



Supplemental Form (SF)

### SUBDIVISION

- ☐ Major subdivision action  
☐ Minor subdivision action  
☐ Vacation  
☐ Variance (Non-Zoning)

### SITE DEVELOPMENT PLAN

- ☒ for Subdivision  
☒ for Building Permit  
☐ Administrative Amendment/Approval (AA)  
☐ IP Master Development Plan  
☐ Cert. of Appropriateness (LUCC)

### STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

### S Z ZONING & PLANNING

- ☐ Annexation  
  
**V** ☐ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)  
**P** ☐ Adoption of Rank 2 or 3 Plan or similar  
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations  
**D** ☐ Street Name Change (Local & Collector)  
**L A** **APPEAL / PROTEST of...**  
☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

### APPLICATION INFORMATION:

Professional/Agent (if any): N/A PHONE: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_  
CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

APPLICANT: Mike Kolbusz and Dama Fernandez PHONE: 505-604-8766  
ADDRESS: 11136 Academy Ridge Rd NE FAX: \_\_\_\_\_  
CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: dmfern@hotmai.com  
Proprietary interest in site: yes, owner List all owners: Michael J. Kolbusz and Dama M. Fernandez

DESCRIPTION OF REQUEST: Single family residence seeking approval to obtain building permit. Site located at 3604 Conrado Ln NW, ABQ, NM 87107

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☒ No.

### SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LT3-P1 Corrected plat of Lots 1 thru 8 and Tract A Rancho De Condelaria Cont. 3.622 Ac Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
Subdiv/Addn/TBKA: Rancho De Condelaria  
Existing Zoning: SU-1 Proposed zoning: N/A MRGCD Map No \_\_\_\_\_  
Zone Atlas page(s): G-13-Z UPC Code: 1013 060 276 244 32035

### CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Current plan Check # 201392915, prior DRB approved project # 1003298

### CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? NO  
No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 3.622  
LOCATION OF PROPERTY BY STREETS: On or Near: Condelaria Rd NW  
Between: Rio Grande Blvd NW and 12th St NW

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐ Review Date: \_\_\_\_\_

SIGNATURE [Signature] DATE 12/10/13  
(Print Name) Dama M. Fernandez Applicant: ☒ Agent: ☐

### FOR OFFICIAL USE ONLY

- ☒ INTERNAL ROUTING  
☒ All checklists are complete  
☒ All fees have been collected  
☒ All case #s are assigned  
☒ AGIS copy has been sent  
☐ Case history #s are listed  
☐ Site is within 1000ft of a landfill  
☐ F.H.D.P. density bonus  
☐ F.H.D.P. fee rebate

Application case numbers

13 DRB - 70786

Action

SBP  
CME

S.F.

Fees

\$ 385.00

\$ 20.00

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

\$ \_\_\_\_\_

Total

\$ 405.00

Hearing date Dec. 18, 2013

Project #

1009916

Staff signature & Date

12-10-13



FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

☐ SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- ☐ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - ☐ Zone Atlas map with the entire property(ies) clearly outlined
  - ☐ Letter briefly describing, explaining, and justifying the request
  - ☐ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

☐ SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- ☐ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- ☐ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Copy of the document delegating approval authority to the DRB
- ☐ Completed Site Plan for Subdivision Checklist
- ☐ Infrastructure List, if relevant to the site plan
- ☐ Fee (see schedule)
- ☐ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

☒ SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- ☒ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval - *less than 5 acres*
- ☒ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☒ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- ☐ Solid Waste Management Department signature on Site Plan
- ☒ Zone Atlas map with the entire property(ies) clearly outlined
- ☒ Letter briefly describing, explaining, and justifying the request
- ☒ Letter of authorization from the property owner if application is submitted by an agent - *submitted by owner*
- ☒ Copy of the document delegating approval authority to the DRB
- ☒ Infrastructure List, if relevant to the site plan
- ☒ Completed Site Plan for Building Permit Checklist
- ☐ Copy of Site Plan with Fire Marshal's stamp
- ☒ Fee (see schedule) \$405 City of ABQ
- ☒ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

☐ AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) Maximum Size: 24" x 36"

☐ AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) Maximum Size: 24" x 36"

