



Supplemental Form (SF)

**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

**S Z ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)

**L A APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): BDA ARCHITECTURE (COLIN CAMPBELL) PHONE: 505-858-0180  
 ADDRESS: 901 LAMBERTON PL NE FAX: 505-858-0180  
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: COLIN@BDAARC.COM

APPLICANT: DANIEL LEVENSON PHONE: 505-890-8810  
 ADDRESS: 2469 CORNALES RD FAX: \_\_\_\_\_  
 CITY: ALBUQUERQUE STATE NM ZIP 87048 E-MAIL: gatorvetnm@mc.com  
 Proprietary interest in site: OWNER List all owners: \_\_\_\_\_

DESCRIPTION OF REQUEST: SITE DEVELOPEMENT PLAN FOR BUILDING PERMIT  
DRB Approval

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. 60 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: LOWES SUBDIVISION  
 Existing Zoning: SU-1 for LZ Proposed zoning: SAME MRGCD Map No \_\_\_\_\_  
 Zone Atlas page(s): B-14-2 UPC Code: 101406522846520401

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_,Z\_, V\_, S\_, etc.):  
1009952

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 1 No. of proposed lots: 1 Total site area (acres): .8634  
 LOCATION OF PROPERTY BY STREETS: On or Near: COGES & OLD AIRPORT ROAD  
 Between: NM 528 and OLD AIRPORT

Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team(PRT)  Review Date: \_\_\_\_\_

SIGNATURE Colin Campbell DATE 2/3/15

(Print Name) COLIN CAMPBELL Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers  
15DRB-70047  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Action	S.F.	Fees
<u>SBP</u>	_____	\$ <u>0</u>
<u>CMF</u>	_____	\$ <u>20.00</u>
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____

Hearing date Feb. 11, 2015

Total  
 \$ 20.00

[Signature]  
2-3-15  
 Staff signature & Date

Project # 1009952

**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAT REVIEW AND COMMENT (DRB22)**

**Maximum Size: 24" x 36"**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Completed Site Plan for Subdivision Checklist
- Infrastructure List, if relevant to the site plan
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)**

**Maximum Size: 24" x 36"**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
- Solid Waste Management Department signature on Site Plan
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Copy of the document delegating approval authority to the DRB
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist
- Copy of Site Plan with Fire Marshal's stamp
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)**

**Maximum Size: 24" x 36"**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)**

**Maximum Size: 24" x 36"**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Letter of authorization from the property owner if application is submitted by an agent
- Infrastructure List, if relevant to the site plan
- Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**

**FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**

- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Solid Waste Management Department signature on Site Plan for Building Permit
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
- Infrastructure List, if relevant to the site plan
- Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

COLIN CAMPBELL  
Applicant name (print)  
Colin Campbell 2/3/15  
Applicant signature / date



Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
15 - DRB - 70047  
\_\_\_\_\_  
\_\_\_\_\_

[Signature] 2-3-15  
Planner signature / date  
Project # 1009952



To: City of Albuquerque and EPC members

Re: Stie Development Plan Review for Lot 6 Lowe's subdivision at Coors and Old Airport Road

January 30, 2014

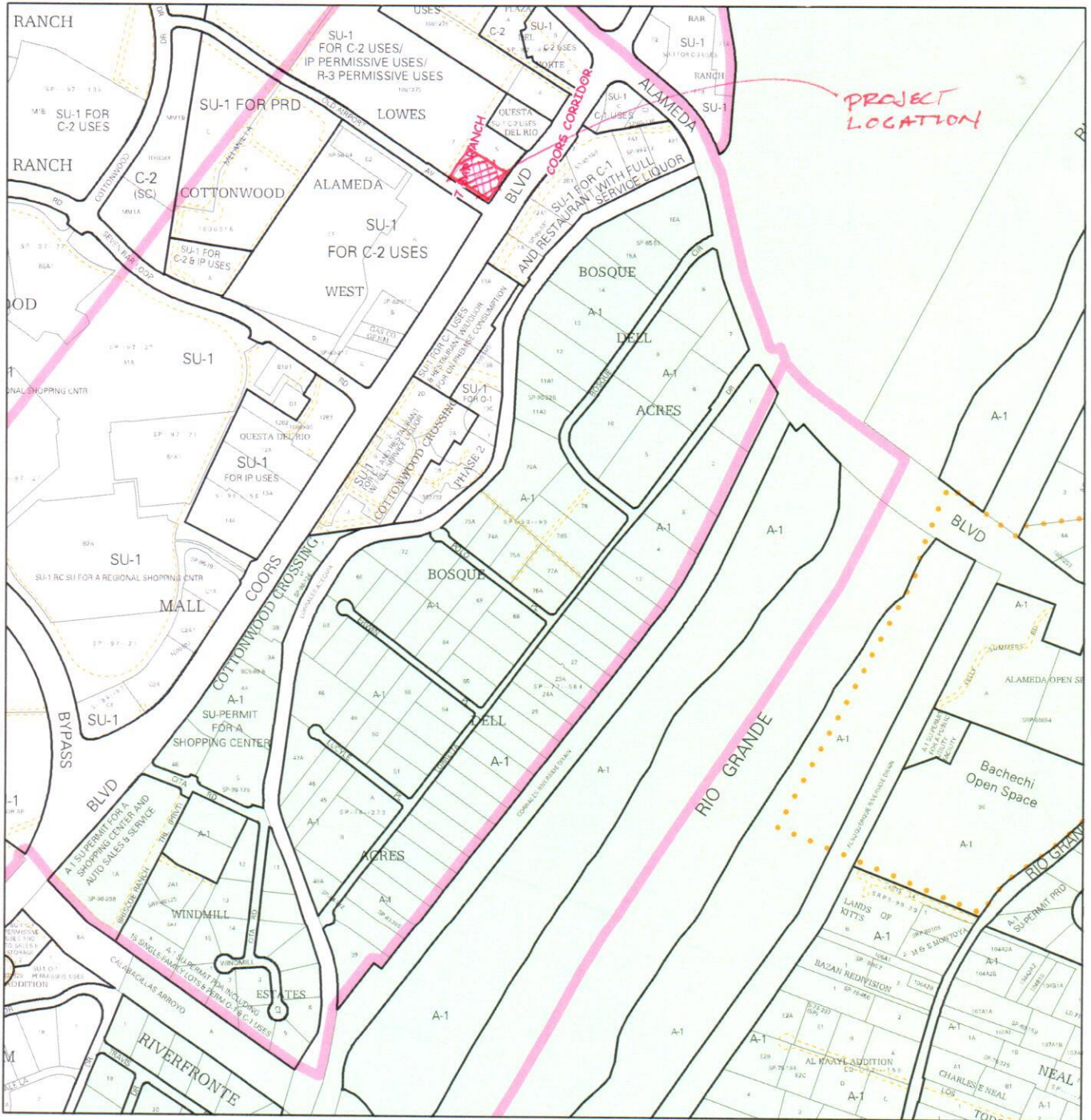
This is a letter authorizing BDA Architecture, P.C. and it's employees to be agents representing Daniel Levenson, DVM and Zahava Real Estate, LLC in these matters before the EPC.

