

LEGAL DESCRIPTION
TRACTS 4 AND 5, TOWN OF ATRISCO GRANT UNIT 5

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- - - EXISTING BOUNDARY LINE
- PROPOSED VEHICULAR AND PEDESTRIAN ACCESS POINTS
- - - → EXISTING VEHICULAR AND PEDESTRIAN ACCESS POINTS

SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
The Site consists of approximately 23.14 acres. The property is bounded on the west by undeveloped property, to the north by Daytona Rd, to the east by the Unser Ponds and an ABCWUA Well Site, and to the south by Los Volcanes Rd.

ZONING AND PROPOSED USE:
The Site is zoned SU-1 Special Use for IP (Industrial Park) and C-2 (Commercial) Uses. The site does not lie within a Sector Development Plan Area.

Development of the property can only occur through an approved site development plan as regulated by Section 14-16-2-22 of the Comprehensive City Zoning Code. Activities allowed on the site must correspond to those enumerated in the IP or C-2 zones.

APPLICABLE PLANS:
City of Albuquerque/Bernalillo County Comprehensive Plan (Rank I); and the West Side Strategic Plan (Rank II).

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - The applicant is only requesting access to Daytona Rd to the north in order to protect the single family development to the south. Tract 5 will have two full access points as well as an additional access point to provide maintenance access to Tract 4 which is to be utilized as a private drainage pond to serve the subject development as well as development to the west as identified in the West Side Transit Facility drainage report prepared by Smith Engineering Company. Final design and location of these access points will be determined by future Site Development Plans for Building Permit.

Transit - The property is not currently served by transit facilities.

Bicycle Facilities - There are no existing or proposed bicycle facilities along Daytona Rd or Los Volcanes Rd.

Pedestrian Facilities - Internal sidewalk and pedestrian facilities will be designed consistent with the design guidelines included in this site plan and future site plans for building permits. Public sidewalks will be provided by the development along both Daytona Rd and Los Volcanes Road as each site is developed.

SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

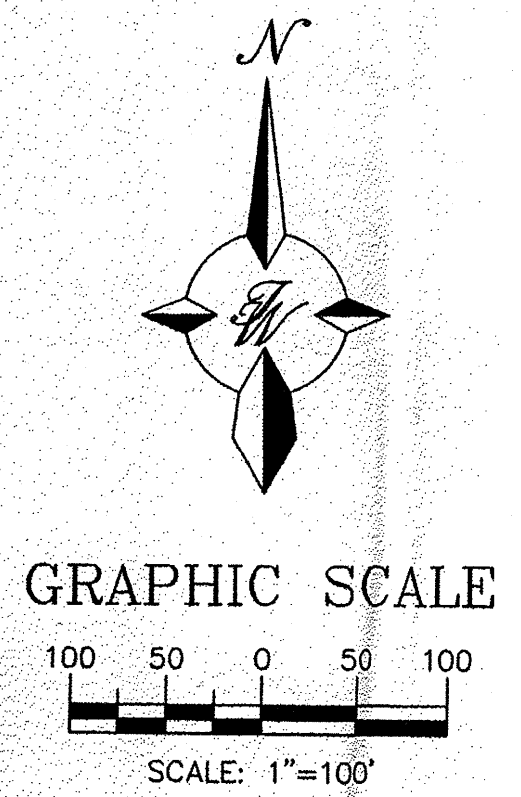
BUILDING HEIGHTS AND SETBACKS:
Buildings shall not exceed the heights as specified in the C-2 Zone (Section 14-16-2-17) of the Comprehensive City Zoning Code.

MAXIMUM FAR/DENSITY:
Commercial or Industrial buildings shall not exceed a maximum FAR of 0.35.

LANDSCAPE PLAN:
Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance.

SITE DATA

EXISTING ZONING: SU-1 FOR IP AND C-2 USES
PROPOSED ZONING: SU-1 FOR IP AND C-2 USES
LOT AREA: 1,007,941 SF (23.139 ACRES)
MAXIMUM BLDG HEIGHT: HEIGHT SHALL BE PROVIDED AS IN THE C-2 ZONE
MINIMUM BLDG SETBACK: MINIMUM BUILDING SETBACK PER THE C-2 ZONE
MAXIMUM F.A.R.: 0.35
PARKING REQUIRED: PER ZONING CODE SECTION 14-16-3-1
LANDSCAPE AREA REQUIRED: PER CURRENT ZONING CODE REQUIREMENTS



PROJECT NUMBER: 1009982
APPLICATION NUMBER: 14EPC-40012

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1-10-2014, and the Findings and Conditions in the Official Notification of Decision are satisfied.

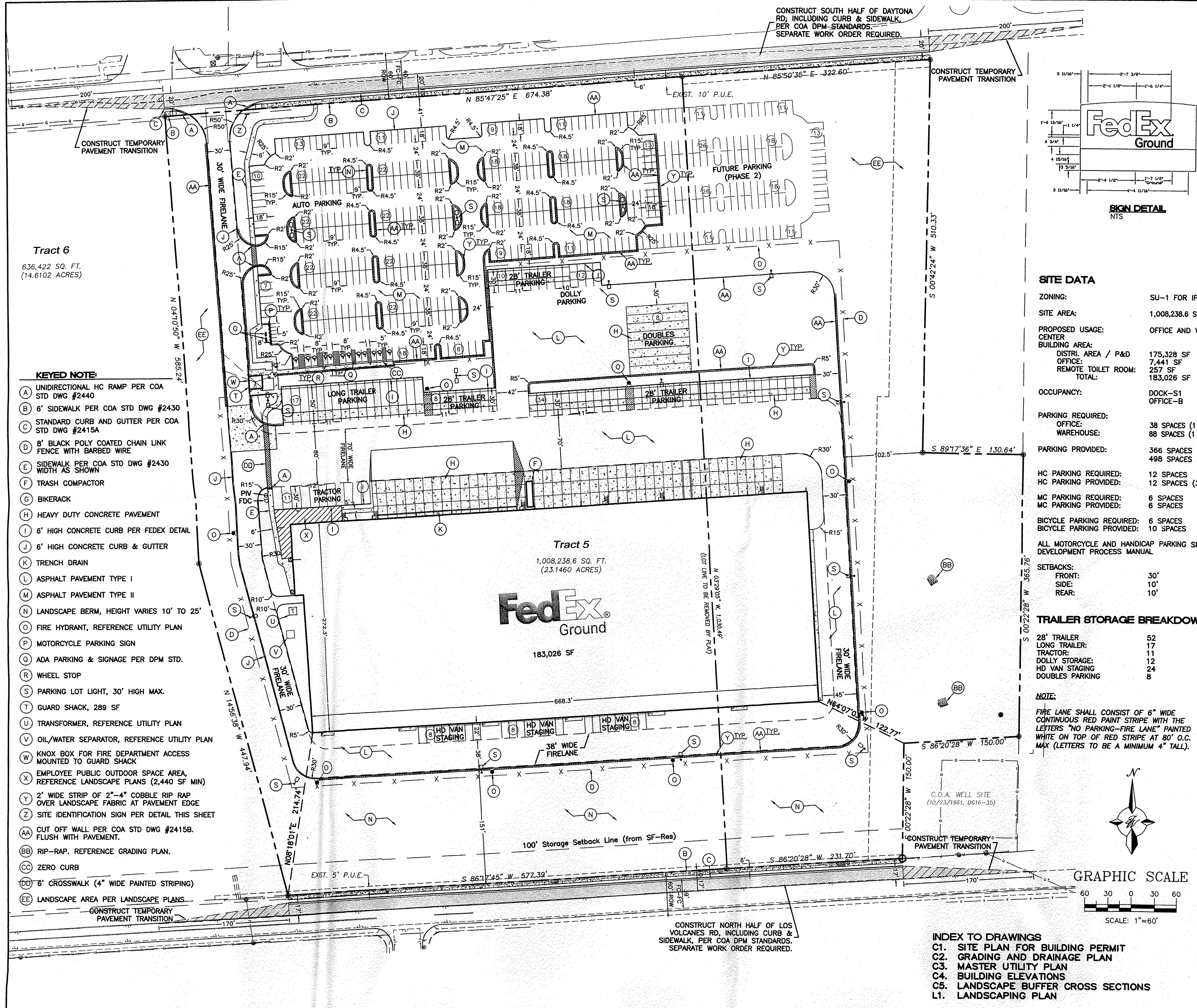
Is an Infrastructure List required? Yes No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	07-09-14
Traffic Engineer, Transportation Division	Date
<i>[Signature]</i>	07/09/14
Water Utility Development	Date
<i>[Signature]</i>	7-9-14
Parks & Recreation Department	Date
<i>[Signature]</i>	7-9-14
City Engineer	Date
<i>[Signature]</i>	
* Environmental Health Department (conditional)	Date
<i>[Signature]</i>	
Solid Waste Management	Date
<i>[Signature]</i>	7-9-14
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	SITE PLAN FOR SUBDIVISION	DATE 5/19/14
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	2013075-SPSE	SHEET # 1 OF 1
		JOB # 2013075

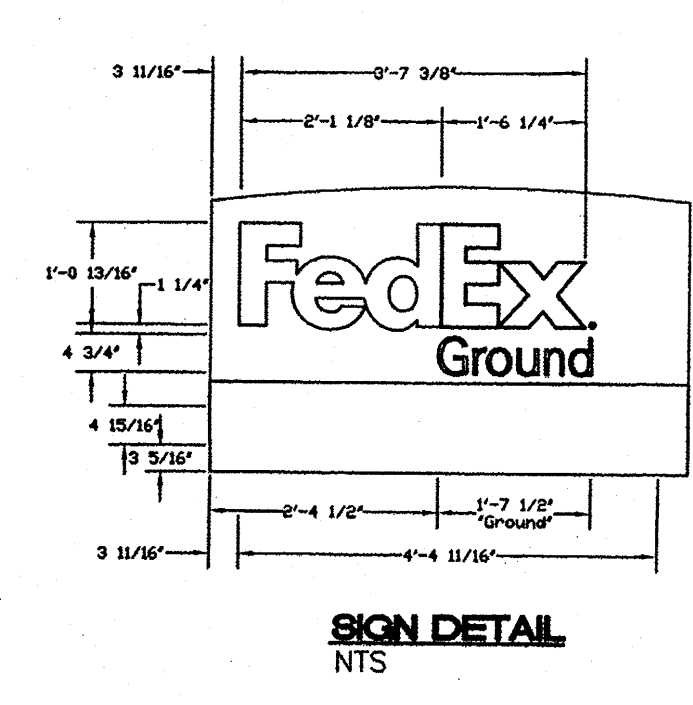
1009982



Tract 6
636,422 SQ. FT.
(14.6102 ACRES)

KEYED NOTE:

- (A) UNIDIRECTIONAL HC RAMP PER COA STD DWG #2440
- (B) 6" SIDEWALK PER COA STD DWG #2430
- (C) STANDARD CURB AND GUTTER PER COA STD DWG #2415A
- (D) 8" BLACK POLY COATED CHAIN LINK FENCE WITH BARBED WIRE
- (E) SIDEWALK PER COA STD DWG #2430 WIDTH AS SHOWN
- (F) TRASH COMPACTOR
- (G) BIKERACK
- (H) HEAVY DUTY CONCRETE PAVEMENT
- (I) 6" HIGH CONCRETE CURB PER FEDEX DETAIL
- (J) 6" HIGH CONCRETE CURB & GUTTER
- (K) TRENCH DRAIN
- (L) ASPHALT PAVEMENT TYPE I
- (M) ASPHALT PAVEMENT TYPE II
- (N) LANDSCAPE BERM, HEIGHT VARIES 10' TO 25'
- (O) FIRE HYDRANT, REFERENCE UTILITY PLAN
- (P) MOTORCYCLE PARKING SIGN
- (Q) ADA PARKING & SIGNAGE PER DPM STD.
- (R) WHEEL STOP
- (S) PARKING LOT LIGHT, 30' HIGH MAX.
- (T) GUARD SHACK, 289 SF
- (U) TRANSFORMER, REFERENCE UTILITY PLAN
- (V) OIL/WATER SEPARATOR, REFERENCE UTILITY PLAN
- (W) KNOX BOX FOR FIRE DEPARTMENT ACCESS MOUNTED TO GUARD SHACK
- (X) EMPLOYEE PUBLIC OUTDOOR SPACE AREA, REFERENCE LANDSCAPE PLANS (2,440 SF MIN)
- (Y) 2" WIDE STRIP OF 2"-4" COBBLE RIP RAP OVER LANDSCAPE FABRIC AT PAVEMENT EDGE
- (Z) SITE IDENTIFICATION SIGN PER DETAIL THIS SHEET
- (AA) CUT OFF WALL PER COA STD DWG #2415B. FLUSH WITH PAVEMENT.
- (BB) RIP-RAP. REFERENCE GRADING PLAN.
- (CC) ZERO CURB
- (DD) 6" CROSSWALK (4" WIDE PAINTED STRIPING)
- (EE) LANDSCAPE AREA PER LANDSCAPE PLANS



