Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

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SU	BDIVISION			S	Z		G & PLANNI	NG		
-	_ Major subdivi Minor subdivi						Annexation			
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	Variance (No			V			Zoning, include Development	des Zoning v	within Sector	ige
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	Administrative	e Amendment/Appr	roval (AA)				1 1411(5), 20111	ig code, or	Subu. Regulatio	15
-	_ IP Master Dev	velopment Plan	· ·	D			Street Name	Change (Lo	cal & Collector)	
	_ Cert. of Appro	opriateness (LUCC))	L	A	APPEA	L / PROTES	Tof		
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Professi	onal/Agent (if any):	NIA						PHONE:		
ADDRES	S:							FAX:		
CITY:			STATE		ZIP_		E-MAIL:			
APPLICA	NT: Mike Kolbu	use and bame	Fernandez.				Pł	HONE: 505-	- 1004-871010	
ADDRES	s: 11136 Academ	y Ridge Rd NE						۸۷۰	01 5.00	
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Staff signature & Date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

	 Scaled site sketch a adjacent rights-c Zone Atlas map with Letter briefly describ List any original and 	or-way and street improvements the entire property(ies) clearly ing, explaining, and justifying the for related file numbers on the control of the control o	roposed land use incl s, etc. (folded to fit into outlined ne request cover application	Maximum Size: 24" x 36" luding structures, parking, Bldg. setbacks, to an 8.5" by 14" pocket) 6 copies. Your attendance is required.
	5 Acres or more & zo Scaled site plan and Zone Atlas map with Letter briefly describ Letter of authorizatio Copy of the docume Completed Site Plan Infrastructure List, if Fee (see schedule) List any original and/	or related file numbers on the corely 8 DAYS after the Tuesday r	nopping Center: Certinate an 8.5" by 14" portion outlined are request plication is submitted to the DRB	cket) 6 copies
∆	Site plan and related Site Plan for Subdivis Solid Waste Manage Zone Atlas map with Letter briefly describi Letter of authorization Copy of the documer Infrastructure List, if I Completed Site Plan Copy of Site Plan with Fee (see schedule)	arawings (folded to fit into an 8 sion, if applicable, previously appendix previously appendix property (ies) clearly and graph and justifying the from the property owner if appendix delegating approval authority relevant to the site plan for Building Permit Checklist in Fire Marshal's stamp and the country of the fire file numbers on the country of the file file numbers on the country of the file file file file file file file fil	opping Center: Certif 3.5" by 14" pocket) 6 opproved or simultaneouslined outlined e request plication is submitted to the DRB	ficate of No Effect or Approval - issulvensown
	Proposed amended S DRB signed Site Plan Zone Atlas map with Letter briefly describin Letter of authorization Infrastructure List, if r Completed Site Plan Fee (see schedule) List any original and/o	ELOPMENT PLAN FOR SUB Site Plan (folded to fit into an 8.8 in being amended (folded to fit in the entire property(ies) clearly of ing, explaining, and justifying the in from the property owner if app elevant to the site plan for Building Permit Checklist (in for related file numbers on the collection of the site plan	BDIVISION (DRB0 5" by 14" pocket) 6 conto an 8.5" by 14" pocutioned be request polication is submitted of required for amend	opies cket) 6 copies by an agent
	FINAL SIGN-OFF FOR 5 Acres or more & zor Site plan and related of Approved Grading and Solid Waste Manager Zone Atlas map with t Letter carefully explair Infrastructure List, if re Copy of Site Plan with List any original and/o Meetings are approximate Your attendance is requi	Fire Marshal's stamp (not requ r related file numbers on the co ly 8 DAYS after the Tuesday no ired.	R SUBDIVISION (Epping Center: Certifice 5" by 14" pocket) 6 c to an 8.5" by 14" pocket oan for Building oas been met and a coursed for SDP for Subover application oon filling deadline.	CRB06) Cate of No Effect or Approval Copies Ret) 6 copies Permit Copy of the EPC Notification of Decision Codivision Copies Cop
infori	ne applicant, acknowledge mation required but not sub application will likely result in ns.	mitted with		Applicant name (print) 2 0 13 ALBUQUERQUE NEW MEXICO NEW MEXICO
4	Checklists complete Fees collected Case #s assigned Related #s listed	Application case numbers	Form 86 Project #	Planner signature / date

