


ALBUQUERQUE, NEW MEXICO
DANIEL LEVENSON, D.V.M.

JANUARY 29, 2014 SITE DEVELOPMENT PLAN

0001	TITLE SHEET
AS101	SITE PLAN
AS501	SITE DETAILS
IC101	GRADING AND DRAINAGE PLAN
IC102	UTILITY PLAN
L1	LANDSCAPE PLAN
AZ01	EXTERIOR ELEVATIONS
AZ02	EXTERIOR ELEVATIONS
AZ03	COLORLED EXTERIOR ELEVATIONS

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BDA

GMP

**SOUTHWEST VETERINARY
MEDICAL CENTER**
Loves Lot 6 Site Development
Albuquerque, New Mexico
Daniel Levenson, D.V.M.
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ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES AND ORDINANCES.

ALL PUBLIC UTILITY TI INS TO COMPLY WITH LOCAL MUNICIPALITY REQUIREMENTS.

CONTRACTOR IS RESPONSIBLE FOR ALL UNDERGROUND UTILITY LOCATIONS, AND ASSOCIATED EXCAVATIONS.

CONTRACTOR SHALL BECOME FAMILIAR WITH AND EXAMINE THE SITE PRIOR TO PROPOSING OR WORKING ON THE PROJECT. PROPOSING OR WORKING ON THE PROJECT SHALL CONSTITUTE UNDERSTANDING AND ACCEPTANCE OF ALL CONDITIONS.

BRACE PARTITIONS TO ROOF STRUCTURE ABOVE AS REQUIRED.

ALL EXPOSED WOOD TRIM TO BE STAIN GRADE PINE OR FIR, UNLESS NOTED OTHERWISE.

NON-BEARING PARTITIONS MAY BE CONSTRUCTED OF 2X4 WID OR OR 3 5/8" WID METAL STUDS AT CONTACT WITH CEILING OR FLOOR.

PARTITIONS DESIGNATED AS DEMISING OR SOUND ATTENUATING SHALL BE CONSTRUCTED AS INDICATED, FROM FLOOR TO STRUCTURE WITH CAULKING AT ENTIRE PERIMETER AND ANY PENETRATIONS TIGHTLY SEALED AND CAULKED. INSULATE ENTIRE CAVITY WITH FULL THICKNESS UNFACED BATT INSULATION.

9. GENERAL PARTITIONS SHALL EXTEND TO ABOVE FINISH CEILING.
10. ALL DOOR FRAMES TO RECEIVE SILENCERS.
11. ALL ROOF PENETRATIONS SHALL BE FLASHED BY PROFESSIONAL ROOFER.
12. ALL EXPOSED SURFACES TO BE FINISHED.
13. ALL WALL SURFACES TO BE PRIME PAINTED PRIOR TO FINISH COAT OR WVOC.
14. ALL TRADES SHALL BE TRADES SCHEDULED WORK IN THEIR RESPECTIVE
15. TRADES REGARDLESS OF WHERE REFERENCED SHALL APPEAR. SHOULD
ELECTRICAL WORK APPEAR ON AN ARCHITECTURAL DRAWING, THE
ELECTRICAL CONTRACTOR WILL BE HELD RESPONSIBLE FOR ITS
COMPLETION. ETC. ALL CONTRACTORS SHOULD BE THOROUGHLY FAMILIAR
WITH ALL PLANS AND SPECIFICATIONS SECTIONS AND THE WORK OF ALL
OTHER TRADES TO ASSURE COMPLETE COVERAGE AND SYSTEM
INTERFACE.
16. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL BUILDING PERMITS.
A BUILDING PERMIT IS REQUIRED FOR ALL WORK SHALL BE EXECUTED IN
ACCORDANCE WITH THE LOCAL AND STATE CODES, ORDINANCES, AND
REGULATIONS, GOVERNING THE PARTICULAR CLASS OF WORK INVOLVED.
THE BUILDER IS RESPONSIBLE FOR ALL PLAN CHECK AND PERMIT
SUBMITTALS, INCLUDING ENERGY CODE COMPLIANCE. THE ARCHITECT
WILL FURNISH ALL MECH. AND ELECTRICAL CALCS FOR THE

CONTRACTORS USE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL EXECUTION OF THE WORK TO SUIT THESE REQUIREMENTS. ON COMPLETION OF THE WORK, THE CONTRACTOR SHALL OBTAIN AND DELIVER TO THE OWNER, FINAL CERTIFICATES OF ACCEPTANCE AND OCCUPANCY.

16. EXCEPT AS OTHERWISE INDICATED, COMPLY WITH APPLICABLE PROVISIONS OF NEC AND STANDARDS BY NEMA, FOR ELECTRICAL COMPONENTS OF GENERAL WORK. PROVIDE UL LISTED AND LABELED PRODUCTS CABINETRY IS TO BE CUSTOM FABRICATED PLASTIC LAMINATE INCLUDING.

REVIEWS	
INITIALS	
	BDA DESIGN REVIEW
	BDA TECHNICAL REVIEW

[illegible]

PROJECT NO.

1320

	DETAIL CUT SYMBOL
	SECTION CUT SYMBOL
	ELEVATION SYMBOL
	KEYED NOTE SYMBOL
	DOOR NUMBER SYMBOL
	WINDOW NUMBER SYMBOL
	STANDARD DIMENSION
	CLEAR DIMENSION

AFB	ABOVE FINISH FLOOR	HC	HOLLOW CORE OR HANDICAPPED	SS	SANITARY SEWER
ALT	ALTERNATE	HM	HOLLOW METAL	SST	STAINLESS STEEL
ACT	ACOUSTICAL CEILING TILE	HVAC	HEATING VENTILATING AIR CONDITIONING	SV	SHEET VINYL
CFM	CUBIC FOOT PER MINUTE	HW	HOT WATER	TOA	TOP OF ASPHALT
CJ	CONTROL JOINT	MH	MANHOLE	TCC	TOP OF CURB/CONCRETE
CL	CENTERLINE	MO	MASONRY OPENING	TOP	TOP OF PARAPET
CLR	CLEAR	MT	METAL THRESHOLD	TOW	TOP OF WALL
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT	Typ	TYPICAL
CONT	CONTINUOUS	OC	ON CENTER	UGND	UNDER GROUND
CO	CLEAN OUT	OD	OUTSIDE DIAMETER	UNO	UNLESS NOTED OTHERWISE
CT	CERAMIC TILE	OFCI	OWNER FURNISHED/CONTRACTOR INSTALLED	VB	VIEW BOX ILLUMINATOR
CW	COLD WATER	OFOT	OWNER FURNISHED/OWNER INSTALLED	VCT	VINYL COMPOSITION TILE
DC	DROP CORD OUTLET	OH	OVER HEAD	VTR	VENT THRU ROOF
DF	DRINKING FOUNTAIN	OR	OPERATING ROOM	VNC	VINYL WALL COVERING
DIA	DIAMETER	PCF	PER CUBIC FOOT	WD	WOOD
DWV	DRAIN WASTE VENT	PSB	PAINTED GYPSUM BOARD	WP	WATER PROOF
EWV	ELECTRIC WATER COOLER	PL	PROPERTY LINE	WWF	WELDED WIRE FABRIC
EJ	EXPANSION JOINT	PLF	PER LINEAR FOOT		
FD	FLOOR DRAIN	PSF	POUNDS PER SQUARE FOOT		
FIN FLR	FINISH FLOOR	PSI	POUNDS PER SQUARE INCH		
GA	GAGE	RD	ROOF DRAIN		
GSF	GROSS SQUARE FOOTAGE	RO	ROUGH OPENING		
GYP BD	GYPSUM BOARD	SC	SOLID CORE OR SEALED CONCRETE		

CIVIL: SBS CONSTRUCTION AND ENGINEERING, LLC
10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505) 899-5570

LANDSCAPE: TERRITORIAL LANDSCAPE CO.
P.O. BOX 66870
ALBUQUERQUE, NEW MEXICO 87193
PHONE: (505) 898-9199

LEGAL DESCRIPTION:	LOT NUMBERED SIX (6) OF LOWE'S SUBDIVISION AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 9, 2002 IN MAP BOOK 20002C, PAGE 110
SITE AREA:	0.8634 ACRES

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division _____ Date _____

ABCWUA _____ Date _____

Parks and Recreation Department _____ Date _____

City Engineer _____ Date _____

* Environmental Health Department (conditional) _____ Date _____

John M. Mung _____ Date *2-3-15*
Solid Waste Management

DRB Chairperson, Planning Department _____ Date _____

*Environmental Health, if necessary
6/25/07

GENERAL NOTES

- A. THIS IS NOT A SURVEY. INFORMATION TAKEN FROM A SURVEY PREPARED BY HARRIS SURVEYING, INC., DATED, DECEMBER 20, 2013. REFER TO THAT SURVEY FOR ALL BOUNDARY AND EXISTING CONDITIONS.
- B. SIDEWALKS TO HAVE A MINIMUM 2% CROSS SLOPE.