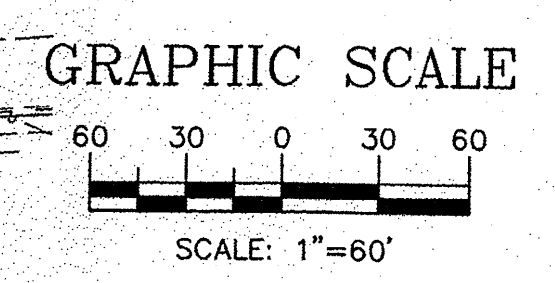
SITE DATA

ZONING:	SU-1 FOR IP AND C-2 USES
SITE AREA:	1,008,238.6 SF (23.146 ACRE)
PROPOSED USAGE:	OFFICE AND WAREHOUSE/DISTRIBUTION
BUILDING AREA:	
DISTRI. AREA / P&D	175,328 SF
OFFICE:	7,441 SF
REMOTE TOILET ROOM:	257 SF
TOTAL:	183,026 SF
OCCUPANCY:	DOCK-S1 OFFICE-B
PARKING REQUIRED:	
OFFICE:	38 SPACES (1 SPACE PER 200 SF)
WAREHOUSE:	88 SPACES (1 SPACE PER 2000 SF)
PARKING PROVIDED:	366 SPACES (PHASE 1 TOTAL) 498 SPACES (PHASE 1 & 2 TOTAL)
HC PARKING REQUIRED:	12 SPACES
HC PARKING PROVIDED:	12 SPACES (3 VAN ACCESSIBLE)
MC PARKING REQUIRED:	6 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	6 SPACES
BICYCLE PARKING PROVIDED:	10 SPACES
ALL MOTORCYCLE AND HANDICAP PARKING SPACES SHALL BE PER DEVELOPMENT PROCESS MANUAL	
SETBACKS:	
FRONT:	30'
SIDE:	10'
REAR:	10'

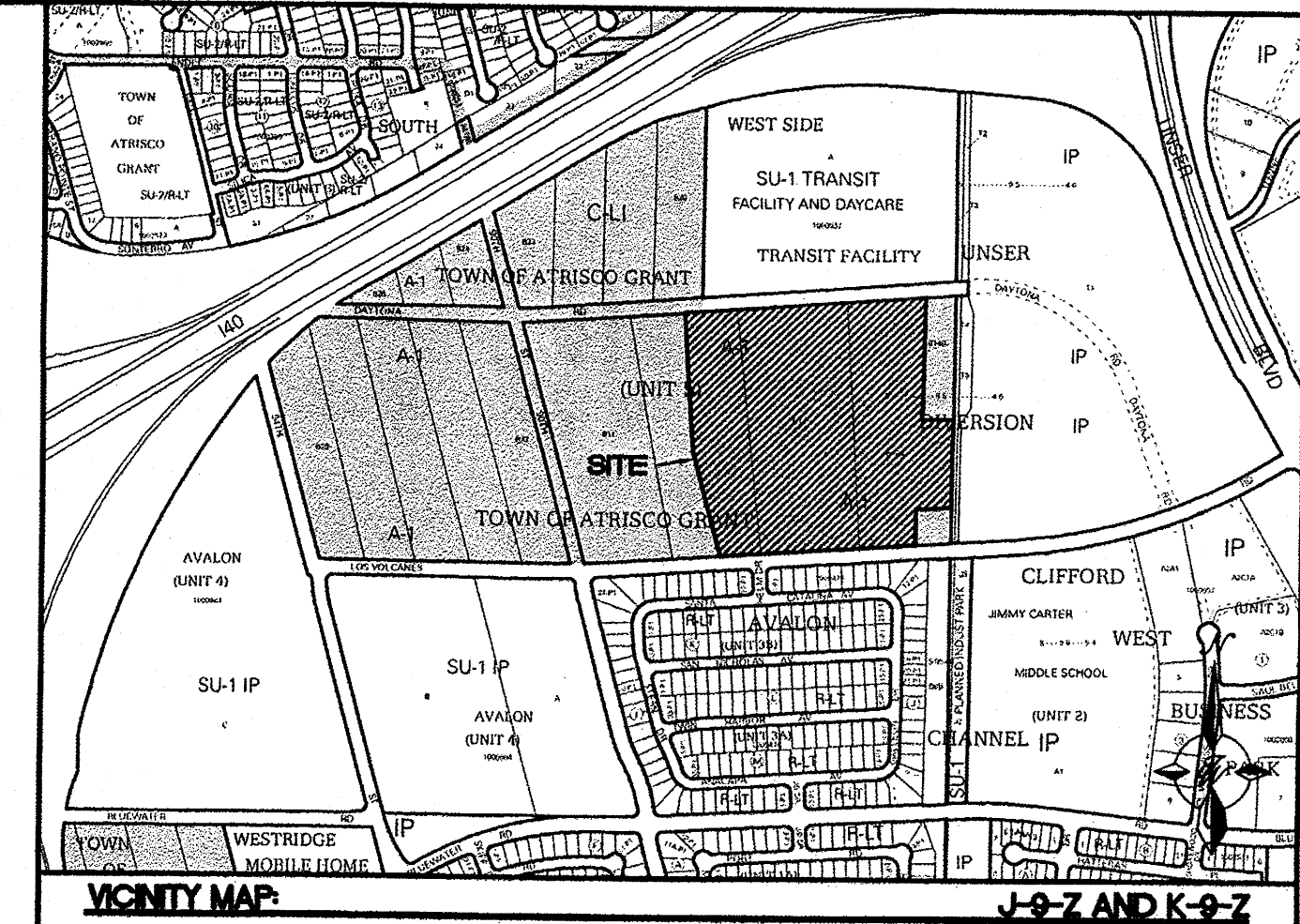
TRAILER STORAGE BREAKDOWN

28' TRAILER	52
LONG TRAILER	17
TRACTOR	11
DOLLY STORAGE	12
HD VAN STAGING	24
DOUBLES PARKING	8

NOTE:
FIRE LANE SHALL CONSIST OF 6" WIDE CONTINUOUS RED PAINT STRIPE WITH THE LETTERS "NO PARKING-FIRE LANE" PAINTED WHITE ON TOP OF RED STRIPE AT 80' O.C. MAX (LETTERS TO BE A MINIMUM 4" TALL).



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. BUILDING ELEVATIONS
 - C5. LANDSCAPE BUFFER CROSS SECTIONS
 - L1. LANDSCAPING PLAN



LEGAL DESCRIPTION:
TRACTS 4 AND 5, TOWN OF ATRISCO GRANT UNIT 5

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- RETAINING WALL
- STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STRIPING
- FIRELANE
- RIP-RAP

PROJECT NUMBER: 1009982
APPLICATION NUMBER: J4EPC-40014

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

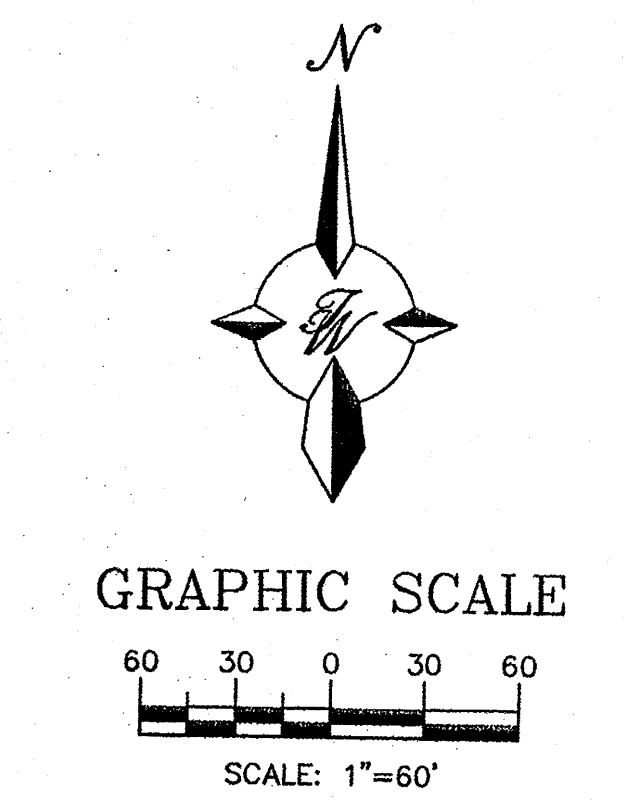
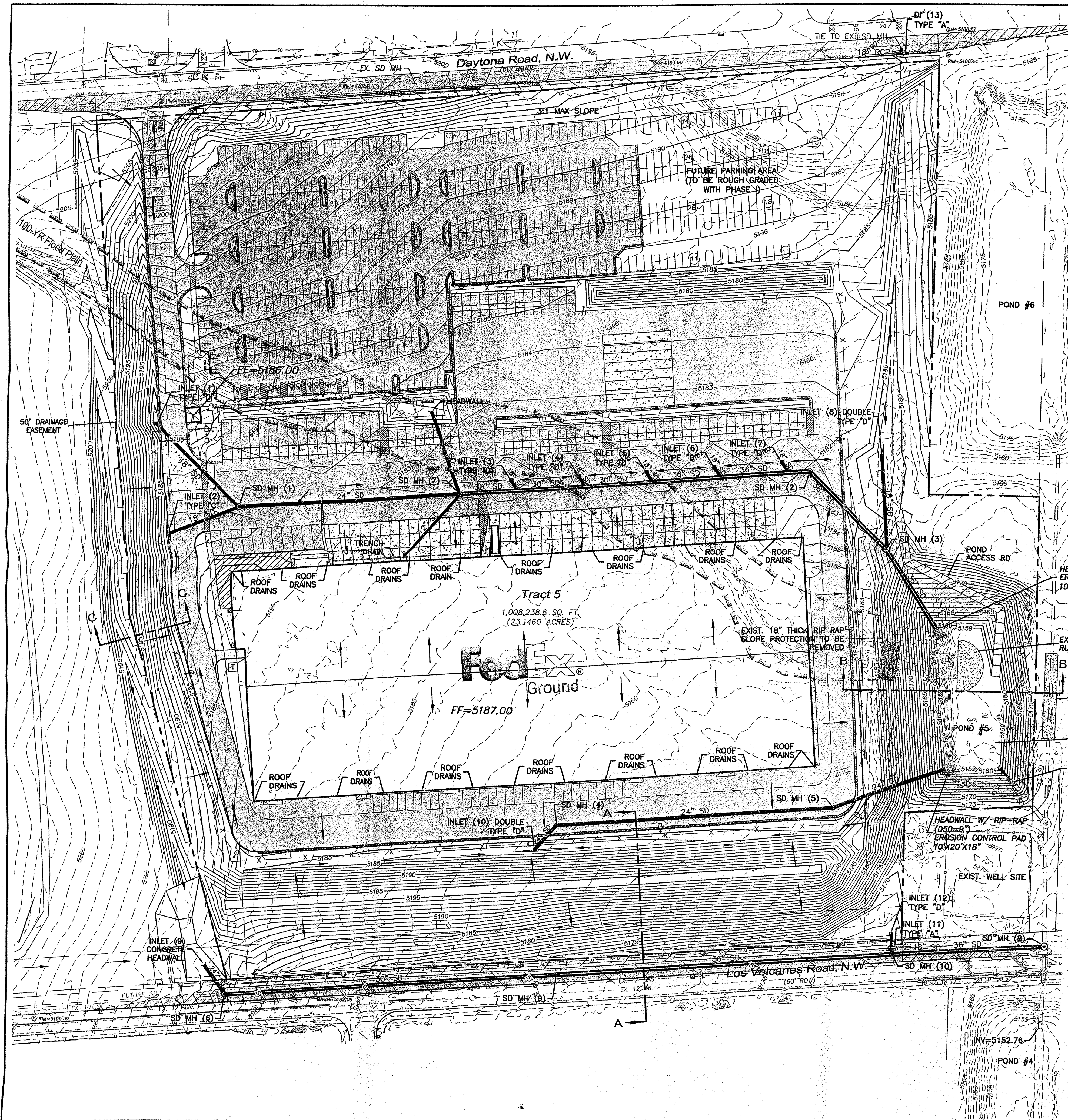
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

