

**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

April 16, 2014 9:00 a.m.

MEMBERS:

**Jack Cloud, DRB Chair
Angela Gomez, Administrative Assistant**

**Kristal Metro, Transportation Development
Curtis Cherne, City Engineer**


**Allan Porter, ABCWUA
Carol Dumont, Parks & Recreation**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

- 1. Project# 1009923**
14DRB-70095 EPC APPROVED SDP FOR
BUILD PERMIT 

RIO GRANDE ENGINEERING agent(s) for X-
FACTOR INC request(s) the above action(s) for all or a
portion of Lot(s) 1, Block(s) 13, **CARLISLE
PLAZA ADDITION** zoned SU1 FOR CHURCH,
located on MONTCLAIRE BETWEEN CANDELARIA
AND VALVERDE containing approximately .6887
acre(s). (G-17) **THE SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT WAS APPROVED**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 2. Project# 1003790**
14DRB-70078 MAJOR - - 2 YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS AGREEMENT (2YR SIA)


BOHANNAN HUSTON INC agents for NEW MEXICO
MUTUAL CASUALTY CO. request the referenced/
above action for Lot C-2-B, **NORTH GATEWAY
SUBDIVISION**, zoned SU-2/ IP or C, located on the
north side of BALLOON FIESTA PARKWAY NE
between SAN MATEO BLVD NE and I-25 containing
approximately 5.00 acres. (B-18) **THE TWO YEAR
EXTENSION OF THE SUBDIVISION IMPROVEMENT
AGREEMENT (SIA) WAS APPROVED.**

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1009923

Application #: 14DRB-70095

Project Name: Carlisle Plaza Addn

Agent: Rio Grande Engineering

Phone #:

Your request was approved on 4/6/14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign):

PLATS:

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

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Project #: 1009923

Application #: 14DRB-70095

Project Name: Carlisle Plaza Addn

Agent: Rio Grande Engineering

Phone #:

Your request was approved on 4-16-14 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign):

PLATS:

Planning must record this plat. Please submit the following items:

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Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

Patten-Quintana, Lorena

From: Patten-Quintana, Lorena
Sent: Thursday, June 19, 2014 2:40 PM
To: 'David Soule'
Subject: RE: X-factor

Hi David,

I trust you are doing well. Please send 3 – 24x36” copies of the approved site plan for project #1009923. We need them to close out the file.

Thanks, David. I look forward to working with you again.

Lorena Patten-Quintana, Planner
Urban Design & Development Division
City of Albuquerque Planning Department
505-924-3940

From: David Soule [<mailto:david@riograndeengineering.com>]
Sent: Tuesday, April 15, 2014 10:10 AM
To: Patten-Quintana, Lorena
Cc: Cloud, Jack W.
Subject: RE: X-factor

I have added as note #3 on sheet one. I will replace old sheet with this if acceptable

From: Patten-Quintana, Lorena [<mailto:lpatten-quintana@cabq.gov>]
Sent: Tuesday, April 15, 2014 9:58 AM
To: David Soule
Cc: Cloud, Jack W.
Subject: RE: X-factor

Hi David,

Condition of Approval #2 states “Add the following note to the General Notes and Landscaping Plan: “Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.” The note was added to the Landscaping Plan, but not on Sheet #1 under General Notes. Could you resend Sheet #1 with the clear sight language? Would it be possible for you to get that to us today?

I apologize for not recognizing this sooner. Thanks.

Lorena

From: David Soule [<mailto:david@riograndeengineering.com>]
Sent: Thursday, April 03, 2014 8:45 AM

To: Patten-Quintana, Lorena
Subject: X-factor

Lorena, I am submitting the plan to drb and I am to obtain your approval first. The only change was adding clear site triangle note to the landscape plan. I have attached what I intend to submit, the only change is on the landscape plan. Please advise if we should meet or if this is ok?

David <<...>> <<...>> <<...>> <<...>> <<...>> <<...>>

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

04/04/2014 Issued By: BLDAVM 232709

Category Code **910**
2014 070 094

Application Number: 14DRB-70094, Amended Sdp For Subdivision

Address:

Location Description: MONTCLAIRE BETWEEN CANDELARIA AND VALVERDE

Project Number: 1009923

Applicant
X-FACTOR

3100 MONTCLARE NE
ALBUQUERQUE NM 87107

Agent / Contact

RIO GRANDE ENGINEERING
DAVID SOULE
PO BOX 93924
ALBUQUERQUE NM 87199

DAVID@RIOGRANDEENGINEERING.COM

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$50.00

TOTAL: \$70.00

City of Albuquerque Treasury
Date: 4/8/2014 Office: ANMEX
Stat ID: W5000007 Cashier: TRSDLF
Batch: 3485 Trans #: 11
Permit: 2014070094
Receipt Num 00191144
Payment Total: \$70.00
0901 Conflict Mgmts. Fee \$20.00
0903 DRB Actions \$50.00
MasterCard Tendered : \$70.00



Supplemental Form (SF)

SUBDIVISION	S	Z	ZONING & PLANNING
<input type="checkbox"/> Major subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor subdivision action			
<input type="checkbox"/> Vacation	V		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar
SITE DEVELOPMENT PLAN	P		<input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
<input type="checkbox"/> for Subdivision			
<input checked="" type="checkbox"/> for Building Permit			
<input type="checkbox"/> Administrative Amendment/Approval (AA)			
<input type="checkbox"/> IP Master Development Plan	D		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	A	APPEAL / PROTEST of...
STORM DRAINAGE (Form D)			<input type="checkbox"/> Decision by DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): RIO GRANDE ENGINEERING PHONE 505.321.9099
 ADDRESS: PO BOX 93924 FAX: _____
 CITY: ALB STATE NM ZIP 87199 E-MAIL: david@riograndeengineering.com

APPLICANT: X-FACTOR PHONE: _____
 ADDRESS: 3100 MONTCLARE NE FAX: _____
 CITY: ALB STATE NM ZIP 87107 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST:

DRB FINAL SIGN-OFF OF AMMENDED SITE PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 1 BLOCK 13, Block: _____ Unit: _____
 Subdiv/Addn/TBKA: CARLILSE PLAZA ADDITION
 Existing Zoning: SU1 FOR CHURH Proposed zoning: SU1 FOR CHURHC MRGCD Map No _____
 Zone Atlas page(s): G-17 UPC Code: 101706023903130803

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
PROJECT#1009923

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): 0.70

LOCATION OF PROPERTY BY STREETS: On or Near: MONTCLAIRE STREET
 Between: CANDELARIA and VALVERDE

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE _____ DATE _____

(Print Name) DAVID SOULE Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>14 DRB 70094</u>	<u>ASBP</u>	___	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>70095</u>	<u>CMF</u>	___	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>SBP</u>	___	<u>\$ 0</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	___	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	___	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	___	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	___	Total
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	___	<u>\$ 70.00</u>

Hearing date April 16, 2014

4-4-14
Staff signature & Date

Project # 1009923

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
- ___ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Solid Waste Management Department signature on Site Plan for Building Permit
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Applicant name (print)

Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 14 - DRB 70094
 - - - 70094

Planner signature / date

Project # 1009923

March 4, 2014

Mr. Jack Cloud
Chair- Development Review Board
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Project# 1009923
Amendment to Site Plan for Building Permit
Lot 1, Block 13, Carilse plaza
Albuquerque, New Mexico**

Dear Mr. Cloud:

Rio Grande Engineering requests DRB final signoff of the enclosed site plan for amended site plan for building permit. This project was approved by the DRB on March 13, 2014. The site plan was approved with four conditions. The plan has been modified to address the comments. Below is a summary of the comments and a description as to how they were addressed:

1. EPC delegates final sign-off to the DRB
We are submitting to the DRB

2. Add "landscaping, fencing and signing will not interfere with clear sight requirements. Therefore signs, walls, trees, and shrubbery between 3 and 8 feet tall will not be acceptable

We have added this note the landscape plan.

3. Prior to DRB applicant shall meet with the case planner
We have met with the case planner and her approval is confirmed in the attached email string.

4. Site plan shall comply to the General regulations of the zoning code
We believe the site plan complies

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

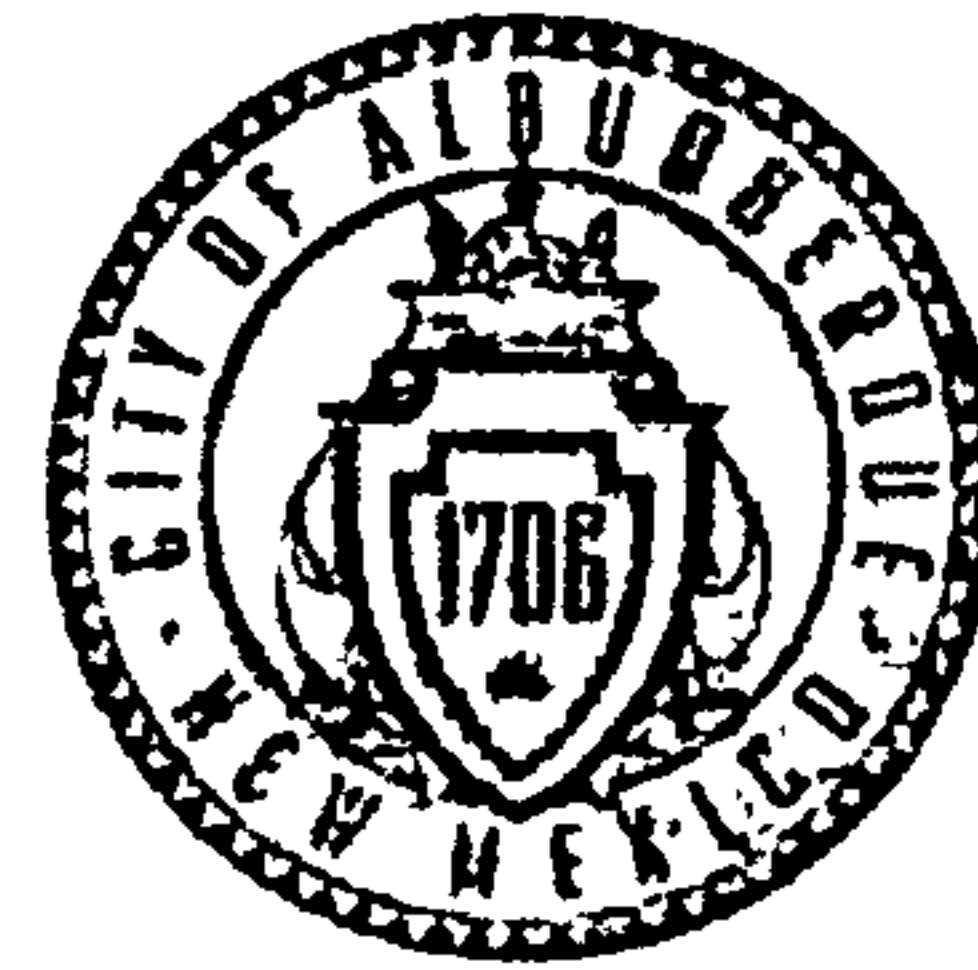


David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

CITY OF ALBUQUERQUE

**PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339**



OFFICIAL NOTIFICATION OF DECISION

March 13, 2014

**Carlisle Plaza United Methodist Church
P.O. Box 36528
Albuquerque, New Mexico 87176**

**Project# 1009923 *
13EPC-40158 Amendment to Site Development
Plan for Building Permit**

LEGAL DESCRIPTION:

For all or a portion of lot 1, block 13, Carlisle Plaza United Methodist Church, located on Montclair between Candelaria and Valverde containing approximately 0.688 acres.
Staff Planner: Lorena Patten-Quintana

PO Box 1293

Albuquerque

On March 13, 2014, the Environmental Planning Commission (EPC), voted to APPROVE Project 1009923, 14EPC-40158, a request for an Amendment to the Site Development Plan for Building Permit, based on the following Findings and Conditions:

New Mexico 87103

FINDINGS - 13EPC-40158 – March 13, 2014 - Site Development Plan for Building Permit

www.cabq.gov

1. This is a request for an amendment to a Site Development Plan for Building Permit for Tract 1, Block 13, Carlisle Plaza Addition located at 3023 Montclair Drive NE and containing approximately .688 acres.
2. The purpose of this request is to allow for a proposed 1500 square foot accessory building. The subject site is zoned SU-1, Special Use Zone for Church and Related Facilities. Accessory buildings are allowed and permissive incidental uses include educational uses.

OFFICIAL NOTICE OF DECISION

Project #1009923

March 13, 2014

Page 2 of 4

3. **The subject property has been developed and used as a church since 1976. The original Site Development Plan was approved by the City to allow the development of a church and related facilities on the site.**
4. **There are no governing sector plans, overlay zones or special designations applicable to this site.**
5. **The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.**
6. **The request is consistent with the Established Urban Area Goal and Policy II.B.5.d, because the proposed building and site improvements are consistent with the intensity and design of the existing development and the site's SU-1 zoning.**
7. **The McKinley Neighborhood Association is in full support of this request.**

CONDITIONS OF APPROVAL - 13EPC-40158 – March 13, 2014 - Site Development Plan for Building Permit

1. **The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.**
2. **Add the following note to the General Notes and Landscaping Plan: "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."**
3. **Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.**
4. **The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.**

OFFICIAL NOTICE OF DECISION

Project #1009923

March 13, 2014

Page 3 of 4

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **MARCH 28, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

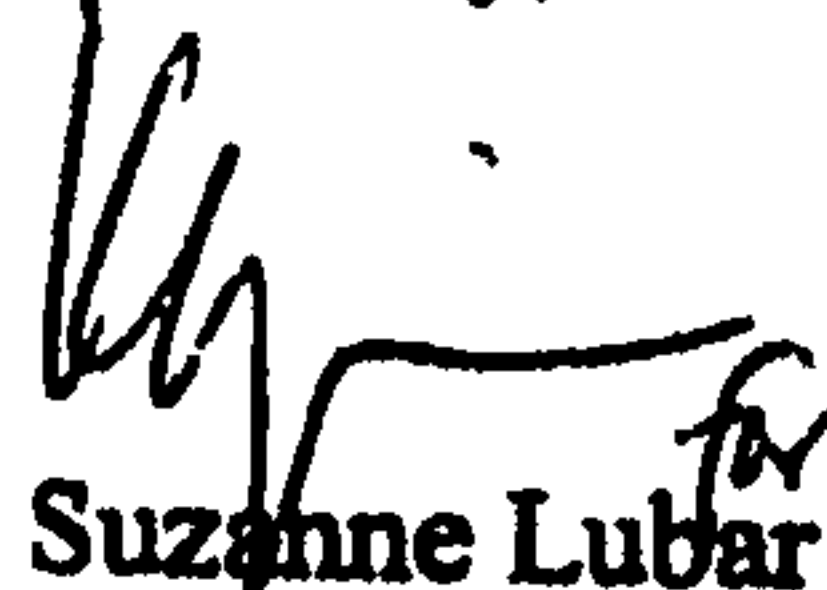
You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application.

