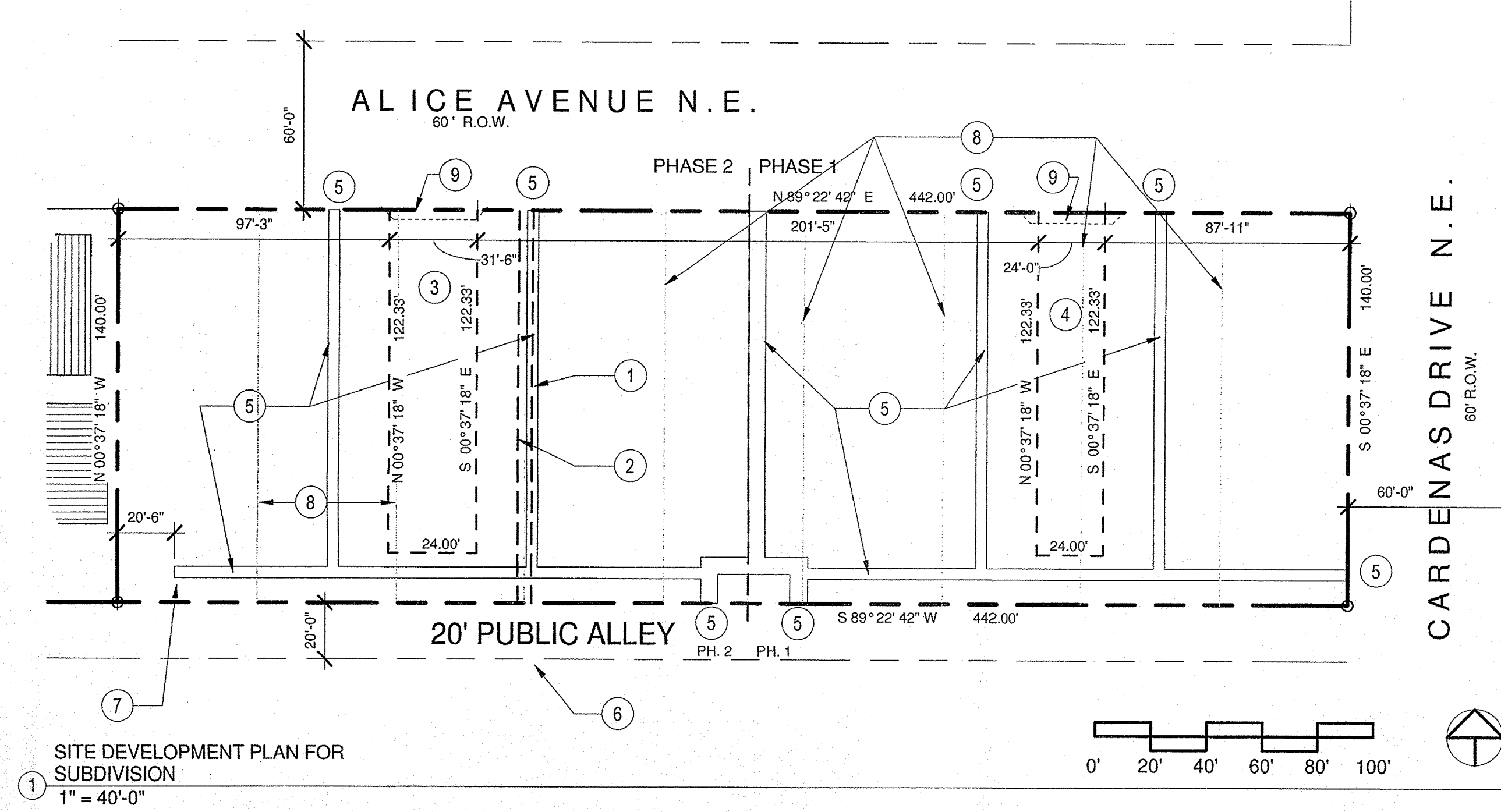


SITE DEVELOPMENT PLAN FOR SUBDIVISION 5600 ALICE AVENUE NORTHEAST



- KEYED NOTES**
- 2.5' UTILITY EASEMENT FILED; MARCH 14, 1941 VOLUME C1, FOLIO 23
 - 2.5' UTILITY EASEMENT FILED; FEBRUARY 19, 1948 VOLUME B, FOLIO 92
 - 31'-6" WIDE VEHICULAR INGRESS & EGRESS
 - 24'-0" WIDE VEHICULAR INGRESS & EGRESS
 - 4'-0" WIDE PEDESTRIAN INGRESS & EGRESS POINTS AND INTERNAL CIRCULATION
 - EXTENT OF ALLEY
 - SIDEWALK TERMINATES AT PARALLEL PARKING SPACE OFF OF ALLEY
 - EXISTING PROPERTY LINES TO BE REMOVED @ PLAT ACTION (TYP.)
 - PROPOSED PEDESTRIAN ACCESS EASEMENT

SHEET LIST

Sheet Number	Sheet Name
DRB-1.0	SITE DEVELOPMENT PLAN FOR SUBDIVISION

INTRODUCTION
DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONING CODE.

1. SITE DESIGN
A. OVERALL LAYOUT OF SITE AND BUILDINGS, RELATIONSHIP TO ADJACENT SITE
THE REPLAT WILL CONSOLIDATE ALL NINE LOTS INTO ONE. THE TOWNHOUSE BUILDINGS SHALL BE ARRANGED ALONG AN EAST-WEST AXIS. THE FOUR SIMILAR TOWNHOUSE BUILDINGS SHALL BE SITUATED WITH THEIR FRONT ENTRIES FACING TWO PRIVATE VEHICULAR LANES. 4' NORTH-SOUTH PEDESTRIAN WALKWAYS CONNECT TO PUBLIC SIDEWALK AND PROVIDE CIRCULATION BETWEEN UNITS. PRIVATE COURTYARDS SHALL BE A FEATURE OF EVERY TOWNHOUSE. TOWNHOUSE BUILDING "A" COURTYARDS ALONG CARDENAS DRIVE SHALL BE OPEN AND INTERACT WITH THE PUBLIC WAY THERE. BUILDING THREE BEDROOM UNITS AT THE ALICE FRONTAGE SHALL PROVIDE A SCALING DOWN OF THE BUILDING MASS TO THE EXISTING NEIGHBORHOOD TO THE NORTH. A CENTRALLY LOCATED LANDSCAPED CORRIDOR AREA SHALL BE ACCESSIBLE FROM FACING BUILDINGS "B" AND "C" ALL UNITS AS WELL AS THE STREET VIA AN 8' SIDEWALK.

B. BUILDING PLACEMENT, ORIENTATION, SETBACKS
BUILDING FRONT ENTRIES SHALL FACE PRIVATE LANES WITH 4' PEDESTRIAN WALKWAYS. SETBACKS FROM ALICE AVENUE SHALL BE 10'; SETBACK FROM CARDENAS DRIVE AND THE PAVED ALLEY SHALL BE 15'. BUILDING HEIGHTS RANGE FROM 14' AT SINGLE STORY PEAK TO 24' TO PEAK AT TWO STORY.

C. PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)
BUILDING MASSING IS ARRANGED TO MELD THE DEVELOPMENT WITH THE EXISTING FABRIC OF THE SURROUNDING CITY BLOCKS. PERIMETER PEDESTRIAN ACCESS LIES NORTH AND EAST CONNECTING THE SITE WITH THE SURROUNDING AND ADJACENT EXISTING SIDEWALKS. EXISTING PAVED ALLEY TO THE SOUTH PROVIDES VEHICULAR ACCESS TO PARALLEL PARKED GUEST PARKING SPACES AND REFUSE ENCLOSURE. THE CENTRAL REFUSE BIN IS ACCESSED BY THE SAME SYSTEM OF WALKWAYS. INTERNAL TO THE SITE, SIDEWALKS CONNECT EACH TOWNHOUSE WITH ITS NEIGHBOR. THE PUBLIC SIDEWALK TO THE NORTH AND THE ON-SITE PEDESTRIAN SIDEWALK THAT PARALLELS THE ALLEY TO THE SOUTH.

D. PARKING LOCATION AND DESIGN
OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. TWO PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO BEDROOM UNITS. FOUR PARKING SPACES ARE PROVIDED FOR AT THE THREE BEDROOM UNIT; TWO IN THE DRIVEWAY AND TWO IN THE GARAGE. PARALLEL PARKING SPACES PROVIDE GUEST PARKING ALONG THE EAST-WEST PAVED ALLEY. A GROVE OF TREES PROVIDES FOR SHADING OF AUTOMOBILES AND FURTHER PROMOTES THE RESIDENTIAL CHARACTER OF THE VEHICULAR LANES.

E. PUBLIC OUTDOOR SPACES
THE PEDESTRIAN WALKWAY ALONG THE ALLEY LEADS TO BUS TRANSIT ROUTE AT THE ARTERIAL STREET 160' SOUTH OF THE SITE. THE CENTRAL CORRIDOR BETWEEN BUILDING "B" AND "C" MEASURES OVER 50' IN WIDTH AND SHALL BE LANDSCAPED. ALONG WITH ITS LOWER COURTYARD WALLS AND ACCESS GATES THE DESIGN WILL FURTHER PROMOTE THE SENSE OF NEIGHBORHOOD WITH OPPORTUNITIES FOR INTERACTION.

F. DUMPSTER AND SERVICE AREA LOCATIONS AND SCREENING
REFUSE ENCLOSURE IS LOCATED IN THE CENTER OF THE SITE. IT IS ACCESSED VIA THE ALLEY. 6'-0" TALL SCREEN WALLS CONSIST OF STUCCO ON CONCRETE BLOCK. THE ENCLOSURE WILL BE OPEN TO THE ALLEY FOR ROLL-OUT CONTAINERS.

F. LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS
ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. WITH THE EXCEPTION OF THE WALLS ALONG CARDENAS DRIVE, ALL WALLS SHALL BE 6'-0" IN HEIGHT; THEY SHALL BE EITHER STUCCO ON BLOCK OR PAINTED BLOCK. THEY SHALL PROVIDE PRIVACY FOR THE RESIDENTS. WALLS ALONG CARDENAS SHALL BE LOCATED ON THE PROPERTY LINE AND SHALL BE 5'-0" IN HEIGHT. CARDENAS WALLS SHALL BE STUCCO ON BLOCK AND PROVIDE OPENINGS FOR WOOD OR METAL GATES. CARDENAS COURTYARDS SHALL BE OPEN TO AND PROVIDE ACCESS TO THE PUBLIC WAY.

