

VICINITY MAP: J-9-7 AND K-9-7

LEGAL DESCRIPTION:
TRACTS 4 AND 5, TOWN OF ATRISCO GRANT UNIT 5

LEGEND

- BOUNDARY LINE
- EASEMENT
- EXISTING BOUNDARY LINE
- PROPOSED VEHICULAR AND PEDESTRIAN ACCESS POINTS
- EXISTING VEHICULAR AND PEDESTRIAN ACCESS POINTS

PROJECT #: 1009982
DATE: 5-28-14
APP#: 14-70175(SB) 14-70176(SB)

SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
The Site consists of approximately 23.14 acres. The property is bounded on the west by undeveloped property, to the north by Daytona Rd, to the east by the Unser Ponds and ABCWUA Well Site, and to the south by Los Volcanes Rd.

ZONING AND PROPOSED USE:
The Site is zoned SU-1 Special Use for IP (Industrial Park) and C-2 (Commercial) Uses. The site does not lie within a Sector Development Plan Area.

Development of the property can only occur through an approved site development plan as regulated by Section 14-16-2-22 of the Comprehensive City Zoning Code. Activities allowed on the site must correspond to those enumerated in the IP or C-2 zones.

APPLICABLE PLANS:
City of Albuquerque/Bernalillo County Comprehensive Plan (Rank I); and the West Side Strategic Plan (Rank II).

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - The applicant is only requesting access to Daytona Rd to the north in order to protect the single family development to the south. Tract 5 will have two full access points as well as an additional access point to provide maintenance access to Tract 4 which is to be utilized as a private drainage pond to serve the subject development as well as development to the west as identified in the West Side Transit Facility drainage report prepared by Smith Engineering Company. Final design and location of these access points will be determined by future Site Development Plans for Building Permit.

Transit - The property is not currently served by transit facilities.

Bicycle Facilities - There are no existing or proposed bicycle facilities along Daytona Rd or Los Volcanes Rd.

Pedestrian Facilities - Internal sidewalk and pedestrian facilities will be designed consistent with the design guidelines included in this site plan and future site plans for building permits. Public sidewalks will be provided by the development along both Daytona Rd and Los Volcanes Road as each site is developed.

SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

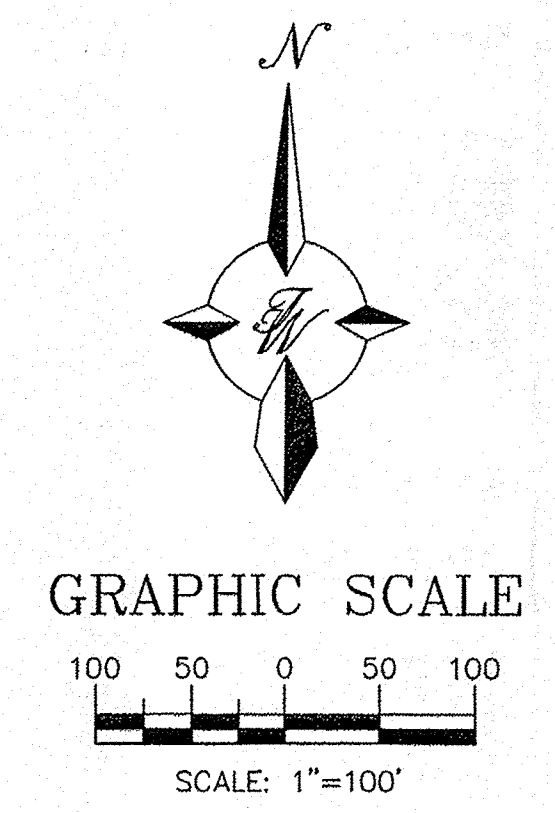
BUILDING HEIGHTS AND SETBACKS:
Buildings shall not exceed the heights as specified in the C-2 Zone (Section 14-16-2-17) of the Comprehensive City Zoning Code.

MAXIMUM FAR/DENSITY:
Commercial or Industrial buildings shall not exceed a maximum FAR of 0.35.

LANDSCAPE PLAN:
Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance.

SITE DATA

- EXISTING ZONING: SU-1 FOR IP AND C-2 USES
- PROPOSED ZONING: SU-1 FOR IP AND C-2 USES
- LOT AREA: 1,007,941 SF (23.139 ACRES)
- MAXIMUM BLDG HEIGHT: HEIGHT SHALL BE PROVIDED AS IN THE C-2 ZONE
- MINIMUM BLDG SETBACK: MINIMUM BUILDING SETBACK PER THE C-2 ZONE
- MAXIMUM F.A.R.: 0.35
- PARKING REQUIRED: PER ZONING CODE SECTION 14-16-3-1
- LANDSCAPE AREA REQUIRED: PER CURRENT ZONING CODE REQUIREMENTS



PROJECT NUMBER: 1009982
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 4-10-2014, and the Findings and Conditions in the Official Notification of Decision are satisfied.

