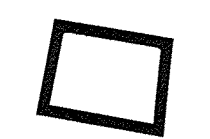


KEYED NOTES

- 1. LIVING UNITS (A1-A5). EXISTING BUILDING BEING REMODELED.
- 2. DETACHED GARAGES FOR LIVING UNITS A1 - A2. NEW BUILDING.
- 3. DETACHED GARAGES FOR LIVING UNITS A3 - A5. NEW BUILDING.
- 4. LIVING UNITS (B1-B4 & C1-C5) w/ ATTACHED GARAGES. NEW BUILDINGS.
- 5. 3' WIDE CONCRETE SIDEWALK. SEE DETAIL SHEET C2-2.
- 6. 5' WIDE CONCRETE SIDEWALK. SEE DETAIL SHEET C2-2.
- 7. DELETE
- 8. 22' CONCRETE DRIVEPAD PER COA STD. DWG. 2425.
- 9. ASPHALT ACCESS DRIVE DETAIL SHEET C2-2.
- 10. WROUGHT IRON FENCE (TAN). SEE ARCHITECTURAL PLANS FOR DETAILS.
- 11. SLIDING WROUGHT IRON GATE.
- 12. LANDSCAPING. SEE LANDSCAPE PLAN SHEET L1-1.
- 13. EXISTING 4' CURBSIDE SIDEWALK.
- 14. NEW 4' CURBSIDE SIDEWALK PER COA STD. DWG. 2430.
- 15. NEW CURB ACCESS RAMP PER COA STD. DWG. 2441, CASE I.
- 16. NEW SIDEWALK RAMP PER COA STD. DWG. 2428.
- 17. COVERED BREEZEWAY. SEE ARCHITECTURAL.
- 18. HEADER CURB PER DETAIL SHT. C2-2.
- 19. VALLEY GUTTER PER DETAIL SHT. C2-2.

SITE PLAN
1010 LEAD SW
CONDOMINIUMS
 ALBUQUERQUE, NEW MEXICO
 JUNE, 2014

VICINITY MAP K-13



SITE

SITE GENERAL NOTES

- 1. ALL UNITS WITH THE EXCEPTION OF A4 AND A5 HAVE PATIOS ENCLOSED WITH LOW CMU WALLS.
- 2. EACH UNIT HAS AN EXTERIOR LIGHT AT THE ENTRY DOOR AND ON THE PATIO. UNITS IN BUILDING BLOCK A HAVE AN EXTERIOR LIGHT AT THE REAR DOOR. UNITS IN BUILDING BLOCKS B & C HAVE AN EXTERIOR LIGHT IN THE CARPORT.
- 3. EACH UNIT IN BLOCK A WILL HAVE ONE PARKING SPACE IN AN ENCLOSED GARAGE. UNITS A-1, A-2 AND A-3 ALSO HAVE A DESIGNATED OPEN AIR PARKING SPACE. EACH UNIT IN BLOCKS B & C WILL HAVE ONE PARKING SPACE IN AN ATTACHED GARAGE AND ONE PARKING SPACE IN AN ATTACHED CARPORT.

DRB APPROVALS

PROJECT NO: 1009785
 APPLICATION NO: 14DRB-

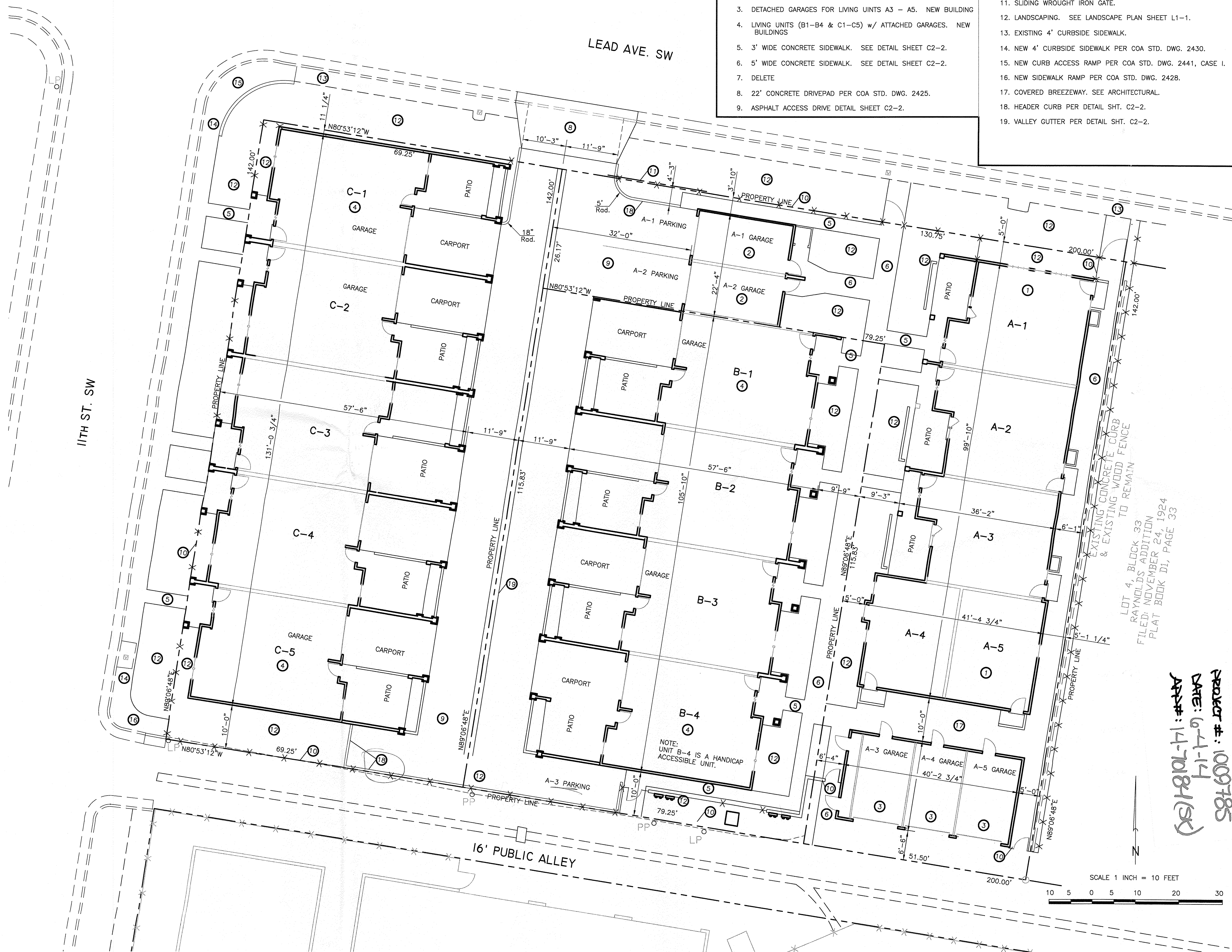
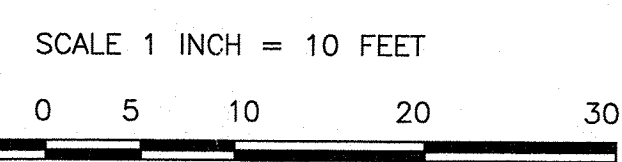
CITY OF ALBUQUERQUE SURVEYOR	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
ABCWUA	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

designed	date	drawn	date

no.	date	remarks	by

PROJECT #: 1009785
 DATE: 6-11-14
 APP#: 14-7081(SX)

LOT 4, BLOCK 33
 RAYNOLDS' ADDITION
 FILED: NOVEMBER 24, 1924
 PLAT BOOK D1, PAGE 33



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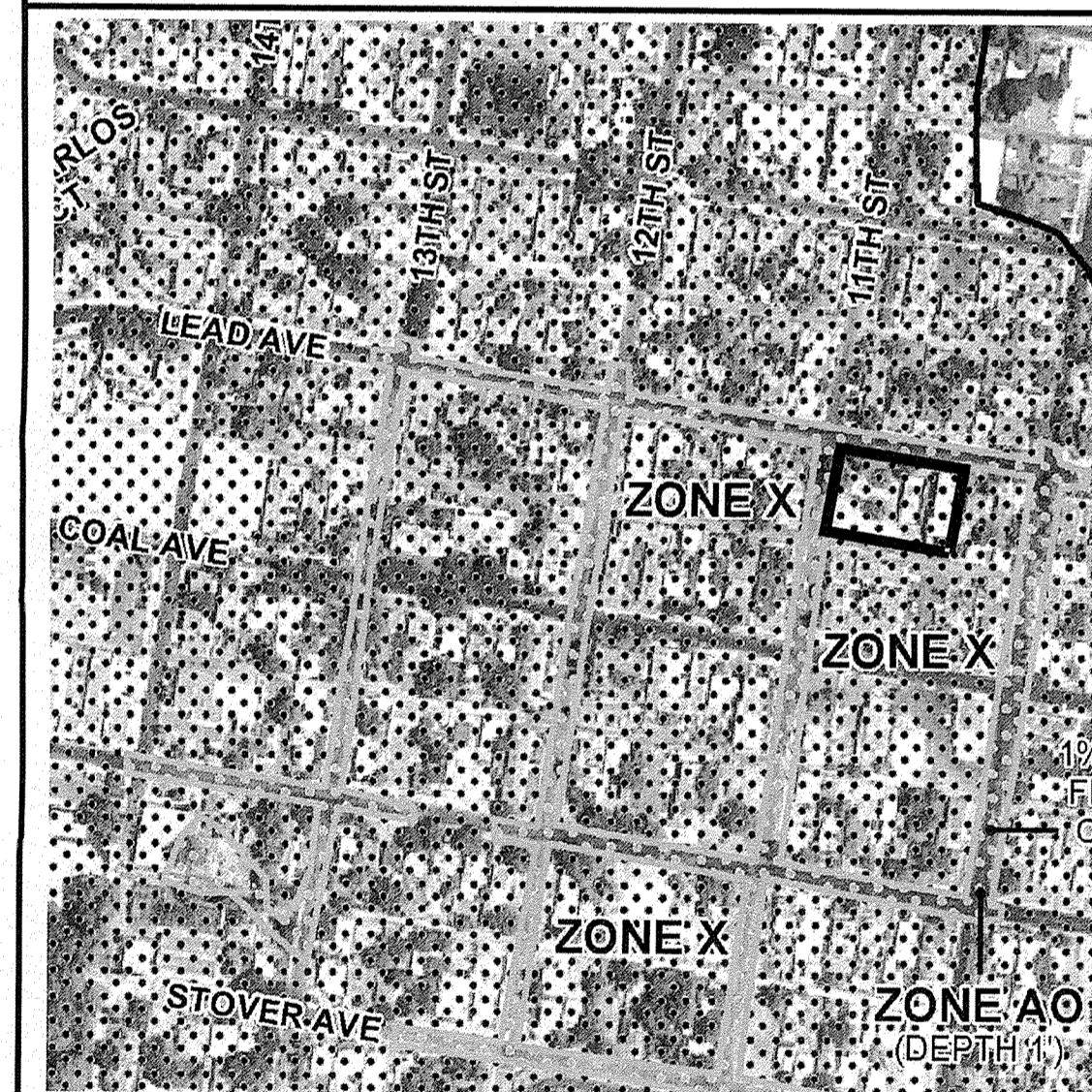
CONCEPTUAL
GRADING AND DRAINAGE
LEAD AVE. SW
CONDOMINIUMS
ALBUQUERQUE, NEW MEXICO
JUNE, 2014