G. LOCATION, HEIGHT AND DESIGN AND PURPOSE OF LIGHTING
LIGHTING SHALL COMPLY WITH THE NIGHT SKY ORDINANCE AND ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. DUSK-TO-DAWN DRIVEWAY LIGHTING SHALL BE MOUNTED AT 7'-6" HEIGHT. LIGHTING SHALL NOT SHINE INTO ANY ADJACENT PROPERTIES. THE SOUTH PEDESTRIAN WALKWAY SHALL BE ILLUMINATED BY BUILDING MOUNTED DUSK-TO-DAWN HOODED LIGHTING @ 16' ABOVE GRADE.

H. SCREENING/BUFFERING TECHNIQUES
SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT.

I. "GREEN" FEATURES
WATER HARVESTING PONDS SHALL STORE DRAINAGE ON SITE RATHER THAN DEPOSITING INTO THE STREET.

2. STREET REALM
A. TRANSIT, BICYCLE, PEDESTRIAN AMENITIES
THE SITE IS ACCESSIBLE TO MAJOR TRANSIT ROUTES ON LOMAS AND SAN MATEO, BOTH SIX LANE ARTERIALS, AS WELL AS SAN PEDRO, A FOUR LANE ARTERIAL. CITY OF ALBUQUERQUE "ABO RIDE" BUS STOP IS LOCATED AT CARDENAS DRIVE AND LOMAS BLVD JUST ONE-HALF BLOCK FROM THE DEVELOPMENT. THE SITE IS ONE BLOCK EAST OF A CITY DESIGNATED BIKE ROUTE ON ALVARADO N.E.

B. LANDSCAPE BUFFERS, SIDEWALKS IN THE PUBLIC RIGHT OF WAY
SIDEWALKS, LANDSCAPE STRIPS AND STREET TREES SCREEN RESIDENCES FROM ADJACENT STREETS WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. STREET TREE TYPES AND LOCATIONS SHALL BE AS SPECIFIED IN THE LANDSCAPE SECTION OF THESE DESIGN REQUIREMENTS.

3. LANDSCAPING
LANDSCAPING SHALL COMPLY WITH THE DESIGN REQUIREMENTS OF THE CITY OF ALBUQUERQUE GENERAL LANDSCAPING REGULATIONS 14-16-3-10 AND THIS SECTION. LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. THE LANDSCAPE NETWORK CONSISTS OF:
STREETSCAPE STREET TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS. TREES ALONG THE EAST-WEST PEDESTRIAN WALKWAY. AT MINIMUM, ONE TREE IS PROVIDED PER TOWNHOUSE UNIT.

THE DOMINANT LANDSCAPE FEATURE IS A CANOPY OF TREES AT MATURITY. DECIDUOUS STREET AND PARKING TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THEY ALSO BALANCE THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE.

SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY. HOWEVER, ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.

REQUIREMENTS:
a. THE STREETSCAPE ALONG CARDENAS DRIVE SHALL CONSIST OF TREES IN THE PLANTING AREA BETWEEN THE SIDEWALK AND THE PROPERTY LINE. THESE TREES SHALL HAVE A HIGH BRANCHING CANOPY TO ALLOW CLEAR SPACE FOR PEDESTRIANS AND REDUCE POTENTIAL FOR DAMAGE FROM PASSING VEHICLES. UNDERSTORY PLANTINGS SHALL BE LIMITED TO ALLOW CLEAR PEDESTRIAN CIRCULATION AN SPACE FOR PARKED ON STREET VEHICLES.
b. THE CLEAR SITE TRIANGLE REQUIREMENT SHALL BE IMPOSED ON THE CARDENAS/ALICE AND THE CARDENAS/ALLEY INTERSECTION. A CLEAR SITE TRIANGLE AT INTERSECTIONS MUST BE MAINTAINED; WITHIN A HORIZONTAL SETBACK OF 35 FEET FROM INTERSECTING FLOW LINES OF GUTTERS, A VERTICAL CLEARANCE BETWEEN 3 AND 8 FEET MEASURED FROM THE GUTTER PAN MUST BE FREE OF VISUAL OBSTRUCTION. TREES & SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. UNDERSTORY BRANCHES FROM TREES SHALL NOT HANG LOWER THAN 8'.
c. MINI CLEAR SITE TRIANGLE REQUIREMENTS SHALL BE IMPOSED ON THE DRIVEWAY/ALICE INTERSECTIONS. SHRUBS AND TREES SHALL BE PRUNED SIMILAR TO THOSE IN THE STREET INTERSECTION CLEAR SITE TRIANGLE.

WATER CONSERVATION TECHNIQUES:
THE LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION, LANDSCAPE, POLLEN CONTROL AND WASTE WATER ORDINANCES.

4. BUILDING DESIGN
A. CONTEXT
THE PROPOSED DEVELOPMENT SITS IN AN AREA OF DIVERSE ZONING CATEGORIES. A LARGE SHOPPING CENTER LIES TO THE EAST. TO THE SOUTH OPPOSITE THE ALLEY, ARE VARIOUS COMMERCIAL USES FRONTING ON LOMAS BLVD. ACROSS ALICE AVENUE LIES A HIGH DENSITY APARTMENT PROJECT CALLED FAIR HEIGHTS. ALSO ACROSS ALICE ARE SOME OFFICE USES. THE PREDOMINANT USE, WHICH LIES TO THE WEST, NORTHWEST AND NORTH IS SINGLE FAMILY USES - R-1.

B. ARCHITECTURAL THEME OR STYLE
THE PROPOSED BUILDING DESIGN IS A PITCHED SHINGLE ROOF/FRAME-STUCCO DESIGN. IT FITS IN WITH THE PREDOMINANT BUILDING STYLES DISPLAYED BY THE RESIDENCES IN THE AREA. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK". OFF STREET PARKING TO ACCOMMODATE GUEST PARKING IS AVAILABLE THROUGHOUT THE SITE, FROM THE ALLEY.

C. BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION
THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE AN URBAN BUILDING MASSING RESPONSE TO THE SITE. THE BUILDING ARE PLACED WITH THEIR FRONT FACADES FACING EACH OTHER AND PRIVATE LANES. RATHER THAN TOWER OVER THE LANDSCAPE, THE BUILDINGS ARE ENHANCED WITH SINGLE STORY FEATURES THAT SCALE DOWN TO THE STREET/LANE LEVEL. COMPLEMENTARY STUCCO COLORS APPLIED TO ALTERNATING BUILDINGS AND COURTYARD WALLS ADD VARIETY AND FURTHER THE NEIGHBORHOOD "LOOK".

5. SIGNAGE
A. STANDARDS FOR WALL MOUNTED SIGNS; LOCATION OF SIGNS; MAXIMUM NUMBER OF SIGNS
ALL SIGNAGE SHALL CONFORM TO THE SIGNAGE REGULATIONS FOUND IN THE CITY OF ALBUQUERQUE ZONE CODE. EACH UNIT SHALL BE NUMBERED. ADDRESS SIGNAGE SHALL FACE ALICE AVE. N.E.

5. APPROVAL PROCESS
THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT MAY BE SLIGHTLY MODIFIED OR ADJUSTED, IF NECESSARY, TO ASSURE CONSISTENCY WITHIN THE DEVELOPMENT AND TO ALLOW FLEXIBILITY FOR THE DEVELOPER TO POSITIVELY REFINED THE DEVELOPMENT TO MITIGATE DESIGN CHALLENGES AND ENHANCE DESIGN OPPORTUNITIES. MODIFICATION PROCEDURES AND THE SUBSEQUENT APPROVAL PROCESS SHALL BE AS SPECIFIED FOR PROPERTIES IN THE SU-1 ZONING DESIGNATION OF THE CITY OF ALBUQUERQUE ZONING CODE.

SUBDIVISION DATA

PROJECT LOCATION: SOUTHWEST CORNER OF ALICE AVENUE AND CARDENAS DRIVE N.E. 5600 ALICE AVENUE N.E., ALBUQUERQUE, NM

ZONE ATLAS MAP: J-18
GROSS ACREAGE: 1.4206
NO. OF LOTS COMBINED: 9
NO. OF LOTS CREATED: 1
EXISTING ZONING: P & O-1
PROPOSED ZONING: SU-1 FOR TOWNHOUSE MAXIMUM 24 UNITS
DATE OF SURVEY: JANUARY 2013

LEGAL DESCRIPTION
LEGAL DESCRIPTION: LOTS 7 THRU 12, BLOCK 14 WILLIS SUBDIVISION AND LOTS 7 THRU 9, BLOCK 13, MCCAFFREY SUBDIVISION.

BUILDING DATA

MAXIMUM BUILDING HEIGHT: 24 FEET
MINIMUM BUILDING SETBACK:
ALICE AVENUE: 10 FEET
CARDENAS DRIVE: 15 FEET
WEST PROPERTY LINE: 24.42 FEET
PUBLIC ALLEY: 15.5 FEET
MAXIMUM DWELLING UNITS: 24 UNITS

PROJECT NUMBER: #1009600
APPLICATION NUMBER: SDP FOR BP 13EPC-40097, SDP FOR SUBD. 13EPC-40099, ZONE MAP AMEND. 13EPC-40098

DRB SITE DEVELOPMENT PLAN APPROVAL:

Department	Date
Traffic Engineer, Transportation Division	
Utilities Department	
Parks & Recreation Department	
City Engineer	
Environmental Health Department (conditional)	
Solid Waste Management	
DRB Chairperson, Planning Department	

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W., Albuquerque, New Mexico 87107 (505) 243-8211

PROJECT TITLE: ALICE TOWNHOUSES FOR AHMET TIRYAKI
5600 ALICE AVENUE N.E. ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: SITE DEVELOPMENT PLAN FOR SUBDIVISION

DATE: JUNE 28, 2013
PROJECT NO.: TIRY24
DRAWING NO.: DRB-1.0

REGISTERED ARCHITECT

INTRODUCTION

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SUBMITTAL SHALL SERVE AS THE OWNER'S SUBMITTAL FOR SUBDIVISION AND ZONE CHANGE TO THE PROPERTY LOCATED @ THE SOUTHWEST CORNER OF ALICE AVE. N.E. AND CARDENAS DRIVE N.E.