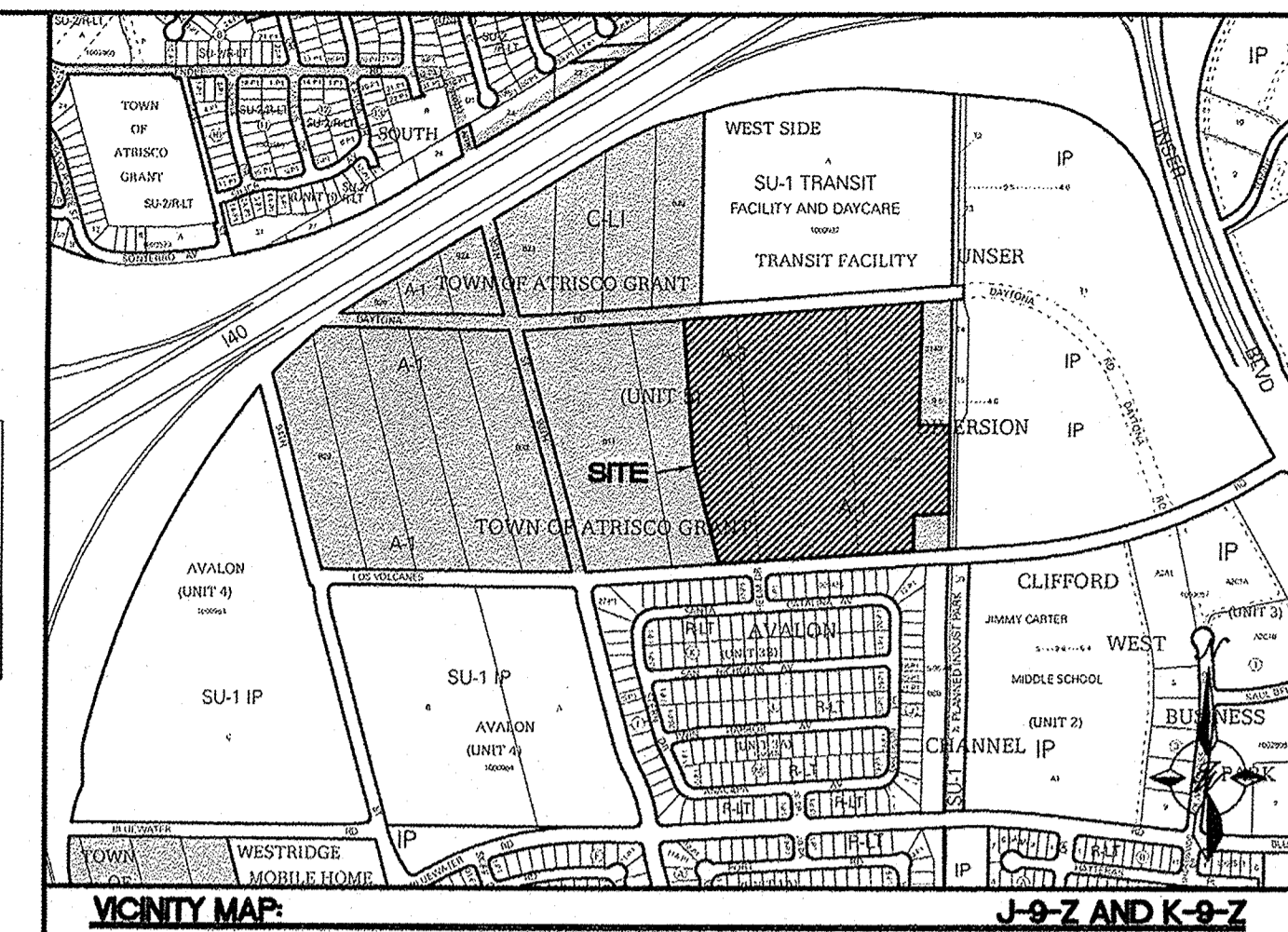
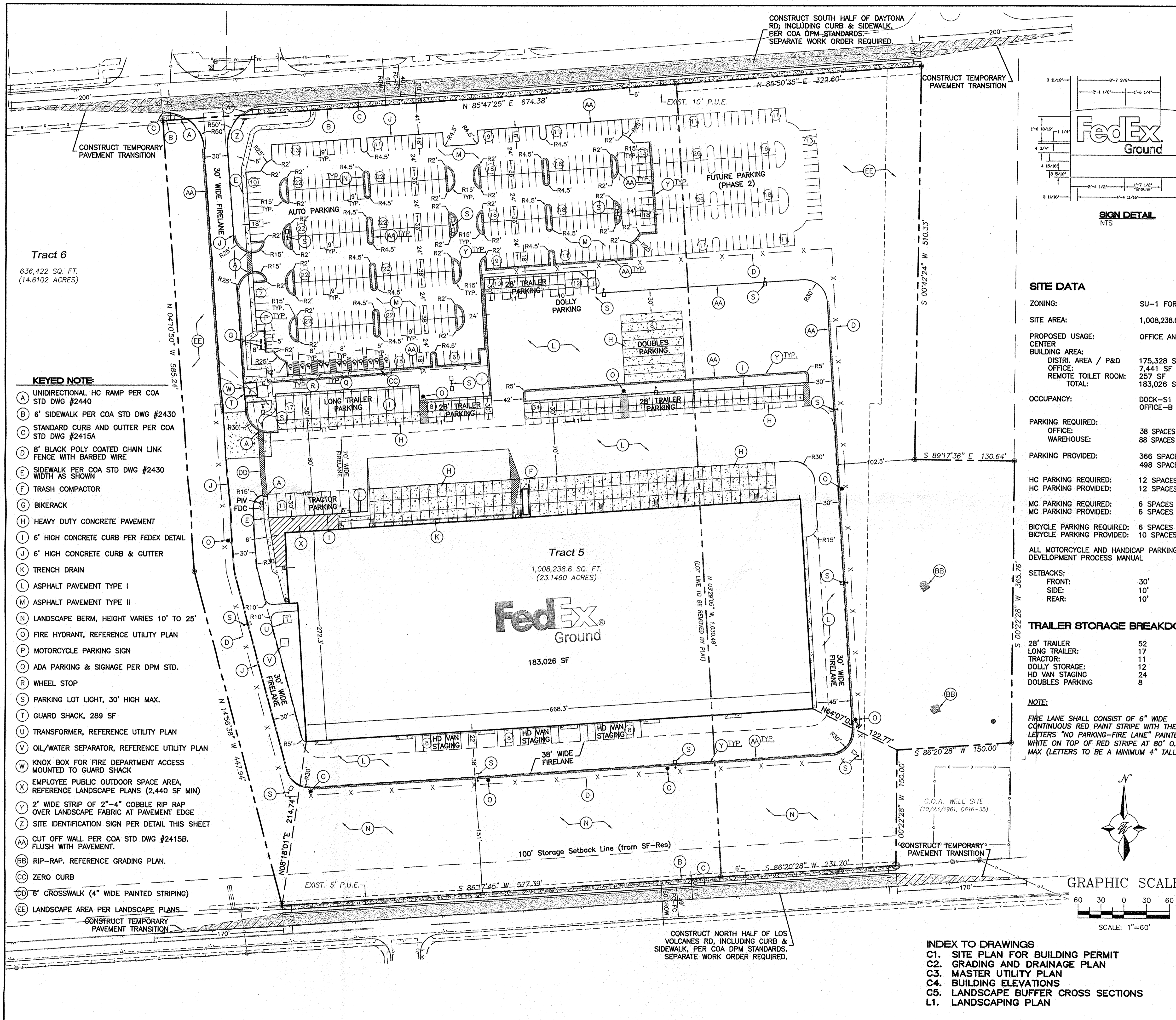
Is an infrastructure List required? (✓) Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	SITE PLAN FOR SUBDIVISION	DATE 5/19/14
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2013075-SPSE	SHEET # 1 OF 1
RONALD R. BOHANNAN P.E. #7868		JOB # 2013075

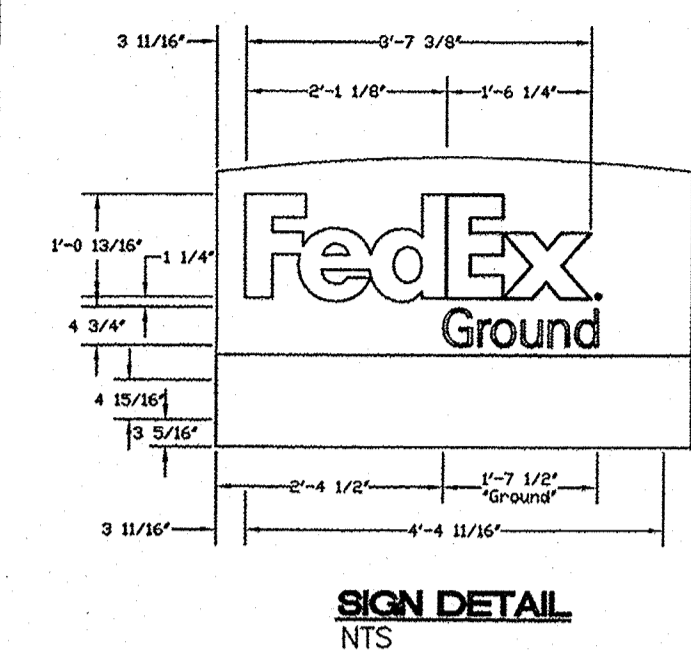


LEGAL DESCRIPTION:
TRACTS 4 AND 5, TOWN OF ATRISCO GRANT UNIT 5

Tract 6
636,422 SQ. FT.
(14.6102 ACRES)

KEYED NOTE:

- (A) UNIDIRECTIONAL HC RAMP PER COA STD DWG #2440
- (B) 6' SIDEWALK PER COA STD DWG #2430
- (C) STANDARD CURB AND GUTTER PER COA STD DWG #2415A
- (D) 8' BLACK POLY COATED CHAIN LINK FENCE WITH BARBED WIRE
- (E) SIDEWALK PER COA STD DWG #2430 WIDTH AS SHOWN
- (F) TRASH COMPACTOR
- (G) BIKERACK
- (H) HEAVY DUTY CONCRETE PAVEMENT
- (I) 6" HIGH CONCRETE CURB PER FEDEX DETAIL
- (J) 6" HIGH CONCRETE CURB & GUTTER
- (K) TRENCH DRAIN
- (L) ASPHALT PAVEMENT TYPE I
- (M) ASPHALT PAVEMENT TYPE II
- (N) LANDSCAPE BERM, HEIGHT VARIES 10' TO 25'
- (O) FIRE HYDRANT, REFERENCE UTILITY PLAN
- (P) MOTORCYCLE PARKING SIGN
- (Q) ADA PARKING & SIGNAGE PER DPM STD.
- (R) WHEEL STOP
- (S) PARKING LOT LIGHT, 30' HIGH MAX.
- (T) GUARD SHACK, 289 SF
- (U) TRANSFORMER, REFERENCE UTILITY PLAN
- (V) OIL/WATER SEPARATOR, REFERENCE UTILITY PLAN
- (W) KNOX BOX FOR FIRE DEPARTMENT ACCESS MOUNTED TO GUARD SHACK
- (X) EMPLOYEE PUBLIC OUTDOOR SPACE AREA, REFERENCE LANDSCAPE PLANS (2,440 SF MIN)
- (Y) 2' WIDE STRIP OF 2"-4" COBBLE RIP RAP OVER LANDSCAPE FABRIC AT PAVEMENT EDGE
- (Z) SITE IDENTIFICATION SIGN PER DETAIL THIS SHEET
- (AA) CUT OFF WALL PER COA STD DWG #2415B. FLUSH WITH PAVEMENT.
- (BB) RIP-RAP, REFERENCE GRADING PLAN.
- (CC) ZERO CURB
- (DD) 6' CROSSWALK (4" WIDE PAINTED STRIPING)
- (EE) LANDSCAPE AREA PER LANDSCAPE PLANS