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,



Suzanne Lubar
Planning Director

OFFICIAL NOTICE OF DECISION

Project #1009923

March 13, 2014

Page 4 of 4

SL/LPQ/mc

cc: David Soule, Rio Grande Engineering, P.O. Box 903926, ABQ, NM 87199
Jonathan Turner, Garcia/Kraemer & Assoc, 600 First St NW, Suite 211, ABQ, NM 87102
Geri Griego, 3018 Solano Dr NE, ABQ, NM 87110
Marge Padilla, 3616 Aztec Rd NE, ABQ, NM 87110
Bill Hoch, 813 Calle Del Corte NE, ABQ, NM 87110

David Soule

From: Patten-Quintana, Lorena [lpatten-quintana@cabq.gov]
Sent: Monday, April 07, 2014 9:36 AM
To: David Soule
Subject: RE: X-factor

My pleasure.

From: David Soule [mailto:david@riograndeengineering.com]
Sent: Monday, April 07, 2014 9:18 AM
To: Patten-Quintana, Lorena
Subject: RE: X-factor

thanks. I will include a print out of this with my submitta. Thank you very much for your assistance on this project

David Soule

From: Patten-Quintana, Lorena [mailto:lpatten-quintana@cabq.gov]
Sent: Monday, April 07, 2014 9:14 AM
To: David Soule
Subject: RE: X-factor

You can include and I will also send him a memo.

From: David Soule [mailto:david@riograndeengineering.com]
Sent: Monday, April 07, 2014 9:13 AM
To: Patten-Quintana, Lorena
Subject: RE: X-factor

Thanks, can i include this with my submittal or will you send to Jack?
David

From: Patten-Quintana, Lorena [mailto:lpatten-quintana@cabq.gov]
Sent: Monday, April 07, 2014 8:58 AM
To: David Soule
Subject: RE: X-factor

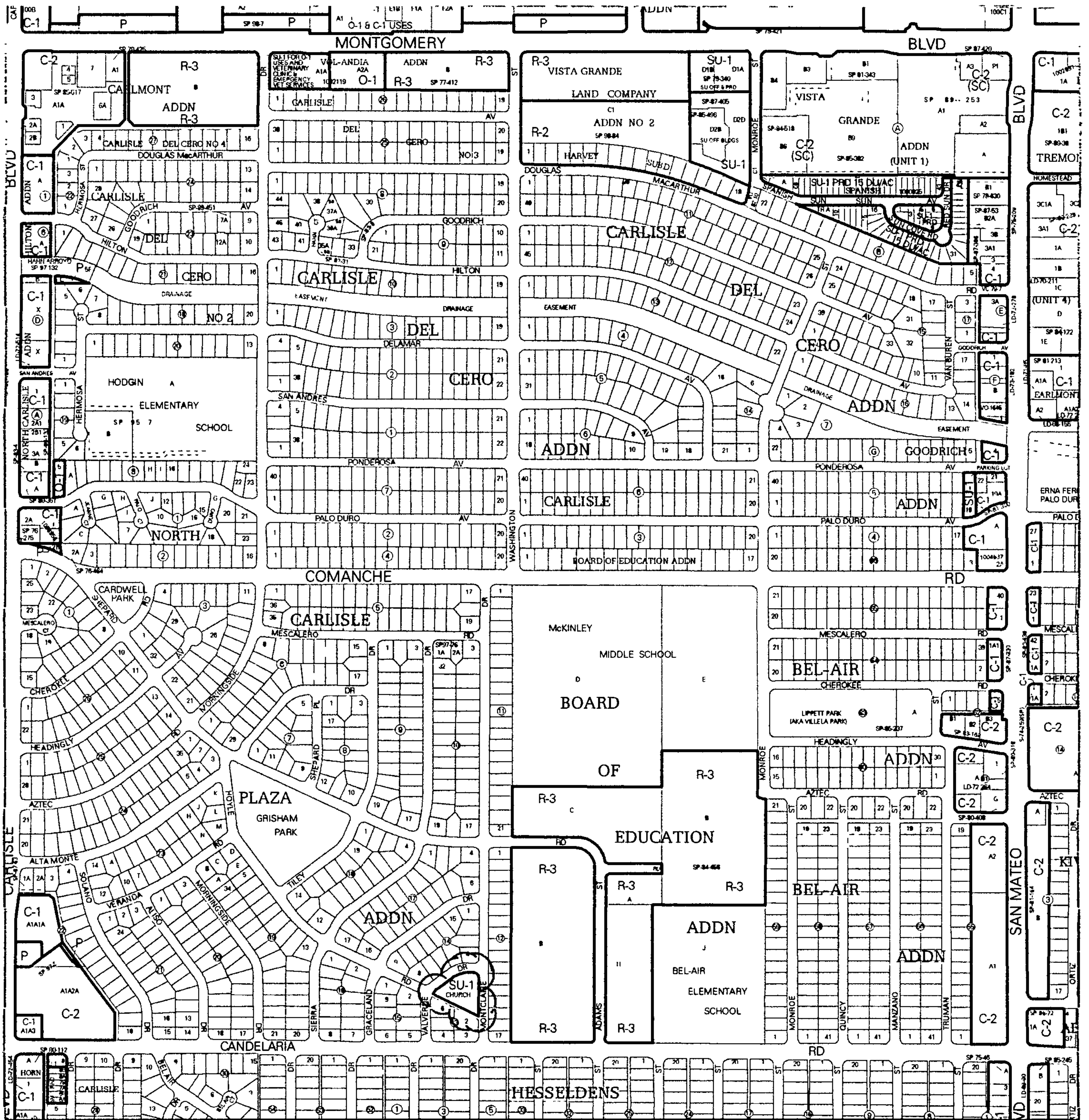
Looks good! Go ahead and submit. We don't need to meet on this.

Lorena

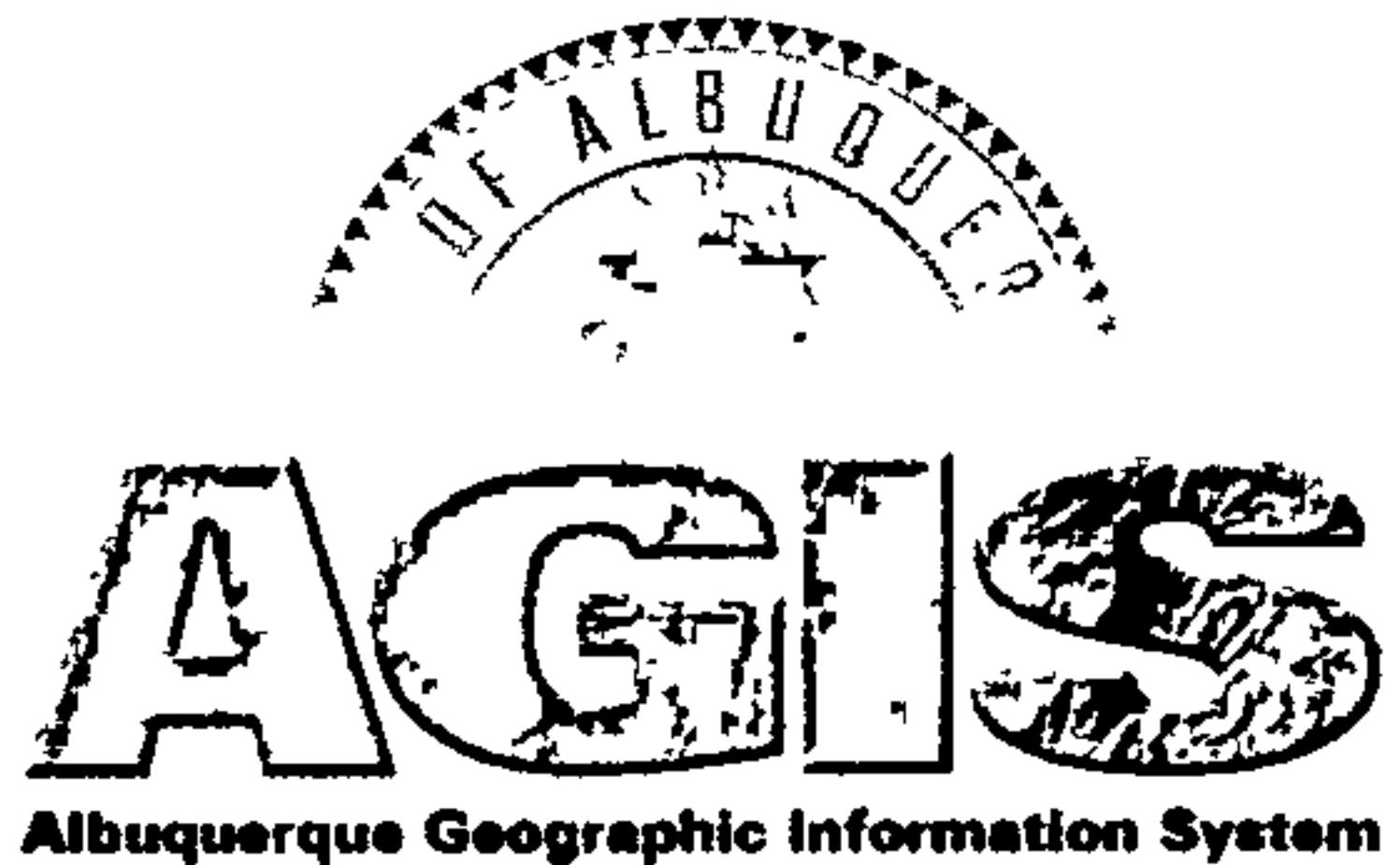
From: David Soule [mailto:david@riograndeengineering.com]
Sent: Thursday, April 03, 2014 8:45 AM
To: Patten-Quintana, Lorena
Subject: X-factor

Lorena, I am submitting the plan to drb and I am to obtain your approval first. The only change was adding clear site triangle note to the landscape plan. I have attached what I intend to submit, the only change is on the landscape plan. Please advise if we should meet or if this is ok?

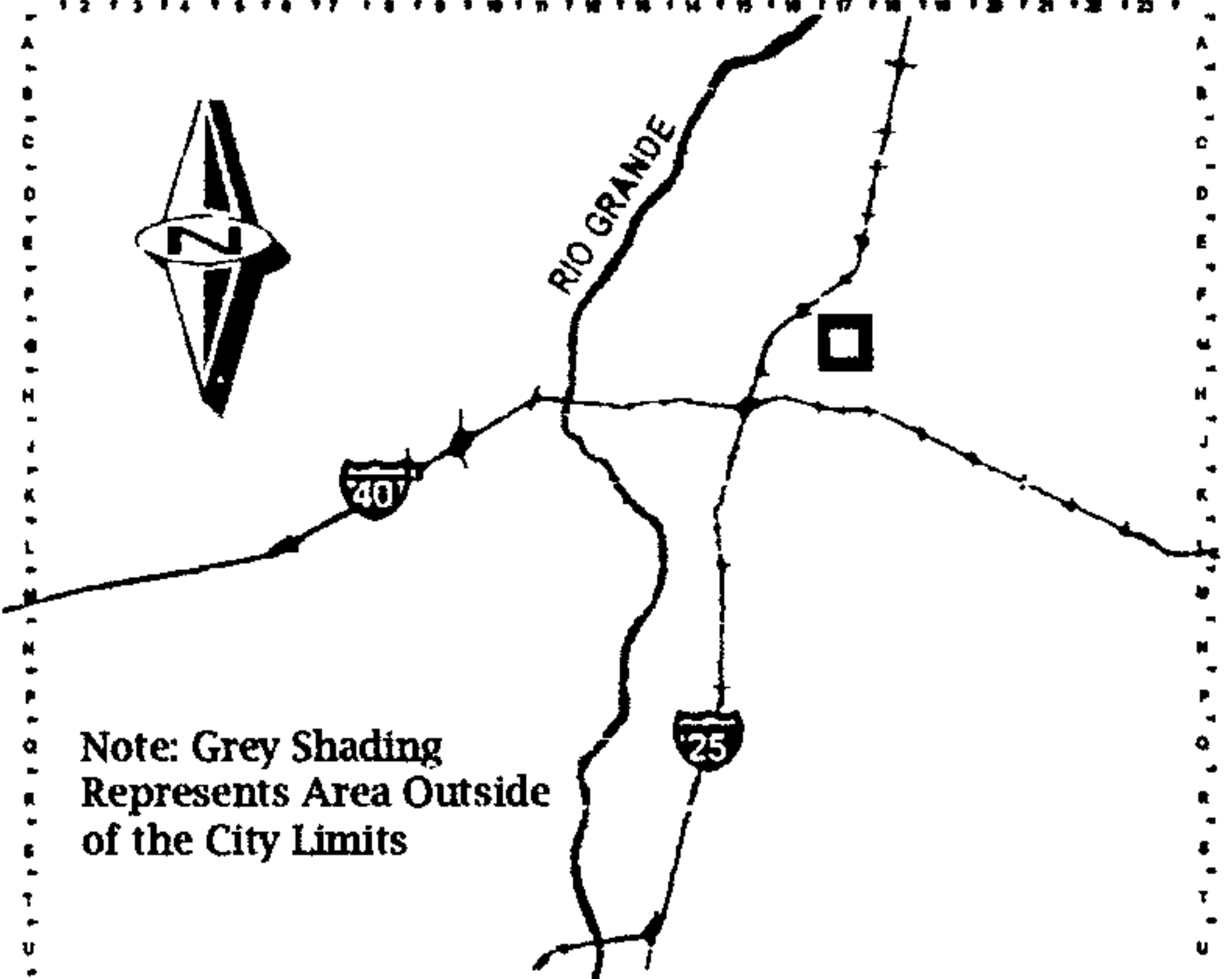
David <<...>> <<...>> <<...>> <<...>> <<...>> <<...>>



For more current information and more details visit: <http://www.cabq.gov/gis>












Map amended through: 2/4/2010



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
G-17-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1500 Feet

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

April 3, 2014

Jack Cloud
Chari- Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

**RE: Amendment to Site Plan for Building Permit for
X-FACTOR
Project 1009923
Albuquerque, New Mexico**

Dear Ms Lehner and neighbors:

The purpose of this letter is to accompany the enclosed Site Plan Amendment for the referenced project. This project was approved at the EPC on March 13, 2014. The plan has been updated to accommodate the conditions of approval.