- ☐ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Infrastructure List, if relevant to the site plan
- ☐ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ☐ Fee (see schedule)
- ☐ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

☐ FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

☐ FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- ☐ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- ☐ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ Solid Waste Management Department signature on Site Plan for Building Permit
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- ☐ Infrastructure List, if relevant to the site plan
- ☐ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- ☐ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Daniela M. Fernandez  
Applicant name (print)  
[Signature]  
Applicant signature / date 12/10/13



- ☒ Checklists complete
- ☒ Fees collected
- ☒ Case #s assigned
- ☒ Related #s listed

Application case numbers  
13 - DRB - 10786  
\_\_\_\_\_  
\_\_\_\_\_

Form revised October 2007  
[Signature]  
Planner signature / date 12-10-13  
Project # 1009916



City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

12/10/2013 Issued By: BLDAVM 218779

Category Code 910  
2013 070 786

Application Number: 13DRB-70786, Minor - Sdp For Building Permit

Address:

Location Description: CANDELARIA BETWEEN RIO GRANDE AND 12TH ST

Project Number: 1009916

Applicant  
MIKE KOLBUSE AND DANAE FERNANDEZ

11136 ACADEMY RIDGE RD NE  
ALBUQUERQUE NM 87111  
5056048766

Agent / Contact  
MIKE KOLBUSE AND DANAE FERNANDEZ

11136 ACADEMY RIDGE RD NE  
ALBUQUERQUE NM 87111  
5056048766

Application Fees

APN Fee	
Conflict Mgmt Fee	\$20.00
DRB Actions	\$385.00
TOTAL:	\$405.00

City of Albuquerque Treasury  
Date: 12/10/2013 Office: Bldg  
Stat ID: 45000000 Cashier: TRSCX  
Permit: 2013070730 Trans: 724  
Receipt Num: 00100779  
Receipt Total: \$405.00  
0704 2013 070730 Fee  
0704 DRB Actions  
0704 DRB Actions  
Check tendered: \$405.00  
\$420.00  
\$135.00  
\$405.00



Supplemental Form (SF)

## SUBDIVISION

- ☐ Major subdivision action  
☐ Minor subdivision action  
☐ Vacation  
☐ Variance (Non-Zoning)

## SITE DEVELOPMENT PLAN

- ☒ for Subdivision  
☒ for Building Permit  
☐ Administrative Amendment/Approval (AA)  
☐ IP Master Development Plan  
☐ Cert. of Appropriateness (LUCC)

## STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S

Z

## ZONING &amp; PLANNING

V

P

D

L

- ☐ Annexation

☐ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)

☐ Adoption of Rank 2 or 3 Plan or similar  
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

☐ Street Name Change (Local & Collector)

## APPEAL / PROTEST of...

☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102.  
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

## APPLICATION INFORMATION:

Professional/Agent (if any): N/A PHONE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

CITY: \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_ E-MAIL: \_\_\_\_\_

APPLICANT: Mike Kolbusz and Danna Fernandez PHONE: 505-604-8766ADDRESS: 11136 Academy Ridge Rd NE FAX: \_\_\_\_\_CITY: Albuquerque STATE NM ZIP 87111 E-MAIL: dmfern@hotma.comProprietary interest in site: yes, owner List all owners: Michael J. Kolbusz and Danna M. FernandezDESCRIPTION OF REQUEST: Single family residence seeking approval to obtain building permit. Site located at 3604 Concho Ln NW, ABQ, NM 87107Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes ☒ No.

## SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LT3-P1 Corrected plat of Lots 1 thru 8 on Tract A Rancho De Concho Cont. 3622 Ac Block: \_\_\_\_\_ Unit: \_\_\_\_\_Subdiv/Addn/TBKA: Rancho De ConchoExisting Zoning: SI-1 Proposed zoning: N/A MRGCD Map No. \_\_\_\_\_Zone Atlas page(s): G-13-E UPC Code: 1013 000 276 244 32035

## CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): Current planCheck # 201392915, prior DRB approved project # 1009998

## CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? NONo. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 3622LOCATION OF PROPERTY BY STREETS: On or Near: Concho Rd NWBetween: Rio Grande Blvd NW and 12<sup>th</sup> St NWCheck if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team (PRT) ☐ Review Date: \_\_\_\_\_SIGNATURE [Signature] DATE 12/10/13(Print Name) Danna M. Fernandez Applicant: ☒ Agent: ☐

## FOR OFFICIAL USE ONLY

- ☒ INTERNAL ROUTING  
☒ All checklists are complete  
☒ All fees have been collected  
☒ All case #s are assigned  
☒ AGIS copy has been sent  
☐ Case history #s are listed  
☐ Site is within 1000ft of a landfill  
☐ F.H.D.P. density bonus  
☐ F.H.D.P. fee rebate

Application case numbers

13DRB-70786

Action

SBP  
CMF

S.F.

Fees

\$385.00\$20.00\$\$\$\$

Total

\$405.00Hearing date Dec. 18, 201312-10-13

Staff signature &amp; Date

Project # 1009916



FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- ☐ SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

  - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
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Maximum Size: 24" x 36"

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- ☒ SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

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  - Fee (see schedule) - *405 City of ABQ*
  - List any original and/or related file numbers on the cover applicationMeetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting.**  
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Maximum Size: 24" x 36"
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Maximum Size: 24" x 36"

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  - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
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**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DAVE M. FERNANDEZ

Applicant name (print)

Applicant signature / date

12/10/13



- ☒ Checklists complete
- ☒ Fees collected
- ☒ Case #s assigned
- ☒ Related #s listed

Application case numbers

13 - DRB - 70786

-

-

Form revised October 2007

12-10-13

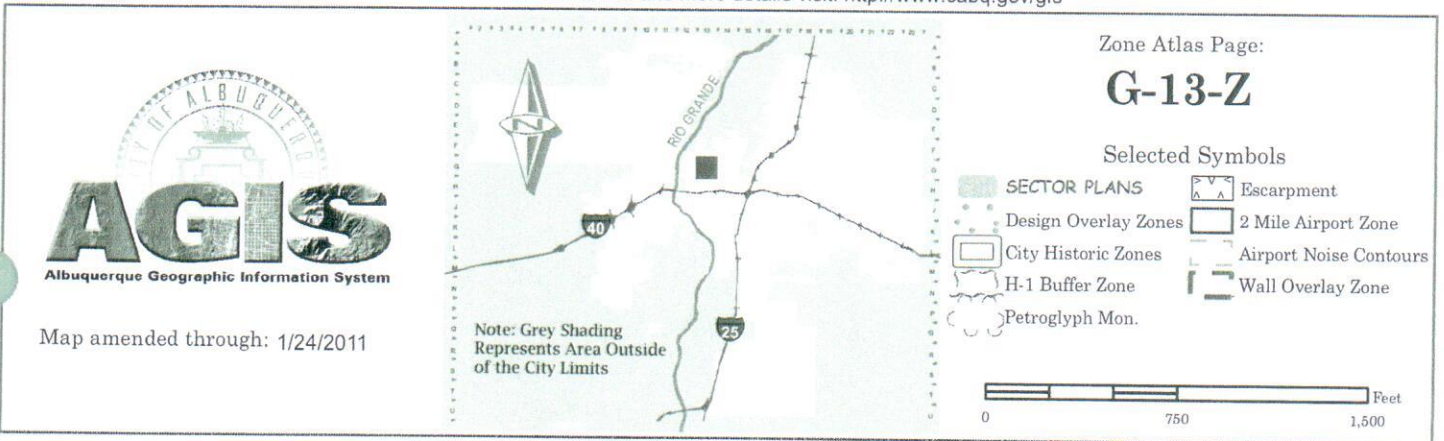
Planner signature / date

Project # 10099116





For more current information and more details visit: <http://www.cabq.gov/gis>





#### Project Summary-

The proposed site is for a single family residence that must have DRB approval in order to obtain a building permit. Location is currently a bare building site with no landscaping or improvements of any kind. The proposed residence will have a flat roof and will have multiple elevations. The courtyard wall will be of stucco finish and will have a wooden door for the entrance. The proposed home will have a stucco exterior and will be earth toned. Proposed home has been designed to adhere to the Restrictive Covenants for Rancho De Candelaria, Home Owners Association.