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/10/2013 Issued By: BLDAVM 218779

Application Number:

13DRB-70786, Minor - Sdp For Building Permit

Address:

Location Description:

CANDELARIA BETWEEN RIO GRANDE AND 12TH ST

Project Number:

1009916

Applicant

MIKE KOLBUSE AND DANAE FERNANDEZ

Agent / Contact MIKE KOLBUSE AND DANAE FERNANDEZ

11136 ACADEMY RIDGE RD NE ALBUQUERQUE NM 87111

5056048766

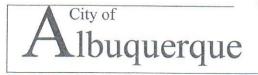
11136 ACADEMY RIDGE RD NE ALBUQUERQUE NM 87111

5056048766

Application Fees	
APN Fee	
Conflict Mgmt Fee	\$20.00
DRB Actions	 \$385.00

TOTAL: \$405.00

Category Code 910 2013 070 786





DEVELOPMENT/ PLAN REVIEW APPLICATION

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SU	BDIVISION Major subdivision as	ation	S Z	ZONII	NG & PLANNING	ì	
-	Minor subdivision at				Annexation		
	_ Vacation	20011	V		Zone Map Amer	ndment (E	stablish or Change
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CIT	E DEVELOPMENT PL	ANI	Б		Development Pl		lan an alasilan
311	for Subdivision	AN	P	-	Adoption of Ran		ted Rank 1, 2 or 3
V				-			Subd. Regulations
-		ndment/Approval (AA)					
	 IP Master Developm Cert. of Appropriate 		D		Street Name Ch	,	cal & Collector)
STO	ORM DRAINAGE (Form	m D)	L A	APPE.	AL / PROTEST (Decision by: DR Director, ZEO, Z	B, EPC, L	UCC, Planning d of Appeals, other
Planning De	TYPE IN BLACK INK partment Developmen oe paid at the time of a	t Services Center 6	00 2nd Stree	t NW Alb	uquerque NM 8	7102	
APPLICATION	NINFORMATION:						
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	S:						
CITY:_		STA	TF 7	IP	F-MAII ·		
					TVD 0.C.		
APPLICA	NT: Mike Kolbusz (ind barne Fernance	Jez_		PHO	NE: 505-	604-8766
ADDRES	s: 11136 Academa Ride	X Rd NE			FAX	.	
CITY: A	busieraue 1	STA	TE NM Z	IP 87111	E-MAIL:	imfernzo	2 hotmail.com
Proprietar	y interest in site: YAS, OWN	0/	List all o	wners: Mi	chael J. Kolbus	SZ MALT	MMi M. Fermylez
DESCRIPTION	OF REQUEST: Single	Panila residence s	seking and	cover to	obtain huilding	· DONON H	Site larged
at 360	4 Corrado In NW. ABO	1 NA 87107	9 071	- (CARCILLIA		l to acci	existing se
Is the app	licant seeking incentives pu	rsuant to the Family Hou	using Developn	nent Program	m? Yes. X	No.	
	ATION: ACCURACY OF T				The second secon		IEET IE NECESSADV
	ct No.LT3-P1 Corrected pl						
LOT OF TEA	CINO.W.S. PICOINELTEADI	GT UP LOIS 19WILD ON	i wact A for	ono be can	16 In Block.		Unit:
Subdiv/Ad	Idn/TBKA: Rancho De C	andelaria-					
Existing Z	oning:SU-L	Prop	osed zoning:	NIA		MRGCD	Map No
Zone Atlas	s page(s): 6-13-2	UPC	Code: 1013	060276	244 32025		
CASE HISTOR	Y:						
List any co	urrent or prior case number	that may be relevant to	your application	n (Proj., App	o., DRB-, AX_,Z_, V_	_, S_, etc.):	Cushatoba
CASE INFORM	ADI393915 , MIN MATION: limits? X Yes	, ,					
		Within 1000FT of a					2/22
No. of exis		No. of proposed lot			te area (acres):	1	3622
	N OF PROPERTY BY STRE	ETS: On or Near:	delaria Rd	NW			
Between:	RioGrande Blud NW		and [24	STANI			
Check if pr	roject was previously review			00	ew Team(PRT) □.	Review Da	ate:
SIGNATURE_	16/4					ATE 1210	
(Print Nam	e) Danie M. Fermin						Agent:
OR OFFICIAL		3			A		
1	ROUTING					F	Revised: 4/2012
2	ts are complete	Application cas		1.	Action	S.F.	Fees
	ve been collected	131/KB	-1018	0	SBP	-	\$385.00
All case #s	are assigned		•		CME		\$ 20.00
	has been sent	-		_			\$
	y #s are listed			-			\$
	n 1000ft of a landfill ensity bonus	-		_	-		\$
F.H.D.P. fe			0	7 70	2		Total
/1	20	Hearing date	Dec. 19	8,001	3		\$405.00
165	1).	-10-13		oject#	100991	16	
		Staff signature & Da	te				