Zahava Real Estate, LLC and Daniel Levenson, DVM are under contract for the purchase of the Lot 6 in the Lowe's subdivision pending approval of our project.

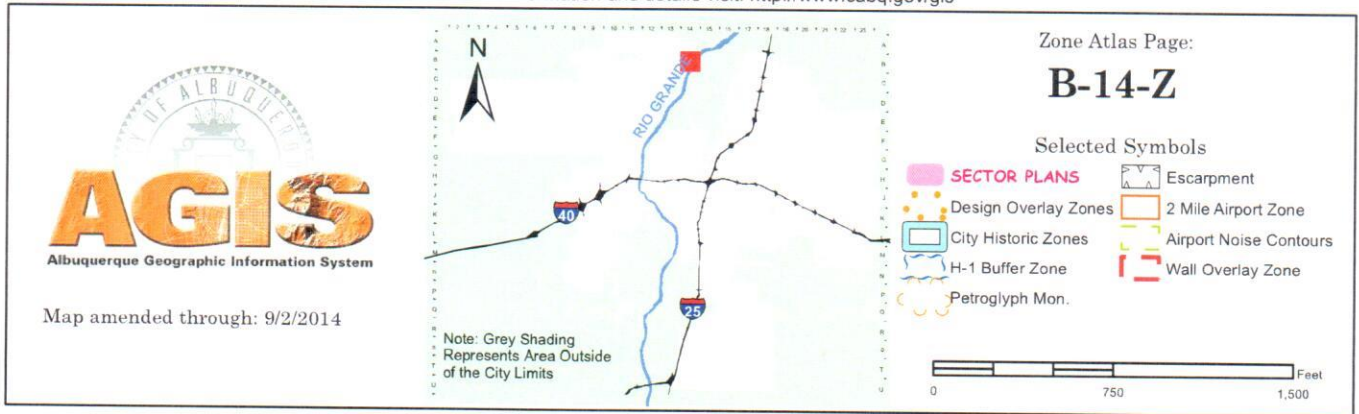
Please feel free to call our office with any questions or concerns regarding this authorization.

Respectfully,

Dr Daniel Levenson



For more current information and details visit: <http://www.cabq.gov/gis>





February 3, 2015

City of Albuquerque  
Attn: Planning Department  
600 Second St. NW  
Albuquerque, NM 87102

Re: 10141 Coors Blvd. NW 87114  
UPC 101406522846520401  
Project # 1009952  
14EPC-40005 Site Development for Building Permit  
EPC Condition of Approval summary

1. Letter has been submitted indicating the conditions have been satisfied.
2. Meeting with Planner was held on 02/02/15
3. Acknowledged
4. Site plan is has been submitted in accordance with all applicable City of Albuquerque requirements including the Development Process Manual and current ADA criteria.
5. Acknowledged
6. Cross access agreement has been provided and reviewed by the Planner. A copy has been included with this submittal.
7. The requested general note has been added to the Landscape Plan (L1) and the Grading and Drainage Plan (C101).
8. To our knowledge there are no previous actions taken by the EPC and/or the DRB.
9. 36 parking spaces and three accessible spaces are indicated on the site plan.

If you have any questions regarding the proposed development please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads 'Colin Campbell'.

Colin Campbell  
Project Manager  
BDA Architecture  
Ph - (505)858-0180  
Fax - (505)858-0111  
Email - colincampbell@bdaarc.com

BDA Architecture, P.C.  
901 Lambertson Pl NE  
Albuquerque, NM 87107

(505) 858-0180  
(505) 858-0111 Fax  
info@bdaarc.com

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

March 14, 2014

Daniel Levenson  
2469 Corrales Rd Ste. B-1  
Albuquerque, NM 87107

**Project# 1009952 \***  
14EPC-40005 Site Dev. Plan for Building Permit

### LEGAL DESCRIPTION:

For all or a portion of Lot 6 Plat of Lots 1-7  
Lowe's Subdivision, located at SW corner of  
Coors Blvd. intersection with Old Airport Ave.,  
containing approximately 0.839 acres.  
Staff Planner: Chris Glore

PO Box 1293

Albuquerque

New Mexico 87103

On March 13, 2014, the Environmental Planning Commission (EPC), voted to APPROVE Project 1009952, 14EPC-40005, a request for a Site Development Plan for Building Permit, based on the following Findings and Conditions:

### FINDINGS:

www.cabq.gov

1. This request is for a Site Development Plan for Building Permit for Lot 6 Plat of Lots 1-7 Lowe's Subdivision containing approximately 0.839 acre of land located at the northwest corner of the intersection of Coors Blvd. and Old Airport Ave. (the "subject site").
2. The subject site is zoned SU-1 for C-2 Uses/IP Permissive Uses/R-3 Permissive Uses.
3. The proposed new construction is an 8,466 sq. ft. commercial building, with parking areas and landscaping.
4. The subject site is in the Established Urban Areas of the Comprehensive Plan. Additional applicable plans are the Westside Strategic Plan, the Coors Corridor Plan, and the Seven Bar Ranch Sector Development Plan. The proposal must also comply with the Zoning Regulations and General Regulations of the Zoning Code.

OFFICIAL NOTICE OF DECISION

Project #1009952

March 13, 2014

Page 2 of 6

5. The Albuquerque/Bernalillo County Comprehensive Plan, Westside Strategic Plan, Coors Corridor Plan, Seven Bar Ranch Sector Development Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. This Site Development Plan for Building Permit meets all requirements regarding architecture, lighting, and landscaping of the adopted Site Development Plan for Subdivision for Lot 6 Plat of Lots 1-7 Lowe's Subdivision (01EPC-01EPC-00742 and 01EPC-00743 Project No. 1001275).
7. The Site Development Plan for Building Permit **request furthers or is consistent with** the following Comprehensive Plan policies:

Policy II.B.5.d: Development respects neighborhood values, environmental conditions and resources. Design standards established by the existing SPS would be met with the proposed SPBP, and thereby the same level of design as exists in the commercial center overall.