PARKING ANALYSIS

PARKING REQUIRED (1 PER 200 SF):	45
PARKING PROVIDED:	36
ADA PARKING REQUIRED:	3
ADA PARKING PROVIDED:	3
MOTORCYCLE PARKING REQUIRED (1 PER 20 VEHICLES):	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE PARKING REQUIRED:	2
BICYCLE PARKING PROVIDED:	2

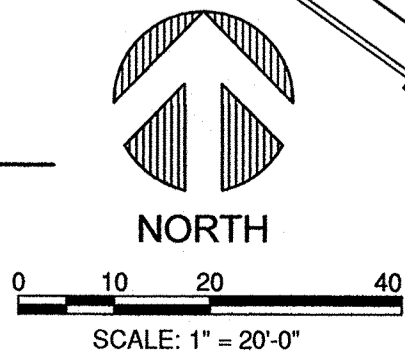
REFERENCE KEYNOTES

- DIVISION 02 - SITE CONSTRUCTION
- 2.102 - EXISTING MONUMENT SIGN
 - 2.501 - WATER METER EASEMENT
 - 2.705 - CURB PAINTED RED WITH 4" WHITE LETTERING "FIRE LANE NO PARKING" ON FACE OF CURB
 - 2.761 - ADA ACCESSIBLE ROUTE
 - 2.801 - ADA PARKING SIGN - SEE DETAIL C1/AS501
 - 2.802 - ADA ACCESSIBLE RAMP - SEE DETAILS AS501
 - 2.803 - BIKE RACK - SEE DETAIL D5/AS501
 - 2.809 - MOTORCYCLE PARKING SIGN
 - 2.860 - 6'-0" HIGH VINYL FENCE
- DIVISION 03 - CONCRETE
- 3.004 - EXISTING CONCRETE SIDEWALK
 - 3.411 - PRECAST CONCRETE SPLASH BLOCK
- DIVISION 04 - MASONRY
- 4.233 - CMU TRASH ENCLOSURE
- DIVISION 16 - ELECTRICAL
- 16.204 - TRANSFORMER - PNM TO SET LOCATION
 - 16.571 - 20' HIGH PARKING LOT LIGHT POLE

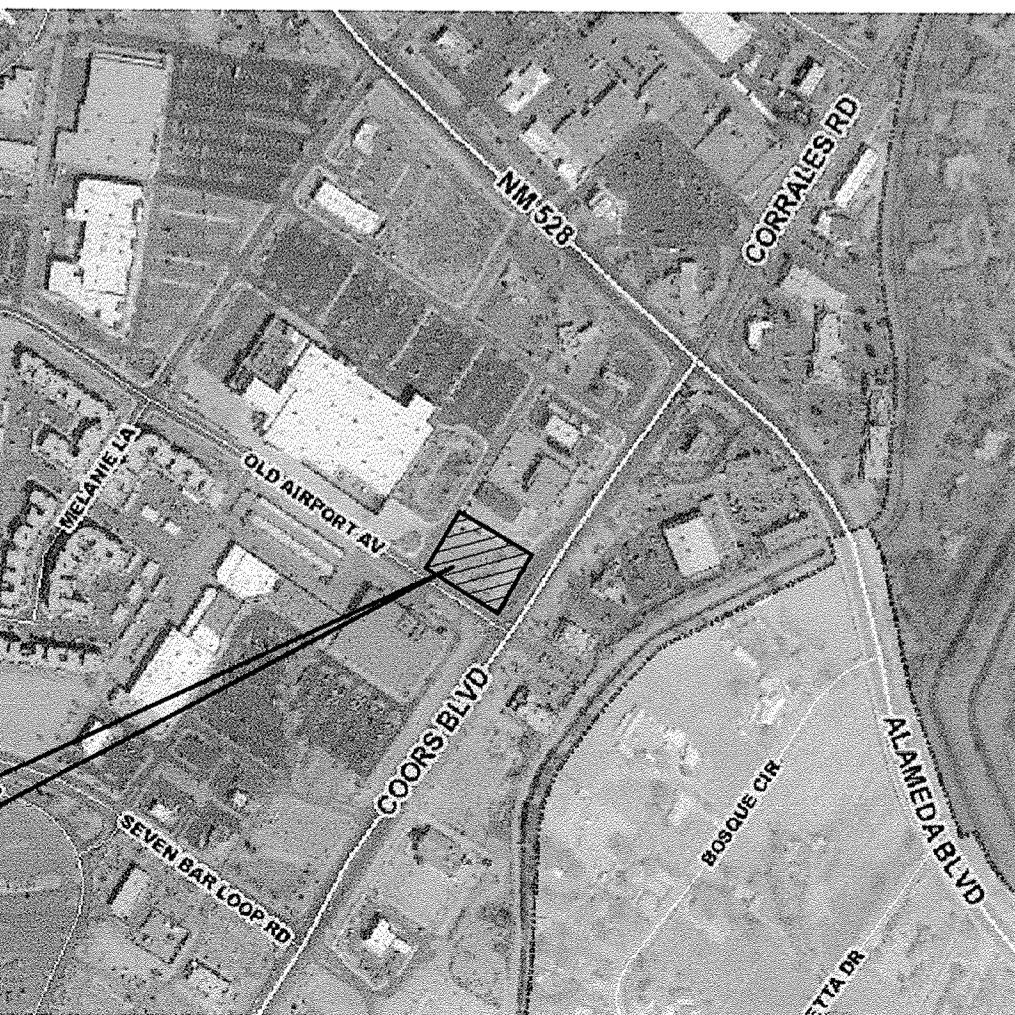
PROJECT DATA

TOTAL SQUARE FOOTAGE	=	9,405 SF
OCCUPANCY TYPE	=	B
CONSTRUCTION TYPE	=	V-B
MAX. BUILDING HEIGHT	=	25'-3"

B5 SITE PLAN



SITE



A10 VICINITY MAP

ZONE ATLAS PAGE NUMBER B-14-Z

ARCHITECTURAL SITE PLAN

REVISION	REV #	DATE	COMMENTS
REVISION:	-	-	-
REVISION:	-	-	-
REVISION:	-	-	-

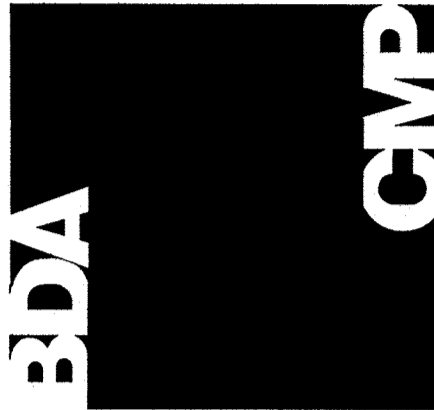
INITIALS	REV.
-	BDA DSGN. REV.
-	BDA TECH REV.
-	CMP TECH REV.