VICINITY MAP K-13



SITE

FEMA FIRM MAP 333



SITE

GENERAL NOTE

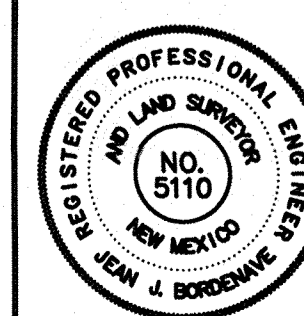
SEE SHEETS C2-2 AND C2-3 FOR ADDITIONAL GRADING DETAILS

LEGAL DESCRIPTION

LOTS 10-A, 11-A & 12-A, BLOCK 33, RAYNOLDS ADDITION

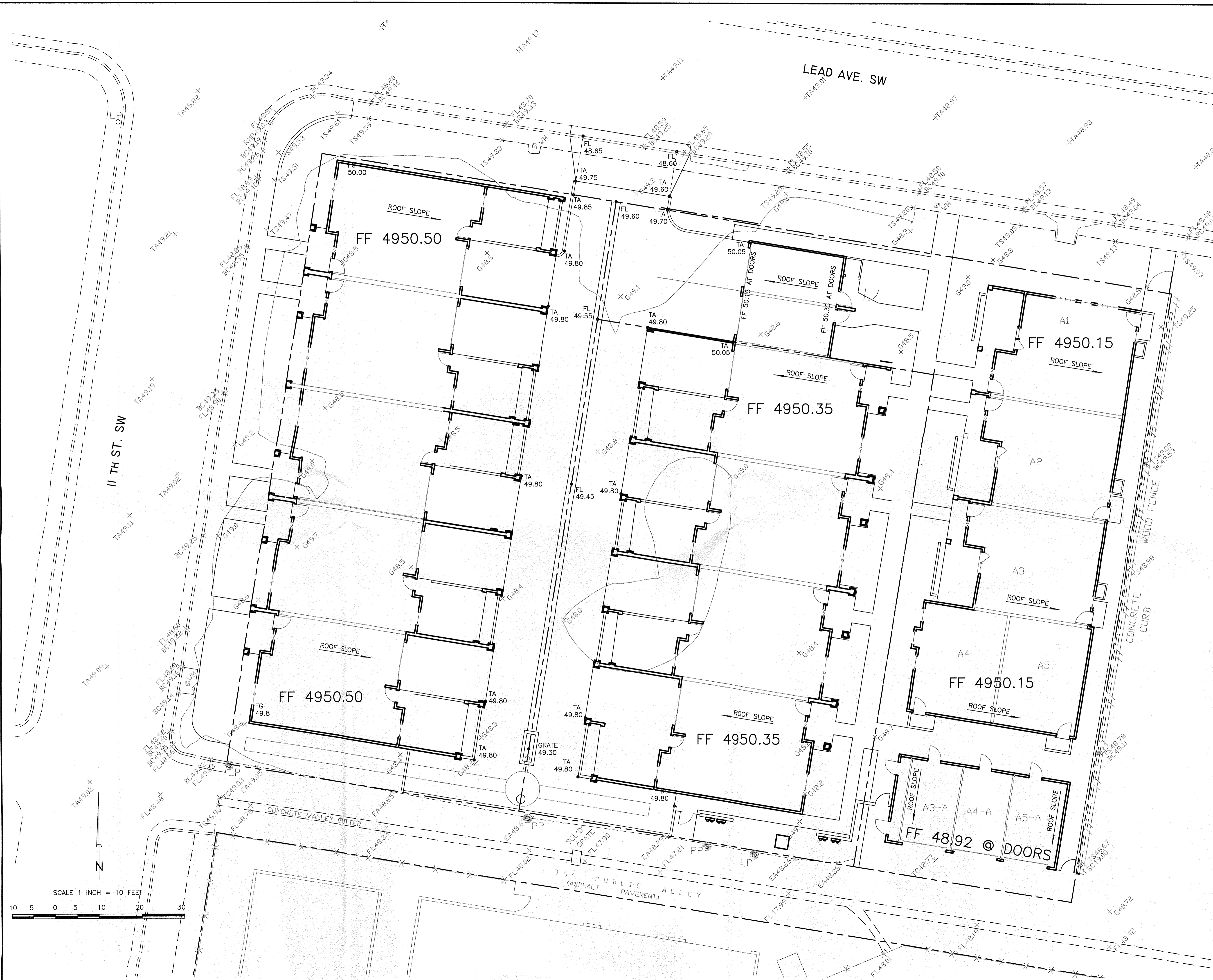
PERMANENT BENCHMARK

COA STATION 6-K13 ELEVATION 4959.622 (NAVD 1988)

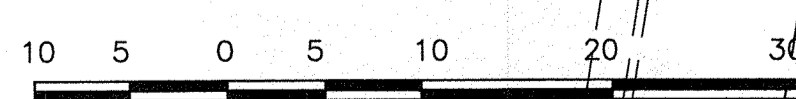


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SHEET C2-1



SCALE 1 INCH = 10 FEET



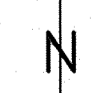
11 TH ST. SW

LEAD AVE. SW

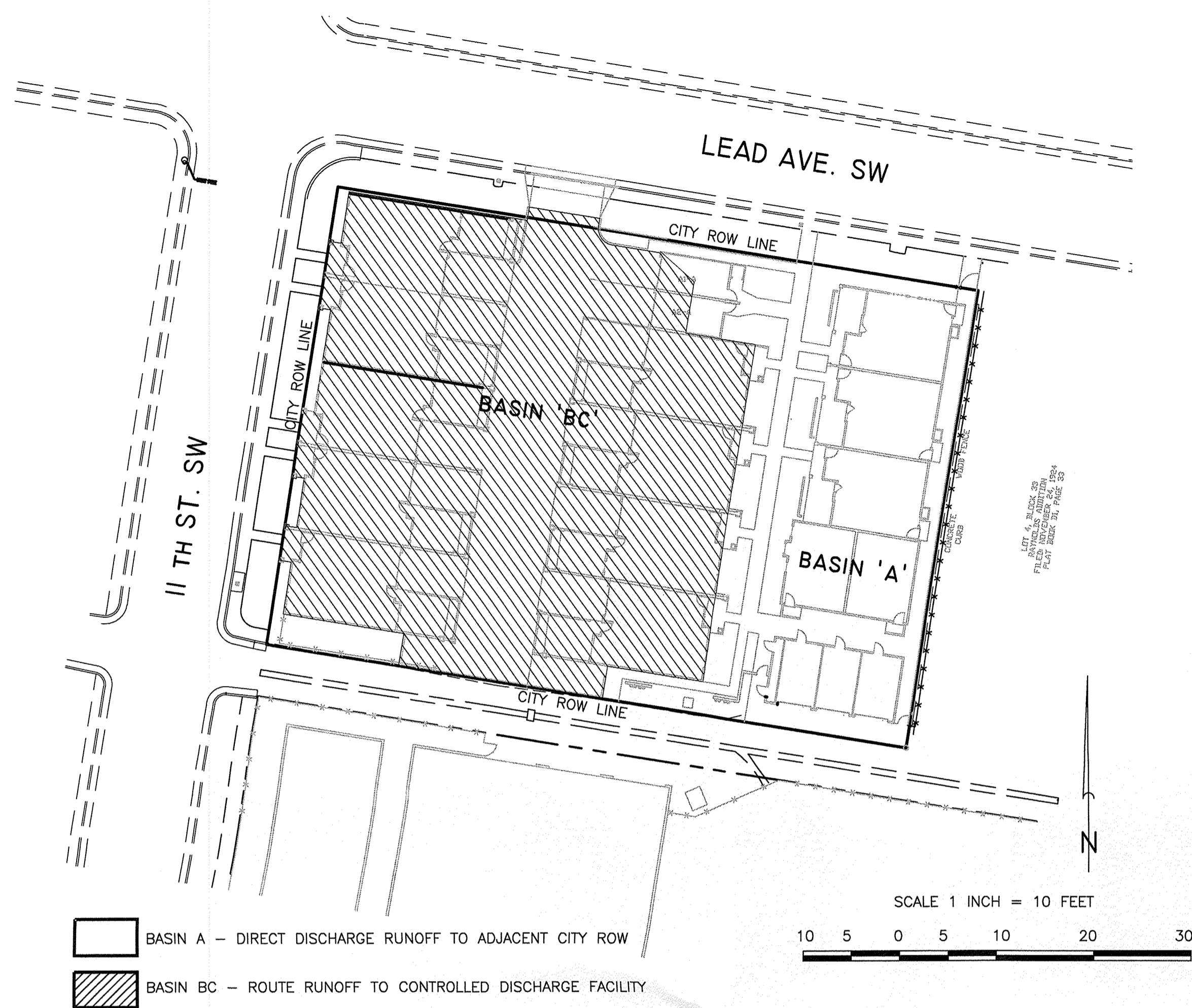
16' PUBLIC ALLEY
(ASPHALT PAVEMENT)

CONCRETE VALLEY GUTTER

WOOD FENCE
CONCRETE CURB



SITE DRAINAGE BASINS



GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

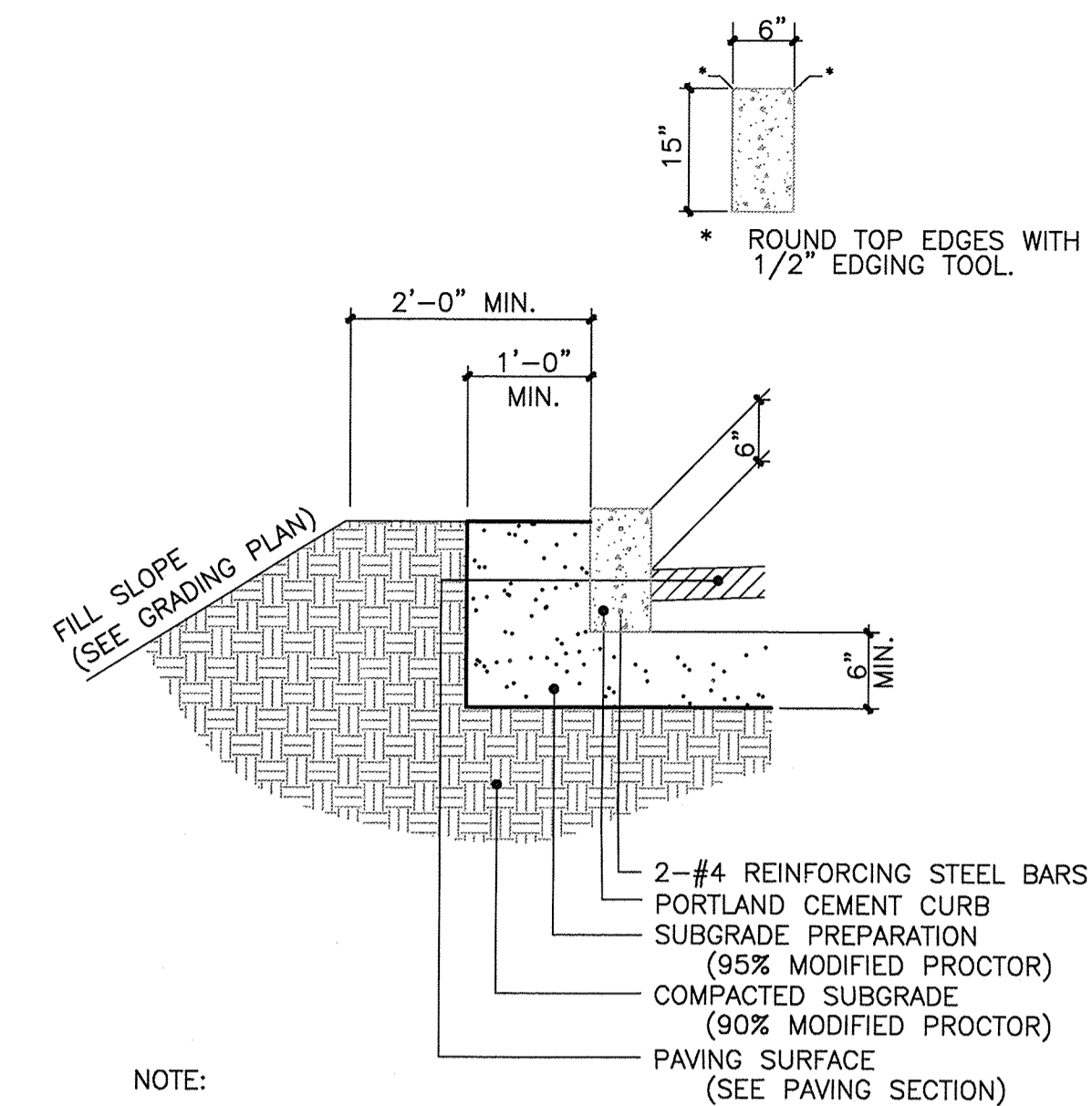
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE NOTES

