



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 15, 2015

Project# 1010010

14DRB-70269 MINOR - PRELIMINARY/ FINAL PLAT APPROVAL
15DRB-70233 SUB DESIGN/ SIDEWALK VARIANCE

BOB KEERAN request(s) the above action(s) for all or a portion of Lot(s) 19 & 20, Block(s) 4, Tract 3 Unit 3, **NORTH ALBUQUERQUE ACRES**, zoned RD 5 DUA, located on SIGNAL BETWEEN BARSTOW AND VENTURA containing approximately 2 acre(s). (C-20) *[Deferred from 7/8/15]*

At the July 15, 2015 Development Review Board meeting, with an approved grading plan for Preliminary Plat (engineer stamp dated 6/14/15), and with the signing of the Infrastructure List dated 7/15/15, preliminary plat was approved subject to a Permanent Public Drainage Easement along the east property boundary.

The final plat was indefinitely deferred for completion and acceptance of the infrastructure or recording of a Subdivision Improvements Agreement (SIA); AMAFCA's signature will be required for Final Plat.

A subdivision design variance for a waiver of sidewalk on the north side of the private interior street was approved as shown on exhibit in the planning file, based on the lack of connection to other sidewalks.

If you wish to appeal this decision, you must do so by July 30, 2015 in the manner described below.


Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.


You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, DRB Chair

Cc: Elizabeth Meek, VENA, 8831 Hampton Ave NE, 87122

8. **Project# 1010144**
15DRB-70237 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 

SURV-TEK INC agent(s) for DEL RAY INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 3-A & 4-A, **SANTA MONICA PLACE** zoned RT & R-LT, located on LOUISIANA BLVD NE BETWEEN SAN VICENTE AVE NE AND DERICKSON AVE NE containing approximately 19.6715 acre(s). (D-18) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND FOR ZONE BOUNDARY TO BE INDICATED ON THE PLAT.**

9. **Project# 1010010**
14DRB-70269 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
15DRB-70233 SUB DESIGN/
SIDEWALK VARIANCE 

BOB KEERAN request(s) the above action(s) for all or a portion of Lot(s) 19 & 20, Block(s) 4, Tract 3 Unit 3, **NORTH ALBUQUERQUE ACRES**, zoned RD 5 DUA, located on SIGNAL BETWEEN BARSTOW AND VENTURA containing approximately 2 acre(s). (C-20) *[Deferred from 7/8/15]* **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/15/15, AND WITH AN APPROVED GRADING PLAN ENGINEER STAMP DATED 6/14/15, THE PRELIMINARY PLAT WAS APPROVED SUBJECT TO THE PERMANENT DRAINAGE EASEMENT. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SUBDIVISION IMPROVEMENTS AGREEMENT (SIA). A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE.**

10. **Project# 1010038**
15DRB-70212 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 







RIO GRANDE ENGINEERING agent(s) for SANDIA ARES FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Tract(s) C, **THE NEW HOLIDAY PARK SUBDIVISION** zoned C-1, located on MONTGOMERY BLVD NE BETWEEN CAIRO RD NE AND JUAN TABO BLVD NE containing approximately 3 acre(s). (F-22) *[Deferred from 6/2/15, 6/24/15, 7/8/15]* **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND UTILITY COMPANIES SIGNATURES.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project# 1006844**
15DRB-70241 SKETCH PLAT REVIEW
AND COMMENT 

MARK GOODWIN AND ASSOCIATES, PA agent(s) for INTER FIRST PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) A-1, LUTHERAN CHURCH IN AMERICA, **HOLY CROSS TOWNHOMES** zoned SU-1 FOR CHURCH & REL FAC, located on WEST OF WYOMING ON VICKREY containing approximately 4.1078 acre(s). (E-19) **THE SKETCH PLAT WAS REVIEWED AND COMMENTS WERE PROVIDED**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project# 1002134**
15DRB-70234 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 
- ALPHA PRO SURVEYING LLC agent(s) for RADOMIR BOZOVIC request(s) the above action(s) for all or a portion of Lot(s) 7, **LAS LOMITAS BUSINESS PARK SUBDIVISION** zoned SU-1 FOR IP, located on LAS LOMITAS DR NE BETWEEN PASEO DEL NORTE NE AND CUESTA ABAJO CT NE containing approximately 1.0835 acre(s). (D-16) **DEFERRED TO 7/15/15.**
9. **Project# 1002981**
15DRB-70231 - 2YR SUBD IMP AGMT
EXT (2YR SIA)  
- VICTOR CHAVEZ agent(s) for ACE LEADERSHIP HIGH SCHOOL request(s) the above action(s) for all or a portion of Tract(s) C, **SAWMILL INDUSTRIAL** located on SAWMILL BETWEEN 12TH AND 15TH ST containing approximately 2.0763 acre(s). (J-13) **DEFERRED TO 7/15/15.**
10. **Project# 1005182**
15DRB-70236 - FINAL PLAT 
- WILSON & COMPANY agents for D.R. SCOTT LLC request the referenced/ above actions for **LA CUENTISTA SUBDIVISION Unit II**, zoned R-1, located on the southwest corner of ROSA PARKS RD NW and KIMMICK DR NW containing approximately 34.47 acres. (C-10 & C-11) **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE AND TO CLARIFY THE RIGHT-OF-WAY.**
11. **Project# 1010511**
15DRB-70232 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL 
- WILSON & COMPANY agent(s) for JERRY VALLIANOS request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 6, **VOLCANO CLIFFS SBD Unit(s) 18**, zoned VCLL, located on UNSER AND COMPASS NW containing approximately .598 acre(s). (D-10) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO THE WATER AUTHORITY FOR SEPARATE WATER ACCOUNTS AND TO PLANNING FOR AGIS DXF, REMOVAL OF ZONING NOTE AND UTILITY COMPANIES SIGNATURES.**
12. **Project# 1010010**
14DRB-70269 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
15DRB-70233 SUB DESIGN/
SIDEWALK VARIANCE 
- BOB KEERAN request(s) the above action(s) for all or a portion of Lot(s) 19 & 20, Block(s) 4, Tract 3 Unit 3, **NORTH ALBUQUERQUE ACRES**, zoned RD 5 DUA, located on SIGNAL BETWEEN BARSTOW AND VENTURA containing approximately 2 acre(s). (C-20) **DEFERRED TO 7/15/15.**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 10, 2015

Project# 1010010

15DRB-70198 VACATION OF PUBLIC ROADWAY EASEMENT

BOB KEERAN agent for BLAS & SARAH URQUIDEZ requests the referenced/ above action for a portion of SIGNAL AVENUE NE adjacent to Lots 19 & 20, Block 4, Tract 3, Unit 3, **NORTH ALBUQUERQUE ACRES** zoned R-D, located on the north side of SIGNAL AVE NE between VENTURA ST NE and BARSTOW ST NE. (C-20)

At the June 10, 2015 Development Review Board meeting, the vacation was approved as shown on exhibit B in the planning file per section 14-14-7-2(a) (1) and (b) (1)(3) of the subdivision ordinance.

Findings

The request was filed by the owner of all the frontage of the proposed vacation.

The public welfare is in no way served by retaining this portion of roadway easement; the City of Albuquerque does not anticipate any need to utilize the existing easement based on the remaining street width.

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by June 25, 2015 in the manner described below.

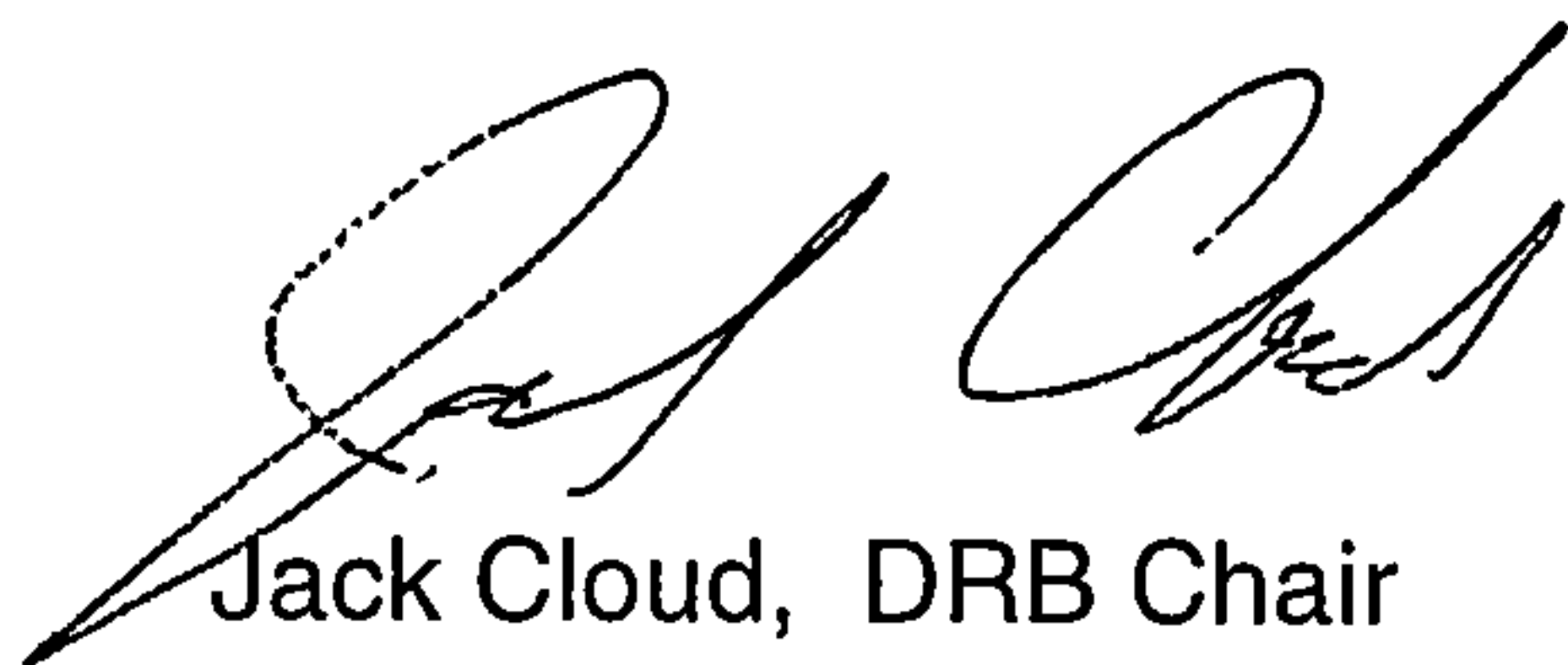
Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**May 13, 2015
DRB Comments**

ITEM # 11

PROJECT # 1010010

APPLICATION # 15-70188

RE: Lots 19-20, Block 4, North Albuquerque Acres Tr. 3, Unit 3

Please remove 'zoning' notes (2 and 7) from final plat.
It appears an Infrastructure List is needed; refer to comments from
Hydrology, ABCWUA and Transportation.



Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat (P&F)
- Site Plan for Subdivision (SPS)
- Site Plan for Building Permit (SBP)

This sheet **must** accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

PROJECT NUMBER: Project# 1010010 - 15DRB-70188 MINOR - PREL/ FINAL PLAT APPROVAL

NAME: NAA

AGENT: BOB KEERAN

Your request was approved on 7-27-18 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed as follows:

Transportation:

ABCWUA:

City Engineer:

Parks and Recreation :

Planning:

resub e' map
city impact

PLATS:

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). **RECORDED DATE:**

-Tax printout from the County Assessor.

-County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

ALL SITE PLANS:

3 copies of the approved site plan. Include all pages.

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: JUNE 15, 2015

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1010010
DRB Application No.: _____

SIGNAL POINTE SUBDIVISON

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**LOT S 19 & 20 BLOCK 4, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		STD	CURB/GUTTER N. SIDE SIGNAL	SIGNAL AVE	W. PL LOT 20	E. PL LOT 19	/	/	/
		6' WIDE	PCC SDWK, N. SIDE SIGNAL	SIGNAL AVE	W. PL LOT 20	E. PL LOT 19	/	/	/
		14' FACE	PERMANENT ASP. PAVEMENT	SIGNAL AVE	W. PL LOT 20	E. PL LOT 19	/	/	/
		24'	PRIVATE RDWY W/ ROLL CURB/G	SIGNAL POINTE (Private Access)	SIGNAL AVE	END OF HAMMER HEAD(s)	/	/	/
		4' WIDE	PCC SDWK E. & N. SIDES OF LOT 6 PCC SDWK W. & N. SIDES OF LOT 7	SIGNAL POINTE (Private Access)	SIGNAL AVE	END OF HAMMER HEAD (S.SIDE ONLY)	/	/	/
		3/4"	8-WATER SERVICES	SIGNAL POINTE	LOTS 1	THRU 8	/	/	/
		4"	8-SAN. SEWER SERVICES	SIGNAL POINTE	LOTS 1	THRU 8	/	/	/
		8"	300 FT. SAN. SEWER LINE	SIGNAL POINTE	SIGNAL AVE	END OF HAMMER HEAD(s)	/	/	/
		6"	300' WATER LINE	SIGNAL POINTE	SIGNAL AVE	END OF HAMMER HEADS(s)	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

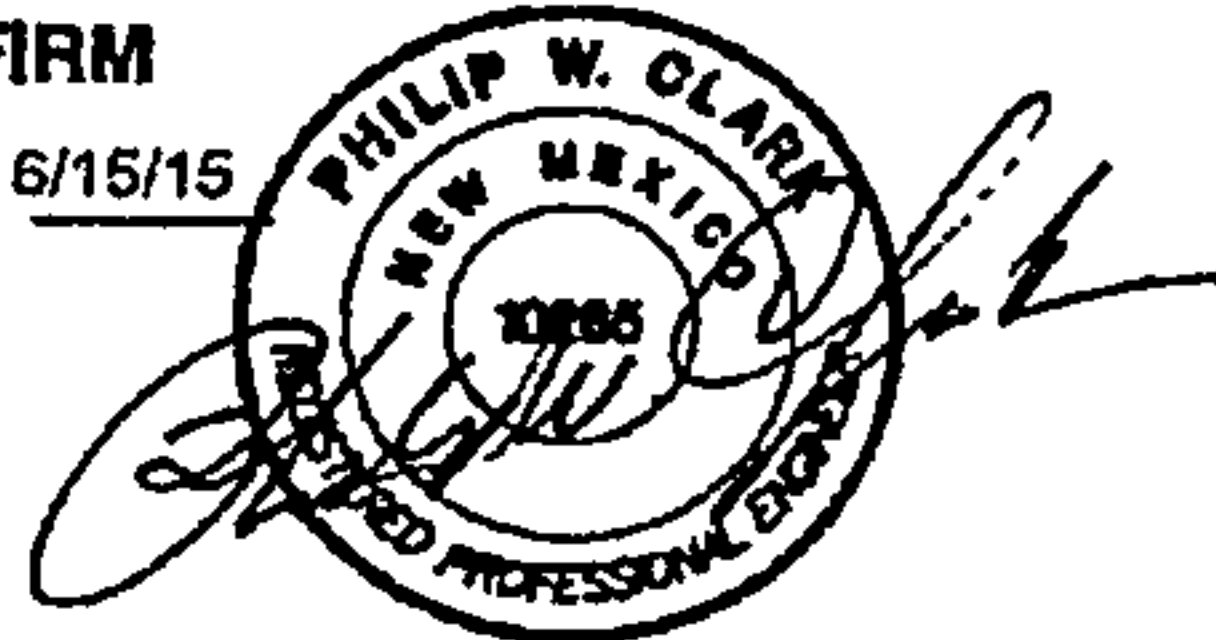
AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

PHILIP W CLARK
NAME (print)

CLARK CONSULTING ENGINEERS
FIRM

6/15/15



SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bob Keenan on Assists PHONE: 505-249-1502
 ADDRESS: 9830 KEENAN LN NE FAX: N/A
 CITY: Alb STATE: NM ZIP: 87122 E-MAIL: Have house@hotmail.com

APPLICANT: Bob Keenan PHONE: 505-249-1502
 ADDRESS: 9830 KEENAN LN NE FAX: N/A
 CITY: Alb STATE: NM ZIP: 87122 E-MAIL: Have house@hotmail.com

Proprietary interest in site: Agent List all owners: Bob & Sarah Keenan

DESCRIPTION OF REQUEST: REPAIR lots 19 & 20 BLK 4 TRACT 3 UNIT 3 NAA
into 8 lot sub aka signal route & a side walk variance

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. lots 19 & 20 Tr 3 Block: 4 Unit: 3
 Subdiv/Addn/TBKA: NAA
 Existing Zoning: S DUA Proposed zoning: S DUA MRGCD Map No _____
 Zone Atlas page(s): C-20 UPC Code: 1-020-064-207-334-20213
1-020-064-222-334-20214

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 14 DRB 70069
Project # 1010010, 14 DRB 70108

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 0 Total site area (acres): 2.2 Acres

LOCATION OF PROPERTY BY STREETS: On or Near: Sierra
 Between: Boylan and Ventura

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE: Bob Keenan DATE: 8-14-14
 (Print Name) Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
150RB-70233

Action
SV
CMF

Revised: 4/2012
 S.F. Fees
 _____ \$ 0
 _____ \$ 20.00
 _____ \$ _____
 _____ \$ _____
 _____ \$ _____
 Total
 \$ 20.00

Hearing date July 8, 2015

6-23-15

Project # 1010010

Staff signature & Date

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
24 copies
- Application for Minor Plat on FORM S-3, including those submittal requirements.
 - Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
- VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- SIDEWALK VARIANCE (DRB20)**
- SIDEWALK WAIVER (DRB21)** **6 copies**
- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14")
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
- Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the variance
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT (DRB26)**
- VACATION OF RECORDED PLAT (DRB29)**
- The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - Letter of authorization from the grantors and the beneficiaries (private easement only)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bob Keenan
Applicant name (print)

[Signature]
Applicant signature / date

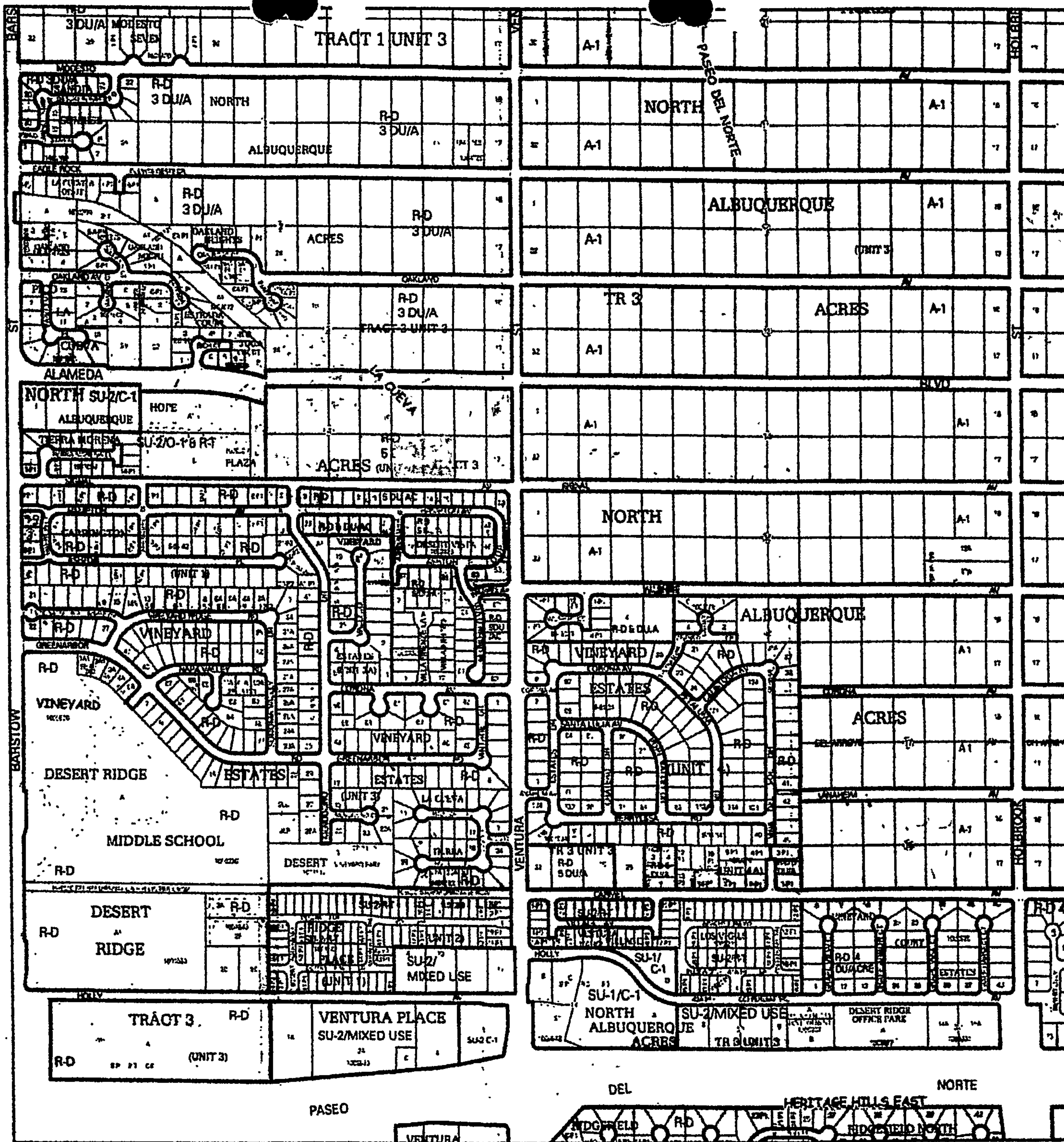


- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
15-DRB-70233

Form revised 4/07

[Signature] 6-23-15
Planner signature / date

Project # 1010010



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/24/2011

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-20-Z

Selected Symbols

SECTOR PLANS		Escarpment
Design Overlay Zones		2 Mile Airport Zone
City Historic Zones		Airport Noise Contour
H-1 Buffer Zone		Wall Overlay Zone
Petroglyph Mon.		

0 750 1,500 Feet

**RBK Realty, Inc.
8830 Keeran Ln. NE
Albuquerque, NM 87122
505.249.1502**

June 22, 2015

Subject: Sidewalk Variance in conjunction with the replat of Lots 19 & 20, Blk. 4, Unit3, NAA

Ladies and Gentlemen:

The purpose of this submittal is to provide the required Form V to request a Sidewalk Variance and have it approved along with the approval of a preliminary plat aka the replat of Lots 19 & 20, Blk. 4, Unit 3, NAA into an eight lot subdivision to be known as Signal Point which was previously submitted and indefinitely deferred awaiting G&D approval by Hydrology. A copy of the required pdf is enclosed. Six copies of the following have been attached for your review and approval.

1. Drawing of the Sidewalk Variance. We're asking for a 4' wide sidewalk to be built only on the south side of the east/west road against the back of the curb without a landscape buffer.
2. The revised 38' cross section of Signal Pointe North/South showing the landscape area between the back of the curb and the sidewalk.
3. The revised infrastructure list.
4. The revised Site Plan showing adequate access to Lot #8.
5. The revised Preliminary Plat including language specifically allowing for Public Water and Public Sewer in the Private Easement in addition to calling out the Beneficiaries per item #12, page 2 of 2.

Pursuant to Section 14-14-6-1 (A) we're asking for approval of a blanket variance for the subdivision because it encourages flexibility and ingenuity in design of the subdivision due to difficulty resulting from strict compliance with the minimum standards as follows:

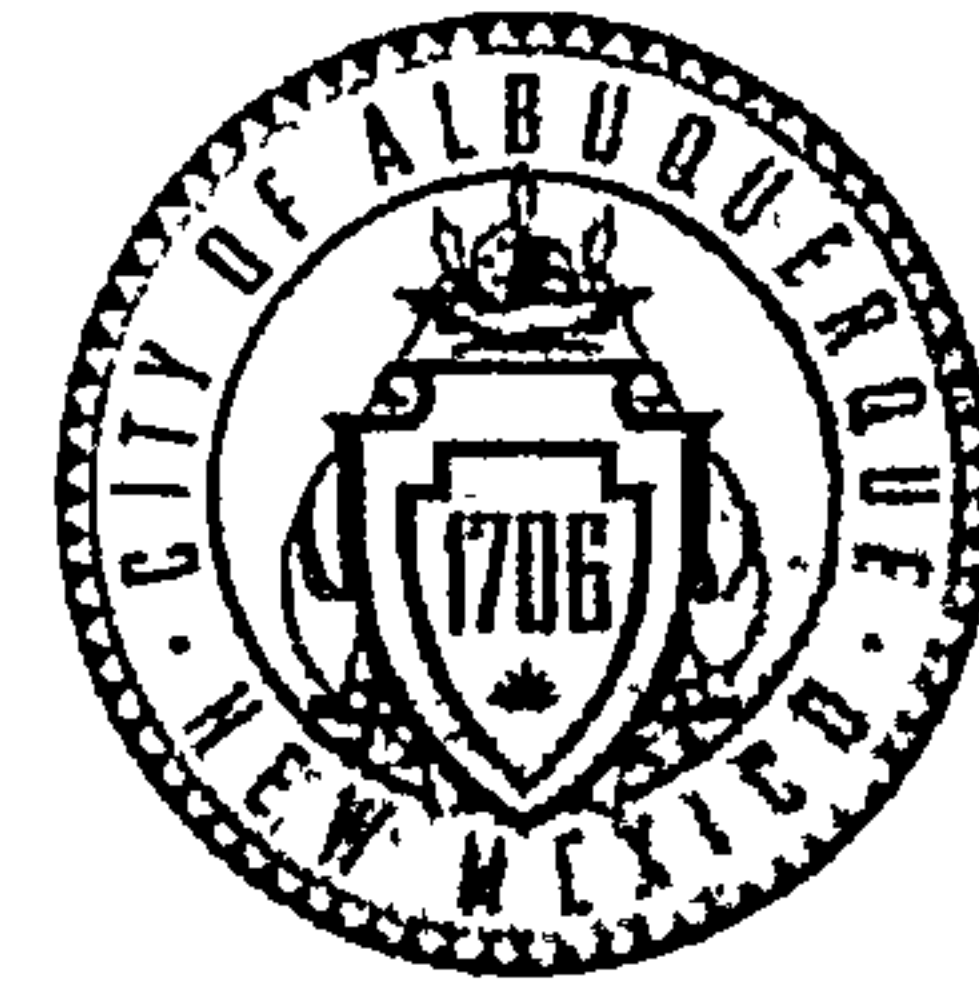
1. The variances will not be injurious to the public safety, health or welfare, or to adjacent property, the neighborhood or the community; and
2. The variances will not conflict significantly with the goals and provisions of any city, county, or AMAFCA adopted plan or policy, the applicable zoning ordinance, or any other city code or ordinance; and
3. The variances will not permit, encourage or make possible undesired development in the 100-year Flood plain, and
4. The variances will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements; and
5. One or more bases listed in Section 14-14-6-1 applies.

Thanks for your cooperation in this matter and look forward to your approval. If you have any questions, please don't hesitate to call me @ 505.249.1502.

Sincerely,


Bob Keeran, President
DRB Signal Pointe Submittal for 7.8.15

CITY OF ALBUQUERQUE



June 23, 2015

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**RE: Signal Pointe Subdivision
Lots 19 & 20, Block 4, Tract 3, Unif 3, North Albuquerque Acres
Grading and Drainage Plan, Engineer's Stamp Date: 6/14/15 (C20D070)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 6-18-15 the above referenced Grading and Drainage Plan is approved for Preliminary Plat approval. The following comments must be addressed prior to Grading and Final Plat approval:

1. AMAFCA's approval is required for discharging through Lot 21 to the west of the project.
2. The wall should remain in place once the erosion occurs. Please design the flood control structures accordingly. The top of the footing for the proposed retaining wall must be at the scour depth. Proposed flood control structure proposed for the east side of the project will not remain in place once the scour occurs. A retaining wall or another form of structure must be used which would remain in place once erosion occurs.
3. Bottom of the wall or top of footing for the flood control structure must be at 51.0 along the east side of the project (within the erosion setback). Plan and Profile with details for the flood control structures should be submitted with DRC plans.
4. Temporary/Permanent easements will be required for any construction impacting adjacent property owners. Maintenance responsibility of the any proposed structure constructed on any of the adjacent properties must be determined on the proposed easement documents.
5. The Q-Release shown on the west of turned blocks is 5.10 cfs. Is the discharge at 1.80 cfs?
6. The invert of the turned blocks is at 51.40. The orifice equation used shown on the plan indicates that $H=2.0'$. Therefore, the water surface elevation is designed to be at 53.40'. Based on this elevation the runoff will be backing up into lots 5 and 6.
7. The drainage easement must be only on one lot (proposed Lot 5 or Lot 6). Maintenance responsibility of the pond should be noted on the plat.
8. Based on the latest calculations 22% of the 3090 cfs (680 cfs) will flow towards the easterly wall. Provide analysis that the runoff will not overtop the flood control structure, and that it will be able to drain north once it reaches the wall. How will this impact the flood control structure? Does it have to be extended to the south?
9. An Erosion and Sediment Control Plan approval is required prior to grading approval.