THE SUBJECT PROPERTY CONSISTS OF (9) ADJACENT PARCELS, TWO OF WHICH ARE ZONED P AND SEVEN OF WHICH ARE ZONED O-1. THE CARPENTER'S LOCAL UNION MAIN UNION HALL WAS LOCATED AT THE INTERSECTION OF ALICE AVENUE AND CARDENAS DRIVE. A SEPARATE, SMALLER FACILITY, THE EDUCATIONAL CENTER, WAS LOCATED AT THE WESTERN EDGE OF THE PROPERTY. BOTH CARPENTER'S UNION BUILDINGS RESIDED ON THE O-1 ZONED LOTS. THE LARGE ASPHALT PARKING LOT THAT SERVED AND SEPARATED BOTH FACILITIES WAS LOCATED ON THE P ZONED LOT. A MAJOR CENTURY LINK BURIED FIBER OPTIC LINE RUNS NORTH-SOUTH THROUGH THE P ZONED LOT.

BOTH STRUCTURES HAVE BEEN DEMOLISHED; THE CURRENTLY UNIMPROVED PROPERTY IS UNDER CONTRACT BY MR. AHMET TIRYAKI.

THE SUBJECT PROPERTY IS LOCATED IN THE FAIR HEIGHT NEIGHBORHOOD (FHNA). THE NEIGHBORHOOD ASSOCIATION HAS BEEN APPRISED OF THIS REQUEST. MEETINGS WITH THE NEIGHBORHOOD HAVE BEEN CONDUCTED AND HAVE BEEN FRUITFUL. THE NEIGHBORHOOD HAS BEEN CONSULTED ON ISSUES RELATING TO COLOR SCHEMES AND LANDSCAPING. THESE RECOMMENDATIONS HAVE BEEN INCORPORATED INTO THE DESIGN. THE FHNA IS IN AGREEMENT WITH THE PROPOSAL - SEE ATTACHED LETTER DATED JANUARY 23, 2013.

THE NEIGHBORING ZONING LENDS LEGITIMACY TO THIS ZONE CHANGE REQUEST. THE FAIR PLAZA APARTMENTS AT 5901 ALICE AVENUE IS LOCATED ACROSS ALICE AVENUE FROM THE SUBJECT PROPERTY. IT IS A TWO STORY EXTERIOR BALCONY SINGLE BUILDING COMPLEX WITH A LARGE PARKING LOT FRONTING ON ALICE AVENUE. WHILE THE COURTYARD IS LANDSCAPED THERE IS LITTLE OR NO LANDSCAPING ALONG THE STREET. RESIDENTIAL ZONING AND USES PREDOMINATE TO THE NORTH, NORTHWEST AND WEST OF THE SUBJECT PARCEL. THE CHARACTERISTIC SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD IS BOUNDED BY MADEIRA DRIVE ON THE WEST AND AS FAR AS CONSTITUTION NE TO THE NORTH.

OFFICE AND COMMERCIAL ZONING FRAME THE DEVELOPMENT ON THE EAST AND SOUTH. A STRIP OF COMMERCIAL USES AND AN 18' WIDE PAVED ALLEY SEPARATE THE PROPOSED DEVELOPMENT FROM LOMAS BOULEVARD ARTERIAL STREET. THE SITE IS BRACKETED ON THE WEST BY REHM'S NURSERY'S GREENHOUSE COMPLEX AND GARDENS. SEPARATED BY A 6' BLOCK WALL, THE GREENHOUSES SERVE THE RETAIL FACILITY ON LOMAS.

THE NINE LOTS SHALL BE COMBINED INTO ONE PARCEL. A TWO PHASE TOWNHOUSE DEVELOPMENT IS PROPOSED FOR THE COMBINED LOT PARCEL; PHASE 1 TO THE EAST AND PHASE 2 TO EXTEND THE DEVELOPMENT TOWARDS THE WEST PROPERTY LINE. THE TWO/THREE BEDROOM, TWO STORY TOWNHOUSE CONFIGURATION PROVIDES AN ACCEPTABLE DENSITY (FAR = .59) RESIDENTIAL USE AT THE INTERFACE BETWEEN THE NEIGHBORHOOD EDGE AND THE SIX LANE ARTERIAL STREET (LOMAS BLVD).

THE PROPOSED TOWNHOUSE CONFIGURATION ORIENTS THE UNIT ENTRY DRIVEWAYS AWAY FROM THE LOCAL STREET. ALL VEHICULAR ACCESS IS PROVIDED VIA TWO NORTH-SOUTH PRIVATE LANES. THESE VEHICULAR/PEDESTRIAN LANES TERMINATE IN A LANDSCAPED AREA AT THE SOUTH, SEPARATING THEM FROM THE EXISTING ALLEY.

ALL PROPOSED TOWNHOUSES ARE TWO STORY WITH SINGLE STORY FEATURES. ALL VEHICULAR LANE FRONTAGES ARE SINGLE STORY. ADDITIONALLY, THE THREE BEDROOM TOWNHOUSES, LOCATED ALONG ALICE AVENUE PRESENT A SINGLE STORY ELEVATION TO THE LOCAL STREET. THIS, A MORE GRADUAL BUILDING ELEVATION TRANSITION IS ACHIEVED FROM THE PASSERBY VIEW.

PEDESTRIAN FRIENDLY FEATURES, AS REQUESTED BY THE FHNA, ARE INCORPORATED INTO THE DESIGN. PHASE 1 BUILDING "A" TOWNHOUSE REAR COURTYARDS SHALL FRONT ON CARDENAS DRIVE. A LOWERED COURTYARD WALL AND GATE WILL SECURE THE YARD YET ALLOW A VISUAL CONNECTION AND ACCESS TO THE PUBLIC WAY. THE OPEN SPACE BETWEEN BUILDING "B" & "C" SHALL BE TREATED IN A SIMILAR FASHION. LOWERED COURTYARD WALLS WITH GATES SHALL AFFORD ACCESS TO A NORTH-SOUTH LANDSCAPED OPEN SPACE CORRIDOR. ADDITIONALLY, AN EAST-WEST PEDESTRIAN WALKWAY SHALL RUN PARALLEL ALONG THE 18' PAVED ALLEY TO PROVIDE ACCESS TO CARDENAS DRIVE. A LANDSCAPE STRIP SHALL SEPARATE THE WALKWAY FROM THE ALLEY PROPER. A PUBLIC BUS TRANSIT STOP LIES A MERE 160' FROM ALLEY OFF OF CARDENAS DRIVE.

LASTLY, THE TOWNHOUSES SHALL BE SET OFF FROM THE STREET FRONTAGES BY TREES AND SHRUBS. UNIT DRIVEWAYS WILL BE SEPARATED BY LANDSCAPE AREAS WITH TREES. TREES SHALL REACH A 25' TO 35' SPREAD AT MATURITY.

THE PROTOTYPICAL TOWNHOUSE UNIT PHOTO IS ATTACHED. THE TENTH AND CANDELARIA NW PROJECT PROVIDES AN ACCURATE PHOTOGRAPHIC RENDERING FOR REFERENCE.

NOTE:

PROVIDE WATER HARVESTING PONDS AT ALL REAR YARDS AS PER GRADING AND DRAINAGE PLAN - SEE DRB-2

5600 ALICE AVENUE NE

**ALICE AVENUE TOWNHOUSES FOR AHMET TIRYAKI
5600 ALICE AVENUE NORTHEAST
ALBUQUERQUE, NEW MEXICO**

PROJECT NUMBER: #1009600
APPLICATION NUMBER: SDP FOR BP 13EPC-40097, SDP FOR SUBD. 13EPC-40099, ZONE MAP AMEND. 13EPC-40098

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



VICINITY MAP - ZA MAP J-18

1" = 500'

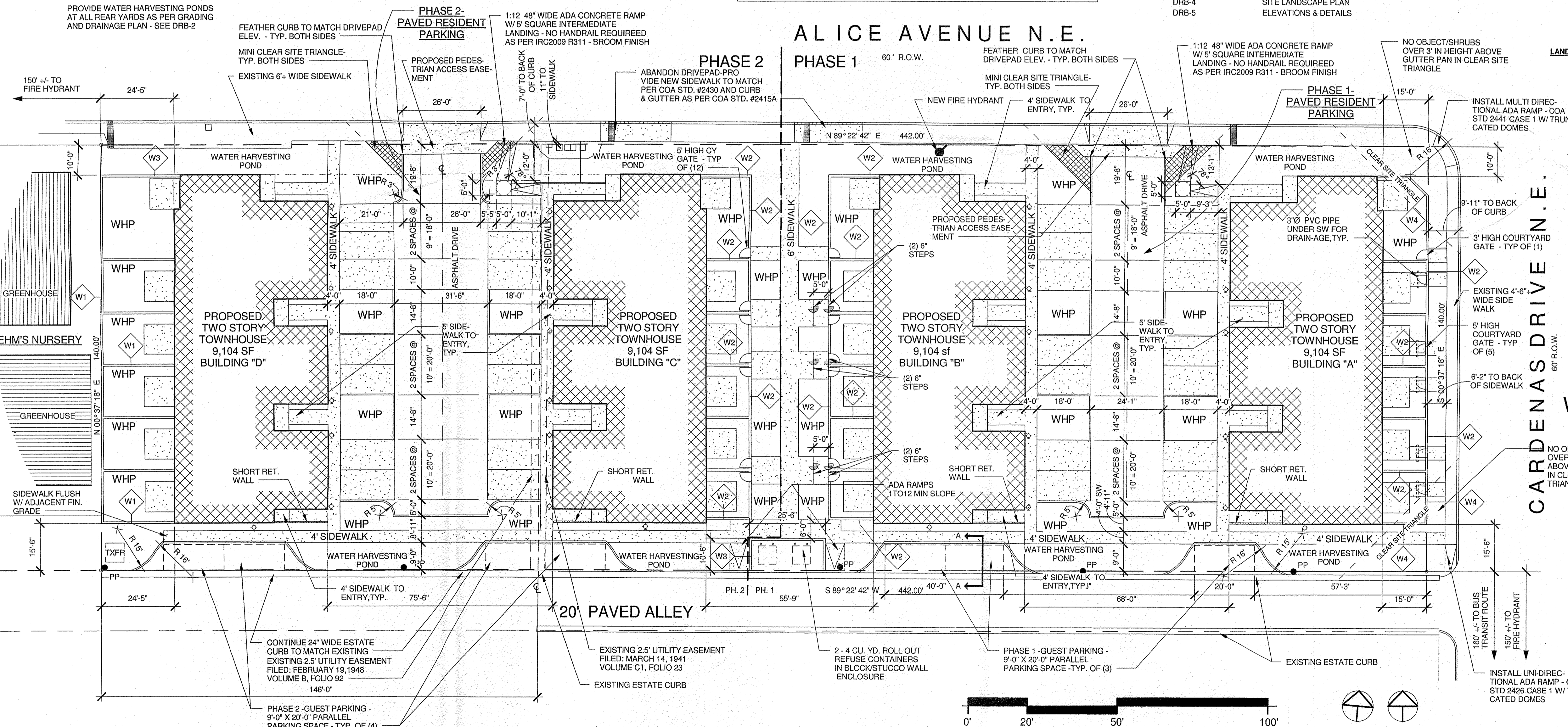
SHEET LIST

Sheet Number	Sheet Name
DRB-1	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
DRB-2	SITE DRAINAGE & GRADING PLAN
DRB-3	SITE UTILITY PLAN
DRB-4	SITE LANDSCAPE PLAN
DRB-5	ELEVATIONS & DETAILS