Should you have any questions regarding this proposal or need further clarification, feel free to contact me.

Sincerely,



David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

Enclosures

RECOMMENDATION - 13EPC-40158 – March 13, 2014 - Site Development Plan for Building Permit

APPROVAL of 13EPC-40158, a request for an amendment to a Site Development Plan for Building Permit for Tract 1, Block 13, Carlisle Plaza Addition located at 3023 Montclair Drive NE, based on the preceding Findings and subject to the following Conditions of Approval.

CONDITIONS OF APPROVAL - 13EPC-40158 – March 13, 2014 - Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Add the following note to the General Notes and Landscaping Plan: “Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.”
3. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
4. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. More details and/or minor changes may be necessary as the project progresses through DRB and building permit reviews. Certification of completeness as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. I ACKNOWLEDGE THAT MORE DETAILS AND/OR MINOR CHANGES MAY BE NECESSARY AS THE PROJECT PROGRESSES THROUGH THE REVIEW PROCESSES. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OR DEFERRAL OF THE APPLICATION.

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36", or as pre-approved by Planning Staff

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing):

1. **Site Plan** (including easements with recording information)
2. **Landscaping Plan**
3. **Conceptual Grading and Drainage Plan** (a separate Grading Plan sheet is required for sites > 1 acre)
4. **Conceptual Utility Plan** (for sites less than one acre, Utility Plan may be shown on Site Plan)
5. **Building and Structure Elevations**
6. **Previously approved Development Plan** (if applicable)

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. Please refer to the City's DPM, Zoning Code and any applicable Sector Development Plan and Master Development Plan for specific design requirements for the elements listed below. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet & electronic copy (pdf) of Site Development Plan
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 – SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale:
1.0 acre or less 1" = 10' Over 5 acres 1" = 50'
1.0 - 5.0 acres 1" = 20' Over 20 acres 1" = 100'
[other scales, if approved by staff]
3. Bar scale
4. North arrow
5. Vicinity map
6. Signature Block (for DRB site dev. plans)
7. Property lines (clearly identify)
8. Existing easements on the site and within 20 ft. of the site with recording information;
proposed easements on the site
9. Phases of development including location and square footages of structures, circulation,
parking and landscaping
10. Indicate existing structures and easements (with recording information) within 20 ft. of the site

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

B. Proposed Development

1. Structural

- 1. Location of existing & proposed structures on the site (distinguish between existing & proposed, include phasing)
- 2. Dimensions and square footage of each structure
- 3. Proposed use of each structure
- 4. Walls, fences, and screening: indicate height, length, color and materials
- 5. Loading facilities
- 6. Conceptual site lighting (indicate general location & maximum height)
- 7. Location of refuse container and enclosure
- 8. Site amenities including patios, benches, tables (indicating square footage of patios/ plazas)

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 26 provided: 33
Handicapped spaces (included in required total) required: 2 provided: 2
Motorcycle spaces (in addition to required total) required: 1 provided: 1
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3 provided: 3
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location of proposed and existing public sidewalk; define distance from back of curb to sidewalk
- E. Vehicular Circulation (Refer to Chapter 23 of DPM for design requirements)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

3. Phasing – This is required information if phasing of project is anticipated

- Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

SHEET #2 – LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff

- 1. Scale - must be same as scale on sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Statement of Landscaping Responsibility for Maintenance (Landscape Agreement will be required for landscape in public right-of-way prior to Building Permit)
- 7. Statement of compliance with Water Conservation Ordinance, see §6-1-1
- 8. Statement of compliance with §14-16-3-10, General Landscaping Regulations
- 9. Identify location and size (SF) of all landscaping areas, including:
 - A. Type, location and size of trees (common and/or botanical names)
 - B. Type and location of all ground cover material (organic/inorganic)
 - C. Existing vegetation, indicating whether it is to be preserved or removed
 - D. Ponding areas either for drainage or landscaping/recreational use
 - E. Turf area – only 20% of landscaped area can be high water-use turf
- 10. Landscape calculation table:
 - A. Required and Provided Landscape Area – square footage and percent
 - B. Required and Provided Trees (street, parking lot, screening, etc.)
- 11. Street Tree Plan as defined in the Street Tree Ordinance (see §6-6-2) (EPL Approved)
- 12. Verification of adequate sight distance
- 13. Provide a plant list of shrubs, grasses, and perennials

SHEET # 3 – CONCEPTUAL GRADING and DRAINAGE PLAN

The Conceptual Grading and Drainage Plan provides the Planning Commission and DRB with an understanding of site topography and how it relates to adjacent property. The City Engineer or her/his designee may waive or allow adjustments to the Conceptual Grading and Drainage Plan requirements for sites that are already developed or are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Building footprints
- 6. Location of Retaining walls

B. Grading Information

- 1. Provide a narrative description of existing site topography, proposed grading improvements, flood zone status, and topography within 20 feet of the site.
- 2. Show existing and proposed contours, retaining wall heights, approximate street (drive entrance/parking lot) slopes.
- 3. Identify whether ponding is required
- 4. Indicate Finished Floor Elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 5. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change.
- 6. In addition to the above, the following must be provided for DRB applications:
 - A. Conceptual onsite drainage system
 - B. For sites 5 acres or greater or for sites where drainage infrastructure is required, a Drainage Report is required.

SHEET #4 – UTILITY PLAN

If site is less than one acre, the Utility Plan may be shown on sheet #1

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

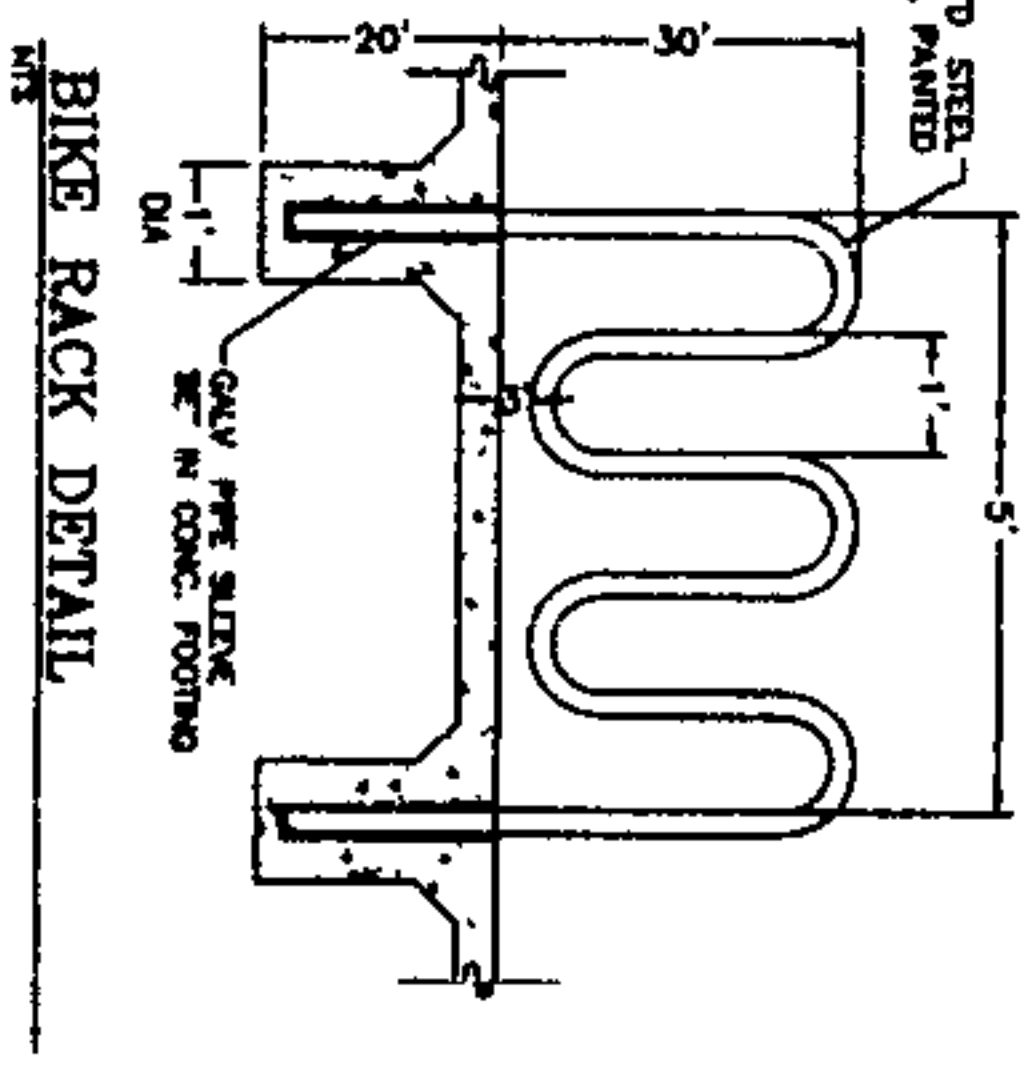
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

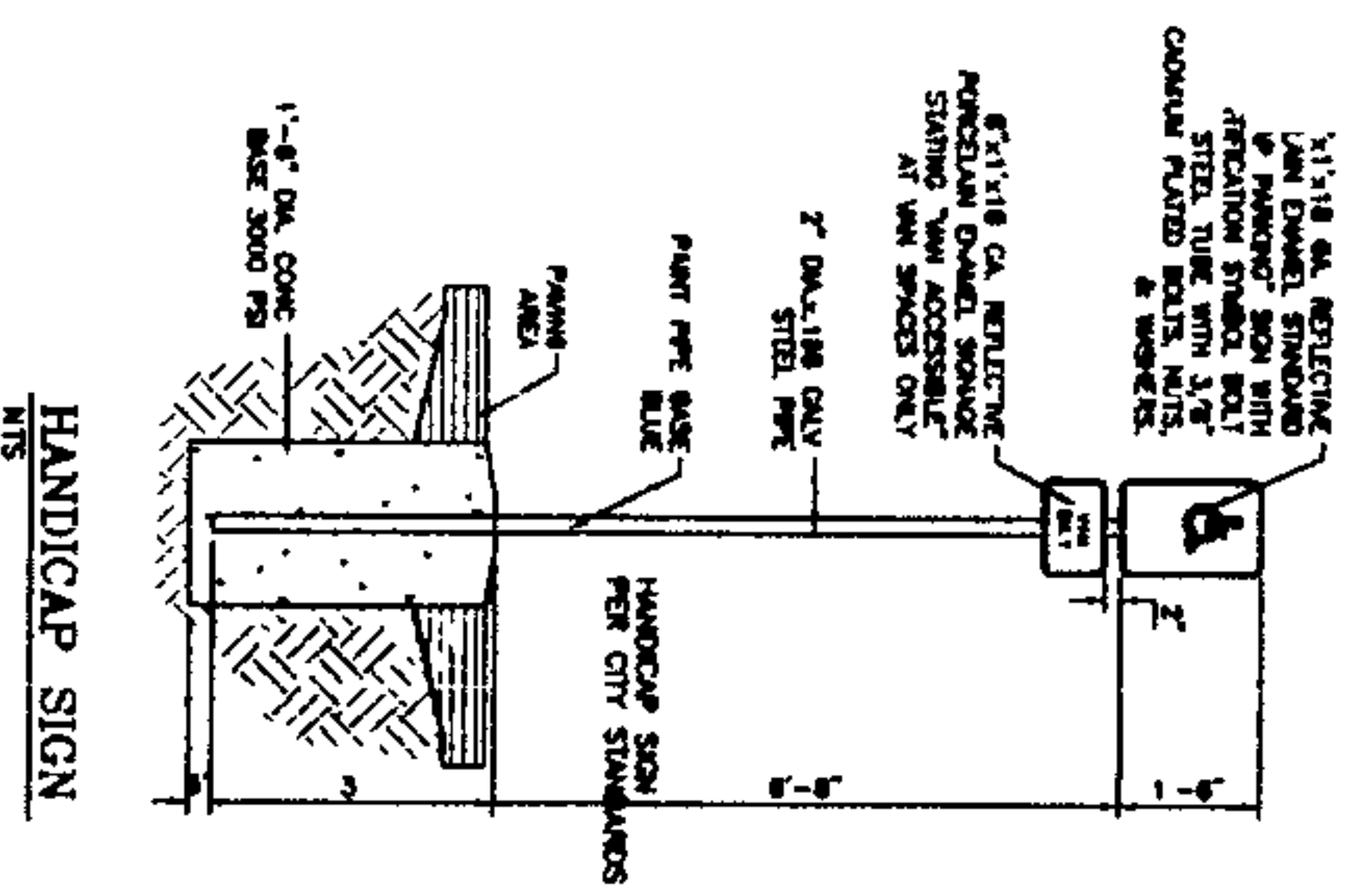
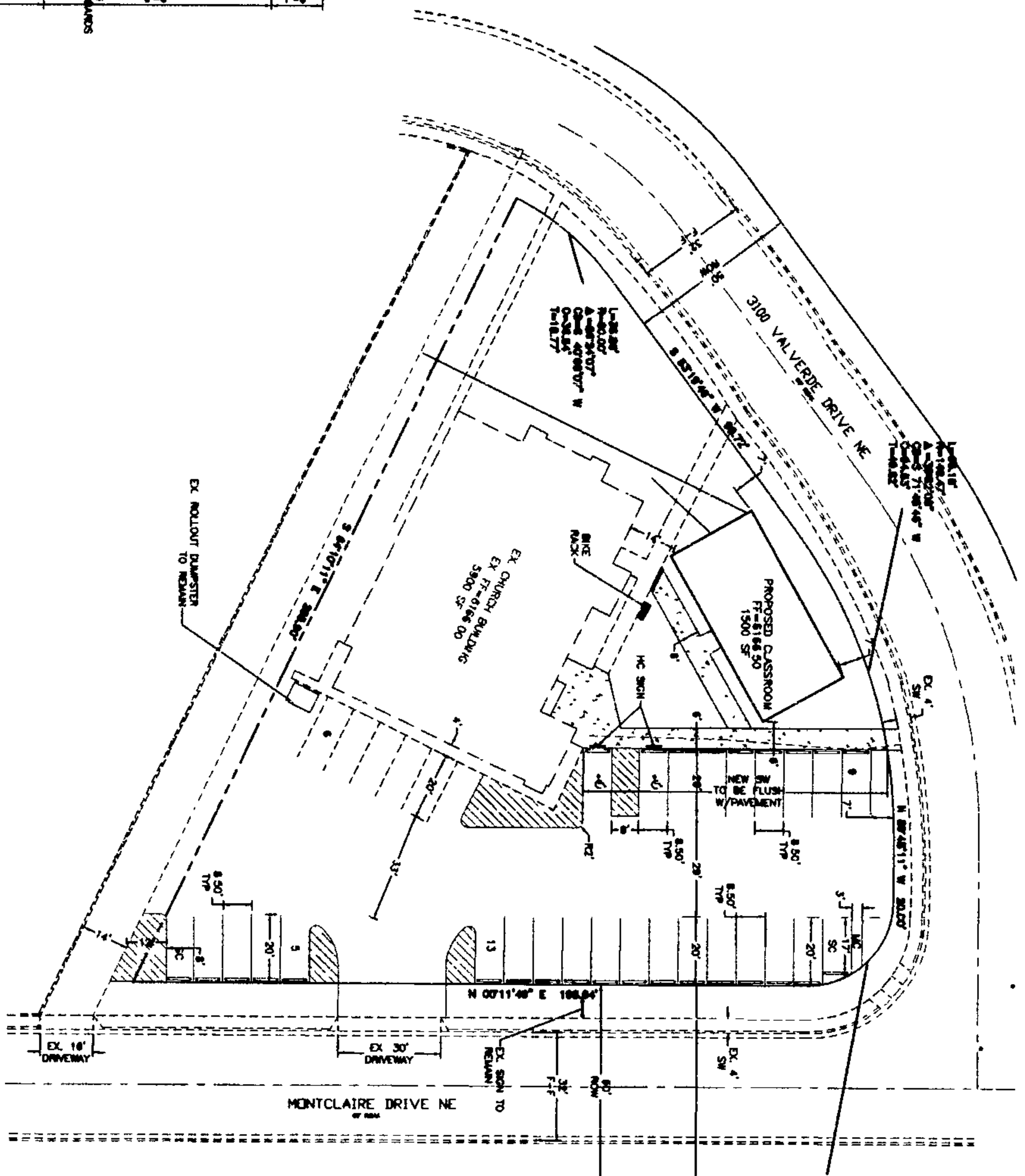
- 1. Scale (minimum of 1/8" or as approved by Planning Staff)
- 2. Bar Scale
- 3. Detailed Building Elevations for each facade
 - a. Identify facade orientation (north, south, east, & west)
 - b. Facade dimensions including overall height and width of building and major building articulation elements such as doors and windows (to determine compliance with zoning or other regulations)
 - c. Materials and colors of principle building elements – façade, roof, windows, doors, etc.
 - d. 8½" x 11" color renderings or similar illustrations (2 for DRB and 10 for EPC)
- 4. Dimensions, colors and materials of Refuse Enclosure
- 5. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discuss submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale (Existing - No New Signage)
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements
- 7. Verification of adequate sight distance