LEVENSON
PROJECT NO.: 1320
DRAWN: CC,LLK
DATE: 11/04/14

AS101

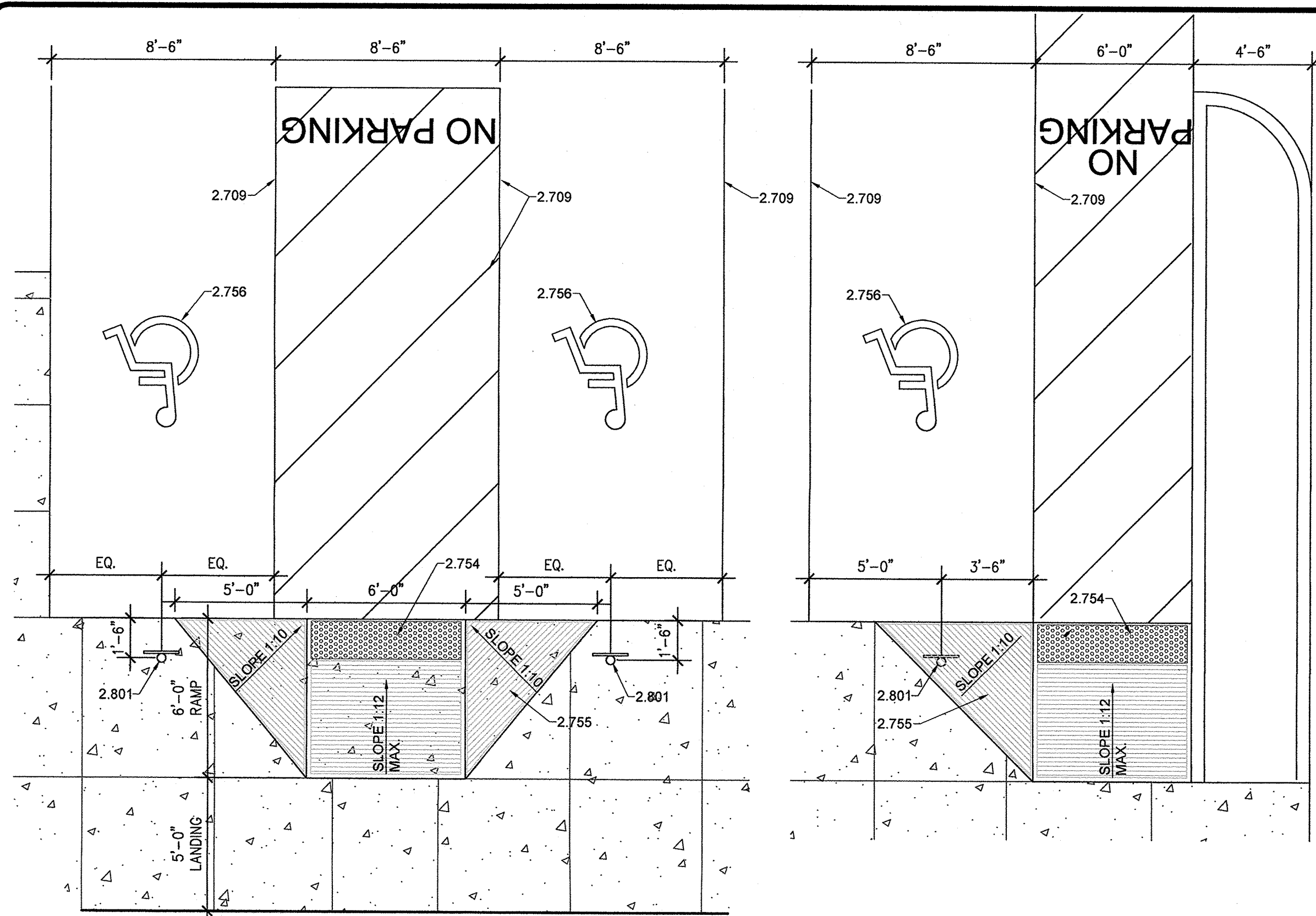
SOUTHWEST VETERINARY MEDICAL CENTER

Lowes Lot 6 Site Development
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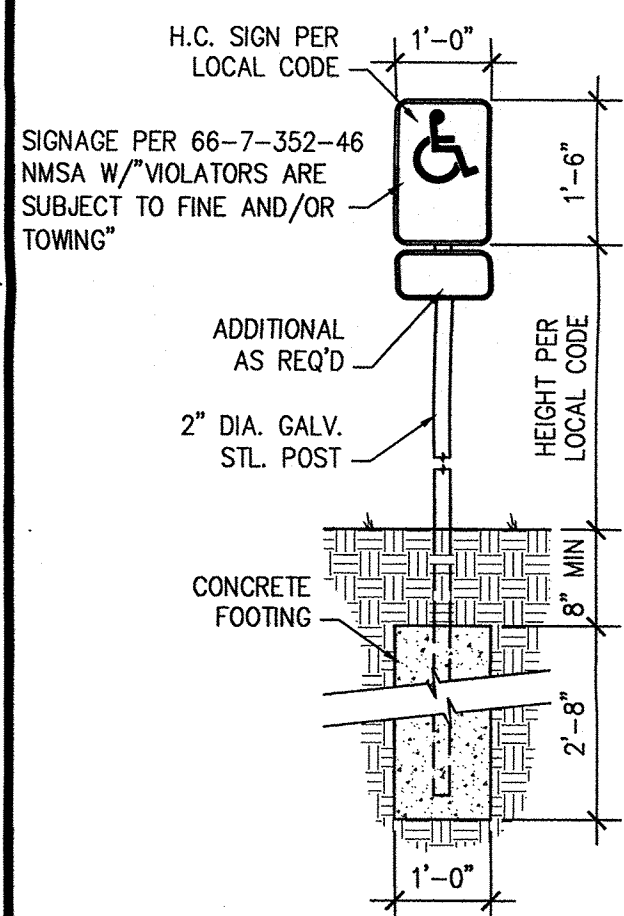
F1 ADA ACCESS PARKING
1/4" = 1'-0"

F3 ADA ACCESS PARKING
1/4" = 1'-0"

F5 GATE SECTION
3/4" = 1'-0"

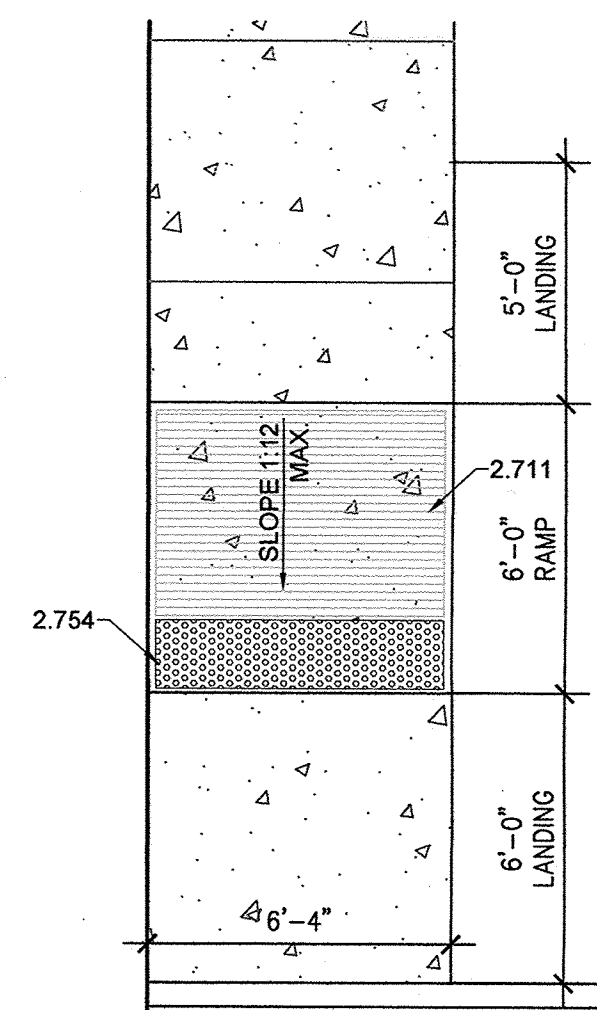
F7 WALL SECTION
3/4" = 1'-0"

F8 BOLLARD SECTION
3/4" = 1'-0"

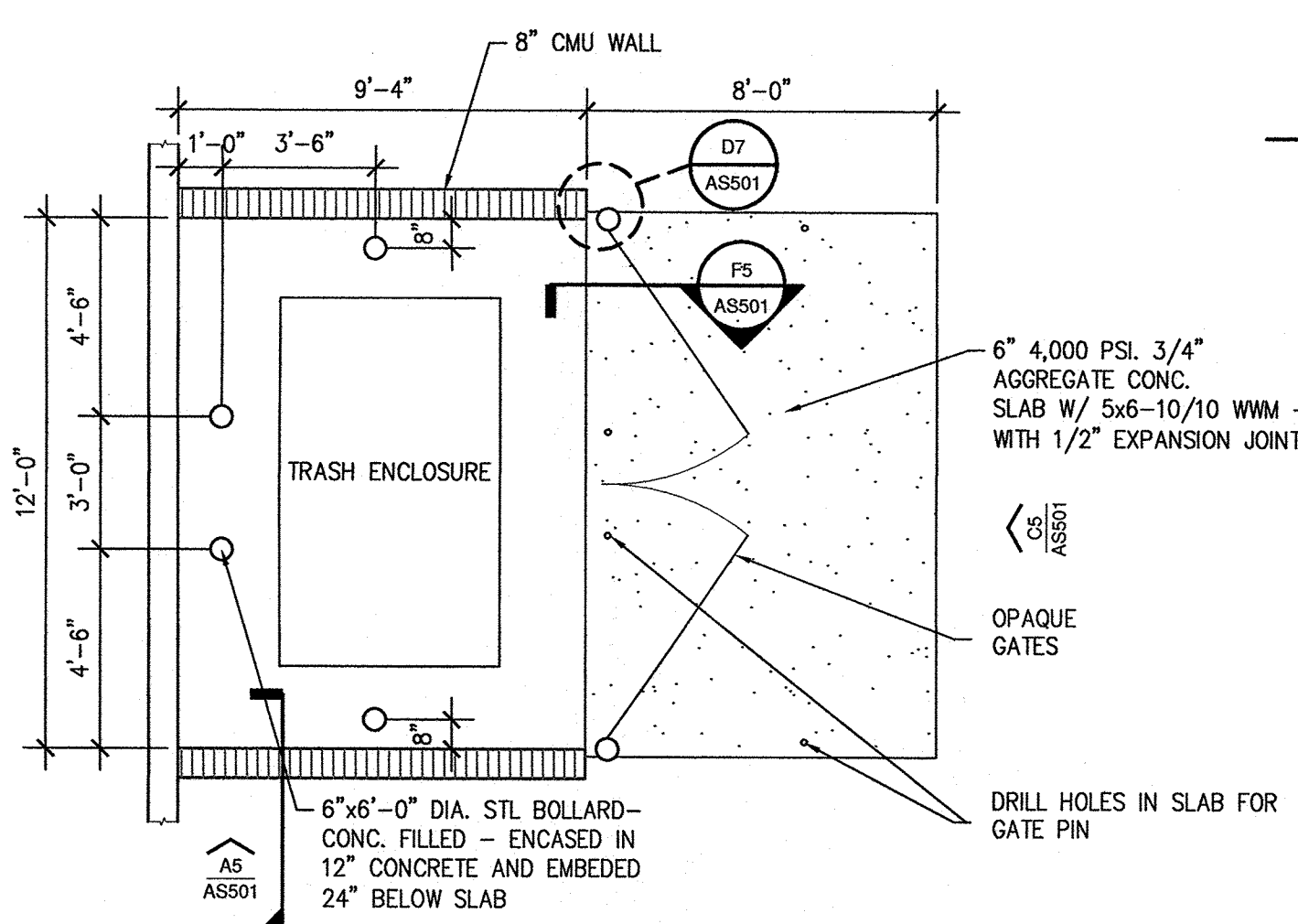


C1 ADA PARKING SIGN
1/2" = 1'-0"