DESIGN CRITERIA

CODES: 2009 IRC, 2009UMC, 2009 UPC, 2011 NEC	TWO BEDROOM UNITS:	FLOOR AREA (EA. UNIT): LOWER LEVEL HEATED 517 UPPER LEVEL HEATED 671 TOTAL HEATED 1188 SF
PROJECT LOCATION: SOUTHWEST CORNER OF ALICE AVENUE AND CARDENAS DRIVE N.E., ALBUQUERQUE, NM	GARAGE TOTAL AREA	264 SF 1452 SF
LEGAL DESCRIPTION: LOTS 7 THRU 12, BLOCK 14 WILLIS SUBDIVISION AND LOTS 7 THRU 9, BLOCK 13, MCCAFFREY SUBDIVISION.	THREE BEDROOM UNITS:	FLOOR AREA (EA. UNIT): LOWER LEVEL HEATED 733 UPPER LEVEL HEATED 687 TOTAL HEATED 1420 SF
ZONE ATLAS MAP: J-18	GARAGE TOTAL AREA	424 SF 1844 SF
PROPOSED PHASES: PHASE 1: 783 ACRES PHASE 2: .637 ACRES	BUILDING AREA:	TYPICAL BUILDINGS "A", "B", "C" & "D": (5) TWO BEDROOM UNITS + (1) THREE BEDROOM UNIT
EXISTING ZONING: P AND O-1	PROPOSED ZONING: SU-1 FOR TOWNHOUSES - MAXIMUM 24 DWELLING UNITS	5 X 1188 = 5940 SF 1 X 1420 = 1420 SF 7360 SF HEATED
PROPOSED USES: RESIDENTIAL DWELLINGS	CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED	5 X 264 = 1320 SF 1 X 424 = 424 SF 1744 SF GARAGE
SEISMIC ZONE: D	MAXIMUM TOTAL DWELLING UNITS: 24 UNITS - 16 DUS PER ACRE	TOTAL PROJECT BUILDING AREAS: PHASE 1: .783A +/- BUILDING "A" = 7,360 SF BUILDING "B" = 7,360 SF PHASE 1 HEATED AREA = 14,720 SQUARE FEET
PHASE 1 REQUIRED PARKING: TOWNHOUSE UNITS - 12 UNITS X 2 PARKING SPACES = 24 PARKING SPACES	PHASE 1 PROPOSED PARKING: OFF STREET PARKING = 28 PARKING SPACES + 3 GUEST PARKING SPACES = 31 PARKING SPACES	PHASE 2: .637 A +/- BUILDING "C" = 1744 SF BUILDING "D" = 1744 SF PHASE 2 GARAGE AREA = 3,488 SQUARE FEET
PHASE 2 REQUIRED PARKING: TOWNHOUSE UNITS - 12 UNITS X 2 PARKING SPACES = 24 PARKING SPACES	PHASE 2 PROPOSED PARKING: OFF STREET PARKING = 28 PARKING SPACES + 4 GUEST PARKING SPACES = 32 PARKING SPACES	PHASE 2 HEATED AREA = 14,720 SQUARE FEET PHASE 2 GARAGE AREA = 3,488 SF PHASE 2 GARAGE AREA = 3,488 SF SITE TOTAL GARAGE AREA = 6,976 SQUARE FEET
USABLE OPEN SPACE:	PHASE 1 REQUIRED OPEN SPACE: 12 UNITS X 750 = 9,000 SF UOS PROVIDED = 13,441 SF COMPLIES	PHASE 2 REQUIRED OPEN SPACE: 12 UNITS X 750 = 9,000 SF UOS PROVIDED = 14,043 SF COMPLIES
LANDSCAPE CALCULATION: SEE SHEET DRB-4	BOTH PHASES TOTAL: PHASE 1 HEATED AREA = 14,720 SF PHASE 2 HEATED AREA = 14,720 SF SITE TOTAL HEATED AREA = 29,440 SQUARE FEET	PHASE 1 GARAGE AREA = 3,488 SF PHASE 2 GARAGE AREA = 3,488 SF SITE TOTAL GARAGE AREA = 6,976 SQUARE FEET

ALICE AVENUE N.E.



SITE PLAN LEGEND

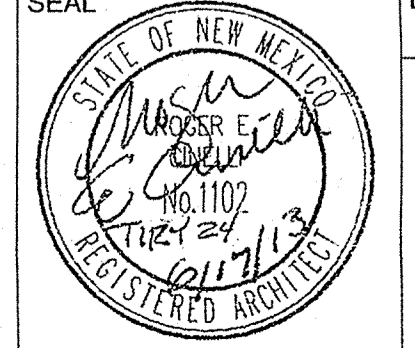
72" HIGH PAINTED 8" CMU COURTYARD WALL	NEW CONCRETE SIDEWALK - NEW CONCRETE SITE WORK
60" HIGH 8" CMU COURTYARD WALL W/ STUCCO FINISH	DRIVEPAD - COA STANDARD DETAIL DWG 2425 - SECTION E-E - ADA ACCESSIBLE. SEE SITE PLAN FOR WIDTH
72" HIGH 8" CMU COURTYARD/REFUSE ENCLOSURE WALL W/ STUCCO FINISH	HOODED DUSK TO DAMN EXTERIOR WALL MOUNTED LIGHTING - SEE DETAIL SHEET EPC-5
36" HIGH (ABOVE GUTTER PAN) 6" CMU COURTYARD WALL W/ STUCCO FINISH	SIDEWALK CULVERT - DWG #2236 - SEE GRADING & DRAINAGE PLAN
WHP	WATER HARVESTING POND PER GRADING AND DRAINAGE PLAN
NO OBJECT/SHRUBS OVER 3' IN HEIGHT ABOVE GUTTER PAN IN CLEAR SITE TRIANGLE	

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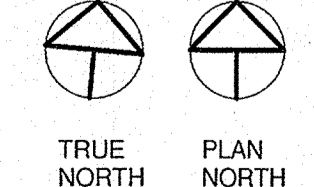
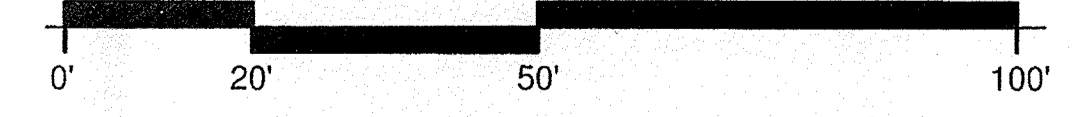
PROJECT TITLE:
**ALICE TOWNHOUSES FOR AHMET TIRYAKI
5600 ALICE AVENUE N.E.
ALBUQUERQUE, NEW MEXICO**

DRAWING TITLE:
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DATE: JUNE 28, 2013
PROJECT NO.: TIRY24
DRAWING NO.:



DRB-1



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
1" = 20'-0"

