



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- V Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- P Adoption of Rank 2 or 3 Plan or similar Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

**D Street Name Change (Local & Collector)**

- L A **APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE: 505.321.9099  
ADDRESS: PO BOX 93924 FAX: 505.872.0999  
CITY: ALBUQUERQUE STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com  
APPLICANT: VANDY INVESTMENTS PHONE: \_\_\_\_\_  
ADDRESS: 6501 EAGLE ROCK NE STE C FAX: \_\_\_\_\_  
CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: jazar@joeazar.com  
Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: site plan for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOTS 4-10 AND 23-29 Block: 28 Unit: B  
Subdiv/Addn/TBKA: NORTH ALBUQUERQUE ACRES  
Existing Zoning: SU2 Proposed zoning: SU2 MRGCD Map No \_\_\_\_\_  
Zone Atlas page(s): C-18 UPC Code: 101806434040610329

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):  
1008670, 1009881

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill?  NO  
No. of existing lots: 14 No. of proposed lots: 1 Total site area (acres): 12.4  
LOCATION OF PROPERTY BY STREETS: On or Near: ALAMEDA BLVD NE  
Between: SAN PEDRO BLVD NE and LOUISIANA BLVD NE  
Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE \_\_\_\_\_  
(Print Name) DAVID SOULE Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 11/2014

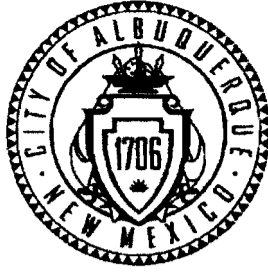
<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Hearing date \_\_\_\_\_

Project # \_\_\_\_\_

Staff signature & Date \_\_\_\_\_

Case #s assigned \_\_\_\_\_ Planner signature / date \_\_\_\_\_  
 Related #s listed \_\_\_\_\_ Project # \_\_\_\_\_



City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103  
**Planning Department**  
Suzanne Lubar, Director

Richard J. Berry, Mayor  
September 11, 2013

Robert J. Perry, CAO

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**SUBJECT:** ALBUQUERQUE ARCHAEOLOGICAL ORDINANCE—Compliance Documentation

**Project Number(s):**

**Case Number(s):**

**Agent:** Rio Grande Engineering of NM, LLC

**Applicant:** Vandy LLC

**Legal Description:** Lots 4-10 & 23-29, Block 28; Tract A, Unit B, North Albuquerque  
Acres

**Zoning:** SU-2 for IP

**Acreage:** 12.3 acres

**Zone Atlas Page:** C-18

**CERTIFICATE OF NO EFFECT:** Yes  No

**CERTIFICATE OF APPROVAL:** Yes  No

**TREATMENT PLAN REVIEW:**

**DISCOVERY:**

**SUPPORTING DOCUMENTATION:**


Certificate of Completion, Oakland Avenue Landfill, NMED letter of June 23, 2009

**SITE VISIT:** n/a

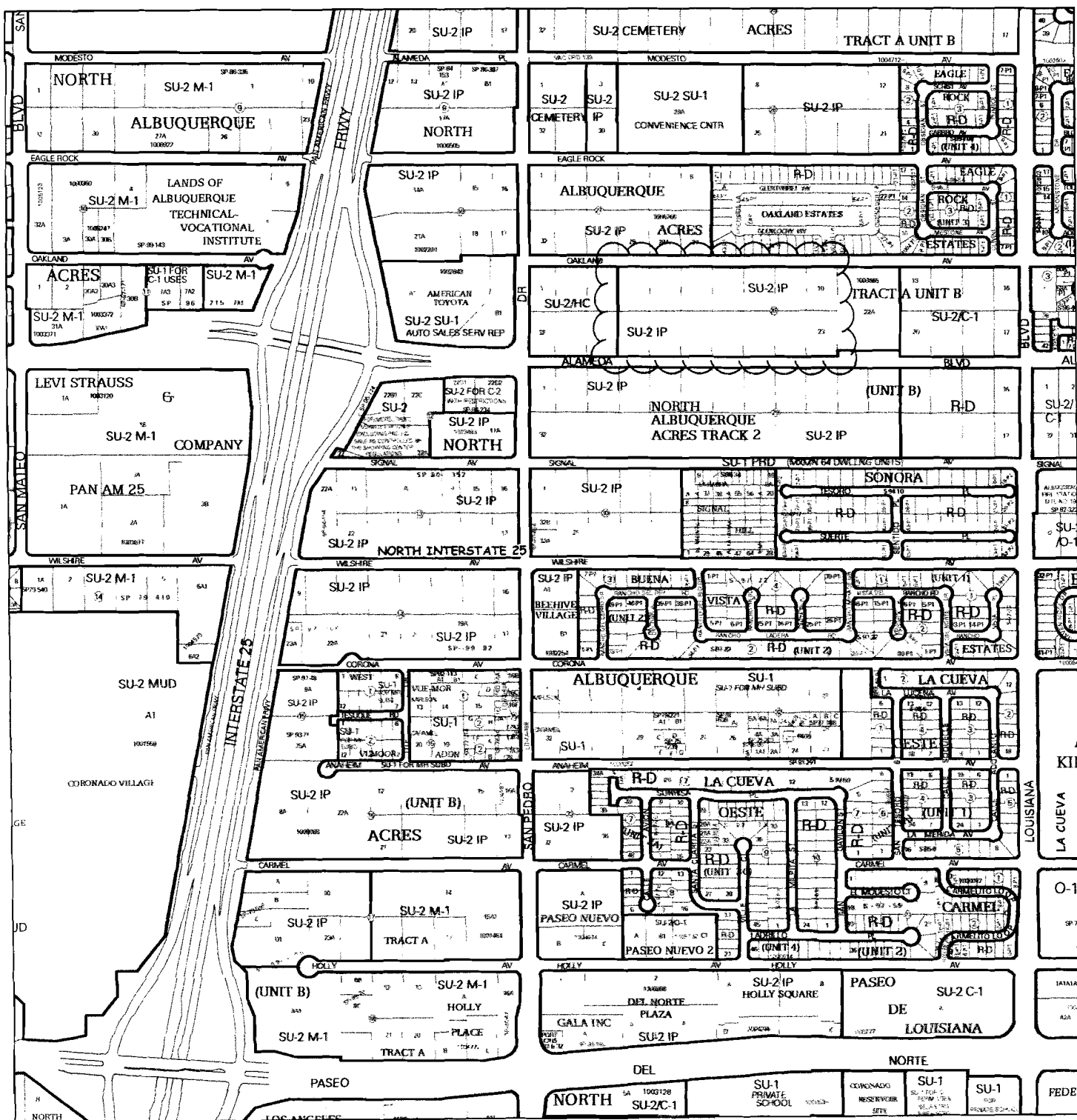
**RECOMMENDATION(S):**

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance).*

**SUBMITTED:**

Matthew Schmader, PhD   
Superintendent, Open Space Division  
City Archaeologist

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For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**C-18-Z**

**Selected Symbols**

- SECTOR PLANS Escarpment
- Design Overlay Zones 2 Mile Airport Zone
- City Historic Zones Airport Noise Contours
- H-1 Buffer Zone Wall Overlay Zone
- Petroglyph Mon.

0 750 1,500 Feet

February 19, 2016

Mr. Jack Cloud  
Chair- Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> street NW  
Albuquerque, NM 87102

**RE: Preliminary Plat Approval  
Legacy NAA Apartments  
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests approval of the enclosed site plan for subdivision and building permit. The proposed development is a 232-unit luxury apartment complex. The complex contains amenities that included club house, pool facilities, common open space areas and a dog park. The main access to the project will be from a single access to Alameda. The site will have exit only access at two locations on Oakland. The project is located within the North Interstate 25 Sector development plan. The site is currently zoned SU2 IP /SU2 NC. The proposed use is allowed within the NC land use category. The density is less than 20 dwelling units per acre. The set backs and parking conform to the sector plan setbacks. The site development plan provides for a variety of pedestrian circulation options. The enclosed documents include all items required on the application check list for the board to review in rendering a decision.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,



David Soule, PE  
RIO GRANDE ENGINEERING  
PO Box 93924  
ALBUQUERQUE, NM 87199  
321-9099

Enclosures

Cc;

Bob Smith/Gina Martinez  
PO Box 94115  
Albuquerque NM 87199

Michael Gonzales  
8201 Milpita ST NE  
Albuquerque, NM 87113

Terry Daughton  
8309 Calle Sequelle  
Albuquerque, 87113

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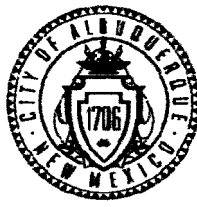
Letter of Authorization

I, Aleem Kassam , Managing Member of Vandy Investments, owner of LOTS 4-10 &23-29, BLOCK 28, NORTH ALBUQUERQUE ACRES UNIT A TRACT B hereby authorize Rio Grande Engineering of New Mexico, LLC and RAB, LLC to act as our agent regarding the submittal and approval process for the site plan and platting actions required within City of Albuquerque NM for the subject property

OWNER/DEVELOPER:

By: AKL  
Name: Aleem Kassam  
Title: MANAGING MEMBER  
Date: 2/22/14  
Telephone: 505-321-3704

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**City of Albuquerque**  
P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE: The NA/HOA information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office.**

February 18, 2016

David Soule  
Rio Grande Engineering  
P.O. Box 93924  
Phone: 505-321-9099/Fax: 505-872-0999  
E-mail: [david@riograndeengineering.com](mailto:david@riograndeengineering.com)

Dear David:

Thank you for your inquiry of **February 18, 2016** requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* by your proposed project at **(DRB SUBMITTAL) – LOTS 4-10, 23-29, BLOCK 28, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES LOCATED ON ALAMEDA BOULEVARD NE BETWEEN SAN PEDRO DRIVE NE AND LOUISIANA BOULEVARD NE** zone map **C-18**.