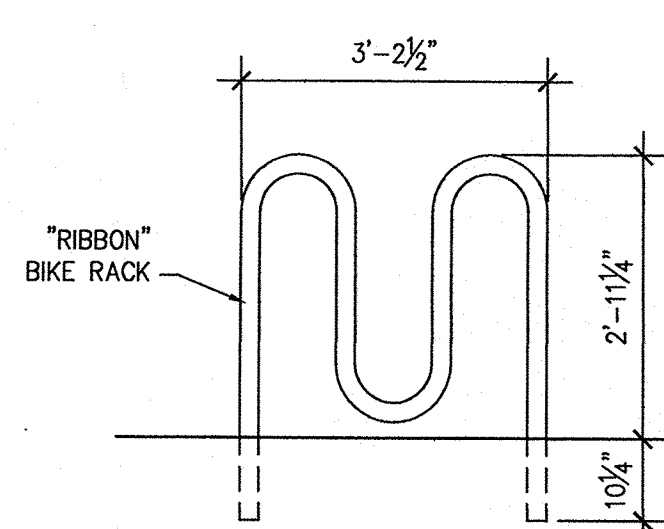
C2 ADA ACCESS RAMP
1/4" = 1'-0"



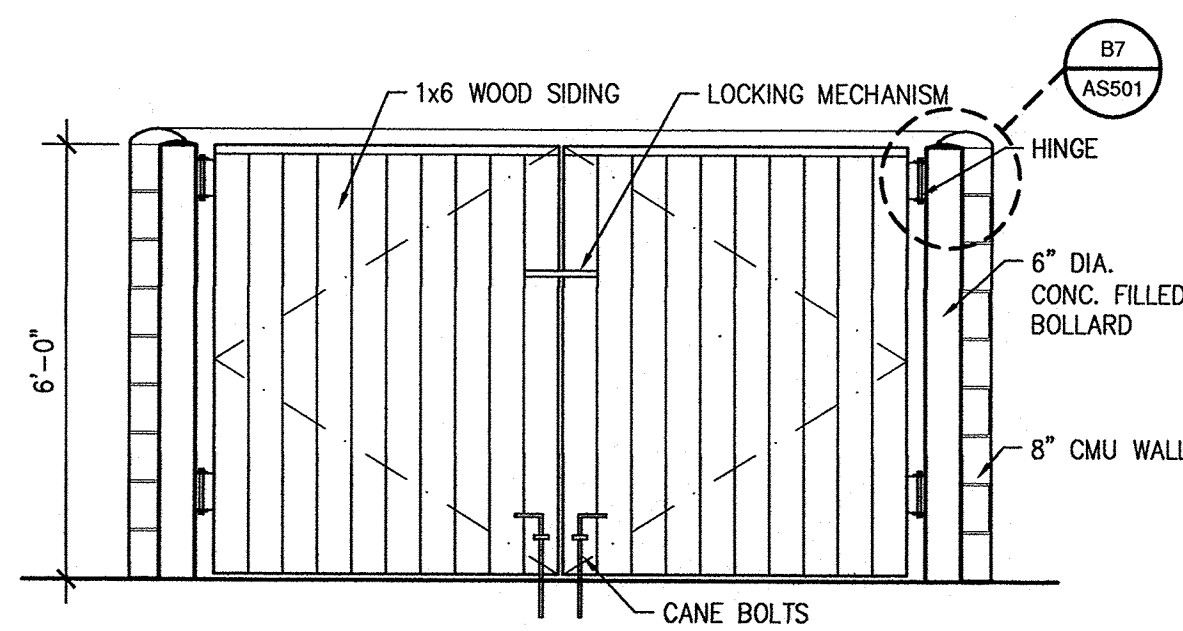
A1 ADA ACCESS RAMP
1/4" = 1'-0"



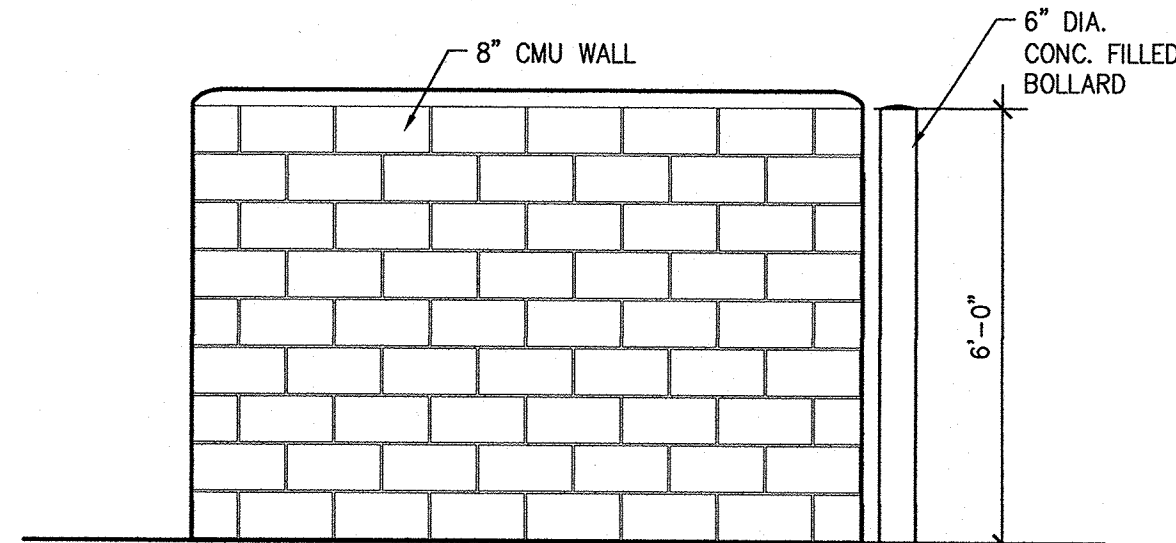
A2 ENLARGED PLAN
1/4" = 1'-0"