NOTICE TO CONTRACTORS

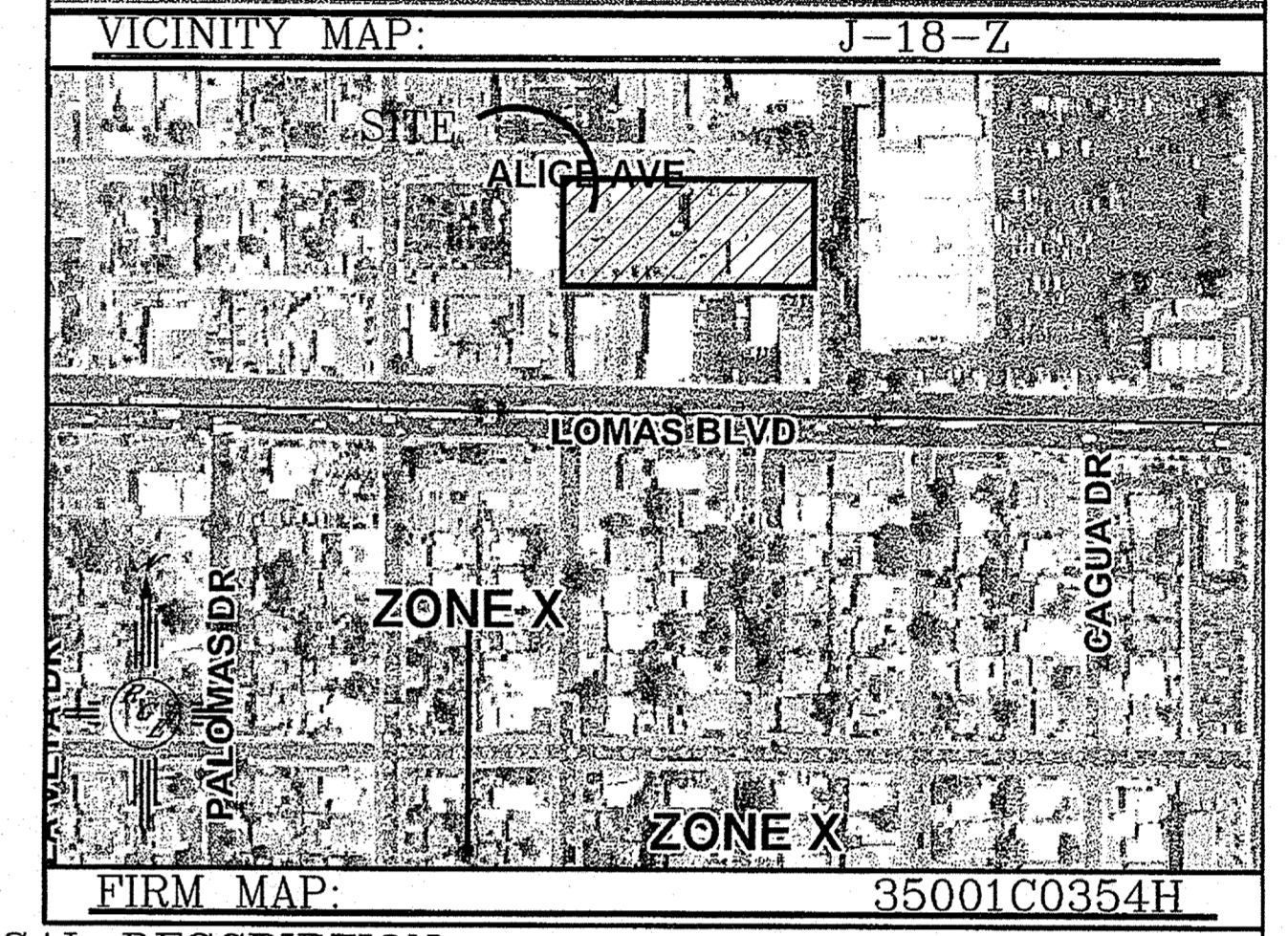
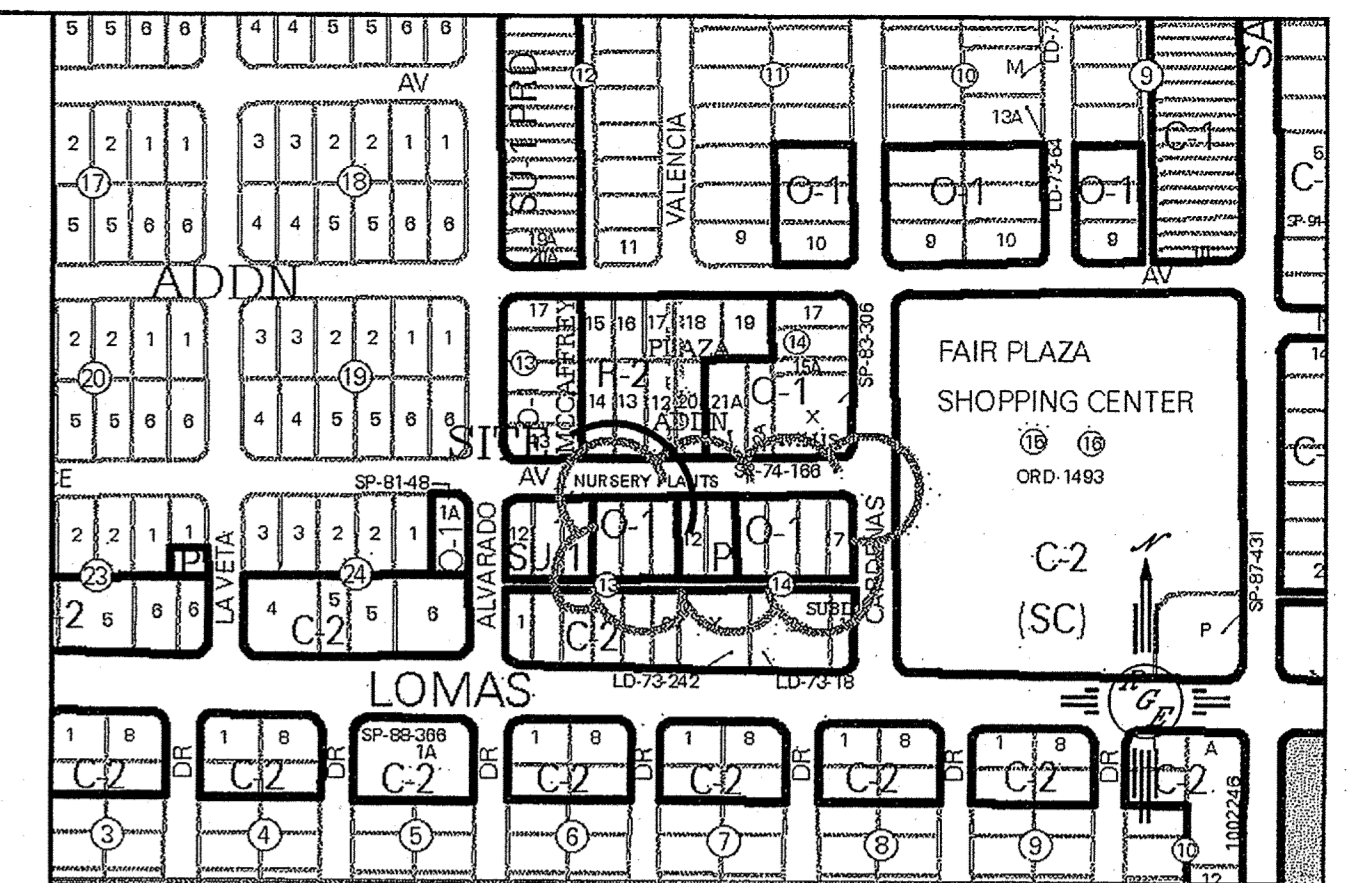
Noce to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" for (505) 260-1990 for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to tract/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

APPROVAL	NAME	DATE
INSPECTOR		

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

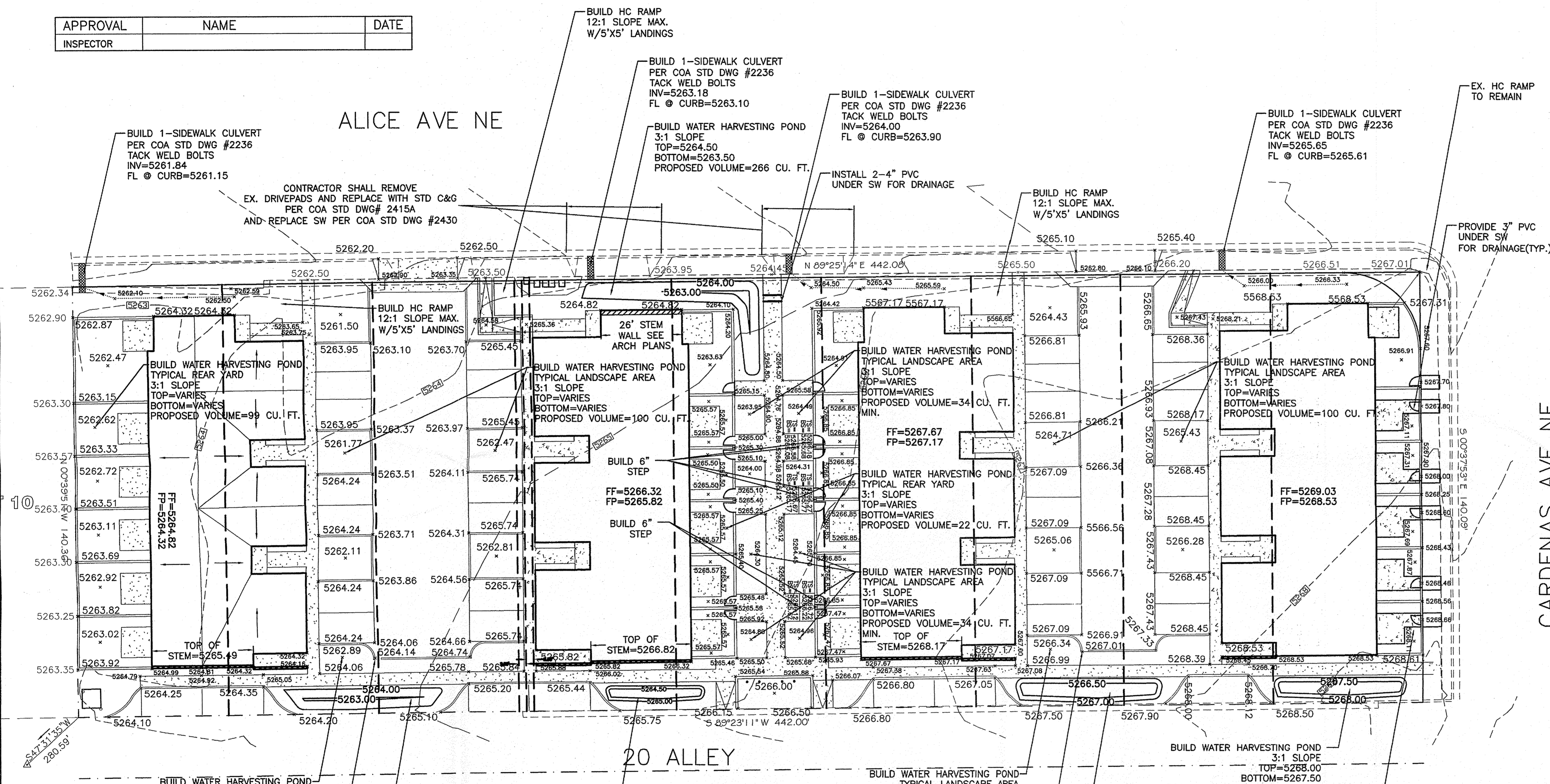


LEGAL DESCRIPTION:
LOTS 7-12, BLK 14, ALBUQUERQUE HIGHLANDS ADDITION

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL INTERIOR BACK YARD SCREEN WALLS BETWEEN TOWNHOUSES SHALL HAVE EVERY 3RD BLOCK TURNED AT GRADE FOR DRAINAGE.
 3. PEDESTRIAN ADA PATHS AT DRIVEWAYS SHALL BE MAINTAINED WITHIN PUBLIC SW EASEMENT.