SITE DATA

ZONING:	SU-1 FOR IP AND C-2 USES
SITE AREA:	1,008,238.6 SF (23.146 ACRE)
PROPOSED USAGE:	OFFICE AND WAREHOUSE/DISTRIBUTION
BUILDING AREA:	
DISTR. AREA / P&D	175,328 SF
OFFICE:	7,441 SF
REMOTE TOILET ROOM:	257 SF
TOTAL:	183,026 SF
OCCUPANCY:	DOCK-S1 OFFICE-B
PARKING REQUIRED:	
OFFICE:	38 SPACES (1 SPACE PER 200 SF)
WAREHOUSE:	88 SPACES (1 SPACE PER 2000 SF)
PARKING PROVIDED:	366 SPACES (PHASE 1 TOTAL) 498 SPACES (PHASE 1 & 2 TOTAL)
HC PARKING REQUIRED:	12 SPACES
HC PARKING PROVIDED:	12 SPACES (3 VAN ACCESSIBLE)
MC PARKING REQUIRED:	6 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	6 SPACES
BICYCLE PARKING PROVIDED:	10 SPACES
ALL MOTORCYCLE AND HANDICAP PARKING SPACES SHALL BE PER DEVELOPMENT PROCESS MANUAL	
SETBACKS:	
FRONT:	30'
SIDE:	10'
REAR:	10'

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- RETAINING WALL
- STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STRIPING
- FIRELANE
- RIP-RAP

TRAILER STORAGE BREAKDOWN

28' TRAILER	52
LONG TRAILER:	17
TRACTOR:	11
DOLLY STORAGE:	12
HD VAN STAGING:	24
DOUBLES PARKING:	8

NOTE:
FIRE LANE SHALL CONSIST OF 6" WIDE CONTINUOUS RED PAINT STRIPE WITH THE LETTERS "NO PARKING-FIRE LANE" PAINTED WHITE ON TOP OF RED STRIPE AT 80' O.C. MAX (LETTERS TO BE A MINIMUM 4" TALL).

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

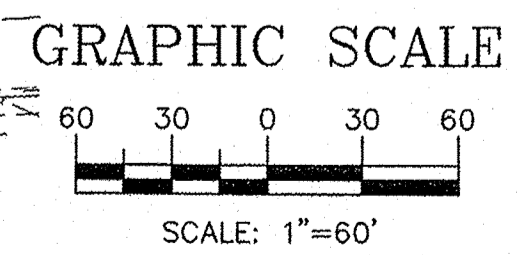
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

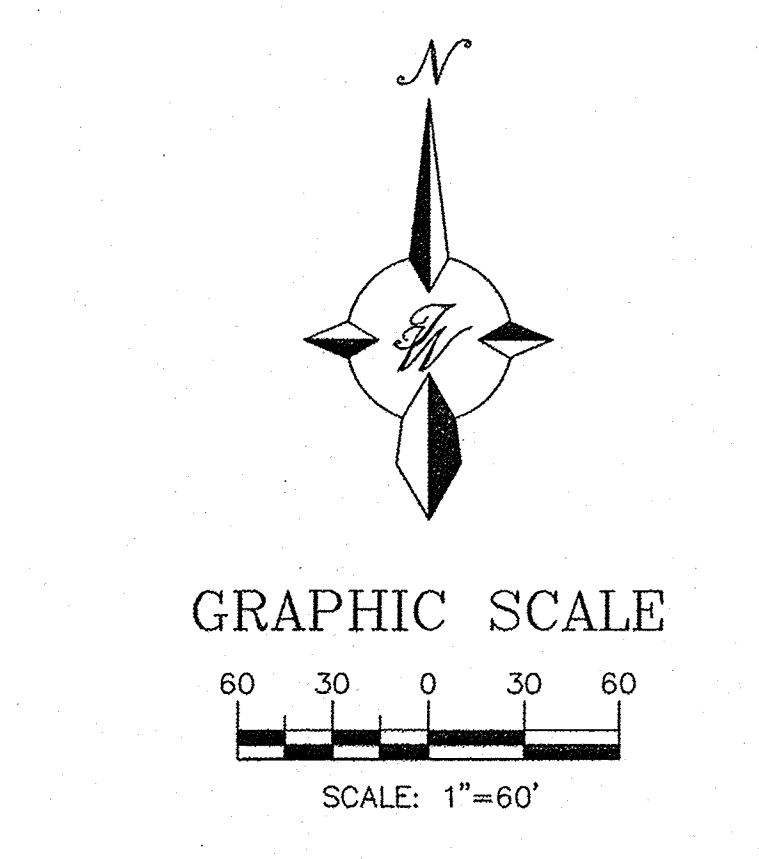
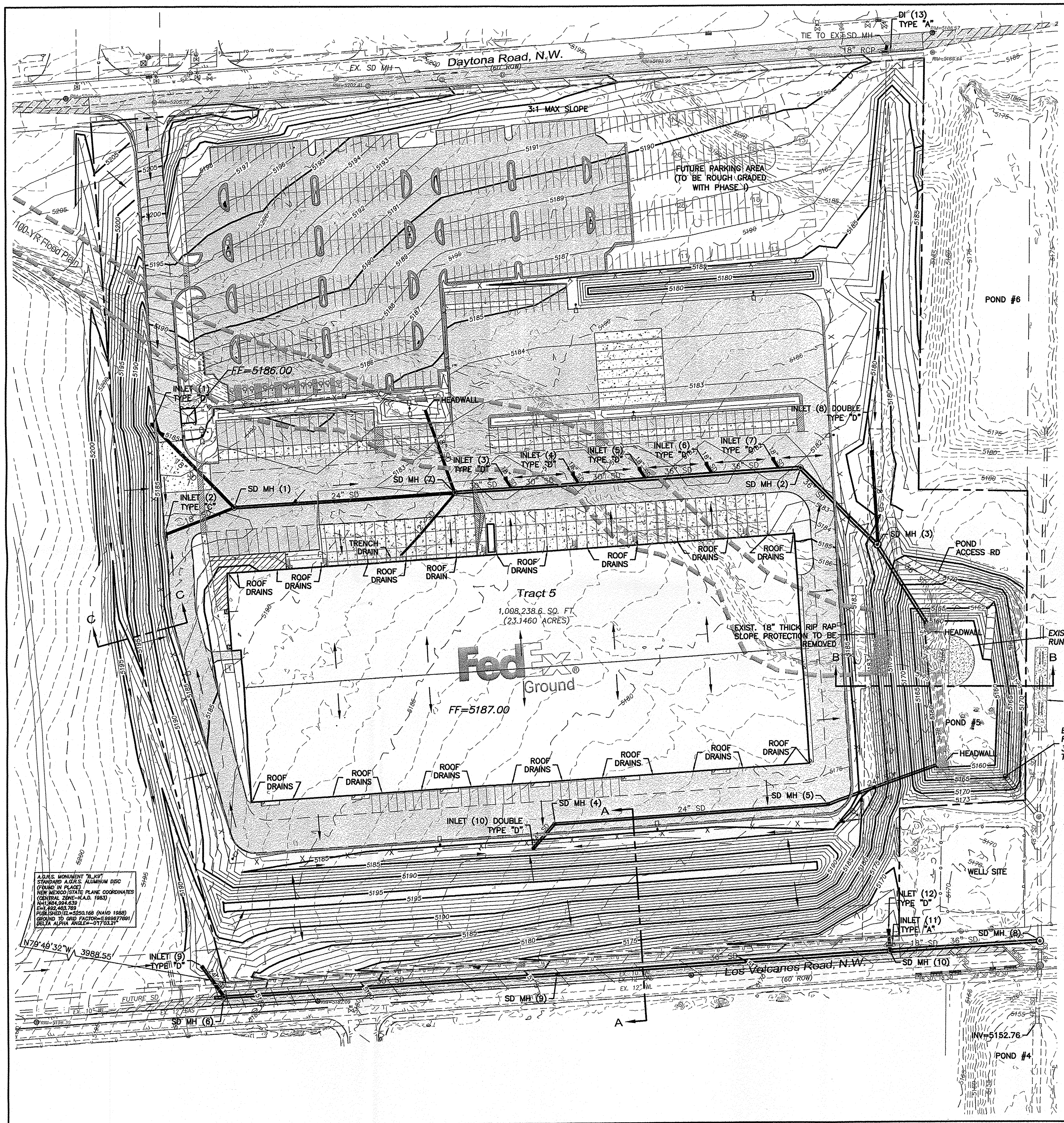
Traffic Engineer, Transportation Division	_____	Date	_____
Water Utility Development	_____	Date	_____
Parks & Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