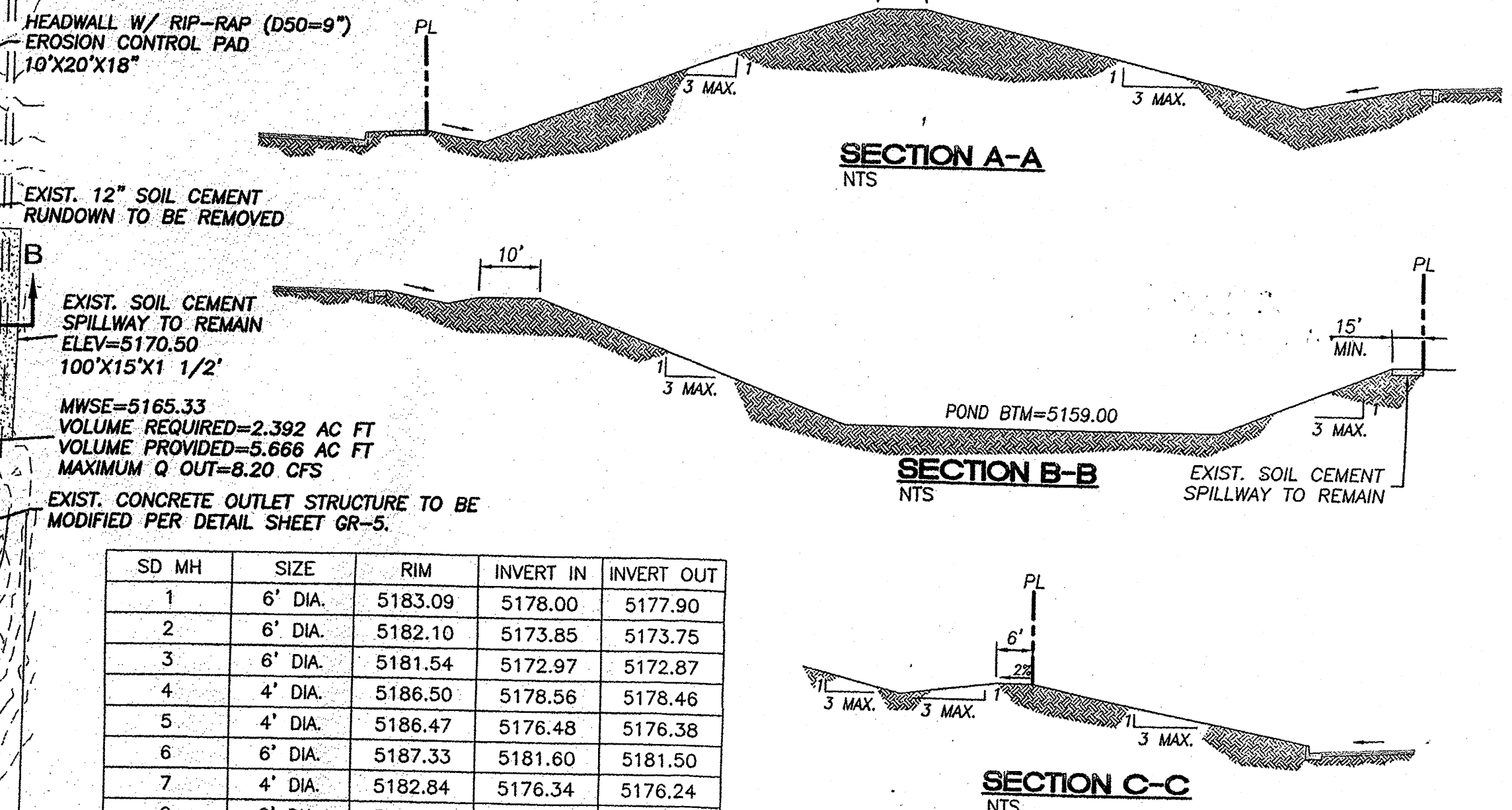
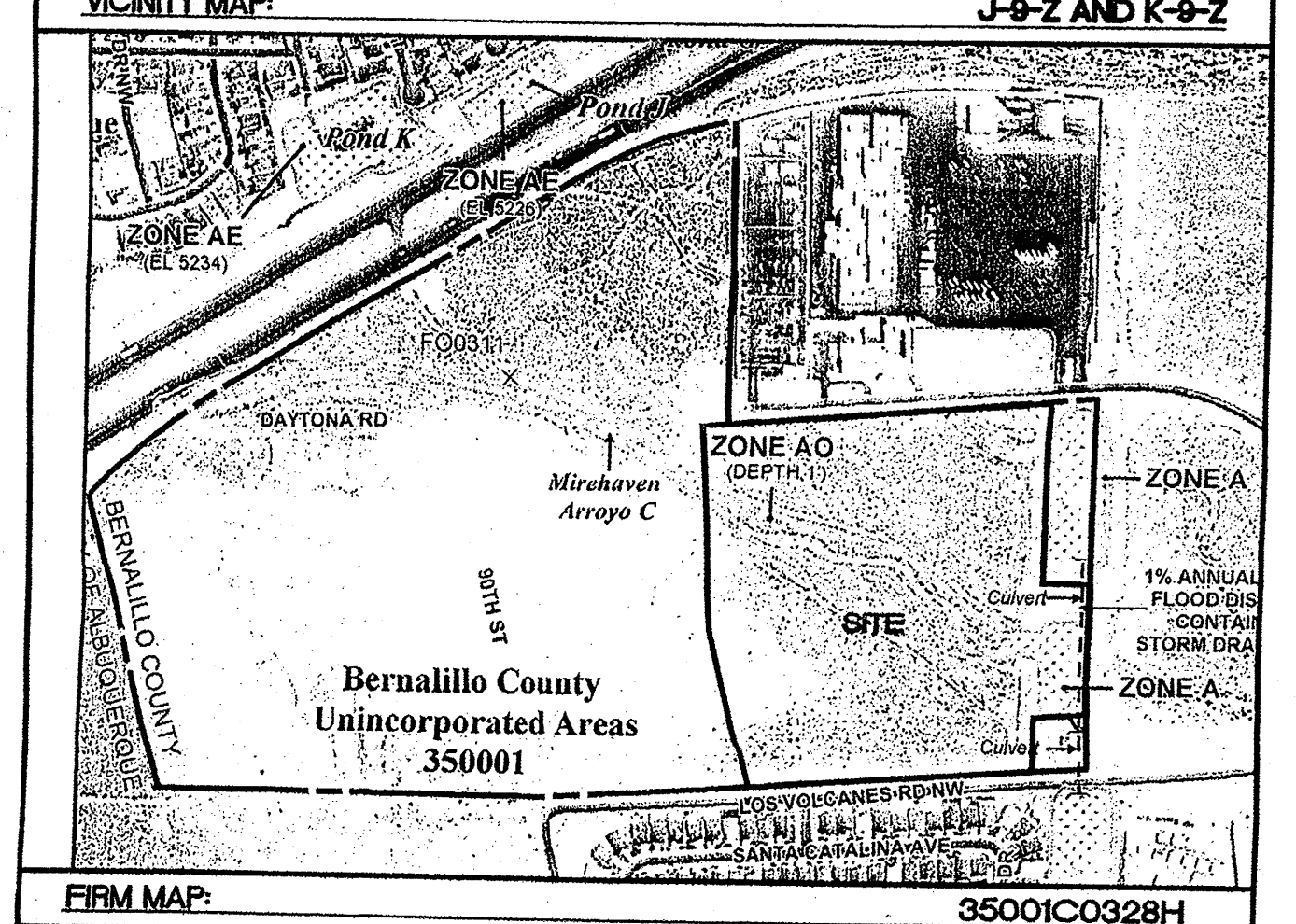
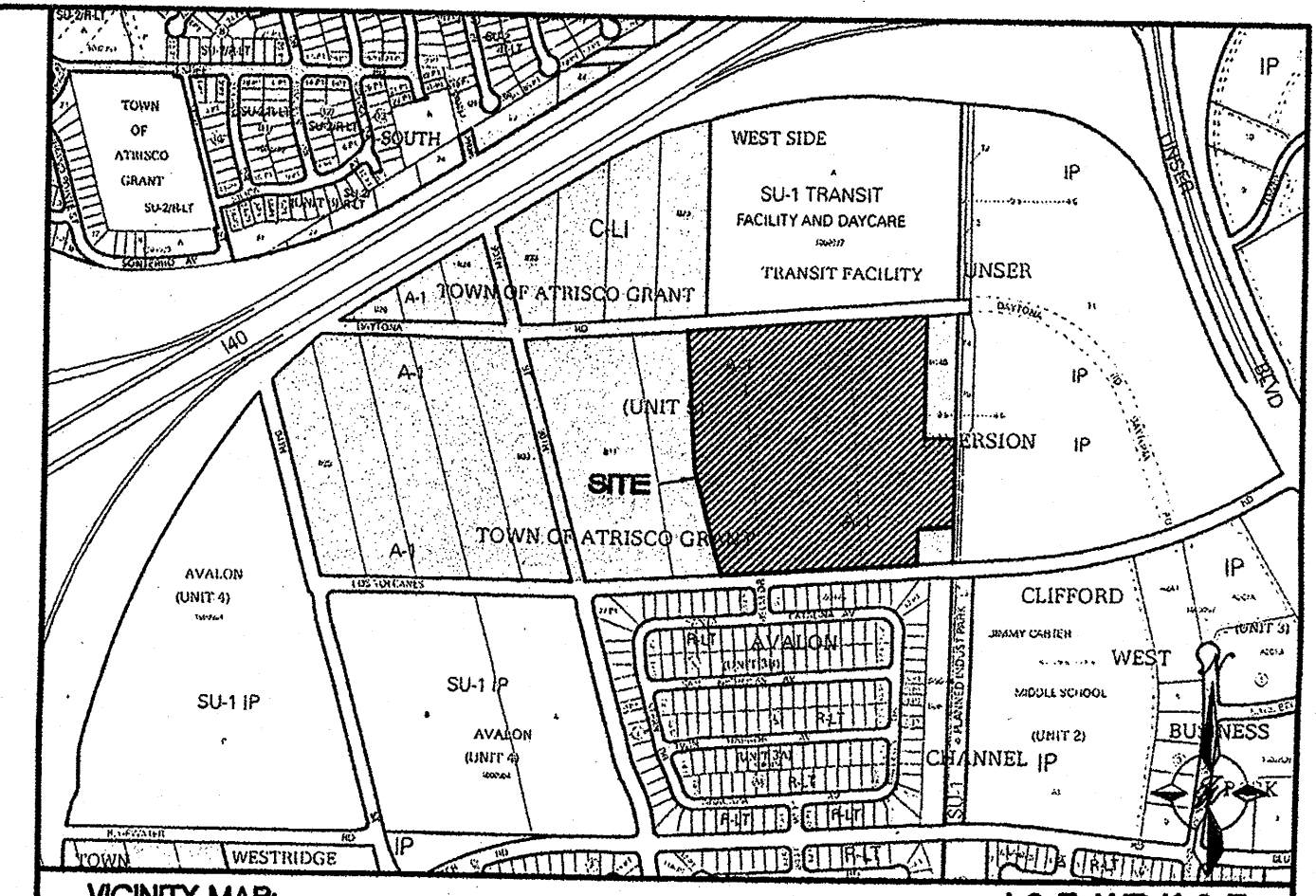
Traffic Engineer, Transportation Division	<i>[Signature]</i>	07-29-14
Water Utility Development	<i>[Signature]</i>	09/09/14
Parks & Recreation Department	<i>[Signature]</i>	7-9-14
City Engineer	<i>[Signature]</i>	2-4-15
Environmental Health Department (conditional)	N/A	-
Solid Waste Management	<i>[Signature]</i>	02-27-14
DRB Chairperson, Planning Department	<i>[Signature]</i>	2-5-15