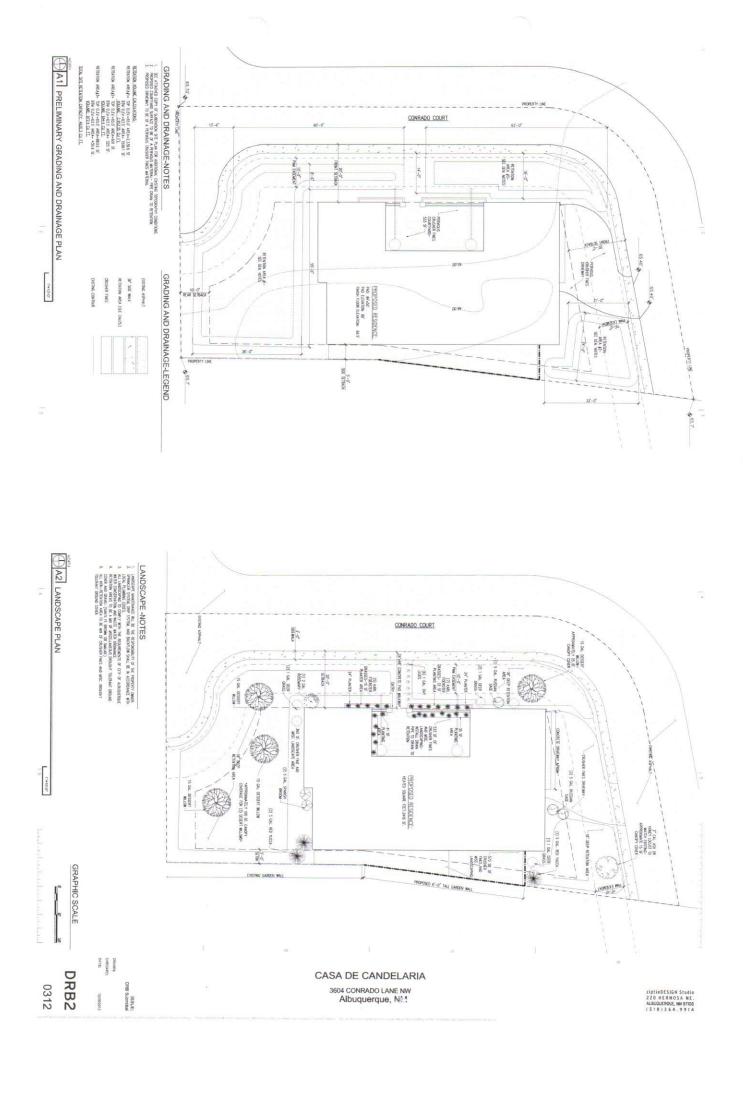
FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED) SKETCH PLAT REVIEW AND COMMENT (DRB22) Scaled site sketch and related drawings showing proposed land use including structure.