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this submittal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's – siw.**

Please note that according to §14-8-2-7 of the *Neighborhood Association Recognition Ordinance* you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing (**PLEASE ATTACH: 1) Copy of this letter; 2) Copy of letters sent to NA/HOA's and 3) Copy of White Receipts showing proof that you sent certified mail w/stamp from U.S.P.S. showing date.**) If you have any questions about the information provided please contact me at (505) 924-3914 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

*Stephani Winklepleck*

Stephani Winklepleck  
Neighborhood Liaison  
OFFICE OF NEIGHBORHOOD COORDINATION  
Planning Department

**LETTERS MUST BE SENT  
TO BOTH CONTACTS OF  
EACH NA/HOA.**

# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

### Information from the Office of Neighborhood Coordination

The following information should always be in **each** application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at [swinklepleck@cabq.gov](mailto:swinklepleck@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*  
(below this line for ONC use only)

Date of Inquiry: **02/18/16** Time Entered: **4:25 p.m.** ONC Rep. Initials: **siw**

**ATTACHMENT A**

**(DRB SUBMITTAL) - LOTS 4-10 AND 23-29, BLOCK 28, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES LOCATED ON ALAMEDA BOULEVARD NE BETWEEN SAN PEDRO DRIVE NE AND LOUISIANA BOULEVARD NE zone map C-18 for David Soule, Rio Grande Engineering.**

**NOR ESTE N.A. "R"**

**\*Bob Smith**

P.O. Box 94115/87199-0066 828-1319 (h)

Gina Martinez

P.O. Box 94115/87199-0066 238-5495 (c)

**WEST LA CUEVA N.A. "R"**

**\*Michael A. Gonzales**

8201 La Milpita St. NE/87113 797-7283 (h)

Terry Daughton

8309 Calle Soquelle NE/87113 847-863-2679 (c)

**\*President of NA/HOA**

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## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.***

 2/18/16  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

***Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.***

### Accompanying Material

A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan

B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

## SHEET #1 – SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale:  
1.0 acre or less 1" = 10'                      Over 5 acres 1" = 50'  
1.0 - 5.0 acres 1" = 20'                      Over 20 acres 1" = 100'  
[other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information;  
proposed easements on the site
9. Phases of development including location and square footages of structures, circulation,  
parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development

### 1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

### 2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. **Location and typical dimensions**, including handicapped spaces
  - 2. **Calculations:** spaces required: 420 provided: 421  
Handicapped spaces (included in required total) required: 12 provided: 12  
Motorcycle spaces (in addition to required total) required: 6 provided: garage
- B. Bicycle parking & facilities
  - 1. Bicycle racks, spaces required: 22 provided: 42
  - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
  - N/a 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths
  - 2. Location and dimension of drive aisle crossings, including paving treatment
  - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Curb cut locations and dimensions
  - 6. Existing and proposed street widths, right-of-way widths and curve radii
  - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 8. Location of traffic signs and signals related to the functioning of the proposal
  - 9. Identify existing and proposed medians and median cuts

### 3. Phasing – This is required information if phasing of project is anticipated

- na Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

### SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
  - A. Type, location and size of trees (common and/or botanical names)
  - B. Type and location of all ground cover material (organic/inorganic)
  - C. Existing vegetation, indicating whether it is to be preserved or removed
  - D. Ponding areas either for drainage or landscaping/recreational use
  - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
  - A. Required and Provided Landscape Area – square footage and percent
  - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

### SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

#### B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
  - A. Conceptual onsite drainage system
  - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

### SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

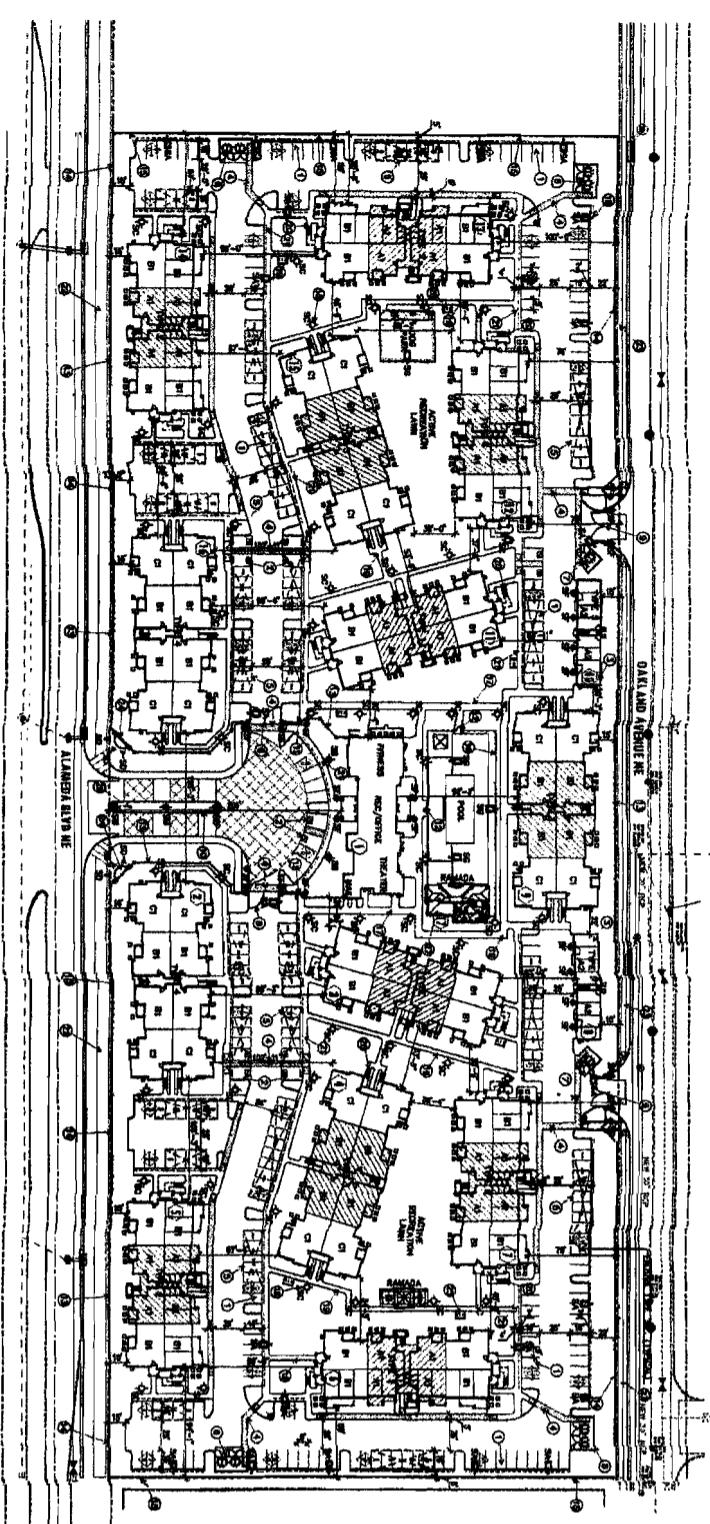
### SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

#### A. General Information

- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
  - a. Identify facade orientation (north, south, east, & west)
  - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
  - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
  - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

#### B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance



**PRELIMINARY SITE PLAN**

Scale: 1" = 50'-0"



**LEGEND**

- 1. 1" = 10' SCALE: 1" = 10'
- 2. 1" = 20' SCALE: 1" = 20'
- 3. 1" = 50' SCALE: 1" = 50'
- 4. 1" = 100' SCALE: 1" = 100'
- 5. 1" = 200' SCALE: 1" = 200'
- 6. 1" = 500' SCALE: 1" = 500'
- 7. 1" = 1000' SCALE: 1" = 1000'
- 8. 1" = 2000' SCALE: 1" = 2000'
- 9. 1" = 5000' SCALE: 1" = 5000'
- 10. 1" = 10000' SCALE: 1" = 10000'

**PERMITS REQUIRED**

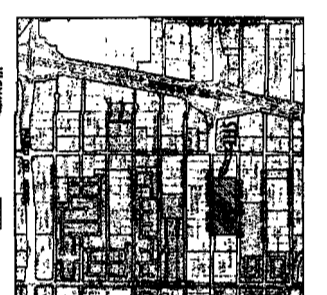
PERMIT TYPE	ISSUING AGENCY	STATUS
GRADING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
CONCRETE PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR

**PERMITS REQUIRED (CONT.)**

PERMIT TYPE	ISSUING AGENCY	STATUS
GRADING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
CONCRETE PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR

**PERMITS REQUIRED (CONT.)**

PERMIT TYPE	ISSUING AGENCY	STATUS
GRADING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
CONCRETE PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
MECHANICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
ELECTRICAL PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR
PLUMBING PERMIT	ALBANY ENGINEERING & SURVEYING	APPLIED FOR



**NOTES**

1. This is a preliminary site plan. It is not intended to be used for construction purposes.
2. All dimensions are in feet and inches.
3. All bearings are in degrees, minutes, and seconds.
4. All distances are in feet.
5. All elevations are in feet above mean sea level.
6. All areas are in square feet.
7. All volumes are in cubic feet.
8. All weights are in pounds.
9. All forces are in pounds.
10. All moments are in foot-pounds.

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ALBANY ENGINEERING & SURVEYING, INC.