Policy II.B.5.e: New growth in areas where vacant land is contiguous to urban facilities and services and where the integrity of neighborhoods can be ensured. A full range of urban utilities and services are available in the vicinity. The new building would not adversely impact the integrity of residential neighborhoods.

Policy II.B.5.i: Employment and service uses sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential streets. The construction would be along a corridor of pad commercial development, and traffic would remain outside of residential neighborhoods.

Policy II.B.5.l: Quality and innovation in design in all new development, appropriate to the Plan area. The façade and roofing materials would complement the design of existing buildings along Coors Blvd. and within the Lowe's center. The request would be consistent with the design standards of the approved SPS.

Policy II.B.5.m: Design improves the quality of the visual environment. The SPBP architectural style would follow SPS design regulations, and would therefore be compatible with surrounding development along Coors Blvd. near the Alameda Blvd. intersection.

8. The Site Development Plan for Building Permit **request furthers** the following Rank II Westside Strategic Plan policies:

Policy 1.1: Thirteen distinct Communities shall constitute the urban form of the West Side. Communities shall develop with higher density (in Community and Neighborhood Centers), surrounded by lower density. The subject site is within the designated West Side Regional Center and commercial uses would be increased within the designated Regional Center.

Policy 3.2: Multifamily development and non-residential development are appropriate in and near the Regional Center. The proposed SPBP would increase the availability of commercial retail and service uses on a site located within the designated Regional Center.

OFFICIAL NOTICE OF DECISION

Project #1009952

March 13, 2014

Page 3 of 6

Policy 4.10: Promote land uses and urban patterns whose design support bicycle and pedestrian travel, and public transportation. *The development would occur on a vacant site within walking distance of other commercial development and the sidewalks and public transit service along Coors Blvd.*

9. The Site Development Plan for Building Permit request **partially furthers** the following Rank II Westside Strategic Plan policies:

Policy 3.3: Development of the Regional Center inclusive of mixed uses, and multi-modal transportation. Connections must be provided with all new development. *The proposed SPBP would provide pedestrian linkages to sidewalks along Coors Blvd. and to sidewalk along the internal access road, but not to sidewalk along Old Airport Ave.*

10. The Site Development Plan for Building Permit request **furtheres or does not conflict with** the following Rank III Coors Corridor Plan policies:

Policy 1.7: Public view sites shall be provided at appropriate locations along Coors Boulevard.

Policy 4.c.1: Unique views east of Coors Boulevard should be protected and enhanced.

*The west side of Coors Blvd. near Alameda Blvd., where the subject site is located, is not a public view site. The building would not adversely impact public views.*

Policy 1.8: Roadway design shall provide for pedestrian and bicycle traffic located off Coors Blvd. All vehicle access for the site would be from an internal drive accessing commercial pad sites south of Alameda Blvd., including the subject site.

Policy 4.a.1: Appropriate and pleasing visual impressions within the corridor should be established and preserved.

Policy 4.a.3: New development should be in accordance with the design regulations and guidelines. *Exterior design would be required to be consistent with the adopted design regulations of the approved SPS.*

Policy 4.b.2: Buildings to provide a pleasing and functional relationship to the roadway, the site, and adjacent or related buildings. *The proposed SPBP setback is consistent with the setbacks of existing restaurant buildings along the same section of Coors Blvd. The building height and bulk would also be consistent with free-standing commercial buildings in the site vicinity.*

Policy 4.b.3: Landscaped street yard along the entire frontage of Coors Blvd.

Policy 4.b.4: Landscaping design complementary to the site and overall appearance of the corridor.

*The proposed SPBP would landscape the site frontage on Coors Blvd. to a depth of 35 ft., and on Old Airport Ave. Tree spacing would meet the requirements of the approved SPS.*

Policy 4.b.7: Separate pedestrian and vehicular access should be provided. Pedestrian access shall not use driveways as walkways. *The SPBP shows on-site pedestrian circulation with sidewalks connecting the building to Coors Blvd. and the access drive adjacent to the north.*



OFFICIAL NOTICE OF DECISION

Project #1009952

March 13, 2014

Page 4 of 6

Policy 4.b.9: Site area lighting should be designed to minimize glare on public right-of-way or adjacent premises. *Lighting of outdoor areas would be required to incorporate down-directed fixtures on maximum 20-foot high poles, which would prevent light spillover.*

Policy 4.b.10: Architectural design should contribute to the visual environment of the Coors Corridor. *The architectural elevations would provide façade features to break up the mass as required by the Zoning Code.*

11. The Site Development Plan for Building Permit **request partially furthers** the following Rank III Coors Corridor Plan policies:

Policy 4.b.5: Off-street parking facilities should be located to the rear of sites.

Policy 4.b.6: Commercial sites should be designed so building is located near the street.

*The SPBP places all parking in front of buildings relative to Coors Blvd. However, landscape setback is maintained and a parking screen wall is proposed.*

12. The Site Development Plan for Building Permit **request is consistent with** the following Rank III Seven Bar Ranch Sector Development Plan guidelines:

Element 2: Consistent treatment of vertical building planes with regard to color, material, architectural details and trim materials. *The SPBP building elevations depict a southwestern architectural style with articulated building planes on the north and east sides. The building elevations would generally provide façade features to break up the mass as required by the Zoning Code.*

Element 3: Consistency of major architectural elements such as roof-line, articulation of building fenestration, and articulation of massing. *The SPBP building elevations show a sloping roof on part of the building, and regular window and door openings on the north, east and west sides. Additional window openings should be provided on the south elevation.*

13. Proposed parking would be a total of 36 spaces provided including three accessible spaces (meeting the requirement), a total of 9 spaces less than the Zoning Code required number of spaces. A deviation to required parking is requested with this SPBP; the subject property is zoned SU-1 and the EPC can determine the off-street parking requirement for a development within the SU-1 zone per Zoning Code §14-16-2-22(C).