- SHEET INDEX**
- 1. AMENDED SITE PLAN FOR BUILDING PERMIT
 - 2. LANDSCAPE PLAN
 - 3. GRADING AND DRAINAGE PLAN
 - 4. ELEVATIONS
 - 5. WATER UTILITY PLAN
 - 6. EXISTING APPROVED SITE PLAN FOR BUILDING PERMIT



PROJECT NUMBER _____
APPLICATION NUMBER _____

City of Grand Rapids, Michigan
 Department of Public Works
 Planning and Zoning Commission
 1000 Capitol Avenue, N.E.
 Grand Rapids, Michigan 49503

DATE SITE DEVELOPMENT PLAN APPROVAL _____

TRAFFIC ENGINEER: Transportation Director _____
DATE _____

URBISER DEVELOPMENT: _____
DATE _____

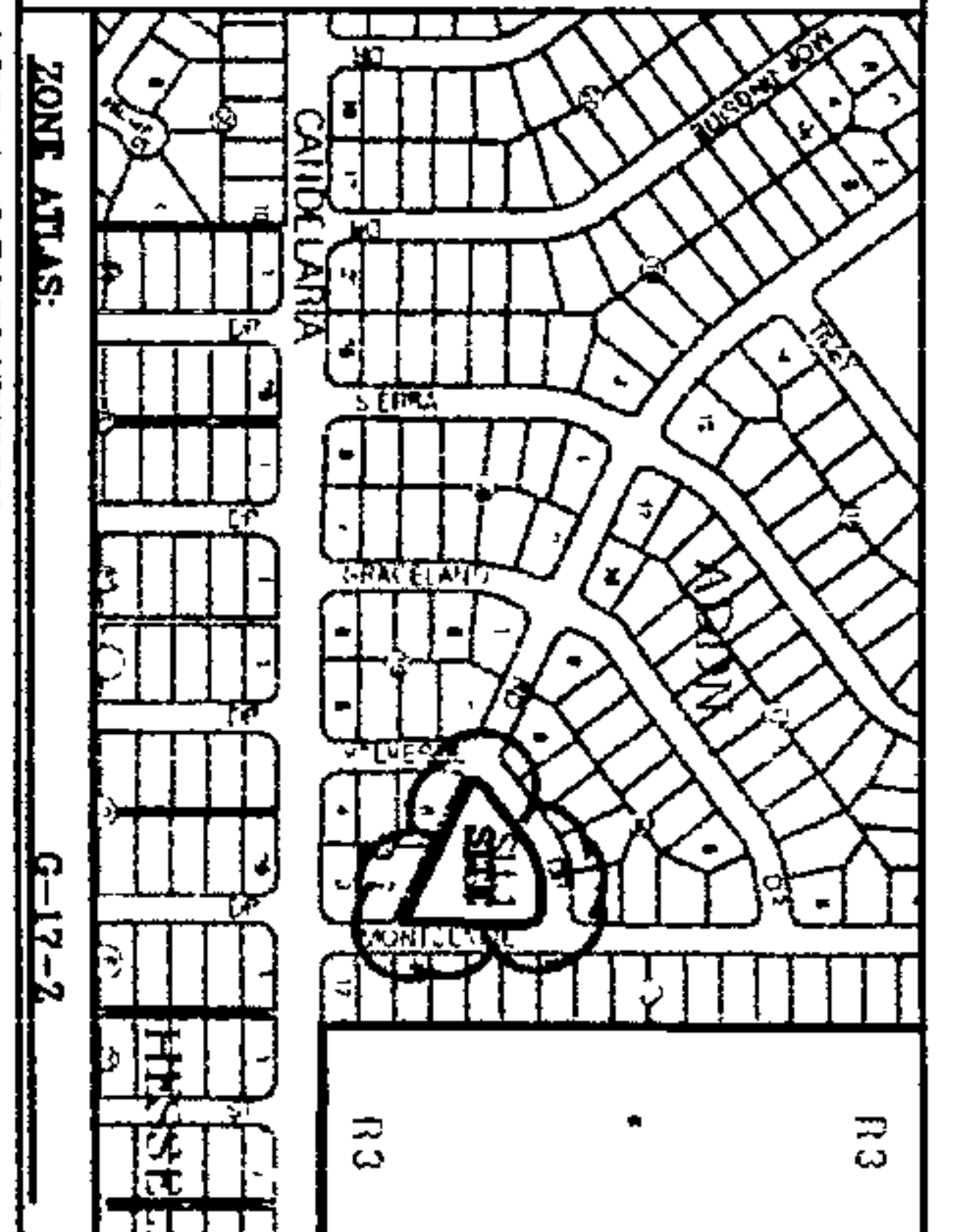
PERMIT & RECREATION DEPARTMENT: _____
DATE _____

CIVIL ENGINEER: _____
DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONS): _____
DATE _____

SOLID WASTE MANAGEMENT: _____
DATE _____

DEPT. OF STREETS, PLANNING DEPARTMENT: _____
DATE _____



LEGAL DESCRIPTION:
 LOT 1, BLK 13, DANIELS HOUS. ADDITION

- GENERAL NOTES:**
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER POLLUTION CONTROL, WASTE CONSERVATION, LANDSCAPING AND WATER WASTE MANAGEMENT. THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNERS.
 3. NO ACCESS HERE SHALL BE PROVIDED FROM VAL VERDE.

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED BUILDING
- EXISTING BUILDING
- EXISTING PERMITTER WALL

SITE DATA

TOTAL ACRES	0.0717 ACRES
EXISTING USE	CHURCH
EXISTING BLDG. SF	1500 SF
PROPOSED BLDG. SF	1500 SF
REQUIRED PARKING	28 SPACES (1 SPACE PER 4 SEATS @ 104 SEATS)
PROPOSED PARKING	2 SPACES
HC PROVIDED PARKING	2 SPACES
MOTORCYCLE PROVIDED PARKING	1 SPACE
BICYCLE PROVIDED PARKING	3 SPACES



ENGINEER'S SEAL

DAVID SOLIC
 PE #14322

X-FACTOR

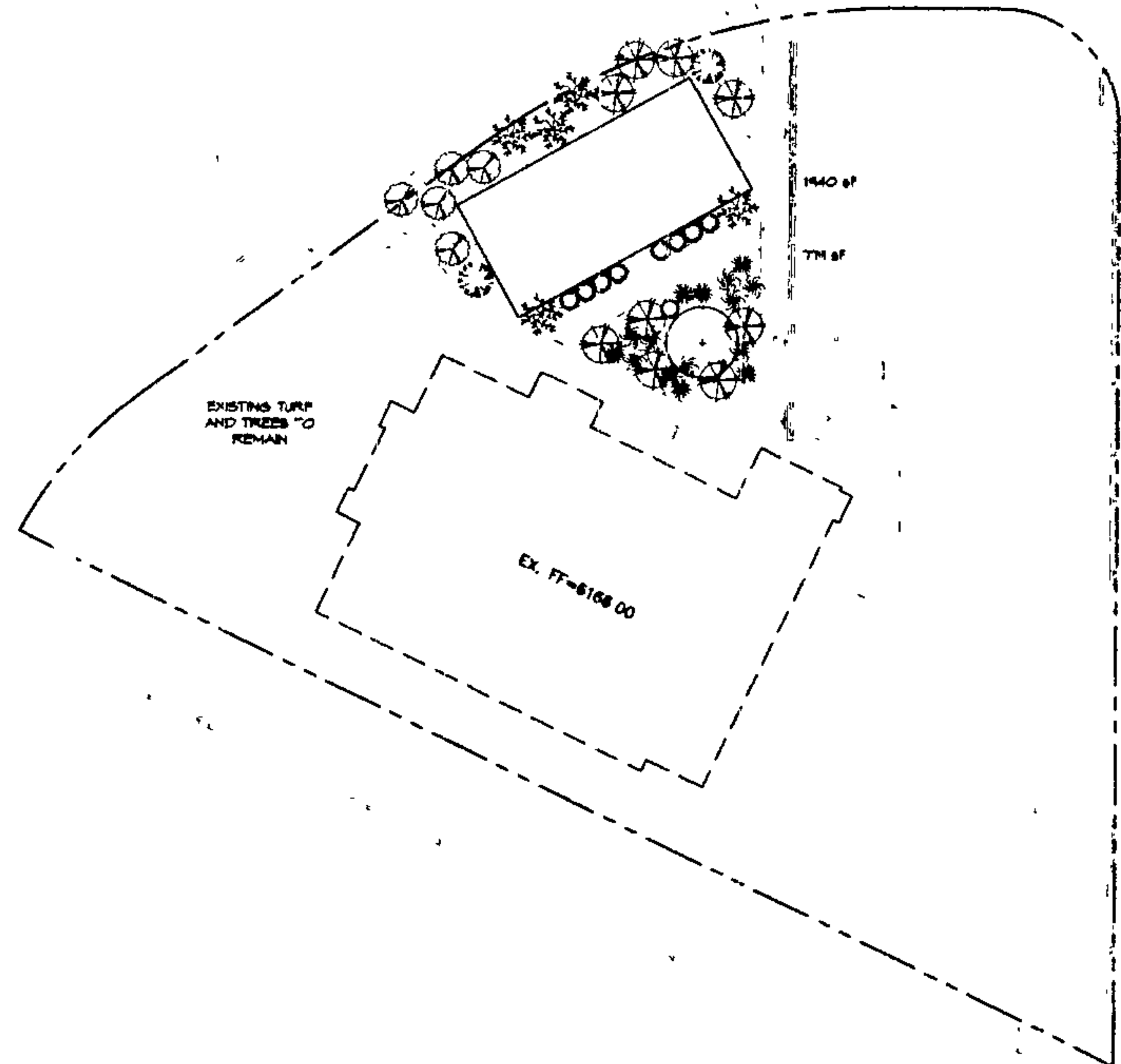
AMENDED SITE PLAN FOR BUILDING PERMIT

Ho Grande Engineering
 1000 Capitol Avenue, N.E.
 Grand Rapids, Michigan 49503

DRAWN BY: RCM/
DATE: 2-28-14

SHEET 1

JOB # 21350



PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height, or spread. In cases where Type O plants have been pruned for rejuvenation measurement should be by spread of roots rather than by the height of the plant.