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**ALBANY ENGINEERING & SURVEYING, INC.**  
1111 12th Street, NW  
Albany, OR 97321  
503.325.1234  
www.albany-engineering.com

- REFERENCES**
1. ALBANY ENGINEERING & SURVEYING, INC.
  2. ALBANY ENGINEERING & SURVEYING, INC.
  3. ALBANY ENGINEERING & SURVEYING, INC.
  4. ALBANY ENGINEERING & SURVEYING, INC.
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- INDEX OF SHEETS**
- A110-SITE PLAN FOR OUTLINED PERMIT
  - A111-SITE PLAN DETAILS
  - A112-SITE PLAN DETAILS
  - A113-SITE PLAN DETAILS
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  - A200-SITE PLAN DETAILS

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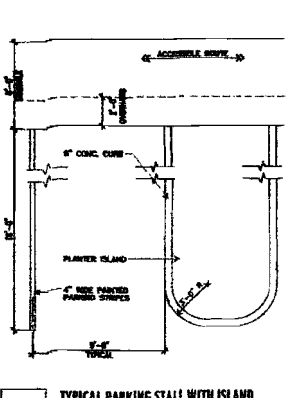
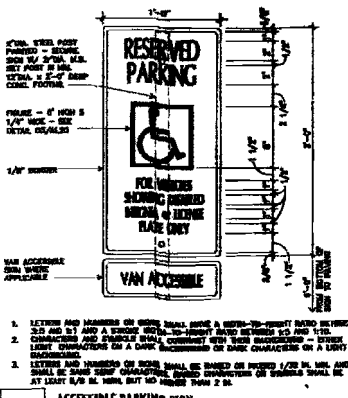
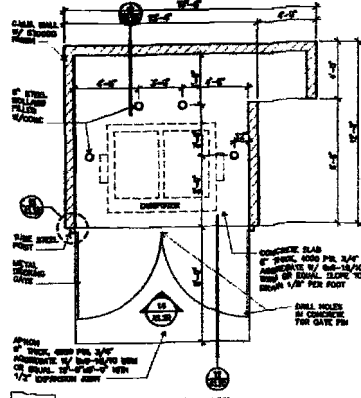
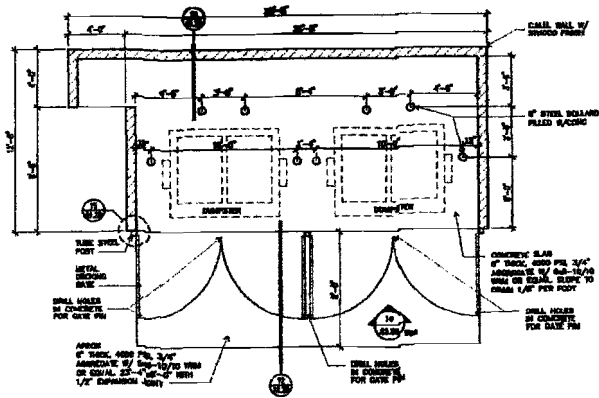
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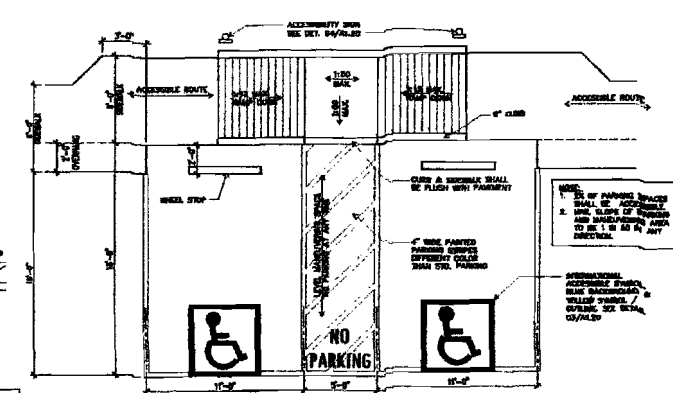
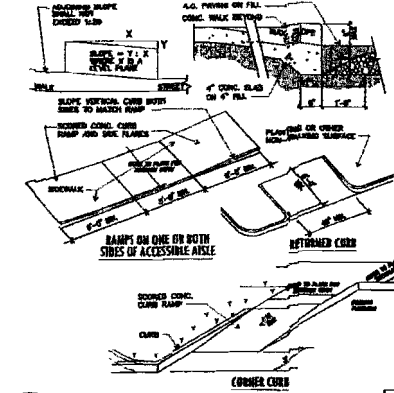
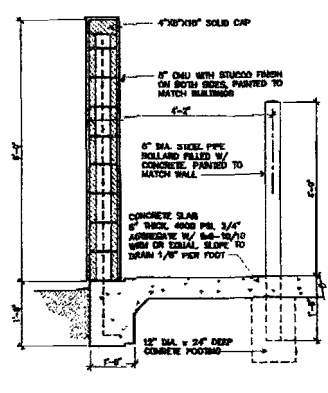
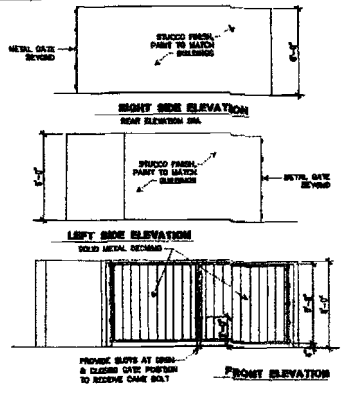
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12 DOUBLE TRASH ENCLOSURE PLAN SCALE: 1/4" = 1'-0"  
 07 SINGLE TRASH ENCLOSURE PLAN SCALE: 1/4" = 1'-0"  
 04 ACCESSIBLE PARKING SIGN NOT TO SCALE  
 01 TYPICAL PARKING STALL WITH ISLAND SCALE: 1/4" = 1'-0"

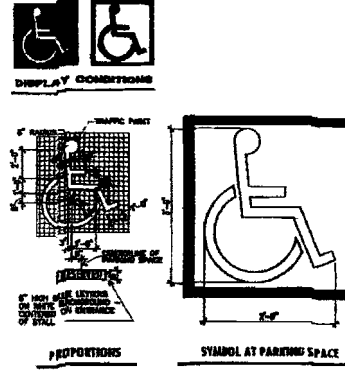
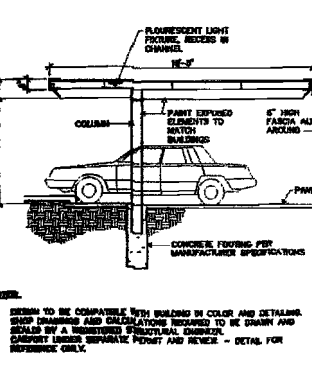
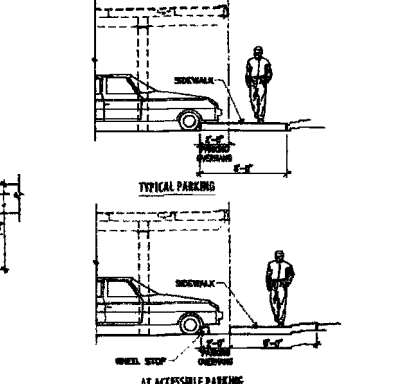
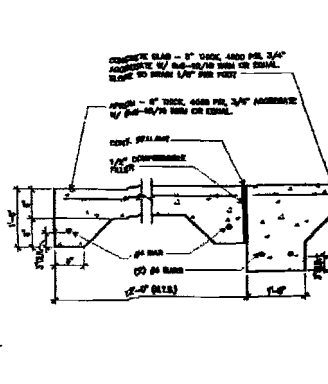
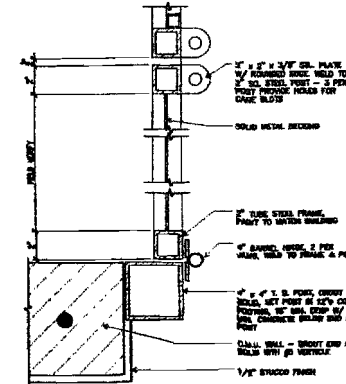


14 REFUSE ENCLOSURE ELEVATIONS SCALE: 1/4" = 1'-0"

11 TRASH ENCLOSURE WALL SCALE: 3/4" = 1'-0"

08 TYPICAL ACCESSIBLE RAMP NOT TO SCALE

05 TYPICAL ACCESSIBLE PARKING STALL SCALE: 1/4" = 1'-0"



15 TRASH ENCLOSURE GATE SCALE: 3/4" = 1'-0"

12 REFUSE ENCLOSURE SLAB JOINT SCALE: 1" = 1'-0"

09 SIDEWALK AT PARKING SCALE: 1/4" = 1'-0"

06 CANOPY DETAIL SCALE: 1/4" = 1'-0"

03 INTERNATIONAL SYMBOL OF ACCESSIBILITY NOT TO SCALE

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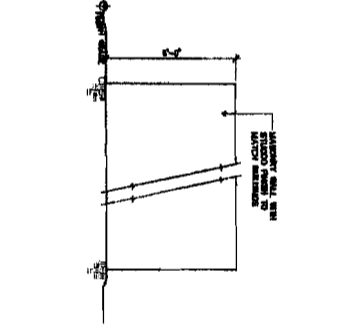
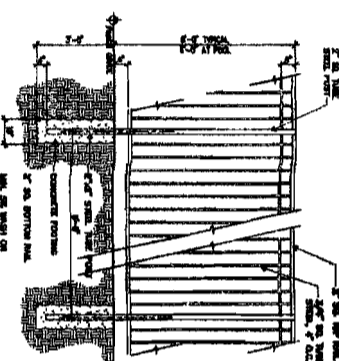
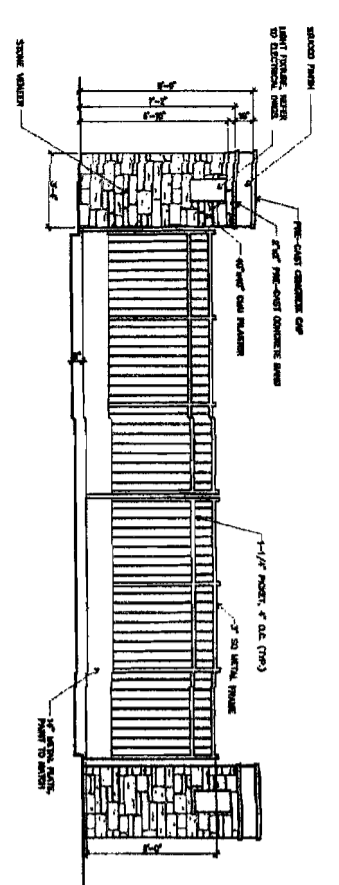
Office of Rick Barber  
**ORB**  
 ARCHITECTS  
 WORLDHQ@ORBARCH.COM

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 LEGACY HOSPITALITY

NOTES:  
 1. REFER TO STRUCTURAL DETAILS AND PLANS FOR STRUCTURAL RELATED INFORMATION. TYPICAL THESE DRAWINGS ARE ARCHITECTURAL ONLY.  
 2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON SPECIFIC MATERIALS AND MANUFACTURERS.