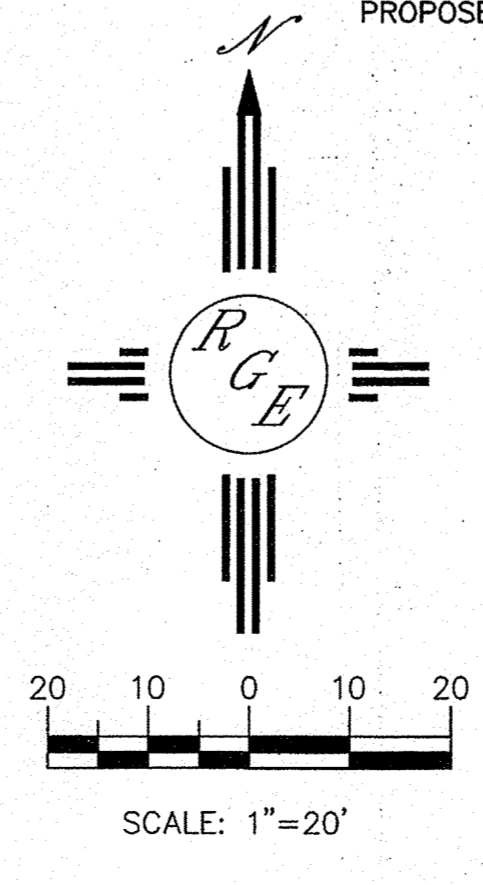
LEGEND

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY
	EXTENDED STEM WALL (SEE ARCH PLANS)
	EXISTING SCREEN WALL
	PROPOSED BUILDING
	EXISTING EDGE OF CONCRETE
	ROOF DRAINAGE (TYP. FOR ALL BLDGS)
	FLOW LINE



"ACS-16-116 1990"
NAD 83 Position
Datum: NAD 83
Projection: New Mexico State Plane
Zone: Central
Latitude: 35 - 5 - 14.53967
Longitude: 106 - 34 - 54.92922
Ellipsoidal Height (meters): 1582.78
Order: 1
Class: 1
Ground to Grid Factor: 0.999663
Mapping Angle: -0_11_26.88
Northing (US survey feet): 1487256.949
Easting (US survey feet): 1541120.300
Northing (meters): 453316.825
Easting (meters): 469734.402
NAVD 1988 Elevation
Datum: NAVD 1988
Orthometric Height (US survey feet): 5261.94'
Order: 2
Class: 1

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL

David Soule
P.E. #14522

Rio Grande Engineering
PO BOX 93024
ALBUQUERQUE, NM 87199
(505) 872-0999

DRAWN BY: WCUJ	DATE: 5-20-13	PROJECT NO.: TIRY24
21302-LAYOUT-1-09-13	SHEET #	DRAWING NO.
JOB # 21302	DRB-2	

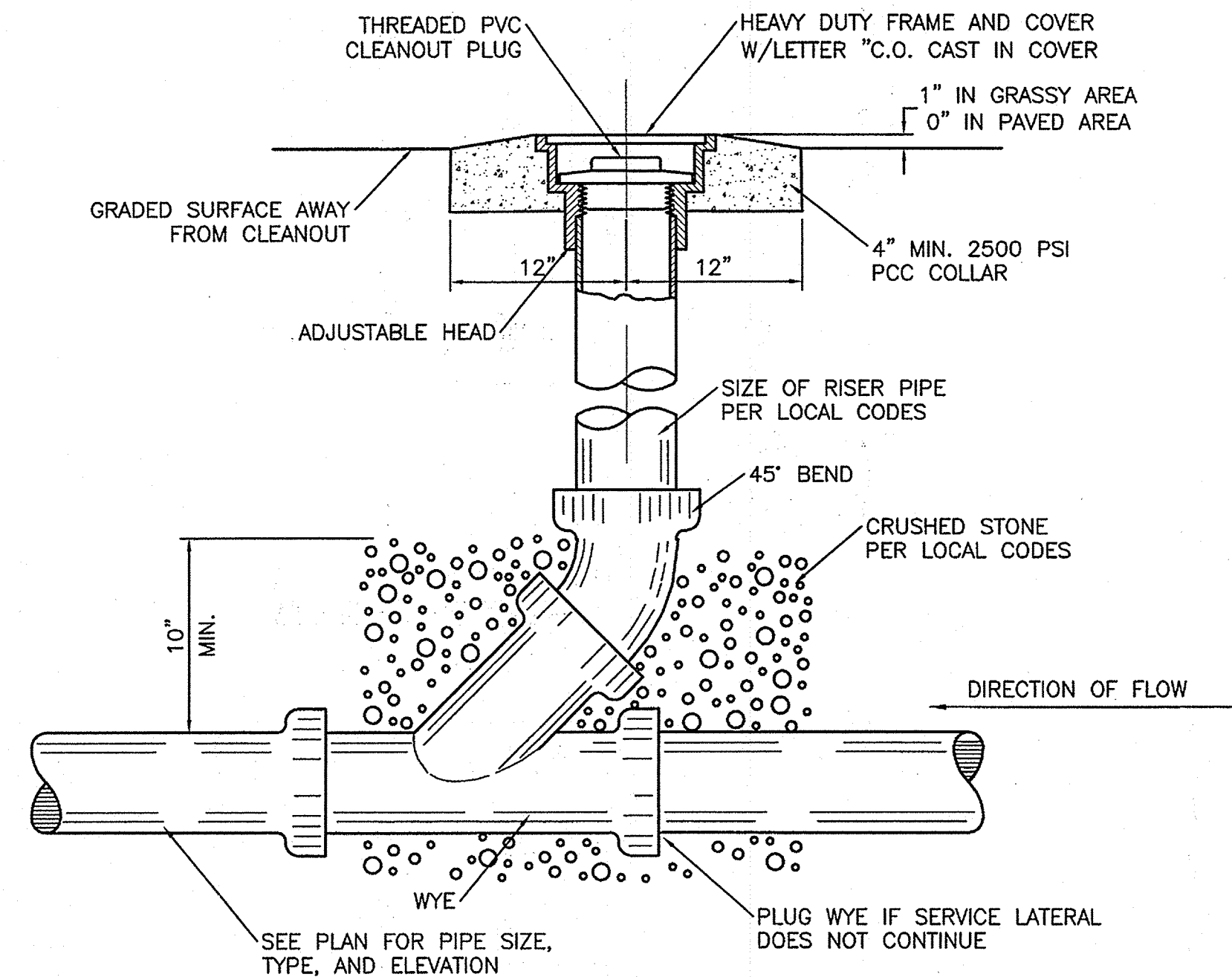
Cinelli ARCHITECTS / 2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: ALICE TOWNHOUSES FOR AHMET TIRYAKI
5600 ALICE AVENUE N.E.
ALBUQUERQUE, NEW MEXICO

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.

10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.



SANITARY SEWER CLEAN-OUT

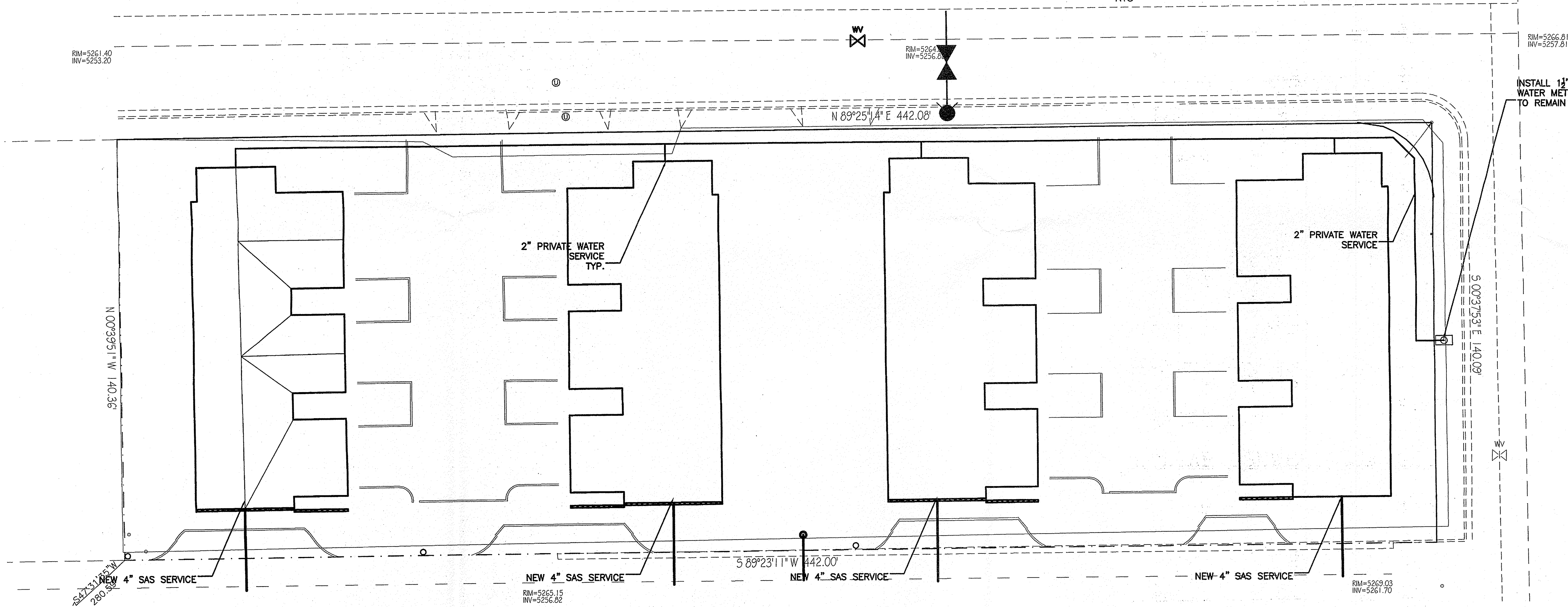
WATER SHUTOFF PLAN SHUTOFF VALVES:

WATER SHUTOFF NOTES:

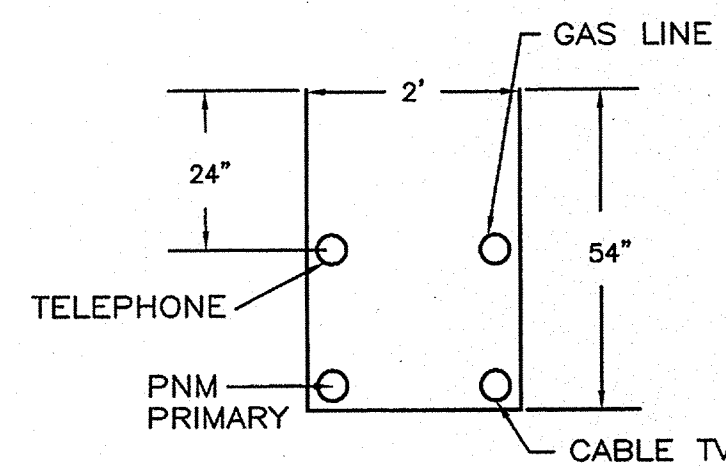
1. ONLY WATER AUTHORITY PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES CIRCLED IN THE PLAN VIEW.