PO Box 1293

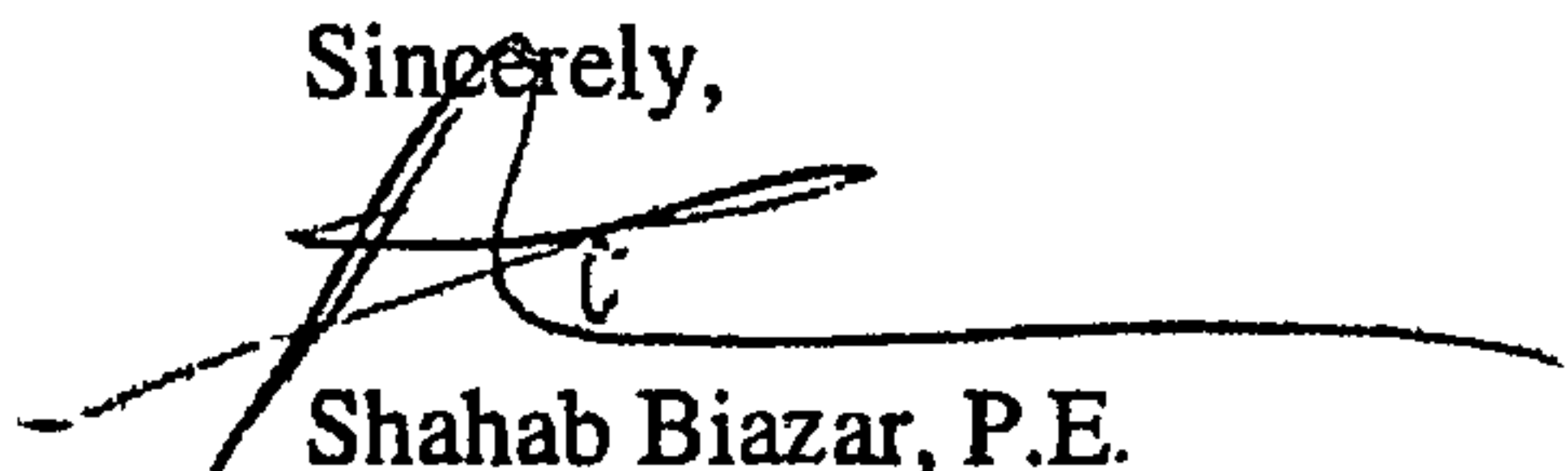
Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3999.

Sincerely,

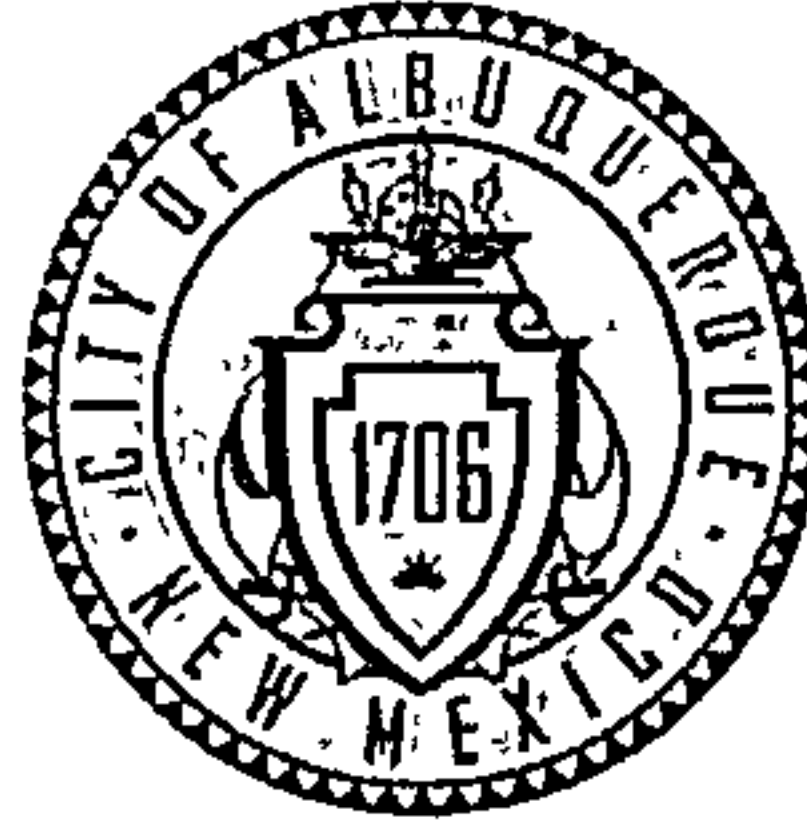

Shahab Biazar, P.E.
City Engineer, Planning Dept.

C: e-mail

PROJECT #
10100010

July 8, 2015

SV



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
APD CRIME PREVENTION.....*Steve Sink*
OPEN SPACE DIVISION.....*Kent Reed Swanson/Sarah Brown*
FIRE DEPARTMENT.....*Antonio Chinchilla*
ZONING ENFORCEMENT INSPECTOR.....*Vince Montano*
NEIGHBORHOOD COORDINATION.....*Stephani Winklepleck*
PNM.....*Daniel Aragon*
NEW MEXICO GAS COMPANY.....*Patrick Sanchez*
ALBUQUERQUE PUBLIC SCHOOLS.....*April Winters*
COMCAST CABLE.....*Mike Mortus*
Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 10100010

Board hearing date:

WEDNESDAY, June 10, 2015



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSPORTATION DEVELOPMENT*John MacKenzie*
TRANSIT & PARKING DEPARTMENT*Shabih Rizvi*
COUNCIL OF GOVERNMENTS.....*Kendra Watkins/Andrew Gingerich*
AMAFCA.....*Lynn Mazur*
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Mid.Rio Grande Conserv. Dist. (MRGCD).....*Ray Gomez*
ENVIRONMENTAL HEALTH.....*Paul Olson*

Your comments on the following case(s) are requested.

PROJECT # 10100010

Board hearing date:

WEDNESDAY, June 10, 2015



**PUBLIC HEARING-DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, June 10, 2015 beginning at 9:00 a.m. and proceeding according to that day's agenda for the purpose of considering the following items. The Development Review Board will hold a Pre-Hearing Discussion in the Conference Room of Suite 207, Lobby Level, Plaza del Sol Building, 600 2nd St NW, Albuquerque, NM on Tuesday June 9, 2015, beginning at 3:00 p.m. for the purpose of reviewing these items prior to the public hearing; no action or public comments will be taken at this Discussion.

Project# 1000649
15DRB-70199 MAJOR – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

STUDIO SW ARCHITECTS agents for IPMI 6, LLC request the referenced/ above action for a portion of Tract 84E, MRGCD MAP #35 zoned SU-1/ C-2, located on the east side of 12TH ST NW between INDIAN SCHOOL RD NW and MENAUL BLVD NW, containing approximately 3.45 acres. (H-13)

Project# 1002632
15DRB-70196 – 2 YEAR SUBDIVISION
IMPROVEMENT AGREEMENT EXTENSION
(2YR SIA)
15DRB-70197 2 YEAR SUBDIVISION
IMPROVEMENT AGREEMENT EXTENSION
(2YR SIA)

TERRA WEST LLC agents for FLASH RESOURCES, LLC request the referenced/ above actions for THE BOULDERS PHASE III zoned R-LT, located on the west side of UNSER BLVD NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 18.97 acres. (B-10 & 11)

Project# 1010010
15DRB-70198 VACATION OF PUBLIC
ROADWAY EASEMENT

BOB KEERAN agent for BLAS & SARAH URQUIDEZ requests the referenced/ above action for a portion of SIGNAL AVENUE NE adjacent to Lots 19 & 20, Block 4, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES zoned R-D, located on the north side of SIGNAL AVE NE between VENTURA ST NE and BARSTOW ST NE. (C-20)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Jack Cloud, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, May 25, 2015.

- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

STORM DRAINAGE (Form D)
 Storm Drainage Cost Allocation Plan

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.
Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bob Keenan PHONE: 505-249-1502

ADDRESS: 8830 KEERAN LN NE FAX: N/A

CITY: ALB. STATE NM ZIP 87122 E-MAIL: llavehans@hotman.com

APPLICANT: Bob Keenan PHONE: 505-249-1502

ADDRESS: 8830 KEERAN LN NE FAX: N/A

CITY: ALB STATE NM ZIP 87122 E-MAIL: llavehans@hotman.com

Proprietary interest in site: Agent/Applicant List all owners: BAS & SMATA UNDIVIDED

DESCRIPTION OF REQUEST: Prep Replat lots 19 & 20 B/C 4, TRACT 3
Unit 3, N/A into lot 19A, vacate 5' signal, Associate 25'

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 19 & 20 TR 3 Block: 4 Unit: 3

Subdiv/Addn/TBKA: N/A

Existing Zoning: 5 DUA Proposed zoning: 5 DUA MRGCD Map No. _____

Zone Atlas page(s): C-20 UPC Code: 1-020-064-207-334-20213

1-020-064-222-334-20214

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 14 DRB 70069

Project # 1010010, 14 DRB 70108

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): ≈ 2

LOCATION OF PROPERTY BY STREETS: On or Near: SIGNAL

Between: BAYVIEW and VENTURA

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE

(Print Name) Bob Keenan DATE 5-14-15

Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>15 DRB 70198</u>	<u>VPE</u>	_____	<u>\$ 45.00</u>
_____	<u>ADY</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Hearing date June 10, 2015

Total \$ 95.00

[Signature]

5-15-15
Staff signature & Date

Project # 1010010

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

SIDEWALK VARIANCE (DRB20)

SIDEWALK WAIVER (DRB21)

- ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance or waiver
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)

- ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the variance
- ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- ___ Sign Posting Agreement
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)

- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter briefly describing, explaining, and justifying the deferral or extension
- ___ List any original and/or related file numbers on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT (DRB26)

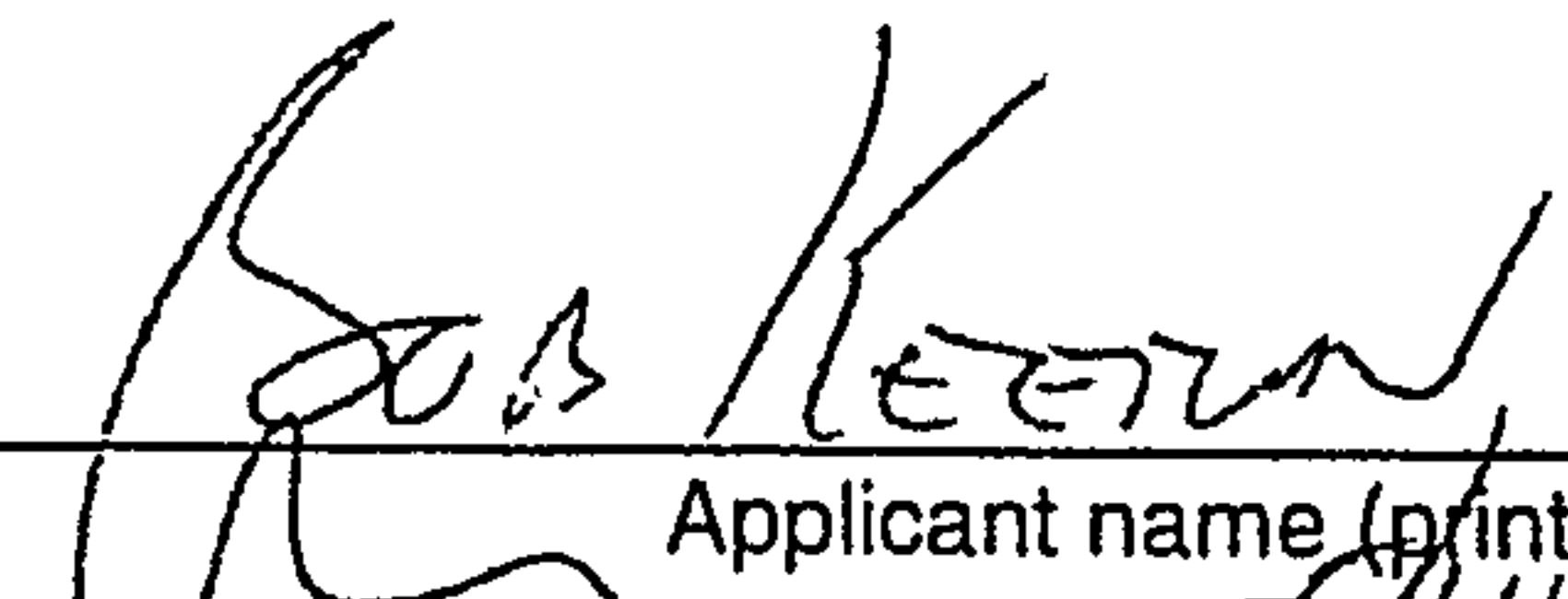

VACATION OF RECORDED PLAT (DRB29)

- ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies
- ___ Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
- ___ Zone Atlas map with the entire property(ies) clearly outlined
- ___ Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
- ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
- ___ Fee (see schedule)
- ___ List any original and/or related file numbers on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.


 Applicant name (print) _____
 Applicant signature / date _____ 5/14/15
 Form revised 4/07

 _____ 5-15-15
 Planner signature / date
 Project # 1010010

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 15DRB-70198

... application describes. Vacations or public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

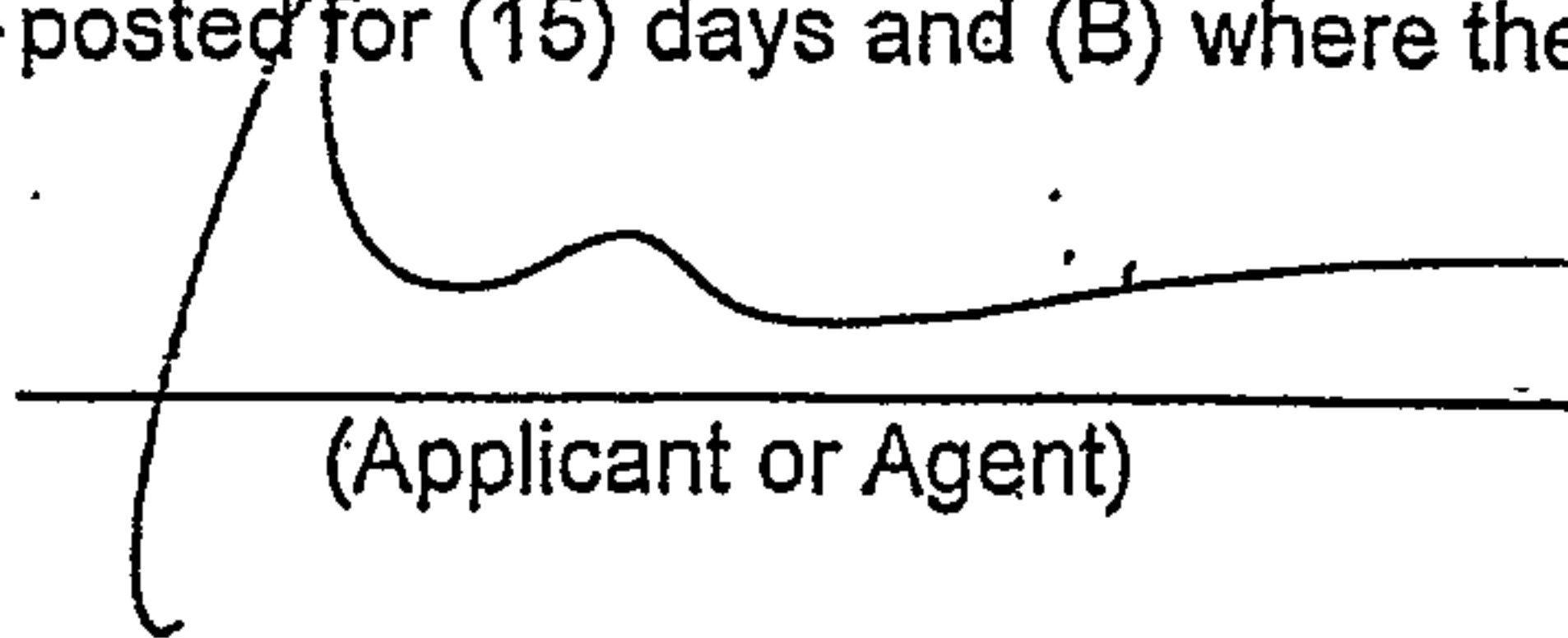
4. TIME

Signs must be posted from May 26 2015 To June 10 2015

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



 (Applicant or Agent)

5-15-15

 (Date)

I issued 1 signs for this application, 5-15-12 _____
 (Date) (Staff Member)

DRB PROJECT NUMBER: 1010010

**RBK Realty, Inc.
8830 Keeran Ln. NE
Albuquerque, NM 87122
505.249.1502**

May 14, 2015

Subject: Proposed Replat of Lots 19 & 20, Blk. 4, Unit 3 NAA into Lot 19-A, Vacation of 5' of Public Right-of Way and Dedication of 25' of Signal in fee simple to the City of Albuquerque, Zone Atlas Page C-20.

Dear Ladies and Gentlemen:

The purpose of this letter is to get preliminary plat approval Replatting Lots 19 & 20, Blk. 4, Unit 3 NAA into Lot 19-A, along with the Vacation of 5' of Public Easement/Right-of-Way and Dedication of 25' of Signal in fee simple to the City of Albuquerque (totaling 8,250 square feet which is the result of multiplying 25' of width x 330' of length as shown on the attached plat), Zone Atlas Page C-20: DRB Project #1010010 and provide the requested information as follows:

1. 24 copies of the document that created the public easement.
2. 24 copies of the Proposed Plat of Lot 19-A containing 1.892 acres including the vacation of 5' of Signal Avenue and dedication of the remaining 25' of Public Easement/Right-of-Way in fee simple to the City of Albuquerque.
3. Zone Atlas page C-20 with the entire property highlighted.
4. Letters to Elizabeth meek and tony Huffman of the Vineyard Estates Neighborhood Assoc. that needed to be contacted in regards to the is planning submittal – per letter and “Attachment A” dated May 13, 2015 from Dalaina Carmona, Senior Administrative Assistant in the Office of Neighborhood Coordination.
5. I'm requesting approval of the Vacation of 5' of the Public Roadway Easement/Right of Way in Signal Avenue because the public welfare is in no way served by retaining the way or easement. Actually, there is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation. Finally, there is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
6. I've included a cross section of the proposed 50' wide local street, showing the location of the proposed new 6' sidewalk on the north side of the street with the proposed 2.5' landscape area between it and the back of curb. The curb is 6" wide. The south side of Signal is built.

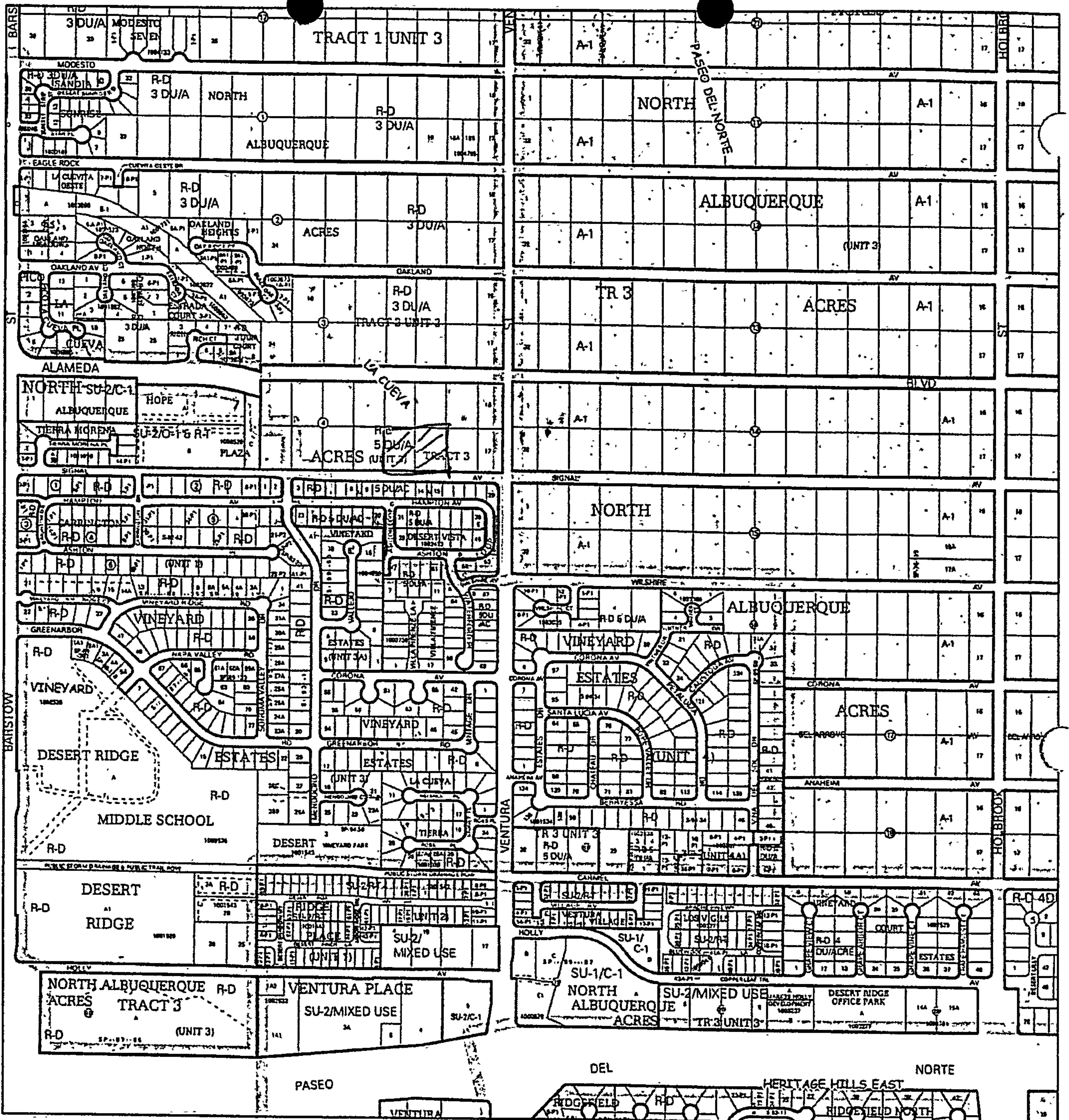
Thanks for your cooperation in this matter. If you have any questions, please don't hesitate to call me @ 505.249-1502 or email me @ lhavehomes@hotmail.com.

Sincerely,

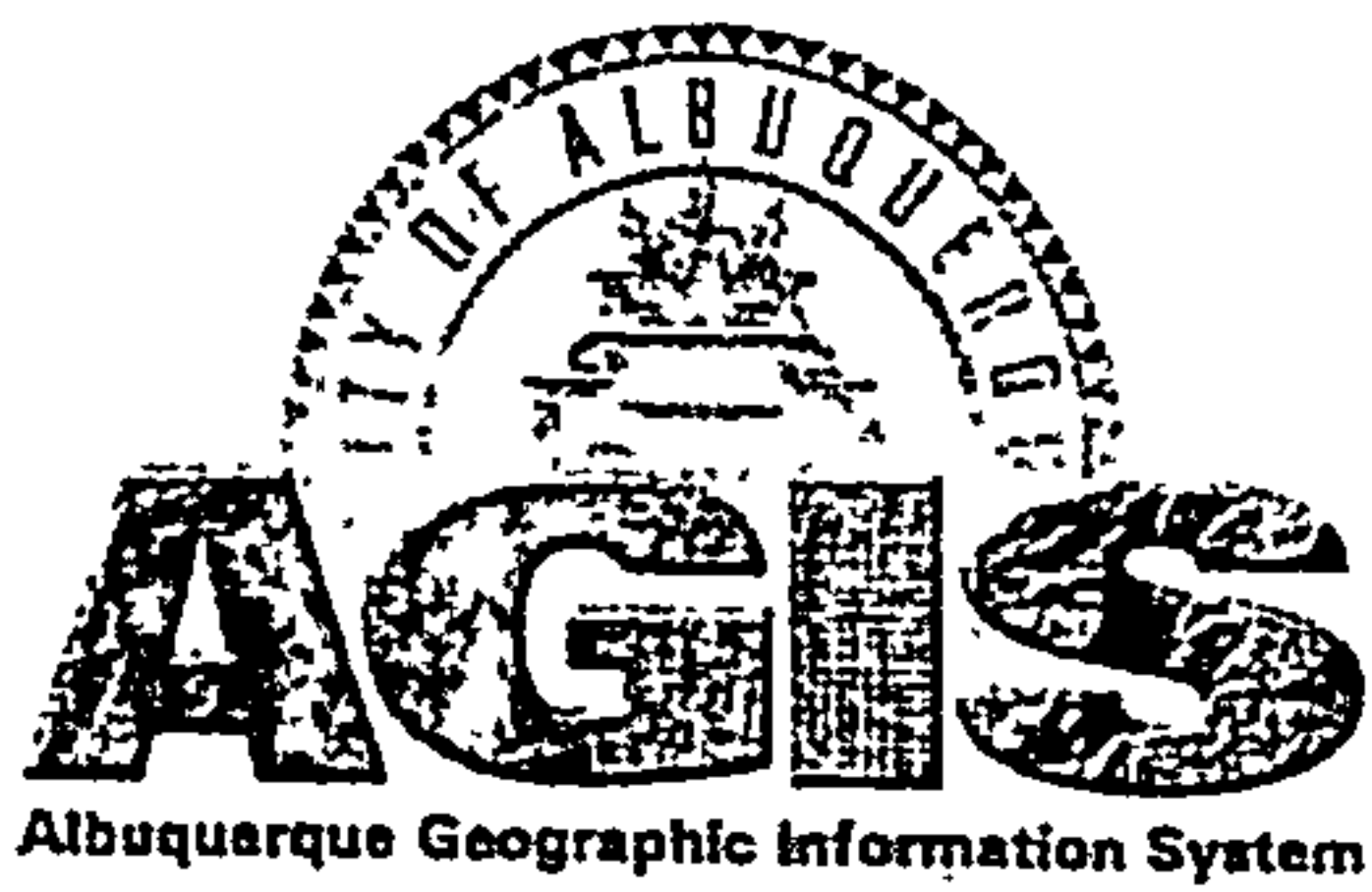
Bob Keeran
Managing Partner

Enclosure/s

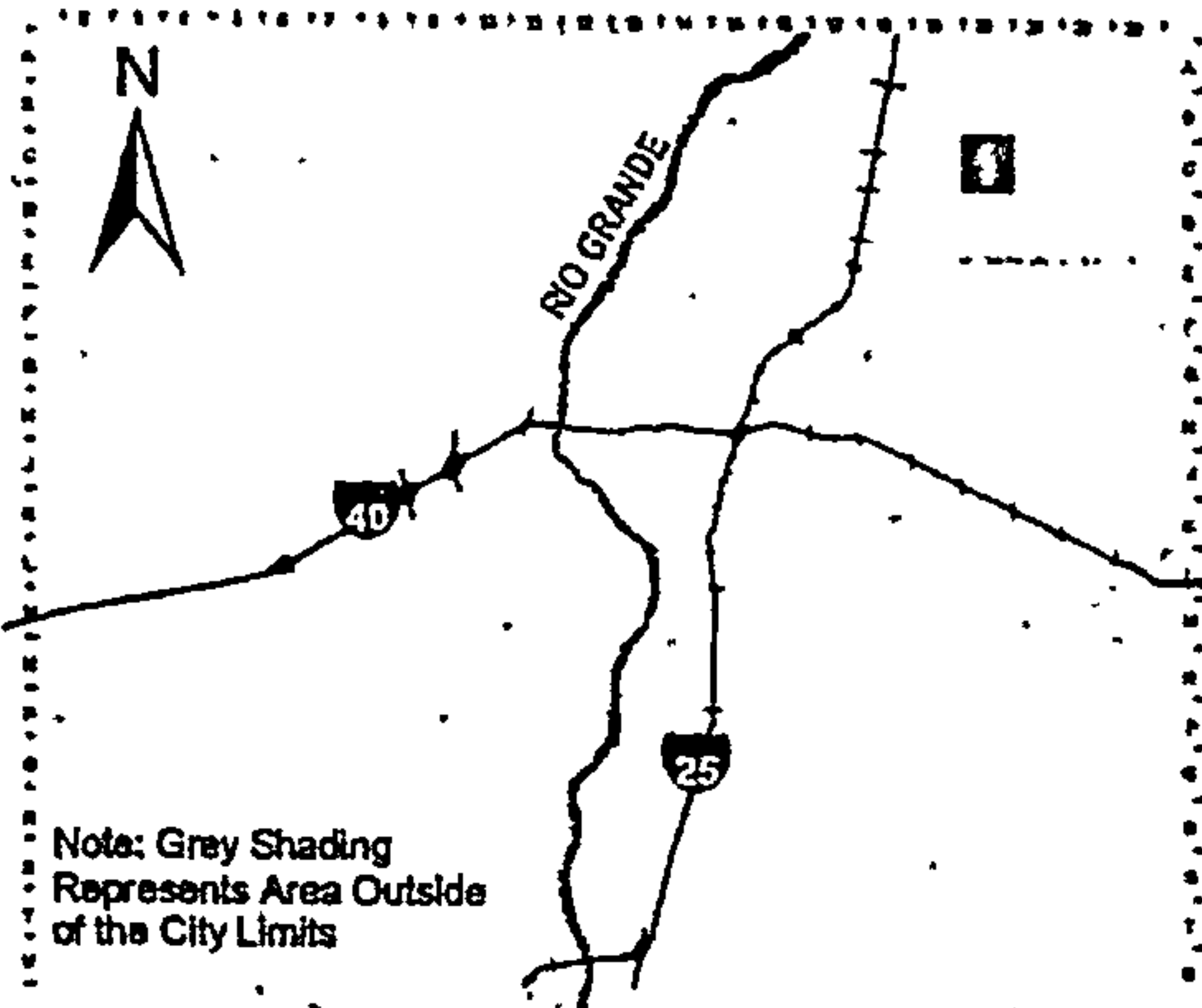
DRB Signal Lot Vacation Racquel Michel 1