DATE: FEBRUARY 4, 2014 09:00 15-011  
**A1.20**  
 SITE DETAILS  
 01 - 15

FILED: UNDATED 2014 FEBRUARY 10 10:00 AM LEGACY HOSPITALITY ARCHITECTS 10000 SAN PEDRO AND ALAMEDA ALBUQUERQUE, NM 87105  
 LEGACY HOSPITALITY ARCHITECTS 10000 SAN PEDRO AND ALAMEDA ALBUQUERQUE, NM 87105



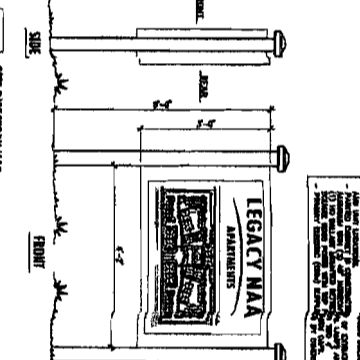
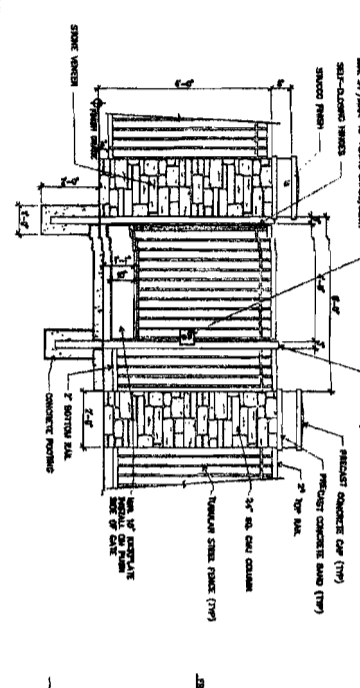
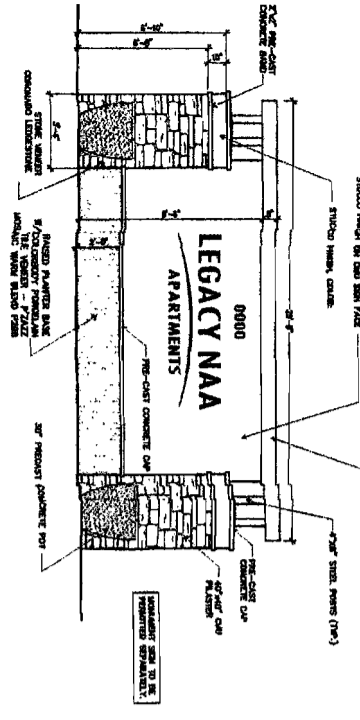
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 Barber  
 Architects, LLC  
 www.barberarchitects.com

21 VERTICAL ENTRY GATE SCALE: 3/8" = 1'-0"

19 TYPICAL STEEL FENCE SCALE: 1/2" = 1'-0"

16 PRECAST MASONRY WALL SCALE: 1/2" = 1'-0"



**LEGACY NAA APARTMENTS**

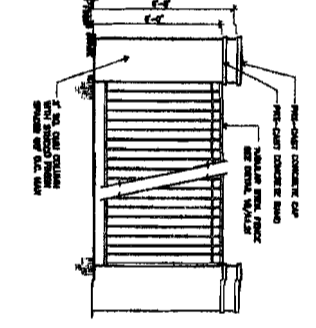
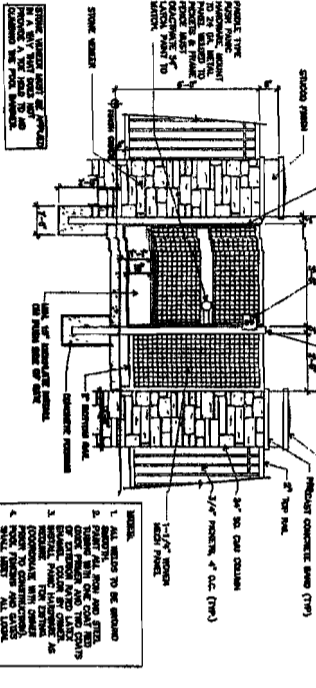
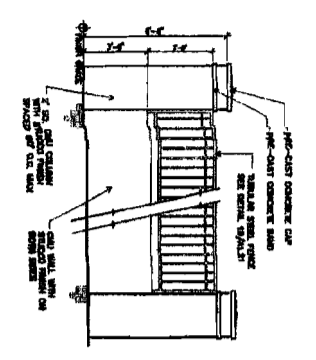
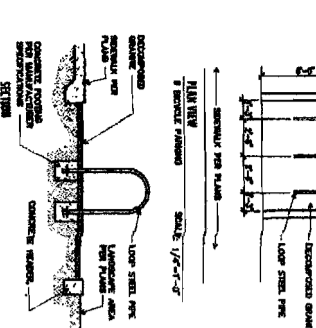
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NOTES:  
 1. REFER TO SPECIFICATIONS FOR MATERIALS AND FINISHES FOR ALL ITEMS.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 3. SEE GENERAL NOTES FOR ALL ITEMS.  
 4. SEE GENERAL NOTES FOR ALL ITEMS.

20 ENTRY MONUMENT ELEVATION SCALE: 3/8" = 1'-0"

23 HORIZONTAL ENTRY GATE SCALE: 1/2" = 1'-0"

17 SITE DIRECTION MAP 1/4" = 1'-0"



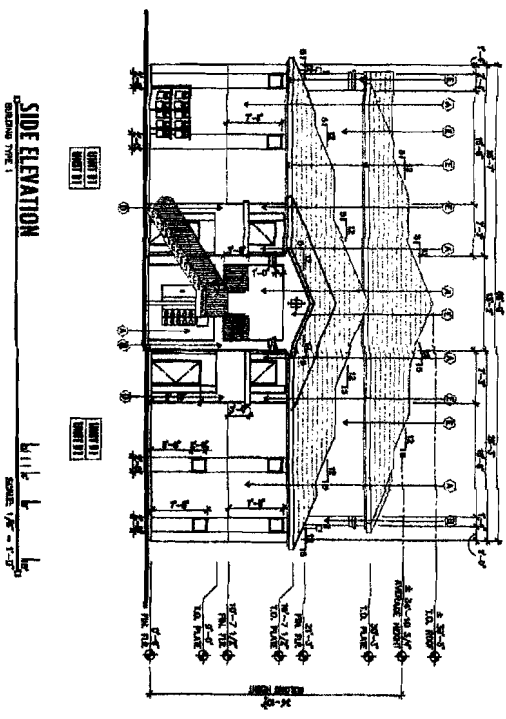
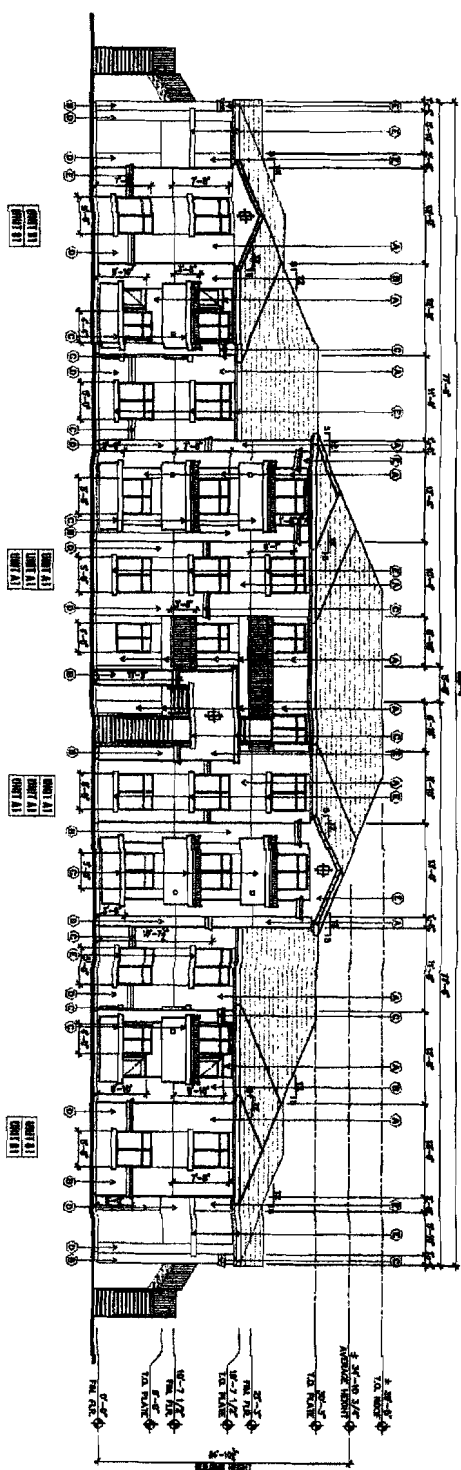
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 SITE DETAILS  
 DATE: FEBRUARY 2015  
 18 - 20