ziptieDESIGN Studio  
220 HERMOSA NE.  
ALBUQUERQUE, NM 87108  
(518) 364.9914

DR01	VOIDITY MAP, SITE PLAN, UTILITY PLAN, DBB SUBMITTAL, SCHEMATIC APPROVAL
DR02	PRELIMINARY GRADING AND DRAINAGE PLAN, LANDSCAPE PLAN, BUILDING ELEVATIONS
DR03	
SUB DIVISION DEVELOPMENT PLAN	RANCHO DE CAÑUELAS SUB DIVISION DEVELOPMENT PLAN PROJECT NUMBER 1002799

## TRAFFIC ENGINEER, TRANSPORTATION DIVISION

## PARKS AND RECREATION

ABCDEF

CITY ENGINEER

PROFESSOR OF THE UNIVERSITY OF

### CONCLUSIONS

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Journal compilation © 2006 Blackwell Publishing Ltd

## NTS

## 1

## SITE/UTILITY PLAN GENERAL NOTES

### SITE/UTILITY PLAN-LEGEND

1. LANDSCAPE MAINTENANCE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. SPRINKLER SYSTEM, DRAIN SYSTEM AND DRAINAGE SHALL BE IN ACCORDANCE WITH LOCAL PLUMBING CODES.
3. ALL LIGHT FIXTURES SHALL BE OF FULL CUT OFF TYPE, TO PREVENT FUGITIVE LIGHT. MOUNTED NO HIGHER THAN 15'.
4. FIRE HYDRANT LOCATED 100'-0" FROM PROPOSED HOME.

- SET BACK LINE  
PROPERTY LINE  
WATER LINE  
SEWER LINE  
EASEMENT LINE

## GRAPHIC SCALE



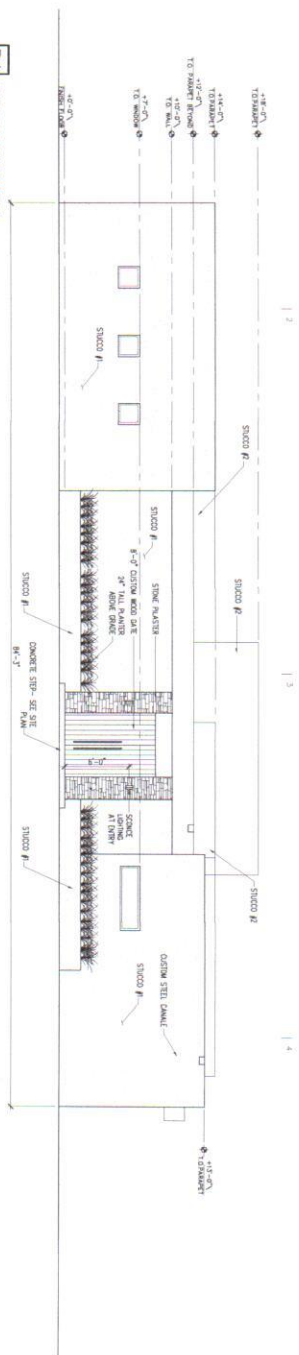
CASA DE CANDELARIA  
3604 CONRADO LANE NW  
Albuquerque, NM