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 4/2/2012



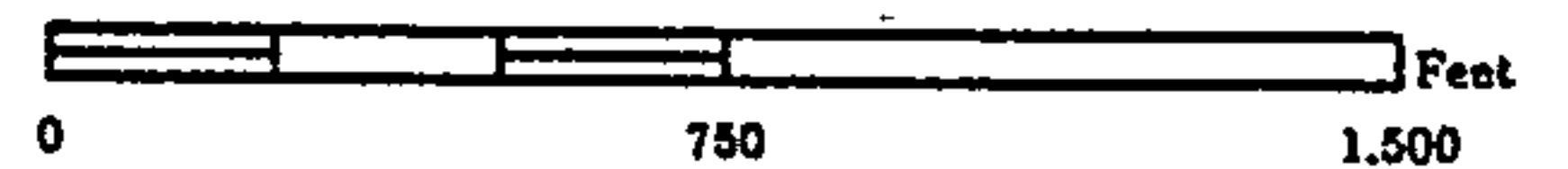
Note: Grey Shading Represents Area Outside of the City Limits

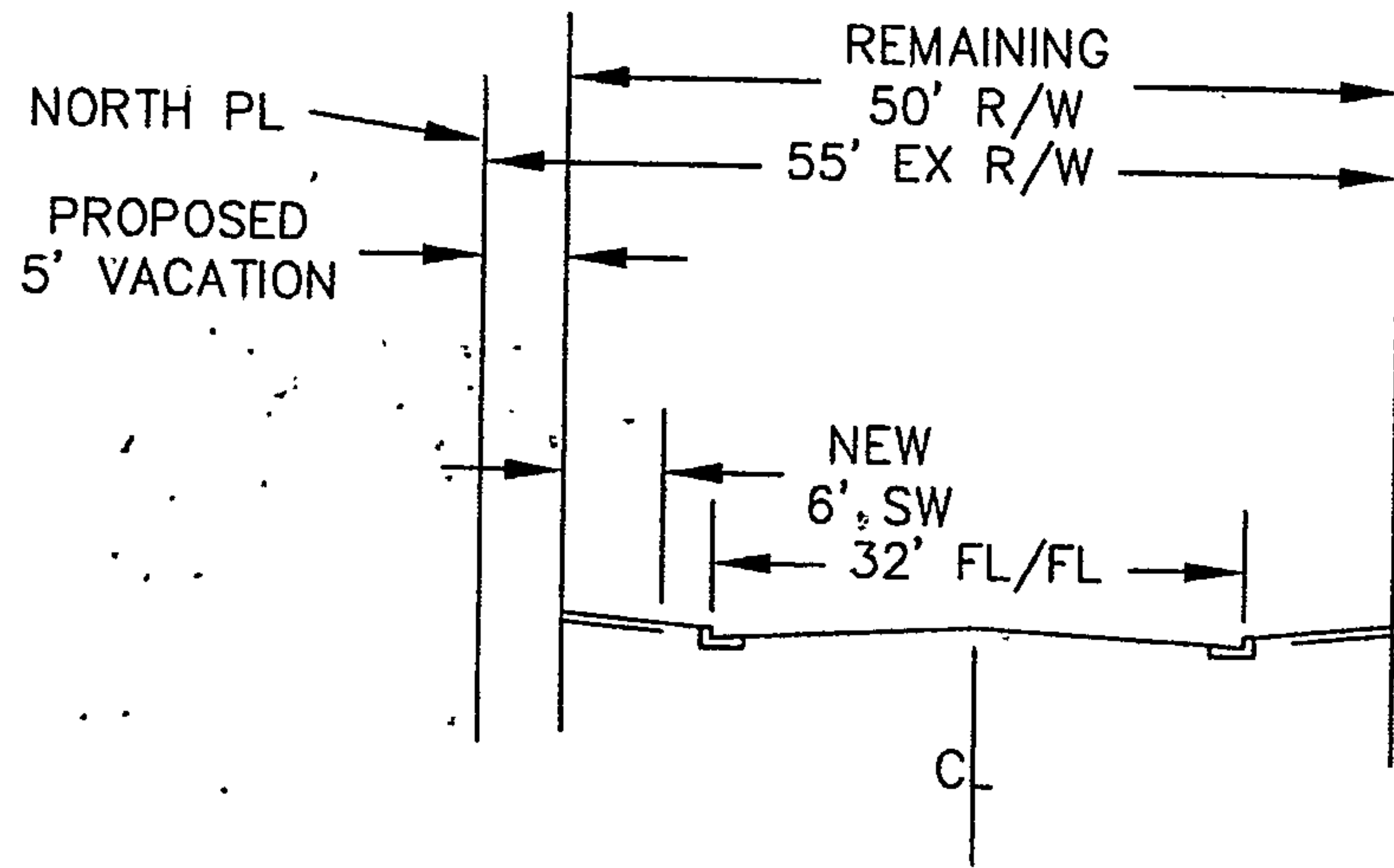
Zone Atlas Page:

C-20-Z

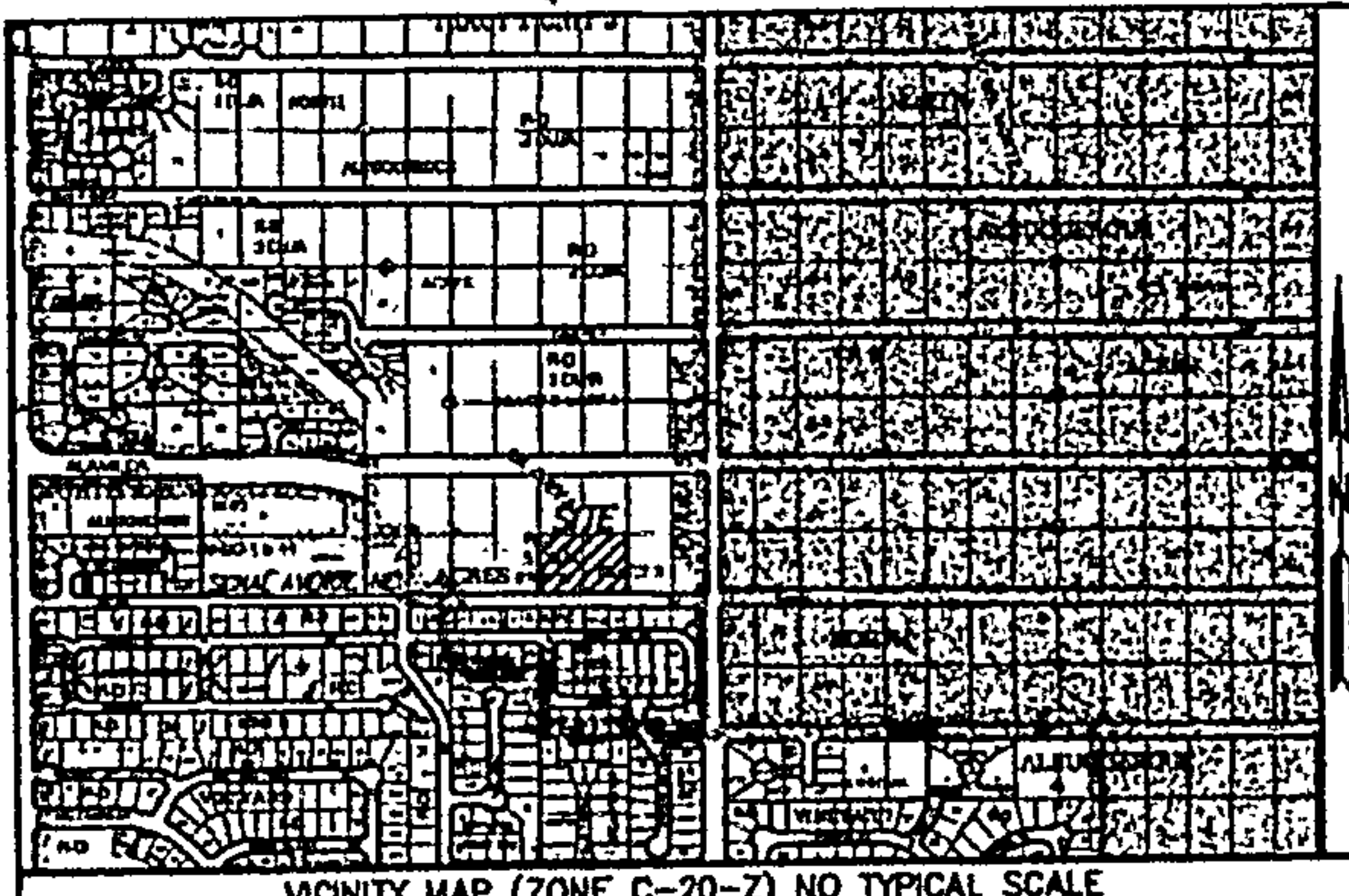
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





SIGNAL AVENUE, NE
PROPOSED CROSS-SECTION



VICINITY MAP (ZONE C-20-Z) NO TYPICAL SCALE

LOT 19-A
BLOCK 4, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
PROJECTED SECTION 17
T. 11 N., R. 4 E., N.M.P.M.
ELENA GALLEGOS LAND GRANT
ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO

MAY 2015
 PAGE 1 OF 2

THIS IS TO CERTIFY THAT TAXES ARE CURRENT
 AND PAID ON UPC # 102008422233420214
 AND PAID ON UPC # 102008420733420213
 PROPERTY OWNER OF RECORD _____
 BERNALILLO COUNTY TREASURER'S OFFICE

- SUBMISSION DATA**
- 1) CASE No. _____
 - 2) ZONE ATLAS INDEX No. C-20.
 - 3) GROSS SUBDIVISION AREA: 1.8192 ACRES
 - 4) TOTAL NUMBER OF LOTS CREATED: 1 LOT
 - 5) DRB PROJECT No. 1010010
 - 6) TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.000

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:
 PROJECT NO. 1010010 APPLICATION NO. _____

- _____ DRB CHAIRPERSON, PLANNING DEPARTMENT
- _____ CITY ENGINEER
- _____ TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
- _____ UTILITIES DEVELOPMENT
- _____ PARKS AND RECREATION DEPARTMENT
- _____ A.M.A.F.C.A.
- _____ REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE
- _____ CITY SURVEYOR, CITY OF ALBUQUERQUE
- _____ PNM ELECTRIC SERVICES COMPANY
- _____ NEW MEXICO GAS COMPANY
- _____ QWEST CORPORATION d/b/o CENTURYLINK QC
- _____ COMCAST CABLE

THE PURPOSE OF THIS PLAT IS TO COMBINE LOT 19 AND 20 OF BLOCK 4, NORTH ALBUQUERQUE ACRES, UNIT 3, TRACT 3 INTO A SINGLE LOT TO BE KNOWN AS LOT 19-A AND TO ATTACH THE NORTHERLY FIVE FEET (5') OF VACATED SIGNAL AVENUE, N.E. ROADWAY EASEMENT TO THE ADJACENT PROPERTY AND TO DEDICATE THE REMAINING TWENTY-FIVE FEET (25') OF THE NORTHERLY THIRTY FEET (30') OF THE SIGNAL AVENUE, N.E. ROADWAY EASEMENT TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

CONSENT AND DEDICATION STATEMENT
 THE UNDERSIGNED DOES HEREBY STATE AND AFFIRM THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LANDS SHOWN HEREON AND THAT WE POSSESS COMPLETE AND INDEFEASIBLE TITLE THERETO, IN FEE SIMPLE, AND WE DO FURTHER STATE THAT THE SUBDIVISION SHOWN HEREON IS OF OUR FREE WILL AND CONSENT IN ACCORDANCE WITH OUR EXPRESSED WISHES AND DESIRES AND WE FURTHER AFFIRM THAT WE ARE DEDICATING TWENTY-FIVE FEET OF RIGHT OF WAY ON SIGNAL AVENUE, NORTHEAST TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE AND THAT WE ARE GRANTING ALL EASEMENTS AS SHOWN HEREON, IN WITNESS WHEREOF WE HEREBY AFFIX OUR HANDS.

 BLAS URQUIDEZ

 SARAH URQUIDEZ

ACKNOWLEDGMENT
 STATE OF _____)
 COUNTY OF _____) ss
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2015, BY BLAS URQUIDEZ.

 NOTARY PUBLIC

MY COMMISSION EXPIRES / /

ACKNOWLEDGMENT
 STATE OF _____)
 COUNTY OF _____) ss
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2015, BY SARAH URQUIDEZ.

 NOTARY PUBLIC

MY COMMISSION EXPIRES / /

PROPERTY DESCRIPTION

ALL OF LOTS NUMBER 19 AND 20 IN BLOCK NUMBER FOUR (4) OF TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES SUBDIVISION, AS THE SAME IS FILED IN THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931, IN VOLUME 0, AT FOLIO 131 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 20 WHENCE ALBUQUERQUE CONTROL STATION "7_C19" BEARS S84°25'29"W AND 2026.18 FEET DISTANT; THENCE S89°52'27"E A DISTANCE OF 330.06 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE S00°11'41"W A DISTANCE OF 265.16 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, A POINT IN THE ORIGINAL CENTER LINE OF SIGNAL AVENUE, NORTHEAST; THENCE N89°41'18"W ALONG THE ORIGINAL CENTERLINE OF SAID SIGNAL AVENUE, NORTHEAST A DISTANCE OF 330.62 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE N00°07'13"E A DISTANCE OF 264.09 FEET TO THE NORTHWEST CORNER AND POINT OF BEGINNING AND CONTAINING 87,509 SQUARE FEET (2.0089 ACRES), MORE OR LESS.

UTILITY NOTE:

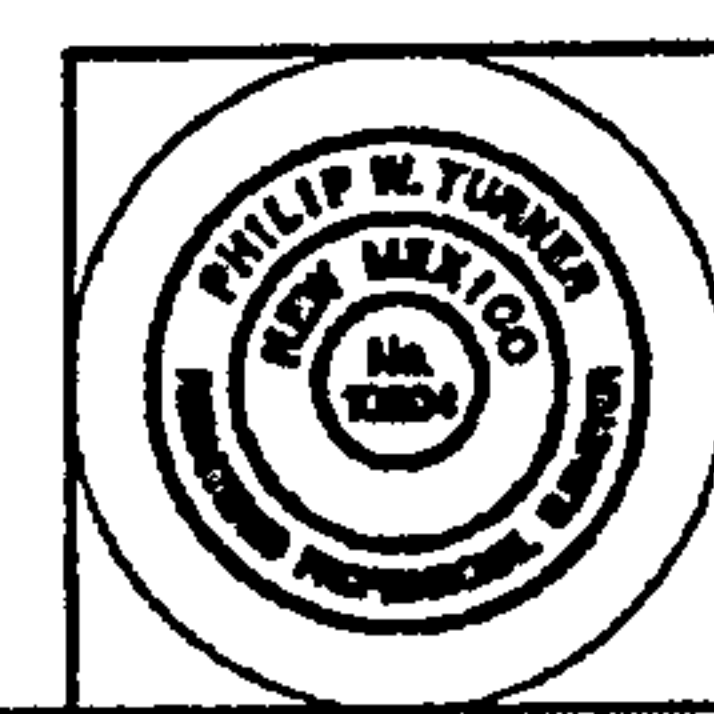
- PUBLIC UTILITY EASEMENT SHOWN HEREON IS TEN FEET (10') WIDE ALONG OAKLAND AVENUE AND VISTA OAKLAND COURT AND IS GRANTED FOR THE JOINT AND COMMON USE OF:
- A) PNM ELECTRIC SERVICES FOR THE INSTALLATION MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRIC SERVICE.
 - B) NEW MEXICO GAS COMPANY FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
 - C) CENTURY LINK FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING, BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
 - D) COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH UNDERGROUND LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

SURVEYOR'S CERTIFICATION

I, PHILIP W. TURNER, A PROFESSIONAL SURVEYOR LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, FROM THE RETURNS OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON AUGUST 27, 2013, THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT IT SATISFIES THE MINIMUM STANDARDS FOR LAND SURVEYING AS DETERMINED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND THAT IT MEETS THE REQUIREMENTS FOR PLATING AND MONUMENTATION OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

 PHILIP W. TURNER N.M.P.S. 10204 DATE

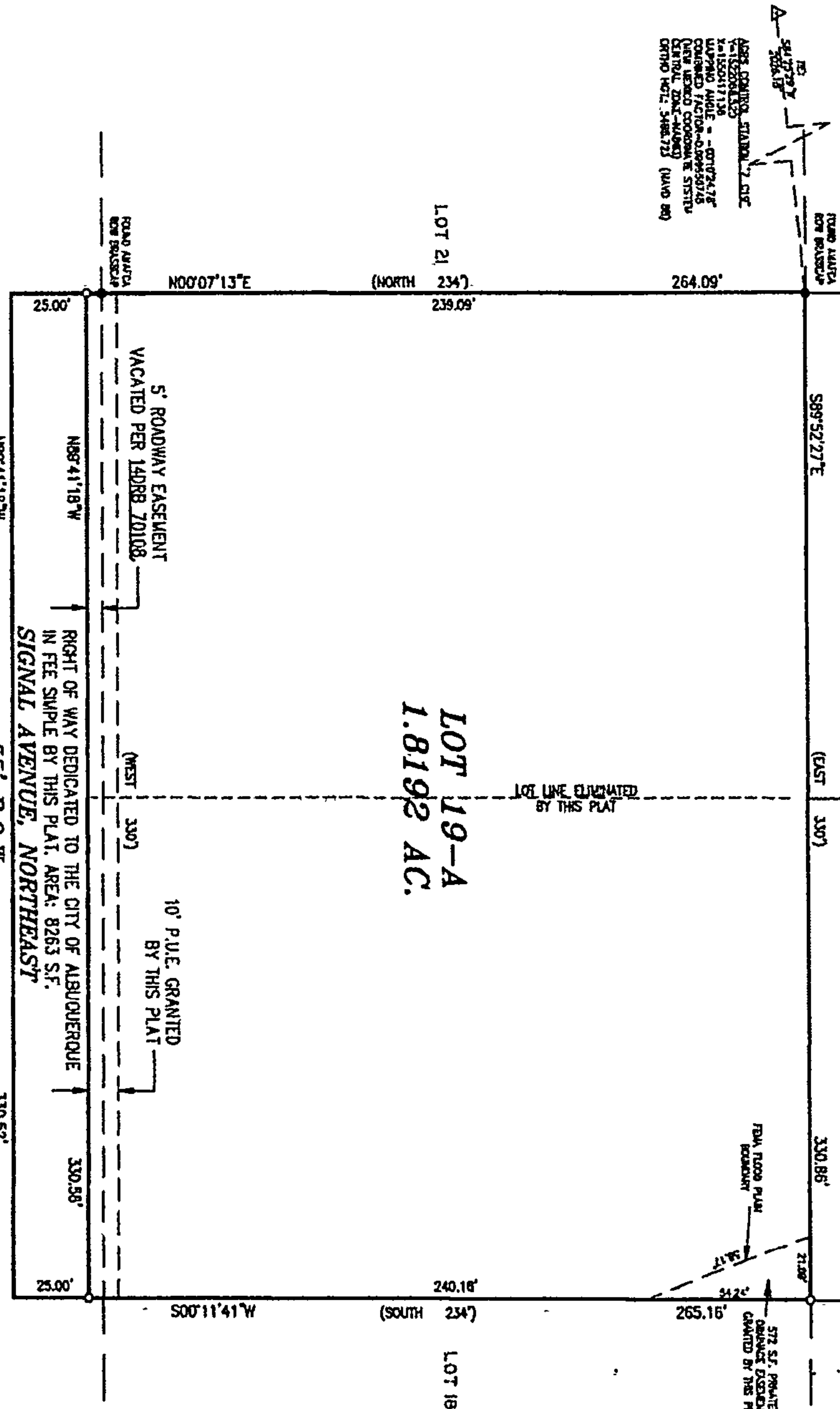
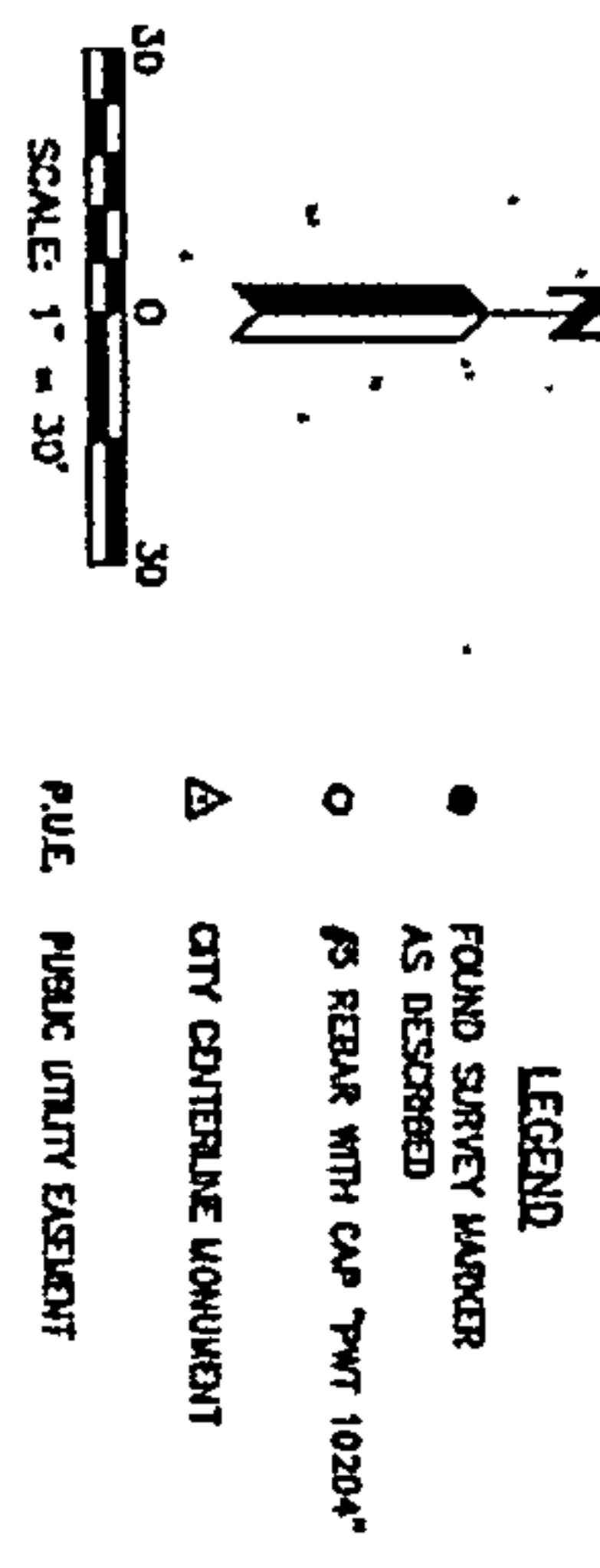
No property within the area of requested final action plat shall at any time be subject to deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7(B))



PLAT PREPARED BY
TERRAMETRICS NM
 4176 MONTGOMERY BOULEVARD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: (505) 851-2903

LOT 19-A
BLOCK 4, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
 PROJECTED SECTION 17
 T. 11 N., R. 4 E., N.M.P.M.
 ELENA GALLEGOS LAND GRANT
 ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO

MAY 2016
 PAGE 1 OF 2



- NOTES:**
- 1) BEARINGS SHOWN ARE NEW METHOD COORDINATE SYSTEM CENTRAL ZONE (NAD83) COORDINATES AND ARE REFERENCED TO THE ALBUQUERQUE GEODETIC NETWORK SYSTEM AS DETERMINED BY GPS OBSERVATIONS OBTAINED UTILIZING THE CITY OF ALBUQUERQUE REAL TIME GNSS NETWORK (PARTIAL) DISTANCES SHOWN ARE GROUND.
 - 2) THESE PROPERTIES ARE DEPICTED ON ZONE ATLAS PAGE "C-20".
 - 3) A PORTION OF THIS PROPERTY LIES IN FLOOD HAZARD ZONE "AO" AN AREA OF WITH FLOOD DEPTHS OF 1-2 FEET OF SHEET FLOW ON SLIGHT TIDYMAN REFERENCE FLRW. MAP NUMBER IS0000111411 WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.
 - 4) ALL OF THESE PROPERTIES LIE WITHIN THE CORPORATE LIMITS OF THE CITY OF ALBUQUERQUE, NEW MEXICO.
 - 5) LEGAL ACCESS TO THESE PROPERTIES IS GAINED DIRECTLY VIA SIGNAL AVENUE NORTHEAST.
 - 6) THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED DEED-16-15 BERNALILLO COUNTY DOCUMENT #201600024.
 - 7) ALL EASEMENTS OF RECORD ARE SHOWN HEREON.
 - 8) FIELD SURVEYS PERFORMED AUGUST 27, 2015.
 - 9) RECORD DATA SHOWN IN PARENTSHEETS ().

PLAT PREPARED BY
TERRAMETRICS NM
 4775 MONTGOMERY BOULEVARD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: (505) 881-2808

D-121

TRACT 3 UNIT 3 NORTH ALBUQUERQUE ACRES

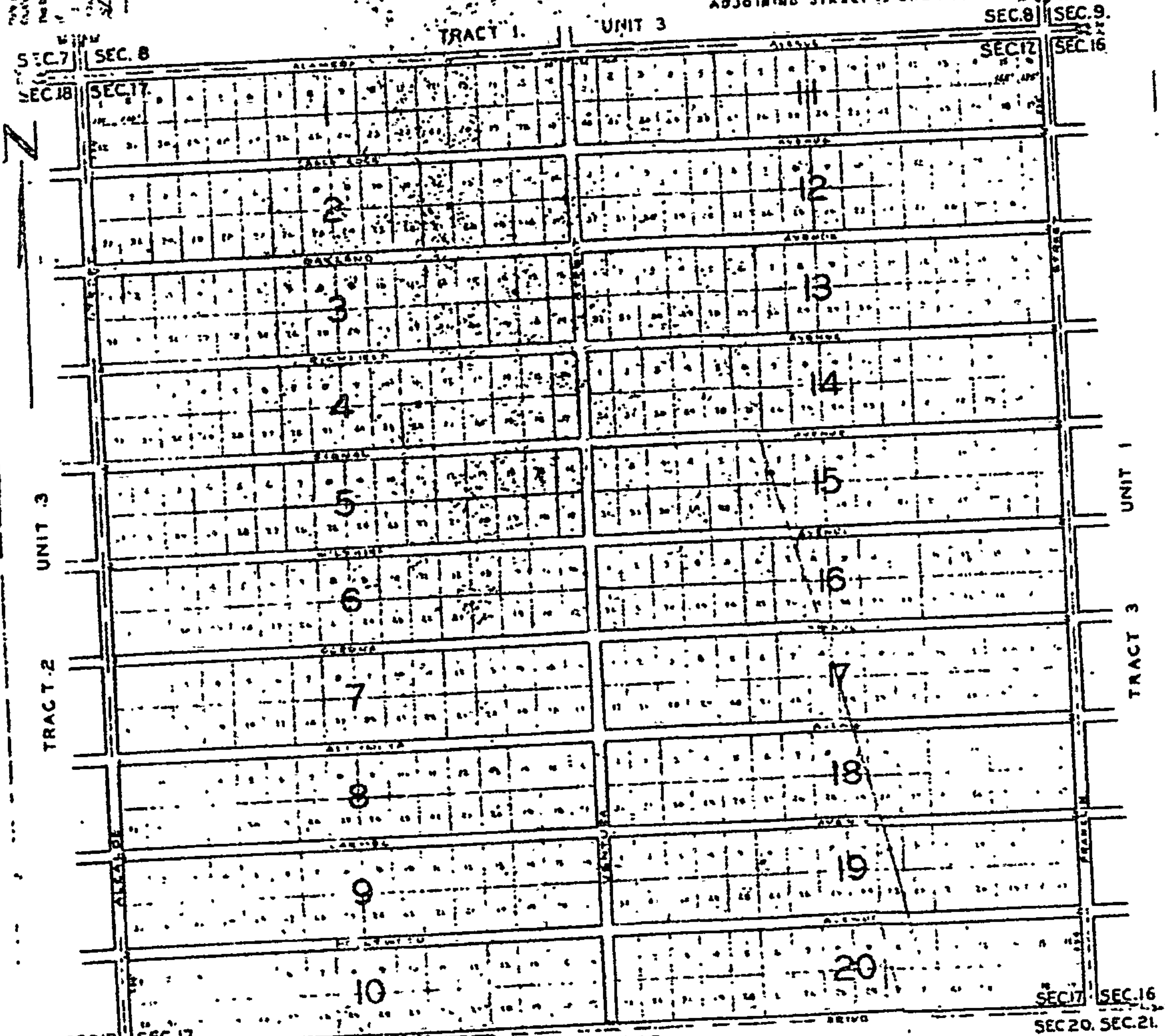
ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

SCALE 1 INCH = 400 FEET

Note: 1. EACH LOT INCLUDING TO CENTER OF ADJOINING STREET IS ONE ACRE.