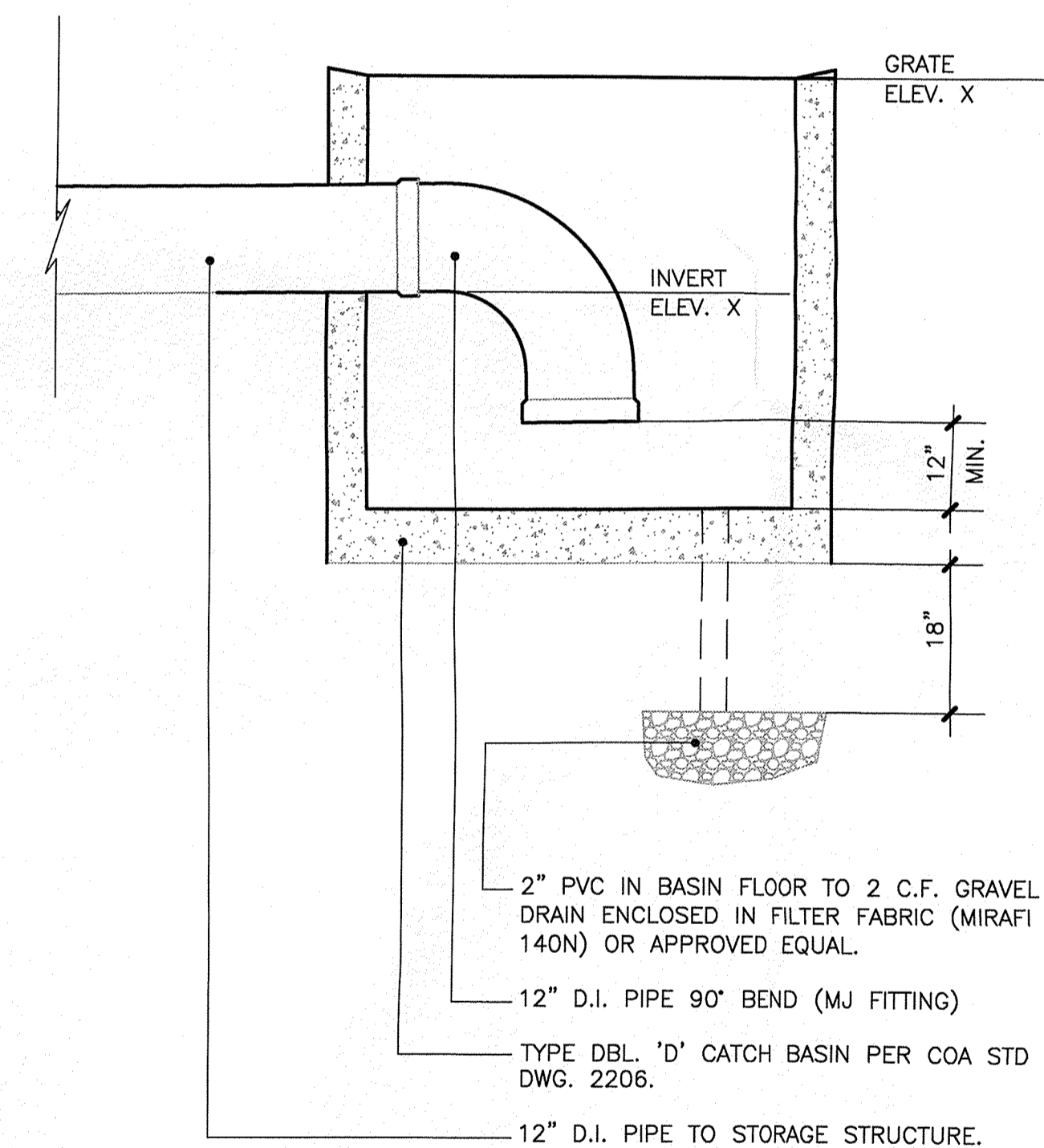
- THE SITE WAS PREVIOUSLY DEVELOPED. ALL BUT ONE OF THE EXISTING STRUCTURES HAVE BEEN RAZED. THE REMAINING STRUCTURE (BUILDING A) HAS BEEN COMPLETELY REMODELED. THE BALANCE OF THE SITE IS VACANT. THE PRIVATE PROPERTY IS LOCATED IN ZONE 'X' AND THE STREETS (LEAD AVE. AND 11th ST. ARE IN DESIGNATED FLOOD HAZARD AREA (AO LESS THAN 1 FOOT) PER FEMA FIRM MAP 333H DATED AUGUST, 2012.
 - THE SITE IS LOCATED IN RAINFALL ZONE 2. DUE TO INADEQUATE STORM DRAINAGE FACILITIES IN THE AREA THE SITE HAS AN ALLOWABLE PEAK DISCHARGE RATE OF 2.75 CFS/ACRE. THE EXCESS FLOW WILL BE DETAINED IN AN UNDERGROUND STORAGE STRUCTURE WHICH WILL BE PUMPED DRY AS THE STORM ABATES.
- ALL RUNOFF FROM BASIN A WILL BE DIRECTLY DISCHARGED TO THE ALLEY. THE RUNOFF FROM BASIN BC WILL BE ROUTED TO AN UNDERGROUND STORAGE FACILITY AND PUMPED TO THE ALLEY AT A REDUCED FLOW RATE.
- FLOW TO THE UNDERGROUND STORAGE WILL ROUTED THROUGH A WATER QUALITY CATCH BASIN ON THE INLET SIDE OF THE STORAGE FACILITY.
- DISCHARGE FROM THE UNDERGROUND STORAGE WILL BE PROVIDED BY A DUAL SUBMERSIBLE PUMP SYSTEM. THE PUMPS AND CONTROLS AS WELL AS THE INLET TO THE UNDERGROUND STORAGE WILL BE LOCATED IN A MANHOLE AT THE SOUTH END OF THE DRIVE AISLE.
- AN EMERGENCY SPILLWAY THROUGH THE CURB WILL BE PROVIDED FROM THE DRIVE AISLE TO THE ALLEY.
- ALL LANDSCAPE AREAS WILL BE DEPRESSED TO PROVIDE LOW FLOW STORAGE. THIS STORAGE WILL NOT BE CONSIDERED EFFECTIVE IN THE FLOW REDUCTION CALCULATIONS.
4. TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY HARRIS SURVEYING, INC. DATED OCTOBER, 2013.