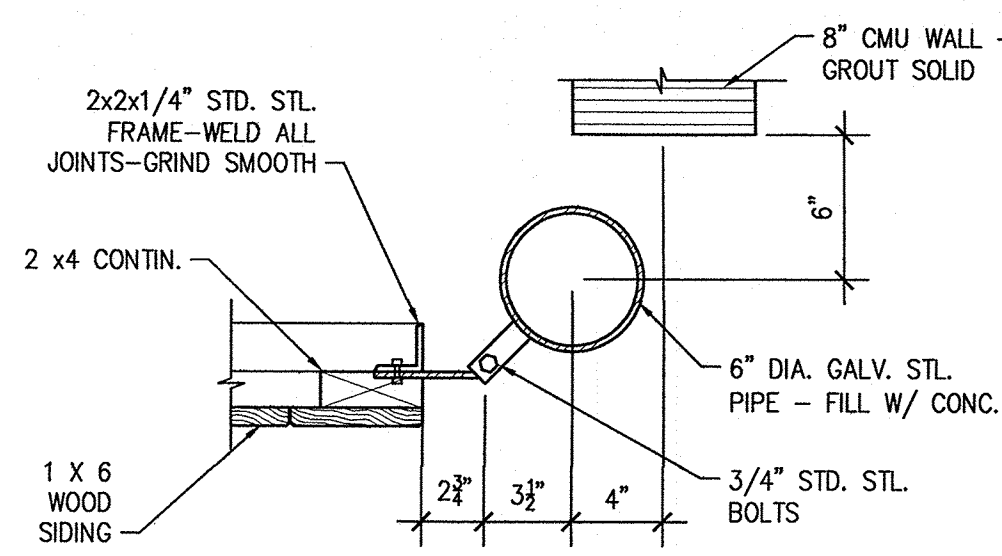
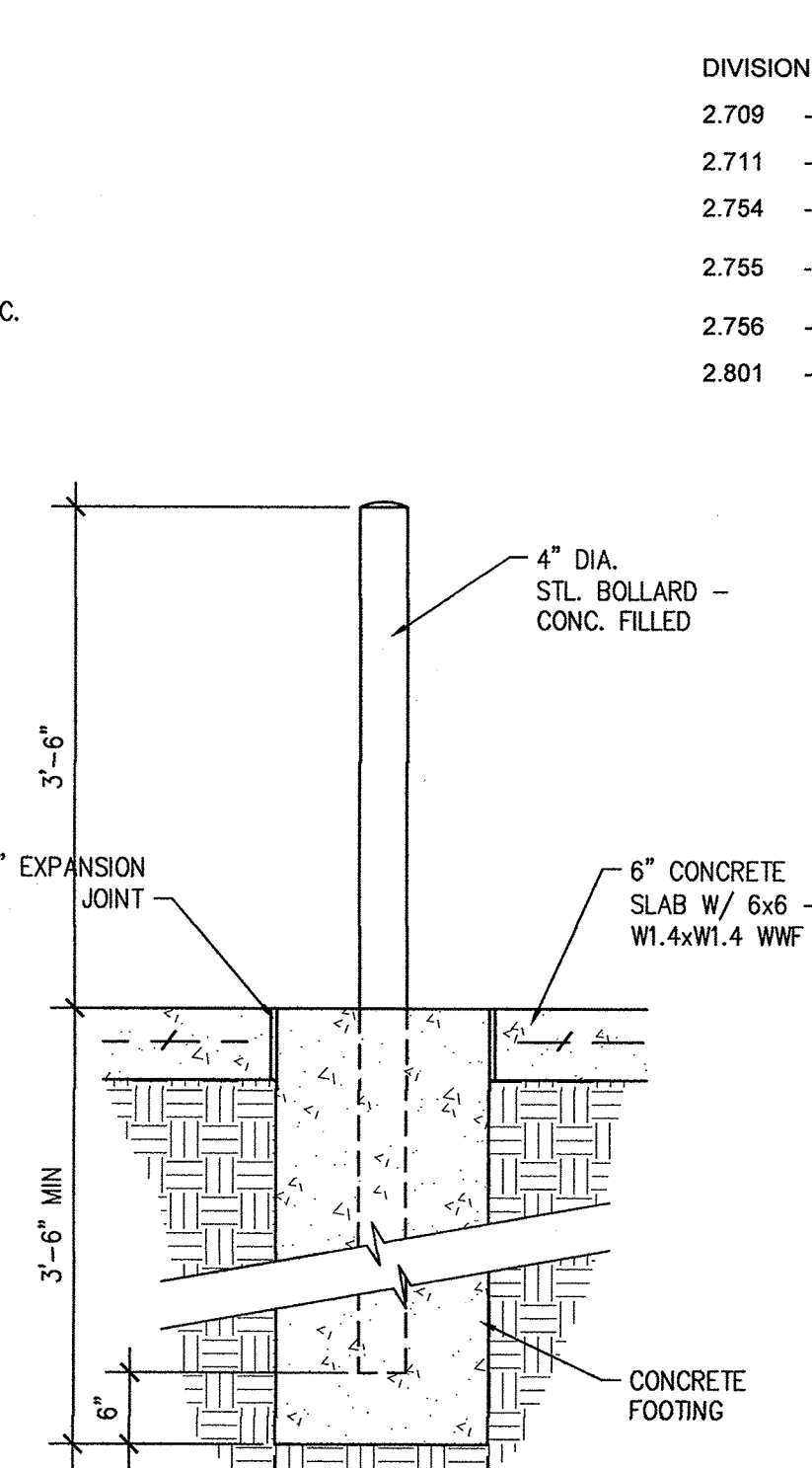
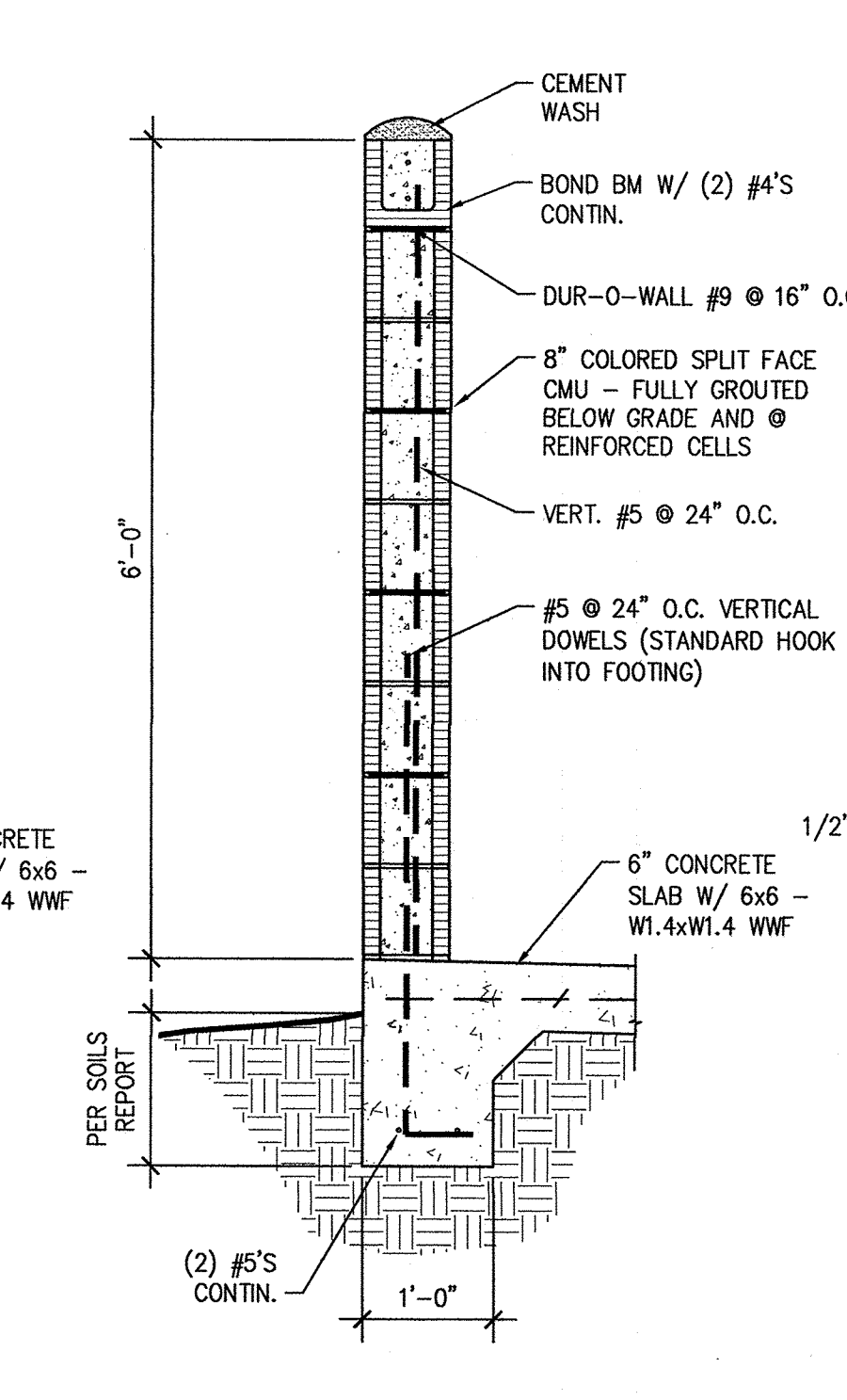
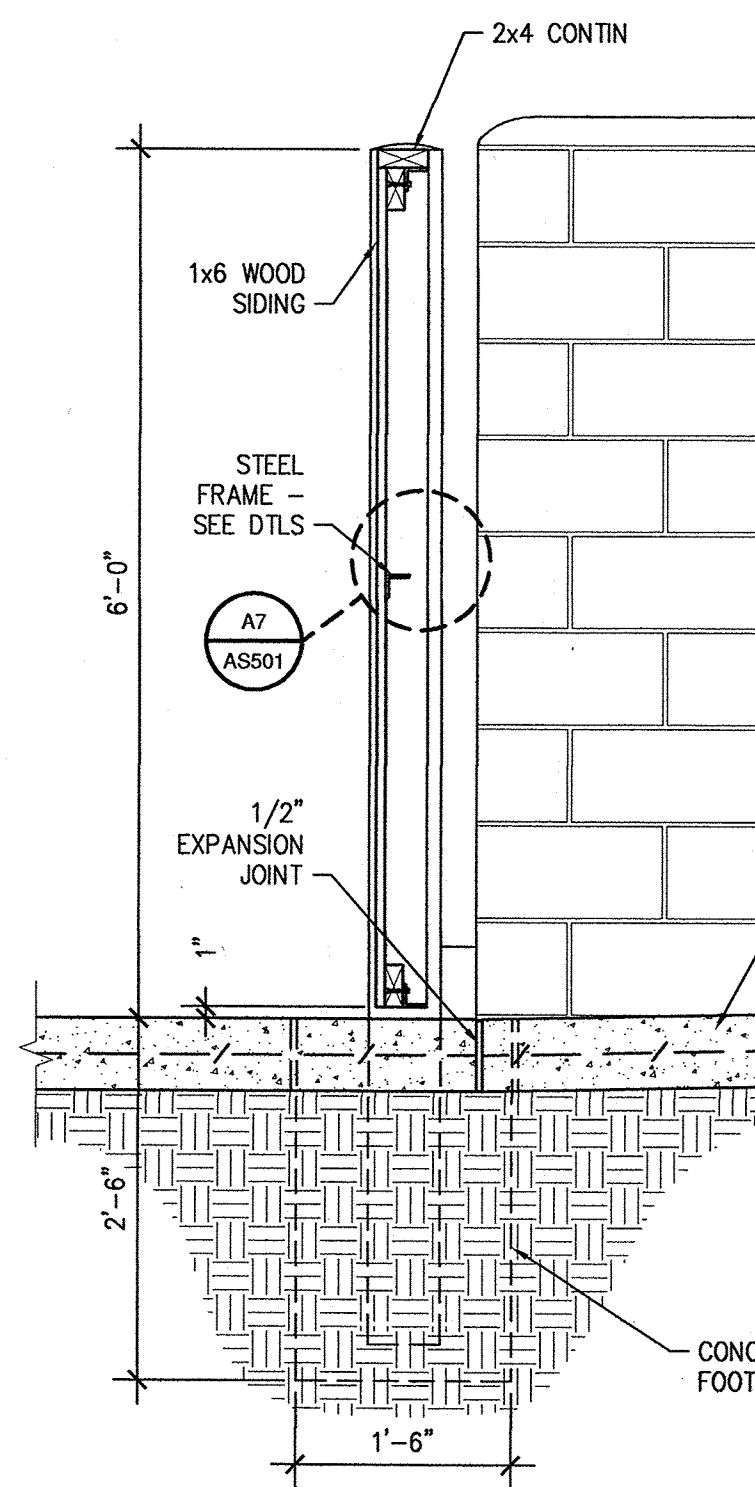
D5 BICYCLE RACK
1/2" = 1'-0"