SHRUBS/ORNAMENTAL GRASSES:

- **NEW MEXICO OLIVE 1**
Forsythia neomexicana
15 Gal 4-10' hgt./75 x 75 maturity
Water (M) Allergy (L) 225sf
- **GREEN MOUND JUNPER**
Juniperus procumbens Green Mound
1 Gal 8'-15" hgt./3' x 8' maturity
Water (L) Allergy (M) 64sf
- **HAIRGRASS**
Miscanthus sinensis
5 Gal 15'-5' hgt./5 x 5 maturity
Water (M) Allergy (L) 25sf
- **RED YUCCA**
Nesopetalus parviflora
5 Gal 18'-9" hgt./3 x 4 maturity
Water (L) Allergy (L) 16sf
- **TURPENTINE BUSH**
Erigeron leucoides
1 Gal 8'-15" hgt./2' x 4' maturity
Water (L) Allergy (L) 16sf
- **MUGO PINE**
Pinus mugo
5 Gal 12'-5" hgt./3 x 5' maturity
Water (M) Allergy (L) 4sf

GROUNDCOVERS:

- **TAN JUNPER 4**
Juniperus sabina Tamarackiformis
1 Gal 8'-15" hgt./4 x 15 maturity
Water (L) Allergy (L) 225sf
- **WINTER JASMINE 4**
Jasminum nudiflorum
1 Gal 8'-15" hgt./4 x 12 maturity
Water (L) Allergy (L) 144sf
- **HONEYSUCKLE 4**
Lonicera japonica Yellow
1 Gal 8'-15" hgt./3 x 12 maturity
Water (M) Allergy (L) 144sf
Unstaked-groundcover

HARDSCAPES:

- **3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 5" DEPTH**

* DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	80614	square feet
TOTAL BUILDINGS AREA	7800	square feet
NET LOT AREA	23914	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	35271	square feet
TOTAL BED PROVIDED	2714	square feet
GROUNDCOVER REQ	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	20594	square feet
TOTAL GROUNDCOVER PROVIDED	2374	square feet
TOTAL PONDING AREA	0	square feet
TOTAL EXISTING TURF AREA	3145	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	6484	square feet

LANDSCAPE NOTES

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

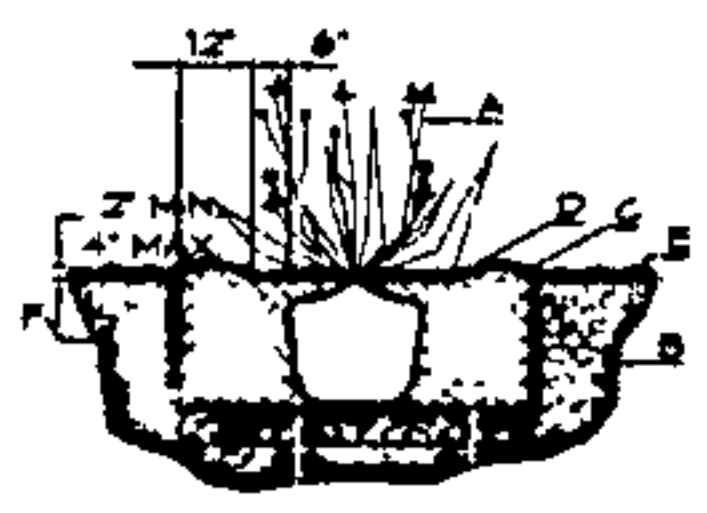
Gray gravel over Filter Fabric to a minimum depth of 5" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each shrub drip valve will be approximately 15 minutes per day. Run time will be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

NOTE TO CLIENT

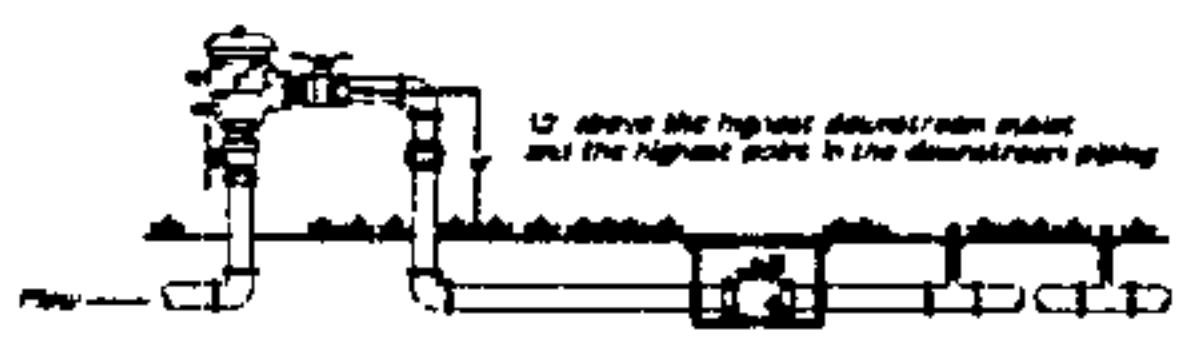
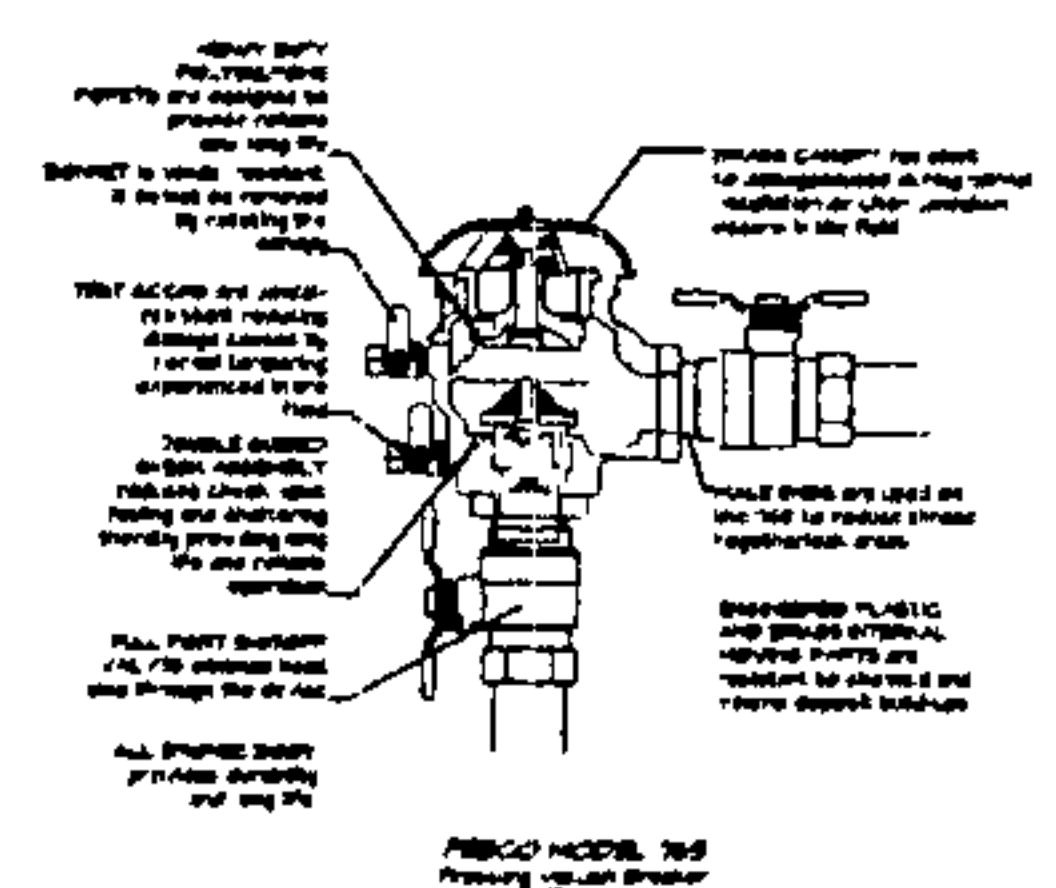
Should the Hiltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hiltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestones will not stay on a slope greater than 3:1 if the grades are greater than what was originally designed, we will request an initial change-order to lay cobblestones or rip-rap in lieu of the specified gravel to stabilize the slope. All vegetative material shall remain per plan.

NOTE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE.

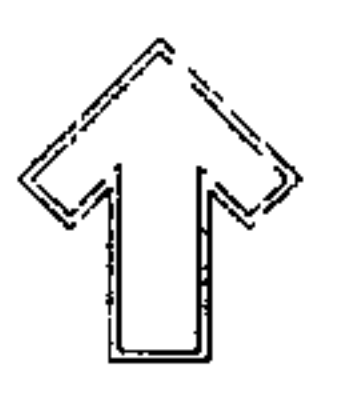
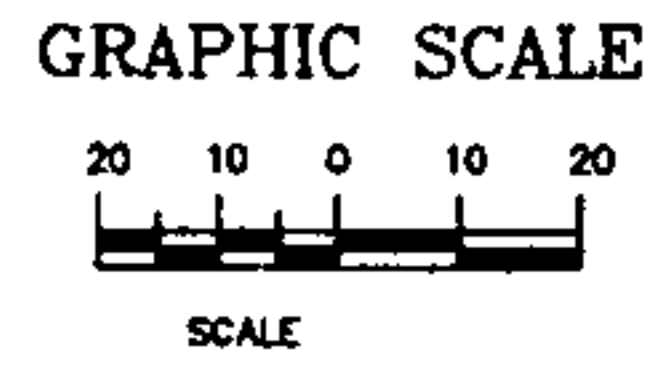


SHRUB PLANTING DETAIL

- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASKET SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB
 - B. BACKFILL WITH EXISTING SOIL
 - C. EARTH BERM AROUND WATER RETENTION BASKET
 - D. 3" DEPTH OF GRAVEL MULCH
 - E. FINISH GRADE
 - F. UNDISTURBED SOIL



FIBCO MODEL 769 Pressure Main Breaker Outside Installation

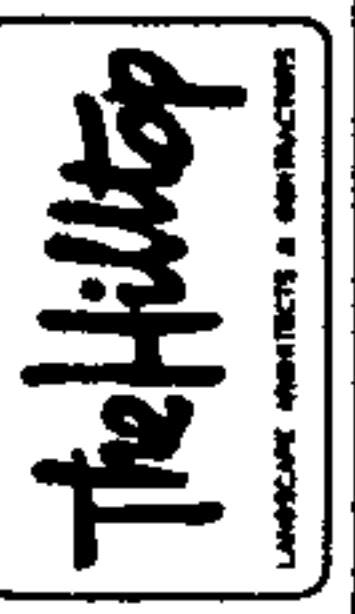


Cont. Lic #26435
7/909 Keith N.E.
Albuquerque NM 87104
Ph: (505) 898-9690
Fax: (505) 898-7737
cm@hiltoplandscaping.com

LANDSCAPING ARCHITECT'S SEAL

X-FACTOR
LANDSCAPE PLAN

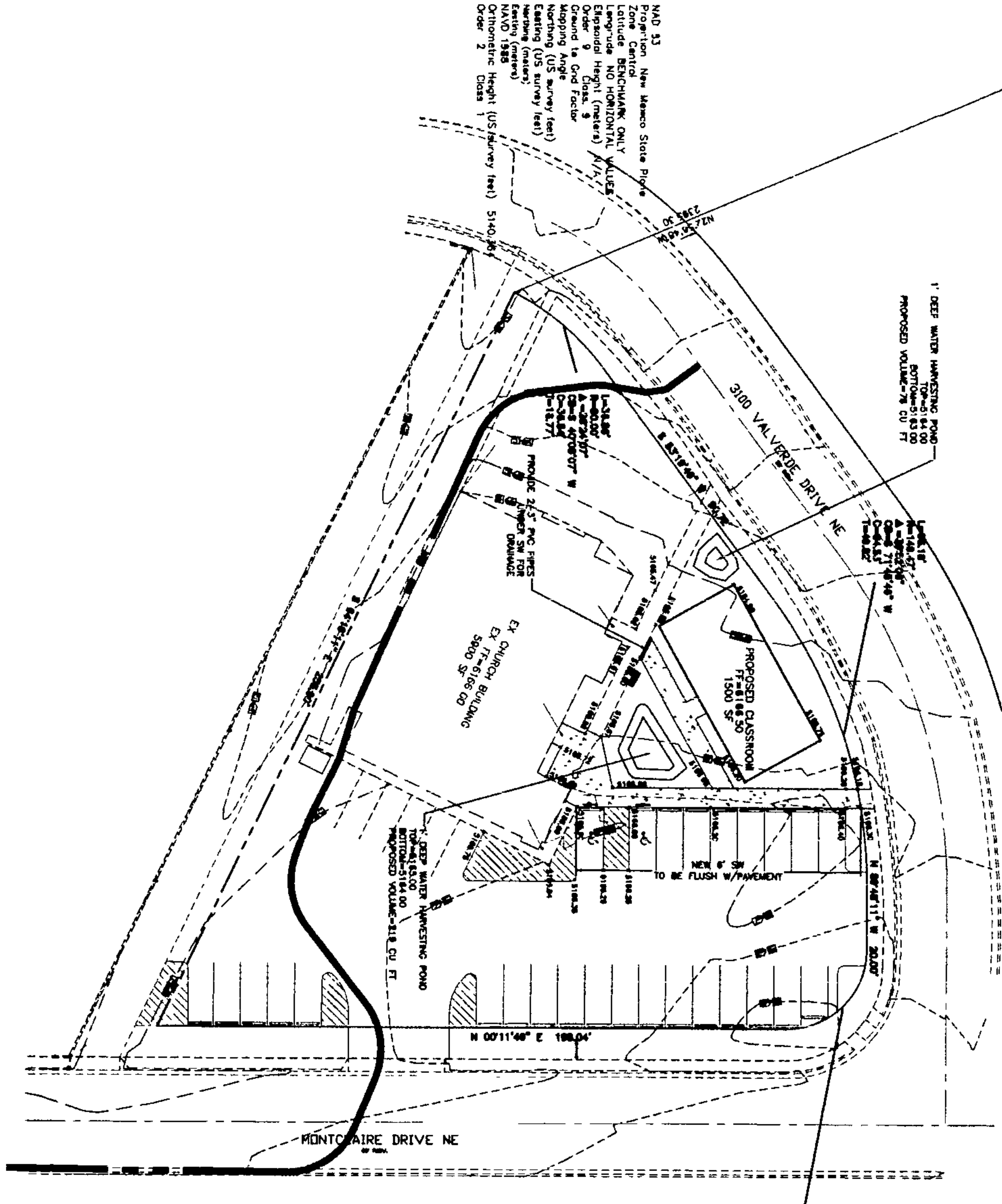
All projects shown on this plan were prepared by The Hiltop Landscaping, Architects, Inc. There is no warranty or liability for any errors or omissions on this plan or for any damages resulting therefrom.