UNDERGROUND DETENTION STRUCTURE

HEADER CURB

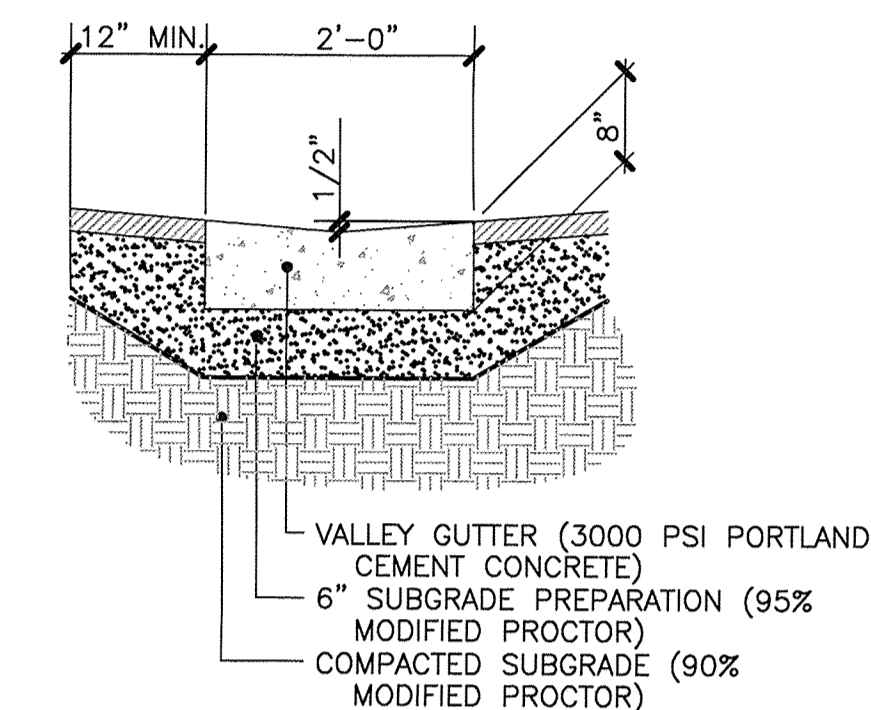


WATER QUALITY CATCH BASIN

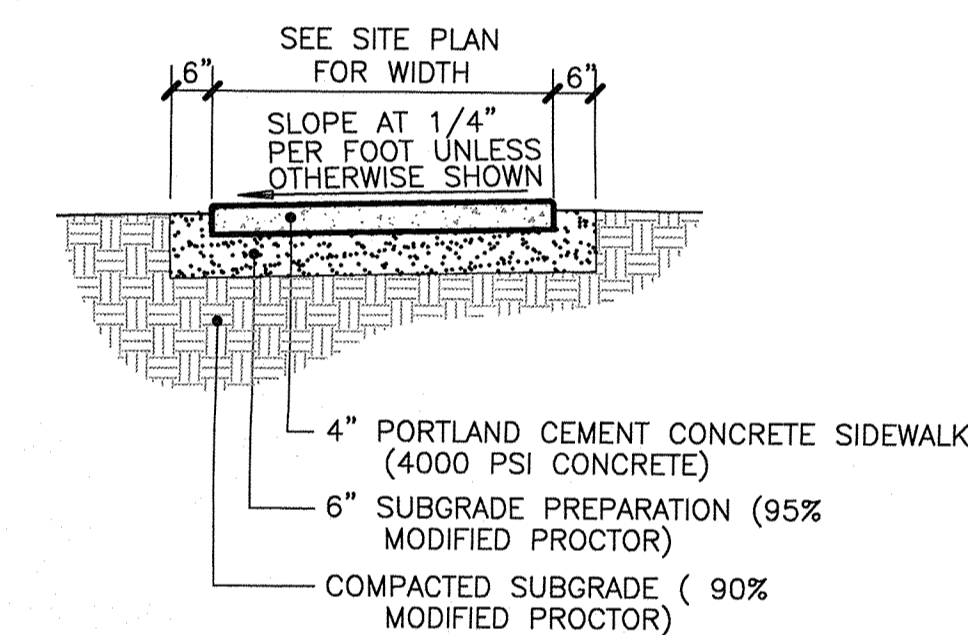


SITE DETAILS & DRAINAGE DATA
 LEAD AVE. SW
 CONDOMINIUMS
 ALBUQUERQUE, NEW MEXICO
 JUNE, 2014

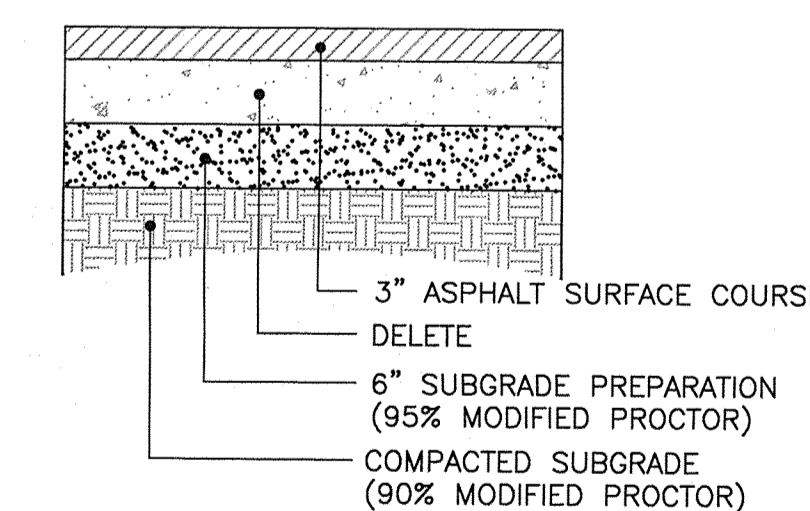
VALLEY GUTTER



SIDEWALK



ASPHALT PAVEMENT (LIGHT DUTY)



- NOTES:
- ASPHALT MIX DESIGN TO USE CITY OF ALBUQUERQUE AGGREGATE CLASS TYPE 'C' AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
 - ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS SHALL BE 1 1/2".

DRAINAGE CALCULATIONS

CONDITION	RETURN PERIOD	STORM TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8)	(table 9)	cu. ft.	cfs
EXISTING SITE	10	A	28400	0.13	0.38	308	0.25
		B	0	0.28	0.95	0	0.00
		C	0	0.52	1.71	0	0.00
		D	0	1.34	3.14	0	0.00
		TOTAL	28400			308	0.25
DEVELOPED SITE	100	A	28400	0.53	1.56	1254	1.02
		B	0	0.78	2.28	0	0.00
		C	0	1.13	3.14	0	0.00
		D	0	2.12	4.7	0	0.00
		TOTAL	28400			1254	1.02
DEVELOPED SITE	10	A	0	0.13	0.38	0	0.00
		B	4026	0.28	0.95	94	0.09
		C	0	0.52	1.71	0	0.00
		D	24374	1.34	3.14	2722	1.78
		TOTAL	28400			2816	1.84
DEVELOPED SITE	100	A	0	0.53	1.56	0	0.00
		B	4026	0.78	2.28	262	0.21
		C	0	1.13	3.14	0	0.00
		D	24374	2.12	4.7	4306	2.63
		TOTAL	28400			4568	2.84
DEVELOPED SITE	A	A	0	0.53	1.56	0	0.00
		B	3729	0.78	2.28	242	0.20
		C	0	1.13	3.14	0	0.00
		D	7597	2.12	4.7	1342	0.82
		TOTAL	11326			1586	1.01
DEVELOPED SITE	B/C	A	0	0.53	1.56	0	0.00
		B	297	0.78	2.28	19	0.02
		C	0	1.13	3.14	0	0.00
		D	16777	2.12	4.7	2964	1.81
		TOTAL	17074			2983	1.83

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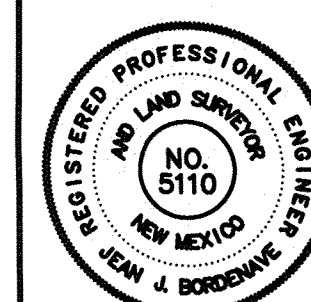
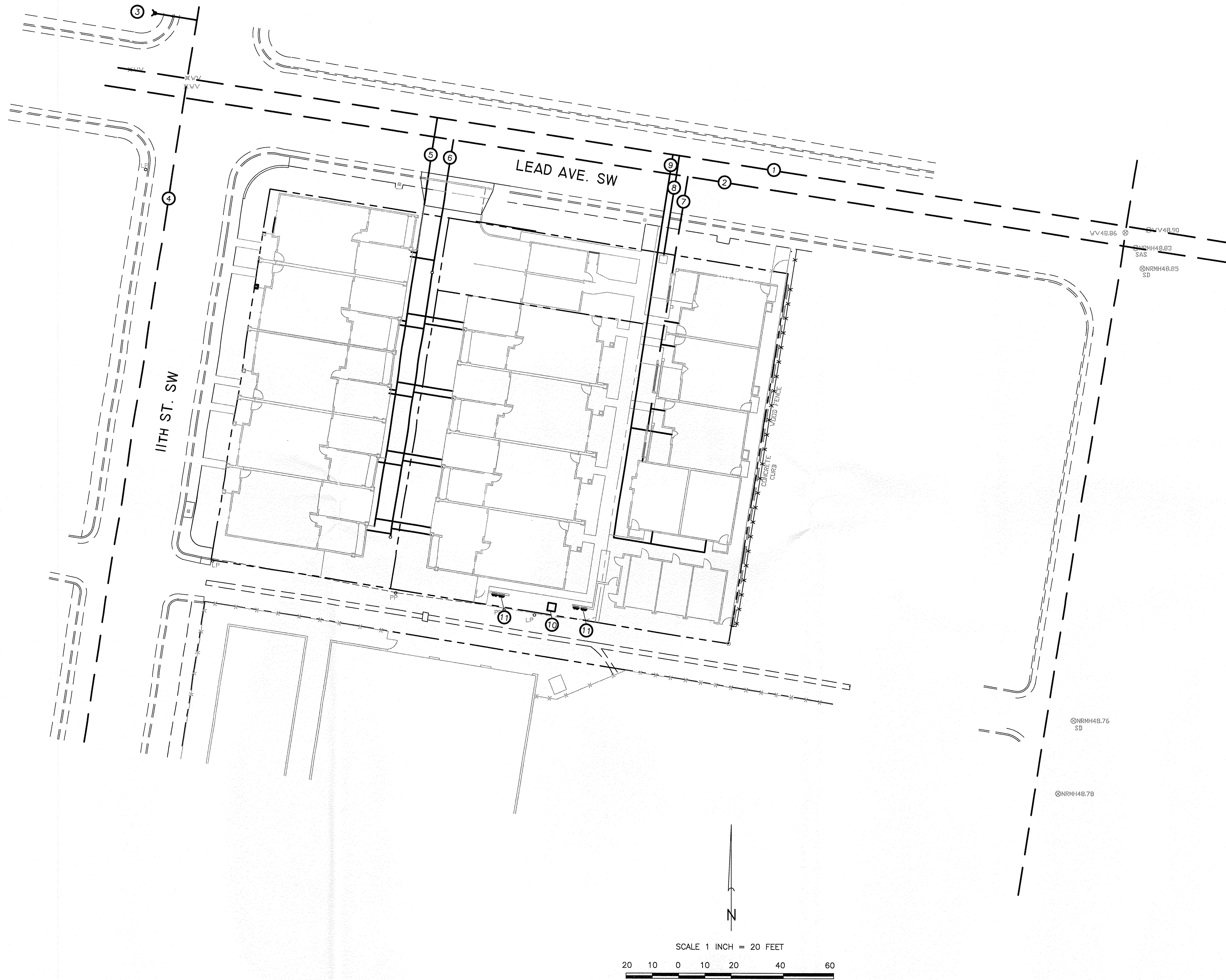
CONCEPTUAL UTILITIES
1010 LEAD SW
CONDOMINIUMS
ALBUQUERQUE, NEW MEXICO
JUNE, 2014

SITE UTILITY NOTES

1. WATER, SANITARY SEWER, STORM DRAIN, POWER, GAS AND COMMUNICATIONS ARE AVAILABLE TO THE SIGHT AT IT'S PERIMETER. OFFSITE CONSTRUCTION IS LIMITED TO SERVICE LINES.
2. COORDINATION OF UTILITY SERVICES MAY BE MADE THROUGH THE FOLLOWING:
WATER AND SANITARY SEWER - ABCWUA
POWER - PUBLIC SERVICE CO. OF NEW MEXICO
GAS - NEW MEXICO GAS CO.
TELEPHONE - CENTURY LINK
CABLE - COMCAST
3. A BLANKET DRY UTILITY (POWER, COMMUNICATIONS, GAS & CABLE TV) EASEMENT IS ESTABLISHED FOR THE ENTIRE PROJECT BY THE PLAT.
4. DEFINED EASEMENTS FOR PRIVATE WET UTILITY (WATER & SANITARY SEWER) ARE DEFINED ON THE PLAT.
5. FIRE SUPPRESSION SYSTEMS IN THE DWELLING UNITS ARE INCORPORATED INTO THE WATER SERVICE SYSTEM.