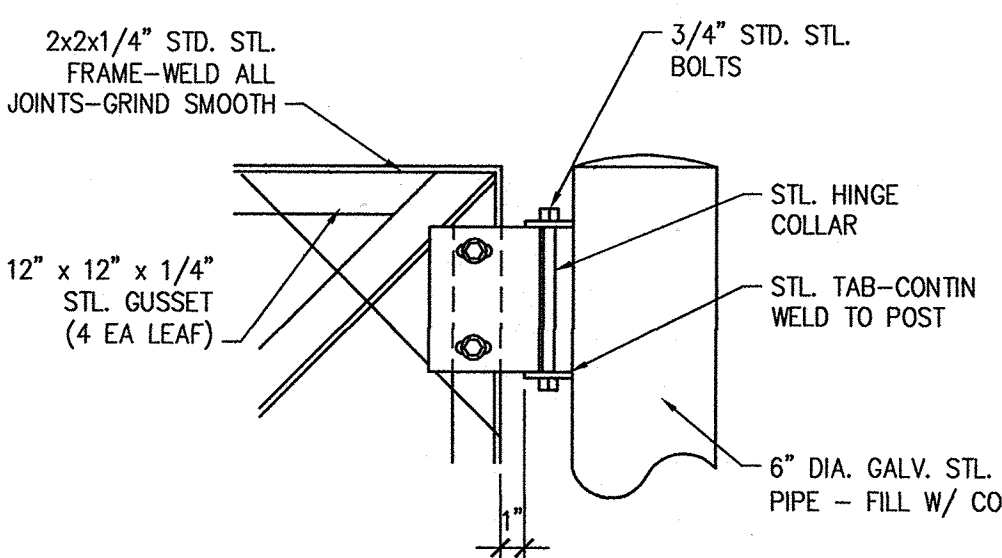
C5 TRASH ENCLOSURE GATE
3/8" = 1'-0"



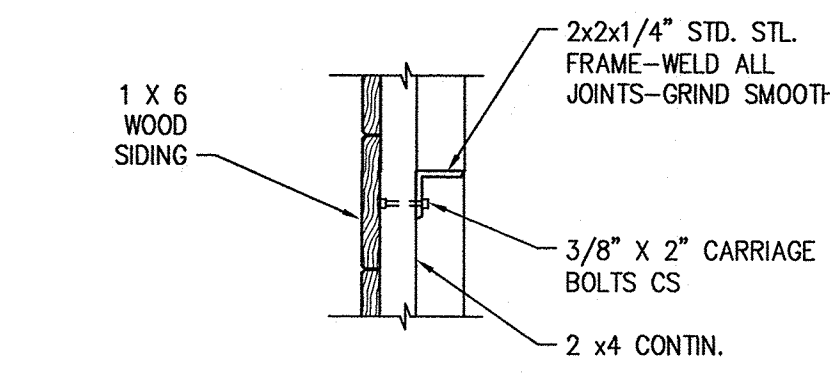
A5 TRASH ENCLOSURE WALL
3/8" = 1'-0"



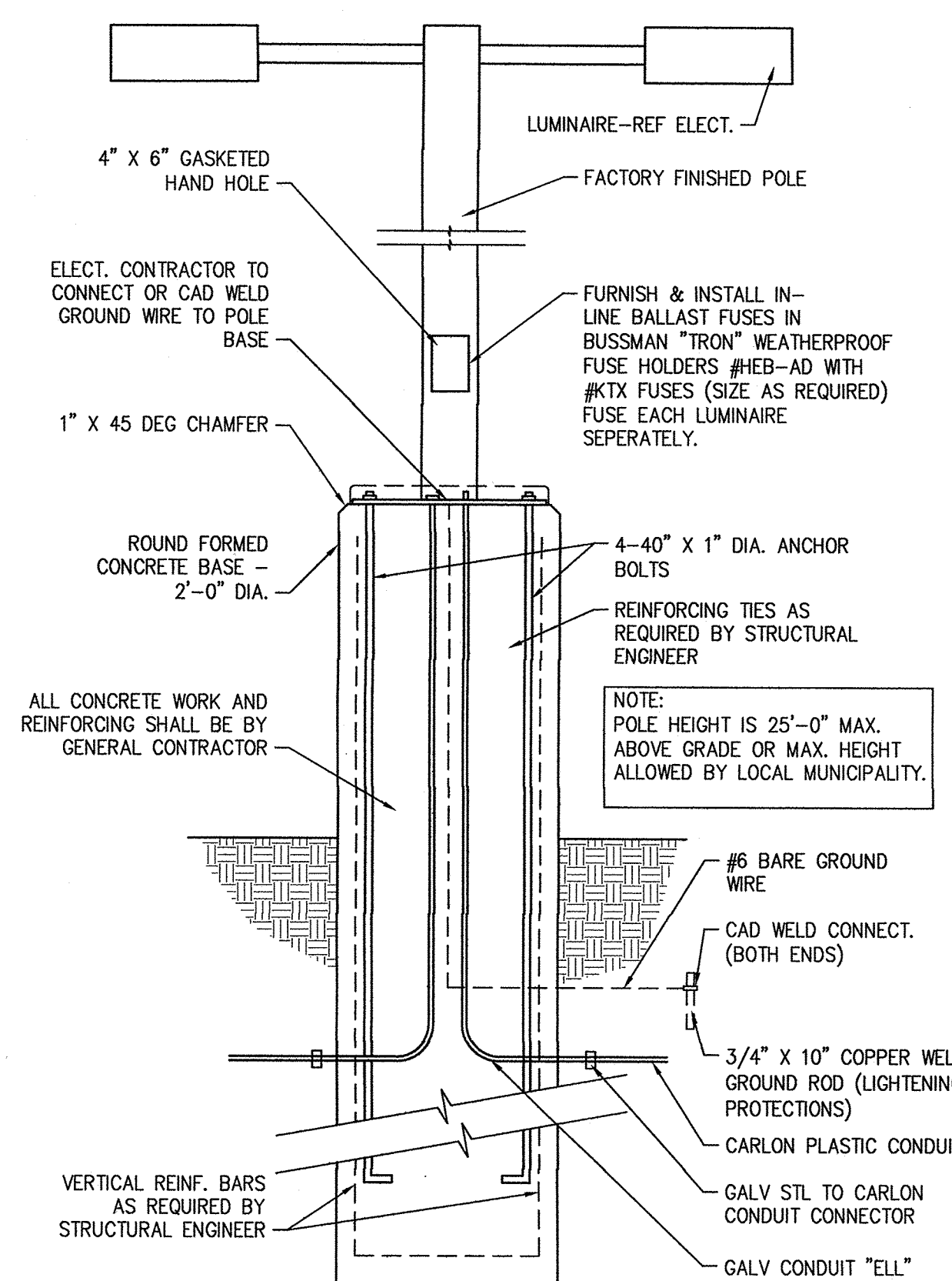
D7 GATE DETAIL
1 1/2" = 1'-0"