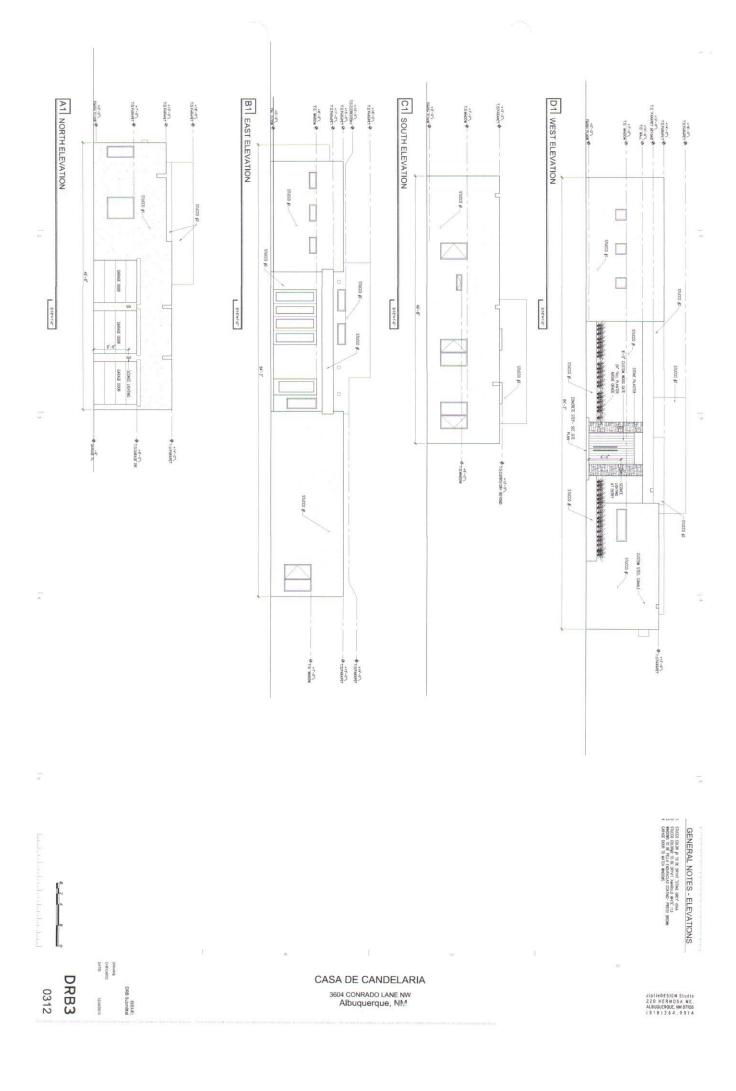
	SKETCH PLAT REVIEW AND COMMENT (DRB22) Scaled site sketch and related drawings showing proposed land us adjacent rights-of-way and street improvements, etc. (folded to Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the request List any original and/or related file numbers on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing deach	o fit into an 8.5" by 14" pocket) 6 copies.
	SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18) 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Scaled site plan and related drawings (folded to fit into an 8.5" by 1 Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the request Letter of authorization from the property owner if application is subr Copy of the document delegating approval authority to the DRB Completed Site Plan for Subdivision Checklist Infrastructure List, if relevant to the site plan Fee (see schedule) List any original and/or related file numbers on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing dead Your attendance is required.	4" pocket) 6 copies mitted by an agent
A	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17	Certificate of No Effect or Approval - Less Honsours et) 6 copies Iltaneously submitted. 6 copies. nitted by an agent - Submitted by ourer
	AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERM AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (Description of the proposed amended Site Plan (folded to fit into an 8.5" by 14" pocked DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocked DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocked Letter briefly describing, explaining, and justifying the request Letter of authorization from the property owner if application is submit Infrastructure List, if relevant to the site plan Completed Site Plan for Building Permit Checklist (not required for a Fee (see schedule) List any original and/or related file numbers on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing deading Your attendance is required.	DRB02) Maximum Size: 24" x 36" t) 6 copies 4" pocket) 6 copies nitted by an agent amendment of SDP for Subdivision)
I, t	FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Considering and related drawings (folded to fit into an 8.5" by 14" pocked Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" solid Waste Management Department signature on Site Plan for Buildown 2 Zone Atlas map with the entire property(ies) clearly outlined Letter carefully explaining how each EPC condition has been met and Infrastructure List, if relevant to the site plan Copy of Site Plan with Fire Marshal's stamp (not required for SDP for List any original and/or related file numbers on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filling deadling Your attendance is required. The applicant, acknowledge that any mation required but not submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with application will likely result in deferral of the submitted with a submitted with application will likely result in deferral of the submitted with a submitted with application will likely result in deferral of the submitted with a submitted with application will likely result in deferral of the submitted with a submitted w	ON (DRB06) Certificate of No Effect or Approval et) 6 copies "pocket) 6 copies ilding Permit and a copy of the EPC Notification of Decision or Subdivision) ne. Bring the original to the meeting.
	Fees collected Gase #s assigned Application case numbers - 10786 - 4088	Form revised October 2007 2-10-13 12-10-13 13-13 13-13