KEYED NOTES

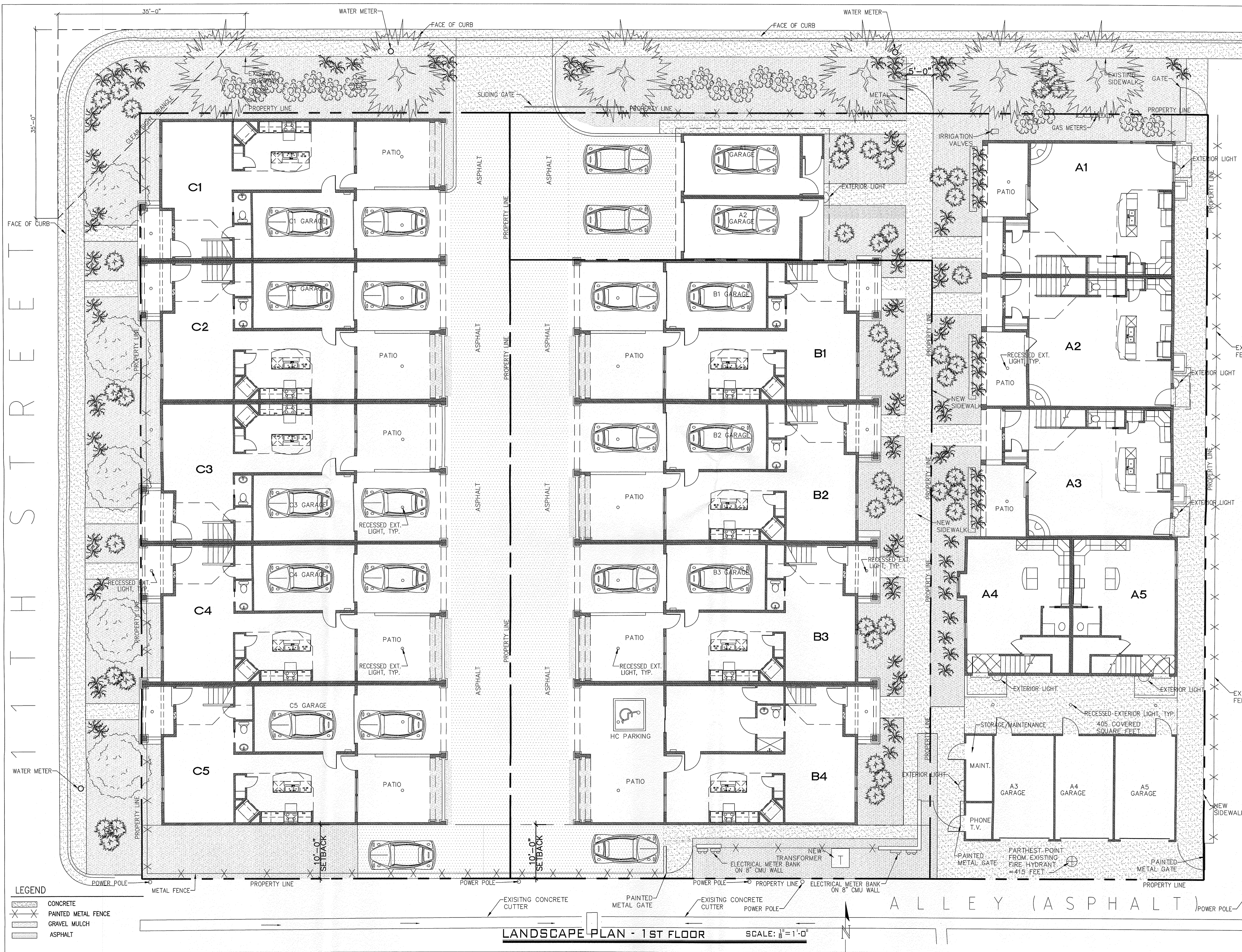
1. EXISTING 14" WATER LINE
2. EXISTING 8" V.C.P. SANITARY SEWER LINE.
3. EXISTING FIRE HYDRANT (415 FEET FROM SOUTHEAST CORNER OF SITE.
4. EXISTING 6" C.I. WATERLINE.
5. NEW 9 - 3/4" WATER METERS AND SERVICE LINES FOR BUILDINGS B AND C.
6. NEW 4" SANITARY SEWER SERVICE w/ CLEAN-OUTS AND 4" SERVICE LATERALS FOR BUILDINGS B AND C.
7. EXISTING 4" SANITARY SEWER SERVICE w/ NEW 4" SERVICE LATERALS.
8. NEW 3/4" WATER METER FOR LANDSCAPE IRRIGATION FOR ENTIRE PROJECT.
9. NEW 5 - 3/4" WATER METERS AND SERVICE LINES FOR BUILDING A.
10. POWER TRANSFORMER
11. ELECTRIC METERS ON 8" CMU WALL.



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PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

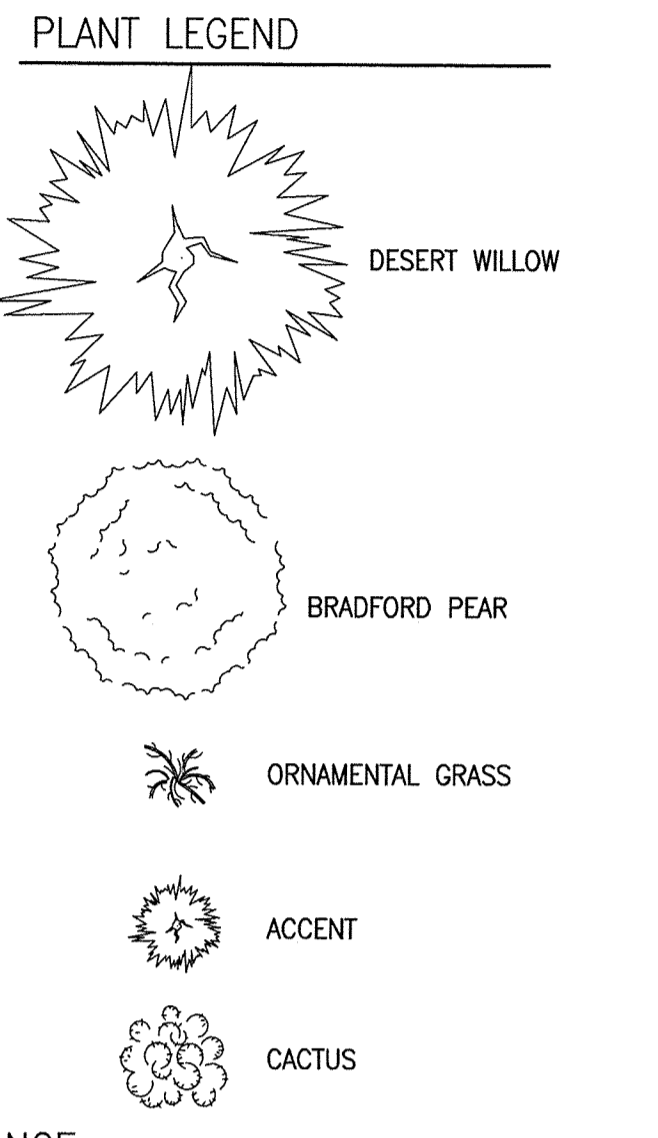
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



LANDSCAPE AREA CALCULATION

TOTAL LOT AREA 28400 SF
 OWNER-INSTALLED/MAINTAINED LANDSCAPING - 3672 SF
 IN ADJACENT RIGHT OF WAY - 12479 SF
 BUILDING FOOTPRINTS

NET LOT AREA = 13,311 SF
 X 15%
 REQUIRED LANDSCAPE AREA = 1,997 SF
 (4,798 SF PROVIDED)



MAINTENANCE

CONTRACTOR TO ASSUME RESPONSIBILITY FOR INITIAL LANDSCAPE MAINTENANCE. HOMEOWNERS/CONDOMINIUM ASSOCIATION TO TAKE OVER LANDSCAPE MAINTENANCE AS DESCRIBED IN HOA DOCUMENTS

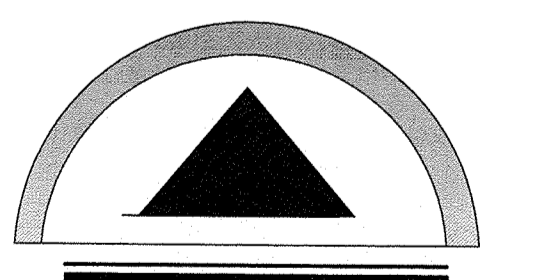
WATER CONSERVATION

IT IS THE INTENT OF ALL PLANT SELECTIONS, IRRIGATION SYSTEM DESIGN AND MAINTENANCE, ETC. TO BE COMPLIANT WITH THE ALBUQUERQUE WATER CONSERVATION ORDINANCE AND SECTION 14-16-3-10 GENERAL LANDSCAPING REGULATIONS.

DRAWING DESCRIPTION:
 CASITAS DE ALBUQUERQUE
 1010 LEAD, SW
 ALBUQUERQUE, NM 87102

STAMP:

DATE:	5/21/14
REVISIONS:	
1	DATE: REVISION:
2	
3	



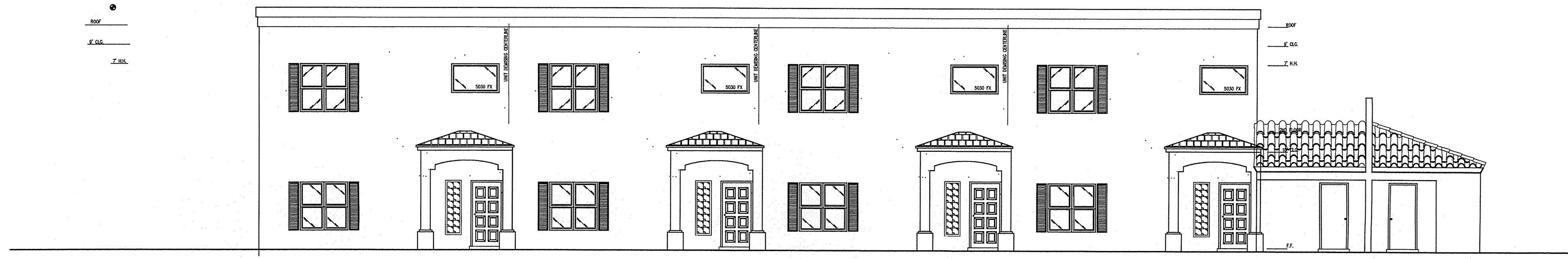
ARCHITRACTORS
 4508 DOWNEY NE
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 830-3125

SHEET NO.
 SHEET TITLE:

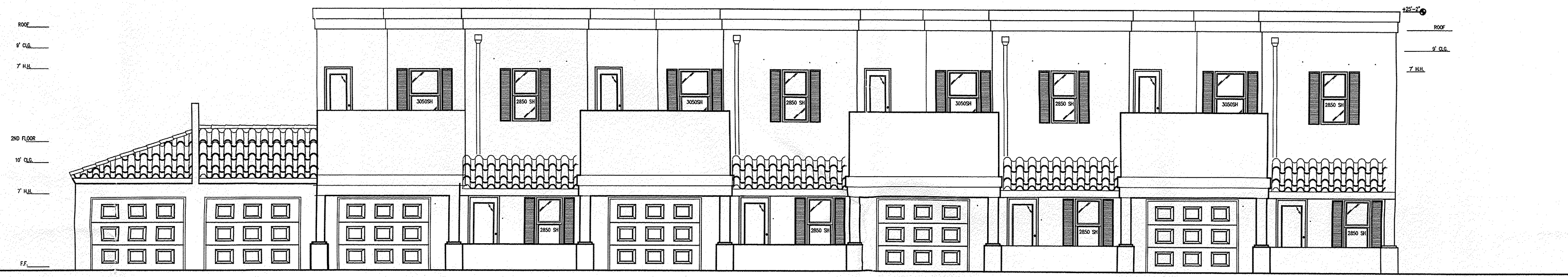
LEGEND

- CONCRETE
- PAINTED METAL FENCE
- GRAVEL MULCH
- ASPHALT

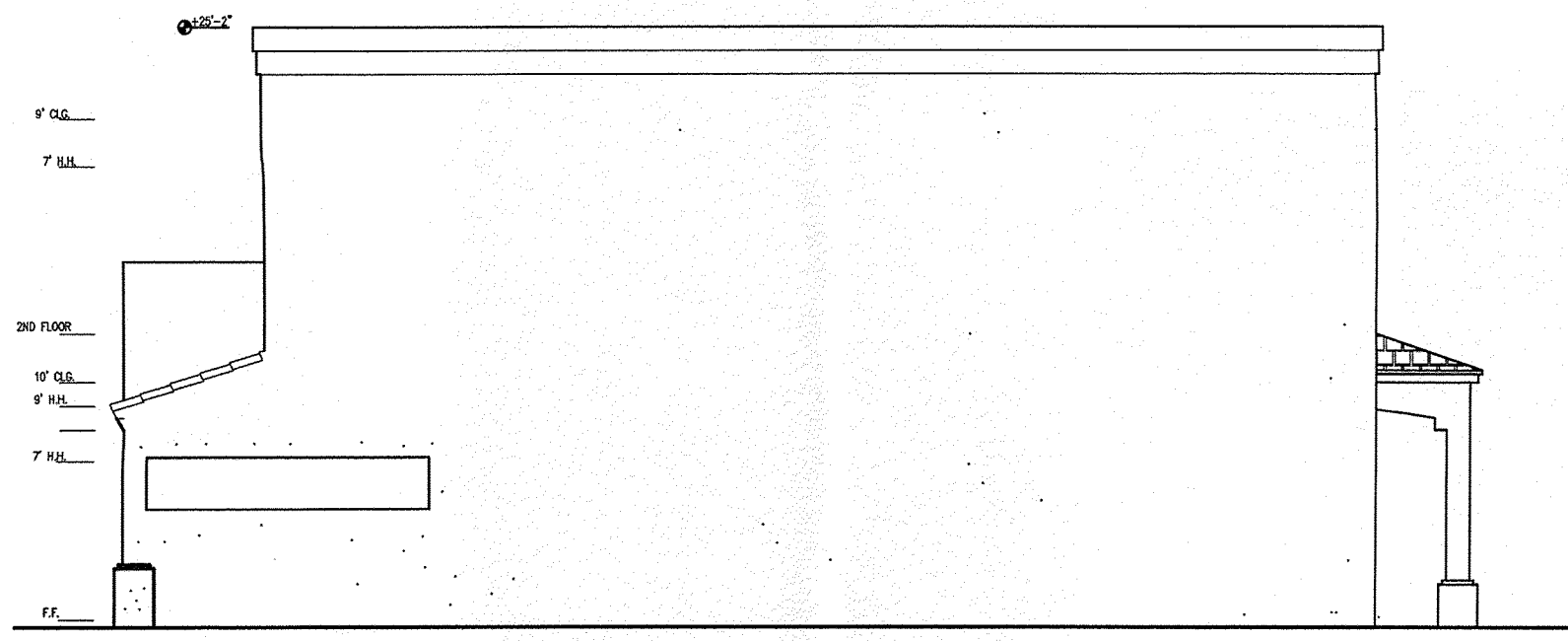
LANDSCAPE PLAN - 1ST FLOOR SCALE: 1/8" = 1'-0"



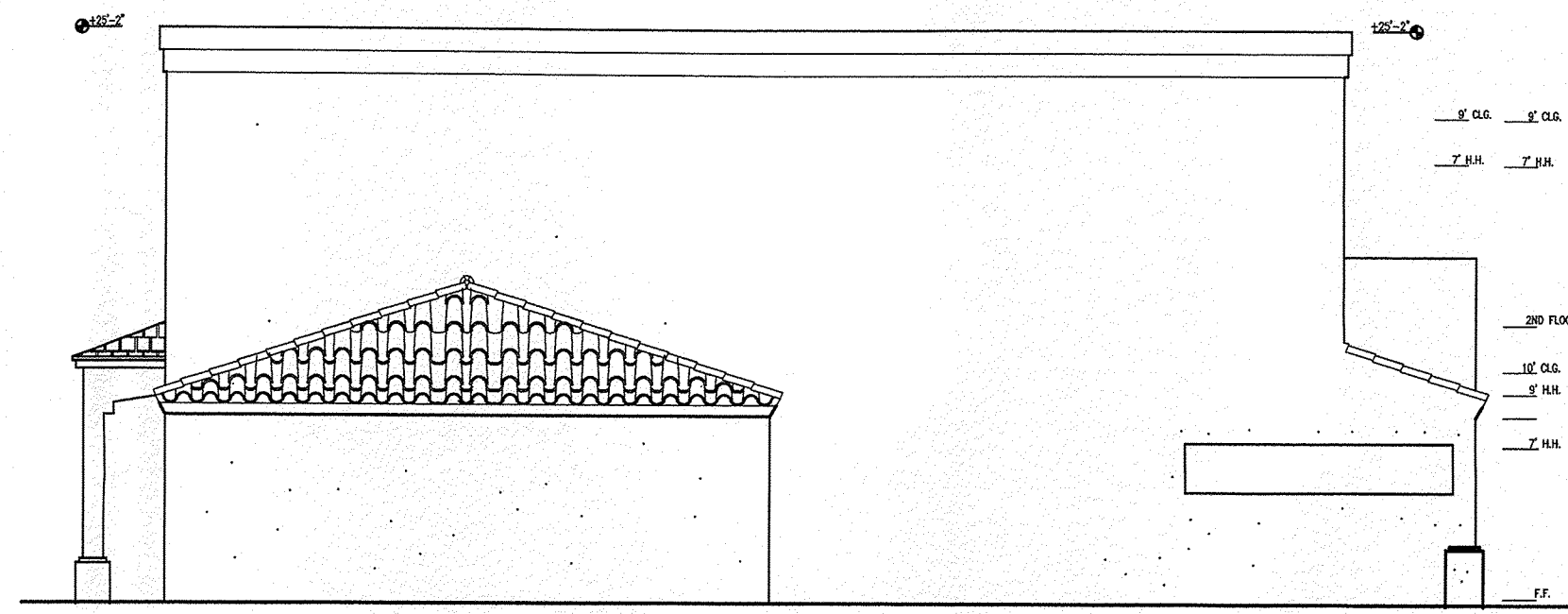
EAST ELEVATION SCALE: 1/8"=1'-0"
BUILDING B
 (BUILDING C WEST ELEVATION SIM.)



WEST ELEVATION SCALE: 1/8"=1'-0"
BUILDING B
 (BUILDING C EAST ELEVATION SIM.)



SOUTH ELEVATION SCALE: 1/8"=1'-0"
BUILDING B
 (BUILDING C SIM.)



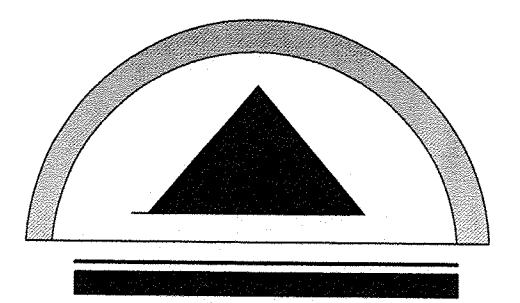
NORTH ELEVATION SCALE: 1/8"=1'-0"
BUILDING B
 (BUILDING C SIM.)

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 ALBUQUERQUE, NM 87102

STAMP:

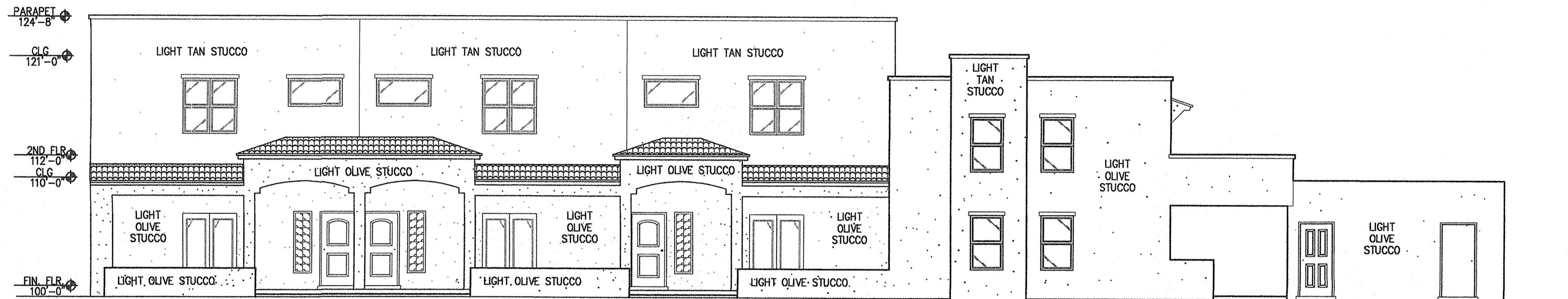
DATE: 11/22/13
 REVISIONS:
 1 DATE: REVISION:
 2
 3



ARCHITRACTORS
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 87109
 (505) 830-3125

SHEET NO.

SHEET TITLE:



NOTE:
BUILDING CONSTRUCTED OF WOOD FRAME AND STUCCO

WEST ELEVATION

SCALE: 1/8"=1'-0"