Sept 1931
10

Top of Map Shows
County of Bernalillo
Sept 1931
10



T. 11N. R. 4E.
N.M.P.M.

Alameda Ave. — Anselmo Ave.
Broadway Ave. — Holly Ave.
Franklin St. — Hollbrook St.
Lincoln St. — Manning St.

The above and foregoing subdivision of this certain tract of land in Subdivision No. 2 (as shown on the plat hereto attached) within the El Paso College Grant, being all of Section 17, Township 11 North, Range 4 East, of the 1st Meridian, in Bernalillo County, New Mexico, is hereby approved and subdivided as herein shown, comprising Blocks 1 to 20, inclusive, of TRACT 3 UNIT 3, NORTH ALBUQUERQUE ACRES, in full and final accordance with the desire of the said grantor and proprietor thereof.

MORRIS REALTY COMPANY, INC. Owner and proprietor
S. J. Morris President

State of California, County of Los Angeles, ss: I, J. W. Dwyer, Clerk of the County, do hereby certify that the above and foregoing plat of the subdivision of the above and foregoing tract of land in Subdivision No. 2 (as shown on the plat hereto attached) within the El Paso College Grant, being all of Section 17, Township 11 North, Range 4 East, of the 1st Meridian, in Bernalillo County, New Mexico, is hereby approved and subdivided as herein shown, comprising Blocks 1 to 20, inclusive, of TRACT 3 UNIT 3, NORTH ALBUQUERQUE ACRES, in full and final accordance with the desire of the said grantor and proprietor thereof.

S. Louise N. Welty, Secretary

April 30, 1935.

I, C. B. Egan, County Clerk of Bernalillo County, New Mexico, hereby certify that I have examined the plat of Tract 3 Unit 3 North Albuquerque Acres, as shown on the plat hereto attached, and find the same to be in full and final accordance with the desire of the said grantor and proprietor thereof.

C. B. Egan, County Clerk



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bob Keenan PHONE: 505-249-1502
 ADDRESS: 8830 KEERAN LN NE FAX: N/A
 CITY: ALB. STATE: NM ZIP: 87122 E-MAIL: Havehamse@hotmail.com
 APPLICANT: Bob Keenan PHONE: 505-249-1502
 ADDRESS: 8830 KEERAN LN NE FAX: N/A
 CITY: ALB STATE: NM ZIP: 87122 E-MAIL: Havehamse@hotmail.com
 Proprietary interest in site: Agent/ Applicant List all owners: Bias & SMTA Unquiere

DESCRIPTION OF REQUEST: PREL REPTAT lots 19 & 20 BLC4, TRACT 3
Unit 3, NAA into lot 19A, vacate 5' signal, Associate 25'

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 19 & 20 TR 3 Block: 4 Unit: 3
 Subdiv/Addn/TBKA: NAA
 Existing Zoning: S04A Proposed zoning: S04A MRGCD Map No _____
 Zone Atlas page(s): C-20 UPC Code: 1-020-064-207-334-20213
1-020-064-222-334-20214

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 14 DRB 70069
Project # 1010010, 14 DRB 70108

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): ≈ 2
 LOCATION OF PROPERTY BY STREETS: On or Near: SIGNAL
 Between: BAYVIEW and VENTURA
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE

Bob Keenan DATE 5-14-15
 (Print Name) _____ Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee-rebate

Application case numbers	Action	S.F.	Fees
<u>15 DRB 70198</u>	<u>VPE</u>	_____	<u>\$ 45.00</u>
_____	<u>ADY</u>	_____	<u>\$ 75.00</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Hearing date June 10, 2015

Revised: 11/2014

Total \$ 95.00

Keenan

5-15-15
 Staff signature & Date

Project # 1010010

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** **(PUBLIC HEARING CASE)**
 - ___ Application for Minor Plat on FORM S-3, including those submittal requirements. **24 copies**
 - ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC EASEMENT (DRB27)**
 - VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)**
 - The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies.**
(Not required for City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

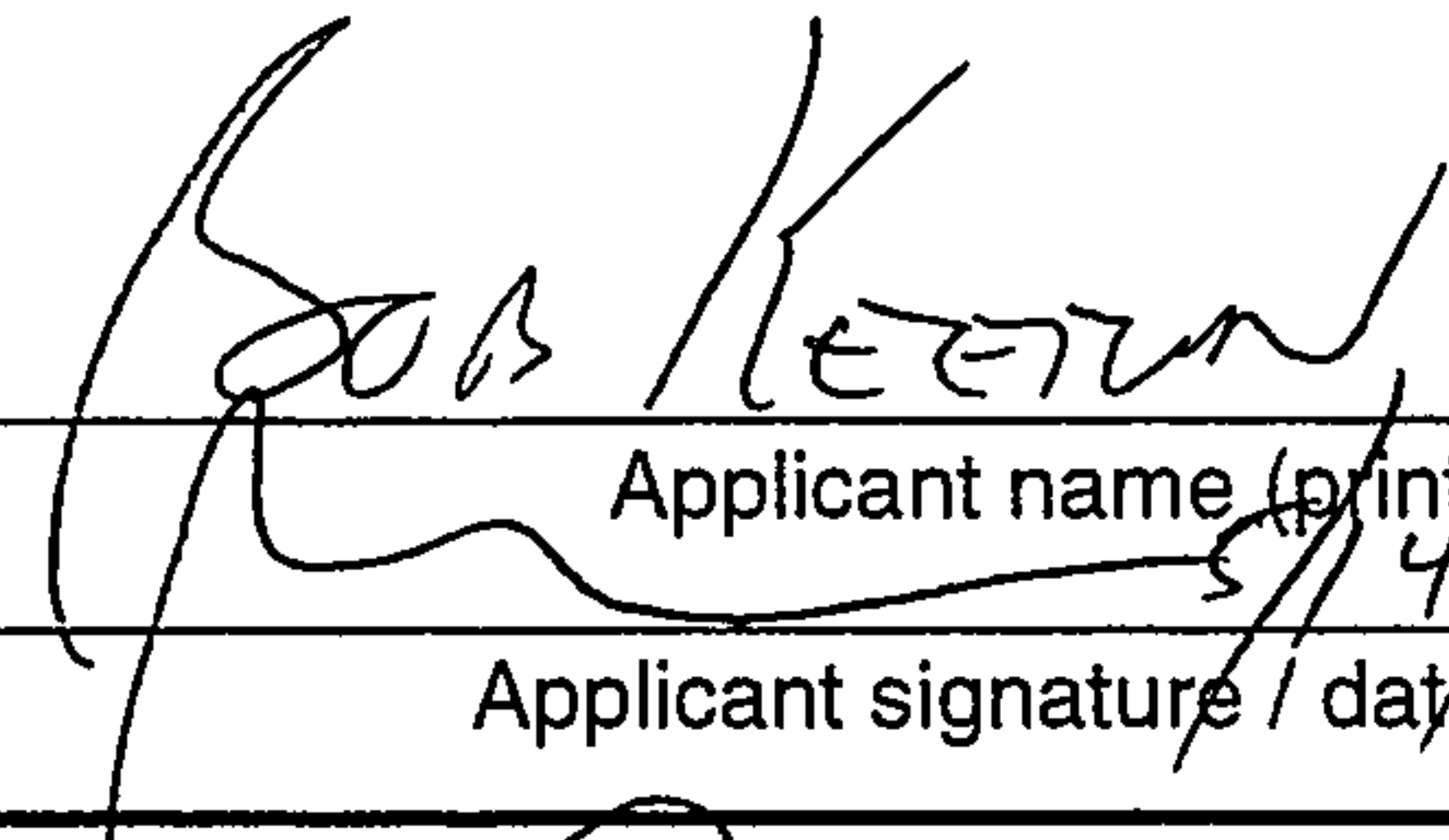
- SIDEWALK VARIANCE (DRB20)**
 - SIDEWALK WAIVER (DRB21)**
 - ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 - ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") **24 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the variance
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07)**
 - ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ List any original and/or related file numbers on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

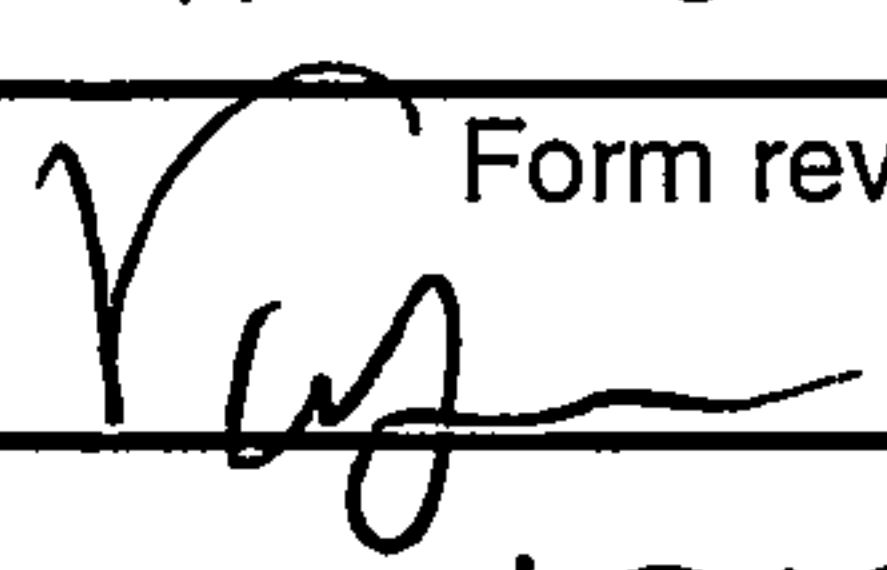
- VACATION OF PRIVATE EASEMENT (DRB26)**
 - VACATION OF RECORDED PLAT (DRB29)**
 - ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") **6 copies**
 - ___ Scale drawing showing the easement to be vacated (8.5" by 11") **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter/documents briefly describing, explaining, and justifying the vacation **6 copies**
 - ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 - ___ Fee (see schedule)
 - ___ List any original and/or related file numbers on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.



 Applicant name (print)

 Applicant signature / date *5/4/15*

 Form revised 4/07
 *5-15-15*

 Planner signature / date
 Project # *1010010*



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
15DRB- 70198

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

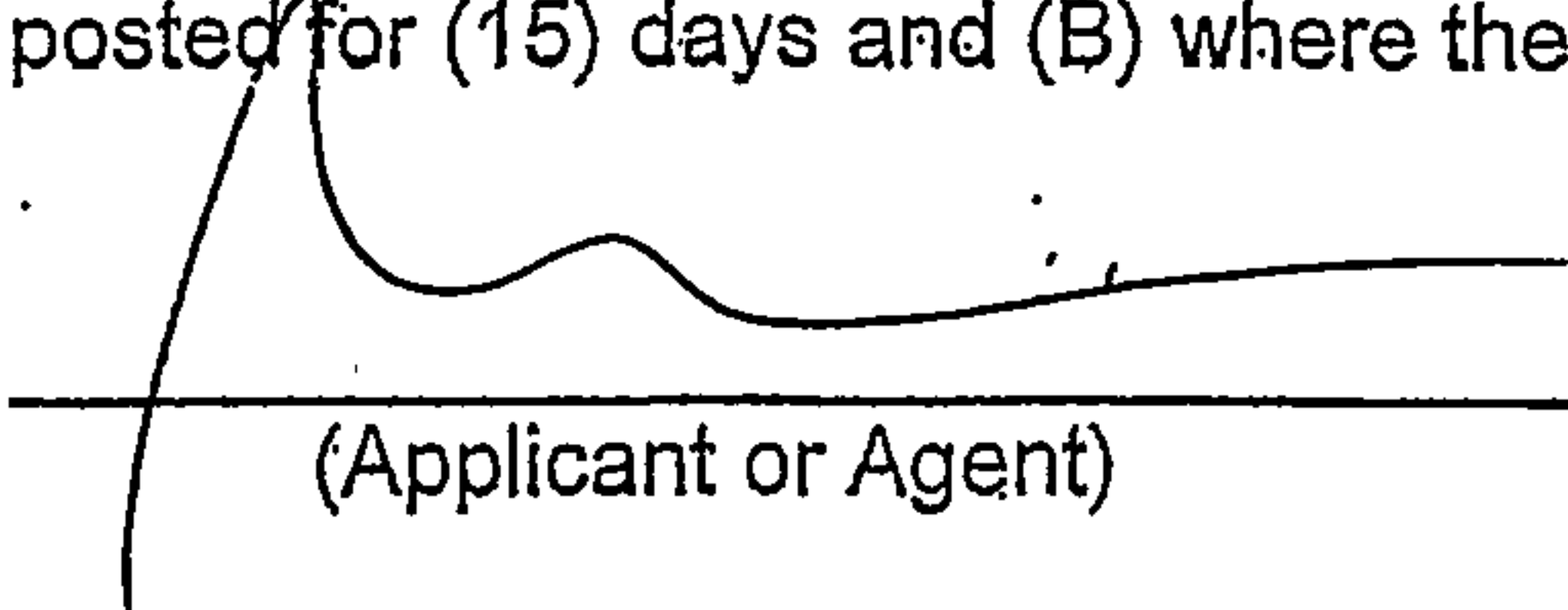
4. TIME

Signs must be posted from May 26 2015 To June 10 2015

5. REMOVAL


- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent) 5-15-15

(Date)

I issued 1 signs for this application, 5-15-12 

(Date) _____
(Staff Member)

DRB PROJECT NUMBER: 1010010

**RBK Realty, Inc.
8830 Keeran Ln. NE
Albuquerque, NM 87122
505.249.1502**

May 14, 2015

Subject: Proposed Replat of Lots 19 & 20, Blk. 4, Unit 3 NAA into Lot 19-A, Vacation of 5' of Public Right-of Way and Dedication of 25' of Signal in fee simple to the City of Albuquerque, Zone Atlas Page C-20.

Dear Ladies and Gentlemen:

The purpose of this letter is to get preliminary plat approval Replatting Lots 19 & 20, Blk. 4, Unit 3 NAA into Lot 19-A, along with the Vacation of 5' of Public Easement/Right-of-Way and Dedication of 25' of Signal in fee simple to the City of Albuquerque (totaling 8,250 square feet which is the result of multiplying 25' of width x 330' of length as shown on the attached plat), Zone Atlas Page C-20: DRB Project #1010010 and provide the requested information as follows:

1. 24 copies of the document that created the public easement.
2. 24 copies of the Proposed Plat of Lot 19-A containing 1.892 acres including the vacation of 5' of Signal Avenue and dedication of the remaining 25' of Public Easement/Right-of-Way in fee simple to the City of Albuquerque.
3. Zone Atlas page C-20 with the entire property highlighted.
4. Letters to Elizabeth meek and tony Huffman of the Vineyard Estates Neighborhood Assoc. that needed to be contacted in regards to the is planning submittal – per letter and “Attachment A” dated May 13, 2015 from Dalaina Carmona, Senior Administrative Assistant in the Office of Neighborhood Coordination.
5. I'm requesting approval of the Vacation of 5' of the Public Roadway Easement/Right of Way in Signal Avenue because the public welfare is in no way served by retaining the way or easement. Actually, there is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation. Finally, there is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
6. I've included a cross section of the proposed 50' wide local street, showing the location of the proposed new 6' sidewalk on the north side of the street with the proposed 2.5' landscape area between it and the back of curb. The curb is 6" wide. The south side of Signal is built.

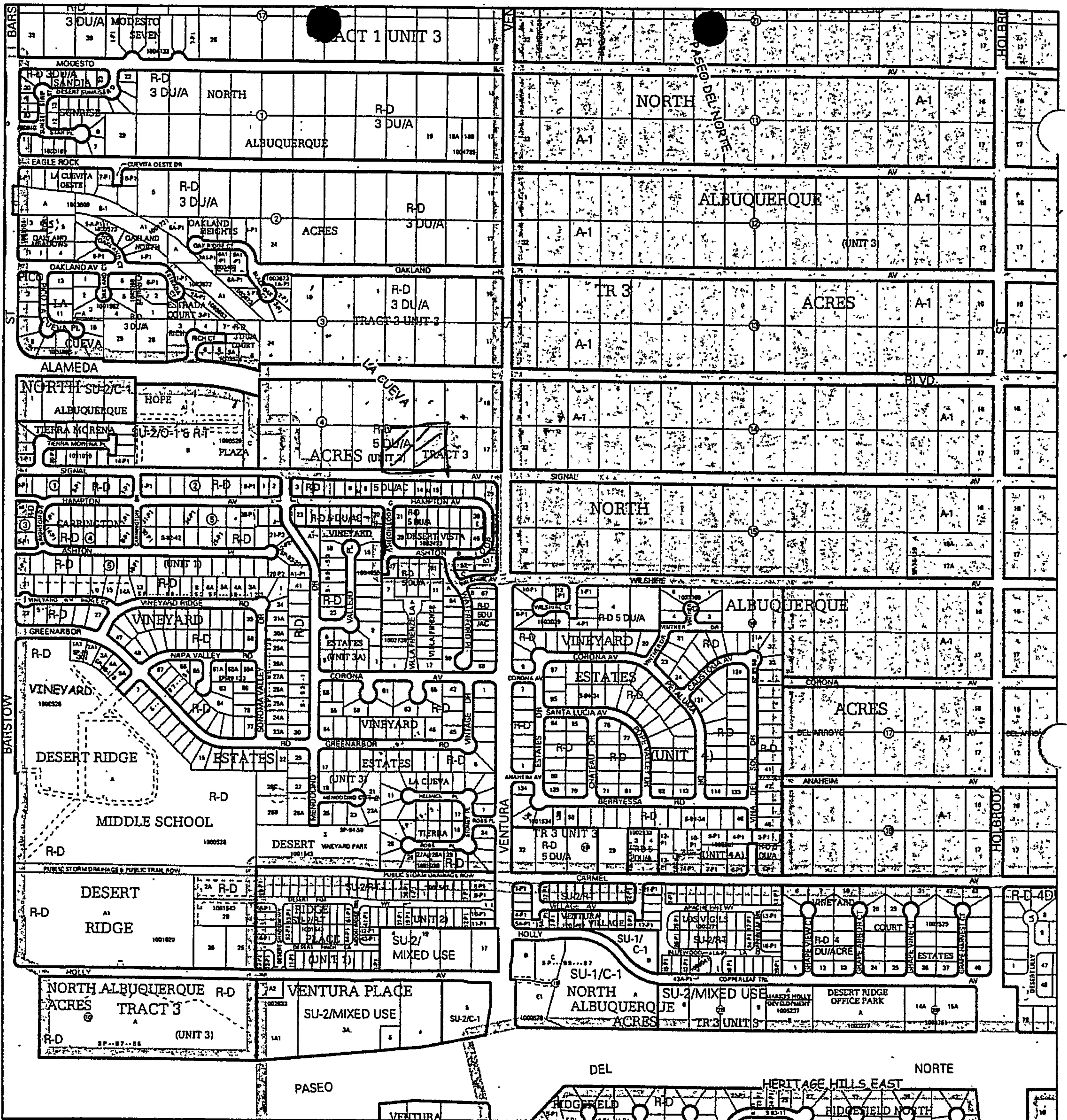
Thanks for your cooperation in this matter. If you have any questions, please don't hesitate to call me @ 505.249-1502 or email me @ llavehomes@hotmail.com.

Sincerely,

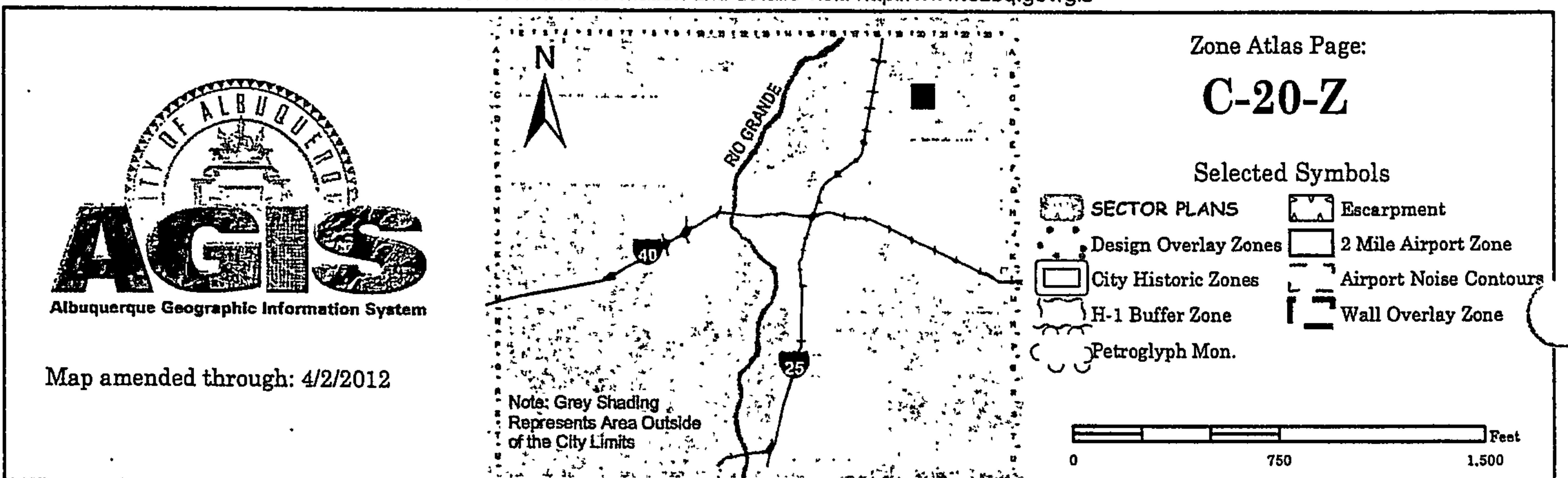
Bob Keeran
Managing Partner

Enclosure/s

DRB Signal Lot Vacation Racquel Michel 1



For more current information and details visit: <http://www.cabq.gov/gis>

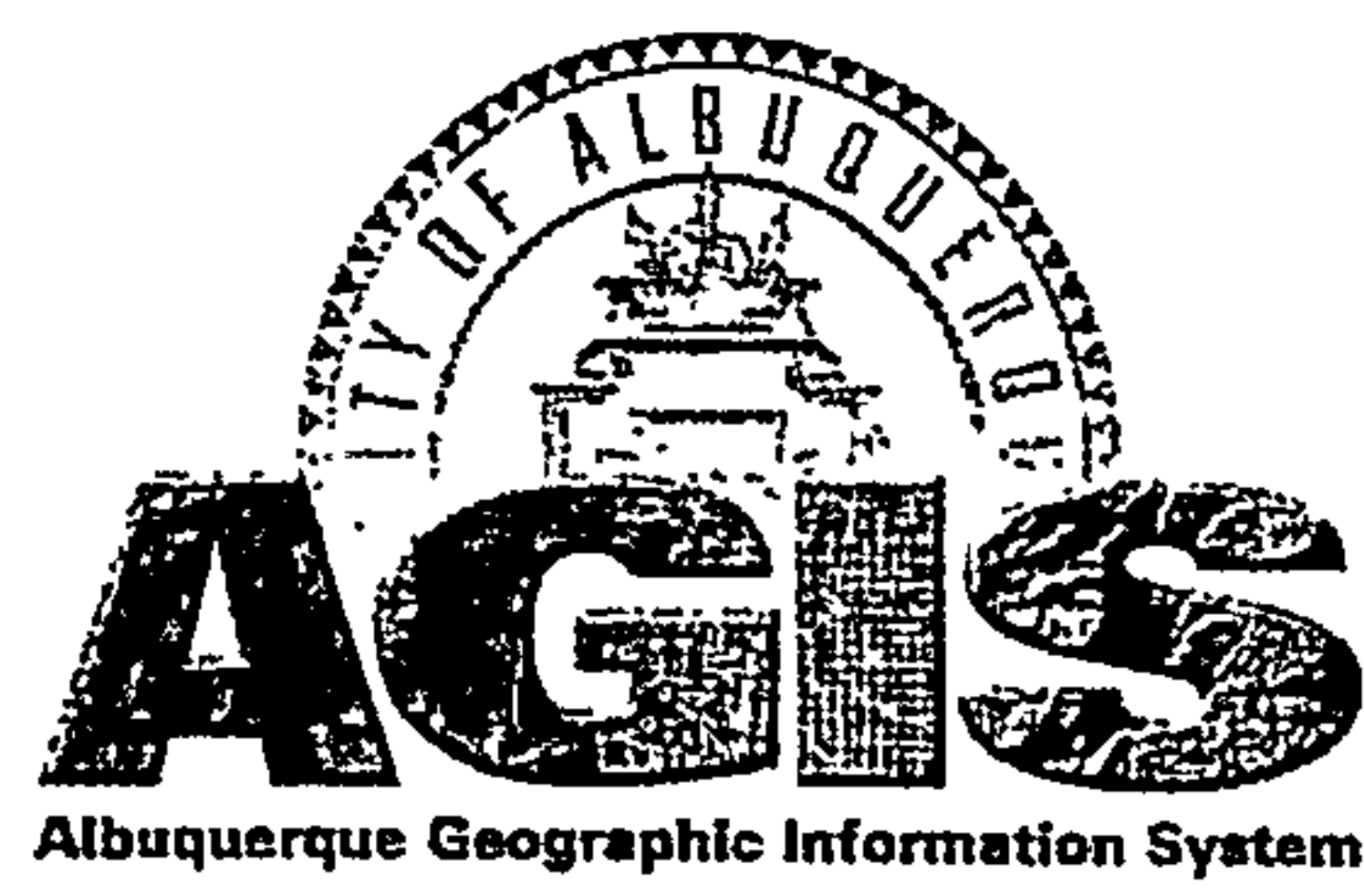


Zone Atlas Page:

C-20-Z

Selected Symbols

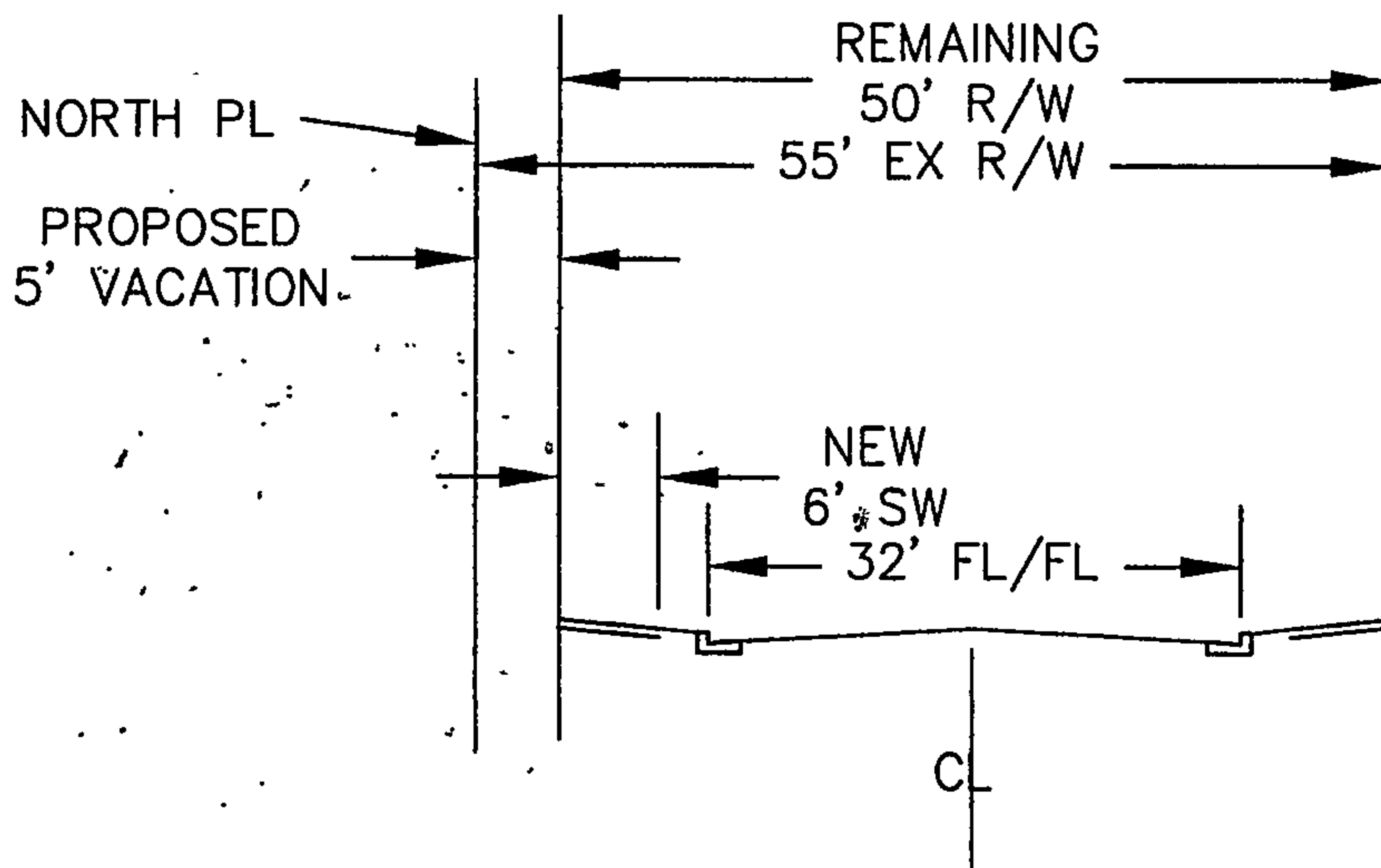
- SECTOR PLANS
- Escarpment
- Design Overlay Zones
- 2 Mile Airport Zone
- City Historic Zones
- Airport Noise Contours
- H-1 Buffer Zone
- Wall Overlay Zone
- Petroglyph Mon.