B7 GATE DETAIL
1 1/2" = 1'-0"



A7 GATE DETAIL
1 1/2" = 1'-0"



A9 LIGHT POLE BASE
3/4" = 1'-0"

REFERENCE KEYNOTES

DIVISION 02 - SITE CONSTRUCTION

- 2.709 - 4" WHITE STRIPE
- 2.711 - SLOPE TOP OF CURB TO MATCH RAMP
- 2.754 - ADA APPROVED TRUNCATED DOME STRIP
- 2.755 - PROVIDE 1/4" DEEP X 1/4" WIDE GROOVES 2" O.C. EXTEND THE FULL WIDTH AND DEPTH OF RAMP
- 2.756 - ADA PARKING SYMBOL
- 2.801 - ADA PARKING SIGN - SEE DETAIL C1/AS501

BDA

CMP

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Albuquerque, New Mexico 87114
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SITE DETAILS

REV.#	DATE	COMMENTS
REVISION:		
REVISION:		
REVISION:		

REVIEWS
INITIALS
BDA DSGN. REV.
BDA TECH REV.
CMP TECH REV.

LEVENSON
PROJECT NO.: 1320
DRAWN:
DATE: 11/04/14

AS501
OF 21

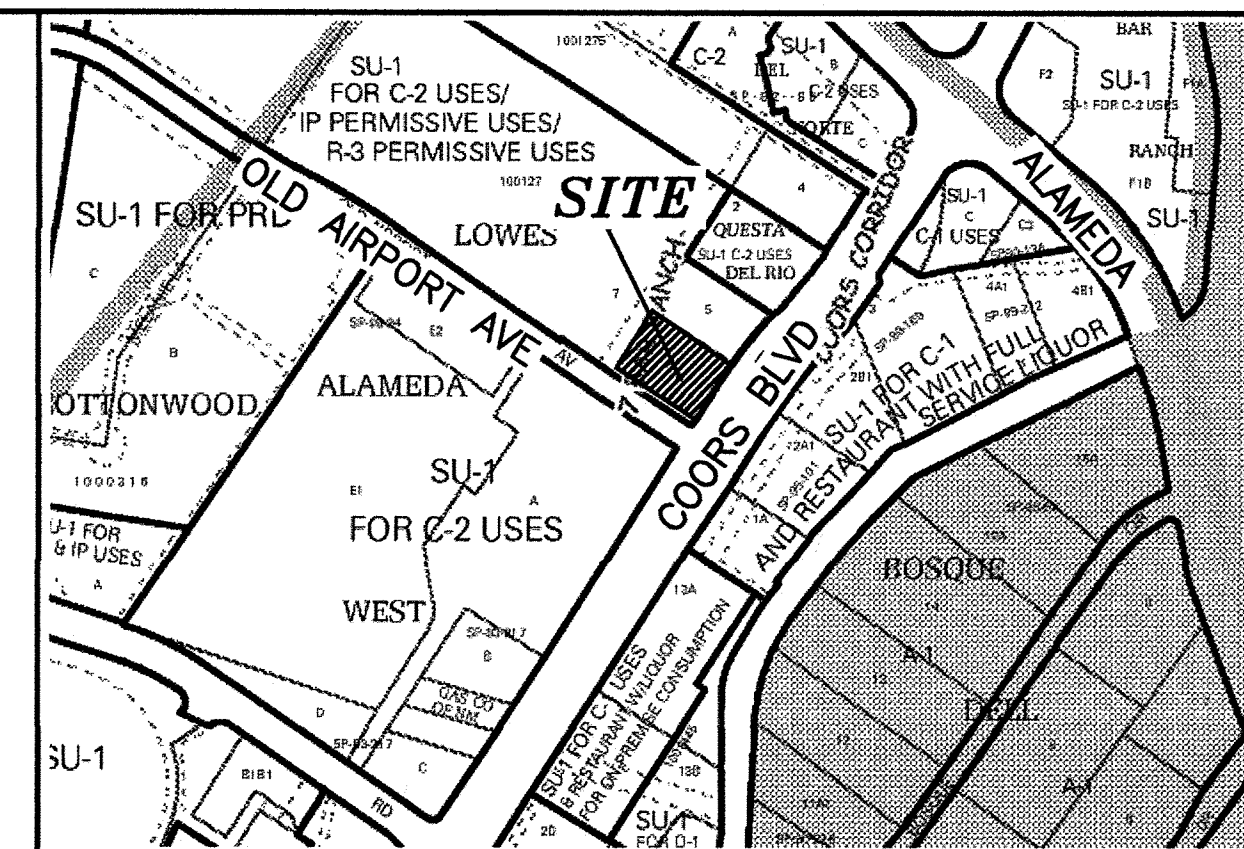
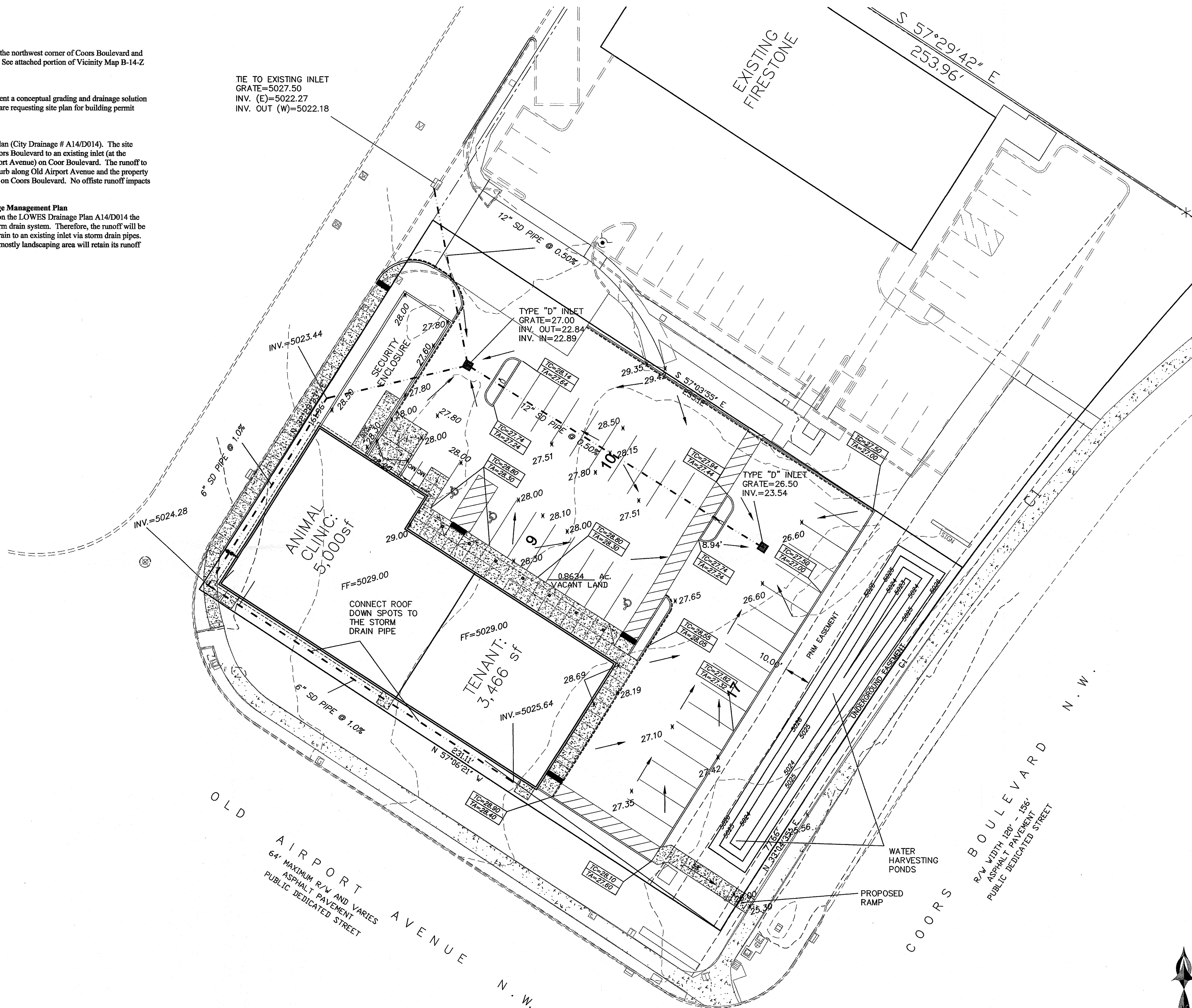
Location
Lot 6, LOWES SUBDIVISION is located at the northwest corner of Coors Boulevard and Old Airport Avenue containing 0.8634 acre. See attached portion of Vicinity Map B-14-Z for exact location.