26 VERTICAL PARKING SCALE: 1/2" = 1'-0"

27 PLASTER AT CURB/VERTICAL COLUMN FENCE SCALE: 3/8" = 1'-0"

24 HORIZONTAL ENTRY GATE AT CURB FENCE SCALE: 1/2" = 1'-0"

18 PLASTER AT PRECAST MASONRY WALL SCALE: 3/8" = 1'-0"



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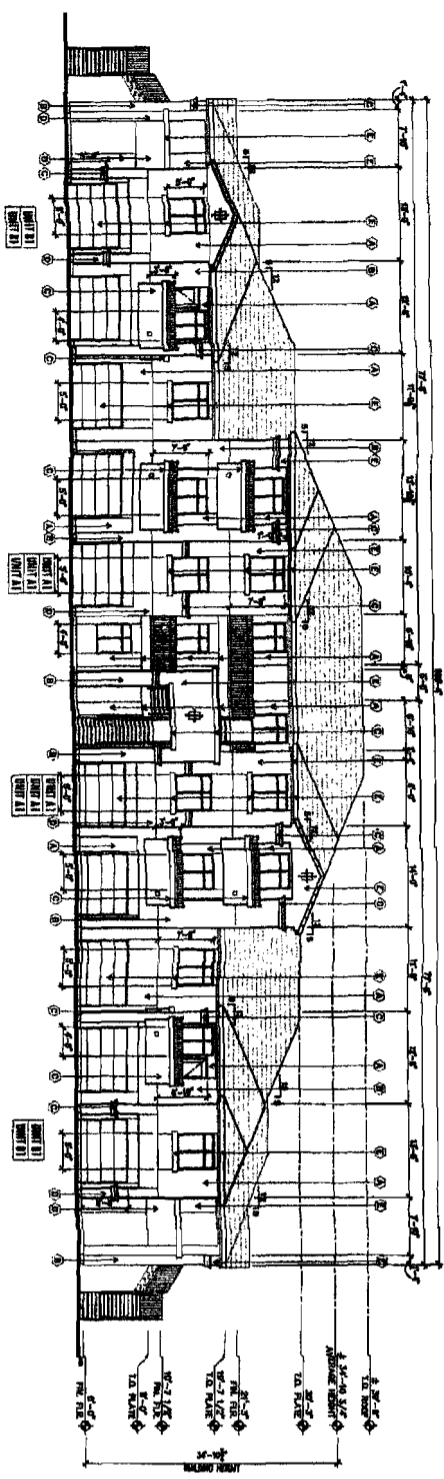
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 801 253-1111  
 orb@orbarch.com



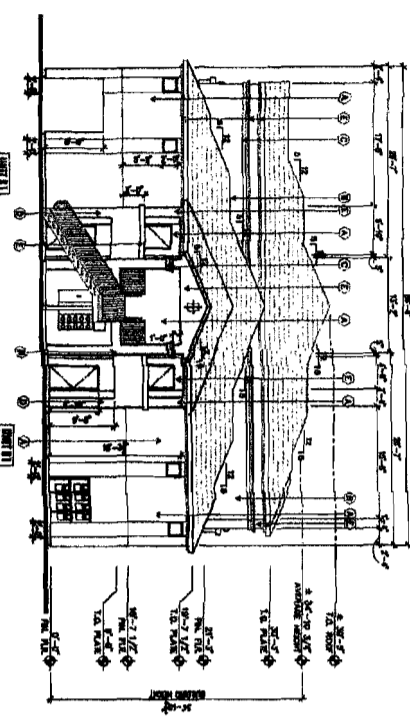
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DATE: 04/28/06 09:59 AM  
**A3.14**  
 BUILDING TYPE 1  
 EXTERIOR ELEVATIONS





**FRONT/REAR ELEVATION**  
BUILDING TYPE 1  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
BUILDING TYPE 1  
SCALE: 1/8" = 1'-0"

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Albuquerque, New Mexico

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**PROB**  
Real Estate Advisors  
RealEstate@prob.com

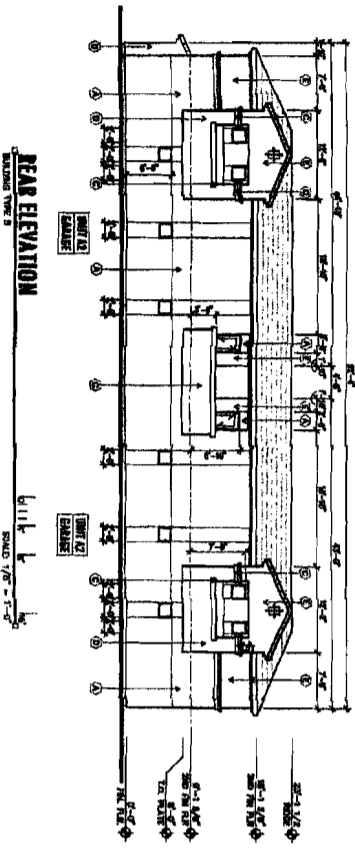
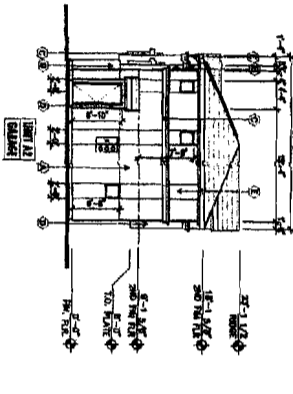
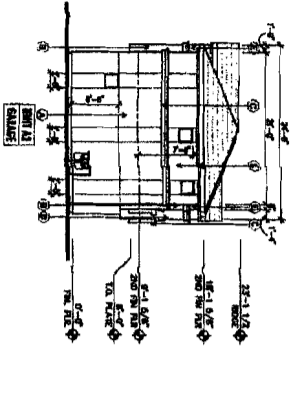
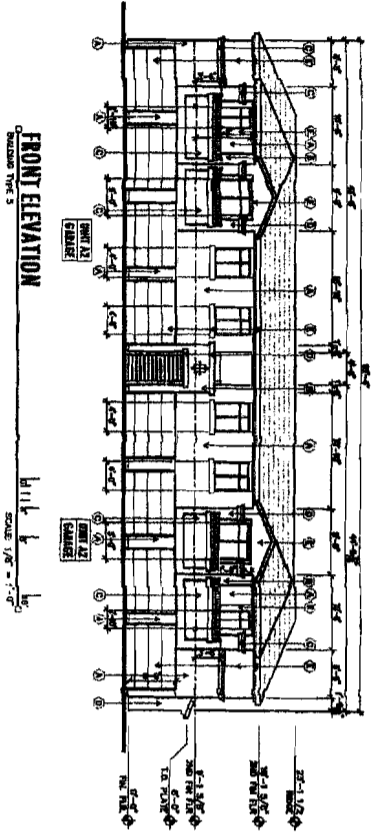


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BUILDING TYPE 2  
EXTERIOR ELEVATIONS







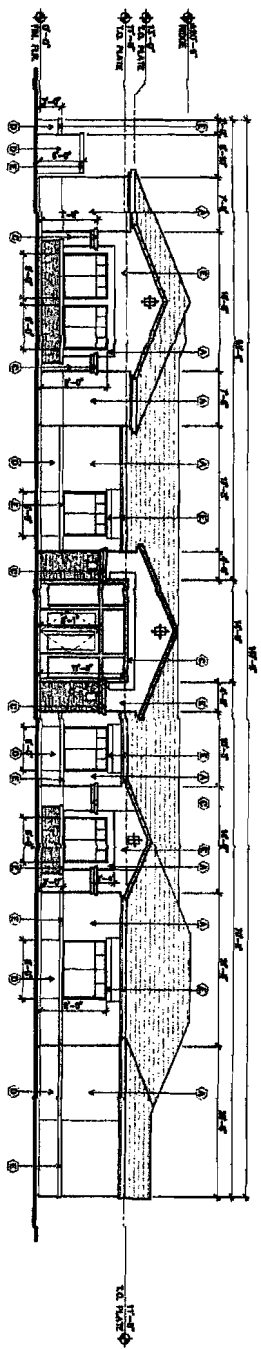
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Albuquerque, New Mexico

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www.rrb.com  
w11188@orb.com

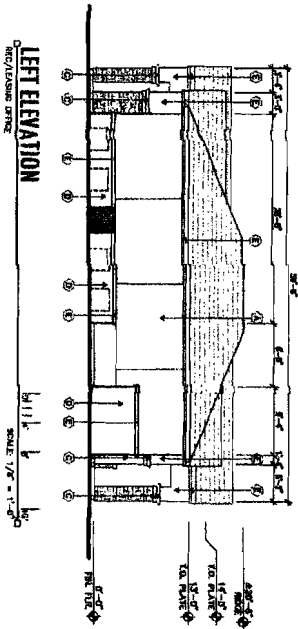


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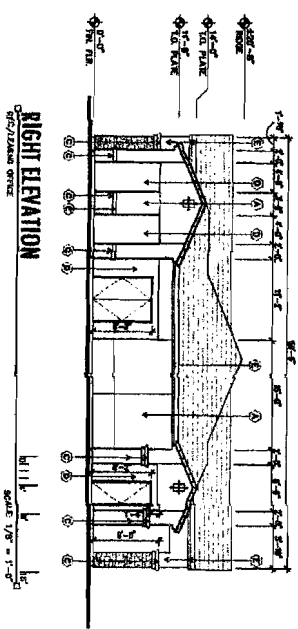
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EXTENSION ELEVATIONS