Environmental Health, if necessary

	FEDEX GROUND ALBUQUERQUE, NM SITE PLAN FOR BUILDING PERMIT	DRAWN BY DY DATE 5/16/14 2013075-SPE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C1 JOB # 2013075



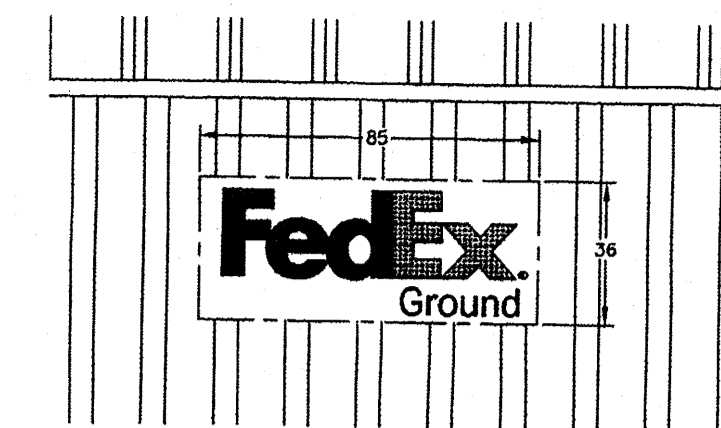
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - BUILDING
 - SIDEWALK
 - 5010 — CONTOUR MAJOR
 - 5011 — CONTOUR MINOR
 - x 5048.25 — SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - - - 5010 — EXISTING CONTOUR MAJOR
 - - - 5011 — EXISTING CONTOUR MINOR
 - x 5048.25 — EXISTING SPOT ELEVATION
 - ▨ RIP-RAP



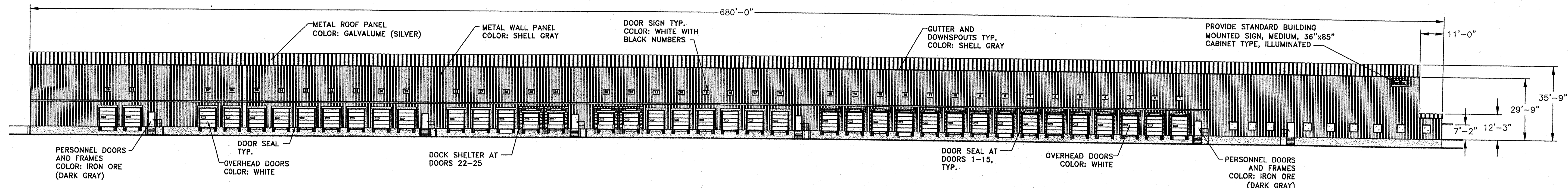
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1	6" DIA.	5183.09	5178.00	5177.90
2	6" DIA.	5182.10	5173.85	5173.75
3	6" DIA.	5181.54	5172.97	5172.87
4	4" DIA.	5186.50	5178.56	5178.46
5	4" DIA.	5186.47	5178.48	5178.38
6	6" DIA.	5187.33	5181.60	5181.50
7	4" DIA.	5182.84	5176.34	5176.24
8	8" DIA.	5163.98	5155.15	5155.05
9	6" DIA.	5171.27	5166.77	5166.67
10	6" DIA.	5165.39	5160.39	5160.29

DI	TYPE	GRATE	INVERT
1	"D"	5183.00	5179.50
2	"C"	5182.50	5179.00
3	"D"	5181.60	5178.10
4	"D"	5181.60	5178.10
5	"D"	5181.60	5178.10
6	"D"	5181.60	5178.10
7	"D"	5181.60	5178.10
8	DOUBLE "D"	5177.85	5174.35
9	HEADWALL	-	5183.00
10	DOUBLE "D"	5182.80	5178.80
11	"A"	5165.29	5161.79
12	"D"	5167.50	5164.00
13	"A"	5188.93	5185.43

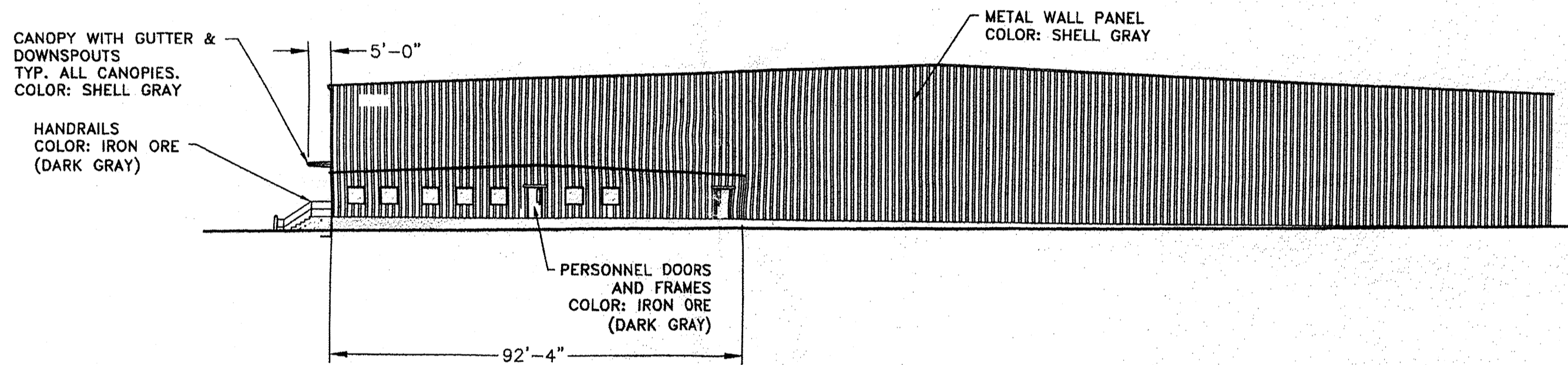
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	OVERALL GRADING AND DRAINAGE PLAN	DATE 7-3-14
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawest.com	2013075-GRE SHEET # C2 JOB # 2013075



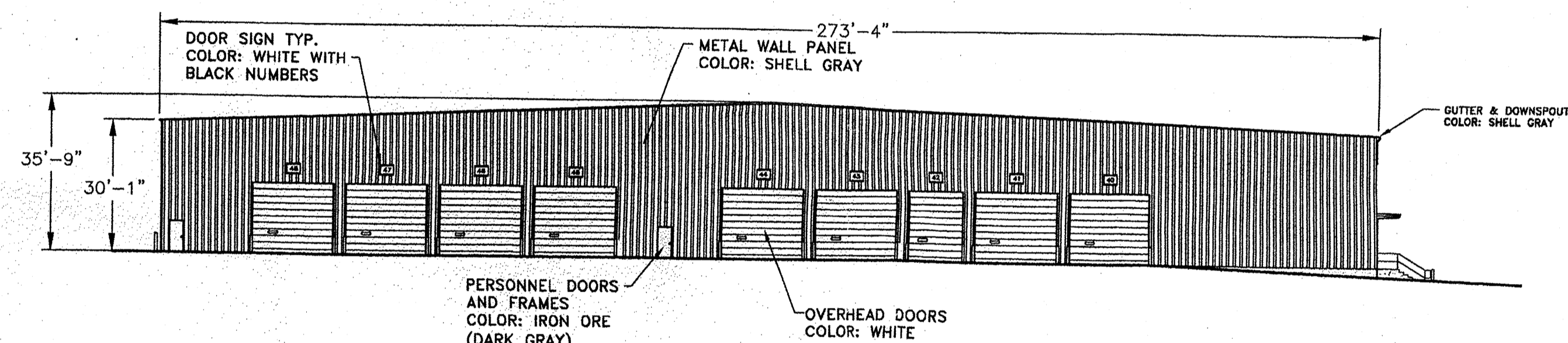
SIGN DETAIL
SCALE: NTS



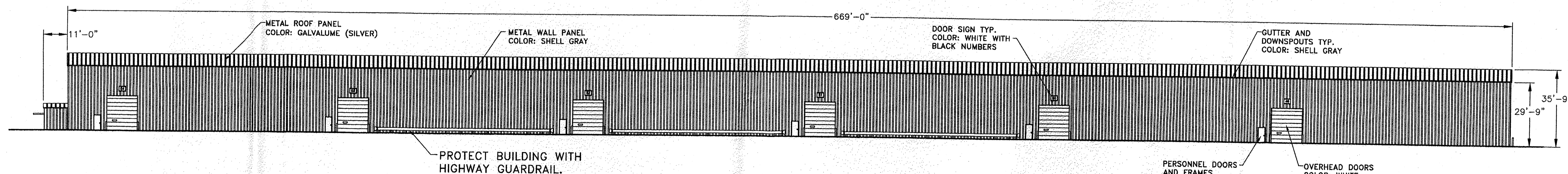
I NORTH ELEVATION
SCALE: 1" = 25'-0"



IA WEST ELEVATION
SCALE: 1" = 25'-0"