## CONDITIONS OF APPROVAL

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION

Project #1009952

March 13, 2014

Page 5 of 6

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as may be required by the Development Review Board (DRB).
4. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the *Development Process Manual* and current ADA criteria.
5. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan, as required by the Development Review Board (DRB).
6. Provide Cross-Access Agreements.
7. Add the following note to the General Notes on sheet C1.1 and Landscaping Plan: "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
8. All requirements of previous actions taken by the EPC and/or the DRB must be completed and/or provided for.
9. The EPC approves the request for a parking space total of 36 spaces provided including three accessible spaces, as part of a development within the SU-1 zone per Zoning Code §14-16-2-22(C).

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **MARCH 28, 2014**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

**ZONE MAP AMENDMENTS:** Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone

OFFICIAL NOTICE OF DECISION

Project #1009952

March 13, 2014

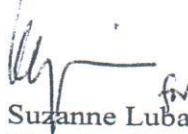
Page 6 of 6

map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

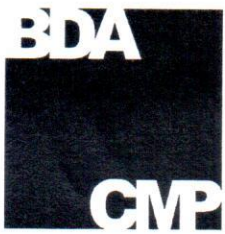
DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

Sincerely,

  
Suzanne Lubar  
Planning Director

SL/CG/mc

cc: Colin Campbell, BDA Architecture, 901 Lambertson Pl. NE, Albuquerque, NM 87107  
Candelaria Patterson, 7608 Elderwood NW, Albuquerque, NM 87120  
Harry Hendrickson, 10592 Rio del Sol Ct. NW, Albuquerque, NM 87120



February 3, 2015

City of Albuquerque  
Attn: Planning Department  
600 Second St. NW  
Albuquerque, NM 87102

Re: 10141 Coors Blvd. NW 87114  
UPC 101406522846520401  
Project # 1009952  
14EPC-40005 Site Development for Building Permit  
Written Project Summary

We are seeking City of Albuquerque DRB approval for the development of Lot 6 of the Lowes Subdivision located on the northwest corner of Coors Blvd. and Old Airport Ave. The proposed project will be a new 9,405 square foot building. 6,039 square feet of the building will house the Southwestern Veterinary Medical Center and the remaining 3,366 square feet will be tenant lease space. The building will take on a Northern New Mexico style of architecture which we believe will fit in with the surroundings. The building materials will consist of a stucco exterior with stone accents and metal roofing on the pitched portion of the building.

If you have any questions regarding the proposed development please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Colin Campbell".

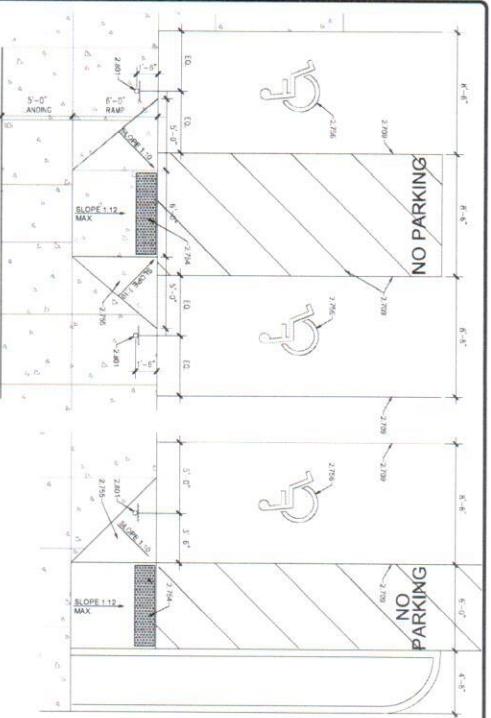
Colin Campbell  
Project Manager  
BDA Architecture  
Ph - (505)858-0180  
Fax - (505)858-0111  
Email - colincampbell@bdaarc.com

BDA Architecture, P.C.  
901 Lambertson Pl NE  
Albuquerque, NM 87107

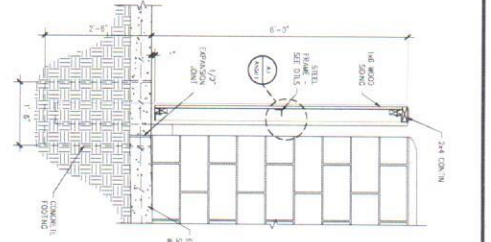
(505) 858-0180  
(505) 858-0111 Fax  
info@bdaarc.com



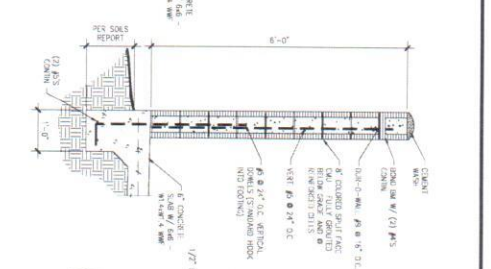




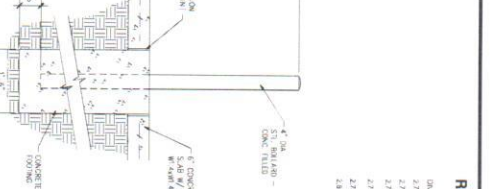
F1 ADA ACCESS PARKING



F3 ADA ACCESS PARKING



F5 GATE SECTION



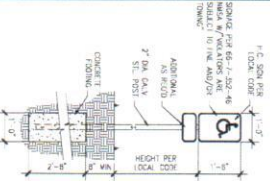
F7 WALL SECTION



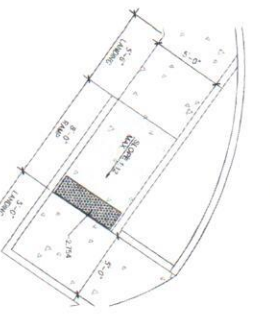
F8 BOLLARD SECTION

REFERENCE KEYNOTES

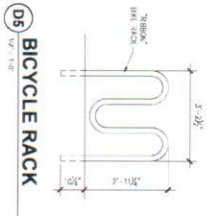
- DIVISION 02 - SITE CONSTRUCTION
- 2700 - 4" WARE STRIPS
- 2711 - SLOPE TOP OF CURB TO MATCH RAMP
- 2704 - ADA APPROVED TRUCKS TO CURB STRIPS
- 2705 - ADA APPROVED TRUCKS TO CURB STRIPS
- 2706 - ADA APPROVED TRUCKS TO CURB STRIPS
- 2707 - ADA APPROVED TRUCKS TO CURB STRIPS