DRAWN BY: CMC
DESIGNED BY: CMC
DATE: 1-27-14
SHEET # 2

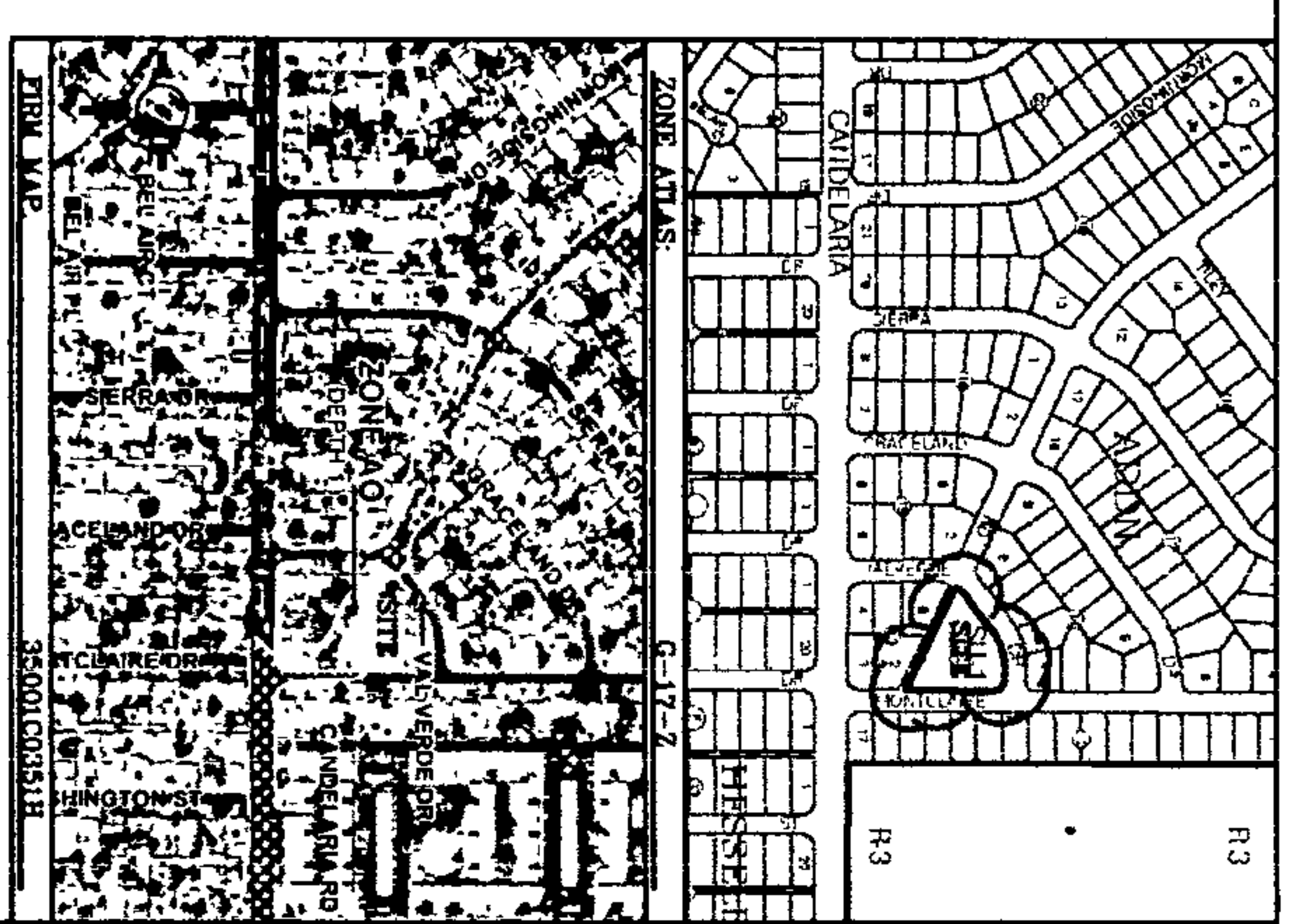
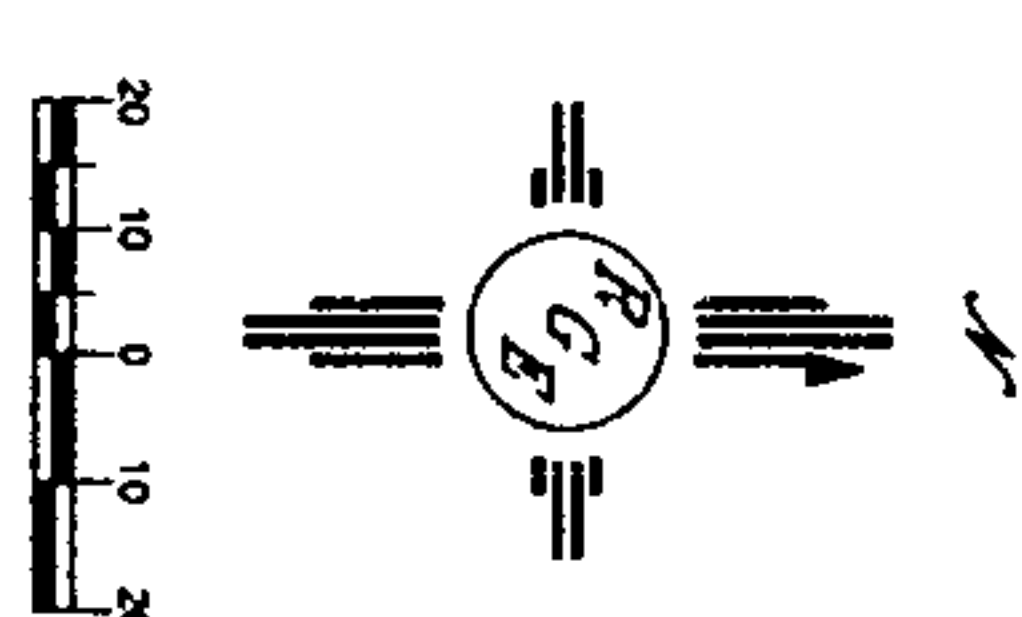
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOP-SOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT



NAD 83
 Plane on New Mexico State Plane
 Zone Control
 Latitude BENCHMARK ONLY
 Longitude NO HORIZONTAL VALUES
 Elevation Height (meters) N/A
 Order 9 Class 9
 Ground to Grid Factor
 Mapping Angle
 Northing (US survey feet)
 Easting (US survey feet)
 Northing (meters)
 Easting (meters)
 NAVD 1988
 Orthometric Height (US survey feet) 5140.26
 Order 2 Class 1

CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN
 IT SHALL BE THE SOLE RESPONSIBILITY
 OF THE CONTRACTOR TO CONDUCT ALL
 NECESSARY FIELD INVESTIGATIONS PRIOR
 TO CONSTRUCTION. THE CONTRACTOR SHALL
 VERIFY THE ACTUAL LOCATION OF UTILITIES AND
 OTHER IMPROVEMENTS.

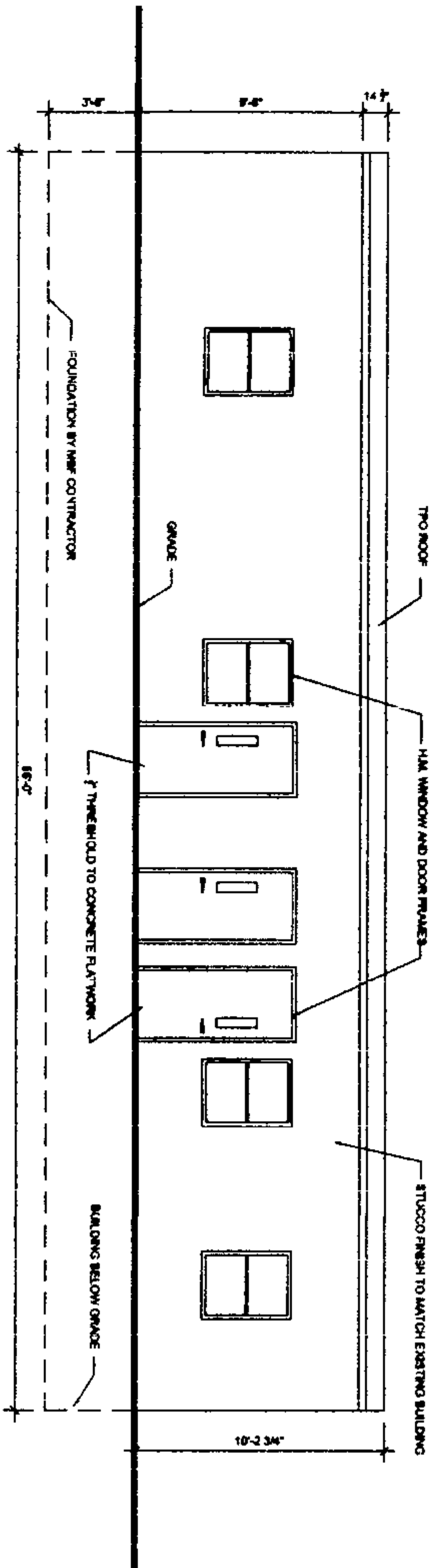


LEGAL DESCRIPTION:
 LOT 1, BK 13, CONVERSE PLAZA ADDITION

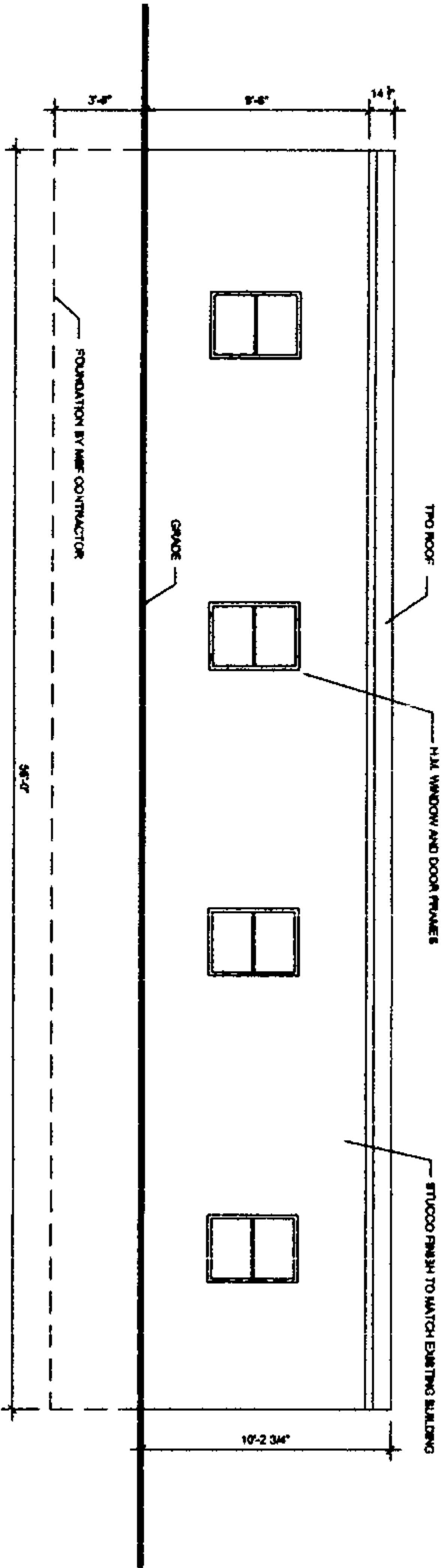
NOTES:
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

- LEGEND**
- EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED INDEX CONTOUR
 - SLOPE TIE
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - BOUNDARY
 - LOT LINE
 - EXISTING CURB WALL
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB
 - EXISTING BUILDING
 - EXISTING FENCE
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - LIMITS OF FLOODPLAIN

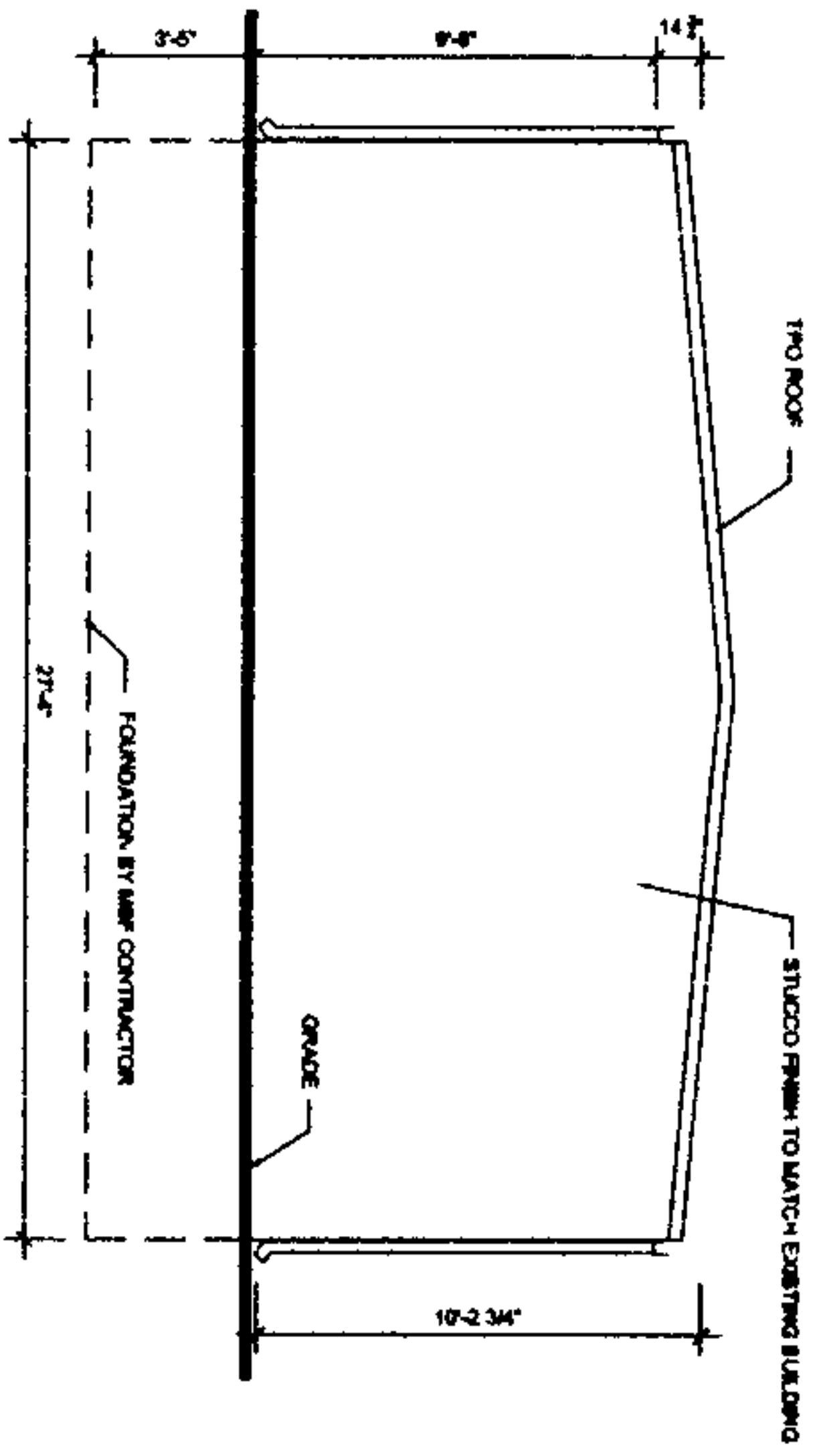
	ENGINEER'S SCALE	DATE	DRAWN BY
	Y-FACTOR	2-28-14	BY MWJ
	GRADING AND DRAINAGE PLAN	SHEET 1	JOB #
		3	21255