* Environmental Health, if necessary

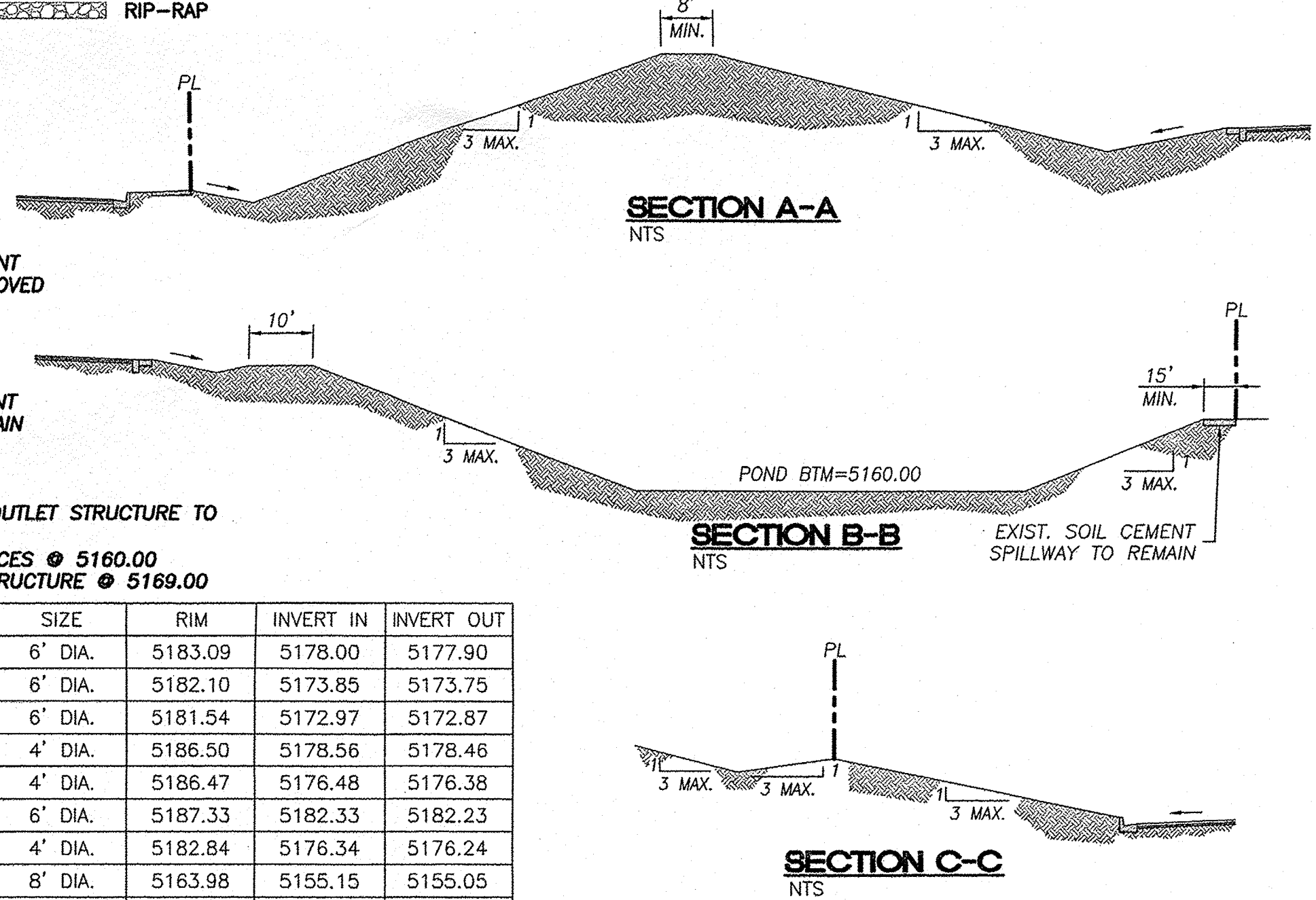
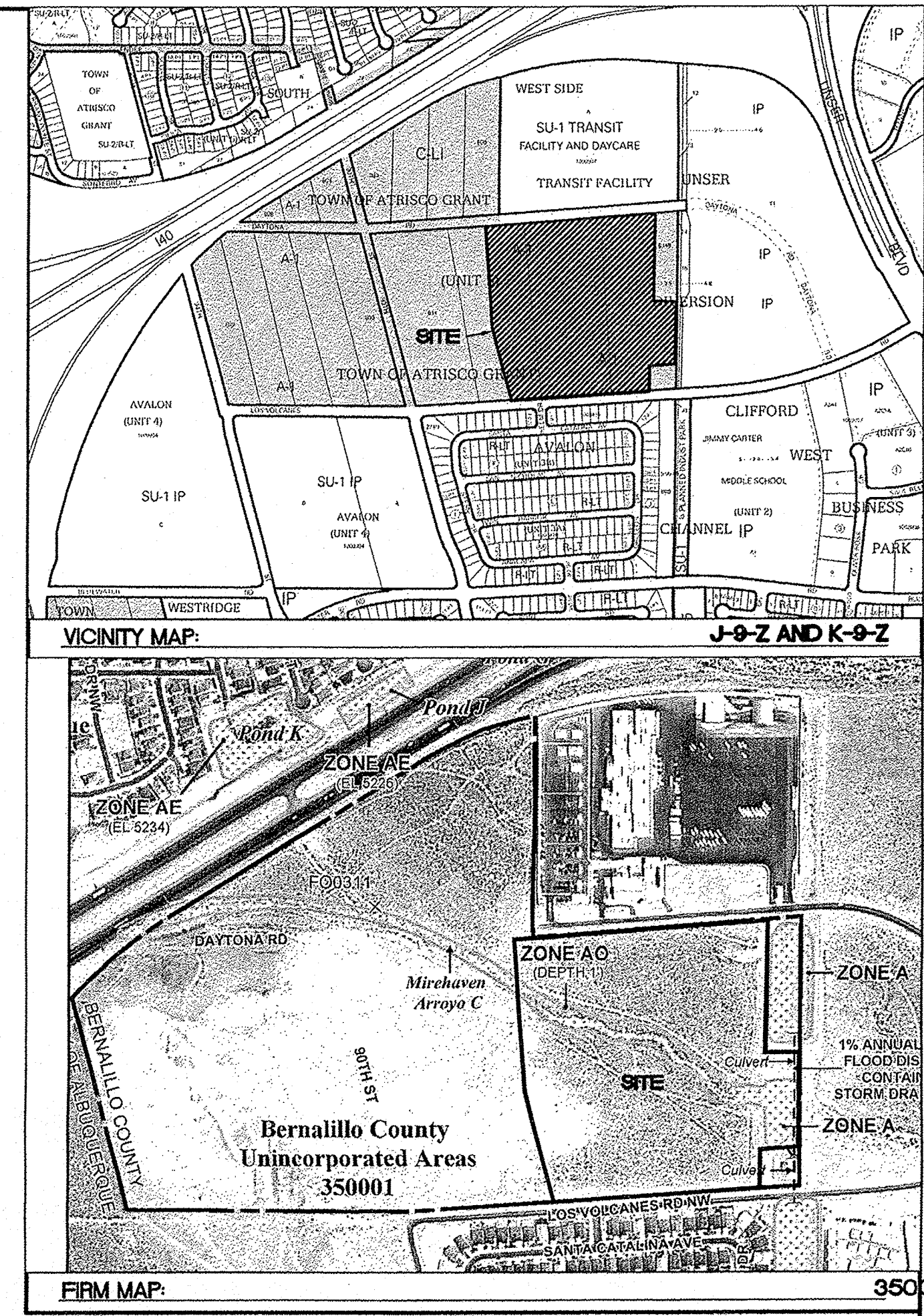


- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. BUILDING ELEVATIONS
 - C5. LANDSCAPE BUFFER CROSS SECTIONS
 - L1. LANDSCAPING PLAN

	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY DATE 5/16/14
	SITE PLAN FOR BUILDING PERMIT	2013075-SPE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C1 JOB # 2013075



- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - BUILDING
 - SIDEWALK
 - 5010--- CONTOUR MAJOR
 - 5011--- CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - - - EXISTING CONTOUR MAJOR
 - - - EXISTING CONTOUR MINOR
 - x 5048.25 EXISTING SPOT ELEVATION
 - RIP-RAP

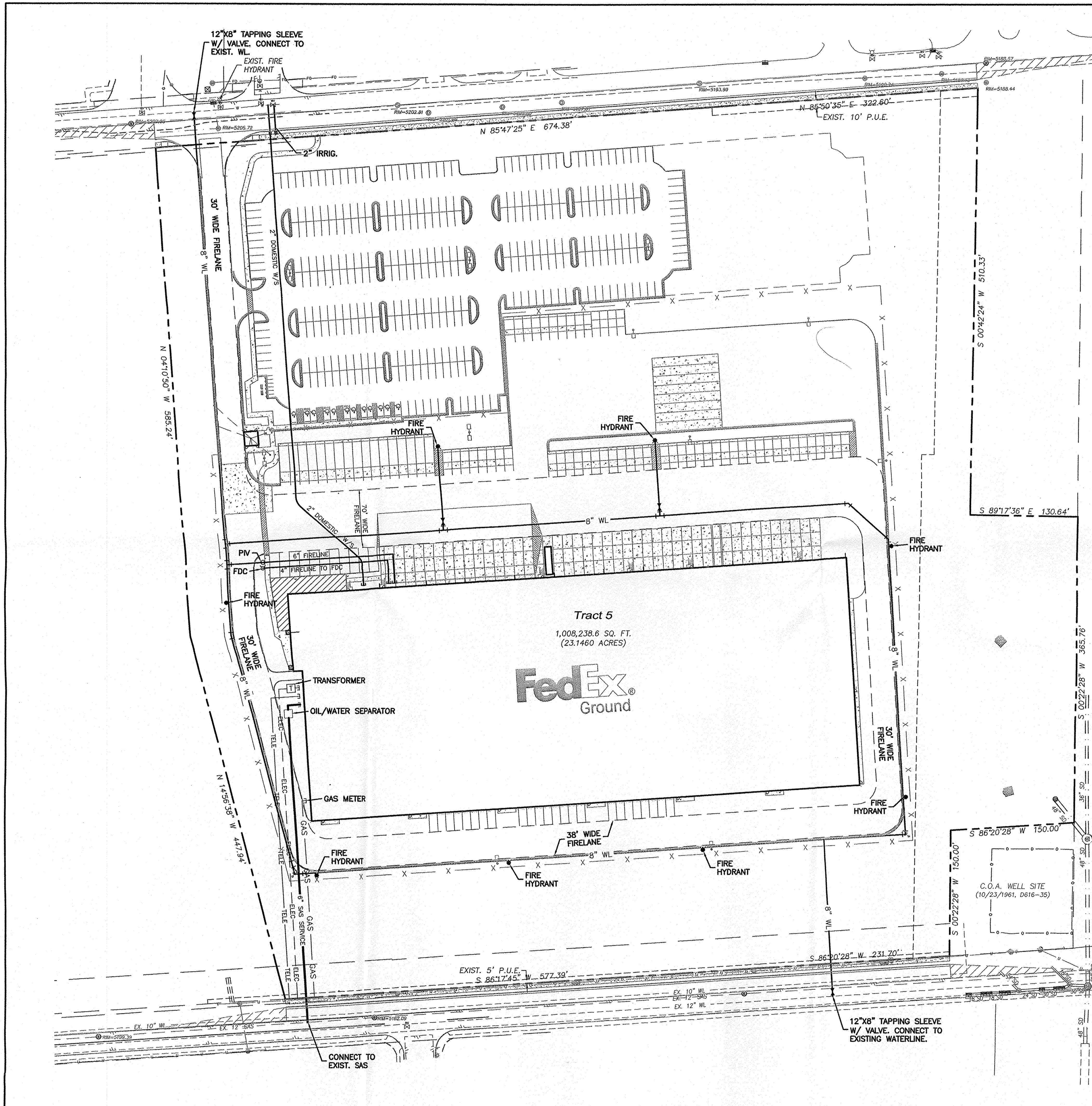


SD MH	SIZE	RIM	INVERT IN	INVERT OUT
1	6" DIA.	5183.09	5178.00	5177.90
2	6" DIA.	5182.10	5173.85	5173.75
3	6" DIA.	5181.54	5172.97	5172.87
4	4" DIA.	5186.50	5178.56	5178.46
5	4" DIA.	5186.47	5176.48	5176.38
6	6" DIA.	5187.33	5182.33	5182.23
7	4" DIA.	5182.84	5176.34	5176.24
8	8" DIA.	5163.98	5155.15	5155.05
9	6" DIA.	5171.27	5166.77	5166.67
10	6" DIA.	5165.39	5160.39	5160.29

DI	TYPE	GRATE	INVERT
1	"D"	5183.00	5179.50
2	"C"	5182.50	5179.00
3	"D"	5181.60	5178.10
4	"D"	5181.60	5178.10
5	"D"	5181.60	5178.10
6	"D"	5181.60	5178.10
7	"D"	5181.60	5178.10
8	DOUBLE "D"	5177.85	5174.35
9	"D"	5187.00	5183.00
10	DOUBLE "D"	5182.80	5178.80
11	"A"	5165.29	5161.79
12	"D"	5167.50	5164.00
13	"A"	5188.93	5185.43

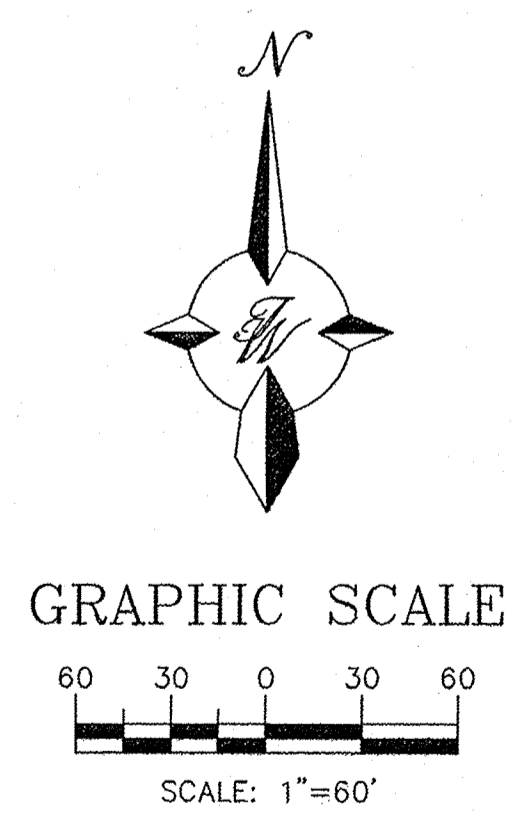
ADDRESS MONUMENT TO LOT STANDARD A.G.S.S. ALUMINUM DISC (GROUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE - M.A.D. 1983) NAD 83 101,324,232.00 ELEVATION 5200.168 (NAVD 1988) GROUND TO GRID FACTOR=0.999977881 DELTA ALPHA ANGLE=0.1773271