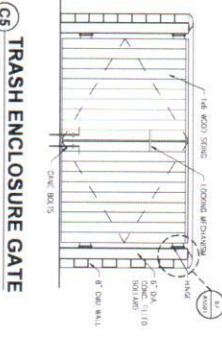
C1 ADA PARKING SIGN



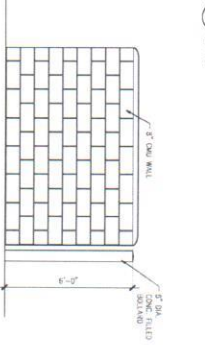
C2 ADA ACCESS RAMP



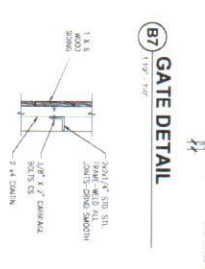
D5 BICYCLE RACK



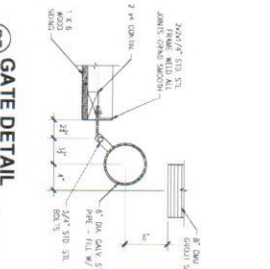
C5 TRASH ENCLOSURE GATE



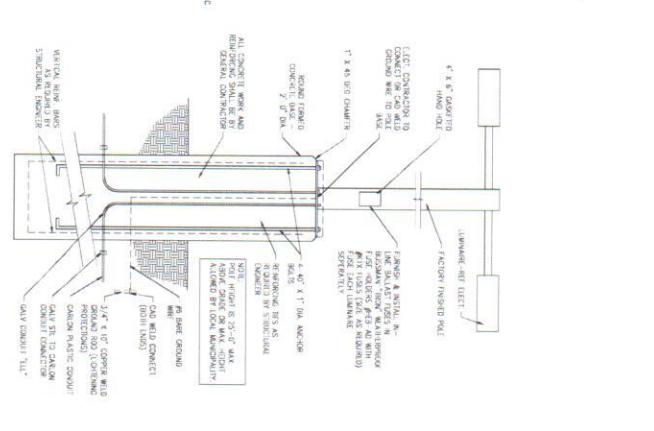
A6 TRASH ENCLOSURE WALL



B7 GATE DETAIL



D7 GATE DETAIL



A9 LIGHT POLE BASE

A1 ADA ACCESS RAMP

A2 ENLARGED PLAN

A6 TRASH ENCLOSURE WALL

B7 GATE DETAIL

A9 LIGHT POLE BASE

SITE DETAILS			
REV#	DATE	COMMENTS	

**SOUTHWEST VETERINARY MEDICAL CENTER**  
 Lowes Lot 6 Site Development  
 Albuquerque, New Mexico 87114  
 Daniel Levenson D.V.M.  
 Copyright, 2014, BDA ARCHITECTURE PC.

**BDA**  
 801 Lambertson Pl. NE  
 Albuquerque, NM 87107  
 Phone: (505) 858-0180  
 Fax: (505) 858-0111  
 Email: info@bdarc.com

The documents transmitted herein are the sole Intellectual Property of BDA Architecture P.C. Any use, reuse, or reproduction in any form without the express written consent of, and compensation to, BDA Architecture is a violation of Federal law.

**CMP**

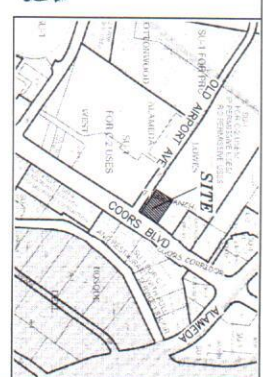
PROJECT NO.: ASS501  
 DATE: 11/03/15  
 SHEET: 1 OF 21

**Location:** LOT 6, LOWES SUBDIVISION is located at the southeast corner of Coors Boulevard and Old Airport Avenue containing 0.8624 acres. See attached parcel map, Vesting Map, B-1-Z for a view of location.

**Project:** The purpose of this drainage report is to provide a conceptual grading and drainage solution for the proposed commercial building. We are requesting the plan for building permit approval.

**Existing Conditions:** The site is currently vacant. The existing conditions are as shown on the attached site plan. The site is currently vacant. The existing conditions are as shown on the attached site plan.

**Proposed Conditions and Site Plan:** The proposed conditions and site plan are shown on the attached site plan. The proposed conditions and site plan are shown on the attached site plan.



- NOTICE TO CONTRACTORS:**
1. ALL EXCAVATION AND CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY JURISDICTION.
  2. ALL WORK DETAIL ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF DENVER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LOCATION SURVEY, 785-1234 FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXAMINE AND VERIFY THE EXISTING UTILITIES AND RECORD THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE OF THE PROPERTY SERVED.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER.
  7. WORK ON AIRPORT AVENUE STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



**LEGEND**

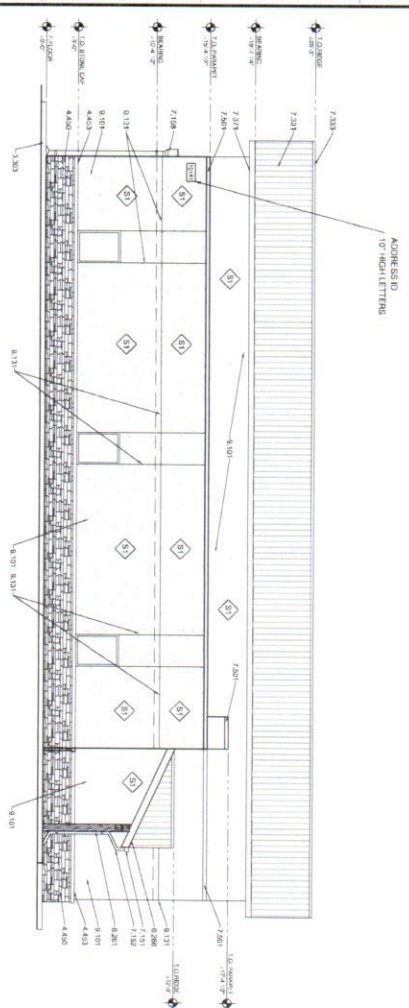
- EXISTING CONTOUR (MANSO)
- EXISTING CONTOUR (UNAPP)
- BOUNDARY LINE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING FLOWLINE ELEVATION
- PROPOSED RETAINING WALL
- BOTTOM OF CHANNE
- TOP OF CURB
- TOP OF ASPHALT
- HIGH POINT