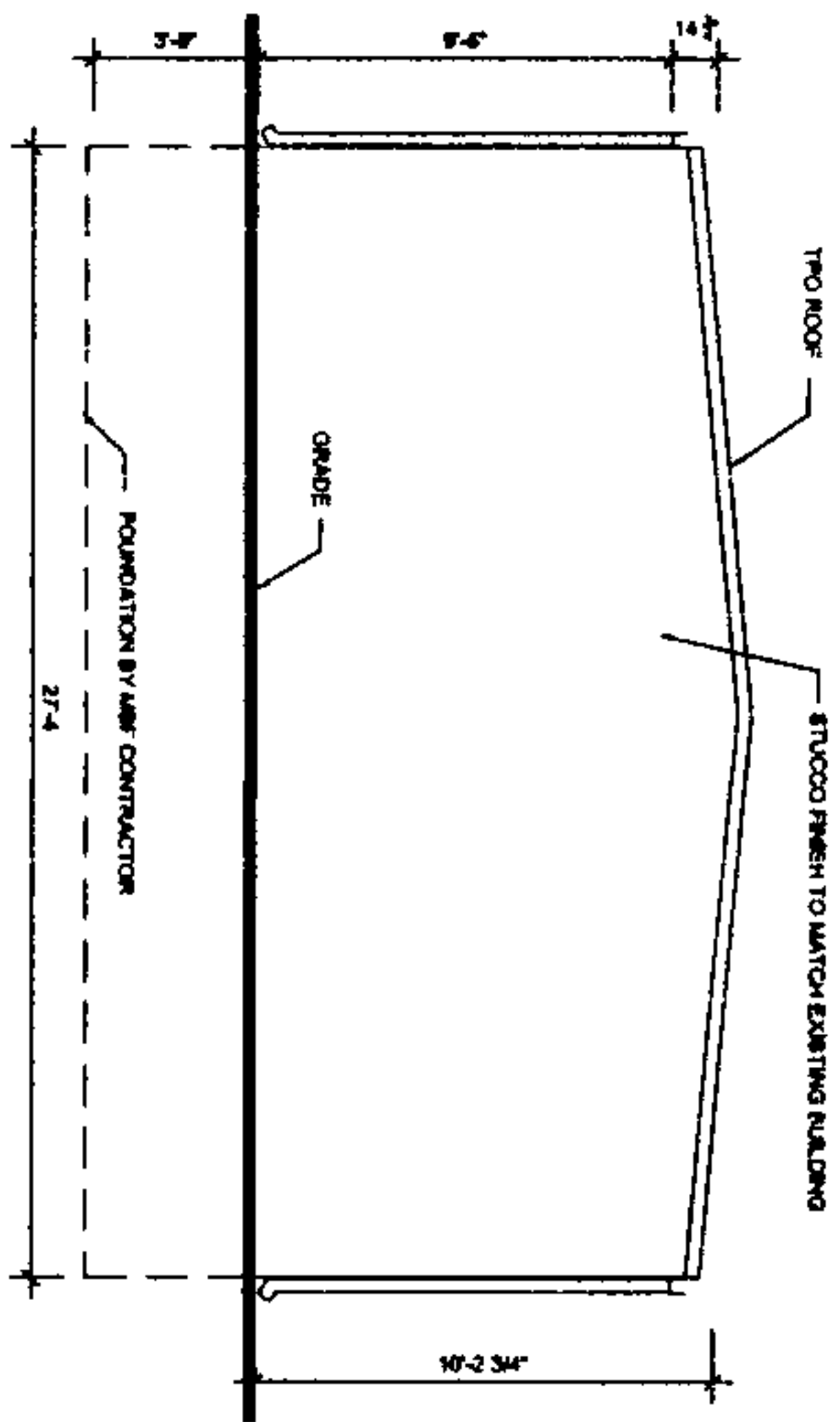
2.1
1/4" = 1'-0"
SOUTHEAST ELEVATION



2.2
1/4" = 1'-0"
NORTHWEST ELEVATION



2.3
1/4" = 1'-0"
NORTHEAST ELEVATION



2.4
1/4" = 1'-0"
SOUTHWEST ELEVATION

2.5
1/4" = 1'-0"
ELEVATIONS

X-FACTOR CHURCH
3023 MONTCLAIRE
Albuquerque, NM
Bernalillo County



Joseph F. Simons Jr., AIA
P.O. Box 802888
P.O. Box 87488
Albuquerque, NM 87158-7488
ph. 505.486.4796
jfs@simonsarchitecture.com

Professional seal and stamp area for Joseph F. Simons Jr., AIA, State of New Mexico, No. 1179, dated 11/19.



JOB NUMBER: 27/4881
DATE: SEPTEMBER 18, 2013
REVISIONS:
REVISIONS:
REVISIONS:

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERNAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 82-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 82-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 82, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 82, ARTICLE 11 NMSA 1978.
16. CONTRACTOR SHALL NOTIFY NEW MEXICO UTILITIES 3 DAYS IN ADVANCE OF CONSTRUCTION.

WATER SHUT-OFF PLAN

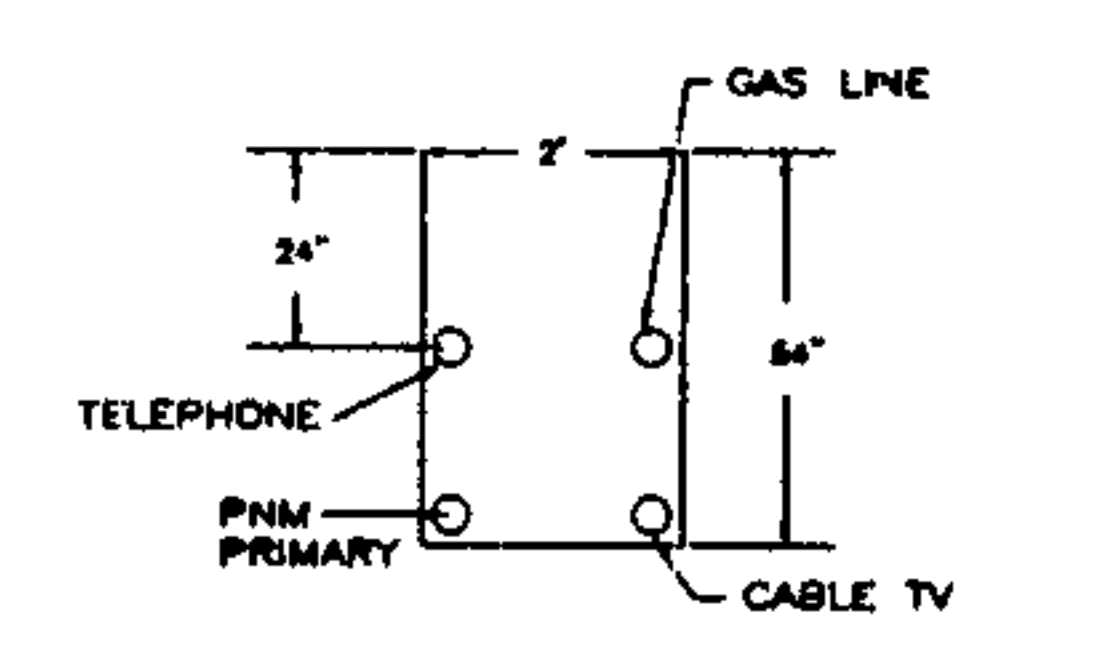
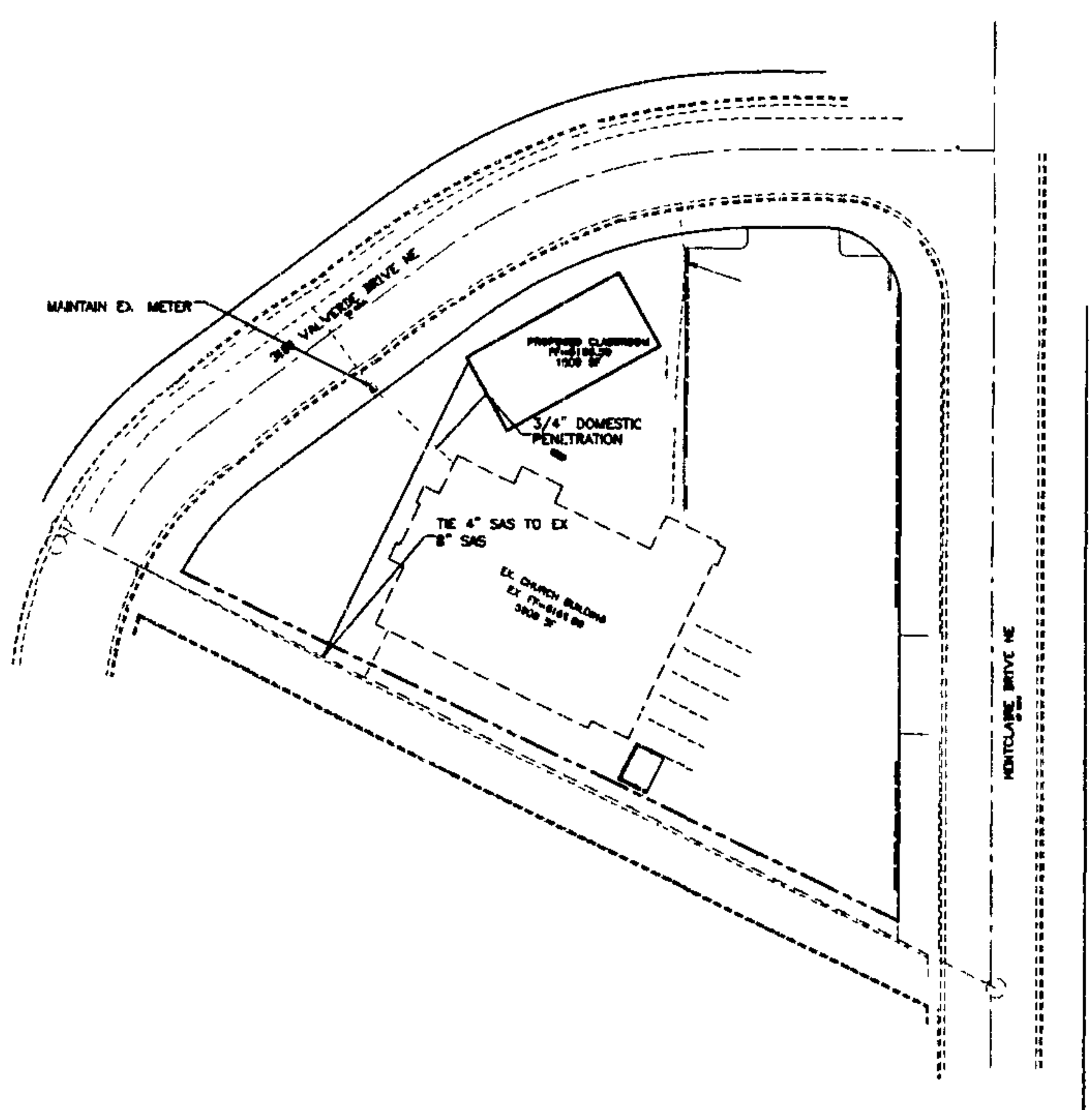
- SHUTOFF VALVES
- NOTES
1. WATER SHUT-OFF SHALL BE COORDINATED WITH ABCWUA.
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY ABCWUA THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN.
 4. ALL WATERLINES TO BE 3/4" COPPER, UNLESS OTHERWISE NOTED.
 5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY.

LEGEND

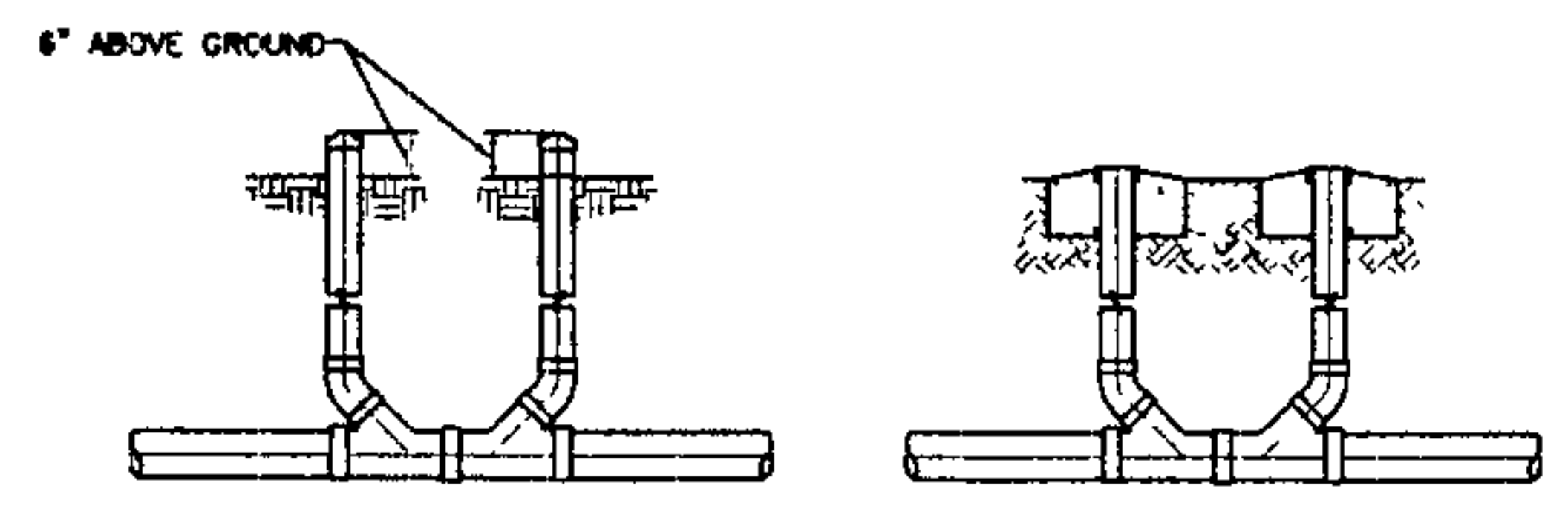
- EXISTING SAS MANHOLE
- 8" SAS EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- 6" SAS — PROPOSED SANITARY SEWER LINE
- SANITARY SEWER SERVICE LINE
- 12" WL EXISTING WATER LINE
- PROPOSED MITER
- PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- WATER SERVICE LINE
- 6" WL PROPOSED WATER LINE
- PROPOSED STORM SEWER LINE
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- CENTERLINE
- RIGHT-OF-WAY
- DRY UTILITY TRENCH
- BOUNDARY LINE
- CASEMENT

GENERAL NOTES:

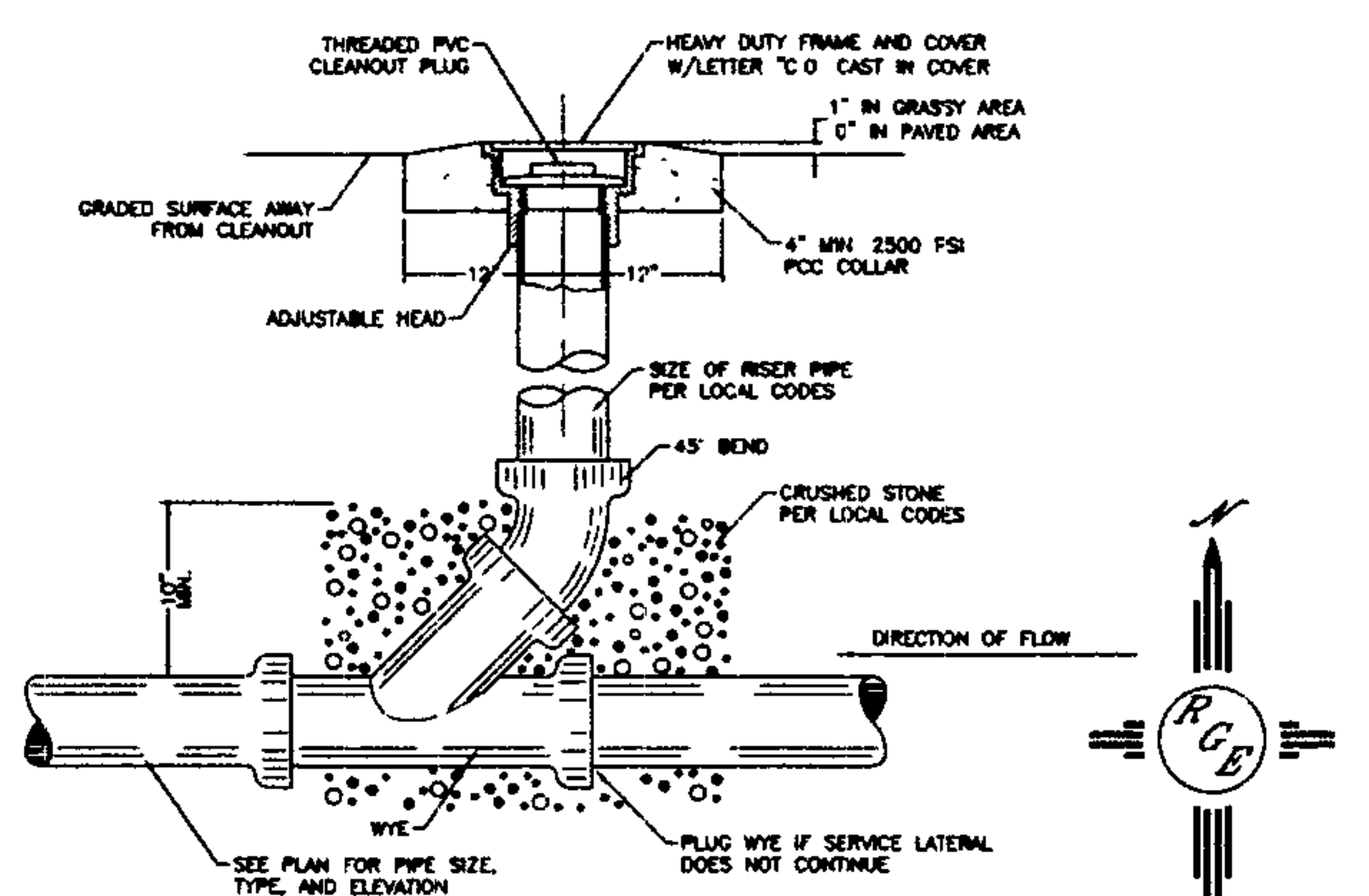
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.



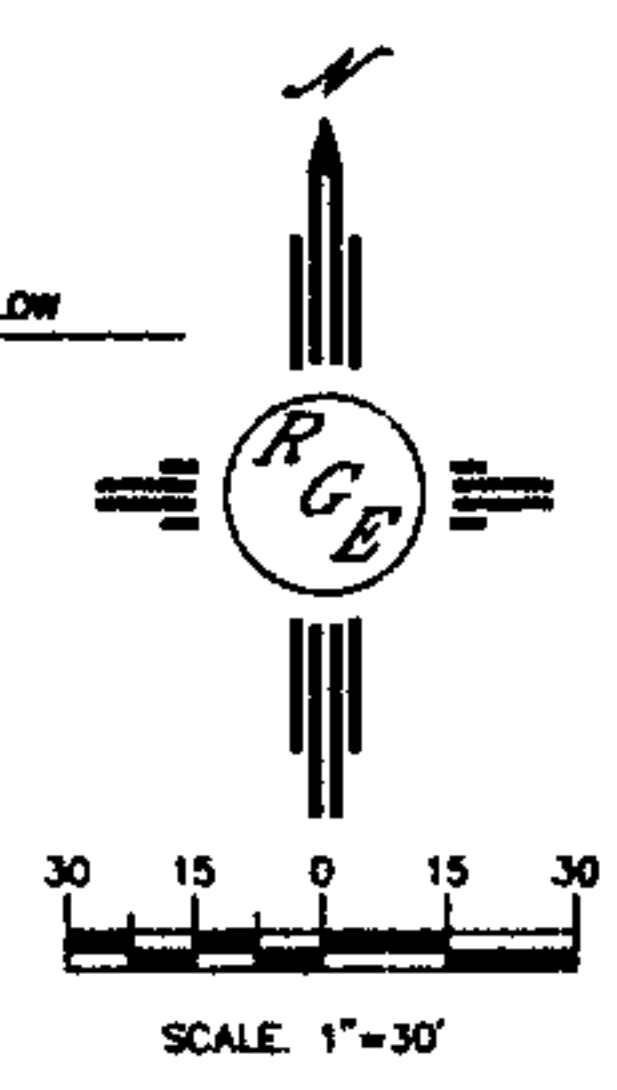
UTILITY TRENCH DETAIL
NTS



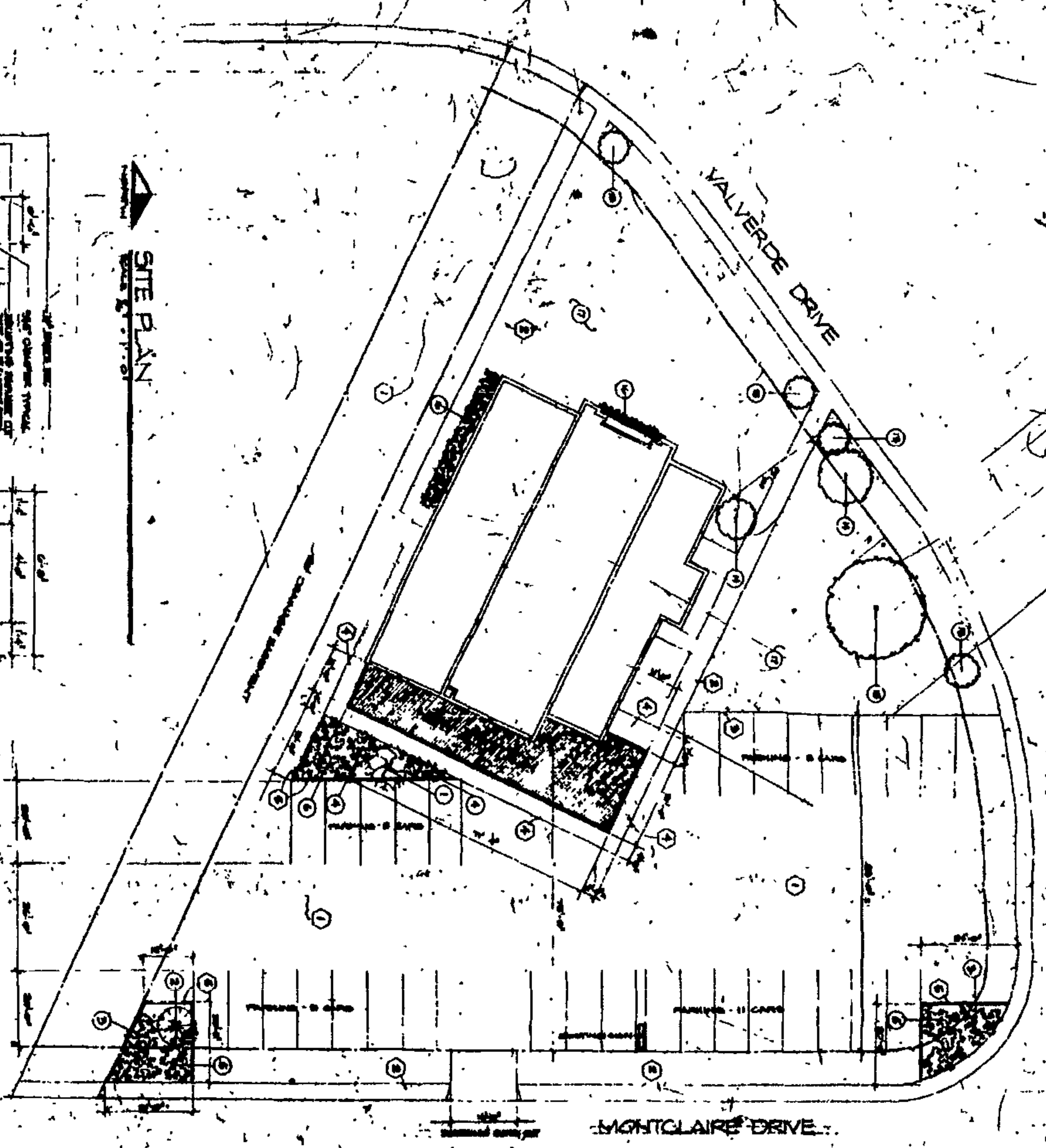
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



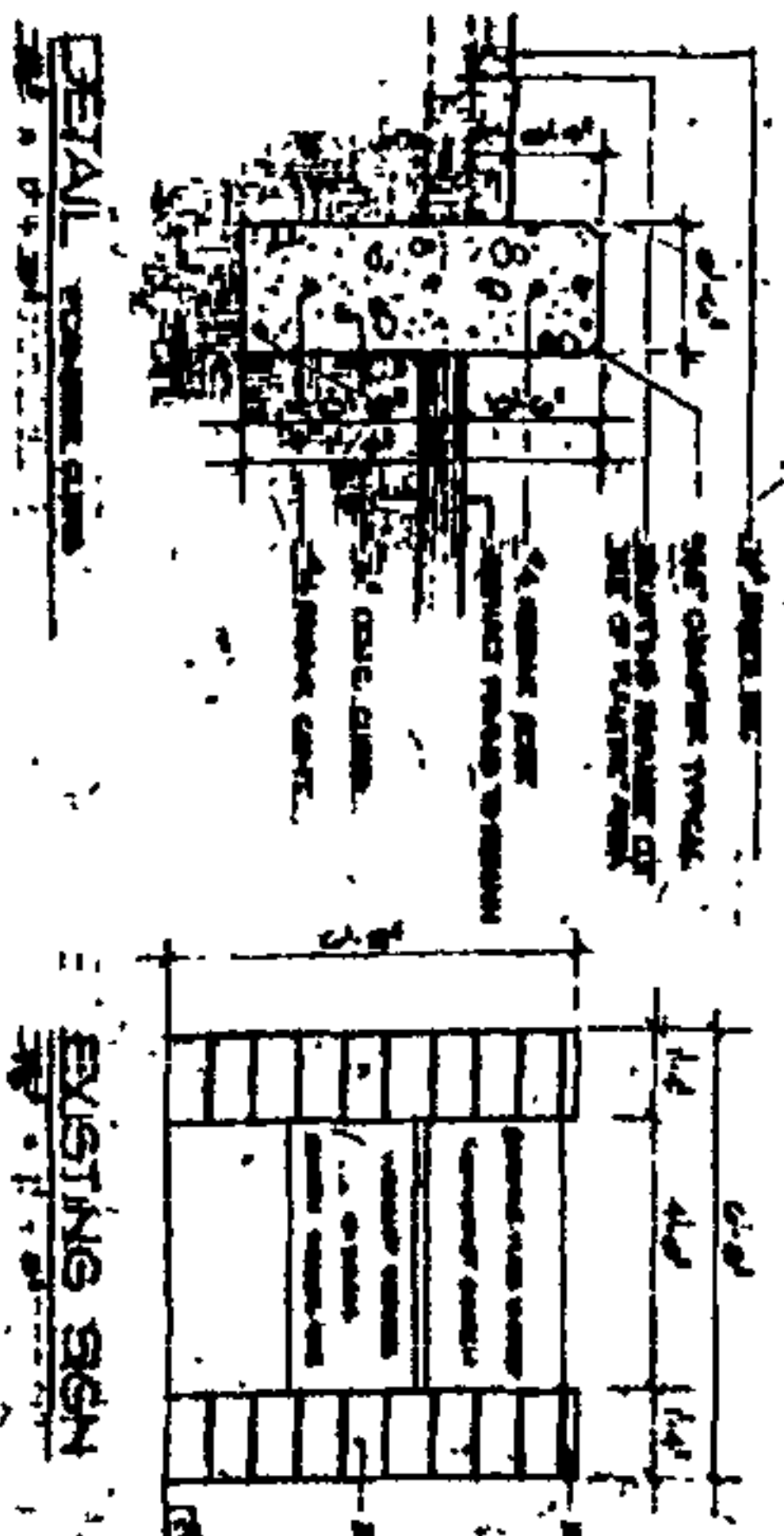
SANITARY SEWER CLEAN-OUT
NTS



ENGINEER'S SEAL	X-FACTOR	DRAWN BY WCVJ
	MASTER UTILITY PLAN	DATE 1-27-14
		JOB # 21325
DAVID SOULE P.E. #14522	RIO GRANDE ENGINEERING 1000 CENTRAL AVENUE SE SUITE 301 ALBUQUERQUE, NM 87106 (505) 273-0000	SHEET # 5



SITE PLAN



MONTCLAIRE DRIVE

EXISTING LANDSCAPE		NEW LANDSCAPE	
1	...	1	...
2	...	2	...
3	...	3	...
4	...	4	...
5	...	5	...
6	...	6	...
7	...	7	...
8	...	8	...
9	...	9	...
10	...	10	...
11	...	11	...
12	...	12	...
13	...	13	...
14	...	14	...
15	...	15	...
16	...	16	...
17	...	17	...
18	...	18	...
19	...	19	...
20	...	20	...

GENERAL NOTES SITE PLAN

1. EXISTING LANDSCAPE SHALL BE PRESERVED AND MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE.

2. NEW LANDSCAPE SHALL BE INSTALLED AS SHOWN ON THIS PLAN.

3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE LANDSCAPE CODE.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE.

DATE: 11/15/11

BY: [Signature]


PROJECT: [Project Name]

LOCATION: [Location]

SCALE: 1" = 10'

Letter of Authorization

I, G. Luke McKinnon , On behalf of X Factor, Inc, owner of LOT 1, BLOCK 13, CARLISLE PLAZA ADDITION hereby authorize Rio Grande Engineering of New Mexico, LLC to act as our agent regarding the submittal and approval process for the site plan actions required within City of Albuquerque NM for the subject property

Property Owners: 

Date 12/13/2013

ASBP
SBP

April 16. 2014