	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	OVERALL GRADING AND DRAINAGE PLAN	DATE 5/15/14
	Tierra West, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2013075-GRE SHEET # C2 JOB # 2013075
RONALD R. BOHANNAN P.E. #7868		

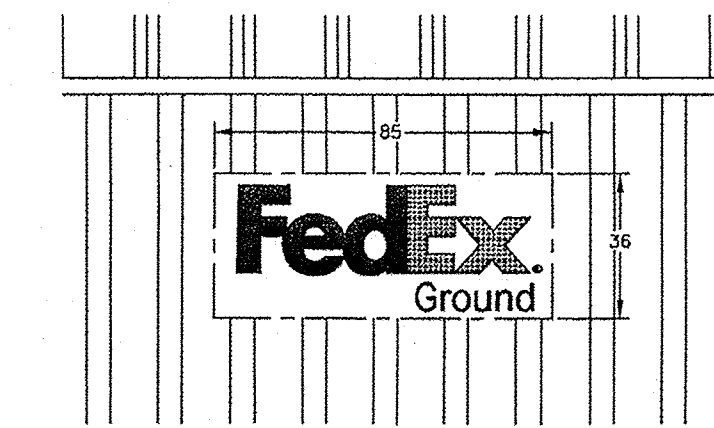


LEGEND

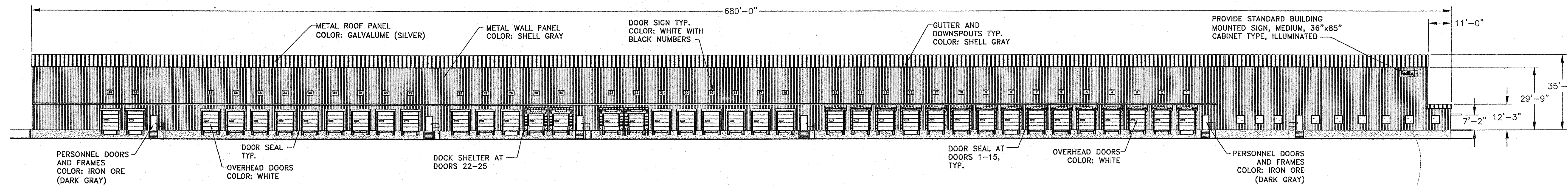
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	FIRELANE



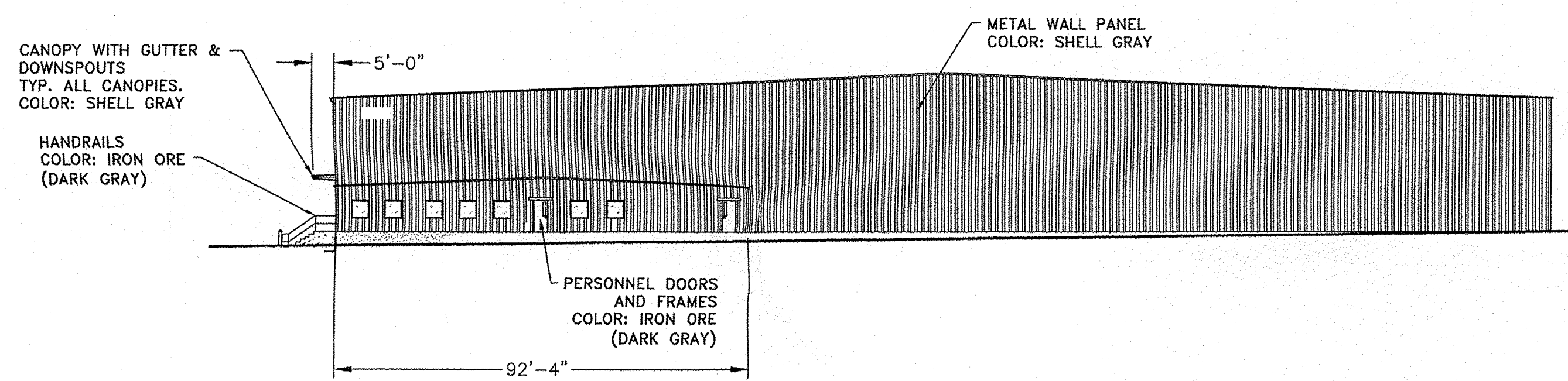
	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	CONCEPTUAL MASTER UTILITY PLAN	DATE 5/16/14
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2013075-MUE
RONALD R. BOHANNAN P.E. #7868	C3	SHEET # C3
		JOB # 2013075



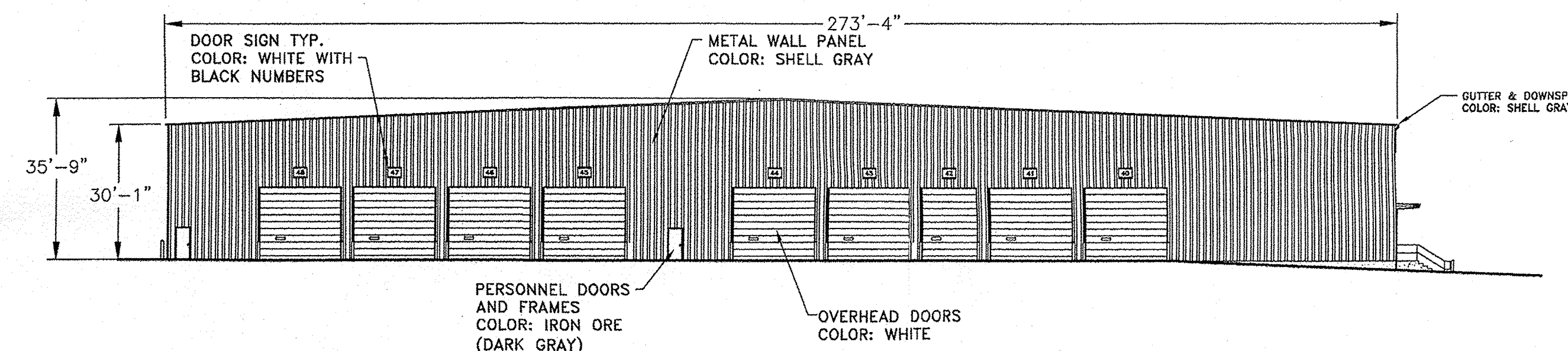
SIGN DETAIL
SCALE: NTS



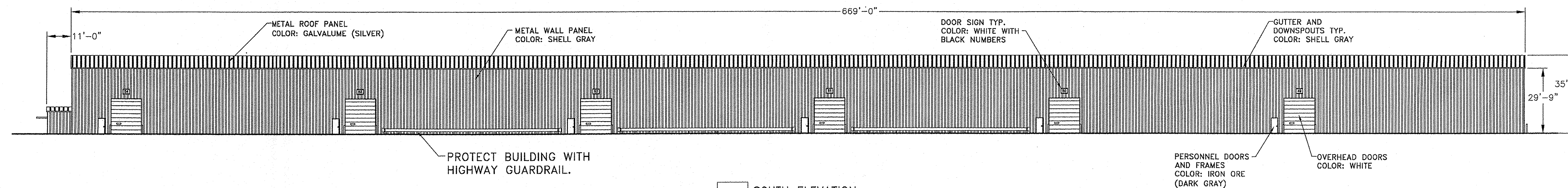
I NORTH ELEVATION
SCALE: 1" = 25'-0"



IA WEST ELEVATION
SCALE: 1" = 25'-0"