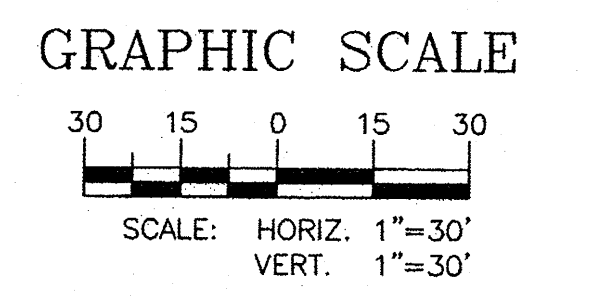
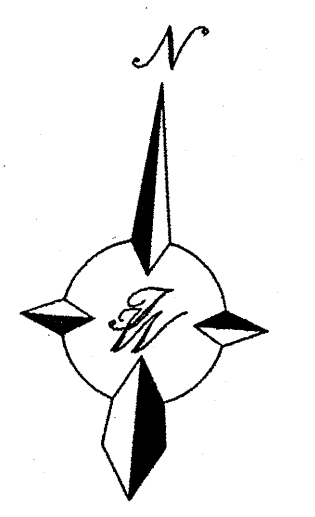
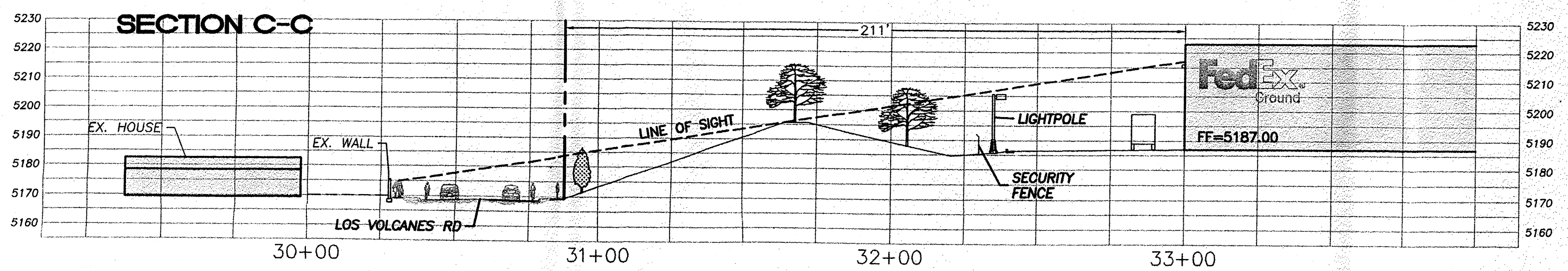
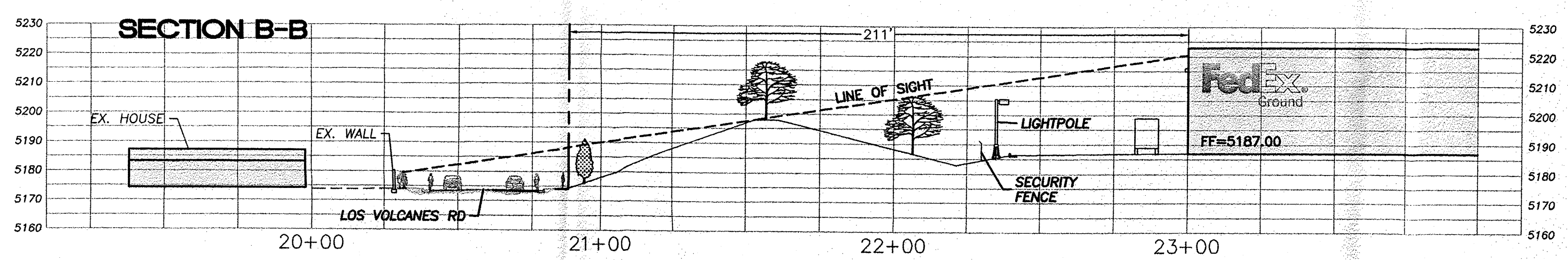
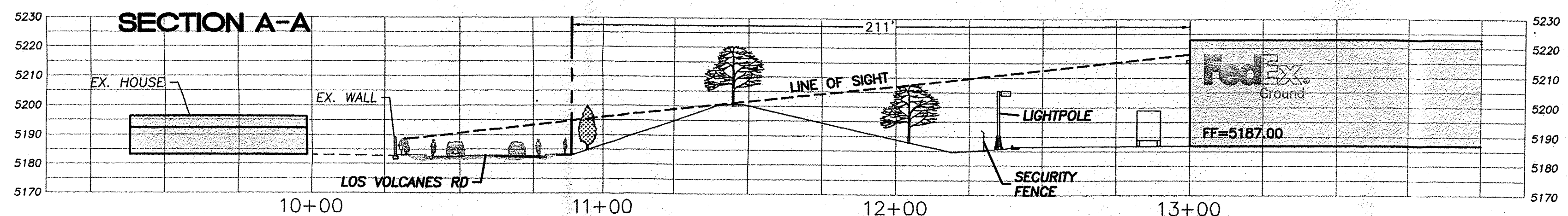
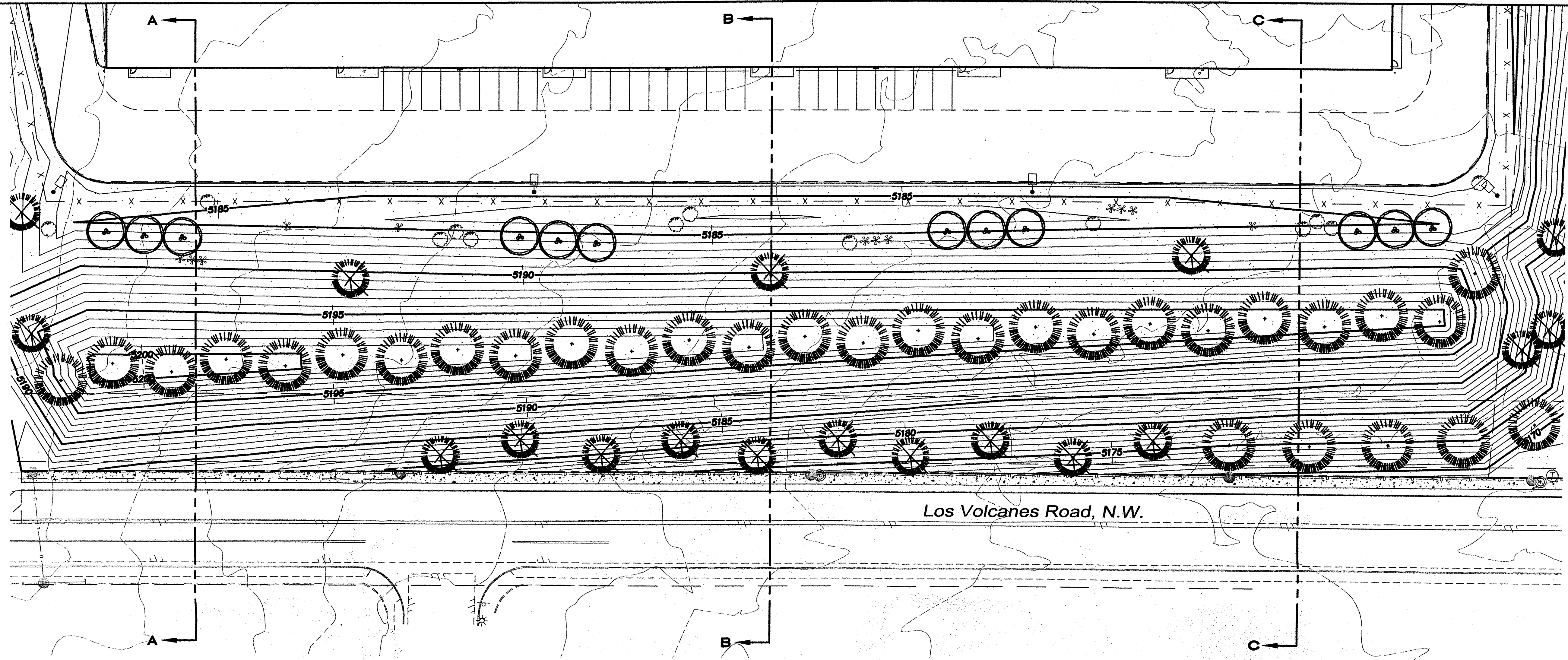


IB EAST ELEVATION
SCALE: 1" = 25'-0"

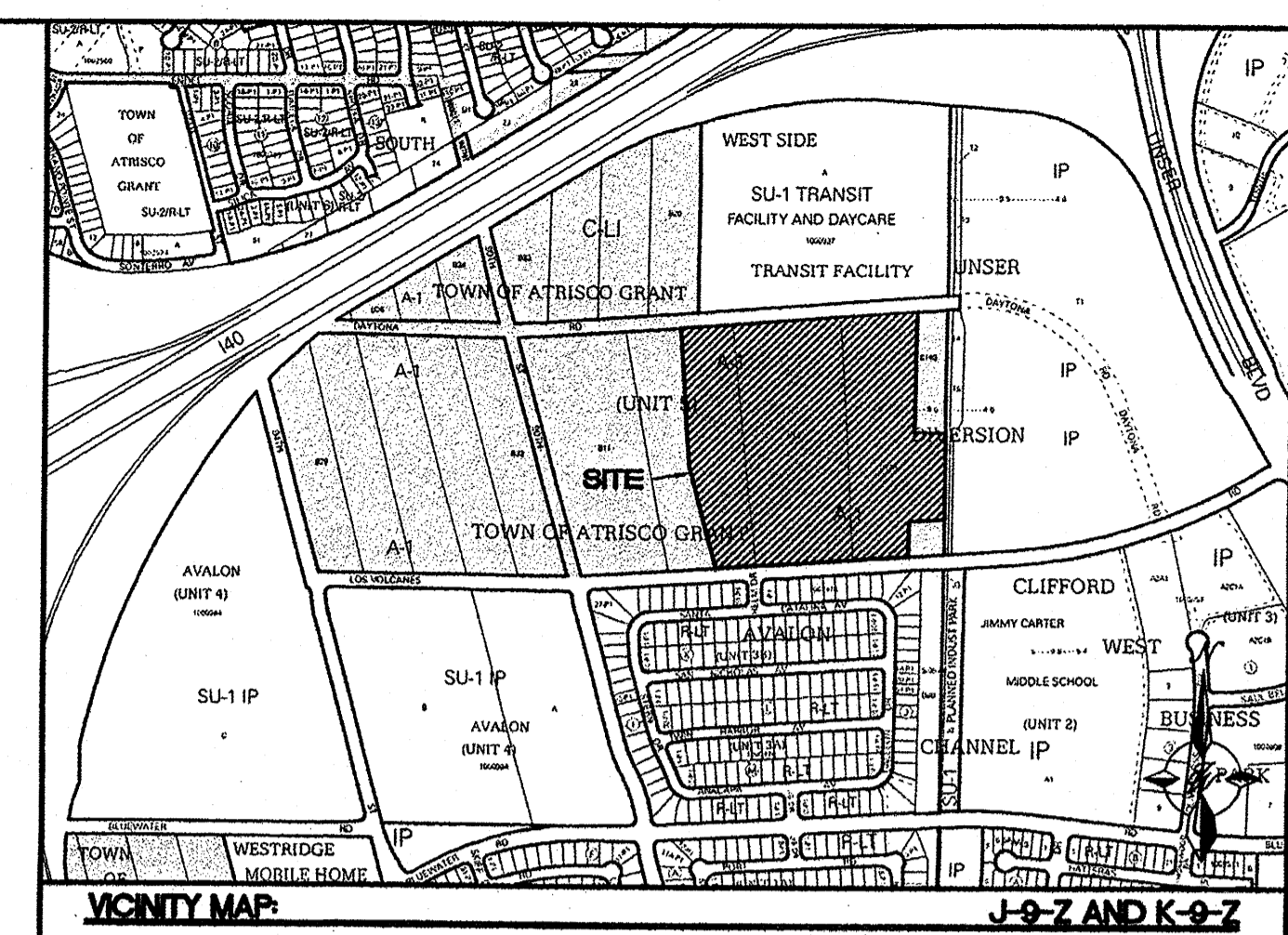
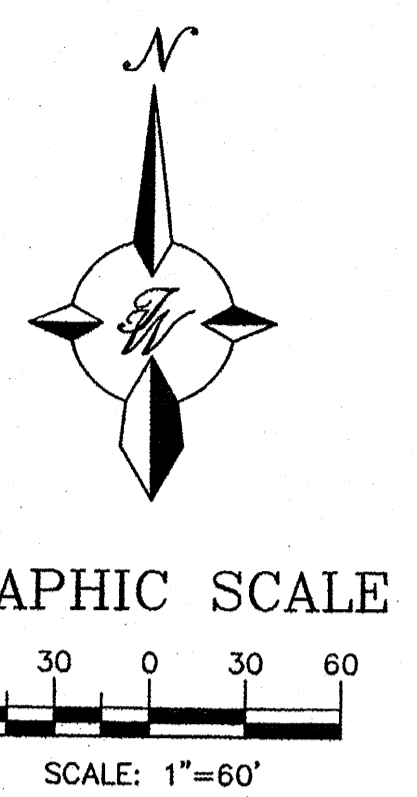
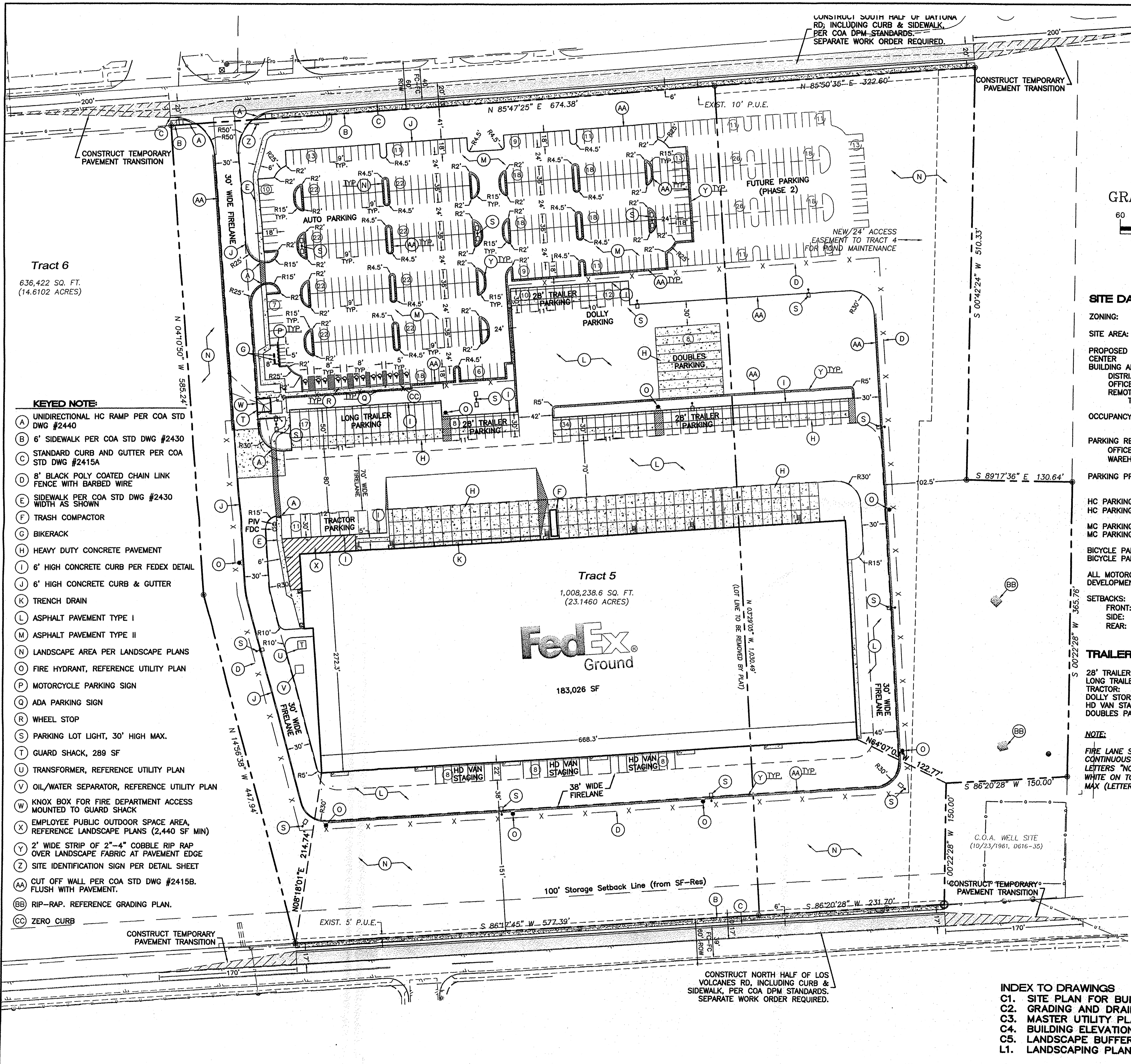