LEGEND

- EXISTING SAS MANHOLE
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- 8" SAS --- PROPOSED SANITARY SEWER LINE
- SANITARY SEWER SERVICE LINE --- SANITARY SEWER SERVICE LINE
- EX. 12" WL --- EXISTING WATER LINE
- PROPOSED METER
- PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- WATER SERVICE LINE --- WATER SERVICE LINE
- 8" WL --- PROPOSED WATER LINE
- PROPOSED STORM SEWER LINE --- PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER --- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER --- PROPOSED CURB & GUTTER
- CENTERLINE --- CENTERLINE
- RIGHT-OF-WAY --- RIGHT-OF-WAY
- DRY UTILITY TRENCH --- DRY UTILITY TRENCH
- BOUNDARY LINE --- BOUNDARY LINE
- EASEMENT --- EASEMENT



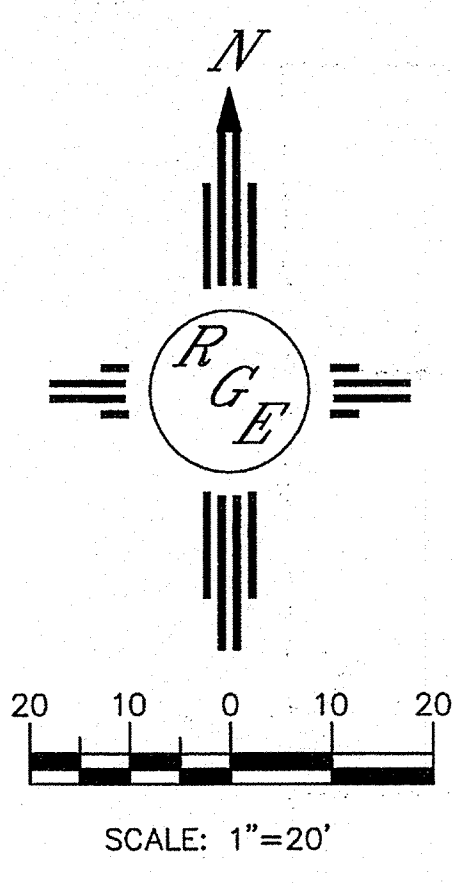
INSTALL 1 1/2\"/>



UTILITY TRENCH DETAIL

GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



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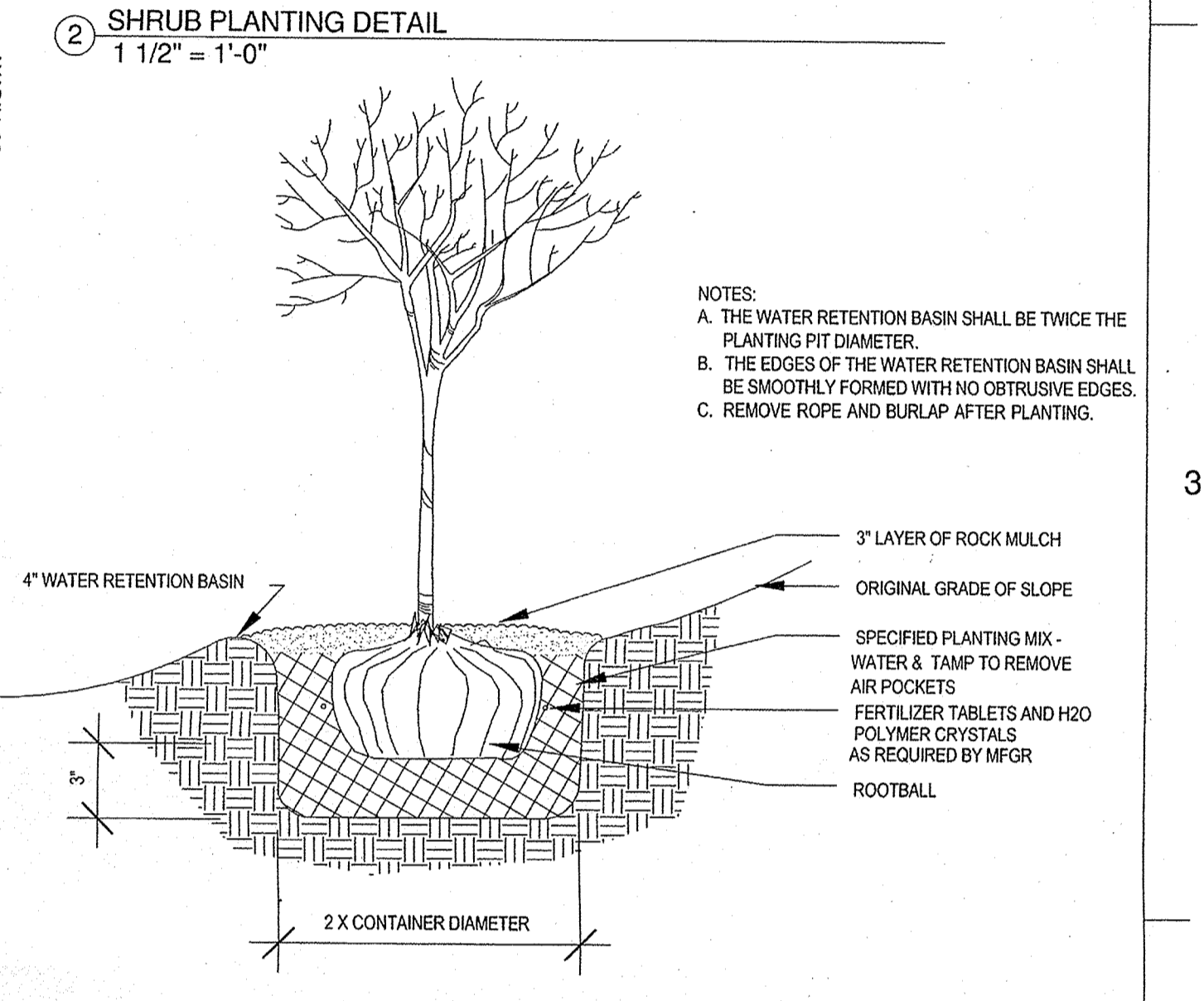
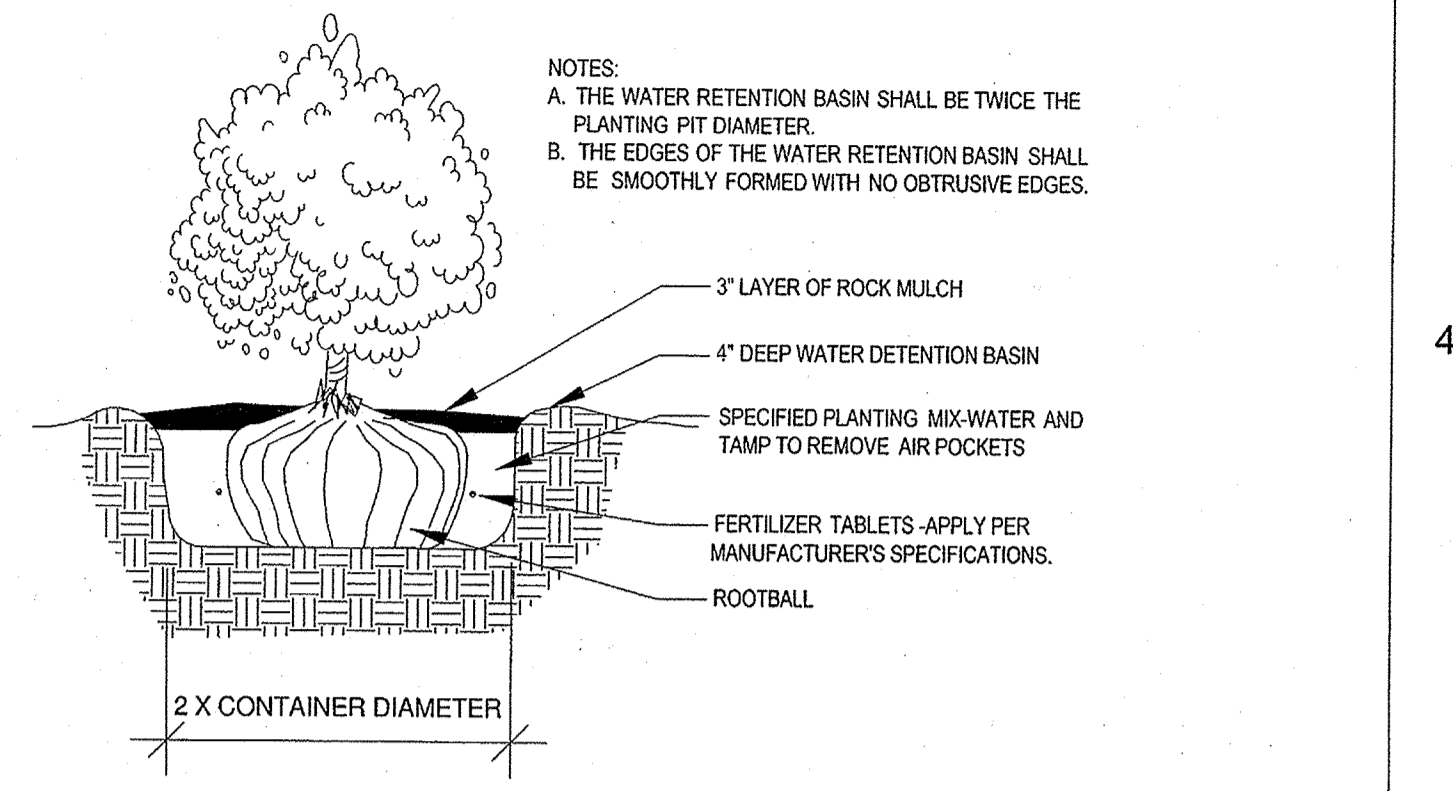
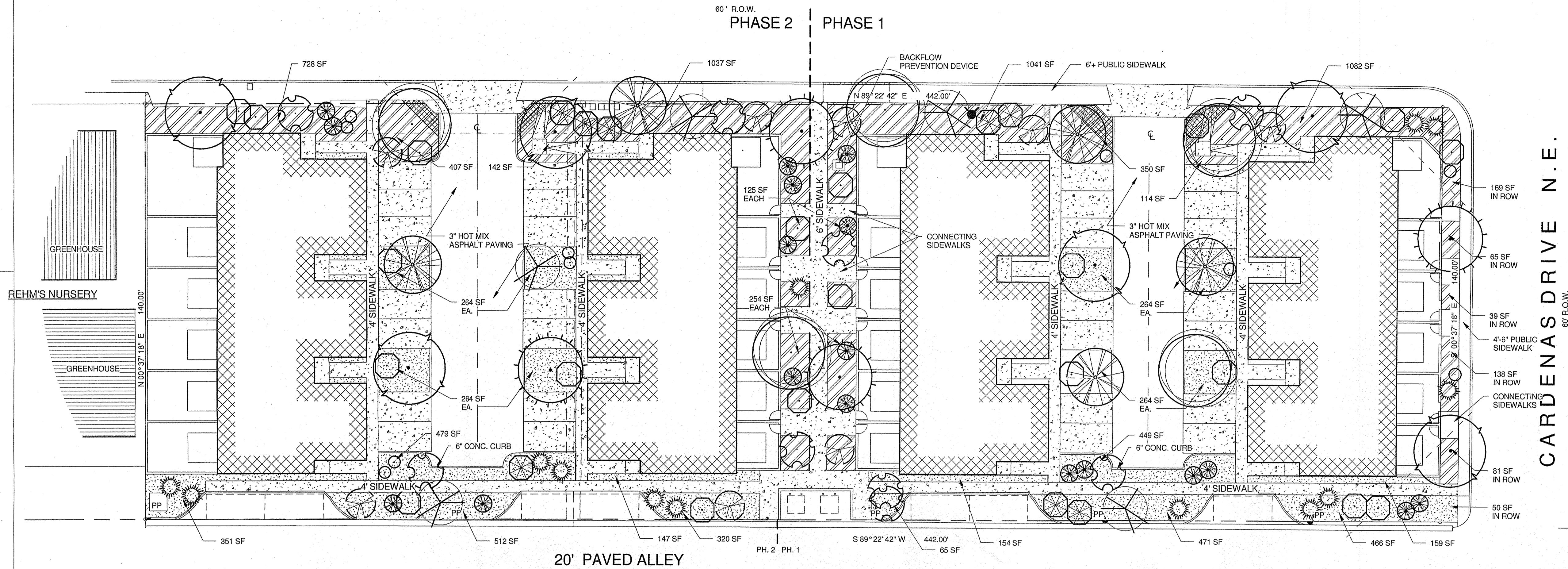
DRAWN BY WCWJ
 DATE 3-25-13
 21302-LAYOUT-1-09-13
 SHEET #
 JOB # 21302