Purpose
The purpose of this drainage report is to present a conceptual grading and drainage solution for the proposed commercial buildings. We are requesting site plan for building permit approval.

Existing Drainage Conditions
The site falls within the LOWES Drainage Plan (City Drainage # A14/D014). The site currently drains from west to east toward Coors Boulevard to an existing inlet (at the northwest corner of Coor Boulevard and Airport Avenue) on Coor Boulevard. The runoff to the south of the property (area between the curb along Old Airport Avenue and the property line) drains east as well to this existing inlet on Coors Boulevard. No offsite runoff impacts this site.

Proposed Conditions and On-Site Drainage Management Plan
The site falls within the A14/D014. Based on the LOWES Drainage Plan A14/D014 the runoff will drain west to the the LOWES storm drain system. Therefore, the runoff will be collected via storm drain inlets and will be drain to an existing inlet via storm drain pipes. Small portion of the site to the east which is mostly landscaping area will retain its runoff on-site within a water harvesting pond.

TIE TO EXISTING INLET
GRATE=5027.50
INV. (E)=5022.27
INV. OUT (W)=5022.18



LEGAL DESCRIPTION:
LOT 6, LOWES SUBDIVISION
CONTAINING 0.8634 ACRE
ZONING: SU-1

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- 5030--- EXISTING CONTOUR (MAJOR)
- 5029--- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 28.50 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5028.65 EXISTING FLOWLINE ELEVATION
- FL
- ■ ■ ■ ■ PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TC=28.50 TOP OF CURB
- TA=28.00 TOP OF ASPHALT
- HP HIGH POINT



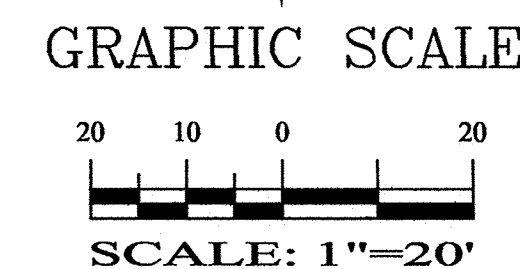
REZA AFAGHPOUR
P.E. #11814

**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**SOUTHWEST VETERINARY MEDICAL CENTER
LOT 6, LOWES SUBD., ALBUQUERQUE, NEW MEXICO
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201404-GR.DWG	SH-B	1-24-2014	C 101



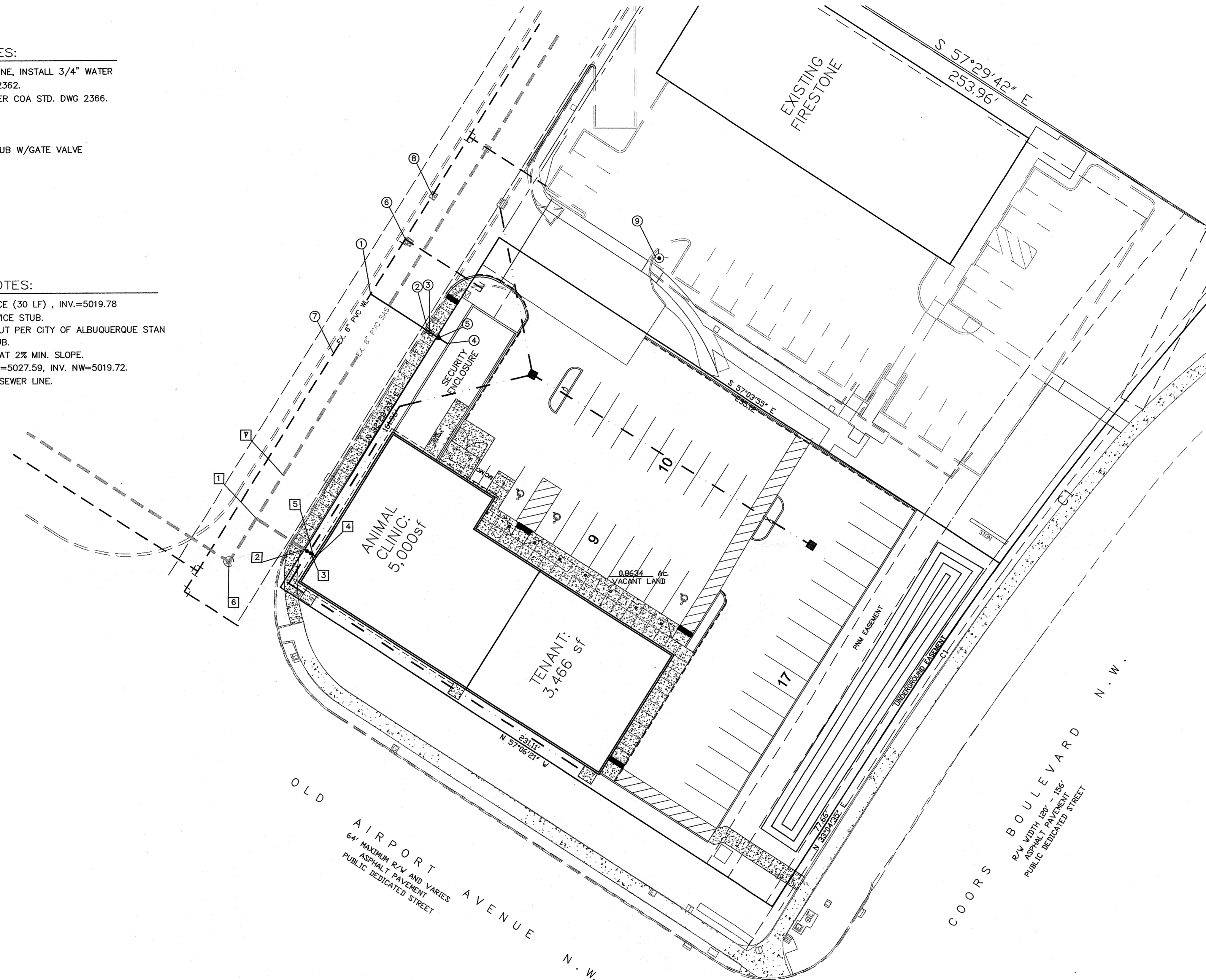
LAST REVISION: 01-30-2015

○ WATER LINE NOTES:

1. TIE INTO EXIST. 6" PVC WATERLINE, INSTALL 3/4" WATER SERVICE PER COA STD. DWG 2362.
2. INSTALL METER BOX AND LID PER COA STD. DWG 2366.
3. INSTALL 3/4" WATER METER
4. INSTALL 1" PVC WATERLINE.
5. INSTALL 3/4" X 1" REDUCER
6. EXISTING 6" TEE, WATERLINE STUB W/GATE VALVE
7. EXISTING 6" PVC WATERLINE
8. EXISTING 6" GATE VALVE
9. EXISTING FIRE HYDRANT

□ SEWER LINE NOTES:

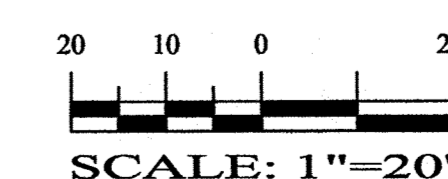
1. EXISTING 6" PVC SAS SERVICE (30 LF) , INV.=5019.78
2. TIE INTO EXISTING SAS SERVICE STUB.
3. INSTALL DOUBLE 6" CLEANOUT PER CITY OF ALBUQUERQUE STAN
4. CONNECT INTO BUILDING STUB.
5. 6" SANITARY SEWER LINE, AT 2% MIN. SLOPE.
6. EXISTING SAS MANHOLE, RIM=5027.59, INV. NW=5019.72.
7. EXISTING 8" PVC SANITARY SEWER LINE.



LEGEND

	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EXISTING GATE VALVE
	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER LINE
	ELECTRIC LINE
	NEW SANITARY SEWER LINE
	NEW WATERLINE
	DOUBLE CLEANOUT
	NEW WATER SERVICE
	NEW SAS SERVICE
	NEW SAS MANHOLE
	STORM SEWER MANHOLE
	SINGLE SERVICE METER
	DOUBLE SERVICE METER
	NEW GATE VALVE
	NEW FIRE HYDRANT
	TEE
	BEND
	CAP (WL)
	NEW REDUCER
	NEW 4" SINGLE CLEANOUT
	NEW 4" DOUBLE CLEANOUT

GRAPHIC SCALE



REZA AFAGHPOUR
P.E. #11814

**SBS CONSTRUCTION
AND ENGINEERING, LLC**

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(505)899-5570

**SOUTHWEST VETERINARY MEDICAL CENTER
LOT 6, LOWES SUBD., ALBUQUERQUE, NEW MEXICO
MASTER UTILITY PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201404-MU.DWG	SH-B	1-24-2014	C102

LAST REVISION: 01-30-2015