IC SOUTH ELEVATION
SCALE: 1" = 25'-0"

	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY BJJ
	BUILDING ELEVATIONS	DATE 3/31/14
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2013075-BUILDING ELEVATIONS
		SHEET # C4
		JOB # 2013075



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	LANDSCAPE BUFFER CROSS SECTIONS	DATE 3/31/14
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		201.3075-X-SECTIONS
		SHEET # C5
		JOB # 2013075



LEGAL DESCRIPTION:
TRACTS 4 AND 5, TOWN OF TRISCO GRANT UNIT 5

Tract 6
636,422 SQ. FT.
(14.6102 ACRES)

- KEYED NOTE:**
- (A) UNIDIRECTIONAL HC RAMP PER COA STD DWG #2440
 - (B) 6' SIDEWALK PER COA STD DWG #2430
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 - (L) ASPHALT PAVEMENT TYPE I
 - (M) ASPHALT PAVEMENT TYPE II
 - (N) LANDSCAPE AREA PER LANDSCAPE PLANS
 - (O) FIRE HYDRANT, REFERENCE UTILITY PLAN
 - (P) MOTORCYCLE PARKING SIGN
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 - (S) PARKING LOT LIGHT, 30' HIGH MAX.
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TRAILER STORAGE BREAKDOWN

28' TRAILER:	52
LONG TRAILER:	17
TRACTOR:	11
DOLLY STORAGE:	12
HD VAN STAGING:	24
DOUBLES PARKING:	8

NOTE:
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APPLICATION NUMBER: _____

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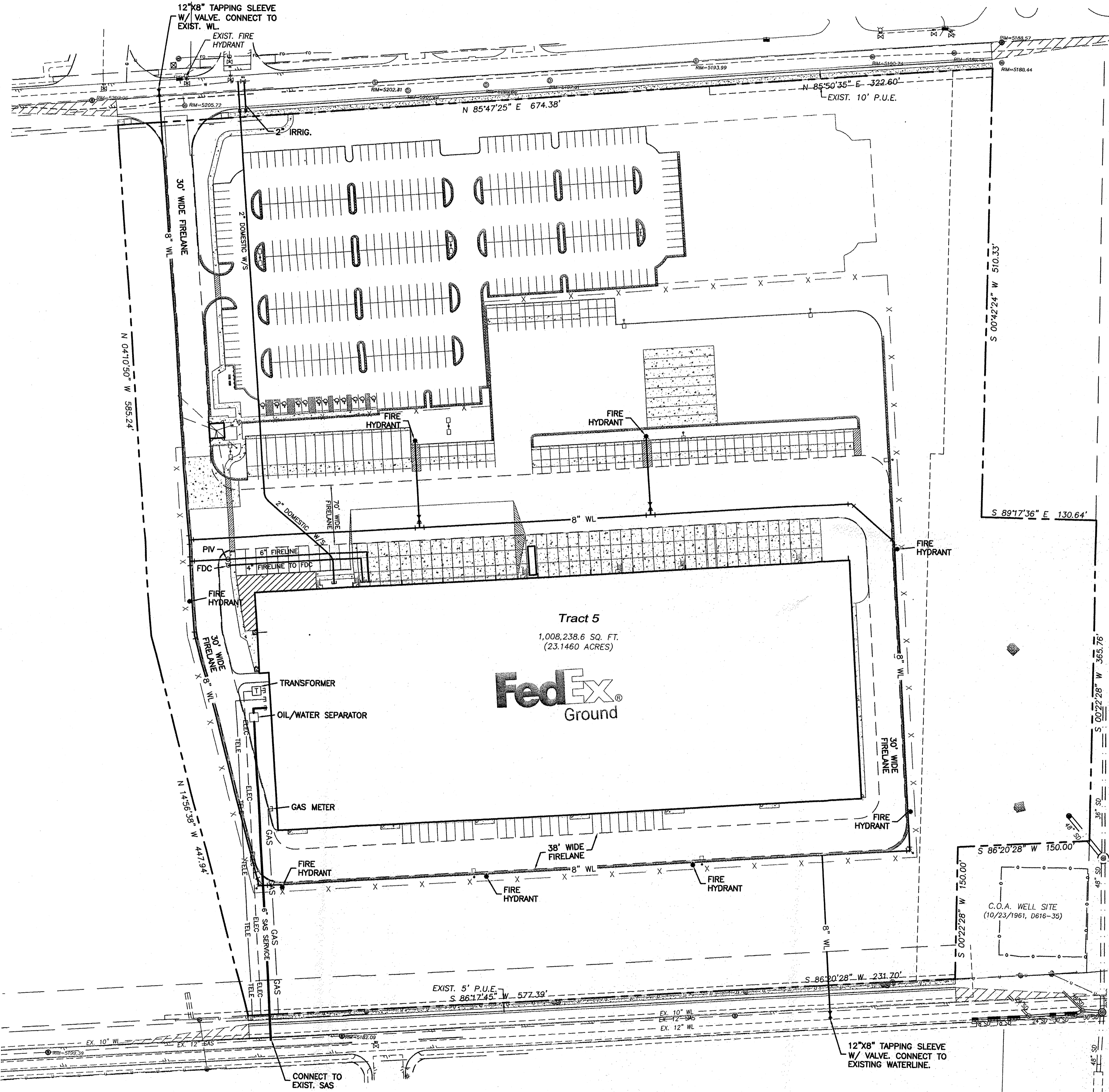
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
<i>Roy Muga</i> Solid Waste Management	5-19-2014 Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

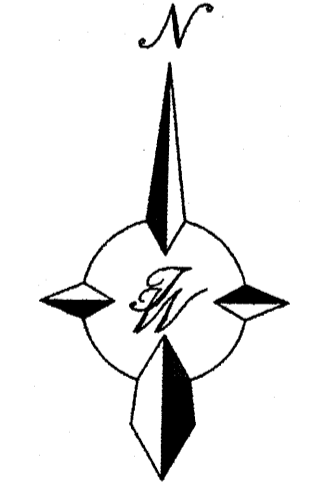
ENGINEER'S SEAL	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 5/16/14
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierawestllc.com	2013075-SPE
		SHEET # C1
		JOB # 2013075

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. BUILDING ELEVATIONS
 - C5. LANDSCAPE BUFFER CROSS SECTIONS
 - L1. LANDSCAPING PLAN

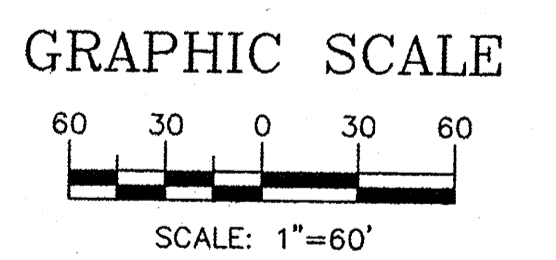


- LEGEND**
- ==== CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - - - CENTERLINE
 - ===== BUILDING
 - ===== SIDEWALK
 - ===== SCREEN WALL
 - ===== RETAINING WALL
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - 36" SD --- STORM SEWER LINE
 - 8" SAS --- SANITARY SEWER LINE
 - 8" WL --- WATERLINE
 - SINGLE CLEAN OUT
 - DOUBLE CLEAN OUT
 - EXISTING SD MANHOLE
 - EXISTING INLET
 - EXISTING SAS MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER
 - EXISTING POWER POLE
 - EXISTING GAS VALVE
 - - - EXISTING OVERHEAD UTILITIES
 - - - EX. UGE --- EXISTING UNDERGROUND UTILITIES
 - - - EX. 2" GAS --- EXISTING GAS
 - - - EX. 8" SAS --- EXISTING SANITARY SEWER LINE
 - - - EX. 10" WL --- EXISTING WATER LINE
 - - - EX. 18" RCP --- EXISTING STORM SEWER LINE
 - - - FIRELANE

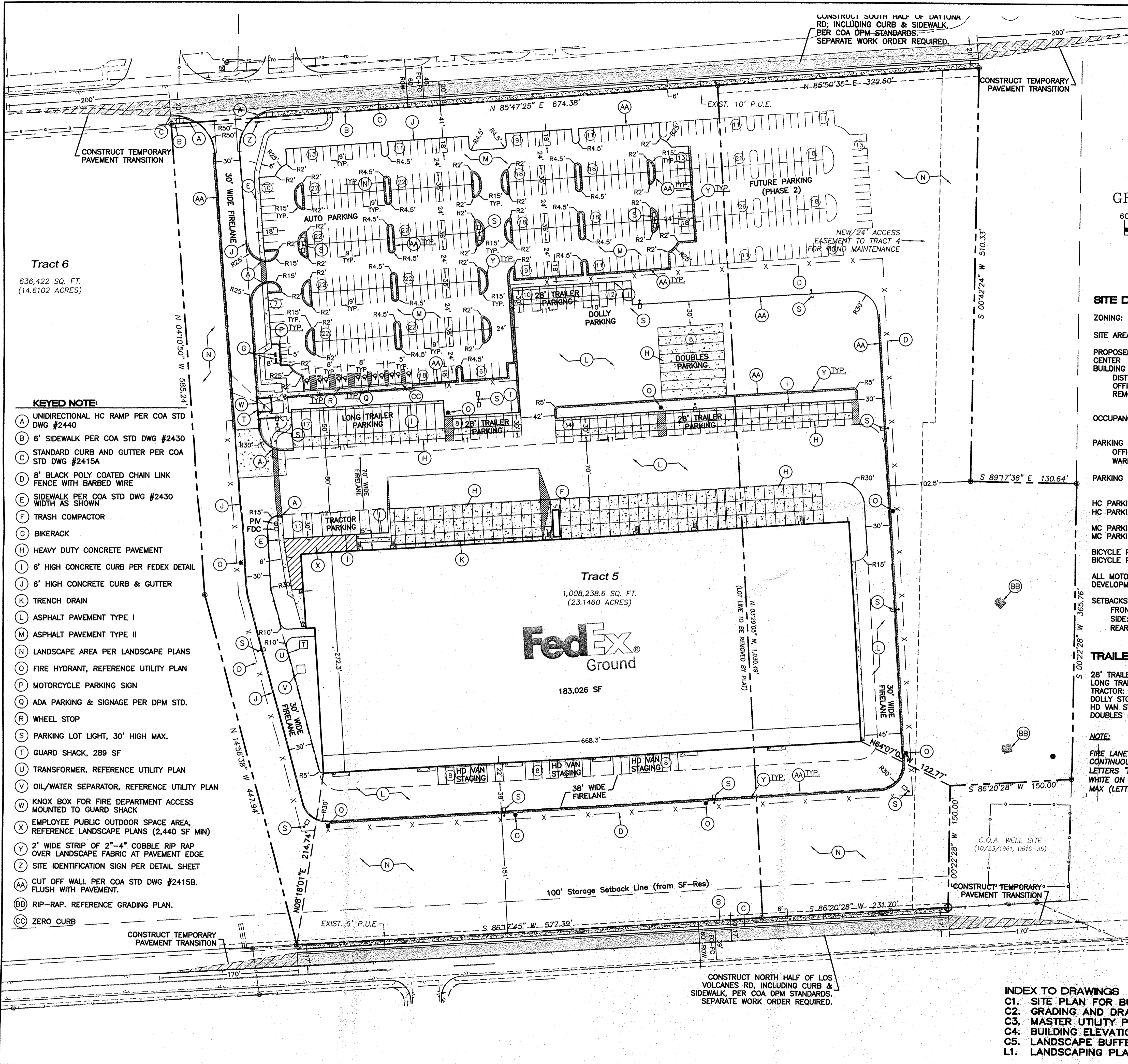
Bldg Size: 183,026 SF
 CONST. TYPE: II-B SPARKLED
 OCCUPANCY TYPE: S-1