PROJECT TITLE: ALICE TOWNHOUSES FOR AHMET TIRYAKI
 5600 ALICE AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: SITE UTILITY PLAN
 SEAL DATE MAR 25, 2013 PROJECT NO. TIRY24
 DRAWING NO. DRB-3

Cinelli ARCHITECTS / 2418 Manuel Torres Lane N.W.
 Albuquerque, New Mexico 87107
 (505) 243-8211

ALICE AVENUE N.E.



1 SITE LANDSCAPE PLAN
1" = 20'-0"

3 TREE PLANTING WELL
1 1/2" = 1'-0"

PLANTING SCHEDULE						
SYMBOL	COMMON NAME	BOTANICAL NAME	MATURE SIZE	PHASE 1 COUNT AREA	PHASE 2 COUNT AREA	TOTAL COUNT
TREES						
	PURPLE LEAF PLUM (M)	Prunus Cerisifera, 2" cal,	20' tall x 20' spread	2	2	4
	ARIZONA ASH(M)	Fraxinus Velutina, 2" cal	40' tall x 35' spread	3	3	6
	CLEVELAND FLOWERING PEAR (M)	Pyrus Calleryana 'Cleveland', 2" cal	30' tall x 25' spread	2	2	4
	BRADFORD FLOWERING PLUM (M)	Prunus Cerasifera 'Bradford', 2" cal	30' tall x 20' spread	2	2	4
	NEW MEXICO OLIVE (M)	Forestiera Neomexicana, 2" cal	15' tall x 15' spread	3	3	6
SHRUBS						
	GREY LEAF COTONEASTER (M)	Cotoneaster Buxifolius, 1 Gal.	3' tall X 5' spread	6 150	7 175	13
	INDIAN HAWTHORN (M)	Raphiolepis Indica, 1 Gal.	3' tall x 4' spread	4 64	4 64	8
	SILVER QUEEN EUONYMUS (L)	Euonymus japonicus 1 Gal.	12' tall x 6' spread	10 360	10 360	20
	SILVERBERRY (M)	Elaeagnus Pungens 1 Gal.	10' tall x 10' spread	4 400	4 400	8
	LYNWOOD GOLD FORSYTHIA (M)	Forsythia X Intermedia 'Lynbrook Gold' 1 Gal.	12' tall x 12' spread	3 432	4 576	7
	BLUE RUG JUNIPER (L)	Juniperus Horizontalis 'Witoni' 1 Gal.	1' tall x 8' spread	10 640	10 640	20
	SEA GREEN JUNIPER (L)	Juniperus Chinensis 'Sea Green Juniper' 1 Gal.	4'-6" tall x 6'-8" spread	5 220	5 220	10
SHRUB GROUND COVER TOTAL AREAS				2266 SF	2435 SF	

LANDSCAPING CALCULATIONS & NOTES

LANDSCAPE CALCULATION:

PHASE 1:
 LOT: 393A X 43560 = 30,170 SF
 BUILDINGS: 10,440 SF
 NET LOT AREA 19,730 SF
 REQUIRED LANDSCAPING: 19,730 X 15% = 2960 SF
 LANDSCAPING PROVIDED: 5731 SF **COMPLIES**

REQUIRED 75% VEGETATIVE GROUND COVER =
 .75 X 2960 SF = 2220 SF
 VEGETATIVE GROUND COVER PROVIDED: 2266 SF **COMPLIES**

PHASE 2:
 LOT: 728A X 43560 = 31,710 SF
 BUILDINGS: 10,440 SF
 NET LOT AREA 21,270 SF
 REQUIRED LANDSCAPING: 21,270 X 15% = 3191 SF
 LANDSCAPING PROVIDED: 5912 SF **COMPLIES**

REQUIRED 75% VEGETATIVE GROUND COVER =
 .75 X 3191 SF = 2393 SF
 VEGETATIVE GROUND COVER PROVIDED: 2435 SF **COMPLIES**

HATCH LEGEND

- 4" CONCRETE SIDEWALK, DRIVEWAY AND COMMONS AREA SLABS
- 4" DEPTH OF 3/4" SANTA ANA TAN DECORATIVE GRAVEL ON 6 MIL VISQUEEN
- 4" DEPTH OF 1" TO 1 1/2" GREY ROCK ON 6 MIL VISQUEEN

NOTE: GRAVEL AREAS @ UNIT ENTRY ALCOVES ARE NOT INCLUDED IN PROPOSED LANDSCAPE AREAS

PLANT WATERING SHALL BE PROVIDED BY A DRIP IRRIGATION SYSTEM. CONTROLLERS SHALL BE PROVIDED IN THE NUMBER AND SPACING REQUIRED BY ZONE SPECIFICATION AND LOCATION. CONTROLLERS SHALL BE INSTALLED ON OWNERS HOUSE ELECTRICAL PANELS.

ALL LANDSCAPING SHALL BE MAINTAINED AND REPLACED, IF NECESSARY, BY THE OWNER.

STREET TREES @ ALICE AVENUE AND CARDENAS AVENUE CAN BE 1 1/2" CAL.

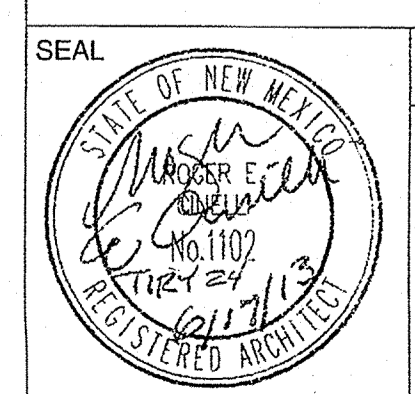
THE PROJECT SHALL COMPLY WITH THE "WATER CONSERVATION AND WATER WASTE ORDINANCE" - ARTICLE 6-1-1-1.

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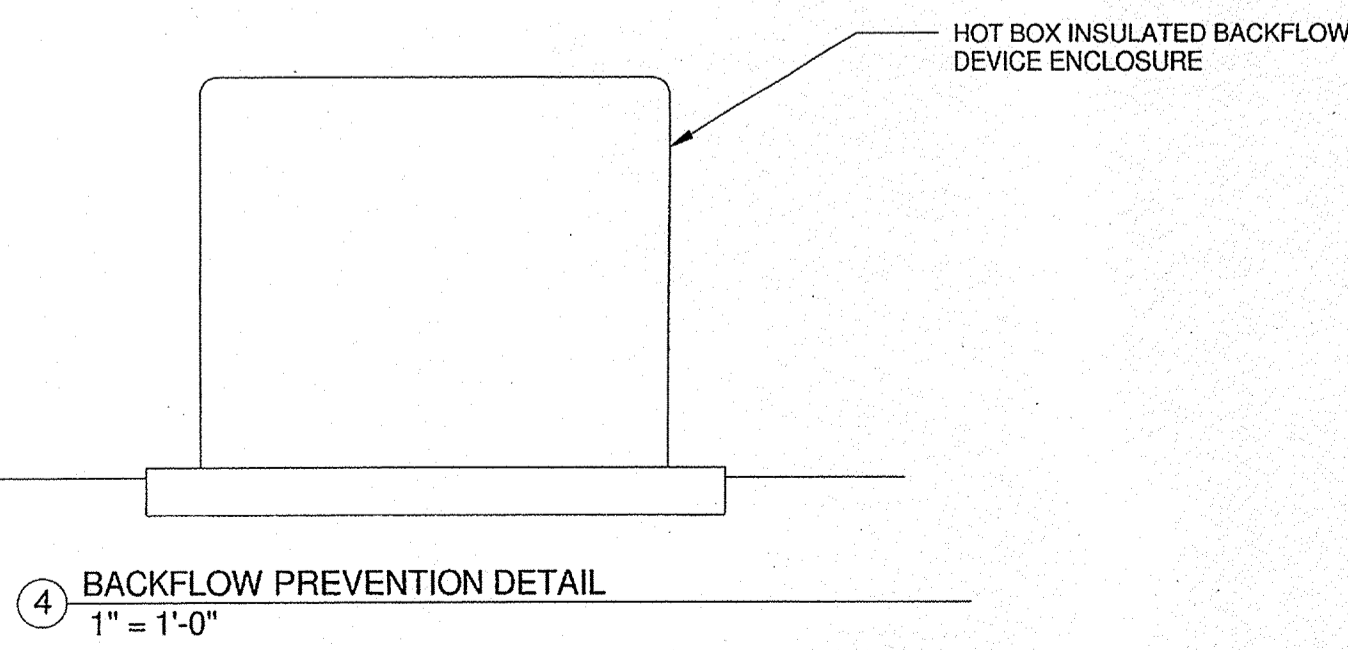
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DRAWING TITLE: SITE LANDSCAPE PLAN

DATE: JUNE 28, 2013
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 DRAWING NO.:



DRB-4



4 BACKFLOW PREVENTION DETAIL
1" = 1'-0"