ISSUE: 0312  
DRB Submittal: DRB1  
CMTD: 12/09/13  
WIN: 0312  
E: DRB1

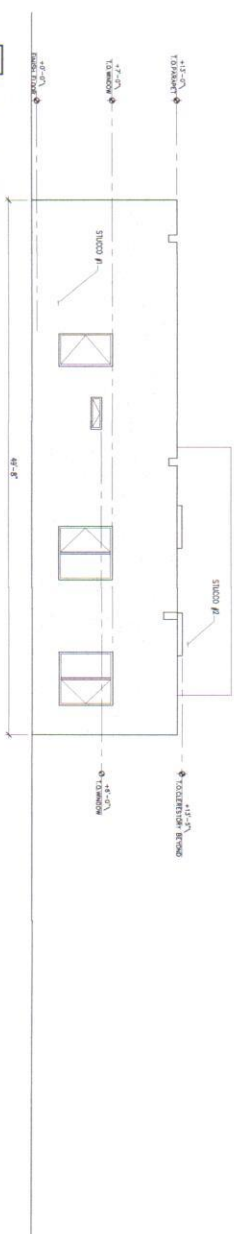




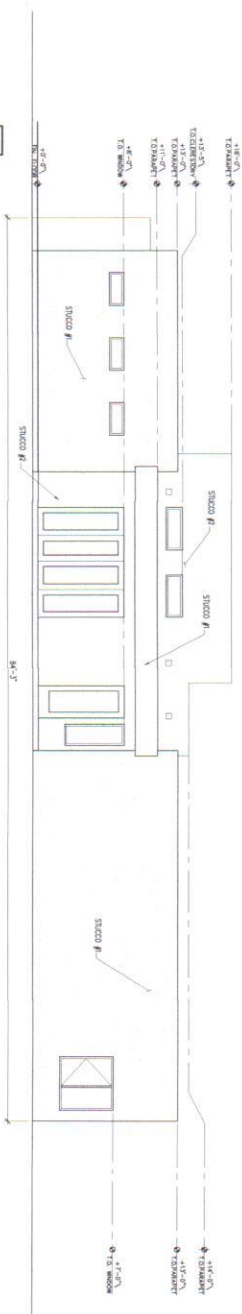




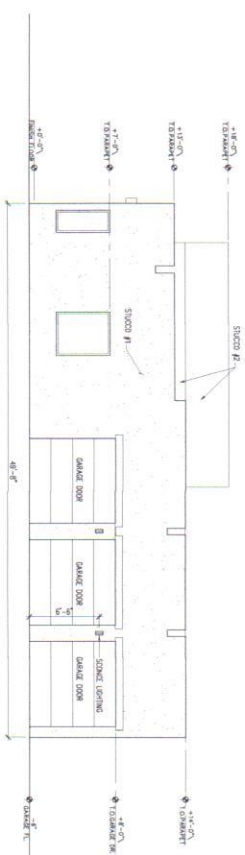
D1 | WEST ELEVATION



C1 | SOUTH ELEVATION



B11 EAST ELEVATION



A1 | NORTH ELEVATION

## GENERAL NOTES - ELEVATIONS

1. STUCCO COLOR #1 TO BE DRYMIX "STONE GREY" 4544
2. STUCCO COLOR #2 TO BE DRYMIX "MARBLE WHITE" 113
3. WINDOWS TO BE FELLA ENGRAVAD COATING—PROVIS BROWN
4. GARAGE DOOR TO MATCH WINDOWS

ziptieDESIGN Studio  
220 HERMOSA NE.  
ALBUQUERQUE, NM 87108  
(518) 364.9914

CASA DE CANDELARIA  
3604 CONRADO LANE NW  
Albuquerque, NM

ISSUE:  
DRB Submittal

DRAWN:  
CHECKED:  
DATE: 12/09/2013

DRB3

0312





## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

 12/10/13  
Applicant or Agent Signature / Date

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

**Accompanying Material**

- ☒ A. 8-1/2" x 11" reduction for each plan sheet.
- ☒ B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

### SHEET #1 - SITE PLAN

**A. General Information**

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100' [Other scales as approved by staff]
- ☒ 3. Bar scale
- ☒ 4. North arrow
- ☒ 5. Scaled vicinity map
- ☒ 6. Property lines (clearly identify)
- ☒ 7. Existing and proposed easements (identify each)
- ☒ 8. Phases of development including location and square footages of structures, circulation, parking and landscaping



# SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

## B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

### 1. Structural

- ☒ A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- ☒ B. Square footage of each structure
- ☒ C. Proposed use of each structure
- ☒ D. Temporary structures, signs and other improvements - no other temporary structures
- ☒ E. Walls, fences, and screening: indicate height, length, color and materials
- ☒ F. Dimensions of all principal site elements or typical dimensions thereof
- ☒ G. Loading facilities - no loading, residential home
- ☒ H. Site lighting (indicate height & fixture type) - residential home
- ☒ I. Indicate structures within 20 feet of site
- ☒ J. Elevation drawing of refuse container and enclosure, if applicable. - single family home
- ☒ K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas). - single family home