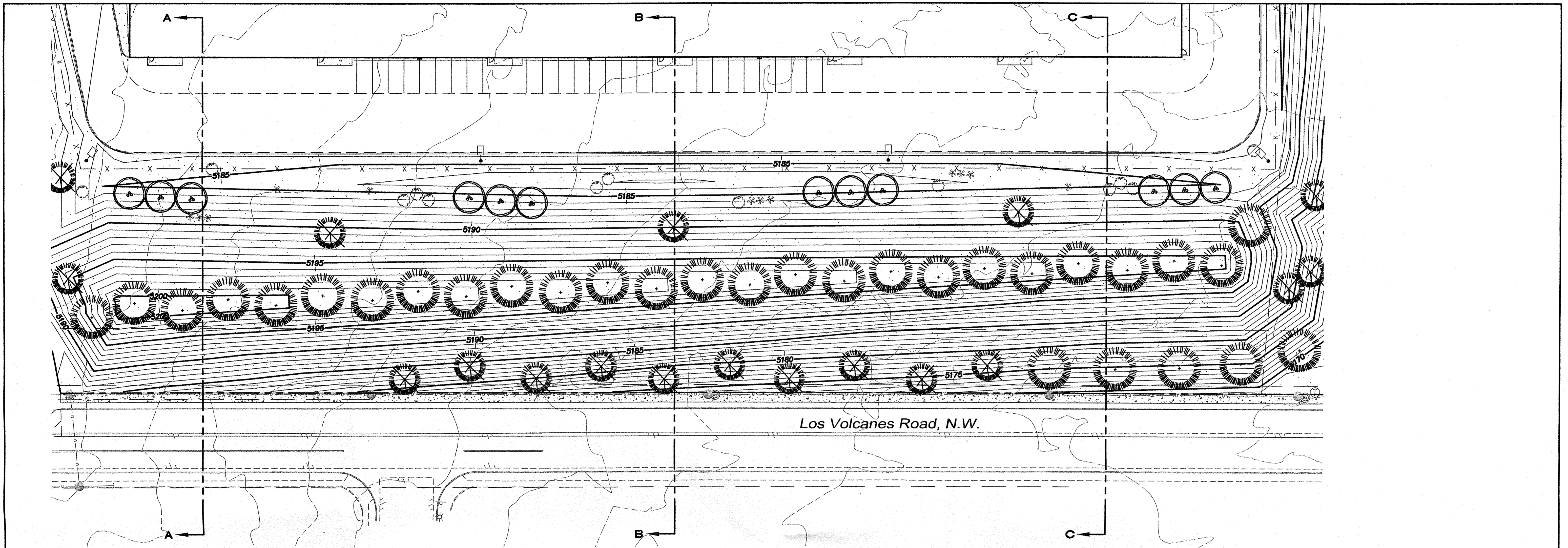


IB EAST ELEVATION
SCALE: 1" = 25'-0"

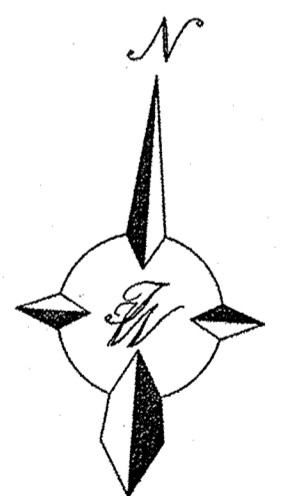
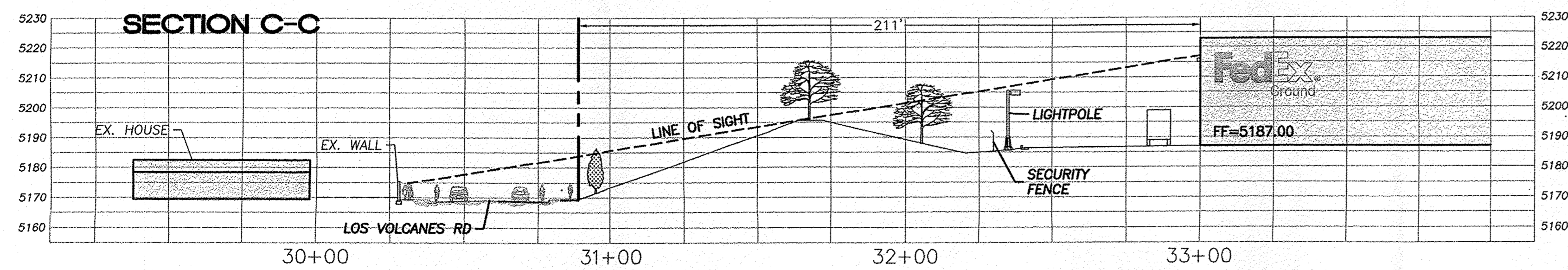
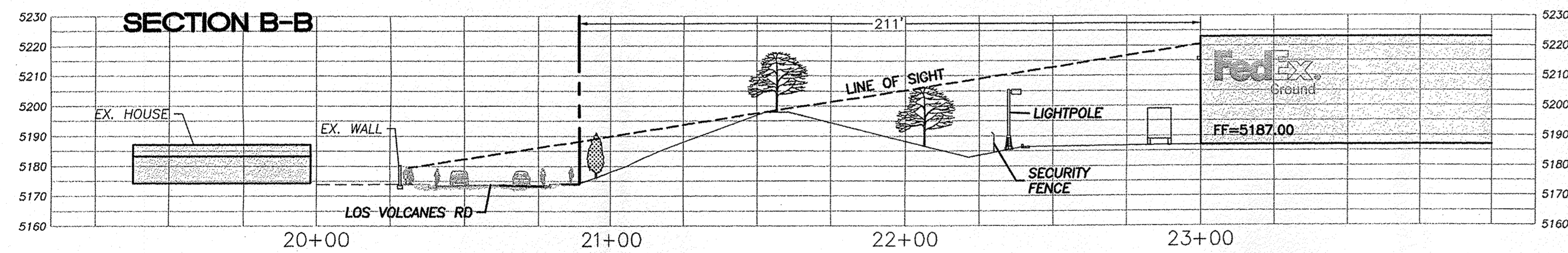
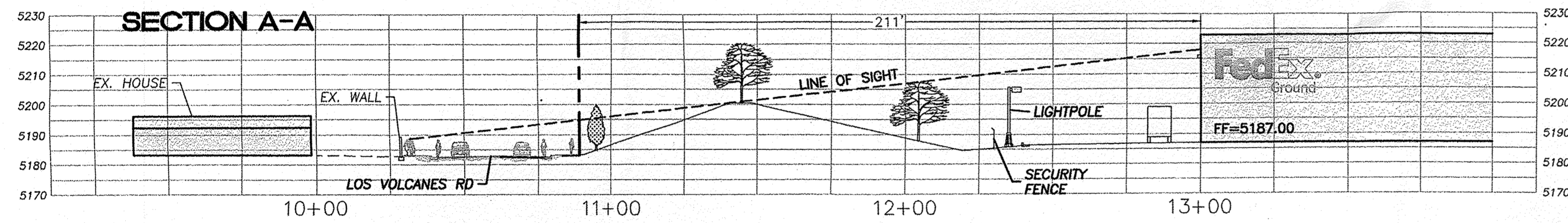


IC SOUTH ELEVATION
SCALE: 1" = 25'-0"

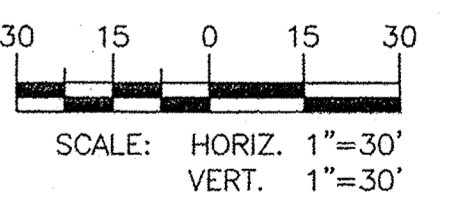
	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY BJJ
	BUILDING ELEVATIONS	DATE 3/31/14
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2013075-BUILDING ELEVATIONS
		SHEET # C4
		JOB # 2013075