APD PLANS CHECKING OFFICE
 924-3511
 APPROVED/DISAPPROVED
 5/19/14



ENGINEER'S SEAL	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	CONCEPTUAL MASTER UTILITY PLAN	DATE 5/16/14
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2013075-MUE
		SHEET # C3
		JOB # 2013075

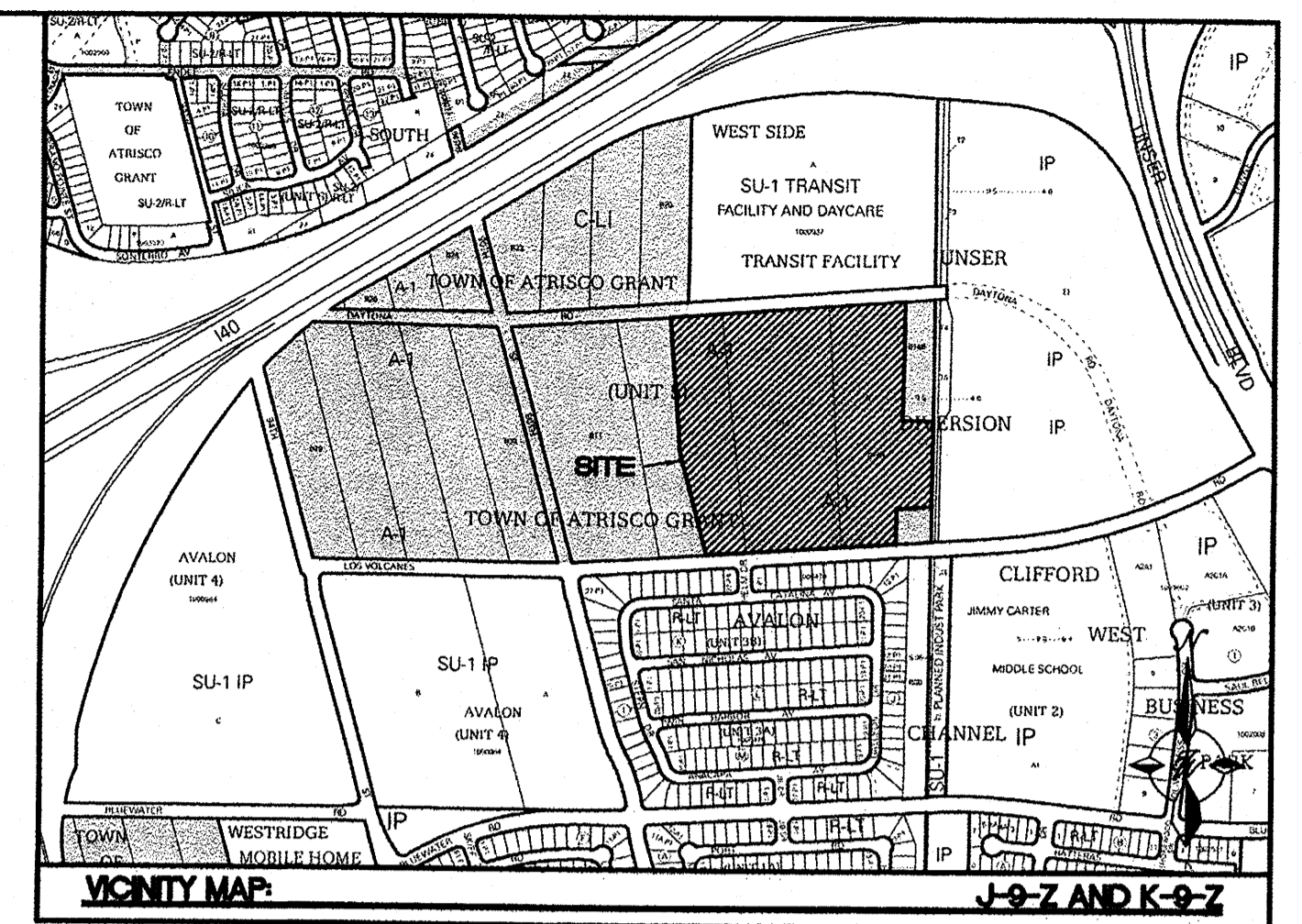
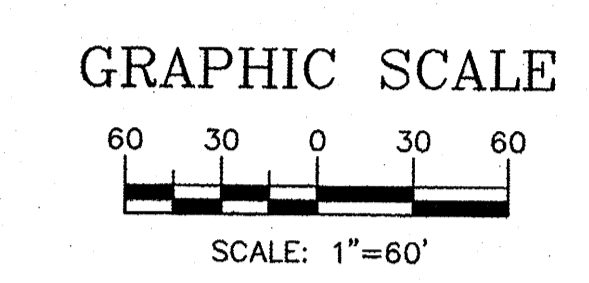


Tract 6
636,422 SQ. FT.
(14.6102 ACRES)

KEYED NOTE:

- (A) UNIDIRECTIONAL HC RAMP PER COA STD DWG #2440
- (B) 6" SIDEWALK PER COA STD DWG #2430
- (C) STANDARD CURB AND GUTTER PER COA STD DWG #2415A
- (D) 6" BLACK POLY COATED CHAIN LINK FENCE WITH BARBED WIRE
- (E) SIDEWALK PER COA STD DWG #2430 WIDTH AS SHOWN
- (F) TRASH COMPACTOR
- (G) BIKERACK
- (H) HEAVY DUTY CONCRETE PAVEMENT
- (I) 6" HIGH CONCRETE CURB PER FEDEX DETAIL
- (J) 6" HIGH CONCRETE CURB & GUTTER
- (K) TRENCH DRAIN
- (L) ASPHALT PAVEMENT TYPE I
- (M) ASPHALT PAVEMENT TYPE II
- (N) LANDSCAPE AREA PER LANDSCAPE PLANS
- (O) FIRE HYDRANT, REFERENCE UTILITY PLAN
- (P) MOTORCYCLE PARKING SIGN
- (Q) ADA PARKING & SIGNAGE PER DPM STD.
- (R) WHEEL STOP
- (S) PARKING LOT LIGHT, 30" HIGH MAX.
- (T) GUARD SHACK, 289 SF
- (U) TRANSFORMER, REFERENCE UTILITY PLAN
- (V) OIL/WATER SEPARATOR, REFERENCE UTILITY PLAN
- (W) KNOX BOX FOR FIRE DEPARTMENT ACCESS MOUNTED TO GUARD SHACK
- (X) EMPLOYEE PUBLIC OUTDOOR SPACE AREA, REFERENCE LANDSCAPE PLANS (2,440 SF MIN)
- (Y) 2' WIDE STRIP OF 2"-4" COBBLE RIP RAP OVER LANDSCAPE FABRIC AT PAVEMENT EDGE
- (Z) SITE IDENTIFICATION SIGN PER DETAIL SHEET
- (AA) CUT OFF WALL PER COA STD DWG #2415B. FLUSH WITH PAVEMENT.
- (BB) RIP-RAP. REFERENCE GRADING PLAN.
- (CC) ZERO CURB

Tract 5
1,008,238.6 SQ. FT.
(23.1460 ACRES)
FedEx Ground
183,026 SF



LEGAL DESCRIPTION:
TRACTS 4 AND 5, TOWN OF ATRISCO GRANT UNIT 5

SITE DATA

ZONING:	SU-1 FOR IP AND C-2 USES
SITE AREA:	1,008,238.6 SF (23.146 ACRE)
PROPOSED USAGE:	OFFICE AND WAREHOUSE/DISTRIBUTION CENTER
BUILDING AREA:	175,328 SF
DISTR. AREA / P&D:	7,441 SF
OFFICE:	257 SF
REMOTE TOILET ROOM:	183,026 SF, TYPE II-B SPRINKLED
TOTAL:	
OCCUPANCY:	DOCK-S1 OFFICE-B
PARKING REQUIRED:	OFFICE: 38 SPACES (1 SPACE PER 200 SF) WAREHOUSE: 88 SPACES (1 SPACE PER 2000 SF)
PARKING PROVIDED:	366 SPACES (PHASE 1 TOTAL) 498 SPACES (PHASE 1 & 2 TOTAL)
HC PARKING REQUIRED:	12 SPACES
HC PARKING PROVIDED:	12 SPACES (3 VAN ACCESSIBLE)
MC PARKING REQUIRED:	6 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	6 SPACES
BICYCLE PARKING PROVIDED:	10 SPACES
ALL MOTORCYCLE AND HANDICAP PARKING SPACES SHALL BE PER DEVELOPMENT PROCESS MANUAL	
SETBACKS:	FRONT: 30' SIDE: 10' REAR: 10'

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- SIDEWALK
- ▨ RETAINING WALL
- ☆ STREET LIGHTS
- STRIPING
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▨ EXISTING SIDEWALK
- - - EXISTING STRIPING
- ▨ FIRELANE
- ▨ RIP-RAP

TRAILER STORAGE BREAKDOWN

28' TRAILER	52
LONG TRAILER	17
TRACTOR	11
DOLLY STORAGE	12
HD VAN STAGING	24
DOUBLES PARKING	8

NOTE:

FIRE LANE SHALL CONSIST OF 6" WIDE CONTINUOUS RED PAINT STRIPE WITH THE LETTERS "NO PARKING-FIRE LANE" PAINTED WHITE ON TOP OF RED STRIPE AT 80' O.C. MAX (LETTERS TO BE A MINIMUM 4" TALL).