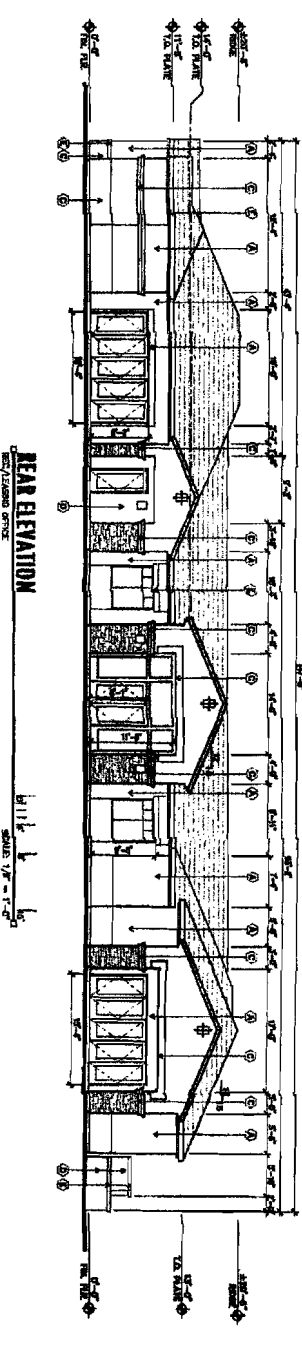
**FRONT ELEVATION**  
INCLUDING STAIR



**LEFT ELEVATION**  
INCLUDING STAIR



**RIGHT ELEVATION**  
INCLUDING STAIR



**REAR ELEVATION**  
INCLUDING STAIR

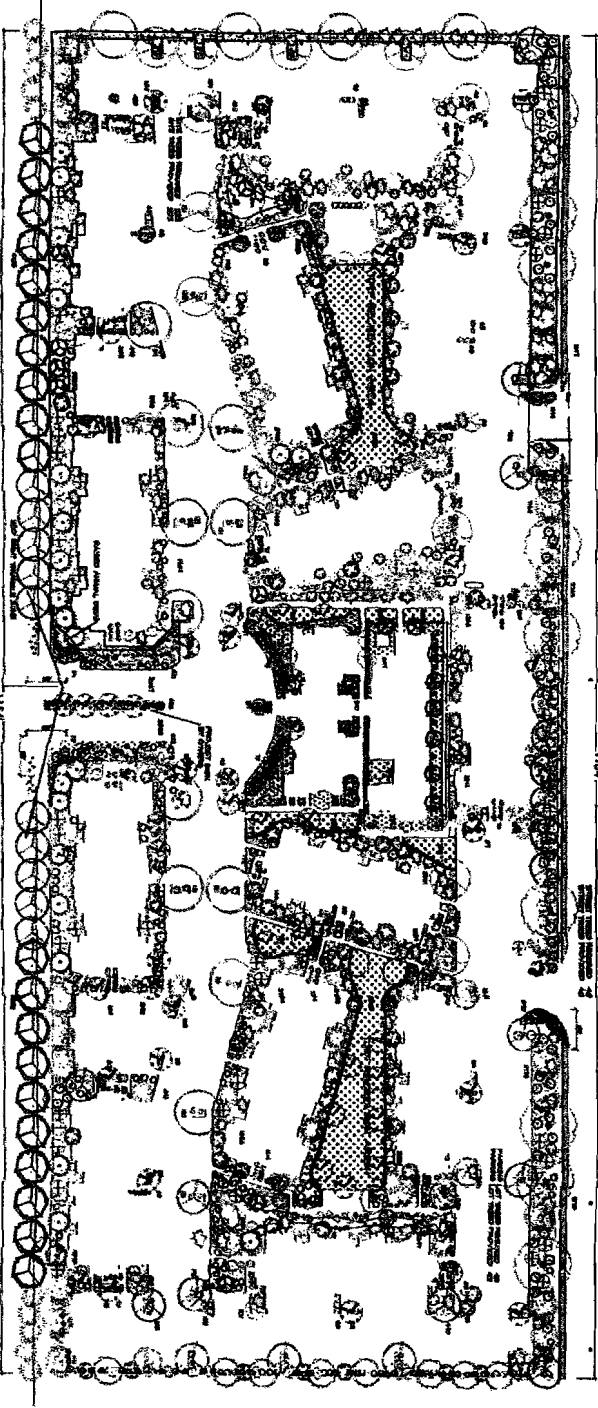
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ALBUQUERQUE, NEW MEXICO

**ORR**  
Architects, P.C. Office of Rick Barber  
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Albuquerque, NM 87102  
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www.orrarchitects.com



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DATE: 04/20/16 09:13 AM  
**A5.12**  
REC/LEASING/FITNESS  
ELEVATIONS

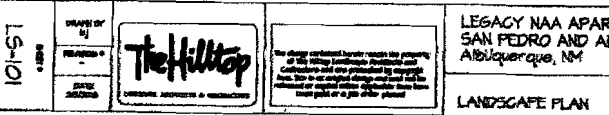


**PLANT SCHEDULE**

Symbol	Plant Name	Quantity	Notes
1	1.00' Round Tree	100	Plant in 10' x 10' grid
2	2.00' Round Tree	50	Plant in 10' x 10' grid
3	3.00' Round Tree	25	Plant in 10' x 10' grid
4	4.00' Round Tree	10	Plant in 10' x 10' grid
5	5.00' Round Tree	5	Plant in 10' x 10' grid
6	6.00' Round Tree	2	Plant in 10' x 10' grid
7	7.00' Round Tree	1	Plant in 10' x 10' grid
8	8.00' Round Tree	1	Plant in 10' x 10' grid
9	9.00' Round Tree	1	Plant in 10' x 10' grid
10	10.00' Round Tree	1	Plant in 10' x 10' grid
11	11.00' Round Tree	1	Plant in 10' x 10' grid
12	12.00' Round Tree	1	Plant in 10' x 10' grid
13	13.00' Round Tree	1	Plant in 10' x 10' grid
14	14.00' Round Tree	1	Plant in 10' x 10' grid
15	15.00' Round Tree	1	Plant in 10' x 10' grid
16	16.00' Round Tree	1	Plant in 10' x 10' grid
17	17.00' Round Tree	1	Plant in 10' x 10' grid
18	18.00' Round Tree	1	Plant in 10' x 10' grid
19	19.00' Round Tree	1	Plant in 10' x 10' grid
20	20.00' Round Tree	1	Plant in 10' x 10' grid
21	21.00' Round Tree	1	Plant in 10' x 10' grid
22	22.00' Round Tree	1	Plant in 10' x 10' grid
23	23.00' Round Tree	1	Plant in 10' x 10' grid
24	24.00' Round Tree	1	Plant in 10' x 10' grid
25	25.00' Round Tree	1	Plant in 10' x 10' grid
26	26.00' Round Tree	1	Plant in 10' x 10' grid
27	27.00' Round Tree	1	Plant in 10' x 10' grid
28	28.00' Round Tree	1	Plant in 10' x 10' grid
29	29.00' Round Tree	1	Plant in 10' x 10' grid
30	30.00' Round Tree	1	Plant in 10' x 10' grid
31	31.00' Round Tree	1	Plant in 10' x 10' grid
32	32.00' Round Tree	1	Plant in 10' x 10' grid
33	33.00' Round Tree	1	Plant in 10' x 10' grid
34	34.00' Round Tree	1	Plant in 10' x 10' grid
35	35.00' Round Tree	1	Plant in 10' x 10' grid
36	36.00' Round Tree	1	Plant in 10' x 10' grid
37	37.00' Round Tree	1	Plant in 10' x 10' grid
38	38.00' Round Tree	1	Plant in 10' x 10' grid
39	39.00' Round Tree	1	Plant in 10' x 10' grid
40	40.00' Round Tree	1	Plant in 10' x 10' grid
41	41.00' Round Tree	1	Plant in 10' x 10' grid
42	42.00' Round Tree	1	Plant in 10' x 10' grid
43	43.00' Round Tree	1	Plant in 10' x 10' grid
44	44.00' Round Tree	1	Plant in 10' x 10' grid
45	45.00' Round Tree	1	Plant in 10' x 10' grid
46	46.00' Round Tree	1	Plant in 10' x 10' grid
47	47.00' Round Tree	1	Plant in 10' x 10' grid
48	48.00' Round Tree	1	Plant in 10' x 10' grid
49	49.00' Round Tree	1	Plant in 10' x 10' grid
50	50.00' Round Tree	1	Plant in 10' x 10' grid

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sq ft)	100,000
TOTAL BUILDING AREA (sq ft)	10,000
TOTAL LANDSCAPE AREA (sq ft)	90,000
TOTAL LANDSCAPE VOLUME (cu ft)	1,800,000
TOTAL LANDSCAPE WEIGHT (lb)	360,000
TOTAL LANDSCAPE COST (\$)	720,000



**LANDSCAPE NOTES:**

1. Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all trees and shrubs in a healthy condition and shall be responsible for any damage to the landscape.

2. The Property Owner shall be responsible for the maintenance of the irrigation system and shall provide the necessary water supply.

3. The Property Owner shall be responsible for the maintenance of the landscape and shall provide the necessary materials and labor.

4. The Property Owner shall be responsible for the maintenance of the landscape and shall provide the necessary materials and labor.

5. The Property Owner shall be responsible for the maintenance of the landscape and shall provide the necessary materials and labor.