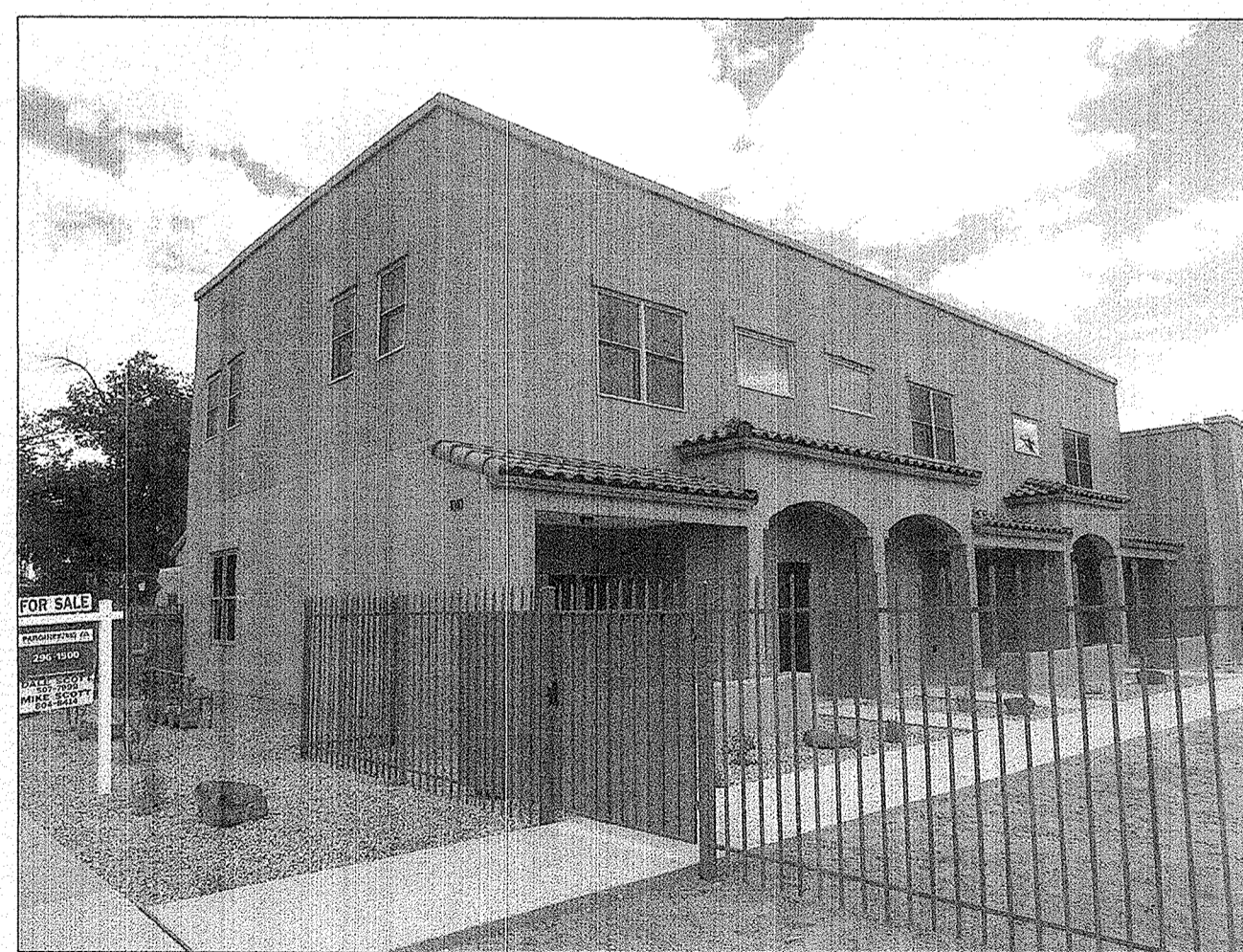
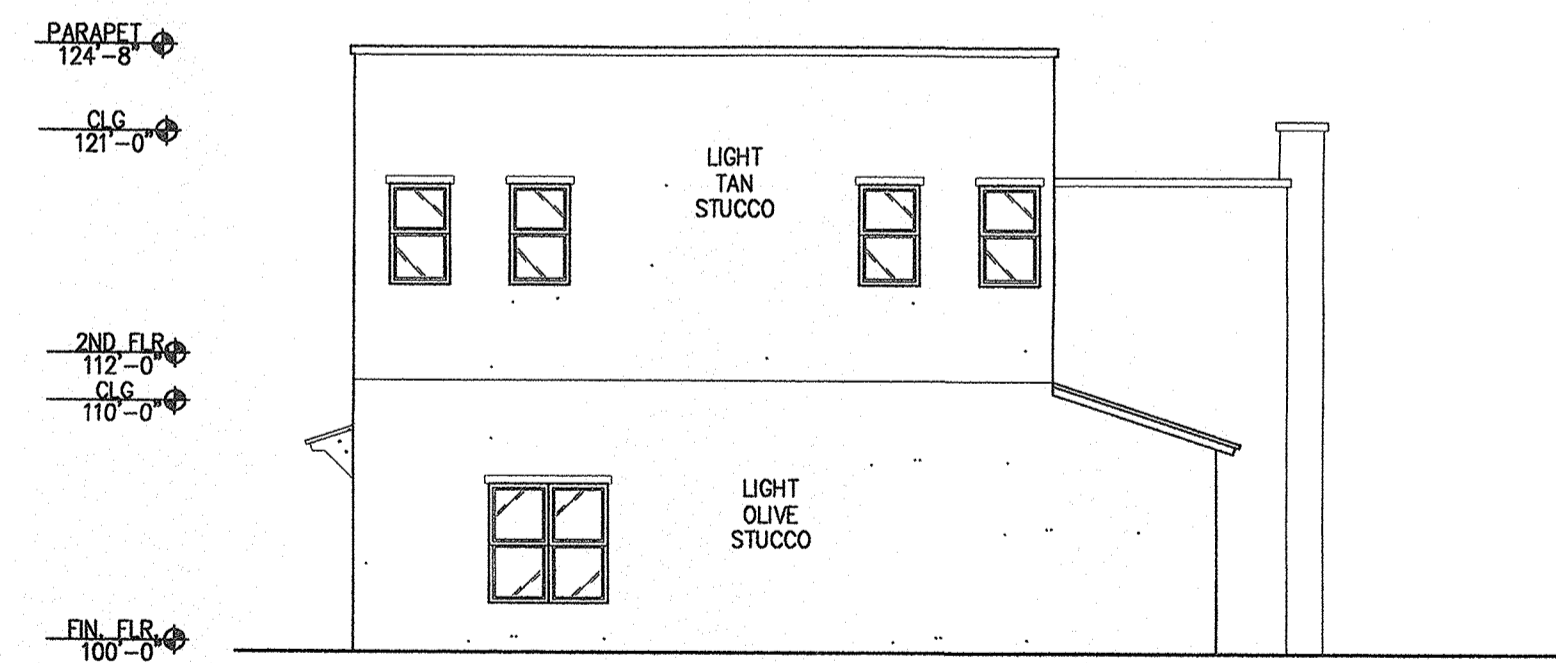


PHOTO - BUILDING A



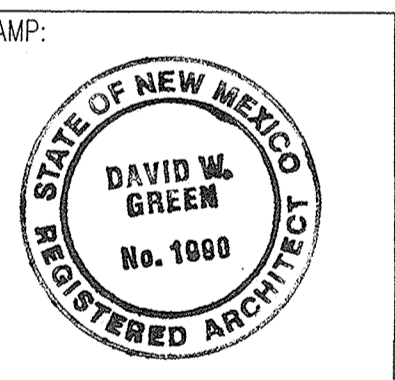
NOTE:
BUILDING CONSTRUCTED OF WOOD FRAME AND STUCCO

NORTH ELEVATION

SCALE: 1/8"=1'-0"

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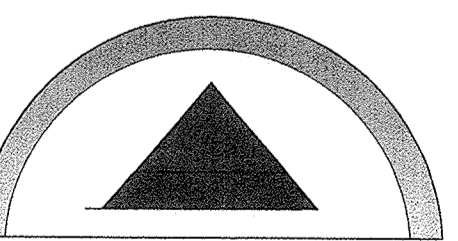
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CASITAS DE ALBUQUERQUE
1010 LEAD, SW
ALBUQUERQUE, NM 87102



DATE: 5/14/14

REVISIONS:

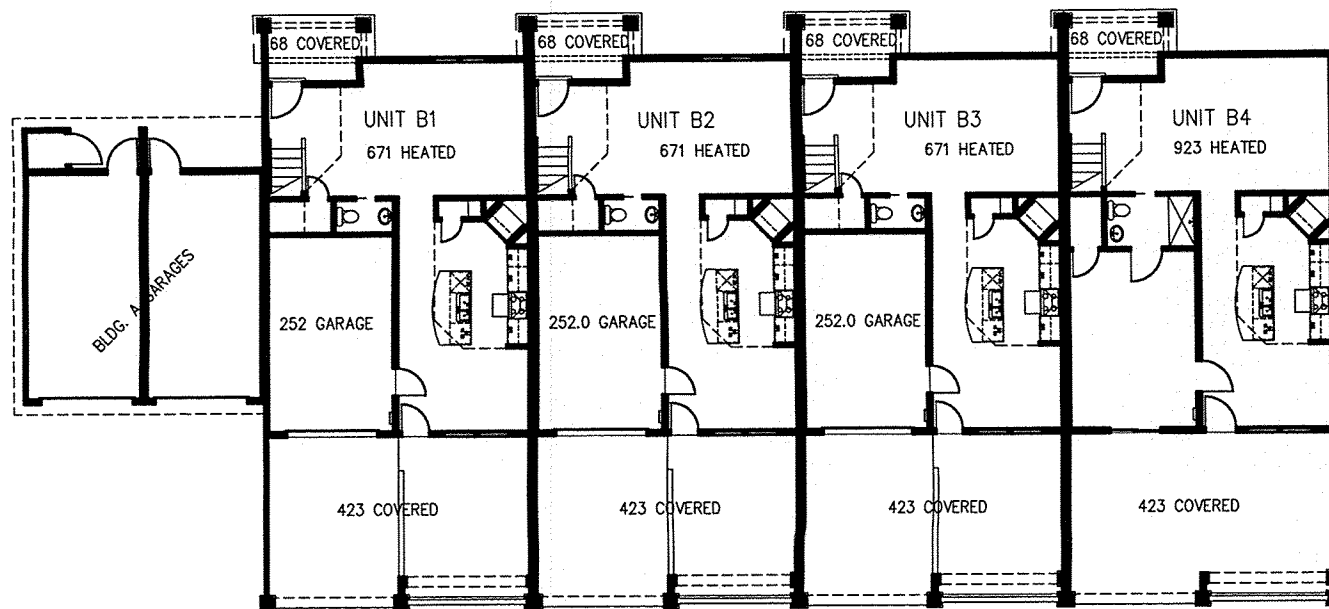
NO.	DATE	REVISION
1		
2		
3		



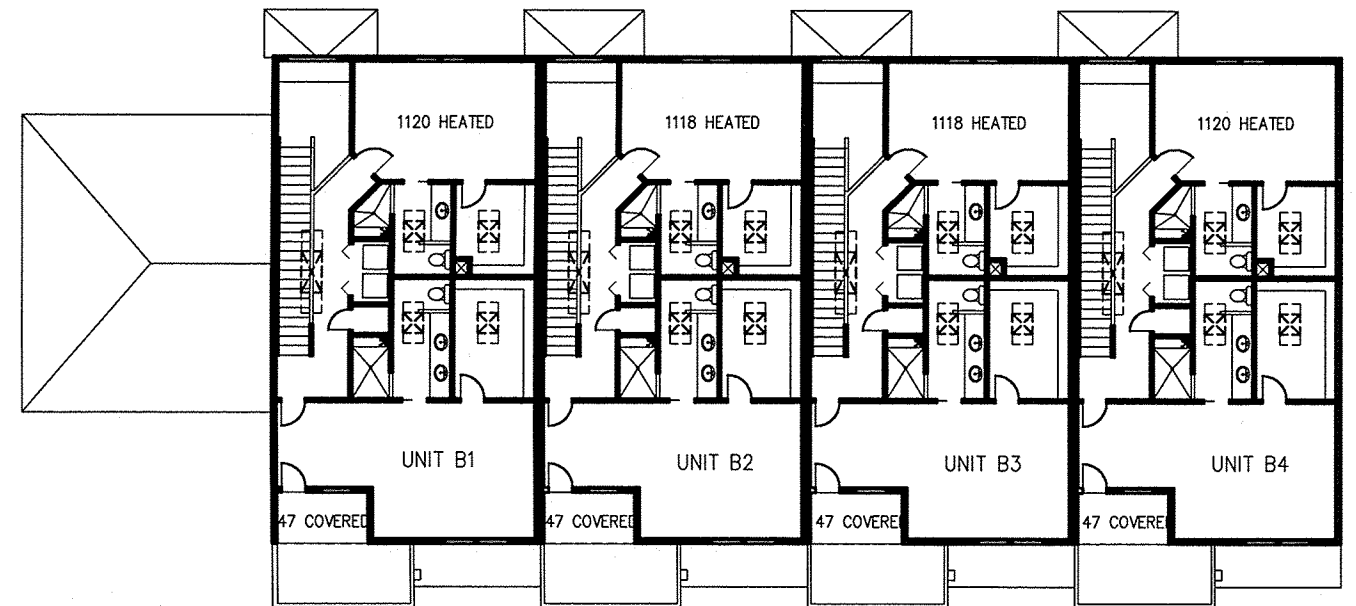
ARCHITRACTORS
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87109
(505) 830-3125

SHEET NO.