AED PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
APPROVED
SIGNATURE & DATE 05-14-14

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. BUILDING ELEVATIONS
 - C5. LANDSCAPE BUFFER CROSS SECTIONS
 - L1. LANDSCAPING PLAN

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 5/16/14
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2013075-SPE
		SHEET # C1
		JOB # 2013075

TRACT A
WEST SIDE TRANSIT FACILITY
UNIT NO. 5
(08/23/2002, 2002C-314)

Daytona Road, N.W.
(60' ROW)

TRACT B-14B
UNDER DIVERSION CHANNEL CORRIDOR
(02/21/1996, 96C-77)

OUTDOOR
EMPLOYEE AREA
SEE ENLARGEMENT,
SHEET L2B

FedEx
Ground

Los Volcanes Road, N.W.
(60' ROW)

AVALON SUBDIVISION
UNIT 3

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALL TREES PER DETAIL B, C & D/L3		
			QTY.	SIZE	HT. X SPR.
	<i>Sapindus drummondii</i>	WESTERN SOAPBERRY	33	2" CAL.	30' X 30'
	<i>Chilopsis linearis</i>	DESERT WILLOW	57	2" CAL.	20' X 20'
	<i>Pinus nigra</i>	AUSTRIAN PINE	41	10'-12' HT. B&B	35' X 30'
	<i>Pinus edulis</i>	PINYON PINE	25	10'-12' HT. B&B	30' X 20'
	<i>Nolina microcarpa</i>	BEARGRASS	64	3 GAL.	5' X 7'
	<i>Fallugia paradoxa</i>	APACHE PLUME	66	3 GAL.	5' X 5'
	<i>Mahonia fremontii</i>	BLUE ALGERITA	40	1 GAL.	4' X 4'
	<i>Baccharis x 'Stans'</i>	THOMPSON BROOM	58	3 GAL.	2' X 5'
	<i>Ericameria laurifolia</i>	TURPENTINE BUSH	21	1 GAL.	2' X 3'
	<i>Rhus trilobata</i>	THREELEAF SUMAC	41	3 GAL.	5' X 7'
	<i>Artemisia filifolia</i>	THREADLEAF SAGE	33	1 GAL.	4' X 4'

SEEDING SCHEDULE

BOTANICAL NAME	COMMON NAME	PLS/AC
XERIC SEED MIX		
<i>Andropogon scoparius</i>	LITTLE BLUESTEM	3.0
<i>Bouteloua gracilis</i>	BLUE GRAMA	5.0
<i>Pleuraphis Jamesii</i>	GALLETTA	2.0
<i>Orizopsis hymenoides</i>	INDIAN RICEGRASS	1.0
<i>Aster bigelovii</i>	PURPLE ASTER	1.0

MATERIALS LEGEND

DESCRIPTION	QUANTITY
2" ANGULAR GRAVEL MULCH @ 4" DEPTH. COLOR: DESERT BRONZE. OVERSEED WITH XERIC SEED MIX.	408,650 SF
1" ANGULAR GRAVEL MULCH @ 4" DEPTH. COLOR: DESERT BRONZE. W/ DEWITT PRO-5 FILTER FABRIC.	84,750 SF
CRUSHER FINES GRAVEL @ 4" DEPTH. COLOR: DESERT TAN.	2,300 SF

SITE FURNISHINGS LEGEND

DESCRIPTION	QUANTITY
6' BENCH, WABASH VALLEY MODEL #CN430P. COLOR: PURPLE. IN-GROUND MOUNT PER MFG. SPECIFICATIONS.	1
40" SQUARE PICNIC TABLE, WABASH VALLEY MODEL #SG216P. COLOR: PURPLE. IN-GROUND MOUNT PER MFG. SPECIFICATIONS.	2
32 GAL. TRASH RECEPTACLE, WABASH VALLEY MODEL #LR300P. COLOR: PURPLE. WITH FLAT TOP ASH BONNET, MODEL #AB105N.	2

LANDSCAPE NOTES

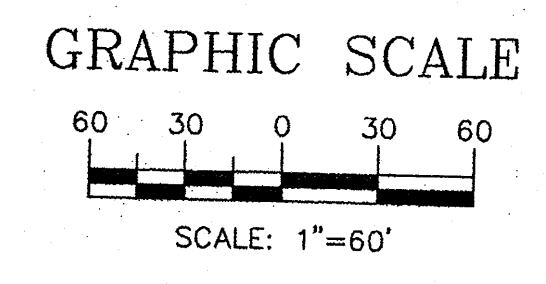
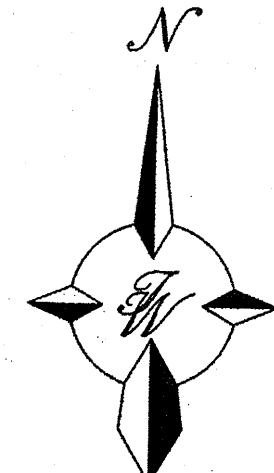
ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 1-1/2" ANGULAR GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5 FILTER FABRIC OR APPROVED EQUAL. RESPONSIBILITY FOR LANDSCAPE MAINTENANCE AND WATER MANAGEMENT ON THE SITE SHALL LIE WITH THE OWNER.

AN UNDERGROUND AUTOMATIC IRRIGATION DRIP EMITTER SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL EXISTING AND INSTALLED PLANT MATERIALS, AND SHALL MEET ALL CITY OF ALBUQUERQUE IRRIGATION AND WATER USE REQUIREMENTS.

AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

LANDSCAPE PLAN WILL MEET THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE C ORD 18-1995.

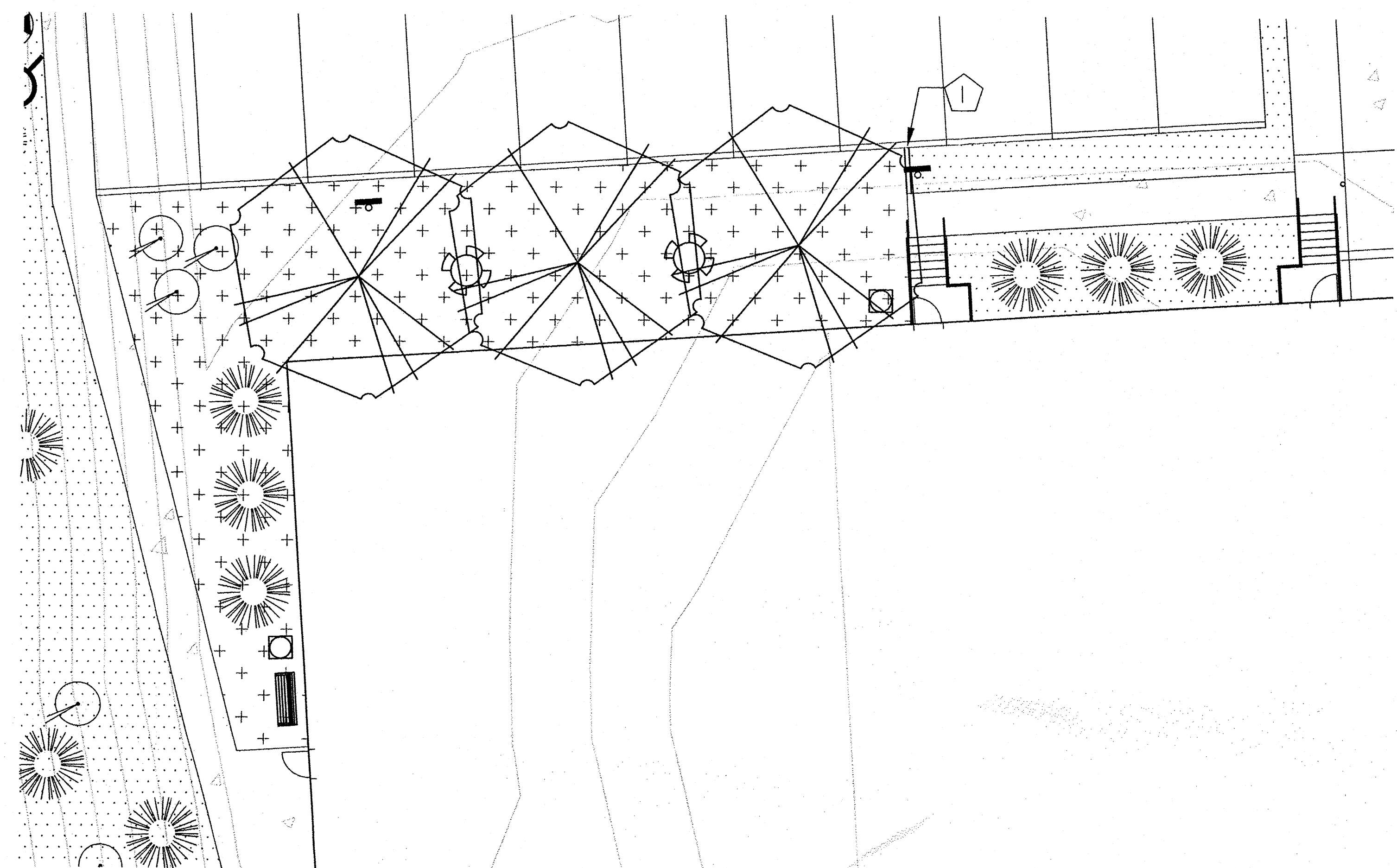
AT POINT OF CONNECTION FOR IRRIGATION SERVICE LINE, CONTRACTOR SHALL PROVIDE A 1-1/2" FEBCO MODEL 825YA REDUCED PRESSURE BACKFLOW PREVENTER. (OR APPROVED EQUAL) INSTALL 12" ABOVE HIGHEST HEAD ON IRRIGATION SYSTEM.



121 TIJERAS AVE. NE, SUITE 3100
ALBUQUERQUE, NM 87102
PHONE: 505-822-8200
FAX: 505-822-8282
E-MAIL: mail@sites-av.com
WEB: www.sites-av.com

PLANNING
LANDSCAPE ARCHITECTURE
MARKET ANALYSIS

	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY VT
	LANDSCAPE PLAN FOR BUILDING PERMIT	DATE 6/04/14
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	FEDEX LANDSCAPE BASE2	SHEET # L2A
100% REVIEW SET NOT FOR CONSTRUCTION	6.4.14	JOB # 2013075



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HT. X SPR.
	<i>Sapindus drummondii</i>	WESTERN SOAPBERRY	3	2" CAL.	30' X 30'
	<i>Nolina microcarpa</i>	BEARGRASS	6	3 GAL.	5' X 7'
	<i>Fallugia paradoxa</i>	APACHE PLUME	3	3 GAL.	5' X 5'

MATERIALS LEGEND

DESCRIPTION	
	CRUSHER FINES GRAVEL @ 4" DEPTH. COLOR: DESERT TAN.
	1" ANGULAR GRAVEL MULCH @ 4" DEPTH. COLOR: DESERT BRONZE. W/ DEWITT PRO-5 FILTER FABRIC.

SITE FURNISHINGS LEGEND

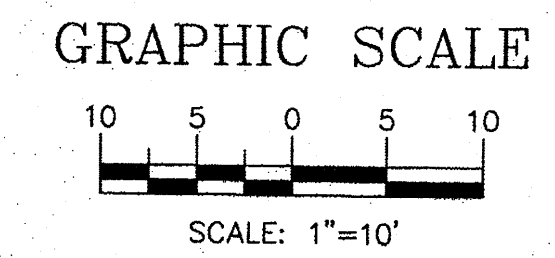
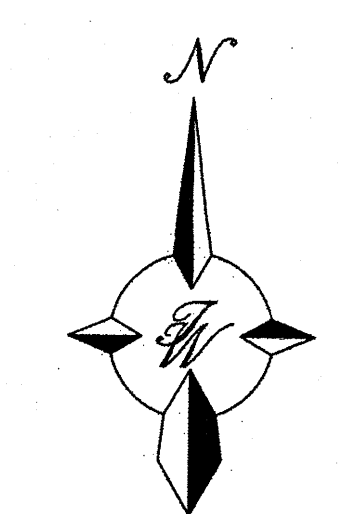
DESCRIPTION	QUANTITY
	6' BENCH. WABASH VALLEY MODEL #CN430P. COLOR: PURPLE. IN-GROUND MOUNT PER MFG. SPECIFICATIONS. 1
	40" SQUARE PICNIC TABLE. WABASH VALLEY MODEL #SS216P. COLOR: PURPLE. IN-GROUND MOUNT PER MFG. SPECIFICATIONS. 2
	32 GAL. TRASH RECEPTACLE. WABASH VALLEY MODEL #LR300P. COLOR: PURPLE. WITH FLAT TOP ASH BONNET, MODEL #ABI05N. 2

CONSTRUCTION KEYED NOTES

- 6" CONCRETE EDGER CURB, SEE DETAIL F/L3.

A OUTDOOR EMPLOYEE AREA ENLARGEMENT

SCALE: 1" = 10'



121 TIERRAS AVE. NE, SUITE 3100
 ALBUQUERQUE, NM 87109
 PHONE: 505-822-8200
 FAX: 505-822-8282
 E-MAIL: info@sites-sw.com
 WEB: www.sites-sw.com

PLANNING
LANDSCAPE ARCHITECTURE
MARKET ANALYSIS

ENGINEER'S SEAL 6-4-14 100% REVIEW SET NOT FOR CONSTRUCTION	FEDEX GROUND ALBUQUERQUE, NM LANDSCAPE PLAN FOR BUILDING PERMIT	DRAWN BY VT DATE 6/04/14 FEDEX_LANDSCAPE BASE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # L2B JOB # 2013075