Project Summary-

The proposed site is for a single family residence that must have DRB approval in order to obtain a building permit. Location is currently a bare building site with no landscaping or improvements of any kind. The proposed residence will have a flat roof and will have multiple elevations. The courtyard wall will be of stucco finish and will have a wooden door for the entrance. The proposed home will have a stucco exterior and will be earth toned. Proposed home has been designed to adhere to the Restrictive Covenants for Rancho De Candelaria, Home Owners Association.





This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

- 1. Site Plan (including utilities and easements)
- 2. Landscaping Plan
- 3. Preliminary Grading Plan (A separate Grading Plan sheet is required for a sites 1 acre or more.)
- 4. Building and Structure Elevations
- 5. Conceptual Utility Plan
- 6. Previously approved Development Plan (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

✓ A. 8-1/2" x 11" reduction for each plan sheet.

✓ B. Written project summary. Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

<u>V</u> 1.	Date of drawing and/or las	trevision	
✓ 2.	Scale: 1.0 acre or less	1" = 10'	
	1.0 - 5.0 acres	1" = 20'	
	Over 5 acres	1" = 50'	
,	Over 20 acres	1" = 100'	[Other scales as approved by staff]
_√3.	Bar scale		
<u>4.</u>	North arrow		
√ 5.	Scaled vicinity map		
√6.	Property lines (clearly iden	tify)	
V7.	Existing and proposed eas	ements (identify	(each)
8.	Phases of development incorparking and landscaping	cluding location	and square footages of structures, circulation,