SHEET TITLE:
ELEVATIONS



FIRST FLOOR PLAN
BUILDING B



SECOND FLOOR PLAN
BUILDING B

AREA CALCULATIONS

UNIT B1

HEATED AREA:	
DOWNSTAIRS:	671 SQ. FT.
UPSTAIRS:	1120 SQ. FT.
TOTAL HEATED:	1791 SQ. FT.
COVERED AREA:	
COVERED ENTRY	68 SQ. FT.
COVERED ROOF DECK	47 SQ. FT.
CARPORT & PATIO	423 SQ. FT.
TOTAL	538 SQ. FT.
UNHEATED AREA:	
GARAGE	252 SQ. FT.

UNIT B2

HEATED AREA:	
DOWNSTAIRS:	671 SQ. FT.
UPSTAIRS:	1120 SQ. FT.
TOTAL HEATED:	1791 SQ. FT.
COVERED AREA:	
COVERED ENTRY	68 SQ. FT.
COVERED ROOF DECK	47 SQ. FT.
CARPORT & PATIO	423 SQ. FT.
TOTAL	538 SQ. FT.
UNHEATED AREA:	
GARAGE	252 SQ. FT.

UNIT B3

HEATED AREA:	
DOWNSTAIRS:	671 SQ. FT.
UPSTAIRS:	1120 SQ. FT.
TOTAL HEATED:	1791 SQ. FT.
COVERED AREA:	
COVERED ENTRY	68 SQ. FT.
COVERED ROOF DECK	47 SQ. FT.
CARPORT & PATIO	423 SQ. FT.
TOTAL	538 SQ. FT.
UNHEATED AREA:	
GARAGE	252 SQ. FT.

UNIT B4

HEATED AREA:	
DOWNSTAIRS:	923 SQ. FT.
UPSTAIRS:	1120 SQ. FT.
TOTAL HEATED:	2043 SQ. FT.
COVERED AREA:	
COVERED ENTRY	68 SQ. FT.
COVERED ROOF DECK	47 SQ. FT.
CARPORT & PATIO	423 SQ. FT.
TOTAL	538 SQ. FT.

BUILDING B TOTALS

UNIT:	HEATED AREA:	UNHEATED AREA:	COVERED AREA:
B1	1791 SQ. FT.	252 SQ. FT.	538 SQ. FT.
B2	1791 SQ. FT.	252 SQ. FT.	538 SQ. FT.
B3	1791 SQ. FT.	252 SQ. FT.	538 SQ. FT.
B4	2043 SQ. FT.		538 SQ. FT.
TOTAL	7416 SQ. FT.	756 SQ. FT.	2152 SQ. FT.

UNIT A1

HEATED AREA:

DOWNSTAIRS: 706 SQ. FT.

UPSTAIRS: 735 SQ. FT.

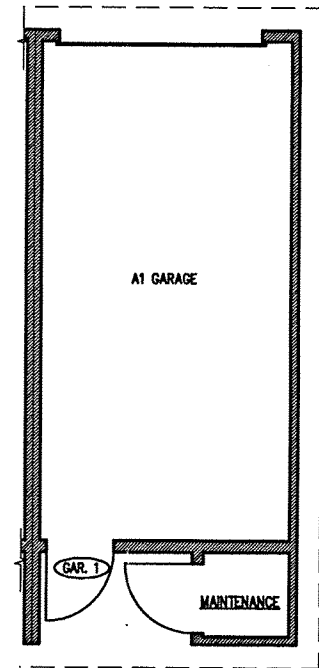
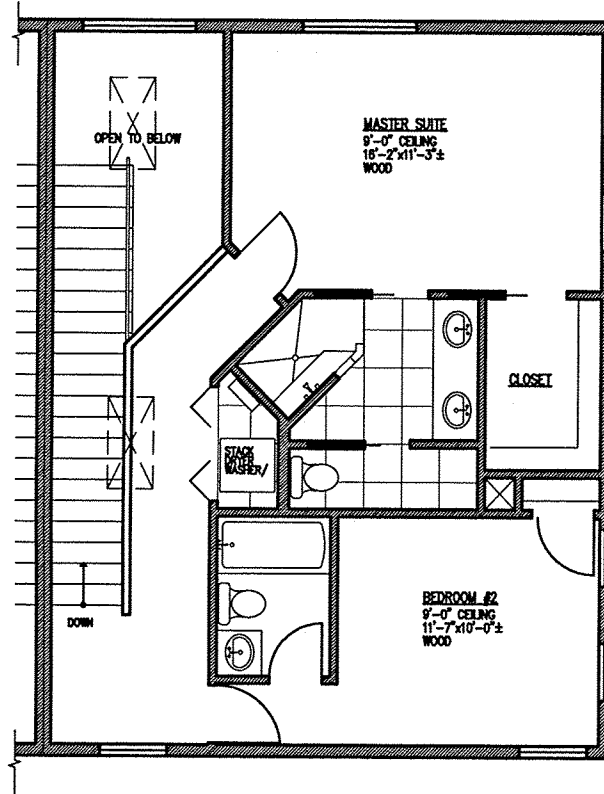
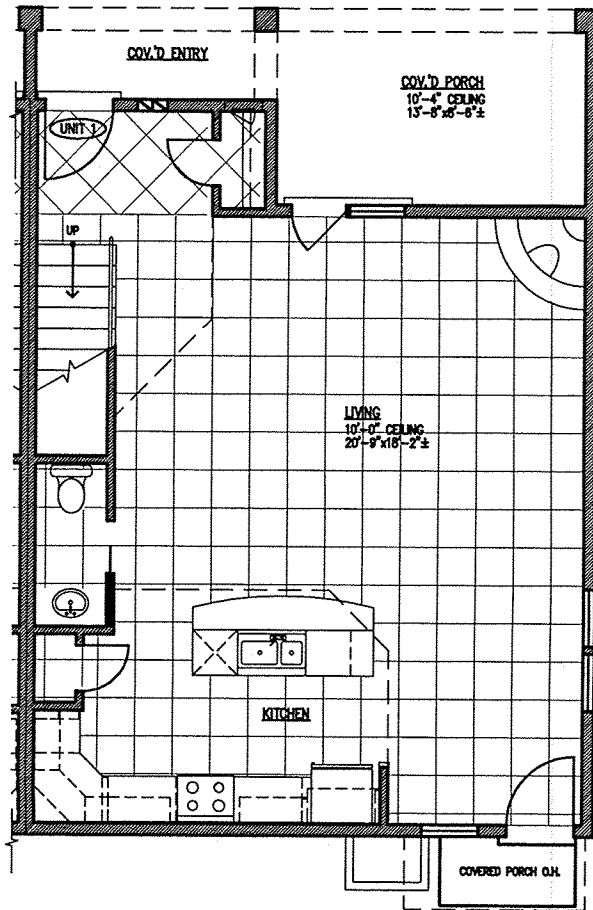
TOTAL HEATED: 1441 SQ. FT.

COVERED AREA:

FRONT ENTRY/PORCH: 165 SQ. FT.

BACK PORCH: 24 SQ. FT.

TOTAL: 189 SQ. FT.



UNIT A1

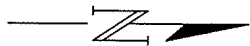
FIRST FLOOR PLAN

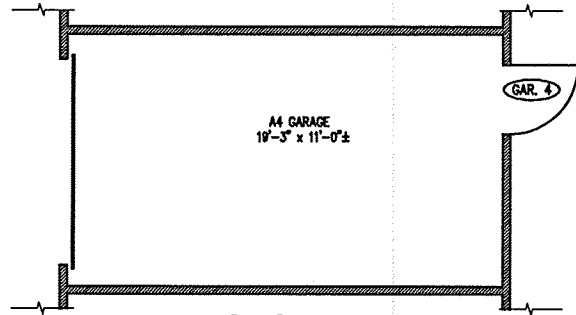
UNIT A1

SECOND FLOOR PLAN

UNIT A1

DETACHED GARAGE





UNIT A4

DETACHED GARAGE

UNIT A4

HEATED AREA:

DOWNSTAIRS: 487 SQ. FT.

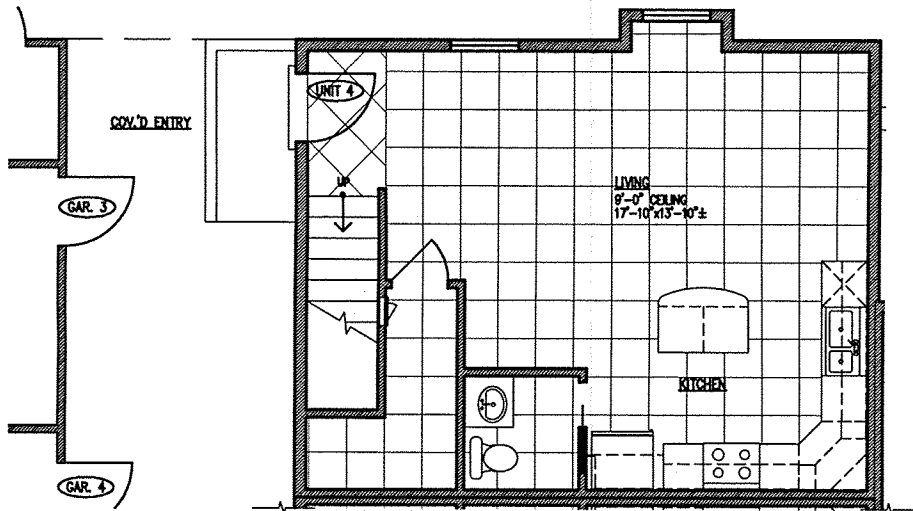
UPSTAIRS: 524 SQ. FT.

TOTAL HEATED: 1011 SQ. FT.

COVERED AREA:

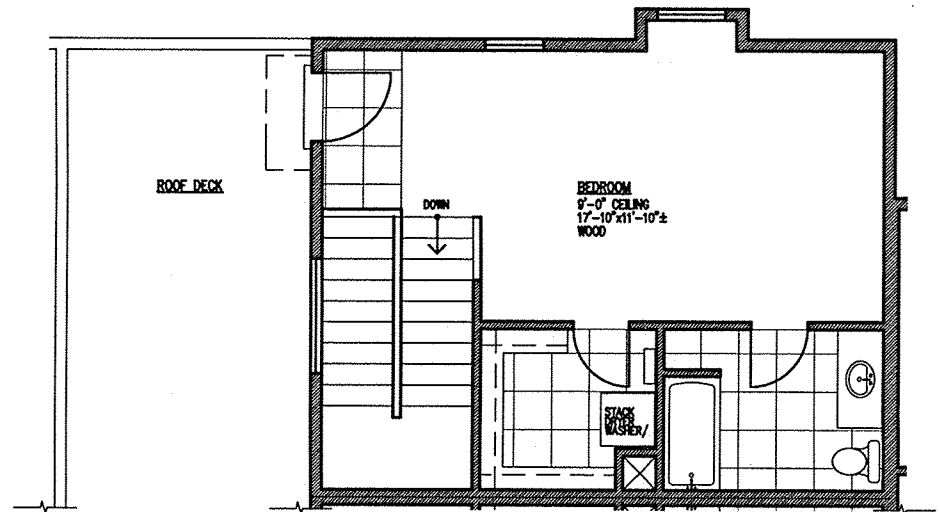
COVERED ENTRY: 200 SQ. FT.

ROOF DECK: 200 SQ. FT.



UNIT A4

FIRST FLOOR PLAN



UNIT A4

SECOND FLOOR PLAN