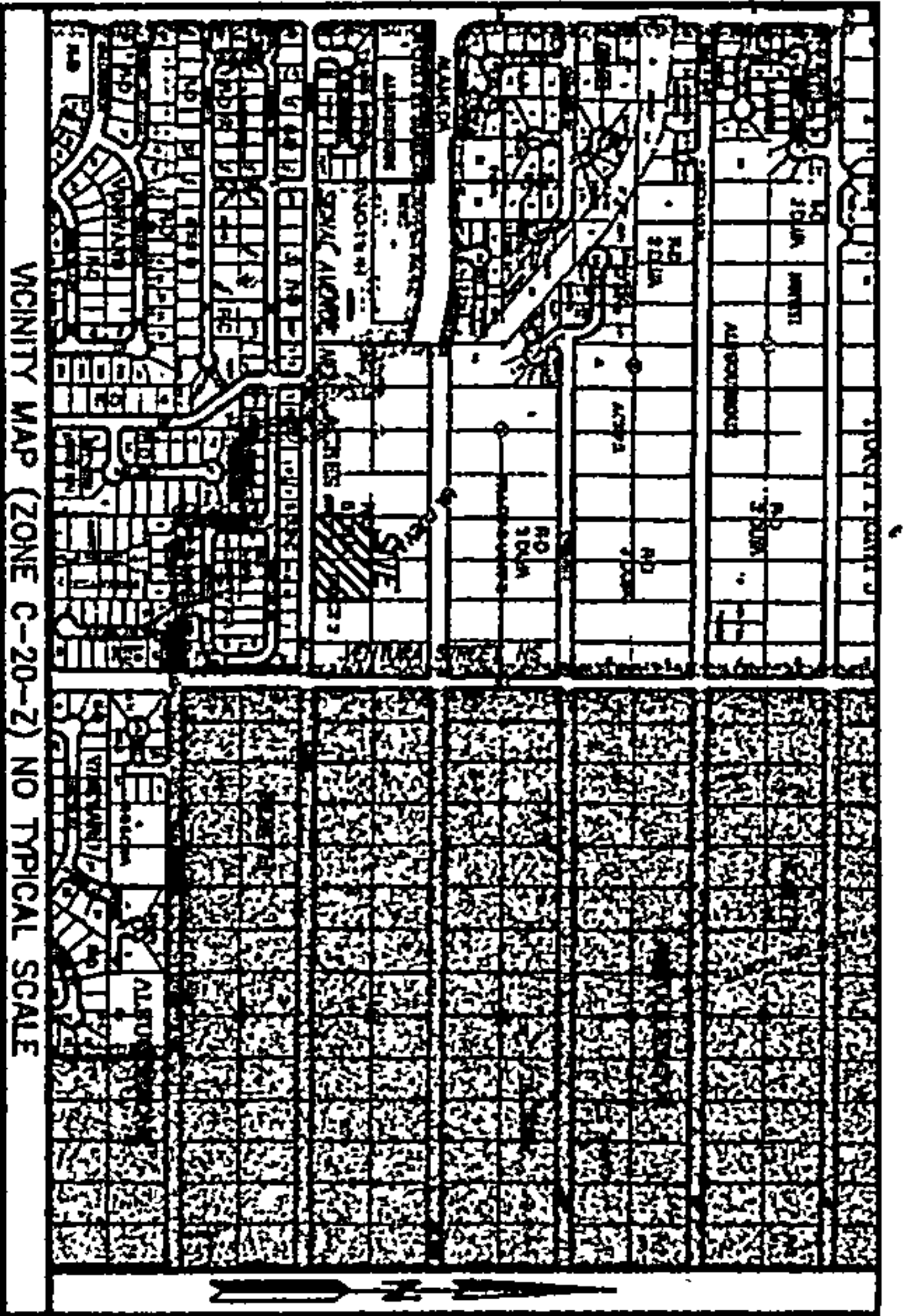
Map amended through: 4/2/2012

Note: Grey Shading Represents Area Outside of the City Limits

0 750 1,500 Feet



SIGNAL AVENUE, NE
PROPOSED CROSS-SECTION



VICINITY MAP (ZONE C-20-2) NO TYPICAL SCALE

- SUBMISSION DATA**
- 1) CASE No. _____
 - 2) ZONE ATLAS INDEX No. C-20
 - 3) GROSS SUBDIVISION AREA: 1.8182 ACRES
 - 4) TOTAL NUMBER OF LOTS CREATED: 1 LOT
 - 5) DRB PROJECT No. 1010010
 - 6) TOTAL WAREAGE OF FULL WIDTH STREETS CREATED: 0.000

THIS IS TO CERTIFY THAT TAXES ARE CURRENT
 AND PAID ON UPC # 102008422233420214
 AND PAID ON UPC # 102008420733420213
 PROPERTY OWNER OF RECORD _____
 BERNALILLO COUNTY TREASURER'S OFFICE

THE PURPOSE OF THIS PLAT IS TO COALESCE LOT 19 AND 20 OF BLOCK 4, NORTH ALBUQUERQUE ACRES UNIT 3, TRACT 3 INTO A SINGLE LOT TO BE KNOWN AS LOT 19-A AND TO ATTACH TO THE NORTHERLY FIVE FEET (5') OF VACATED SIGNAL AVENUE, N.E. ROADWAY EASEMENT TO THE ADJACENT PROPERTY AND TO DEDICATE THE REMAINING TWENTY-FIVE FEET (25') OF THE NORTHERLY THIRTY FEET (30') OF THE SIGNAL AVENUE, N.E. ROADWAY EASEMENT TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

CONSENT AND REPRESENTATION STATEMENT
 THE UNDERSIGNED DOES HEREBY STATE AND AFFIRM THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LANDS SHOWN HEREON AND THAT WE POSSESS COMPLETE AND UNDEFEASIBLE TITLE HERETO IN FEE SIMPLE, AND WE DO FURTHER STATE THAT THE SUBDIVISION SHOWN HEREON IS OF OUR FREE WILL AND CONSENT IN ACCORDANCE WITH OUR EXPRESSED WISHS AND DESIRES AND WE FURTHER AFFIRM THAT WE ARE DEDICATING TWENTY-FIVE FEET OF RIGHT OF WAY ON SIGNAL AVENUE, NORTHEAST TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE AND THAT WE ARE GRANTING ALL EASEMENTS AS SHOWN HEREON, IN WITNESS WHEREOF WE HEREBY AFFIX OUR HANDS

BLAS URRUTEZ

SARAH URRUTEZ

ACKNOWLEDGMENT

STATE OF _____
 COUNTY OF _____
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2015, BY BLAS URRUTEZ

NOTARY PUBLIC

BY COMMISSION EXPIRES / /

ACKNOWLEDGMENT

STATE OF _____
 COUNTY OF _____
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2015, BY SARAH URRUTEZ

NOTARY PUBLIC

BY COMMISSION EXPIRES / /

LOT 19-A
BLOCK 4, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
 PROJECTED SECTION 17
 T. 11 N., R. 4 E., N.M.P.M.
 ELENA GALEGOS LAND GRANT
 ALBUQUERQUE, BERNALILLO COUNTY,
 NEW MEXICO

MAY 2015
 PAGE 1 OF 2

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:
 PROJECT NO. 1010010 APPLICATION NO. _____

DRB CHAIRPERSON, PLANNING DEPARTMENT

CITY ENGINEER

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

UTILITIES DEVELOPMENT

PARKS AND RECREATION DEPARTMENT

ALMA.F.C.A.

REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE

CITY SURVEYOR, CITY OF ALBUQUERQUE

PMA ELECTRIC SERVICES COMPANY

NEW MEXICO GAS COMPANY

QUEST CORPORATION d/b/a CENTURYLINK DC

COMCAST CABLE

PROPERTY DESCRIPTION

ALL OF LOTS NUMBER 19 AND 20 IN BLOCK NUMBER FOUR (4) OF TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES SUBDIVISION AS THE SAME IS FILED IN THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1971, IN VOLUME 0, AT FOLIO 131 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 20 WENCE ALBUQUERQUE CONTROL STATION 7.119° BEARS S84°25'29" W AND 2028.18 FEET DISTANT, THENCE S89°52'27" E A DISTANCE OF 330.66 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREN DESCRIBED, THENCE S00°11'41" W A DISTANCE OF 263.16 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREN DESCRIBED, A POINT IN THE ORIGINAL CENTER LINE OF SIGNAL AVENUE, NORTHEAST, THENCE N89°41'19" W ALONG THE ORIGINAL CENTERLINE OF SAID SIGNAL AVENUE, NORTHEAST A DISTANCE OF 330.32 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREN DESCRIBED, THENCE N00°17'12" E A DISTANCE OF 284.09 FEET TO THE NORTHWEST CORNER AND POINT OF BEGINNING AND CONTAINING 87,509 SQUARE FEET (2,0089 ACRES), MORE OR LESS.

UTILITY NOTE

PUBLIC UTILITY EASEMENT SHOWN HEREON IS TEN FEET (10') WIDE ALONG OAKLAND AVENUE AND VISTA OAKLAND COURT AND IS GRANTED FOR THE JOINT AND COMMON USE OF:
 A) PMA ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMER POLES AND ALL OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRIC SERVICE.
 B) NEW MEXICO GAS COMPANY FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
 C) CENTURY LINK FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BUNDLED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FIXTURES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PESTICIDES AND CLOSURES.
 D) COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF S/D/I UNDERGROUND LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

SURVEYOR'S CERTIFICATION

I, PHILIP W. TURNER, A PROFESSIONAL SURVEYOR LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, FROM THE RETURNS OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON AUGUST 27, 2015, THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT IT SATISFIES THE MINIMUM STANDARDS FOR LAND SURVEYING AS DETERMINED BY THE NEW MEXICO BOARD OF LICENSES FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND THAT IT MEETS THE REQUIREMENTS FOR PLATTING AND MONUMENTATION OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

PHILIP W. TURNER

N.M.P.S. 102304

DATE

No property within the area of requested final action plat shall at any time be subject to deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7(b))



PLAT PREPARED BY

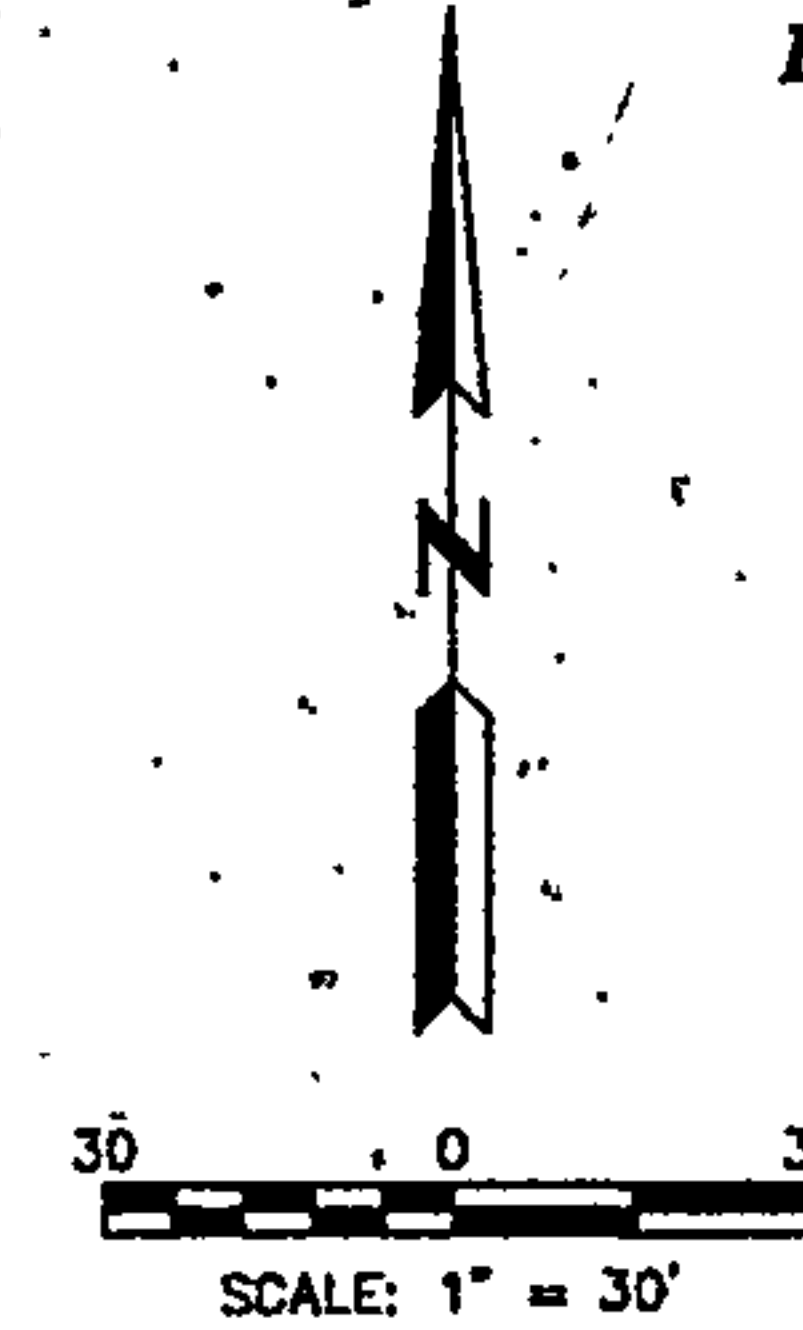
TERRAMETRICS NM

478 MONTGOMERY BOULEVARD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 661-2903

LOT 19-A
BLOCK 4, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
PROJECTED SECTION 17
T. 11 N., R. 4 E., N.M.P.M.
ELENA GALLEGOS LAND GRANT
ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO

MAY 2015
 PAGE 1 OF 2

ACRES CONTROL STATION "7_C19"
 Y=1522061.520
 X=1550417.138
 MAPPING ANGLE = -00710'24.78"
 COMBINED FACTOR=0.999850745
 (NEW MEXICO COORDINATE SYSTEM
 CENTRAL ZONE-NAD83)
 ORTHO HGT.: 5485.723 (MAYO 88)



- LEGEND**
- FOUND SURVEY MARKER AS DESCRIBED
 - #5 REBAR WITH CAP "PWT 10204"
 - △ CITY CENTERLINE MONUMENT
 - P.U.E. PUBLIC UTILITY EASEMENT

NOTES:

- 1) BEARINGS SHOWN ARE NEW MEXICO COORDINATE SYSTEM, CENTRAL ZONE (NAD83), GRID BEARINGS AND ARE REFERENCED TO THE ALBUQUERQUE GEODETIC REFERENCE SYSTEM AS DETERMINED BY GPS OBSERVATIONS OBTAINED UTILIZING THE CITY OF ALBUQUERQUE REAL TIME GNSS NETWORK (ARTGN); DISTANCES SHOWN ARE GROUND.
- 2) THESE PROPERTIES ARE DEPICTED ON ZONE ATLAS PAGE "C-20".
- 3) A PORTION OF THIS PROPERTY LIES IN FLOOD HAZARD ZONE "AO", AN AREA OF WITH FLOOD DEPTHS OF 1-2 FEET OF SHEET FLOW ON SLOPING TERRAIN REFERENCE: F.I.R.M. MAP NUMBER 35001C03141G WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.
- 4) ALL OF THESE PROPERTIES LIE WITHIN THE CORPORATE LIMITS OF THE CITY OF ALBUQUERQUE, NEW MEXICO.
- 5) LEGAL ACCESS TO THESE PROPERTIES IS GAINED DIRECTLY VIA SIGNAL AVENUE NORTHEAST.
- 6) THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED 04-16-16, BERNALILLO COUNTY DOCUMENT #2014030174.
- 7) ALL EASEMENTS OF RECORD ARE SHOWN HEREON.
- 8) FIELD SURVEYS PERFORMED AUGUST 27, 2013.
- 9) RECORD DATA SHOWN IN PARENTHESES ().

BLOCK 4, TRACT 3, UNIT 3
 NORTH ALBUQUERQUE ACRES
 09-10-31; D-131

LOT 19-A
1.8192 AC.

LOT 12

LOT 13

LOT 14

LOT 15

LOT 21

LOT 18

FOUND AMAFCA ROW BRASSCAP

S89°52'27"E

(EAST 330')

330.86'

264.09'

239.09'

N00°07'13"E

FOUND AMAFCA ROW BRASSCAP

25.00'

N89°41'18"W

N89°41'18"W

(WEST 330')

RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE
 IN FEE SIMPLE BY THIS PLAT. AREA: 8263 S.F.
SIGNAL AVENUE, NORTHEAST

55' R.O.W.

330.52'

FEMA FLOOD PLAN BOUNDARY

21.09'

54.24'

240.16'

S00°1'41"W

25.00'

572 S.F. PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT

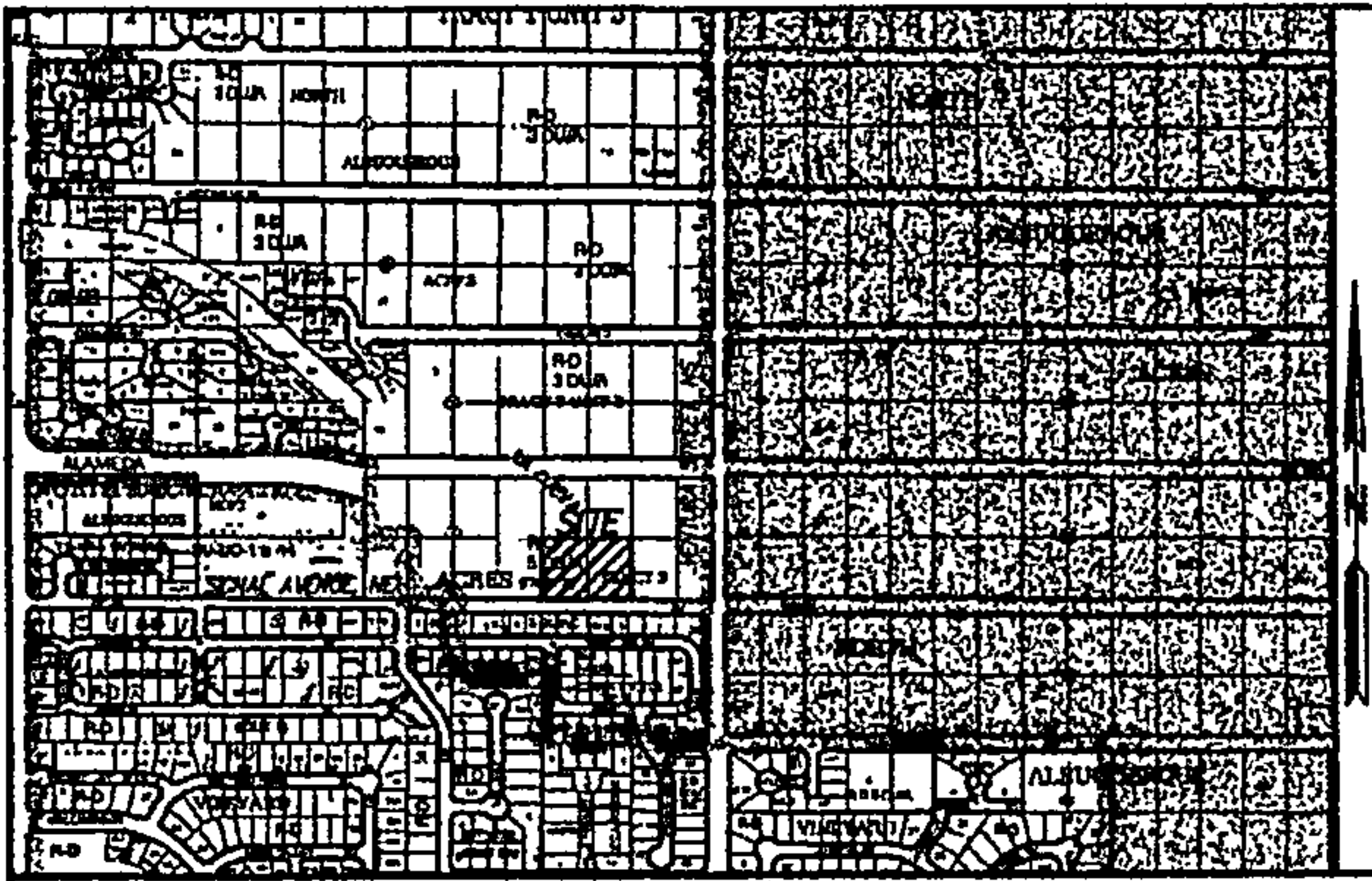
5' ROADWAY EASEMENT VACATED PER 14DRB 70108.

10' P.U.E. GRANTED BY THIS PLAT

PLAT PREPARED BY

TERRAMETRICS NM

4175 MONTGOMERY BOULEVARD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: (505) 881-2903



VICINITY MAP (ZONE C-20-Z) NO TYPICAL SCALE

SUBMISSION DATA

- 1) CASE No. _____
- 2) ZONE ATLAS INDEX No. C-20.
- 3) GROSS SUBDIVISION AREA: 1.8192 ACRES
- 4) TOTAL NUMBER OF LOTS CREATED: 1 LOT
- 5) DRB PROJECT No. 1010010
- 6) TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.000

THIS IS TO CERTIFY THAT TAXES ARE CURRENT

AND PAID ON UPC # 102008422233420214

AND PAID ON UPC # 102008420733420213

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURER'S OFFICE

LOT 19-A
BLOCK 4, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
PROJECTED SECTION 17
T. 11 N., R. 4 E., N.M.P.M.
ELENA GALLEGOS LAND GRANT
ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO

MAY 2015
 PAGE 1 OF 2

THE PURPOSE OF THIS PLAT IS TO COMBINE LOT 19 AND 20 OF BLOCK 4, NORTH ALBUQUERQUE ACRES, UNIT 3, TRACT 3 INTO A SINGLE LOT TO BE KNOWN AS LOT 19-A AND TO ATTACH THE NORTHERLY FIVE FEET (5') OF VACATED SIGNAL AVENUE, N.E. ROADWAY EASEMENT TO THE ADJACENT PROPERTY AND TO DEDICATE THE REMAINING TWENTY-FIVE FEET (25') OF THE NORTHERLY THIRTY FEET (30') OF THE SIGNAL AVENUE, N.E. ROADWAY EASEMENT TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

CONSENT AND DEDICATION STATEMENT

THE UNDERSIGNED DOES HEREBY STATE AND AFFIRM THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LANDS SHOWN HEREON AND THAT WE POSSESS COMPLETE AND INDEFEASIBLE TITLE THERETO, IN FEE SIMPLE, AND WE DO FURTHER STATE THAT THE SUBDIVISION SHOWN HEREON IS OF OUR FREE WILL AND CONSENT IN ACCORDANCE WITH OUR EXPRESSED WISHES AND DESIRES AND WE FURTHER AFFIRM THAT WE ARE DEDICATING TWENTY-FIVE FEET OF RIGHT OF WAY ON SIGNAL AVENUE, NORTHEAST TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE AND THAT WE ARE GRANTING ALL EASEMENTS AS SHOWN HEREON. IN WITNESS WHEREOF WE HEREBY AFFIX OUR HANDS.

 BLAS URQUIDEZ

 SARAH URQUIDEZ

ACKNOWLEDGMENT

STATE OF _____
 COUNTY OF _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2015, BY BLAS URQUIDEZ.

 NOTARY PUBLIC

MY COMMISSION EXPIRES / /

ACKNOWLEDGMENT

STATE OF _____
 COUNTY OF _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2015, BY SARAH URQUIDEZ.

 NOTARY PUBLIC

MY COMMISSION EXPIRES / /

PROPERTY DESCRIPTION

ALL OF LOTS NUMBER 19 AND 20 IN BLOCK NUMBER FOUR (4) OF TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES SUBDIVISION, AS THE SAME IS FILED IN THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931, IN VOLUME D, AT FOLIO 131 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 20 WHENCE ALBUQUERQUE CONTROL STATION "7_C19" BEARS S84°25'29"W AND 2026.18 FEET DISTANT; THENCE S89°52'27"E A DISTANCE OF 330.06 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE S00°11'41"W A DISTANCE OF 265.16 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, A POINT IN THE ORIGINAL CENTER LINE OF SIGNAL AVENUE, NORTHEAST; THENCE N89°41'18"W ALONG THE ORIGINAL CENTERLINE OF SAID SIGNAL AVENUE, NORTHEAST A DISTANCE OF 330.62 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE N00°07'13"E A DISTANCE OF 264.09 FEET TO THE NORTHWEST CORNER AND POINT OF BEGINNING AND CONTAINING 87,509 SQUARE FEET (2.0089 ACRES), MORE OR LESS.

UTILITY NOTE:

PUBLIC UTILITY EASEMENT SHOWN HEREON IS TEN FEET (10') WIDE ALONG OAKLAND AVENUE AND VISTA OAKLAND COURT AND IS GRANTED FOR THE JOINT AND COMMON USE OF:

- A) PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRIC SERVICE.
- B) NEW MEXICO GAS COMPANY FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
- C) CENTURY LINK FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING, BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- D) COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH UNDERGROUND LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

SURVEYOR'S CERTIFICATION

I, PHILIP W. TURNER, A PROFESSIONAL SURVEYOR LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, FROM THE RETURNS OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON AUGUST 27, 2015, THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT IT SATISFIES THE MINIMUM STANDARDS FOR LAND SURVEYING AS DETERMINED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND THAT IT MEETS THE REQUIREMENTS FOR PLATTING AND MONUMENTATION OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

PHILIP W. TURNER N.M.P.S. 10204 DATE _____

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:
 PROJECT NO. 1010010 APPLICATION NO. _____

 DRB CHAIRPERSON, PLANNING DEPARTMENT

 CITY ENGINEER

 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

 UTILITIES DEVELOPMENT

 PARKS AND RECREATION DEPARTMENT

 A.M.A.F.C.A.

 REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE

 CITY SURVEYOR, CITY OF ALBUQUERQUE

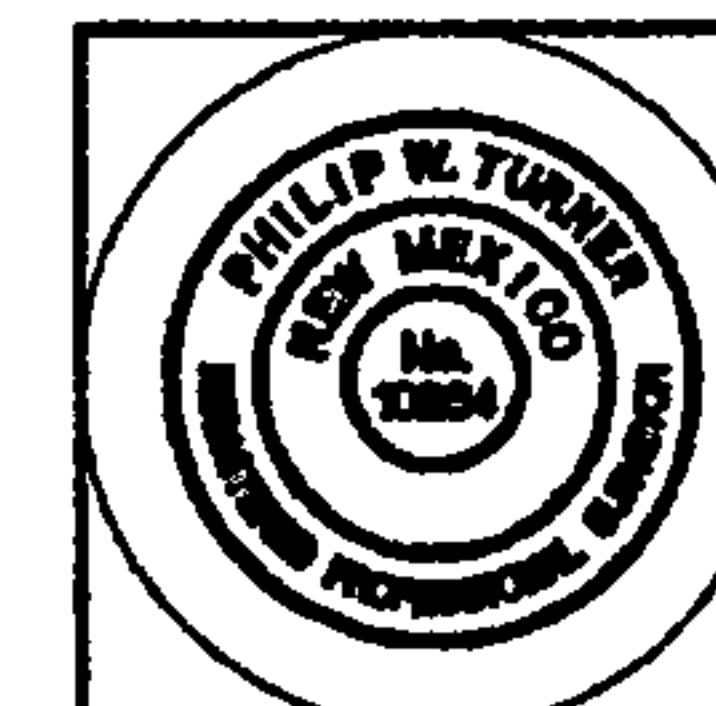
 PNM ELECTRIC SERVICES COMPANY

 NEW MEXICO GAS COMPANY

 QWEST CORPORATION d/b/a CENTURYLINK QC

 COMCAST CABLE

No property within the area of requested final action plat shall at any time be subject to deed restriction, covenant or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7(B))



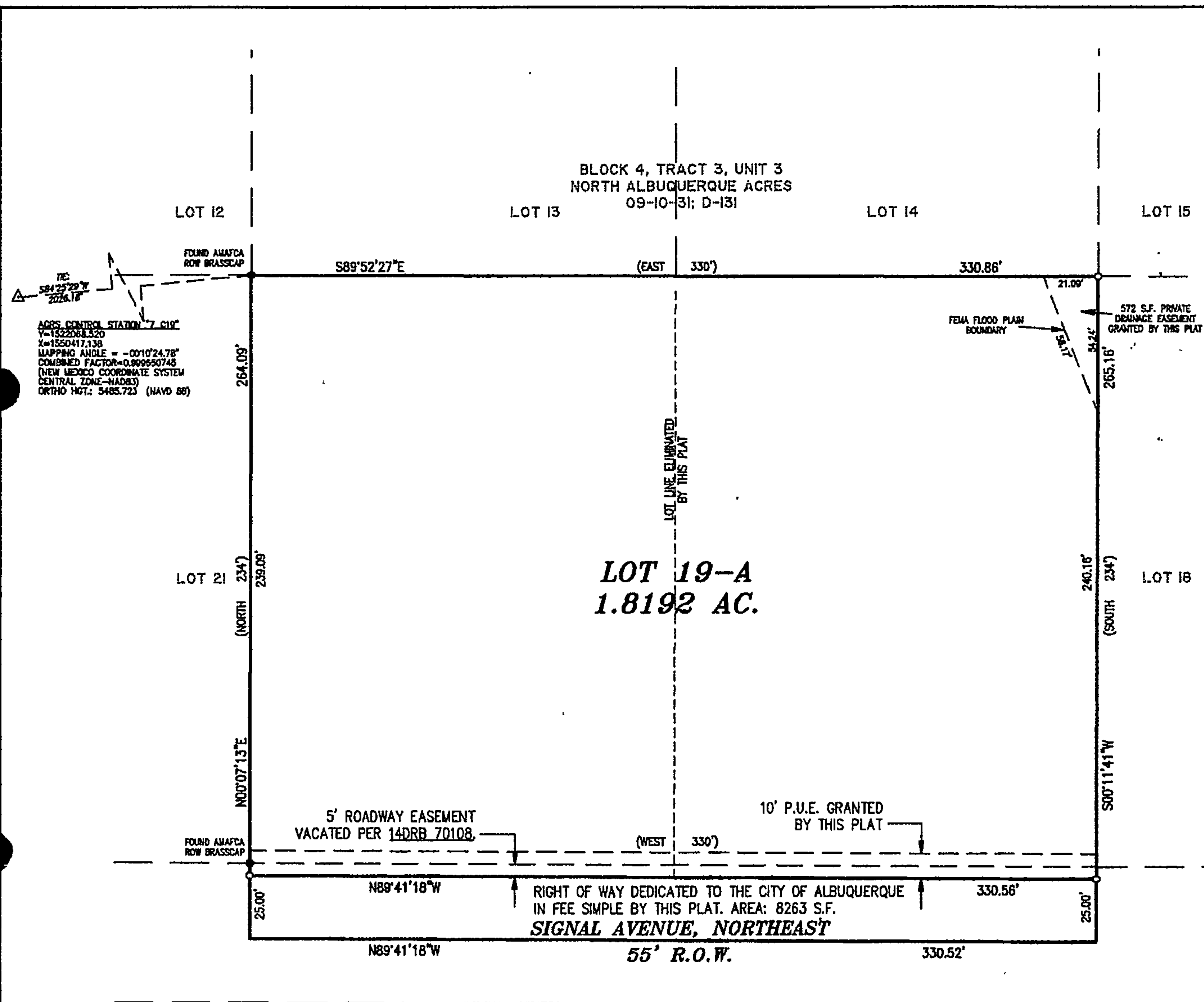
PLAT PREPARED BY

TERRAMETRICS NM

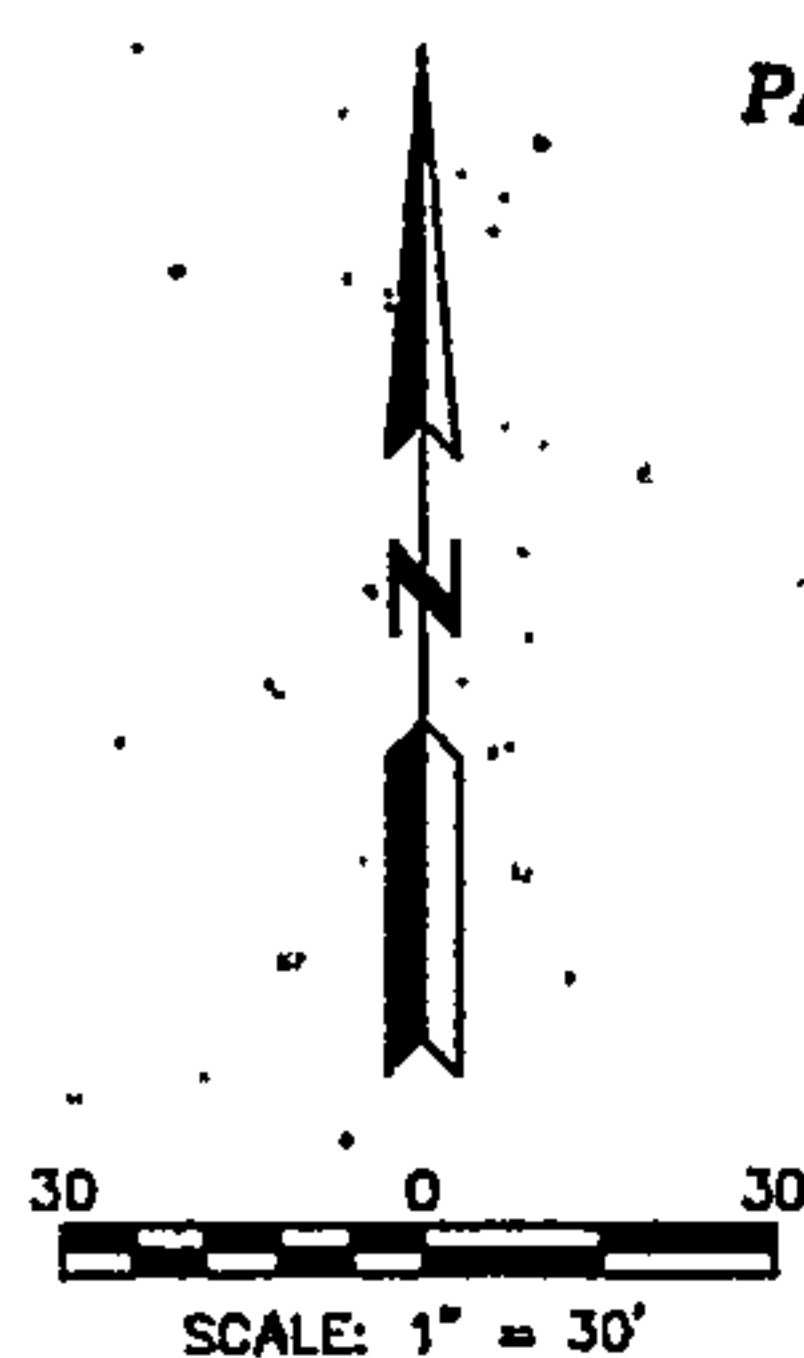
4175 MONTGOMERY BOULEVARD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: (505) 881-2903

LOT 19-A
BLOCK 4, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
PROJECTED SECTION 17
T. 11 N., R. 4 E., N.M.P.M.
ELENA GALLEGOS LAND GRANT
ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO

MAY 2015
 PAGE 1 OF 2



AGCS CONTROL STATION 7 C19
 Y=1522588.520
 X=1550417.138
 LAPING ANGLE = -00°10'24.78"
 COMBINED FACTOR=0.999950748
 (NEW MEXICO COORDINATE SYSTEM
 CENTRAL ZONE-NAD83)
 ORTHO HGT.: 5485.723 (NAVD 88)



- LEGEND**
- FOUND SURVEY MARKER AS DESCRIBED
 - #5 REBAR WITH CAP "PWT 10204"
 - △ CITY CENTERLINE MONUMENT
 - P.U.E. PUBLIC UTILITY EASEMENT

- NOTES:**
- 1) BEARINGS SHOWN ARE NEW MEXICO COORDINATE SYSTEM, CENTRAL ZONE (NAD83), GRID BEARINGS AND ARE REFERENCED TO THE ALBUQUERQUE GEODETIC REFERENCE SYSTEM AS DETERMINED BY GPS OBSERVATIONS OBTAINED UTILIZING THE CITY OF ALBUQUERQUE REAL TIME GNSS NETWORK (ARTGN); DISTANCES SHOWN ARE GROUND.
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 - 5) LEGAL ACCESS TO THESE PROPERTIES IS GAINED DIRECTLY VIA SIGNAL AVENUE NORTHEAST.
 - 6) THE PROPERTY ON THIS PLAT IS SUBJECT TO A PRE-DEVELOPMENT FEE AGREEMENT WITH THE ALBUQUERQUE PUBLIC SCHOOLS RECORDED 04-16-16, BERNALILLO COUNTY DOCUMENT #2016030176.
 - 7) ALL EASEMENTS OF RECORD ARE SHOWN HEREON.
 - 8) FIELD SURVEYS PERFORMED AUGUST 27, 2013.
 - 9) RECORD DATA SHOWN IN PARENTHESES ().

PLAT PREPARED BY
TERRAMETRICS NM
 4176 MONTGOMERY BOULEVARD, N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE: (505) 881-2903

D-121

TRACT 3 UNIT 3 NORTH ALBUQUERQUE ACRES

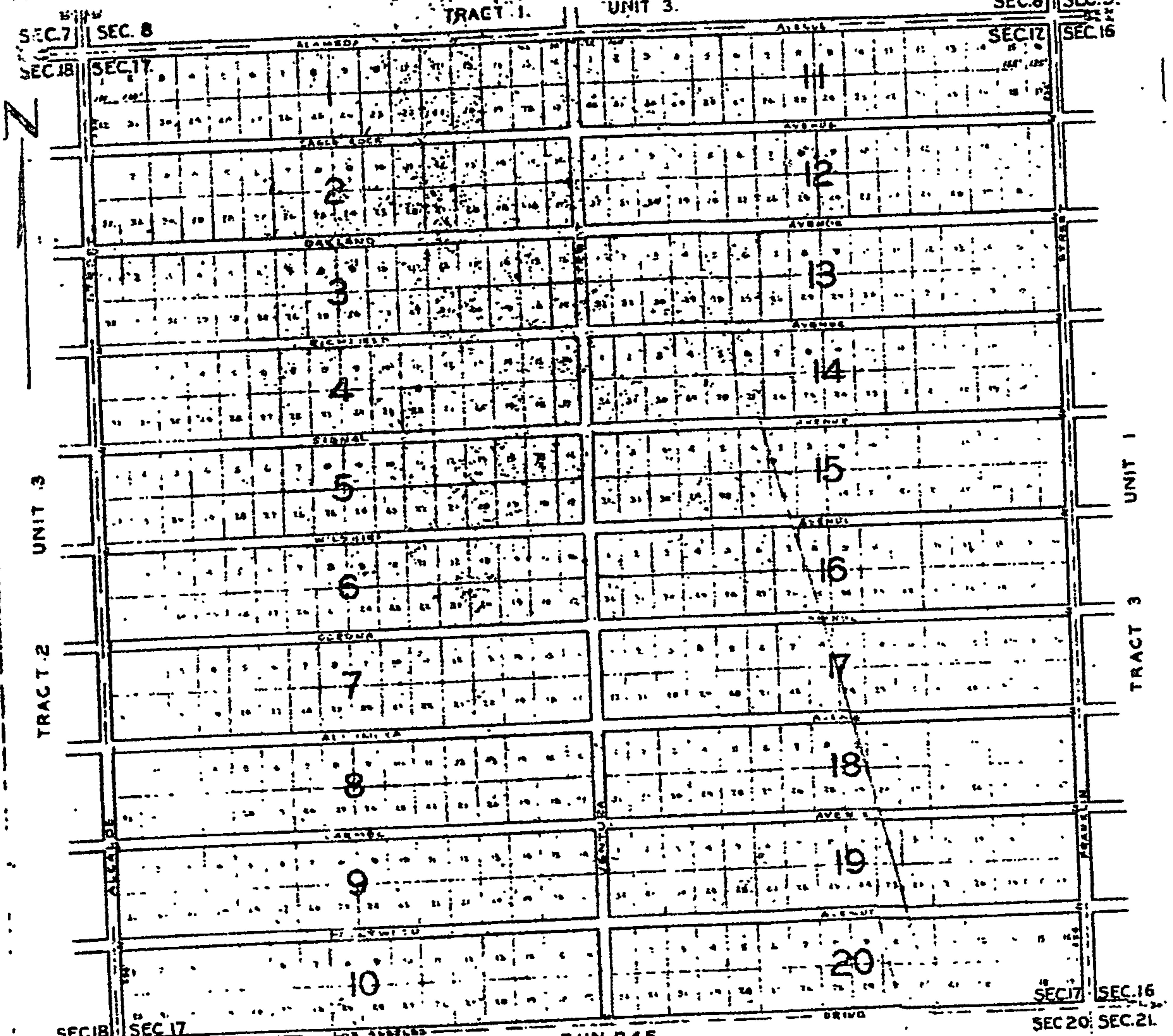
ALBUQUERQUE BERNALILLO COUNTY NEW MEXICO

SCALE 1 INCH = 400 FEET

Note: 1.
EACH LOT INCLUDING TO CENTER OF
ADJOINING STREET IS ONE ACRE.

City of Albuquerque
County of Bernalillo
Sept 11 1935
S. L. R. V.

Approved
Sept 10 1935
Secretary



T. 11 N. R. 4 E.
N. 17 M. 11

Alameda Ave. Anselm Ave.
Hollywood Ave. Holly Ave.
Franklin St. Holbrook St.
Alameda Dr. Manning St.

The above and foregoing subdivision of that certain tract of land in Santa Fe County, New Mexico, within the El Paso Gallegos Grant, being all of Section 17, Township 11 North, Range 4 East, as defined by section of survey public survey lines) surveyed, plotted and subdivided as herein shown, comprising Blocks 1 to 20, inclusive of TRACT 3 UNIT 3, NORTH ALBUQUERQUE ACRES, is made the free consent and in accordance with the desire of the undersigned owner and proprietor thereof:

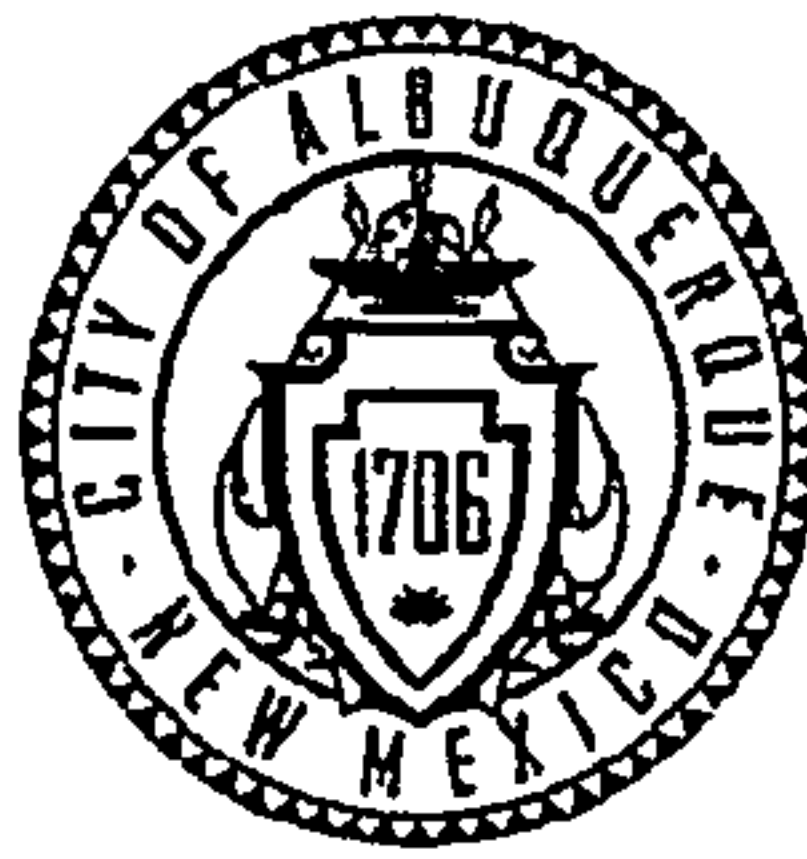
WILKINS REALTY COMPANY, INC. Owner and proprietor
By *S. M. Morris* President

Witness my hand and seal this 11th day of September, 1935.
Secretary

State of California,
County of Los Angeles ss.
I, J. B. Deery, Clerk of said County, do hereby certify that the within and foregoing plat of said subdivision of land, as shown on the within and foregoing plat, was duly filed for record in the County Clerk's Office on the 11th day of September, 1935, and that the same is a true and correct copy of the original as the same appears on the records of said County Clerk's Office.
Witness my hand and seal this 11th day of September, 1935.
J. B. Deery, Clerk of said County.

April 30, 1935.

I, C. B. Lever, County Surveyor, do hereby certify that I have examined the plat of Tract 3 Unit 3 North Albuquerque Acres, and find the same to conform to the laws of the State of California.
C. B. Lever, County Surveyor



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

May 13, 2015

Bob Keeran
RBK Realty Inc.
8830 Keeran Lane NE/87122
Phone: 505-249-1502/ Fax:

Dear Bob:

Thank you for your inquiry of May 13, 2015 requesting the names of ALL Neighborhood and/or Homeowners Associations who would be affected under the provisions of O-92 by your proposed project at (DRB SUBMITTAL) LOTS 19 & 20, BLK 4, TR 3, U3, NNA LOCATED ON SIGNAL BETWEEN BARSTOW AND VENTURA zone map C-20.

Our records indicate that the ALL Neighborhood and/or Homeowners Associations affected by this proposal and the contact names are as follows:

SEE ATTACHMENT "A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at dcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina Carmona

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION.

ATTACHMENT "A"

May 13, 2015

Bob Keeran
RBK Realty Inc.
8830 Keeran Lane NE/87122
Phone: 505-249-1502/ Fax:

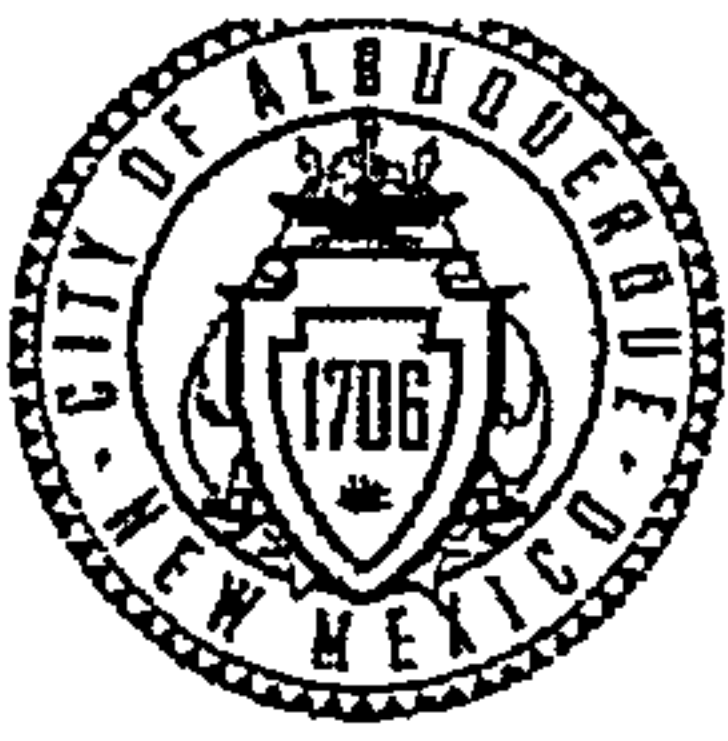
VINEYARD ESTATES N.A. (VYE) "R"

***Elizabeth Meek**

8831 Hampton Ave. NE/87122 508-0806 (h)

Tony Huffman

9712 Sand Verbena Trl. NE/87122-3667 823-2456 (h)



DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 440 (4th floor) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: swinklepleck@cabaq.gov. ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914.

Zone Map and this Developer Inquiry Sheet MUST be provided with request.

Please mark/hatch Zone Map* where Property is located.

Your Developer Inquiry is for the following:

- Cell Tower Submittal: Free-Standing Tower -OR- Concealed Tower
- EPC Submittal DRB Submittal LUCC Submittal Liquor Submittal
- Administrative Amendments (AA's) Submittal City Project Submittal

CONTACT NAME: Bob Keenan

COMPANY NAME: RBK Realty Inc

ADDRESS/ZIP: 8830 Keenan Ln NE Albany 87122

PHONE: 505-249-1502 FAX: N/A

LEGAL DESCRIPTION INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

lots 19 & 20 block 4, tr 3, U3, NAA

LOCATED ON Signal LEGAL DESCRIPTION

BETWEEN San Juan AND Ventura

STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE (C-20).

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-

The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.

Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

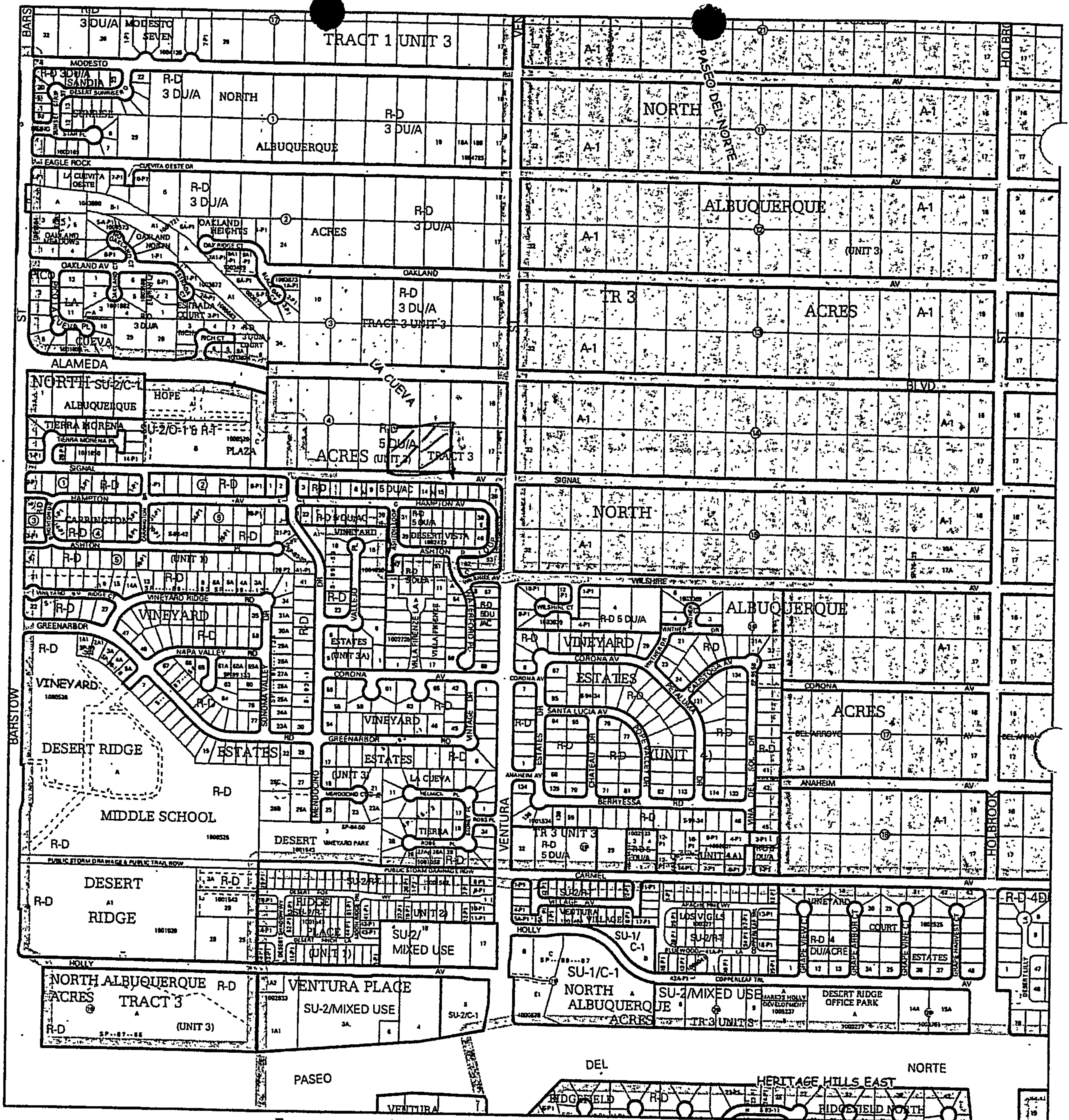
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Dalaina at 924-3906 or via an e-mail message at dlcarmona@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **5/13/15** Time Entered: **3:26 p.m.** ONC Rep. Initials: **DC**



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 4/2/2012

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-20-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

7010 1870 0000 3707 0674

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87122 **OFFICIAL USE**

Postage	\$	\$0.91	
Certified Fee		\$3.30	
Return Receipt Fee (Endorsement Required)		\$2.70	
Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$6.91	

Sent To *ELIZABETH MESSIC*
 Street, Apt. No.; or PO Box No. *8851 HOSPITAL AVE NE*
 City, State, ZIP+4 *ALB NM 87122*

PS Form 3800, August 2006 See Reverse for Instructions

7010 1870 0000 3707 0667

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE NM 87122 **OFFICIAL USE**

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Restricted Delivery Fee (Endorsement Required)		\$0.00	
Total Postage & Fees	\$	\$6.91	

Sent To *TONY HERRERA NE*
 Street, Apt. No.; or PO Box No. *9712 SAND VERBENA TRL*
 City, State, ZIP+4 *ALB NM 87122-5667*

PS Form 3800, August 2006 See Reverse for Instructions

PROJECT #

1010010

15DRB-70198

May 27, 2015

VFE



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bob Keenan on Assigns PHONE: 505-249-1502
 ADDRESS: 8830 KEENAN LN NE FAX: N/A
 CITY: Alb STATE NM ZIP 87122 E-MAIL: Have home@hotmail.com
 APPLICANT: Bob Keenan PHONE: 505-249-1502
 ADDRESS: 8830 KEENAN LN NE FAX: N/A
 CITY: Alb STATE NM ZIP 87122 E-MAIL: Have home@hotmail.com
 Proprietary interest in site: Agent List all owners: BIAS & SMITH URMORCEZ

DESCRIPTION OF REQUEST: Replat lots 19 & 20 Blk 4 Tract 3 U-3 NAA into 1 lot & vacate 5'

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 19 & 20 723 Block: 4 Unit: 3
 Subdiv/Addn/TBKA: NAA
 Existing Zoning: S OUA Proposed zoning: S OUA MRGCD Map No _____
 Zone Atlas page(s): C-20 UPC Code: 1-020-064-207-334-20213
1-020-064-222-334-20214

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 14 DRB 70169
Project # 1010010, 14 DRB 70108

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 5.2 Acres
 LOCATION OF PROPERTY BY STREETS: On or Near: SIGNA
 Between: Sanstan and VENTURA
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE

Bob Keenan DATE 5-4-15
 (Print Name) Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 11/2014

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>15 DRB 70188</u>	<u>PAF</u>		<u>\$215.00</u>
<input checked="" type="checkbox"/> All checklists are complete		<u>CMF</u>		<u>\$20.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
				Total
				<u>\$235.00</u>

Hearing date May 13, 2015

5-5-15
 Staff signature & Date

Project # 1010010

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
- required.
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
- 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bob Keenan
Applicant name (print)
[Signature] 5/4/15
Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
15-DRB-10188

Form revised October 2007
[Signature] 5-5-15
Planner signature / date
Project # 1010010

**RBK Realty, Inc.
8830 Keeran Ln. NE
Albuquerque, NM 87122
505.249.1502**

May 5, 2015

Subject: Preliminary & Final Re-Plat of Lots 19 & 20 Blk 4. Tract 3, Unit 3, NAA into lot 19A including the 5' Vacation of Signal Ave., aka 14DRB-70108, approved at the DRB hearing May 21, 2014 .

Ladies and Gentlemen:

The purpose of this submittal is to request approval of the Replat of Lots 19 & 20, Blk 4, Trt 3, Unit 3, NAA in lot 19A and the vacation of Signal Ave., aka 14DRB-70108 per the attached Official Notice of Decision approved at the DRB hearing May 21, 2014 within one year. In addition, please find 6 copies of the Plat, a copy of Zone Atlas page C-20, three copies of the perimeter wall (even though I don't think it is required at this time) and the required pdf.

Thanks for your cooperation in this matter and look forward to your approval. If you have any questions, please don't hesitate to call me @ 505.249.1502 or email me @ llavehomes@hotmail.com.

Sincerely,



Bob Keeran, President
DRB Signal Pointe Subdivision 5.5.15

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

Project# 1010010

14DRB-70108 VACATION OF PUBLIC STREET EASEMENT

14DRB-70157 SKETCH PLAN REVIEW AND COMMENT

BOB KEERAN agent for BLAS & SARAH PROUTIEZ requests the referenced above actions for a portion of SIGNAL AVENUE and Lots 19 & 20, Block 4, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES, zoned R-D-5 DU A, located on the north side of SIGNAL AVENUE between VENTURA ST NE and BARSTOW ST NE containing approximately 2.0089 acres. (C-20) [Deferred from 5-14-14]

At the Development Review Board meeting the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

Findings

The request was filed by the owners of a majority of the frontage of the proposed vacation.