**SBS CONSTRUCTION AND ENGINEERING, LLC**  
 1400 17TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 (303) 733-1111

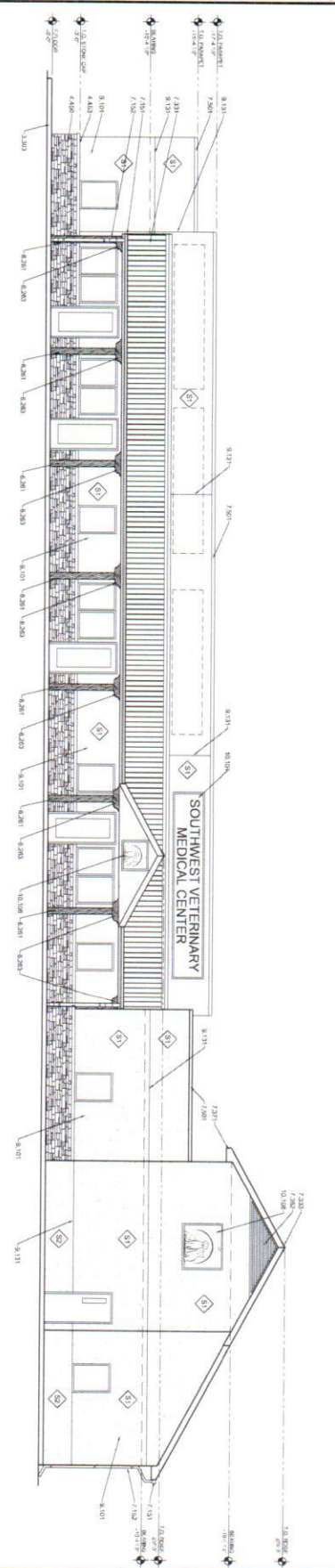
**SOUTHWEST VETERINARY MEDICAL CENTER**  
 LOT 6, LOWES SUBD., ALBUQUERQUE, NEW MEXICO  
 GRADING AND DRAINAGE PLAN  
 SHEET # C 101







**01 EAST ELEVATION**



**A1 NORTH ELEVATION**

**REFERENCE KEYNOTES**

- 0100 - CONCRETE
- 3100 - CONCRETE STUCCO
- 4400 - MANUFACTURED STUCCO W/CLAY
- 4401 - MANUFACTURED STUCCO W/CLAY
- 4402 - MANUFACTURED STUCCO W/CLAY
- 4403 - MANUFACTURED STUCCO W/CLAY
- 4404 - MANUFACTURED STUCCO W/CLAY
- 4405 - MANUFACTURED STUCCO W/CLAY
- 4406 - MANUFACTURED STUCCO W/CLAY
- 4407 - MANUFACTURED STUCCO W/CLAY
- 4408 - MANUFACTURED STUCCO W/CLAY
- 4409 - MANUFACTURED STUCCO W/CLAY
- 4410 - MANUFACTURED STUCCO W/CLAY
- 4411 - MANUFACTURED STUCCO W/CLAY
- 4412 - MANUFACTURED STUCCO W/CLAY
- 4413 - MANUFACTURED STUCCO W/CLAY
- 4414 - MANUFACTURED STUCCO W/CLAY
- 4415 - MANUFACTURED STUCCO W/CLAY
- 4416 - MANUFACTURED STUCCO W/CLAY
- 4417 - MANUFACTURED STUCCO W/CLAY
- 4418 - MANUFACTURED STUCCO W/CLAY
- 4419 - MANUFACTURED STUCCO W/CLAY
- 4420 - MANUFACTURED STUCCO W/CLAY
- 4421 - MANUFACTURED STUCCO W/CLAY
- 4422 - MANUFACTURED STUCCO W/CLAY
- 4423 - MANUFACTURED STUCCO W/CLAY
- 4424 - MANUFACTURED STUCCO W/CLAY
- 4425 - MANUFACTURED STUCCO W/CLAY
- 4426 - MANUFACTURED STUCCO W/CLAY
- 4427 - MANUFACTURED STUCCO W/CLAY
- 4428 - MANUFACTURED STUCCO W/CLAY
- 4429 - MANUFACTURED STUCCO W/CLAY
- 4430 - MANUFACTURED STUCCO W/CLAY
- 4431 - MANUFACTURED STUCCO W/CLAY
- 4432 - MANUFACTURED STUCCO W/CLAY
- 4433 - MANUFACTURED STUCCO W/CLAY
- 4434 - MANUFACTURED STUCCO W/CLAY
- 4435 - MANUFACTURED STUCCO W/CLAY
- 4436 - MANUFACTURED STUCCO W/CLAY
- 4437 - MANUFACTURED STUCCO W/CLAY
- 4438 - MANUFACTURED STUCCO W/CLAY
- 4439 - MANUFACTURED STUCCO W/CLAY
- 4440 - MANUFACTURED STUCCO W/CLAY
- 4441 - MANUFACTURED STUCCO W/CLAY
- 4442 - MANUFACTURED STUCCO W/CLAY
- 4443 - MANUFACTURED STUCCO W/CLAY
- 4444 - MANUFACTURED STUCCO W/CLAY
- 4445 - MANUFACTURED STUCCO W/CLAY
- 4446 - MANUFACTURED STUCCO W/CLAY
- 4447 - MANUFACTURED STUCCO W/CLAY
- 4448 - MANUFACTURED STUCCO W/CLAY
- 4449 - MANUFACTURED STUCCO W/CLAY
- 4450 - MANUFACTURED STUCCO W/CLAY
- 4451 - MANUFACTURED STUCCO W/CLAY
- 4452 - MANUFACTURED STUCCO W/CLAY
- 4453 - MANUFACTURED STUCCO W/CLAY
- 4454 - MANUFACTURED STUCCO W/CLAY
- 4455 - MANUFACTURED STUCCO W/CLAY
- 4456 - MANUFACTURED STUCCO W/CLAY
- 4457 - MANUFACTURED STUCCO W/CLAY
- 4458 - MANUFACTURED STUCCO W/CLAY
- 4459 - MANUFACTURED STUCCO W/CLAY
- 4460 - MANUFACTURED STUCCO W/CLAY
- 4461 - MANUFACTURED STUCCO W/CLAY
- 4462 - MANUFACTURED STUCCO W/CLAY
- 4463 - MANUFACTURED STUCCO W/CLAY
- 4464 - MANUFACTURED STUCCO W/CLAY
- 4465 - MANUFACTURED STUCCO W/CLAY
- 4466 - MANUFACTURED STUCCO W/CLAY
- 4467 - MANUFACTURED STUCCO W/CLAY
- 4468 - MANUFACTURED STUCCO W/CLAY
- 4469 - MANUFACTURED STUCCO W/CLAY
- 4470 - MANUFACTURED STUCCO W/CLAY
- 4471 - MANUFACTURED STUCCO W/CLAY
- 4472 - MANUFACTURED STUCCO W/CLAY
- 4473 - MANUFACTURED STUCCO W/CLAY
- 4474 - MANUFACTURED STUCCO W/CLAY
- 4475 - MANUFACTURED STUCCO W/CLAY
- 4476 - MANUFACTURED STUCCO W/CLAY
- 4477 - MANUFACTURED STUCCO W/CLAY
- 4478 - MANUFACTURED STUCCO W/CLAY
- 4479 - MANUFACTURED STUCCO W/CLAY
- 4480 - MANUFACTURED STUCCO W/CLAY
- 4481 - MANUFACTURED STUCCO W/CLAY
- 4482 - MANUFACTURED STUCCO W/CLAY
- 4483 - MANUFACTURED STUCCO W/CLAY
- 4484 - MANUFACTURED STUCCO W/CLAY
- 4485 - MANUFACTURED STUCCO W/CLAY
- 4486 - MANUFACTURED STUCCO W/CLAY
- 4487 - MANUFACTURED STUCCO W/CLAY
- 4488 - MANUFACTURED STUCCO W/CLAY
- 4489 - MANUFACTURED STUCCO W/CLAY
- 4490 - MANUFACTURED STUCCO W/CLAY
- 4491 - MANUFACTURED STUCCO W/CLAY
- 4492 - MANUFACTURED STUCCO W/CLAY
- 4493 - MANUFACTURED STUCCO W/CLAY
- 4494 - MANUFACTURED STUCCO W/CLAY
- 4495 - MANUFACTURED STUCCO W/CLAY
- 4496 - MANUFACTURED STUCCO W/CLAY
- 4497 - MANUFACTURED STUCCO W/CLAY
- 4498 - MANUFACTURED STUCCO W/CLAY
- 4499 - MANUFACTURED STUCCO W/CLAY
- 4500 - MANUFACTURED STUCCO W/CLAY