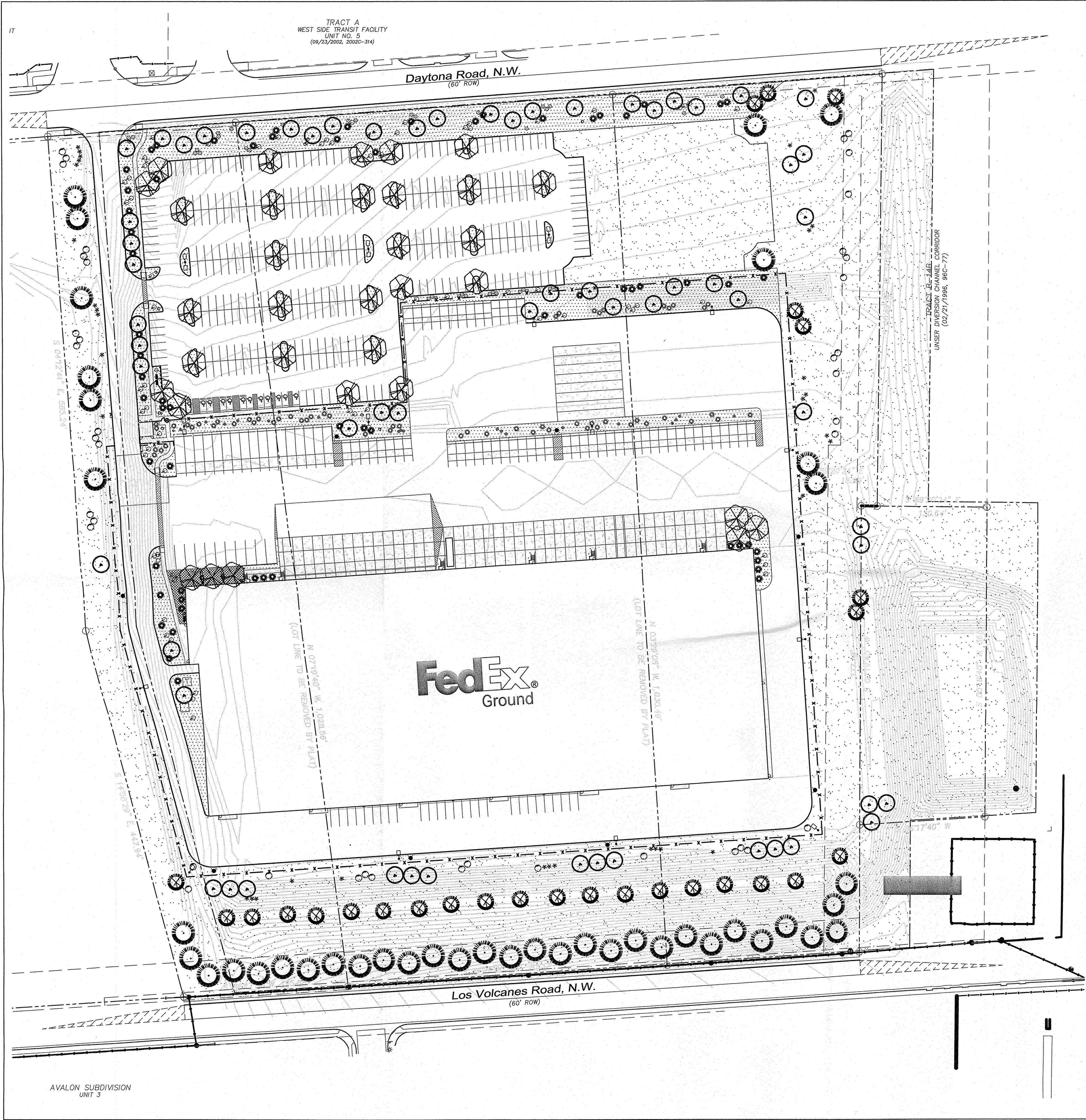
Los Volcanes Road, N.W.



GRAPHIC SCALE



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	LANDSCAPE BUFFER CROSS SECTIONS	DATE 3/31/14
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		SHEET # C5
		JOB # 2013075



TRACT A
WEST SIDE TRANSIT FACILITY
UNIT NO. 5
(09/23/2002, 2002C-314)

Daytona Road, N.W.
(60' ROW)

TRACT E-1A
UNSER DIVISION EASEMENT CORRIDOR
(02/21/1986, 86C-77)

N 07°16'40" W 1,028.66'
(LOT LINE TO BE REMOVED BY PLAT)

N 02°29'05" W 1,029.46'
(LOT LINE TO BE REMOVED BY PLAT)

FedEx
Ground

Los Volcanes Road, N.W.
(60' ROW)

AVALON SUBDIVISION
UNIT 3

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALL QTY.	SHRUBS PER DETAIL B, C & E/L3 TREES PER DETAILS B, C & E/L3	SIZE	HT. X SFR.
	<i>Sapindus drummondii</i>	WESTERN SOAPBERRY	33		2" CAL.	30' X 30'
	<i>Chilopsis linearis</i>	DESERT WILLOW	57		2" CAL.	20' X 20'
	<i>Pinus nigra</i>	AUSTRIAN PINE	41		10'-12' HT. B&B	35' X 30'
	<i>Pinus edulis</i>	PINYON PINE	25		10'-12' HT. B&B	30' X 20'
	<i>Nolina microcarpa</i>	BEARGRASS	64		3 GAL.	5' X 7'
	<i>Fallugia paradoxa</i>	APACHE PLUME	66		3 GAL.	5' X 5'
	<i>Mahonia fremontii</i>	BLUE ALGERITA	40		1 GAL.	4' X 4'
	<i>Baccharis x 'Starns'</i>	THOMPSON BROOM	58		3 GAL.	2' X 5'
	<i>Ericameria lacrifolia</i>	TURPENTINE BUSH	21		1 GAL.	2' X 3'
	<i>Rhus trilobata</i>	THREELEAF SUMAC	41		3 GAL.	5' X 7'
	<i>Artemisia filifolia</i>	THREADLEAF SAGE	33		1 GAL.	4' X 4'

SEEDING SCHEDULE

BOTANICAL NAME	COMMON NAME	PLS/AC
XERIC SEED MIX		
<i>Andropogon scoparius</i>	LITTLE BLUESTEM	3.0
<i>Bouteloua gracilis</i>	BLUE GRAMA	5.0
<i>Pleuraphis Jamesii</i>	GALLETA	2.0
<i>Orizopsis hymenoides</i>	INDIAN RICEGRASS	1.0
<i>Aster bigelovii</i>	PURPLE ASTER	1.0

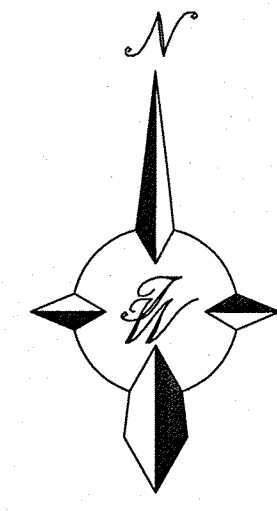
MATERIALS LEGEND

DESCRIPTION	QUANTITY
1-1/2" ANGULAR GRAVEL MULCH. COLOR: DESERT BRONZE. OVERSEED WITH XERIC SEED MIX.	408,650 SF
1-1/2" ANGULAR GRAVEL MULCH. COLOR: DESERT BRONZE.	84,750 SF
CRUSHER FINES GRAVEL. COLOR: DESERT TAN.	2,300 SF

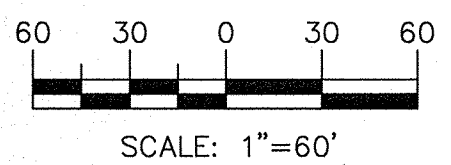
SITE FURNISHINGS LEGEND

- 6' BENCH. WABASH VALLEY MODEL #CN430P. COLOR: PURPLE. IN-GROUND MOUNT PER MFG. SPECIFICATIONS.
- 40" SQUARE PICNIC TABLE. WABASH VALLEY MODEL #S6216P. COLOR: PURPLE. IN-GROUND MOUNT PER MFG. SPECIFICATIONS.
- 32 GAL. TRASH RECEPTACLE. WABASH VALLEY MODEL #LR300P. COLOR: PURPLE. WITH FLAT TOP ASH BONNET, MODEL #AB105N.

PROJECT #: 1009982
DATE: 5-28-14
APP #: 14-70175(SBP)
14-70176(SPS)



GRAPHIC SCALE



121 TUERAS AVE. NE, SUITE 3100
ALBUQUERQUE, NM 87102
PHONE: 505-822-8200
FAX: 505-822-8289
E-MAIL: mgl@sites-sw.com
WEB: www.sites-sw.com

PLANNING
LANDSCAPE ARCHITECTURE
MARKET ANALYSIS

 5-20-14 100% REVIEW SET NOT FOR CONSTRUCTION	FEDEX GROUND ALBUQUERQUE, NM LANDSCAPE PLAN FOR BUILDING PERMIT	DRAWN BY VT DATE 5/20/14 FEDEX_LANDSCAPE BASE
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # L2 JOB # 2013075