Based on the remaining street width, the public welfare is in no way served by retaining the Roadway Easements proposed for vacation.

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS

1. Final disposition shall be through the City Real Estate Office.

2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed with the Bernalillo County Clerk's Office within one year.

if you wish to appeal this decision, you must do so by _____ in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning

Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

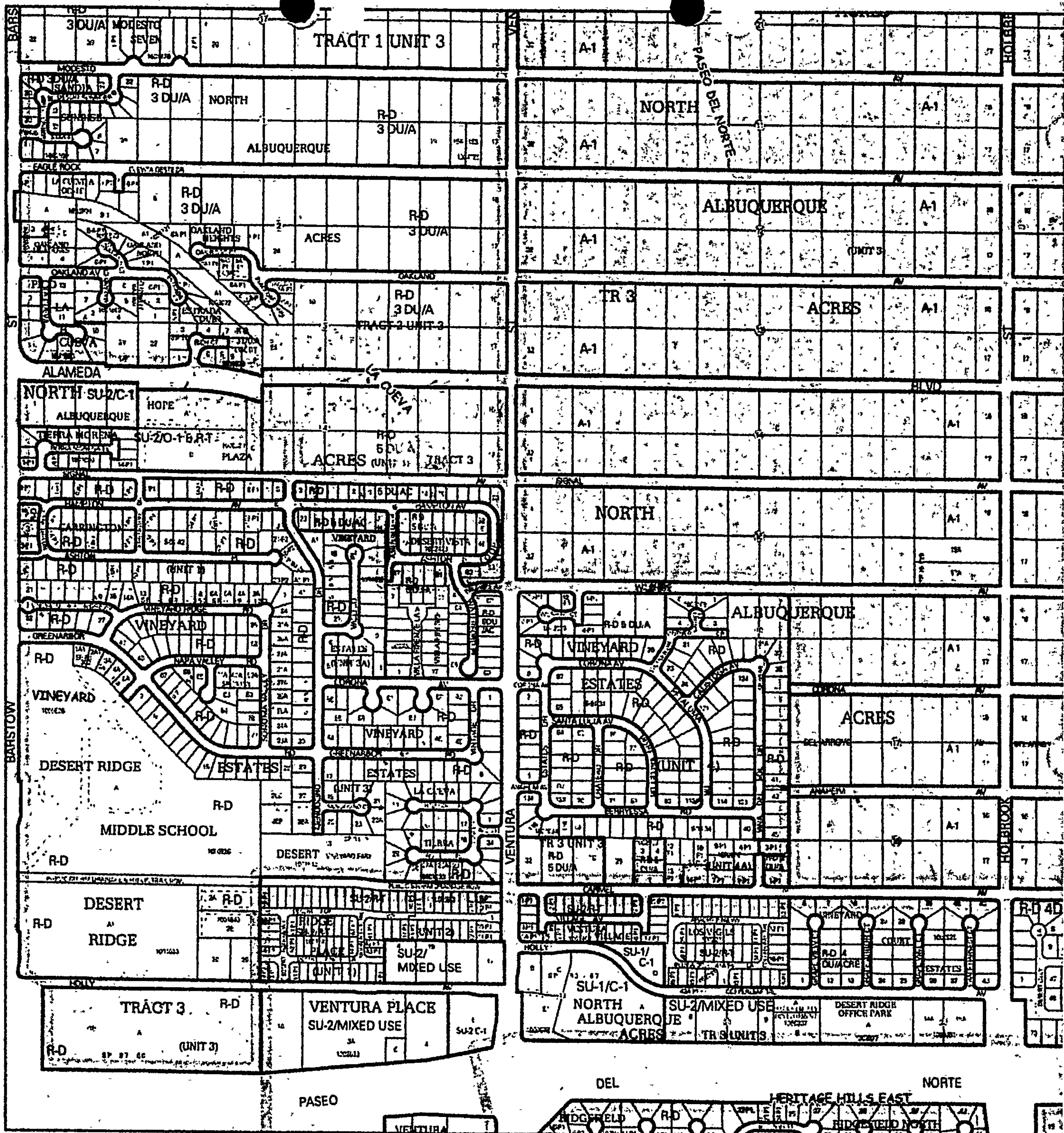
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

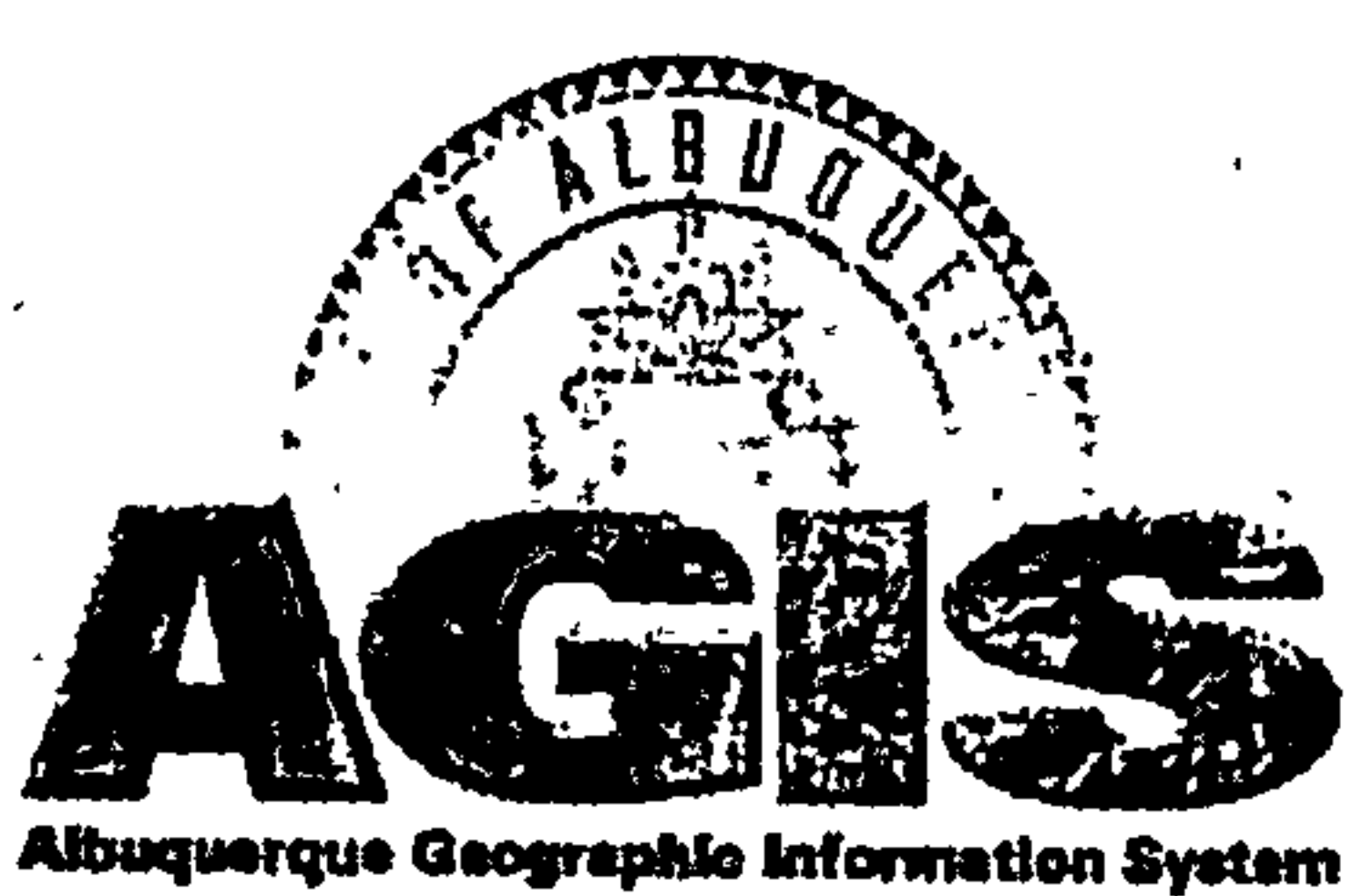


Jack Cloud, DRB Chair

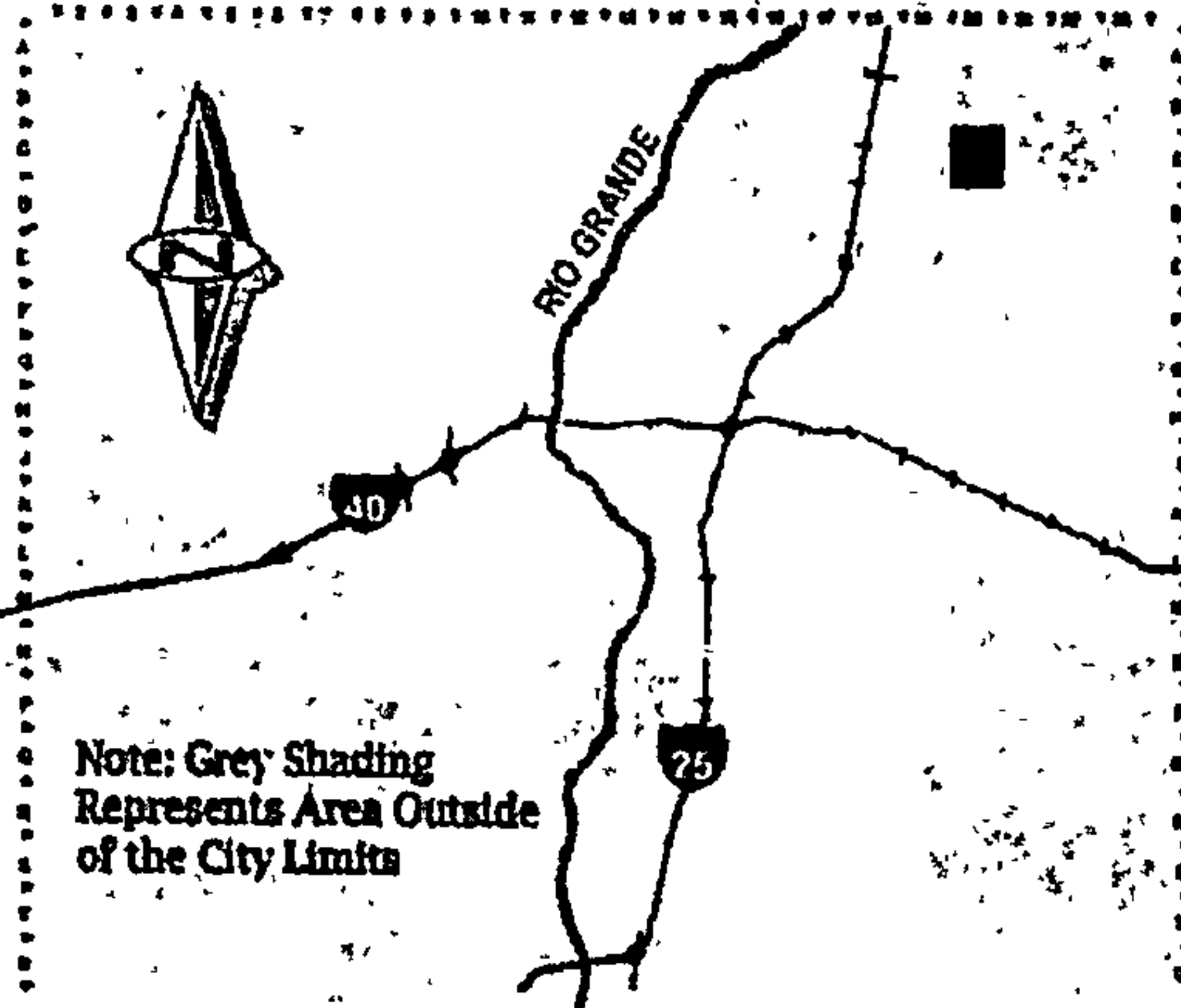
Cc: BOB KEERAN
File



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/24/2011

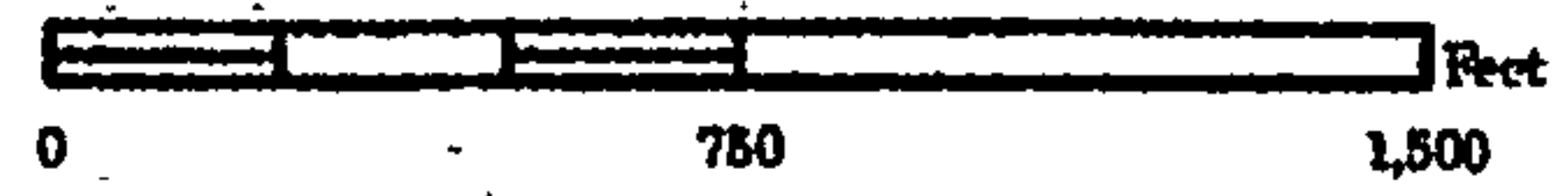


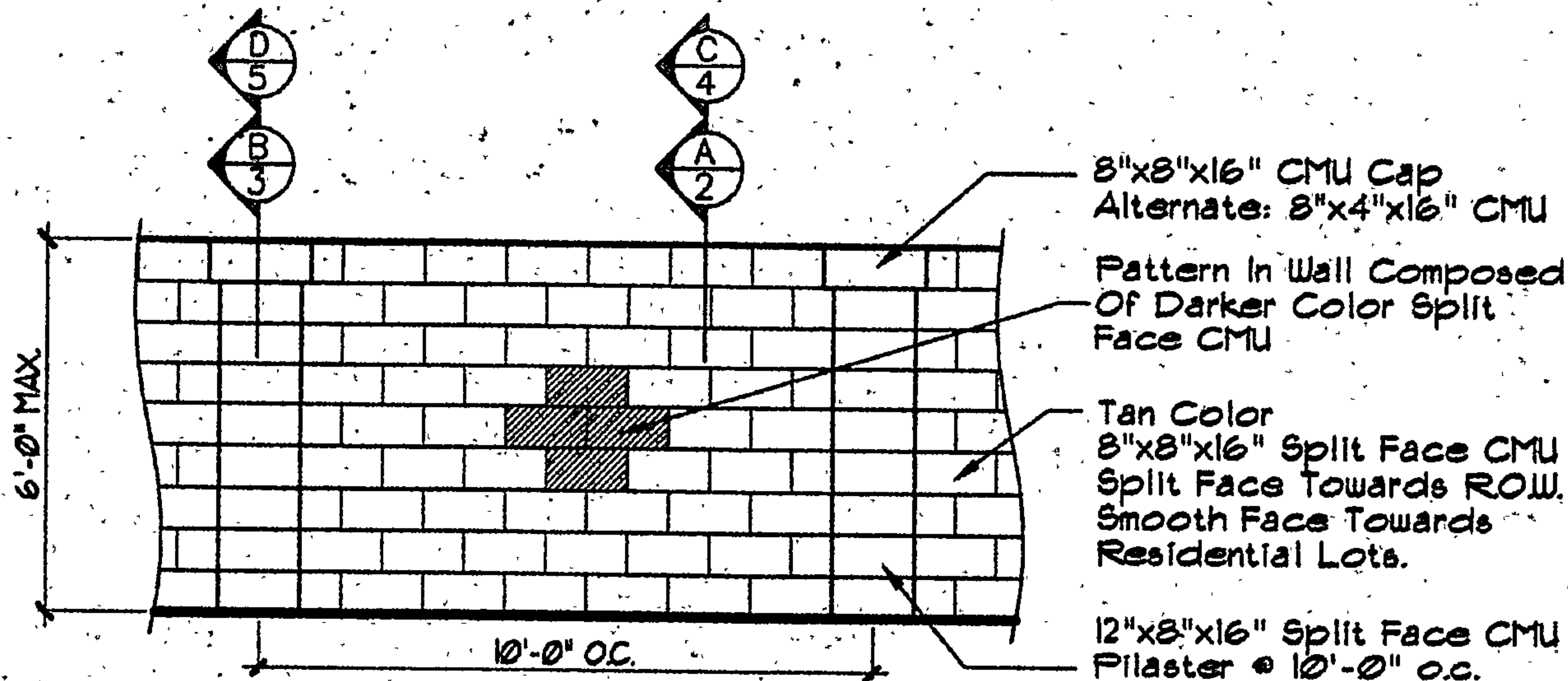
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-20-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



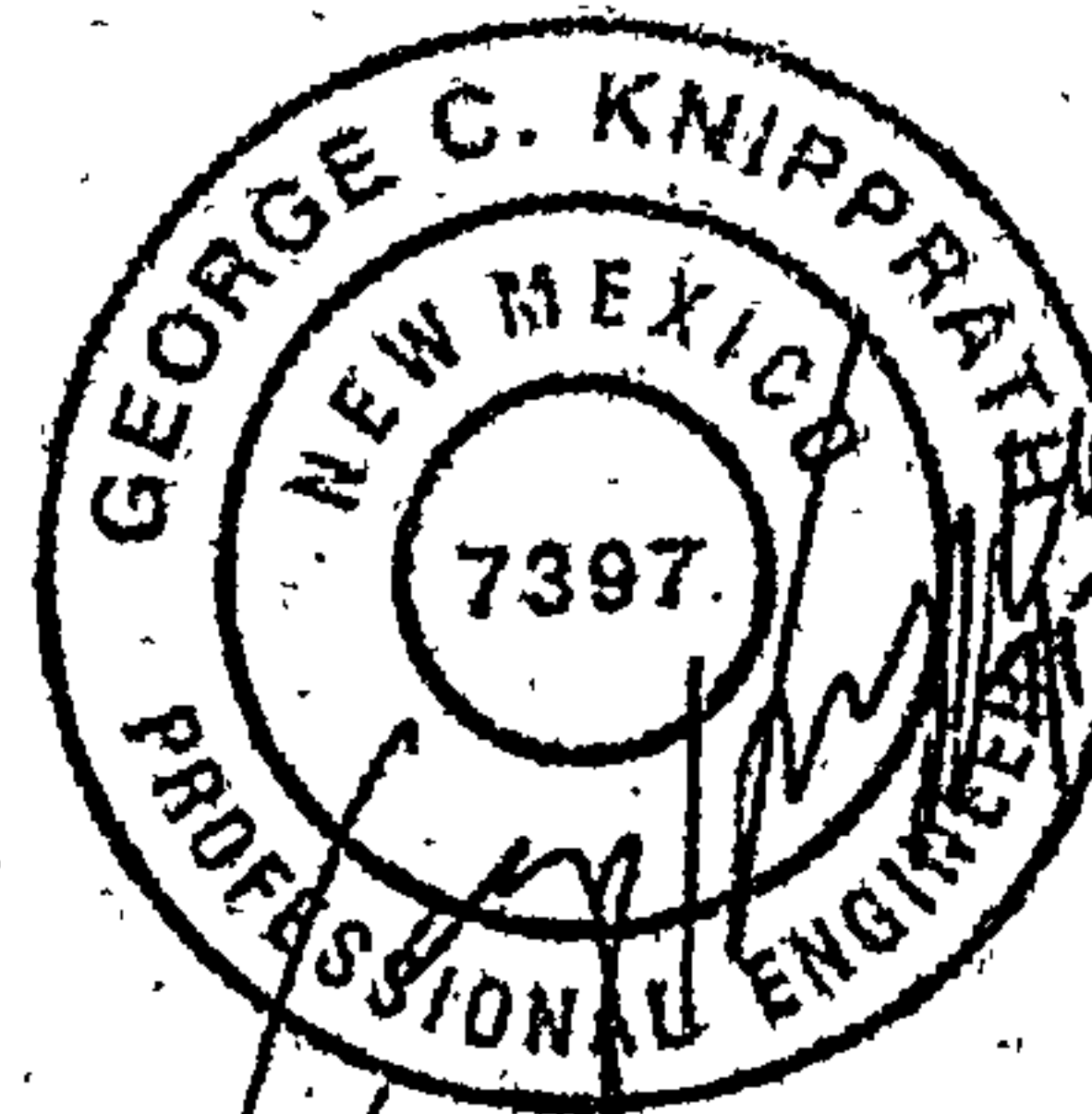


Perimeter Wall Elevation

DRB Project # 1010010

1/4" = 1'-0"

3,000
psi Conc.
Thru-Out



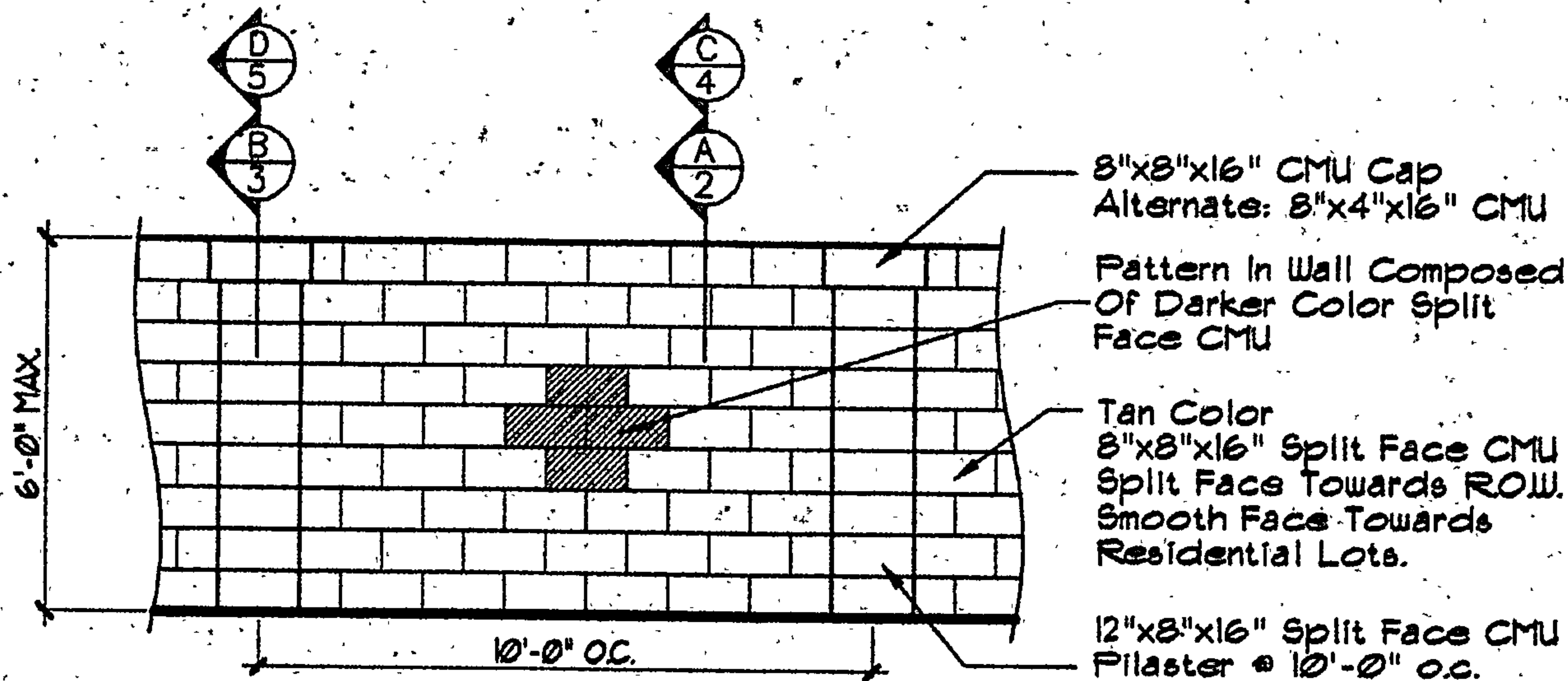
Page:
1 of 5

PISTOLS
Drafting & Design

Ph: (505) 298-5588

Email: pistolsdrafting@gmail.com

Drawn:
7-17-2014



Perimeter Wall Elevation

DRB Project # 1010010

1/4" = 1'-0"

3,000
psi Conc.
Thru-Out



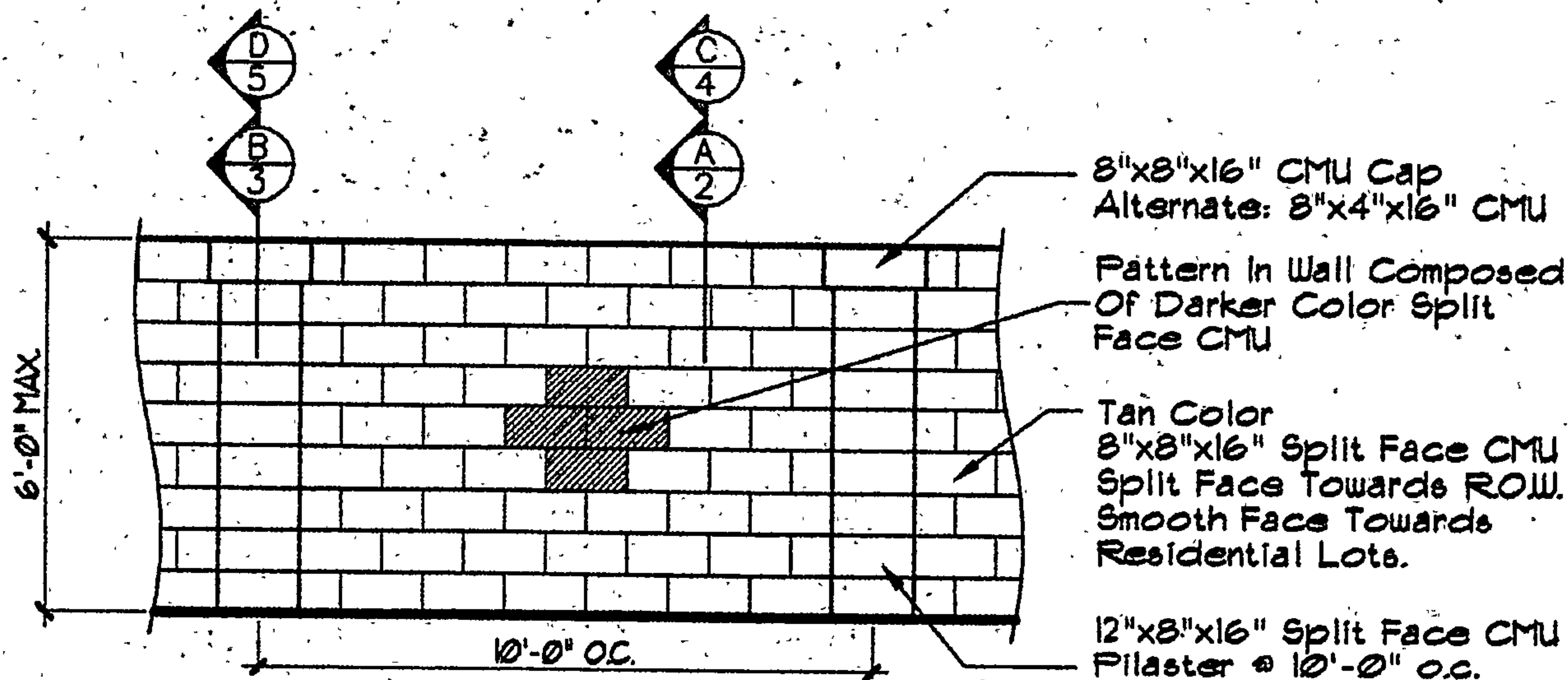
Page:
1 of 5

PISTOLS
Drafting & Design

Ph: (505) 298-5588

Email: pistolsdrafting@gmail.com

Drawn:
7-17-2014

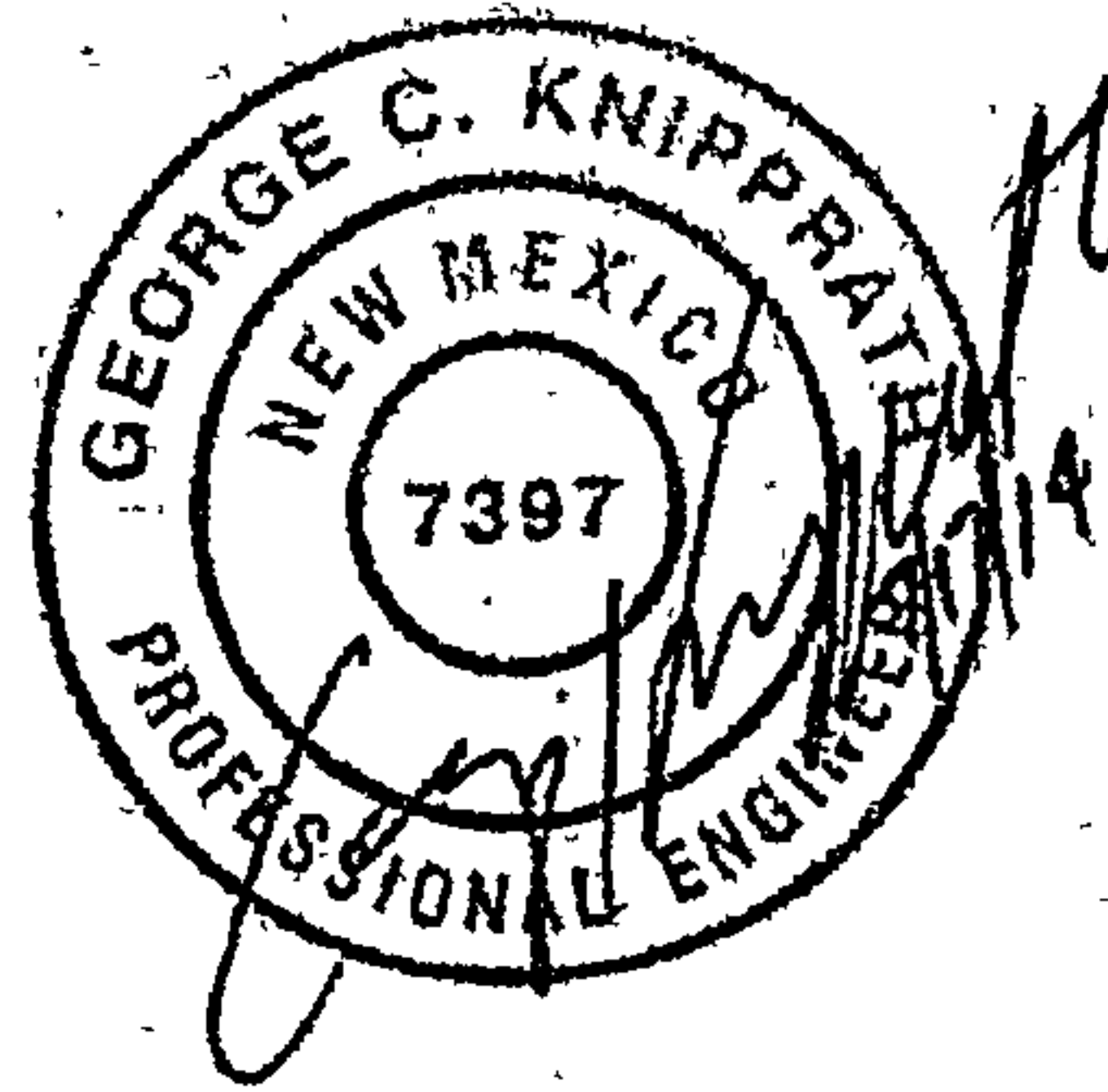


Perimeter Wall Elevation

DRB Project # 1010010

1/4" = 1'-0"