**STUCCO COLOR LEGEND**

- 51 STUCCO COLOR
- 52 STUCCO COLOR

**EXTERIOR ELEVATIONS**

REV. #	DATE	COMMENTS
REVISION:		
REVISION:		
REVISION:		

**SOUTHWEST VETERINARY MEDICAL CENTER**  
 Lowes Lot 6 Site Development  
 Albuquerque, New Mexico 87114  
 Daniel Levenson D.V.M.  
 Copyright, 2014, BDA ARCHITECTURE PC.

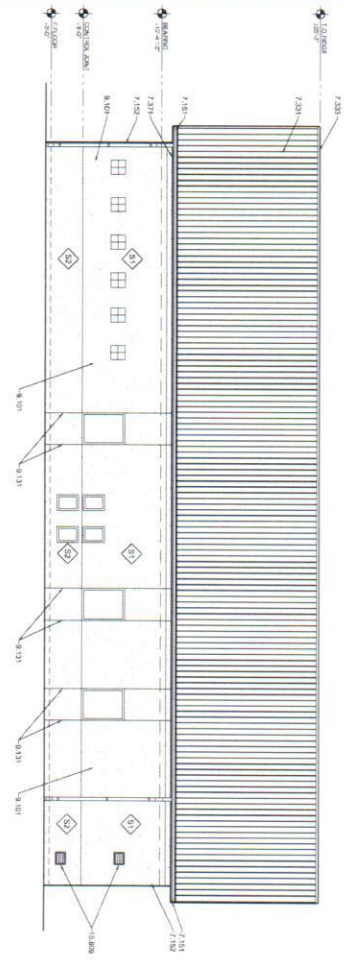
**BDA**  
 301 Laramie Pl. NE  
 Albuquerque, NM 87107  
 Phone: (505) 836-0180  
 Fax: (505) 836-1111  
 Email: info@bdaarc.com

The documents transmitted herein are the sole intellectual property of BDA Architecture, P.C. Any use, reuse, or reproduction in any form without the express written consent of, and compensation to, BDA Architecture is a violation of federal law.