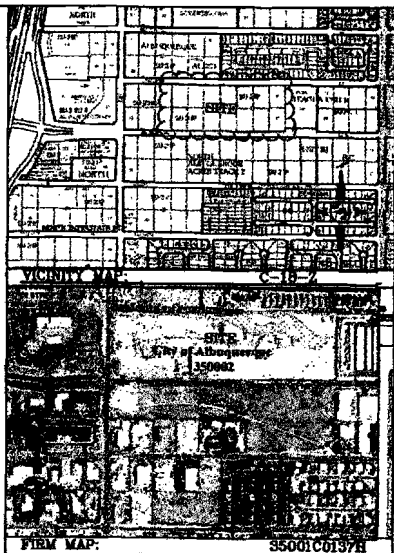
	<b>LEGACY NAA APARTMENTS</b> SAN PEDRO AND ALAMEDA Albuquerque, NM		The Hilltop 7001 24th St. NE Albuquerque, NM 87109 Tel: 505-263-1111 Fax: 505-263-1112
LS-101	LANDSCAPE PLAN		



**CAUTION:**  
 EXISTING UTILITIES ARE NOT SHOWN.  
 IT SHALL BE THE SOLE RESPONSIBILITY  
 OF THE CONTRACTOR TO CONDUCT ALL  
 NECESSARY FIELD INVESTIGATIONS PRIOR  
 TO ANY CONSTRUCTION TO DETERMINE THE  
 ACTUAL LOCATION OF UTILITIES & OTHER  
 IMPROVEMENTS.

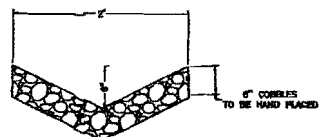
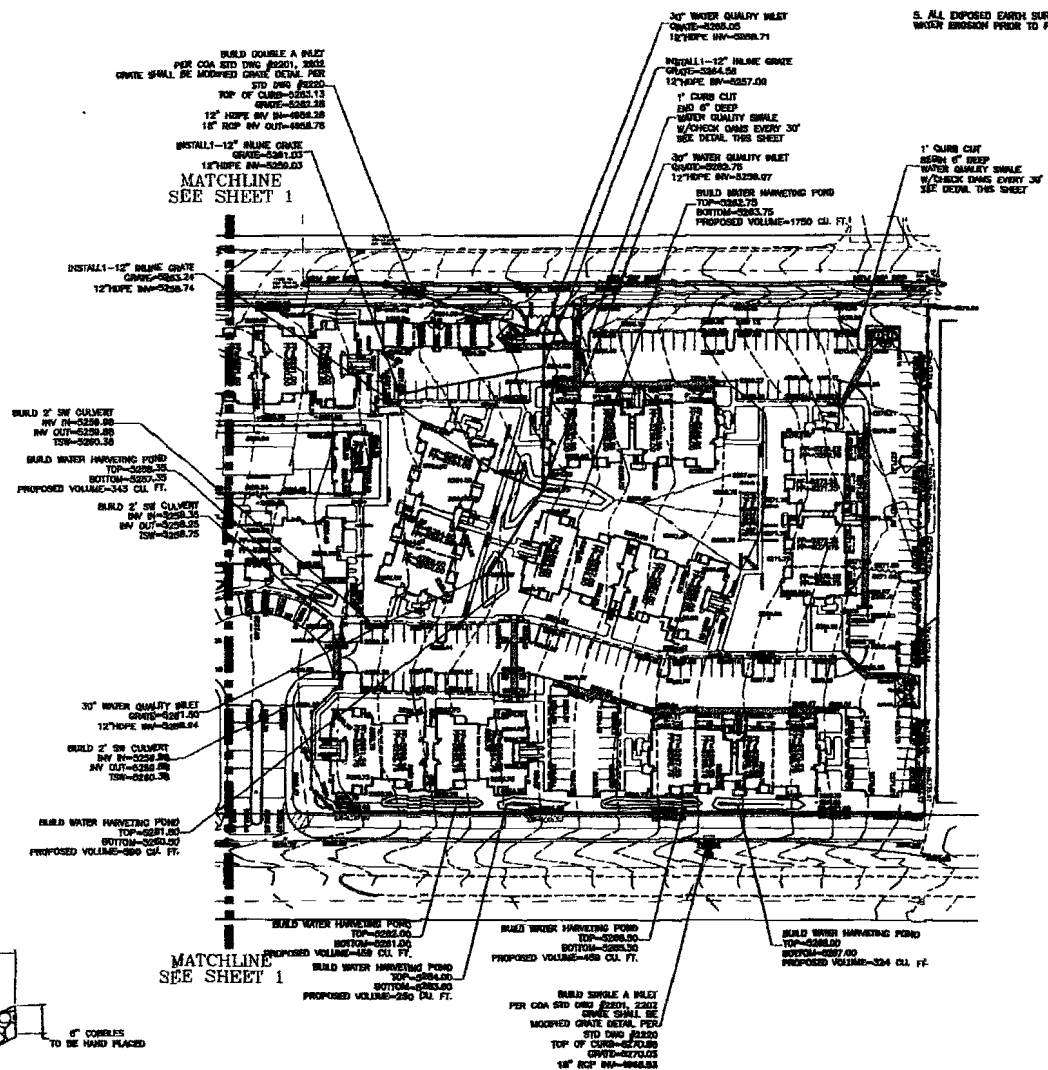
**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPICAL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RUN-OFF-WAYS.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**LEGAL DESCRIPTION:**

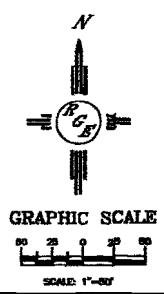
- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.



**WATER QUALITY COBBLE SWALE DETAIL**

**LEGEND**

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE 1% E
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	PROPOSED SETBACK
---	PROPOSED LOT LINE
---	PROPOSED SCREEN WALL
---	PROPOSED RETAINING WALL DESIGN BY OTHERS



	<b>LEGACY NAA</b> <b>APARTMENTS</b> <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY: WCB DATE: 1-23-78 SHEET # OF: 2
		<b>Rio Grande</b> <b>Engineering</b> 1000 GARDEN AVENUE SUITE 100 DENVER, CO 80202

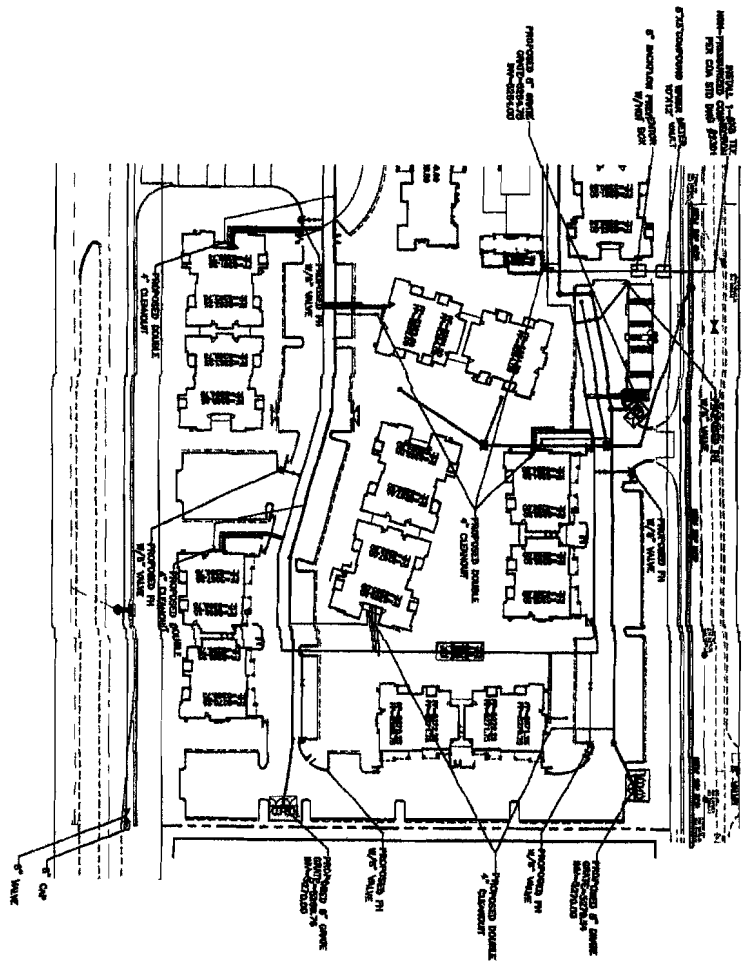






**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BOSTON AND THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS.
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**NOTICE TO CONTRACTORS**

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**LEGEND**

- EXISTING ROOM BOUNDARY
- EXISTING WALL BOUNDARY
- EXISTING FLOOR FINISH
- EXISTING CEILING FINISH
- EXISTING ROOF FINISH
- EXISTING CURB FINISH
- EXISTING SILL FINISH
- EXISTING PARTITION
- EXISTING DOOR
- EXISTING WINDOW
- EXISTING STAIR
- EXISTING ELEVATOR
- EXISTING CORE WALL
- EXISTING CORE FLOOR
- EXISTING CORE CEILING
- EXISTING CORE ROOF
- EXISTING CORE CURB
- EXISTING CORE SILL
- EXISTING CORE FINISH
- EXISTING CORE PARTITION
- EXISTING CORE DOOR
- EXISTING CORE WINDOW
- EXISTING CORE STAIR
- EXISTING CORE ELEVATOR