3,000
psi Conc.
Thru-Out



Page:
1 of 5

PISTOLS
Drafting & Design
Ph: (505) 298-5588
Email: pistolsdrafting@gmail.com

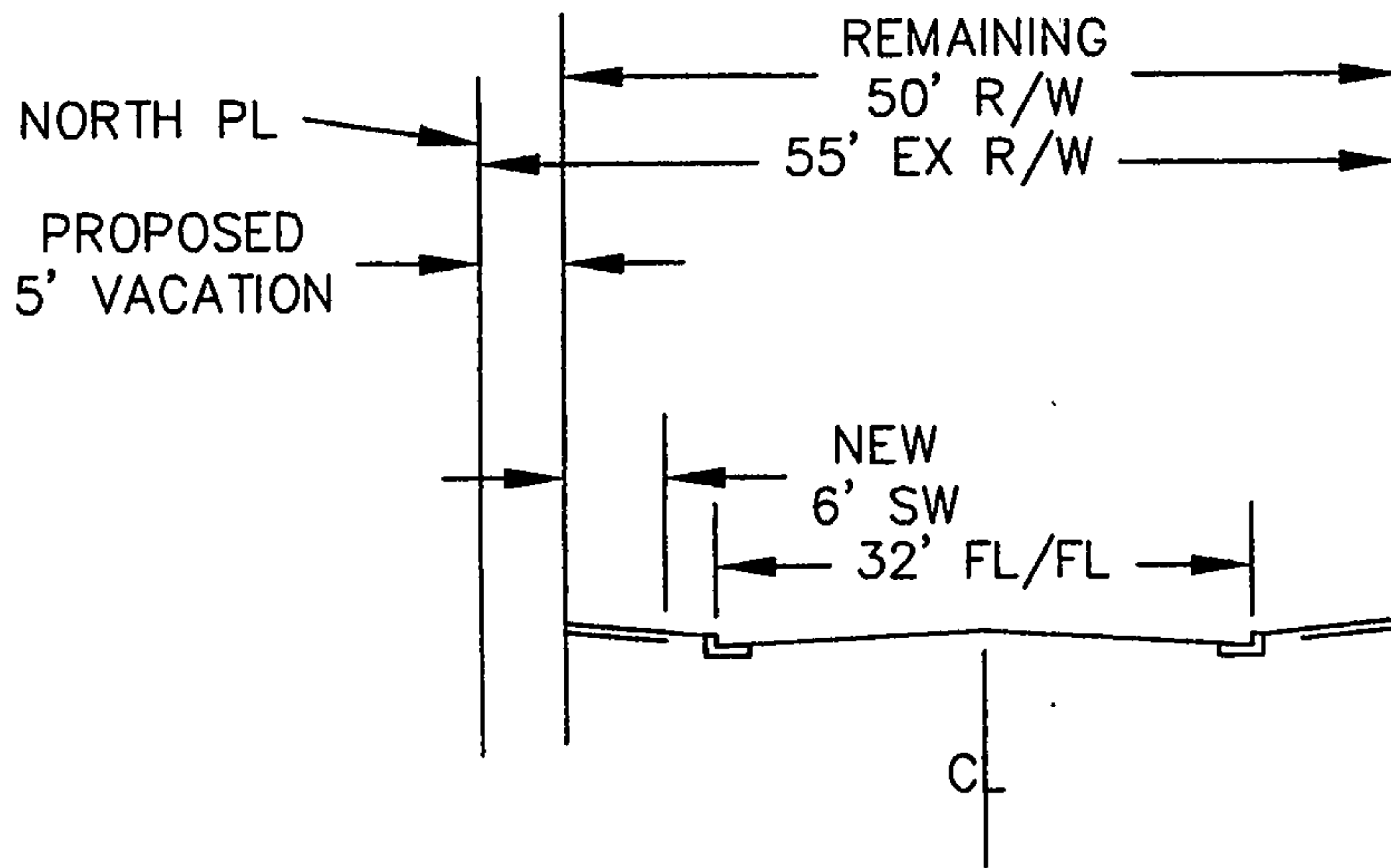
Drawn:
7-17-2014

PROJECT#

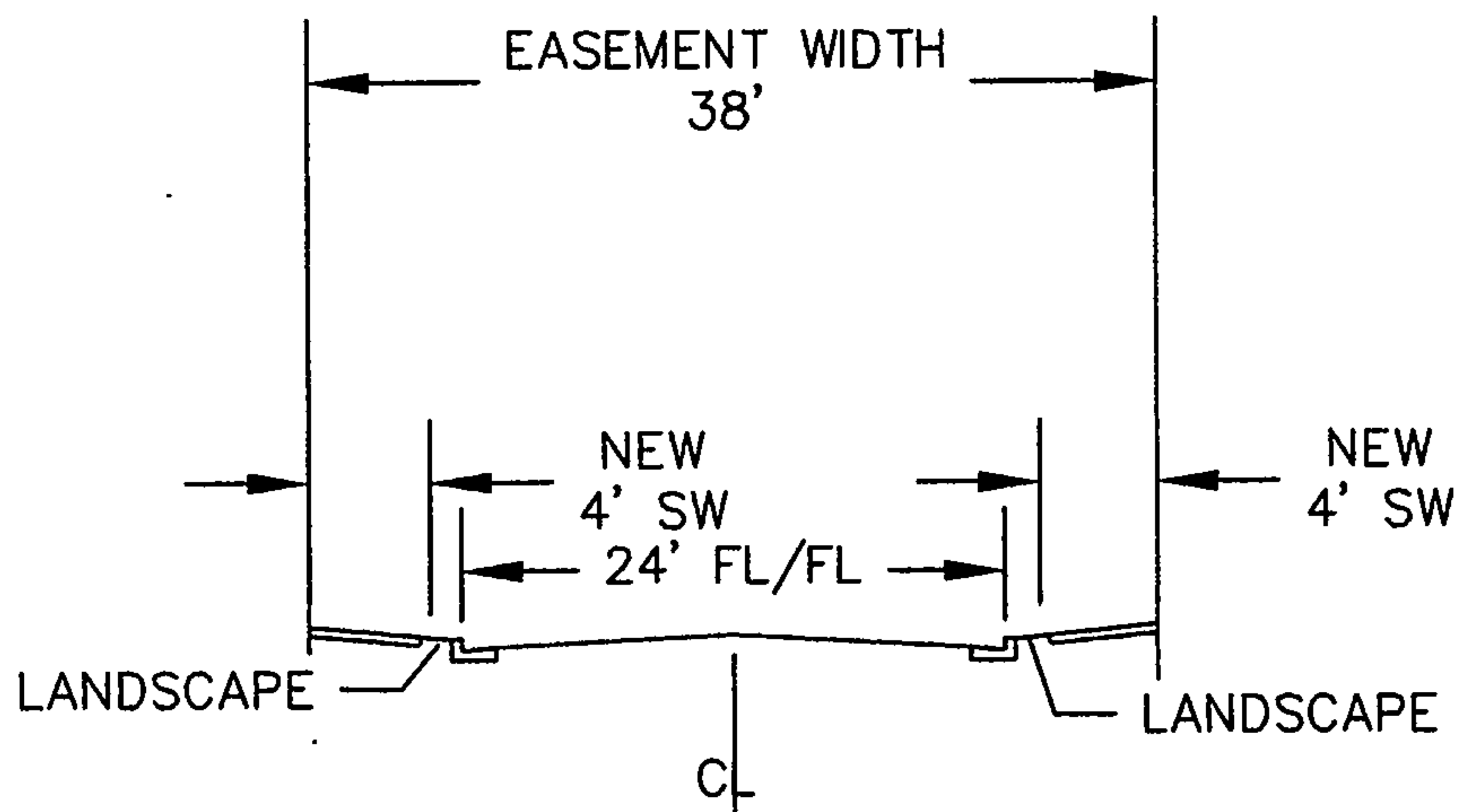
0100101

May. 13. 2015

Fit



SIGNAL AVENUE, NE
PROPOSED CROSS-SECTION



SIGNAL POINTE - NORTH/SOUTH
PROPOSED CROSS-SECTION

PROJECT: 1010010
DATE: 7-8-15 (SV)



DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

PROJECT NO. 1010010

TO: Application No. _____

ALL MEMBERS

Jack Cloud, DRB Chairman, Planning Department

Rita Harmon, P.E., Hydrology

Racquel Michel, P.E., Transportation Development

Kris Cadena, P.E., Albuquerque/ Bernalillo Co. WUA

Carol Dumont, Parks/Municipal Development

NEXT HEARING DATE: _____

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Page 2 of PIAT (Revisors)
+ G & D

85327

Rich

E' mt back

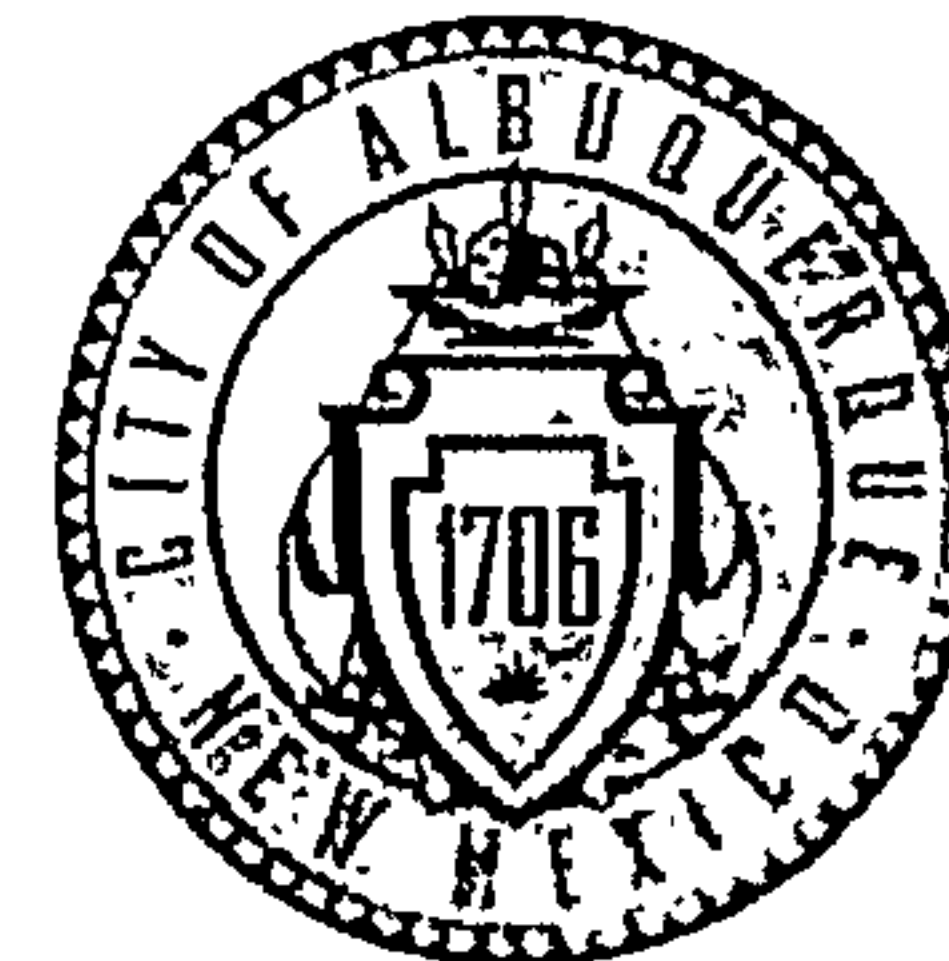
Relays Akbar

899 2805

CONTACT NAME: Bob Keenan

TELEPHONE: 249-4502 EMAIL: lhavehomes@hotmail.ca

CITY OF ALBUQUERQUE



June 23, 2015

Philip W. Clark, P.E.
Clark Consulting Engineers
19 Ryan Road
Edgewood, NM 87015

**RE: Signal Pointe Subdivision
Lots 19 & 20, Block 4, Tract 3, Unif 3, North Albuquerque Acres
Grading and Drainage Plan, Engineer's Stamp Date: 6/14/15 (C20D070)**

Dear Mr. Clark,

Based upon the information provided in your submittal received 6-18-15 the above referenced Grading and Drainage Plan is approved for Preliminary Plat approval. The following comments must be addressed prior to Grading and Final Plat approval:

1. AMAFCA's approval is required for discharging through Lot 21 to the west of the project.
2. The wall should remain in place once the erosion occurs. Please design the flood control structures accordingly. The top of the footing for the proposed retaining wall must be at the scour depth. Proposed flood control structure proposed for the east side of the project will not remain in place once the scour occurs. A retaining wall or another form of structure must be used which would remain in place once erosion occurs.
3. Bottom of the wall or top of footing for the flood control structure must be at 51.0 along the east side of the project (within the erosion setback). Plan and Profile with details for the flood control structures should be submitted with DRC plans.
4. Temporary/Permanent easements will be required for any construction impacting adjacent property owners. Maintenance responsibility of the any proposed structure constructed on any of the adjacent properties must be determined on the proposed easement documents.
5. The Q-Release shown on the west of turned blocks is 5.10 cfs. Is the discharge at 1.80 cfs?
6. The invert of the turned blocks is at 51.40. The orifice equation used shown on the plan indicates that $H=2.0'$: Therefore, the water surface elevation is designed to be at 53.40'. Based on this elevation the runoff will be backing up into lots 5 and 6.
7. The drainage easement must be only on one lot (proposed Lot 5 or Lot 6). Maintenance responsibility of the pond should be noted on the plat.
8. Based on the latest calculations 22% of the 3090 cfs (680 cfs) will flow towards the easterly wall. Provide analysis that the runoff will not overtop the flood control structure, and that it will be able to drain north once it reaches the wall. How will this impact the flood control structure? Does it have to be extended to the south?
9. An Erosion and Sediment Control Plan approval is required prior to grading approval.

PO Box 1293

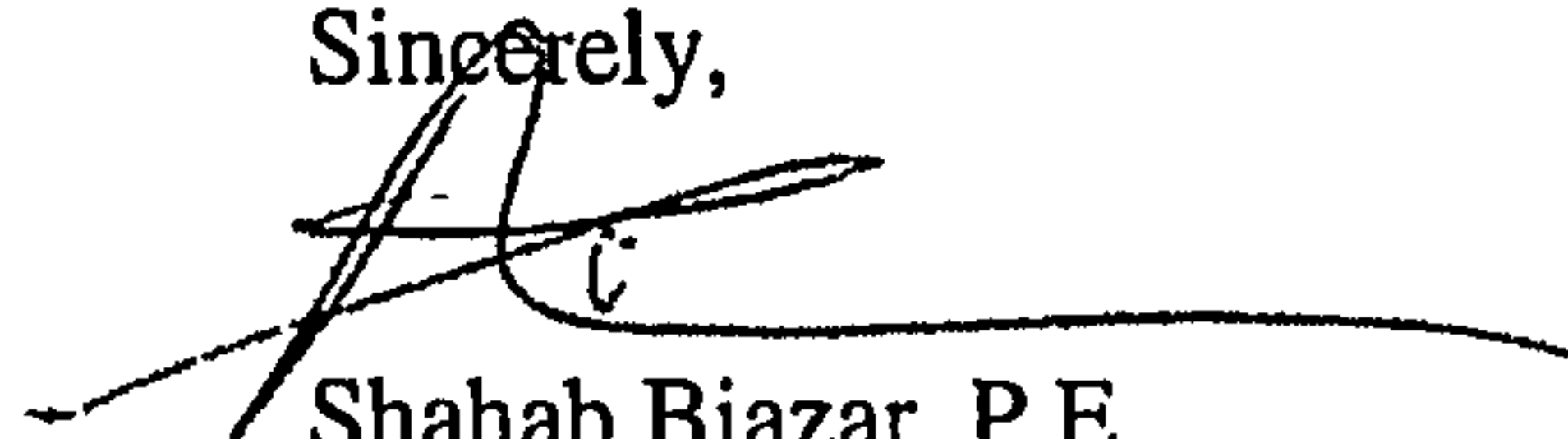
Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3999.

Sincerely,


Shahab Biazar, P.E.
City Engineer, Planning Dept.

C: e-mail

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: JULY 7, 2015

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1010010
DRB Application No.: _____

SIGNAL POINTE SUBDIVISON

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**LOT S 19 & 20 BLOCK 4, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		STD	CURB/GUTTER N. SIDE SIGNAL	SIGNAL AVE	W. PL LOT 20	E. PL LOT 19	/	/	/
		6' WIDE	PCC SDWK, N. SIDE SIGNAL	SIGNAL AVE	W. PL LOT 20	E. PL LOT 19	/	/	/
		14' FACE TO EDGE	PERMANENT ASP. PAVEMENT	SIGNAL AVE	W. PL LOT 20	E. PL LOT 19	/	/	/
		24' FACE TO FACE	PRIVATE RDWY W/ ROLL CURB/G	SIGNAL POINTE (Private Access)	SIGNAL AVE	END OF HAMMER HEAD(s) INCLD HAMMERHEAD	/	/	/
		4' WIDE	PCC SDWK E. & N. SIDES OF LOT 6 PCC SDWK W. & N. SIDES OF LOT 7	SIGNAL POINTE (Private Access)	SIGNAL AVE	END OF HAMMER HEAD (S.SIDE ONLY)	/	/	/
		3/4"	8-WATER SERVICES	SIGNAL POINTE	LOTS 1	THRU 8	/	/	/
		4"	8-SAN. SEWER SERVICES	SIGNAL POINTE	LOTS 1	THRU 8	/	/	/
		8"	300 FT. SAN. SEWER LINE	SIGNAL POINTE	SIGNAL AVE	END OF HAMMER HEAD(s)	/	/	/
		6"	300' WATER LINE	SIGNAL POINTE	SIGNAL AVE	END OF HAMMER HEADS(s)	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	PER APPROVED	SCOUR WALL	E. & N. PROPERTY LINES	10' South of NW PROP. COR, LOT 20	30' N. OF SE COR. LOT 19	/	/	/
<input type="text"/>	<input type="text"/>	PER APPROVED	WATER QUAL RET /DETENTION POND	NEW LOT 5			/	/	/
<input type="text"/>	<input type="text"/>	AS REQUIRED	CONVEYANCE CHANNEL	NEW LOT 5	EAST END LOT 5	POND	/	/	/
<input type="text"/>	<input type="text"/>	8"	WATERLINE	SIGNAL AVE	STUB	EAST PROP. LINE LOT 19	/	/	/
<input type="text"/>	<input type="text"/>		PRO-RATA TO BE PAID PRIOR TO FINAL PLAT APPROVAL				/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____

- 2 _____

- 3 _____

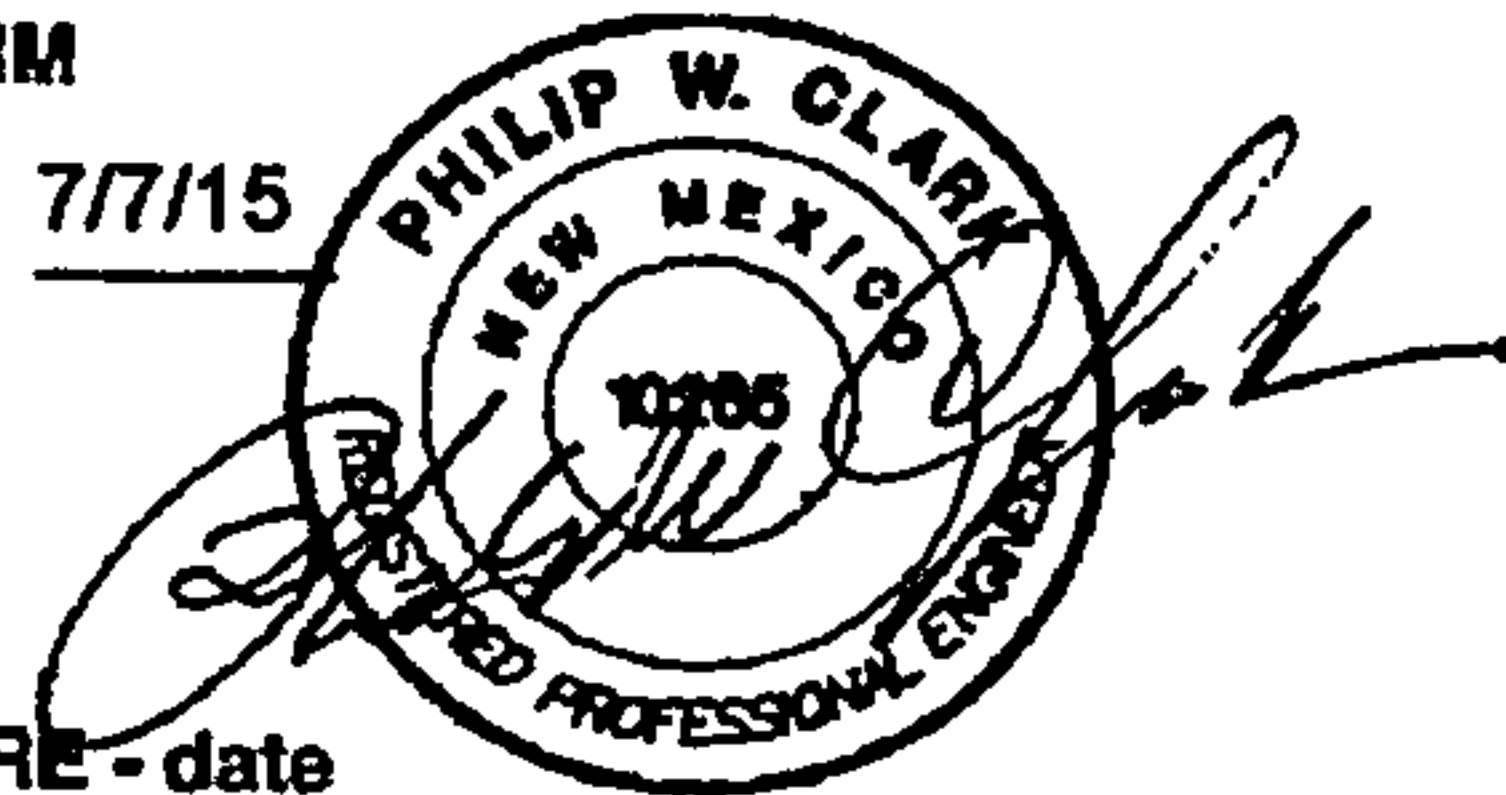
AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

PHILIP W CLARK
NAME (print)

CLARK CONSULTING ENGINEERS
FIRM

7/7/15

SIGNATURE - date



_____ DRB CHAIR - date

_____ PARKS & RECREATION - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ AMAFCA - date

_____ UTILITY DEVELOPMENT - date

_____ - date

_____ CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 8, 2015
DRB Comments**

ITEM # 12

PROJECT # 1010010 APPLICATION # 14-70269/ 15-70233

RE: Lots 19-20, Block 4, North Albuquerque Acres Tr. 3, Unit 3

- ✓ Maintenance and Beneficiaries of proposed Drainage Easement needs to be noted on plat. The Beneficiaries of proposed access
- ✓ easement needs to be clearly noted on plat.

Reciprocal Easements are needed between Lots 1 and 8 as they will be sharing a driveway. .

The site is within the La Cueva Sector Plan; refer to the sector plan for Common Design Regulations.



Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov



JULY 6. 2015

2014-2015
VENA Executive Board

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djesmeek@comcast.net

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Tom Boomershine
Vice Presidents
windsong510@Q.com

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Architectural Chair
lfeight@comcast.net

Tony Huffman
District 4 Coalition
Representative
thuffman663@comcast.net

Dear Mr. Cloud,

The Vineyard Estates Neighborhood Association (VENA) has received notice that RBK Realty, Inc. (Bob Keeran), is requesting a “replatting [of] lots 19 & 20, Blk. 4, Unit 3 NAA into one lot to be known as Lot 19-A as well as vacation of 5’ of public easement/right-of-way and dedication of 25’ of Signal inn fee simple to the City of Albuquerque”. The plans are being heard before the Development Review Board (DRB) on July 8, 2015. I was not contacted directly by RBK Realty, Inc., only by a required mail notification. Additionally, my home sits directly south of this plat and I was not contacted as a directly affected homeowner nor were any of my neighbors (I personally went door to door 3 homes east and west). I also sent an email to Bob Keeran (see attachment) as directed in the notification letter only to have no return response to my direct questions.

The Vineyard Estates Neighborhood Association (VENA) boundaries surround this project and the neighborhood association which is directly affected. Also, there are homeowners who live directly south of the project, across the street.

The VENA board has some concerns regarding this project. First, due to past development projects (that fell through evidently) and attempts to modify the flow of traffic along this stretch of Signal road, there is concern for the width and modification of Signal Avenue related to this project. There is a City bus route that runs along Signal Avenue and a narrow road could impede traffic significantly along this well-traveled stretch. Second, VENA would like to be assured that the zoning density will be strictly adhered (5DU/acre) as well as single family dwellings. Third, VENA is hopeful that the style of homes will be consistent with what is already built and present in the surrounding area. Fourth, that there is no plan to close Signal Avenue in the future.

While VENA welcomes development and growth within our boundaries, ensuring that not only we (VENA) are included in the conversation but also the surrounding neighbors would be a thoughtful and neighborly demonstration. As a neighbor that lives directly south (across the proposed street) of the project, I feel it would have been considerate to contact the surrounding neighbors of an upcoming DRB Hearing and request affecting the neighborhood despite what is only “required” by the city. Homeowners in our neighborhood want to maintain their home value and integrity.



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In summary, VENA hopes that the DRB will make note of our concerns and ensure that our neighborhood integrity is upheld. While we do not hold an objection to this project, VENA wants to make sure that the correct paths for approval and process are demonstrated and nothing is being “snuck in” due to a lapse in the system. Additionally, due to the lack of communication, the necessity of street vacation, etc, involved in this request is not completely clear to the board. We would request that RBK Realty (Bob Keeran or other representative) would attend an upcoming VENA board meeting (August 27th) to present the details of this planned private subdivision. Also, VENA would like assurance that Signal Ave in no way will be closed or narrowed as related to the addition of a future subdivision.

Thank you for including us in this conversation.

Sincerely,

Elizabeth S. Meek
President, Vineyard Estates Neighborhood Association

Cloud, Jack W.

From: Douglas & Elizabeth Meek <djesmeek@comcast.net>
Sent: Monday, June 29, 2015 12:47 PM
To: llavehomes@hotmail.com
Subject: Questions regarding Replat of Lots 19&20 in NAA

Good Afternoon Mr. Keeran.

The Vineyard Estates Neighborhood Association met last week and looked over the proposed replat of Lots 19 & 20, Blk. 4, Unit 3 NAA and the vacation of 5' of the public right-of-way and dedication of 25' of Signal in fee simple to the city of Albuquerque.

- 1) What is the plan for this replat lot?
- 2) Does this project have a date with the DRB yet?
- 3) What is the necessity for the vacation of the 5' of the public right of way?
- 4) What is the necessity for the dedication of 25' of Signal in fee simple to the city of Albuquerque?
- 5) What will be the home density if this replat will be built upon?
- 6) Will there be any intrusion to further narrow Signal Ave?
- 7) Will there be a sidewalk and curb placed on the north side of Signal?

Thank you very much and I look forward to learning more about your project.

Sincerely,

Elizabeth S. Meek

President

Vineyard Estates Neighborhood Association

www.venaabq.org