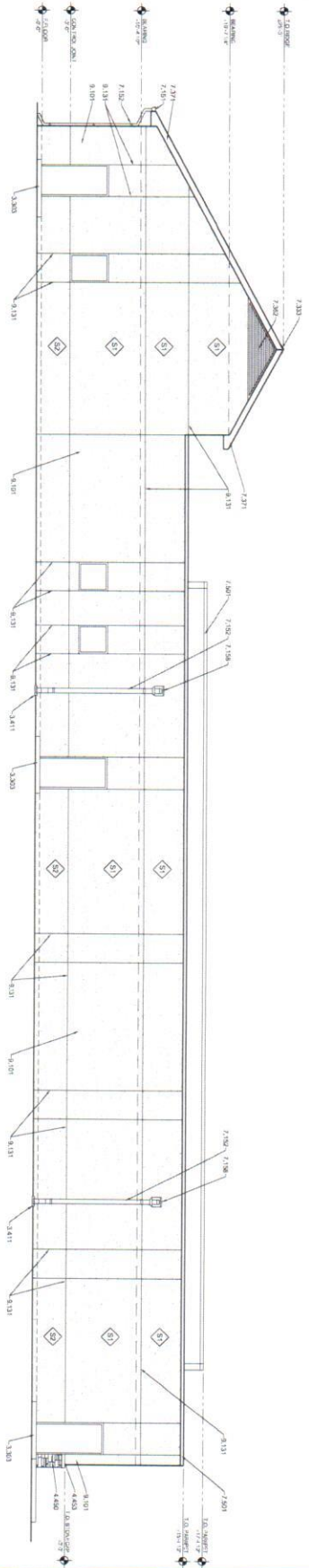
**CMP**

**A201**  
 1 OF 21

**01 WEST ELEVATION**



**01 SOUTH ELEVATION**



**REFERENCE KEYNOTES**

- DIVISION 0 - CONCRETE
- 3.10 - CONCRETE STUCCO
- 3.11 - PRECAST/SHEARBLOCK
- DIVISION 04 - METALWORK
- 4.00 - MANUFACTURED STONE VENEER
- 4.01 - MANUFACTURED STONE CAP
- DIVISION 07 - MECHANICAL AND PLUMBING EQUIPMENT
- 7.10 - ROOF GUTTERS
- 7.11 - DOWNSPOUTS
- 7.12 - CONDUCTIVE HEAT WITH CLEAN-OUT
- 7.20 - METAL ROOF PANEL SYSTEM
- 7.21 - METAL ROOF VENT
- 7.22 - ST. PETERS
- 7.23 - METAL PARAPET CAP
- DIVISION 08 - FINISHES
- 8.10 - STUCCO FINISH
- 8.11 - STUCCO CONTROL JOINT
- DIVISION 11 - MECHANICAL
- 11.00 - VENTS FOR AIR CLEAR - SEE MECHANICAL

**STUCCO COLOR LEGEND**

- 7.201 STUCCO COLOR
- 8.101 STUCCO COLOR

**SOUTHWEST VETERINARY MEDICAL CENTER**  
 Lowes Lot 6 Site Development  
 Albuquerque, New Mexico 87114  
 Daniel Levenson D.V.M.  
 Copyright, 2014. BDA ARCHITECTURE P.C.

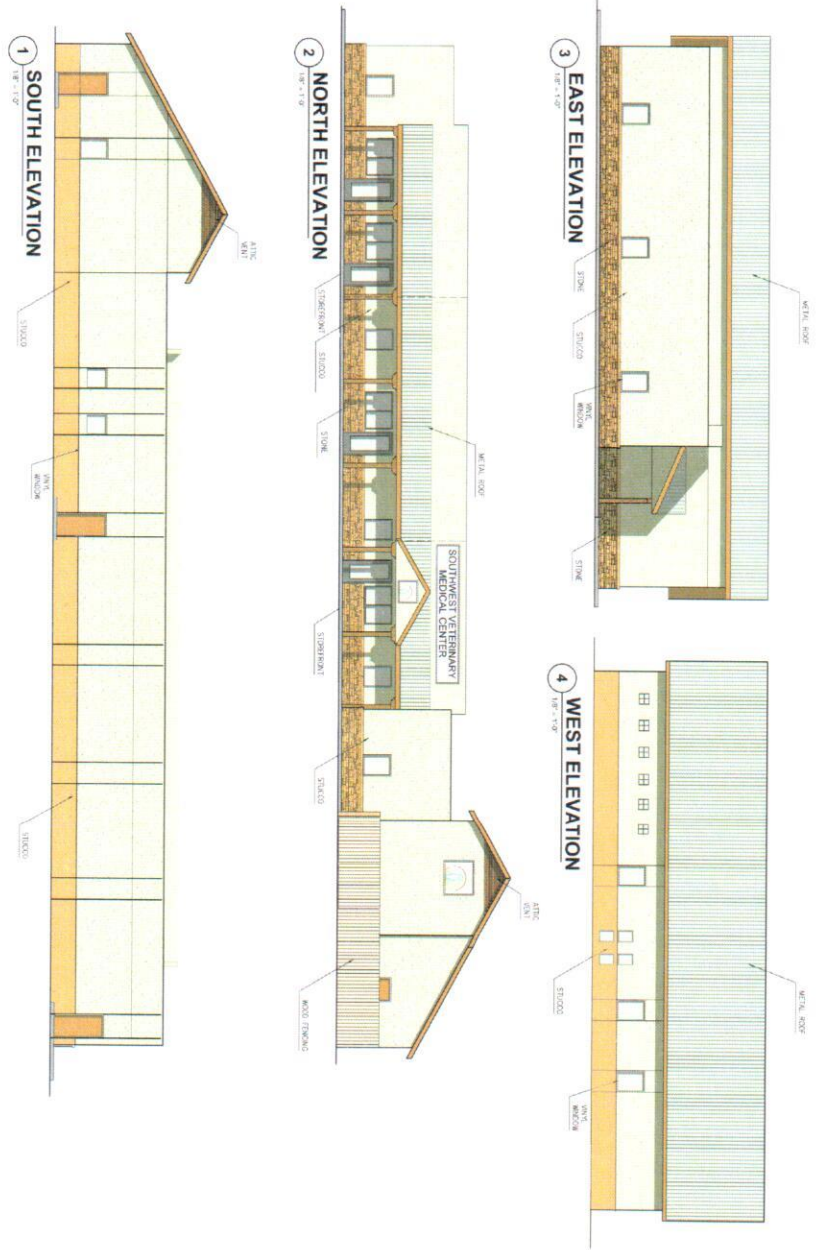
**BDA**  
 801 Laramie Pl. SE  
 Albuquerque, NM 87107  
 Phone: (505) 856-4180  
 Fax: (505) 856-4111  
 Email: info@bdarc.com  
 The documents transmitted herein are the sole Intellectual Property of BDA Architecture, P.C. Any sale, reuse, or reproduction in any form without the express written consent of and compensation to BDA Architecture is a violation of Federal law.

**CMP**

**EXTERIOR ELEVATIONS**

REV. #	DATE	COMMENTS
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-

PROJECT NO.: A202  
 DRAWN BY: LJK  
 DATE: 11/15/14  
 SHEET NO.: 16 OF 21



EXTENSION  
 PROJECT NO. 7000  
 DATE 01/28/2014  
**A203**  
 1 OF 1

**COLORED ELEVATIONS**

REV.#	DATE	COMMENTS
REVISION		
REVISION		
REVISION		

**SOUTHWEST VETERINARY MEDICAL CENTER**  
 Lowes Lot 6 Site Development  
 Albuquerque, New Mexico  
 Daniel Levenson, D.V.M.  
 Copyright, 2014, BDA ARCHITECTURE PC



801 Lambert St. NE  
 Albuquerque, NM 87107  
 Phone: (505) 838-0189  
 Fax: (505) 838-8111  
 Email: info@bdarsc.com

The documents transmitted herein are the sole Intellectual Property of BDA Architecture, P.C. Any use, reuse, or reproduction in any form without the express written consent of and compensation to, BDA Architecture is a violation of federal law.