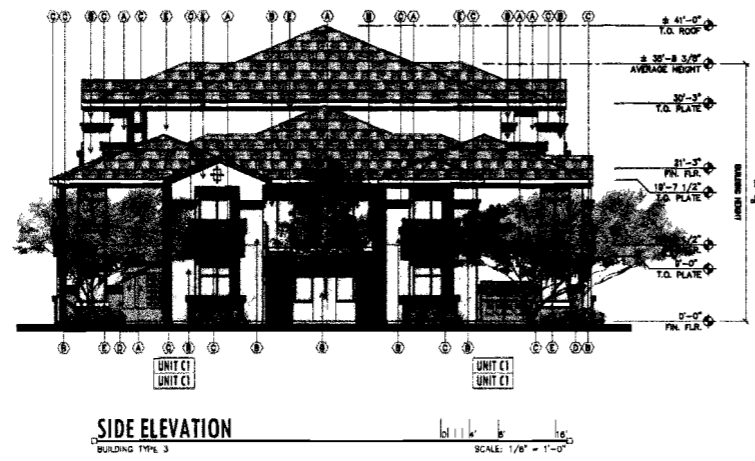
LEGACY NAA  
APARTMENTS  
MASTER UTILITY  
PLAN

SCALE: 1/8" = 1'-0"

DATE: 2-16-18

SHEET # 05

18 Grand  
Engineering



**LEGACY NAA  
APARTMENTS**

SAN PEDRO AND ALAMEDA  
Albuquerque, New Mexico



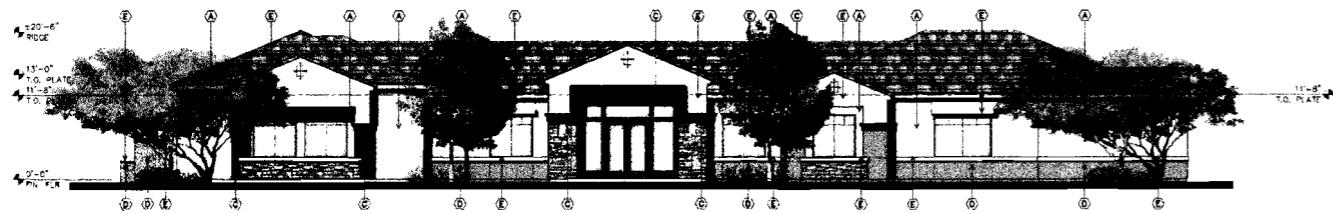
WorldHQ@ORBArch.com



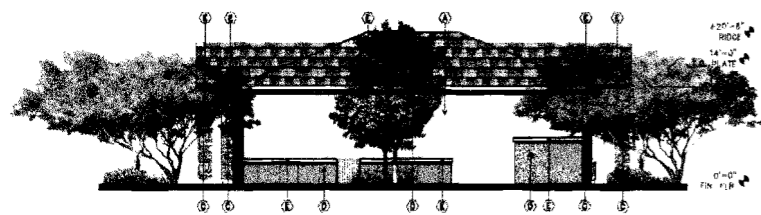
DATE: FEBRUARY 4, 2014 ORB # 15-218

**A3.34**

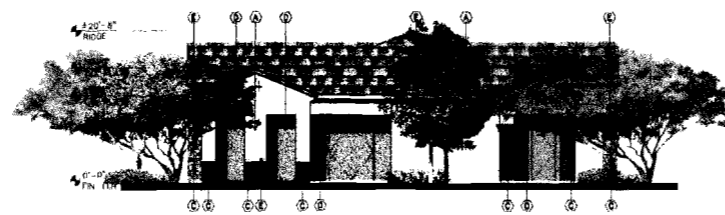
BUILDING TYPE 3  
EXTERIOR ELEVATIONS



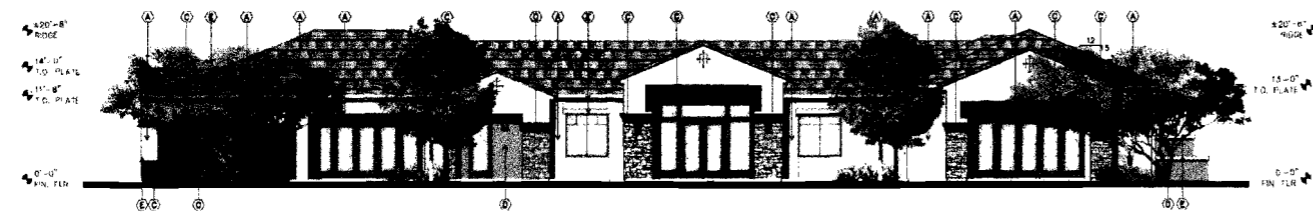
**FRONT ELEVATION**



**LEFT ELEVATION**



**RIGHT ELEVATION**



**REAR ELEVATION**

**LEGACY NAA  
APARTMENTS**  
SAN PEDRO AND ALAMEDA  
Albuquerque, New Mexico



WorldHO@ORBArch.com



**L H I**  
LEGACY  
HOSPITALITY

DATE: FEBRUARY 4, 2016 ORB # 15-010

**A5.12**

REC/LEASING/FITNESS  
ELEVATIONS

## SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist is used by the Planning Department to verify the completeness of site development plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Because development proposals vary in type and scale, there may be submittal requirements that are not specified here and Planning Staff may require additional information. Nonetheless, it is the applicant's responsibility to provide a complete submittal.

Site development plans should generally be composed of the following plan sheets. **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff**

### **SHEET # 1 – SITE PLAN (Required)**

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Vicinity Map
- 5. Signature Block (for DRB site dev. plans only)
- 6. The Site (property lines)
- 7. Current/Existing Zoning
- 8. Proposed Use(s) and List of Applicable Plans
- 9. Pedestrian Ingress and Egress (Access)
- 10. Vehicular Ingress and Egress (Access)
- 11. Any Internal Circulation Requirements
- 12. Existing easements with recording information
- 13. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

### **SHEET # 2 – CONCEPTUAL GRADING AND DRAINAGE PLAN**

- A. Conceptual Grading and Drainage Plan is required for the following:
- Commercial Development: The applicant shall consult with the City Engineer or his/her designee to determine what documentation is necessary to provide the EPC and/or DRB with an understanding of site topography and how it relates to adjacent property.
  - Residential Development, Volcano Heights Sector Development Plan, or other sector development plans that do not require a site development plan for building permit submittal: Show existing and proposed contours, Finished Floor Elevation, retaining wall heights, approximate street slopes, ponding and flood zone status.
- B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required to be submitted, but does not have to be approved at time of submittal.

### **SHEET # 3 – DESIGN STANDARDS (OPTIONAL – beneficial if seeking delegation of EPC approval authority for future site development plans for building permit)**

#### **ACCOMPANYING MATERIAL**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions
- E. **Electronic Copy (pdf) of Site Development Plan**



Current DRC

**FIGURE 12**

**INFRASTRUCTURE LIST**

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: \_\_\_\_\_  
 Date Site Plan Approved: \_\_\_\_\_  
 Date Preliminary Plat Approved: \_\_\_\_\_  
 Date Preliminary Plat Expires: \_\_\_\_\_

**LEGACY NAA APARTMENTS**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lots 4-10&23-29, Block 28, North Albuquerque Acres, Tract A, Unit B**  
**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		24' F-E	Residential Road with Curb and Gutter including 4' wide Sidewalk (southside)	Oakland ave	west property line	east property line	/	/	/
		10"	Waterline	Oakland ave	existing	san pedro blvd	/	/	/
		8"	Sewerline	Oakland ave	existing	san pedro blvd	/	/	/
		30"	Storm drain	Oakland ave	San pedro blvd	west property line	/	/	/
		30"	Storm drain	oakland	existing	East pl	/	/	/
		26' F-F	Driveway including 4' wide Sidewalk (bothsides)	330' east of west property line	Oakland ave	interior radius return	/	/	/
		26' F-F	Driveway including 4' wide Sidewalk (bothsides)	330' west of east property line	Oakland ave	interior radius return	/	/	/
		misc	storm drain extentions and inlets	alameda	existing inlet	new face of curb	/	/	/
		10"	Waterline	Alameda Blvd	San pedro	east property line	/	/	/





# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: RIO GRANDE ENGINEERING DATE OF REQUEST: 2/18/16 ZONE ATLAS PAGE(S): C18

**CURRENT:**

ZONING SU-2 NC

PARCEL SIZE (AC/SQ. FT.) 12AC

**LEGAL DESCRIPTION:**

LOT OR TRACT # 4-10/23-29 BLOCK # 28

SUBDIVISION NAME NAA UNIT B TRACT A

**REQUESTED CITY ACTION(S):**

ANNEXATION [ ]

ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_

SECTOR, AREA, FAC, COMP PLAN [ ]

AMENDMENT (Map/Text) [ ]

**SITE DEVELOPMENT PLAN:**

SUBDIVISION\* [ ] AMENDMENT [ ]

BUILDING PERMIT [X] ACCESS PERMIT [ ]

BUILDING PURPOSES [ ] OTHER [ ]

\*includes platting actions

**PROPOSED DEVELOPMENT:**

NO CONSTRUCTION/DEVELOPMENT [ ]

NEW CONSTRUCTION [X]

EXPANSION OF EXISTING DEVELOPMENT [ ]

**GENERAL DESCRIPTION OF ACTION:**

# OF UNITS: 242

BUILDING SIZE: 220,100 (sq. ft.)

**Note:** changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE \_\_\_\_\_ DATE 2/19/16

(To be signed upon completion of processing by the Traffic Engineer)

**Planning Department, Development & Building Services Division, Transportation Development Section -**  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [ ] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [ ] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]

Notes:

**If a TIS is required:** a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

\_\_\_\_\_  
TRAFFIC ENGINEER

\_\_\_\_\_  
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED    /   /     
-FINALIZED    /   /   

\_\_\_\_\_  
TRAFFIC ENGINEER

\_\_\_\_\_  
DATE

Revised January 20, 2011