### 2. Parking and Circulation

- ☒ A. Parking layout with spaces numbered per aisle and totaled. Single family residence
  - ☒ 1. Location and typical dimensions, including handicapped spaces
  - ☒ 2. Calculations: spaces required: \_\_\_\_\_ provided: \_\_\_\_\_  
Handicapped spaces (included in required total) required: \_\_\_\_\_ provided: \_\_\_\_\_  
Motorcycle spaces (in addition to required total) required: \_\_\_\_\_ provided: \_\_\_\_\_
- ☒ B. Bicycle parking & facilities - Single family residence
  - ☒ 1. Bicycle racks, spaces required: \_\_\_\_\_ provided: \_\_\_\_\_
  - ☒ 2. Bikeways and other bicycle facilities, if applicable
- ☒ C. Public Transit - Single family residence
  - ☒ 1. Bus facilities, including routes, bays and shelters existing or required
- ☒ D. Pedestrian Circulation - Single family residence
  - ☒ 1. Location and dimensions of all sidewalks and pedestrian paths
  - ☒ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☒ E. Vehicular Circulation (Refer to Chapter 23 of DPM) - Single family residence
  - ☒ 1. Ingress and egress locations, including width and curve radii dimensions
  - ☒ 2. Drive aisle locations, including width and curve radii dimensions
  - ☒ 3. End aisle locations, including width and curve radii dimensions
  - ☒ 4. Location & orientation of refuse enclosure, with dimensions
  - ☒ 5. Curb cut locations and dimensions
  - ☒ 6. Existing and proposed street widths, right-of-way widths and curve radii
  - ☒ 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - ☒ 8. Location of traffic signs and signals related to the functioning of the proposal
  - ☒ 9. Identify existing and proposed medians and median cuts

## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

### 3. Phasing - *Single family residence*

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
  - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - ☒ B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
  - ☒ C. Ponding areas either for drainage or landscaping/recreational use
- ☒ 7. Identify type, location and size of plantings (common and/or botanical names).
  - N/A A. Existing, indicating whether it is to be preserved or removed. - *no existing materials*
  - ☒ B. Proposed, to be established for general landscaping.
  - ☒ C. Proposed, to be established for screening/buffering.
- ☒ 8. Describe irrigation system - Phase I & II . . .
- ☒ 9. Backflow prevention detail
- ☒ 10. Planting Beds, indicating square footage of each bed
- N/A 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. - *no turf*
- ☒ 12. Responsibility for Maintenance (statement)
- ☒ 13. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- N/A 14. Landscaped area requirement; square footage and percent (specify clearly on plan) - *no requirements*
- ☒ 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- ☒ 16. Planting or tree well detail
- N/A 17. Street Tree Plan as defined in the Street Tree Ord. - *single family home*

## SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

### A. General Information

- ☒ 1. Scale - must be same as Sheet #1 - Site Plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements



## SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- ✓ 6. Building footprints
- N/A 7. Location of Retaining walls - no retaining walls

### B. Grading Information

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ✓ 3. Identify ponding areas
- N/A 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point. - no grade change of more than 4 feet

### SHEET #4 UTILITY PLAN

- ✓ 1. Fire hydrant locations, existing and proposed.
- ✓ 2. Distribution lines
- ✓ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ✓ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ✓ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

### SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

#### A. General Information

- ✓ A. Scale (minimum of 1/8" or as approved by Planning Staff).
- ✓ B. Bar Scale
- ✓ C. Detailed Building Elevations for each facade
  - ✓ 1. Identify facade orientation (north, south, east, & west).
  - ✓ 2. Facade dimensions including overall height and width
  - ✓ 3. Location, dimensions, materials, and colors of principle façade elements- windows, doors, etc.
  - N/A 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations - not an EPC Submittal
- N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff. - not a multiple site location

#### B. Signage - Single family home

- N/A 1. Site location(s)
- N/A 2. Sign elevations to scale
- N/A 3. Dimensions, including height and width
- N/A 4. Sign face area - dimensions and square footage clearly indicated
- N/A 5. Lighting
- N/A 6. Materials and colors for sign face and structural elements.