B. Pro 1. Str	posed	Development (If supplemental Sheets are used please indicate sheet #)
1 2 1 2 2 1 2	A. B. C. D. E. F. A. J. A. J. K.	Location of existing & proposed structures (distinguish between existing & proposed, include phasing) Square footage of each structure Proposed use of each structure Temporary structures, signs and other improvements for the temporary structures. Walls, fences, and screening: indicate height, length, color and materials Dimensions of all principal site elements or typical dimensions thereof Loading facilities following residential home. Site lighting (indicate height & fixture type) for dental home. Indicate structures within 20 feet of site Elevation drawing of refuse container and enclosure, if applicable. Single family home. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas). Simily home.
2. Pa	rking a	nd Circulation
17	A.	Parking layout with spaces numbered per aisle and totaled. Single family residence
		1. Location and typical dimensions, including handicapped spaces
		NIA 2. Calculations: spaces required: provided:
		Handicapped spaces (included in required total) required: provided: Motorcycle spaces (in addition to required total) required: provided:
Ŋ	B.	Bicycle parking & facilities - Single family residence NA 1. Bicycle racks, spaces required: provided:
		N
7	SIA_C.	Public Transit - Single family residence NIA 1. Bus facilities, including routes, bays and shelters existing or required
À	JIA D.	Pedestrian Circulation "Single family residence
		1. Location and dimensions of all sidewalks and pedestrian paths Location and dimension of drive aisle crossings, including paving treatment
1	NA E.	Vehicular Circulation (Refer to Chapter 23 of DPM) - Single family residence
		1. Ingress and egress locations, including width and curve radii dimensions Drive aisle locations, including width and curve radii dimensions End aisle locations, including width and curve radii dimensions Location & orientation of refuse enclosure, with dimensions Curb cut locations and dimensions Existing and proposed street widths, right-of-way widths and curve radii Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions Location of traffic signs and signals related to the functioning of the proposal ldentify existing and proposed medians and median cuts

3. Phasing	Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.
	ANDSCAPING PLAN ng may be shown on sheet #1 with written approval from Planning Department staff.
2 2 3 4 2 5	 Scale - must be same as scale on sheet #1 - Site plan Bar Scale North Arrow Property Lines Existing and proposed easements Identify nature of ground cover materials A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.) B. Pervious areas (planting beds, grass, ground cover vegetation, etc.) C. Ponding areas either for drainage or landscaping/recreational use
<u>√</u> 7	 Identify type, location and size of plantings (common and/or botanical names). △ A. Existing, indicating whether it is to preserved or removed. No existing waterials ✓ B. Proposed, to be established for general landscaping. ✓ C. Proposed, to be established for screening/buffering.
<u></u>	 Describe irrigation system – Phase I & II Backflow prevention detail Planting Beds, indicating square footage of each bed Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. → NO → IF
	Responsibility for Maintenance (statement) Statement of compliance with Water ConservationOrdinance, see article 6-1-1-1. Landscaped area requirement; square footage and percent (specify clearly on plan) - No requirements. Landscaped area provided; square footage and percent (specify clearly on plan) Planting or tree well detail Street Tree Plan as defined in the Street Tree Ord. Single family home
SHEET # 3	PRELIMINARY GRADING PLAN
topography Preliminary	nary Grading Plan provides the Planning Commission and staff with an understanding of site and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Grading Plan requirements for sites that are small, relatively flat and have no existing or traordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior n submittal.
	ormation for sites that are under 1 acre can be included on Sheet #1 with written approval from Department Staff.
A. General I	nformation

<u></u> 1.	Scale - must be same as Sheet #1 - Site Plan
<u>~</u> 2.	Bar Scale
	North Arrow
4 .	Property Lines
	Existing and proposed easements

6. Building footprints ALA 7. Location of Retaining walls - no retaining walls	
B. Grading Information	
 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site. 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot. 	
3. Identify ponding areas	
4. Cross Sections Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.	eet
HEET #4 UTILITY PLAN	
1. Fire hydrant locations, existing and proposed.	
 Distribution lines Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions. Existing water, sewer, storm drainage facilities (public and/or private). Proposed water, sewer, storm drainage facilities (public and/or private) 	
HEET #5 BUILDING AND STRUCTURE ELEVATIONS	
. General Information	
A. Scale (minimum of 1/8" or as approved by Planning Staff) B. Bar Scale	
 ✓ C. Detailed Building Elevations for each facade ✓ 1. Identify facade orientation (north, south, east, & west). ✓ 2. Facade dimensions including overall height and width ✓ 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc. ✓ 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations 	
Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.	
NA 1. Site location(s) NA 2. Sign elevations to scale NA 3. Dimensions, including height and width NA 4. Sign face area - dimensions and square footage clearly indicated NA 5. Lighting NA 6. Materials and colors for sign face and structural elements.	
chare/checklists for site plans/site plan building permit Revised 10/02/08	